



Staff Report

PLANNING DIVISION
COMMUNITY & ECONOMIC DEVELOPMENT

To: Salt Lake City Planning Commission
From: Doug Dansie, 801-535-6182, doug.dansie@slcgov.com
Date: January 4, 2017
Re: PLNSUB2016-00835 West Gateway Commons Planned Development

Planned Development

PROPERTY ADDRESS: 45-53 South 600 West
PARCEL ID: 15-01-105-001, 15-01-105-002, 15-01-105-003, 15-01-105-004
MASTER PLAN: Gateway / Downtown
ZONING DISTRICT: GMU Gateway Mixed Use

REQUEST: Gary Hassenflu has submitted a request to construct the West Gateway Commons. All new development in the GMU zoning district is required to be approved through the planned development process. The development is a proposed market rate multifamily development to be located at 45-53 South 600 West, Salt Lake City, UT. This site is just west of the Gateway retail/office and residential development. The development would consist of a U-shaped 5-story building of studio, one, and two-bedroom units. The structure will be built over a podium with a bottom level garage. The site is 0.90 acres. It is proposed to have approximately 100 Units, community room, exercise room and ground level office space facing the street (garage level). The subject property is located in the GMU (Gateway Mixed Use) zoning district and is within Council District 4 represented by Derek Kitchen.

RECOMMENDATION): Based on the findings listed in the staff report, it is the Planning Staff's opinion that overall the project generally meets the applicable standards and therefore, recommends the Planning Commission approve the Planned Development request with conditions.

Staff recommends the following motion:

Based on the information in the staff report, testimony, and discussion by the Planning Commission, I move that the Planning Commission approve the Planned Development request. In order to comply with the applicable standards, the following conditions of approval apply:

1. The applicant shall comply with all other Department/Division conditions attached to the staff report. Specifically: Public way improvements are to be installed, including curb, gutter, street lights and street trees, according to city standards, with the location of curb and gutter and street parking layout to be determined.
2. Final approval of signage, lighting, and landscaping to be delegated to Planning Staff to ensure compliance with the CBSD and PD regulations.
3. All of the parcels must be combined into a single lot.
4. Final approval authority for the development shall be delegated to Planning Staff based on the applicant's compliance with the standards and conditions of approval as noted within the staff report.
5. All other zoning regulation, not specifically altered by this planned development, shall apply.

ATTACHMENTS:

- A.** Vicinity Map
- B.** Site Plans
- C.** Building Elevations and Details
- D.** Additional Applicant Information
- E.** Property & Vicinity Photographs
- F.** Existing Conditions
- G.** Analysis of Standards – Planned Development
- H.** Public Process and Comments
- I.** Department Review Comments
- J.** Motions

PROJECT DESCRIPTION:

The developer, MW and Garrison Companies represented by Gary Hassenflu, is proposing to build a 100 unit market rate, multi-family mixed-use residential development at approximately (45, 49, 51) 53 S. 600 West which is west of the Gateway retail/office and residential development. The project layout consists of a single U-shaped 5-story building featuring studio, one, and two-bedroom units, a community room, exercise room and ground level office space facing the street (garage level) built over a podium with a bottom level garage. The site is 0.90 acres with multiple parcels that need to be combined prior to applying for a building permit. An application and approval for a lot consolidation will be required. The project is being reviewed as a Planned Development because all new development in the GMU zoning district is required to be approved through the planned development process.

KEY ISSUES:

The key issues listed below have been identified through the analysis of the project, neighbor and community input and department review comments.

1. Activity at pedestrian level
2. Materials
3. Infrastructure Improvements
4. Angled parking/curb location/park strip

Issue 1 – Activity at the ground level

While the building is primarily residential, the developer has placed the active uses of the building, such as office, exercise room etc., at the ground level along 600 West. The GMU zoning district requires retail uses at the ground level on 200 South, however; 600 West does not; because it is not deemed a primary retail street. This proposed building provides more active uses than many other buildings existing on 600 West and therefore represents a general improvement to the neighborhood.

Issue 2- Materials

The GMU zoning district requires that all buildings have at least 70% of the facade, excluding windows, constructed of the following materials: brick, masonry, textured or patterned concrete and/or cut stone. The only other exterior material proposed for this building is stucco which represents less than 30% of the façade and is generally used in recessed portions of the building (actual percentages are listed on the elevations). Other materials are allowed through the Conditional Building and Site Design process, however since the building meets the code requirements, it complies with the base zoning.

Issue 3- Infrastructure Improvements

Presently no curb or gutter exists on 600 West. There is a substandard sidewalk and lighting. Engineering and Transportation have recommended the need to upgrade the public infrastructure (curb gutter, sidewalk, street trees, street lighting). As of the writing of this staff report the exact location of the curb and specific details have not been resolved however, the other city departments have no general objection to the development pending resolution of the public way/park strip. Public Utilities as not indicated substandard sewer or water.

The existing sidewalk is presently below street grade and general elevation and drainage issues will need to be resolved with Engineering.

Issue 4 – Angled parking / Curb location

While 600 West is a typical 132 foot right of way, it has never been fully improved with curb or gutter and there is no park strip landscaping on the block.

Transportation has no objection to the development of the proposed project however, some additional work will need to be done to resolve curb location and whether angle parking is appropriate for this location. Angled parking affects the street layout (number of travel lanes, bike lanes, and backing space) and the width of park strip affects tree species selection. Curb and gutter exists on the blocks to the north and the south, which also feature angled parking and street trees. The primary focus of the additional work will be grade elevations of the new curb to insure proper drainage which may have an effect on the ground level elevation of the building.

