



# MEMORANDUM

PLANNING DIVISION  
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Lauren Parisi, Associate Planner  
801-535-7226; [lauren.parisi@slcgov.com](mailto:lauren.parisi@slcgov.com)

Date: September 13, 2017

Re: Unfinished Business – PLNPCM2017-00222  
Special Exception for Hobby Shop at 1229 East 1700 South

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## **ACTION REQUIRED:**

This item regarding a Special Exception request for a hobby shop use (home office) on the second story of the applicant's existing detached garage was tabled at the July 12, 2017 Planning Commission meeting until the applicant was able to attend a meeting to discuss and clarify some project details. The Planning Commission has final decision making authority for Special Exceptions.

**RECOMMENDATION:** The applicant's proposal has not changed. Based on the findings listed in the July 12<sup>th</sup> staff report, it is Planning Staff's recommendation that the Planning Commission take additional testimony and approve the request for the hobby shop use as proposed with the following condition:

- The applicant must obtain a building permit to remove the windows on the north façade of the garage and install egress windows on the south façade before the hobby shop can be utilized.

**BACKGROUND/DISCUSSION:** AJ Waller, owner of the property at 1229 East 1700 South, is requesting approval for a hobby shop use (home office) to be located on the second story of his existing detached garage. Uses other than parking a vehicle or storage in an accessory structure require Special Exception approval for a "hobby shop." Hobby shops uses include, but are not limited to, home offices, art studios, exercise rooms, and dressing rooms adjacent to swimming pools. In general, hobby shops accommodate low-intensity uses that do not create a nuisance in single-family neighborhoods. A hobby shop cannot be used as an accessory dwelling unit or a commercial business.

This application was originally elevated to a Planning Commission hearing due to the number of comments/concerns heard from the surrounding neighbors upon sending out the first public notice. Four individuals spoke at the previous hearing with multiple concerns regarding the potential for the office space to become an apartment or accessory dwelling unit (ADU). The approval of a hobby shop does not authorize an ADU, defined as:

*"a complete housekeeping unit with a shared or separate entrance, and separate kitchen, sleeping area, closet space, and bathroom facilities."*

A hobby shop use does allow for bathroom facilities, but not a full housekeeping unit where someone can live and spend the night as described above. Per the current Accessory Dwelling Unit Ordinance, this garage space could not be converted into an ADU as the property is not within 1/2 mile of a TRAX or light rail stop. The applicant is also fully aware that the garage space cannot be converted into an ADU. Additionally, a hobby shop does not authorize a commercial office space where multiple customers could visit at one time.

Other questions came up at the public hearing regarding why the applicant is requesting a home office if he does not live at the property. The applicant has clarified that he does rent out the property when he and his wife are away on business, but would like the home office for his wife when they are in town. Renting out a single-family home for more than 30 days to no more than three unrelated people is permitted in Salt Lake City.

The garage was initially constructed without a building permit; however, building permit BLD2014-04375 was pulled and closed out since then and the garage is meeting zoning and building code standards. The building inspector who reviewed this project has also confirmed that the garage is no taller than 17 feet per the approved plans. One of the four Special Exception standards for a hobby shop indicates that if the accessory structure is located less than 10 feet from a property line, no windows can be located on the walls adjacent to these property lines. Therefore, as a condition of approval, the applicant will have to obtain a permit to remove the windows on the north façade and install egress windows on the south façade. A building permit will also need to be obtained to finish all of the second-level space.

Again, this Special Exception review is regarding the hobby shop *use* and not the physical structure/the garage itself. The approval or denial of this request should be based on the standards of review for hobby shops and general standards for Special Exceptions as listed in “Attachment E” of the July 12<sup>th</sup> staff report. As the applicant’s proposal has not changed, staff’s recommendation regarding hobby shop stands.

**Attachments:** July 12, 2017 Planning Commission Staff Report

**CC:** Planning Commission  
Nick Norris, Planning Director  
Michaela Oktay, Planning Manager  
Paul Nielson, City Attorney



# Staff Report

PLANNING DIVISION  
COMMUNITY & NEIGHBORHOODS

**To:** Salt Lake City Planning Commission

**From:** Lauren Parisi, Associate Planner  
801-535-7932, [lauren.parisi@slcgov.com](mailto:lauren.parisi@slcgov.com)

**Date:** July 12, 2017

**Re:** PLNPCM2017-00222 – Hobby Shop at 1229 E. 1700 S.

## Special Exception

**PROPERTY ADDRESS:** 1229 East 1700 South  
**PARCEL ID:** 16-17-279-016-0000  
**MASTER PLAN:** Central Community  
**ZONING DISTRICT:** R-1-5,000: Single-Family Residential

### REQUEST:

AJ Waller, owner of the property at 1229 East 1700 South, is requesting approval for a hobby shop use (home office) to be located on the second story of his existing detached garage. Uses other than parking a vehicle or storage in an accessory structure require Special Exception approval for a “hobby shop.” Hobby shops uses include, but are not limited to, home offices, art studios, exercise rooms, and dressing rooms adjacent to swimming pools. A hobby shop cannot be used as an accessory dwelling unit. The Planning Commission has final decision making authority for Special Exceptions.

### RECOMMENDATION:

Based on the findings listed in the staff report, it is the Planning Staff’s recommendation that the Planning Commission approve the request for the hobby shop use as proposed with one condition.

**Recommended Motion:** Based on the information contained in the staff report and comments received, I move that the Planning Commission approve Special Exception request PLNPCM2017-00222 for a hobby shop in the applicant’s detached garage at 1229 East 1700 South with the following condition:

1. The applicant must obtain a building permit to remove the windows on the north façade of the garage and install egress windows on the south façade before the hobby shop can be utilized.

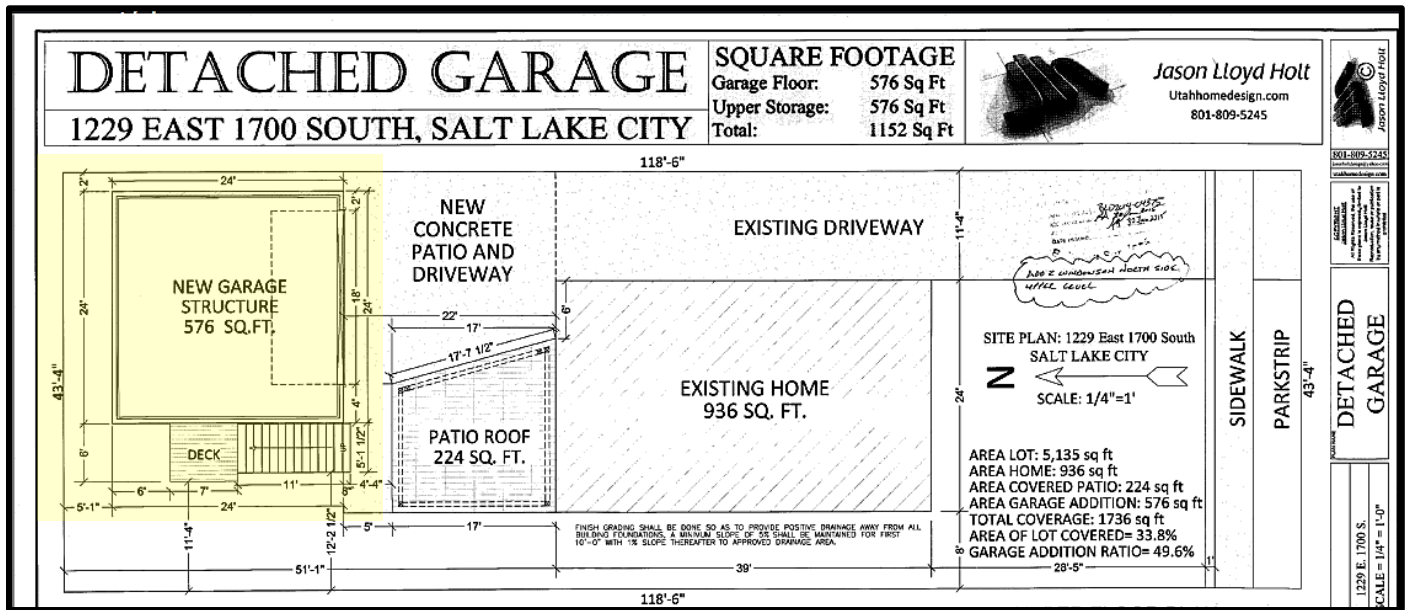
### ATTACHMENTS:

- A. Vicinity Maps
- B. Applicant Materials
- C. Site Photographs
- D. Zoning Standards
- E. Analysis of Standards
- F. Public Process and Comments
- G. Motions

**PROJECT DESCRIPTION:**

This is a Special Exception request to have a hobby shop, or more specifically a home office, in the second story of the applicant’s existing detached garage. Uses other than parking a vehicle or storage in an accessory structure require Special Exception approval for a “hobby shop.” Hobby shops uses include, but are not limited to, home offices, art studios, exercise rooms, and dressing rooms adjacent to swimming pools. A hobby shop cannot be used as an accessory dwelling unit where someone can permanently reside.