DISCUSSION:

As discussed above and in attachments F and G the proposal generally meets the standards for a Planned Development. In general, the proposal addresses the pedestrian oriented design standards and the mixed use residential emphasis of the GMU zoning district and meets the specific design elements of the zoning district.

NEXT STEPS:

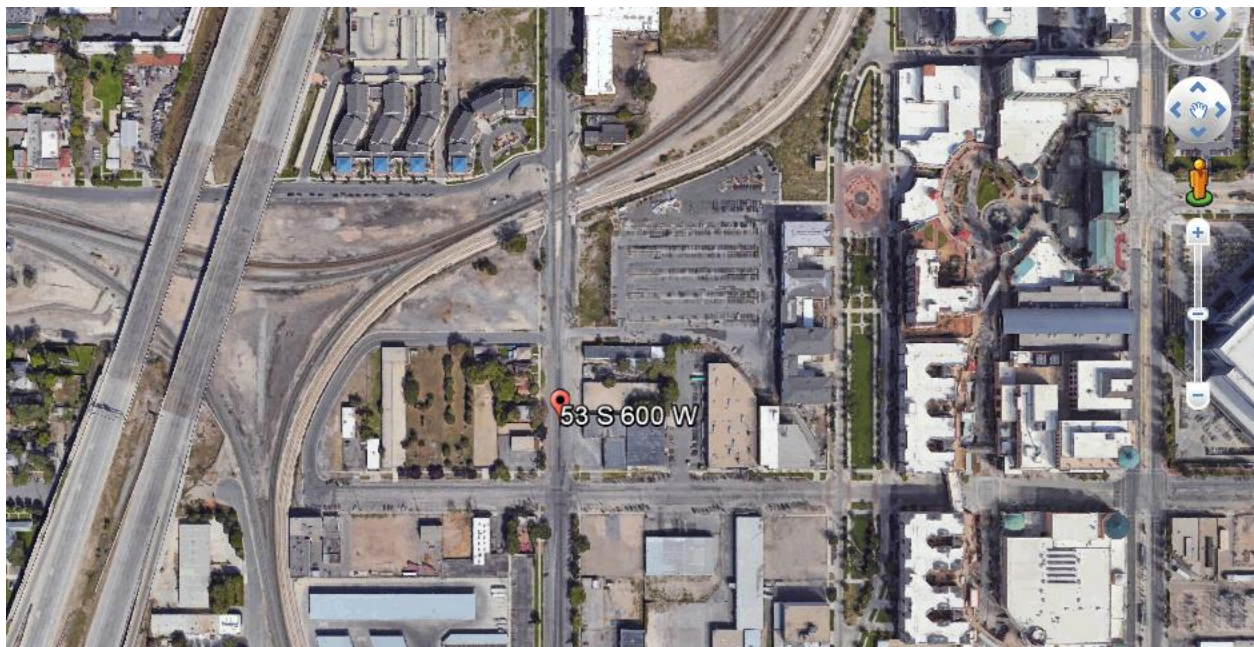
Planned Development Approval

If the Planned Development is approved, the applicant will be able to submit for building permits for the development and the plans will need to meet any conditions of approval. Final certificates of occupancy for the buildings will only be issued once all conditions of approval are met.