The subject garage has a footprint of approximately 576 square feet and is located in the northeast corner of the applicant’s rear yard about five feet from the rear/north property line and two feet from the interior/east property line (see site plan below). The garage has a pitched roof and is approximately 17 feet tall. The first floor of the garage is being used to park vehicles, while the second floor is currently empty. The applicant has explained the he would like to have an office on the second floor for his wife who works from home. Half of the upper level would be used for this office space and the other half would continue to be used for storage and a new bathroom (see “Attachment B” for floor plan details). Initially, the garage was constructed without a building permit; however, building permit BLD2014-04375 was pulled and closed out since then and the garage is meeting zoning and building code standards. Another building permit will need to be obtained to finish the second-level space.



Special Exceptions for hobby shop uses are subject to the standards listed in Chapter 21A.52.030(A)(4) as follows:

4. Hobby shop, art studio, exercise room or a dressing room adjacent to a swimming pool, or other similar uses in an accessory structure, subject to the following conditions:
  - a. The height of the accessory structure shall not exceed the height limit established by the underlying zoning district unless a special exception allowing additional height is allowed.
  - b. If an accessory building is located within ten feet (10') of a property line, no windows shall be allowed in the walls adjacent to the property lines.
  - c. If the accessory building is detached, it must be located in the rear yard.
  - d. The total covered area for an accessory building shall not exceed fifty percent (50%) of the building footprint of the principal structure, subject to all accessory building size limitations.

The existing accessory structure is not meeting letter “b.” of these Special Exception standards as there are two windows located on the second story of the rear/north garage wall. The applicant is aware that these windows will need to be removed and has updated his floor plans indicating their removal plus the addition of two egress windows on the front façade of the garage. A building permit will need to be pulled to remove these windows.

#### **KEY ISSUES:**

The key issues listed below have been identified through the analysis of the project.

#### **Issue 1: Planning referral to a Planning Commission Hearing**

Section 21A.52.040(5)(b) of the Salt Lake City Municipal Code states that: *“The planning director or the planning director's designee may refer any application to the Planning Commission due to the complexity of the application, the significance in change to the property or the surrounding area.”*

This application has been elevated to a Planning Commission hearing due to the number of comments/concerns heard from the surrounding neighbors. After the initial public notice was sent out, many concerns came in regarding the size of the accessory structure and the potential for an accessory dwelling unit in the future. However, the garage is meeting zoning and building code standards and was permitted. Additionally, this approval does not allow for an accessory dwelling unit, which the applicant is fully aware of. This Special Exception review is regarding the hobby shop use and not the physical structure. The approval or denial of this request should be based on the standards of review for hobby shops as listed in “Attachment E” of this staff report.

#### **Issue 2: Relocation of the Windows**

Again, one of the four Special Exception standards for a hobby shop indicates that if the accessory structure is located less than 10 feet from a property line, no windows can be located on the walls adjacent to these property lines. While there are no windows on the east façade of the garage, there are two existing windows on the north façade of the garage that is setback approximately 5 feet from the rear property line. The purpose of this standard is to maintain a level of privacy between neighbors. Therefore, as a condition of approval, the applicant will have to obtain a permit to remove the windows on the north façade and install egress windows on the south façade. The applicant is aware that the hobby shop cannot be utilized until a permit has been pulled and the windows are removed. He has also updated his plans to indicate their removal.

#### **Issue 3: Compatibility of the Structure and Hobby Shop Use**

While the garage may appear relatively large, it is meeting the R-1-5,000 zoning standards for accessory structures. It is subordinate to the principal structure and located in the rear yard where it is not highly visible from the street. There are other relatively large garages on the block face in terms of floor area. Hobby shop uses are meant to accommodate low intensity uses in accessory structures like a home office. Many property owners in single-family residential areas request approval for hobby shops. A commercial office involving frequent visitation from clients/customers, frequent deliveries, etc. is not permitted as a part of a hobby shop use. If for some reason the intensity of the home office increases or the space becomes an accessory dwelling unit, Salt Lake City’s Civil Enforcement Division can help to rectify this situation. In general, home offices are low intensity uses and should not be bothersome to neighbors.