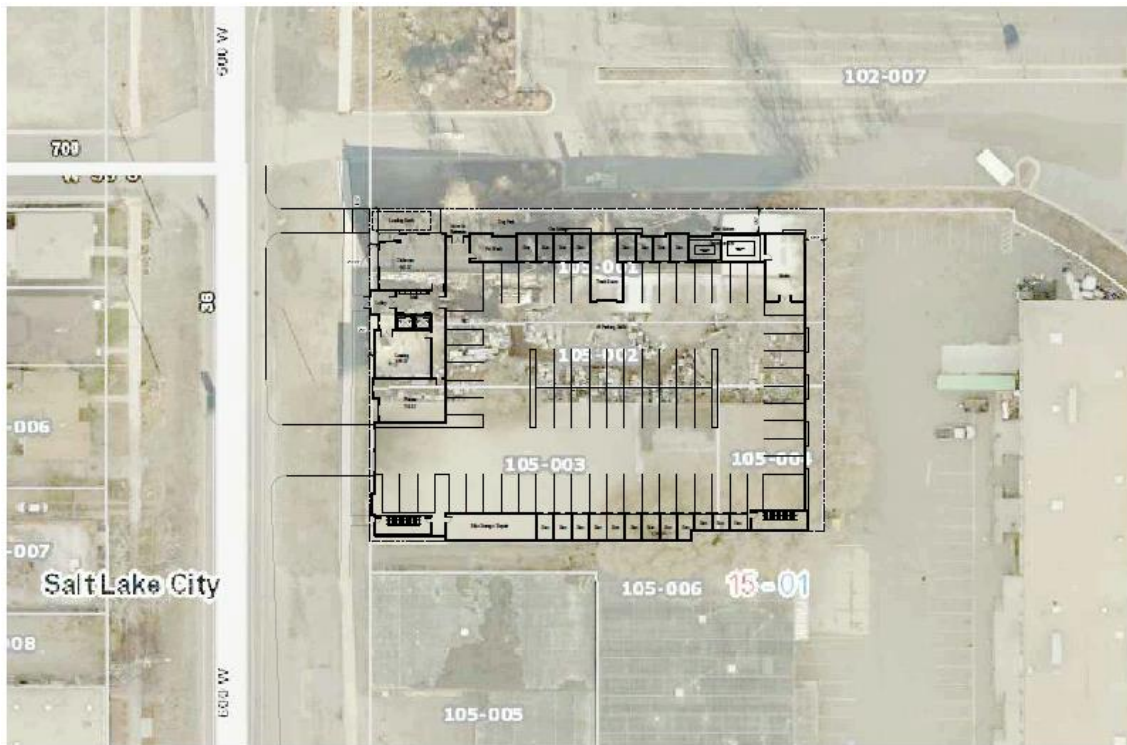
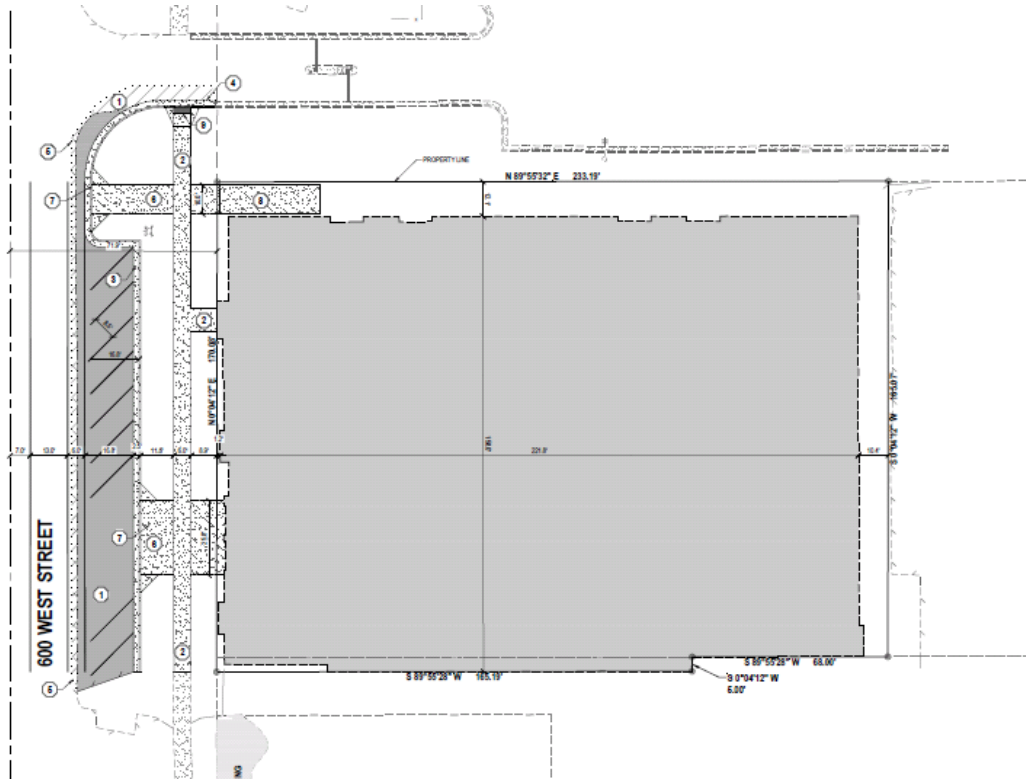
Planned Development Denial

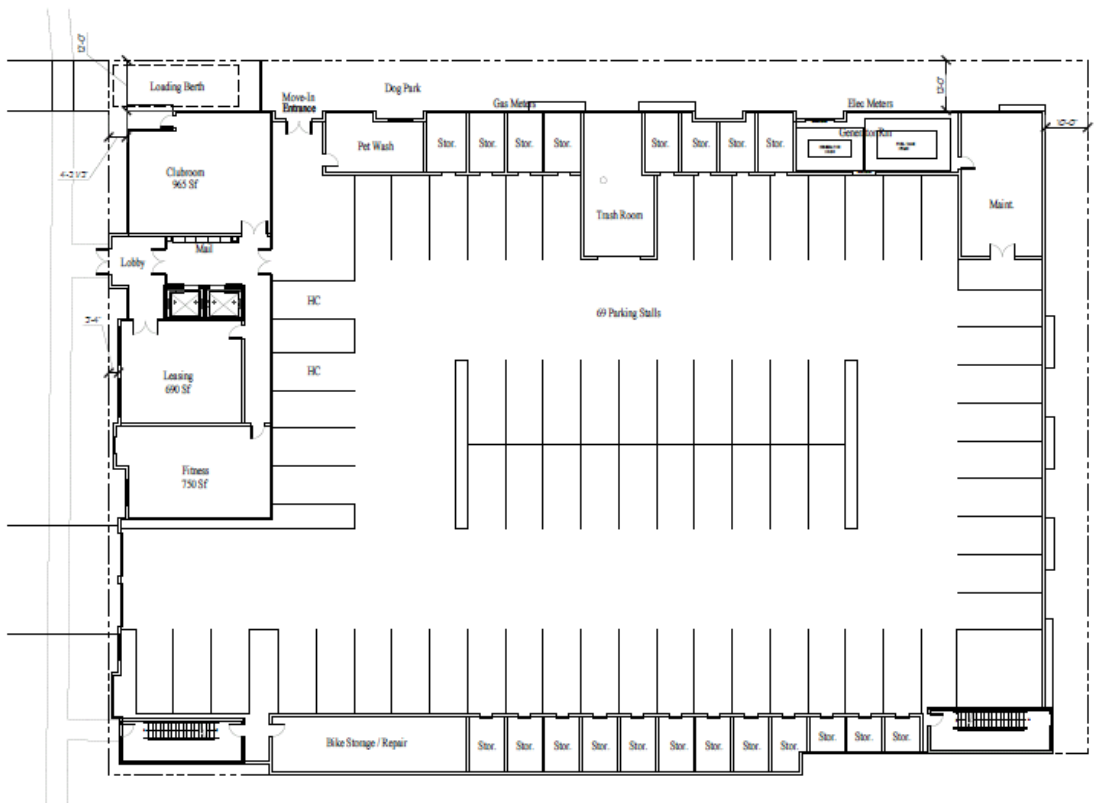
If the Planned Development is denied, the applicant would not be able to develop the property without presenting a new plan that meets the planned development criteria.

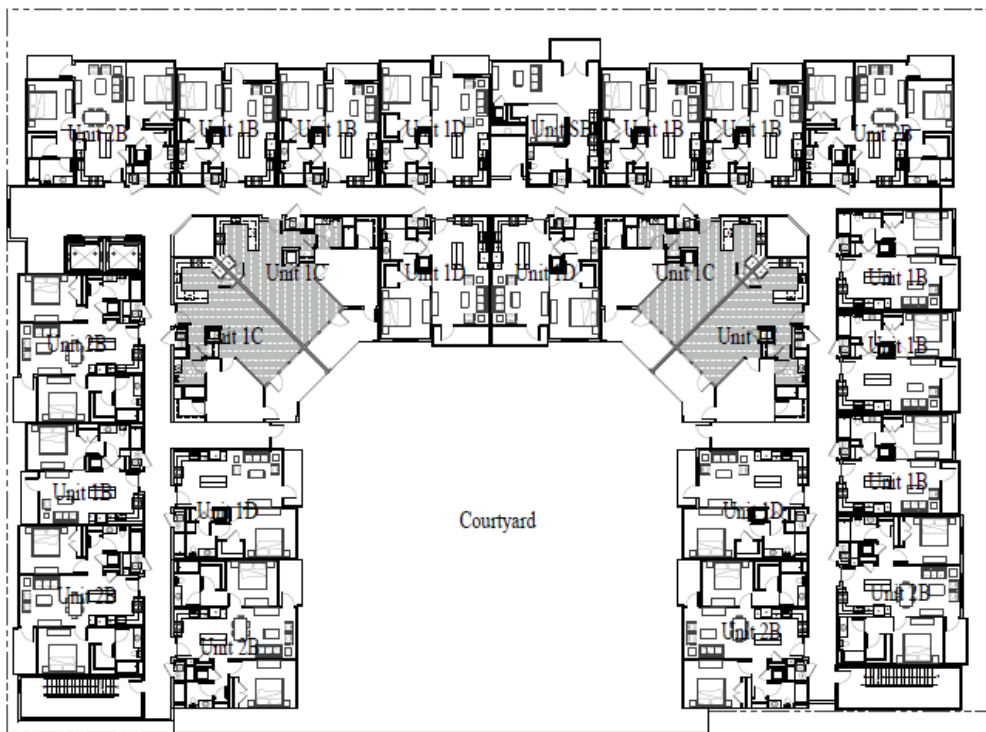
ATTACHMENT A: VICINITY MAP



ATTACHMENT B: SITE PLANS

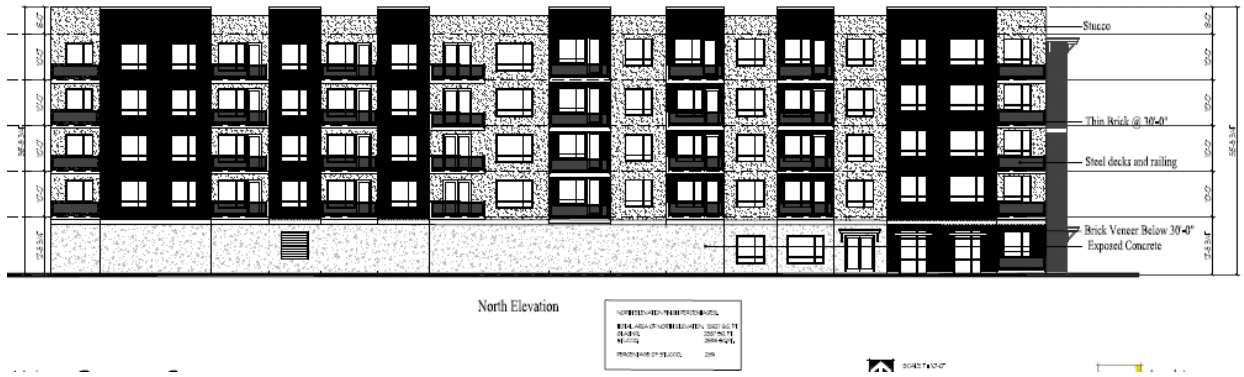






100 Units
 4 Studio
 72 1 Bedroom
 24 2 Bedroom

ATTACHMENT C: BUILDING ELEVATIONS AND DETAILS



EAST ELEVATION FINISH PERCENTAGES:

TOTAL AREA OF EAST ELEVATION: 9423 SQ. FT.
GLAZING: 1653 SQ. FT.
STUCCO: 921 SQ.FT.

PERCENTAGE OF STUCCO: 11%

SOUTH ELEVATION FINISH PERCENTAGES:

TOTAL AREA OF SOUTH ELEVATION: 13369 SQ. FT.
GLAZING: 1469 SQ. FT.
STUCCO: 3111 SQ.FT.

PERCENTAGE OF STUCCO: 26%

WEST ELEVATION FINISH PERCENTAGES:

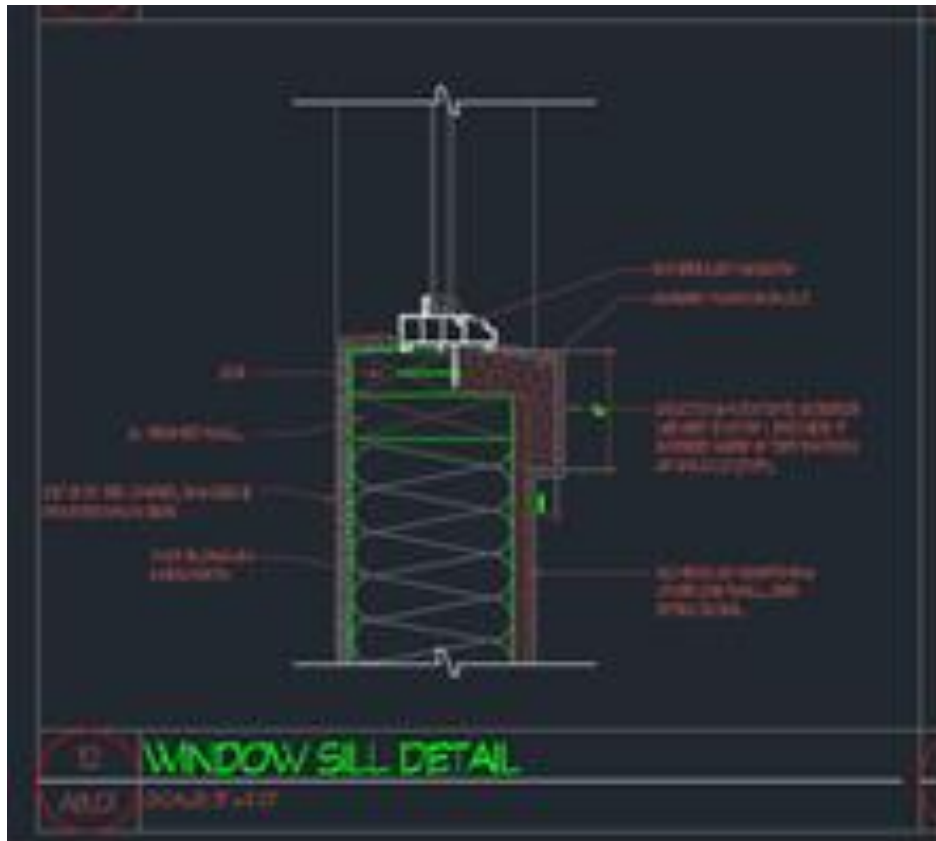
TOTAL AREA OF WEST ELEVATION: 9007 SQ. FT.
GLAZING: 2017 SQ. FT.
STUCCO: 1191 SQ.FT.

PERCENTAGE OF STUCCO: 17%

NORTH ELEVATION FINISH PERCENTAGES:

TOTAL AREA OF NORTH ELEVATION: 12627 SQ. FT.
GLAZING: 2587 SQ. FT.
STUCCO: 2596 SQ.FT.

PERCENTAGE OF STUCCO: 25%



ATTACHMENT D: ADDITIONAL APPLICANT INFORMATION

WEST GATEWAY COMMONS PROJECT NARRATIVE 10-21-16

The West Gateway Commons development is a proposed market rate multifamily development to be located at 45-51 South 600 West, Salt Lake City, UT. This site is just west of the famed Gateway retail/office and residential development on the west side of downtown SLC. Downtown Salt Lake City and much around the Gateway is exploding with growth and rental living demand. The development would consist of a U-shaped 5-story building of studio, one, and two-bedroom units. The structure will be built over a podium with a bottom level garage.

The property is already zoned for the planned use with no height limitation. The .90 acre size of the site and the parking needed with it is the only limitation to number of units. The City has been encouraging a well-designed plan for it. Currently, there are three small, dilapidated warehouses on it currently that will be razed. The property is zoned. We are going through the site plan approval process which should conclude in the next two months. It has just a staff review and administrative decision. The site is zoned currently for our planned use.

Upon completion of construction, the project will offer an estimated total of 100 luxury multifamily living units. The amenities will include high-end appliances, 9 foot ceilings, granite countertops, a community room (with patio) and an exercise room. A leasing office, community room and office space for a tenant will exist on the front of the ground floor of the garage. A full-time manager will be on-site.

Other features include in-unit washer/dryers, energy-efficient heat and air system, and balconies/patios. On the 2nd floor there will be an outdoor courtyard facing the Gateway and the downtown skyline. It will have an outdoor kitchen, landscaping, benches, grills, and play area.

The units will be offered at approximately the following rental rates:

Studio	\$1025
1BR:	\$1150
2BR:	\$1450

These rents are at rents that are achievable based on other comparables in the area. There are many recent rental projects with rents in the \$1.70/sf range and up. Occupancy in the area is high at 97%. Not a lot of high-end rental product exists in the area. The location is excellent, almost abutting North Temple and I-15.

Project costs will total approximately \$17.5 million dollars, to be made possible by the equity raised by the developer and a permanent/construction loan from a private lender. The developer is Garrison L. Hassenflu. Mr. Hassenflu is Managing Member of MW Development Enterprises, LLC, a Kansas City, MO-based company. He is also Manager of Garrison Management Company, a property management firm. These companies along with other affiliated companies make up the umbrella entity, Garrison Companies (www.garrisoncompanies.com). Mr. Hassenflu has over twenty five years of experience in development, having developed over \$140,000,000 in affordable and mixed income living units totaling over 1300 units. Currently, he has a portfolio of seventeen projects totaling approximately 600 apartment units that he has built and managed in the last twelve years.

The project will be designed by Guillaume Belgique Architects, Midvale, UT, with Ascent Construction, Centerville, UT as general contractor.

We expect a 1/15/17 initial closing, an April 15, 2017 construction start and an April 15, 2018 completion.

Planning Dept. Considerations:

The project meets the combination of architectural styles, materials and forms as show in the application's elevations. The site, which is occupied by buildings currently is flat. The topography won't change with the development. The buildings will be razed for the new construction. The buildings have no historic significance and are blighted. Soil erosion will be avoided with erosion fencing during construction. Plentiful landscaping will be present with trees and shrubs. A large mural will go on a wall that will be aesthetically pleasing to the public. Certain green building techniques will be utilized in the construction such as water conserving appliances, recycled materials, a high efficiency HVAC system, and high-rated roof and wall insulation material.

ATTACHMENT E: PROPERTY & VICINITY PHOTOGRAPHS



Site



Northwest



Southwest



South



North 600 Apartments, one block north

ATTACHMENT F: EXISTING CONDITIONS

Gateway Master Plan Discussion

The proposal is located within the Gateway “Creating an Urban Neighborhood” and “Gateway Specific Plan” Master Plan area. The master plan designates the property as “mixed-use” and the property has been zoned Gateway Mixed-Use District, in compliance with this designation. The proposed multi-family residential project is a permitted use in the zone.

The plan includes the following general policies related to the request:

- This property is within the Union Pacific sub district which proposes transitioning land uses from a traditionally rail orientation to a mixed use urban format
- Residential land use is deemed a significantly important feature of all the sub districts in Gateway.
- The plan encourages transit oriented development.

Since the consolidation of rail tracks, the Gateway district has been recognized an area where development may accommodate high density residential use, and is encouraged through a mixed-use development pattern with “active” uses on the ground or street level.

These Master Plan policies are also discussed in [Attachment G](#), under standard B.

Applicable General Zoning Standards:

GMU Standards

Requirement	Standard	Proposed Development Status
Front/Corner Side Yard	No minimum except that a minimum of 25% of the façade shall be no more than 5 feet from the right-of-way	Building is generally at the property line with no front yard setback being greater than four feet, two and one half inches. Complies.
Side/ Rear Yard	No Minimum	Complies
Lot Area	No Minimum or Maximum	Complies
Lot Width	No Minimum	Complies
Building Height	Minimum building height it 45 feet. Maximum building height is 75 feet except buildings with non-flat roofs may be 90 feet, Additionally, height may be raised to 120 feet through condition building and site design review	Building is approximately 60’ 8 ¾” at its highest point. Complies
Step Back Requirement	None	Complies
First Floor/Street Level Requirements	Active residential or commercial use is required	Complies
Architectural character and materials	A differentiated base is required 70% of materials are to be brick masonry textured or patterned concrete or cut stone	Complies Complies: Stucco is proposed for indented portions of the façade, which account for less than 30%.

	Two dimensional glass curtain wall prohibited	Complies: Windows have at least a 3 inch indentation
	Arcades and awnings are permitted	Not applicable
Windows and fenestration	Buildings with smooth surfaces prohibited All windows (except bay, projecting or balcony) recessed from exterior wall by 3 inches Reflectivity of glass less than 18%	Complies
Entrance and visual interest	40 % minimum first floor glass One operable door per façade Maximum length of blank wall shall be 15 feet All building equipment screened	Complies
Building lines and front area	The majority of ground level façade is parallel , not at an angle, to the street (primarily applies to parking structures)	Complies
Public amenities and art	Street lighting should match the City lighting policy Public art shall be included	Complies or will comply Street lighting will be installed in conformity to City policy. There is a place for public art/mural provided. This is similar to the North 600 Apartments. The artist has not been commissioned at this time.
Location of service	All loading and service be located on block interior away from view form public street	Service is located it hint he parking structure
Parking lots	Parking structures shall be located behind principal buildings or provide retail goods/services establishments, offices and or restaurants on the first floor adjacent to the street	All parking is hidden within the building

Mid-block street development: New buildings are encouraged to allow for mid-block streets when appropriate and are offered incentive to do so, however this site is located on a block where an east/west midblock street has been precluded by development on 500 West and the development does not affect any potential north/south street.

Mid-block walkways: Midblock pedestrian walkaways are also encouraged, but again have been limited for the same reason as mid-block streets

ATTACHMENT G: ANALYSIS OF STANDARDS – PLANNED DEVELOPMENT

21a.55.050: Standards for Planned Developments: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard	Finding	Rationale
<p>A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section:</p> <ul style="list-style-type: none"> A. Combination and coordination of architectural styles, building forms, building materials, and building relationships; B. Preservation and enhancement of desirable site characteristics such as natural topography, vegetation and geologic features, and the prevention of soil erosion; C. Preservation of buildings which are architecturally or historically significant or contribute to the character of the city; D. Use of design, landscape, or architectural features to create a pleasing environment; E. Inclusion of special development amenities that are in the interest of the general public; F. Elimination of blighted structures or incompatible uses through redevelopment or rehabilitation; G. Inclusion of affordable housing with market rate housing; or H. Utilization of "green" building techniques in development. 	<p>Complies</p>	<p>The applicant intends to achieve objectives A, D, and F.</p> <p>The applicant has stated this project meets objective A because of the architectural design of the structure. The project utilizes exterior building materials that are durable and varied throughout the project. The modern design of the project is articulated in a manner that there are few flat or repetitive portions of the building.</p> <p>In order to achieve objective D, the developer is proposing to replace existing block buildings with an architecturally detailed structure that is in more conformance with the Master Plan. Public way improvement will also be upgraded and installed.</p> <p>Additionally, the applicant is meeting objective F with the elimination of blighted structures which are undersized as to development patterns which are encouraged in the neighborhood.</p> <p>Staff believe that this project does meet the objectives as stated by the applicant.</p>
<p>B. Master Plan And Zoning Ordinance Compliance: The proposed planned development shall be:</p> <ul style="list-style-type: none"> 1. Consistent with any adopted policy set forth in the citywide, community, and/or small area master plan and future land use map applicable to the site where the planned development will be located, and 2. Allowed by the zone where the planned development will be located or by another applicable provision of this title. 	<p>Complies</p>	<ul style="list-style-type: none"> 1. The proposal is located within multiple Master Plans. All of the plans indicate the area to be mixed-use with a strong residential component. <p>The GMU zoning district was implemented specifically to implement the various Gateway master plans. All new construction is directed through the planned development process to ensure architectural transition to a mixed use neighborhood from its former industrial nature. This project is consistent with the GMU zoning</p> <ul style="list-style-type: none"> 2. Multi-family developments are permitted in the GMU zoning district.

<p>C. Compatibility: The proposed planned development shall be compatible with the character of the site, adjacent properties, and existing development within the vicinity of the site where the use will be located. In determining compatibility, the planning commission shall consider:</p> <p>1. Whether the street or other means of access to the site provide the necessary ingress/egress without materially degrading the service level on such street/access or any adjacent street/access;</p> <p>2. Whether the planned development and its location will create unusual pedestrian or vehicle traffic patterns or volumes that would not be expected, based on:</p> <p>a. Orientation of driveways and whether they direct traffic to major or local streets, and, if directed to local streets, the impact on the safety, purpose, and character of these streets;</p> <p>b. Parking area locations and size, and whether parking plans are likely to encourage street side parking for the planned development which will adversely impact the reasonable use of adjacent property;</p> <p>c. Hours of peak traffic to the proposed planned development and whether such traffic will unreasonably impair the use and enjoyment of adjacent property.</p> <p>3. Whether the internal circulation system of the proposed planned development will be designed to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic;</p> <p>4. Whether existing or proposed utility and public services will be adequate to support the proposed planned development at normal service levels and will be designed in a manner to avoid adverse impacts on adjacent land uses, public services, and utility resources;</p>	<p>Complies</p>	<p>1. 600 West is adequate to accommodate the amount of traffic generated by this proposal.</p> <p>2a. The orientation is to 600 West</p> <p>2b. parking is located within the structure. The development will provide 69 stalls.</p> <p>2c. The development will not create additional traffic that will impinge upon peak traffic</p> <p>3. Parking is entirely within the structure and is controlled by one entry. Public way improvement will be required to upgraded to better serve pedestrian needs</p> <p>4. Public Utilities (water, sewer) appear to be adequate, however the proposed development will be required to upgrade public way improvements; including the installation of curb, gutter, street lighting, street trees and possible new sidewalk, depending on final grades as determined by Transportation and Engineering.</p>
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<p>5. Whether appropriate buffering or other mitigation measures, such as, but not limited to, landscaping, setbacks, building location, sound attenuation, odor control, will be provided to protect adjacent land uses from excessive light, noise, odor and visual impacts and other unusual disturbances from trash collection, deliveries, and mechanical equipment resulting from the proposed planned development; and</p> <p>6. Whether the intensity, size, and scale of the proposed planned development is compatible with adjacent properties.</p> <p>If a proposed conditional use will result in new construction or substantial remodeling of a commercial or mixed used development, the design of the premises where the use will be located shall conform to the conditional building and site design review standards set forth in chapter 21A.59 of this title.</p>		<p>5. This is an urban development that generally fills the site. Service is internal to the structure. There is a four story trash chute that leads to a dumpster located within the structure on the parking level.</p> <p>6. Although the development is large with regard to size and scale, that is what is expected an encouraged by the master plan. There are other recent developments on the block that are larger than this project. The property is zoned for such scale and the master plan supports higher scale development than currently exists on the site. In fact, the applicant is not maximizing the height of this project and could propose an even larger project.</p>
<p>D. Landscaping: Existing mature vegetation on a given parcel for development shall be maintained. Additional or new landscaping shall be appropriate for the scale of the development, and shall primarily consist of drought tolerant species;</p>	<p>Complies</p>	<p>There is no existing vegetation located on the site. The new development will need to conform to City requirements regarding park strip landscaping. There is a small amount of space between the front property line and the façade that will need to be landscaped according to City code. There is also space north of the building, adjacent to a blank wall, which the developer is proposing to be used as a dog park for residents. This space also accommodates emergency exiting. This space would become more enclosed if the property to the north develops to the property line.</p>
<p>E. Preservation: The proposed planned development shall preserve any historical, architectural, and environmental features of the property;</p>	<p>Complies</p>	<p>There are no historic structures on the site.</p>
<p>F. Compliance With Other Applicable Regulations: The proposed planned development shall comply with any other applicable code or ordinance requirement.</p>	<p>Complies</p>	<p>Other than the specific resolution of the public way improvements and landscaping, the project appears to comply with all other applicable codes. Further compliance will be ensured during review of construction permits. The developer will need to consolidate lots prior to receiving a building permit.</p>

ATTACHMENT H: PUBLIC PROCESS AND COMMENTS

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project:

- Downtown Community Council November 16, 2016
- Open House December 15, 2016

Notice of the public hearing for the proposal included:

Public hearing notice mailed on December 28, 2016

Public hearing notice posted on December 28, 2016

Public notice posted on City and State websites and Planning Division list serve on December 28, 2016

Site posted December 30, 2016

Public Input:

This project was presented to the Downtown Community Council. The Council supported the project by consensus (no vote)

One comment was received at the open house requesting the developer to highlight the entry to the building.

ATTACHMENT I: DEPARTMENT REVIEW COMMENTS

Zoning – Greg Mikolash

- GMU Zone - Razing of three, warehouse buildings to construct 6-story apartment building with a bottom floor garage.
- Proposal involves combining of 4 parcels. Lot consolidation required to combine the parcels
- A demolition permit will be required for the removal of each existing building on each site (see 18.64 for demolition provisions). As part of the demolition application, the construction waste management provisions of 21A.36.250 apply.
- A Certified Address is to be obtained from the Engineering Dept. for use in the plan review and permit issuance process.
- This proposal will need to comply with the appropriate provisions of 21A.31.010 and .020 - Gateway zoning dist. lot, area, setback, height and bulk criteria.
This proposal will need to comply with any appropriate provisions of 21A.34 for overlay district requirements.
- This proposal will need to comply with any appropriate provisions of 21A.36 (If applicable) including a permanent recycling collection station and a waste management plan.
- This proposal will need to comply with any appropriate provisions of 21A.40 with respect to accessory structures/uses, and including ground mounted utility boxes.
- This proposal will need to comply with the provisions of 21A.44 for parking and maneuvering, with parking calculations provided that address the minimum parking required, maximum parking allowed, number provided, bicycle parking required/provided, electric vehicle parking required/provided, off-street loading required/provided and any method of reducing or increasing the parking requirement - the provisions of 21A.48 for landscaping - the provisions of 21A.58. To download the construction waste management plan handout, see <http://www.slcgov.com/slcgreen/constructiondemo>). Waste Management Plans should be filed by email to the Streets and Sanitation Division at constructionrecycling@slcgov.com and the approval documentation included in the new construction permit package

Engineering – Scott Weiler

C-200 The proposed curb & gutter alignment needs to be reviewed and approved by SLC Transportation as this will set the width for 600 West. The proposed location of curb & gutter conflicts with an existing storm drain cleanout box.

The proposed cut-back parking must be paved with concrete, not asphalt. The recommended pavement section for it is 8" concrete over 8" untreated base course unless no trucks will be parking in these stalls, in which case 6" of concrete is sufficient. The thickness for concrete to be required in the proposed drive approaches is also based on whether truck traffic will use them. The sidewalk at the drive approaches must match the thickness of the drive approach as shown on APWA Std. Plan 221.

Is there a reason to expect that the cut-back parking area will be extended south in the foreseeable future? If not, consideration should be given to enclosing its southern end with curb.

Please explain the intended purpose for the proposed loading berth that is shown to the north of the building. What is it for and how often will a vehicle be parked there?

Please specify APWA Std. Plan 251 for the asphalt needed to pave a tie-in of the existing asphalt pavement of 600 West to the new 600 West improvements. APWA 251 requires the asphalt thickness to be 1" more than the existing asphalt thickness.

C-300 The gutter along the east edge of the proposed cut-back parking must slope at 0.50% minimum. Please show the slope.

The sidewalk needs to be designed at an elevation higher than the proposed cut-back parking curb. The transition down to meet the grade of the existing sidewalk should occur south of the cut-back parking.

Please provide design elevations on the proposed curb cut assembly (sidewalk ramp) to meet ADA guidelines.

C-400 Please specify APWA Std. Plan 255 for the restoration of the asphalt above the proposed trenches in 600 West.

C-500 Please delete the details for Standard Asphalt Section and Concrete Pavement Section (see comments on C-200 above).

Transportation – Michael Barry

Doug,

Please read Scott's comment below. There is an issue on this block regarding the lack of public way improvements (curb & gutter, sidewalk, etc.). The situation is not necessarily disadvantageous to the city because the width of the city right of way is large enough (136'?) to accommodate a variety of options. The big question may be 'where does the curb & gutter go?' Transportation recommends a 3-lane section (one travel lane in each direction with a center turn lane) with bike lanes (minimum 6' width) on both sides; we are not necessarily opposed to perpendicular or angle parking, but approval would be pending upon site design review.

Please feel free to contact me if you have any questions.

Thank you,

From: Vaterlaus, Scott

Mike, please follow-up with our review comments on this one. 600 West does have angle parking against curbing on the blocks to the north and south of this so angle parking is doable. Feel free to discuss with me if you have questions. Thanks, Scott

ATTACHMENT J: MOTIONS

Potential Motions

Staff Recommendation: Based on the information in the staff report, public testimony, and discussion by the Planning Commission, I move that the Planning Commission approve the Planned Development request. In order to comply with the applicable standards, the following conditions of approval apply:

1. The applicant shall comply with all other Department/Division conditions attached to this staff report. Specifically: Public way improvements are to be installed, including curb, gutter, street lights and street trees, according to city standards, with the location of curb and gutter to be determined, street parking layout to be determined.
2. Final approval of signage, lighting, and landscaping to be delegated to Planning staff to ensure compliance with the CBSD and PD regulations.
3. All of the parcels must be combined into a single lot.
4. Final approval authority for the development shall be delegated to Planning staff based on the applicant's compliance with the standards and conditions of approval as noted within this staff report.
5. All other zoning regulation, not specifically altered by this planned development, shall apply.

Not Consistent with Staff Recommendation:

(Planned Development and Conditional Building and Site Design Review)

Based on the testimony, plans presented and the following findings, I move that the Planning Commission deny the Planned Development request due to the following standard(s) that are not being complied with:

(The Planning Commission shall make findings on the Planned Development and specifically state which standard or standards are not being complied with. Please see [attachments G](#) for applicable standards.)