#### **NEXT STEPS:**

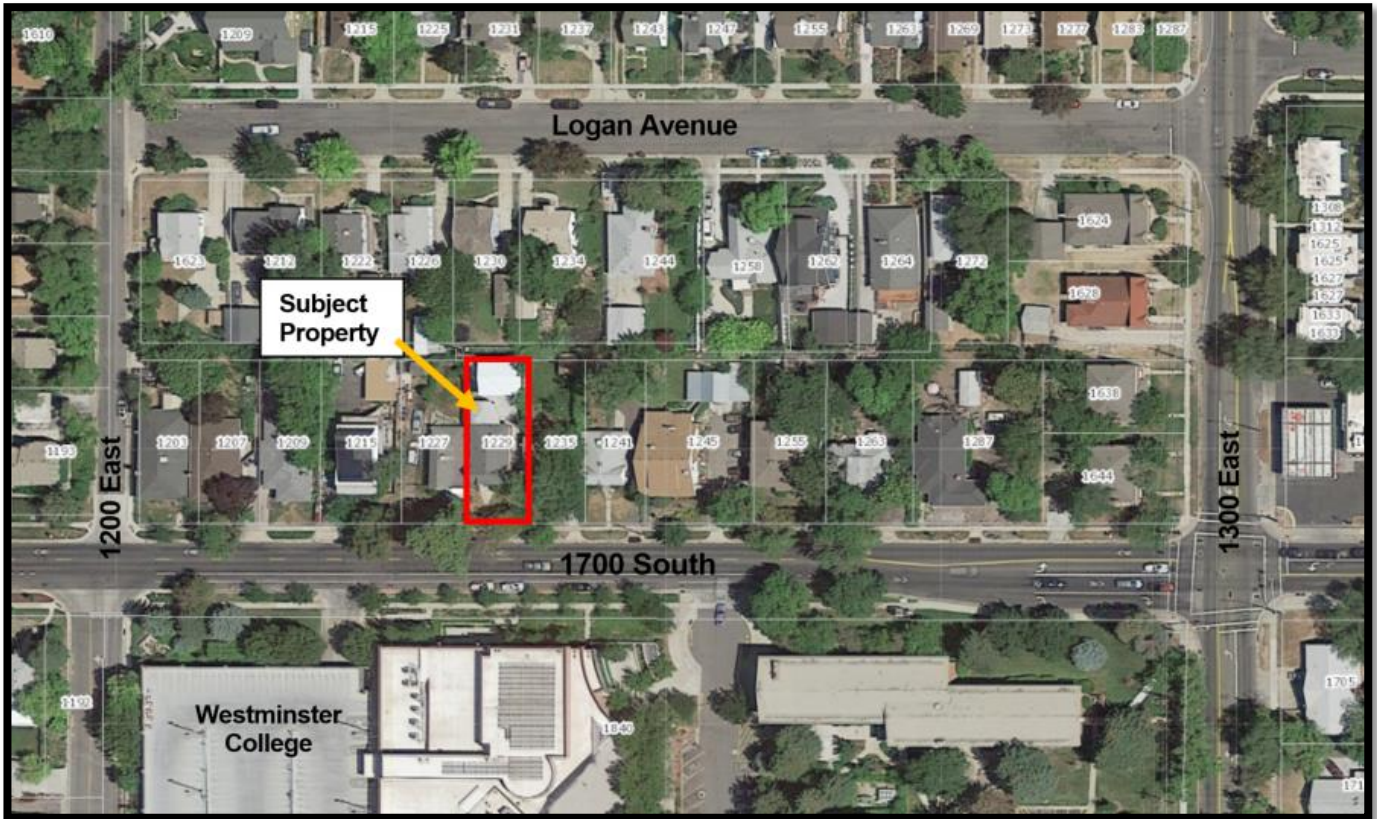
##### **Approved with Staff’s Recommendation**

If approved, the applicant will be able to apply for a building permit to finish the second-story space, which includes the installation of a bathroom, and use it as a home office.

##### **Denied**

If denied, the applicant will not be able to apply for a building permit to finish the second-story space and the structure will remain as is without an office.

# ATTACHMENT A: VICINITY



# **ATTACHMENT B: APPLICANT MATERIALS**



# Special Exception NOTICE OF APPLICATION

SALT LAKE CITY PLANNING

Planning Commission

Historic Landmark Commission

### OFFICE USE ONLY

Project #:	Received By:	Date Received:	Zoning:
PLANPC170017-00222	A. Anglin	3/23/17	R-1-5000
<del>1229 E 1700 S Workshop</del>			
Project Name:	Office in Garage		

### PLEASE PROVIDE THE FOLLOWING INFORMATION

Type of Special Exception Requested:  
Bathroom and permission to use as a workshop beyond just storage

Address of Subject Property:  
1229 E. 1700 S. Salt Lake City, UT 84105

Name of Applicant: A.J. Waller Phone: same

Address of Applicant: Residence is same. mailing is below

E-mail of Applicant: Cell/Fax:

Applicant's Interest in Subject Property:  
 Owner     Contractor     Architect     Other:

Name of Property Owner (if different from applicant):  
same

E-mail of Property Owner: same Phone: same

Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

### WHERE TO FILE THE COMPLETE APPLICATION

Mailing Address:	Planning Counter PO Box 145471 Salt Lake City, UT 84114	In Person:	Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
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### REQUIRED FEE

Filing fee of \$248, plus additional cost of postage for mailing notice to abutting property owners and tenants

### SIGNATURE

If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.



  
Signature of Owner or Agent:

3/  
Date:

**SUBMITTAL REQUIREMENTS**

Staff Review

**1. Project Description** (please attach additional sheet)

Written description of your proposal

**2. Minimum Plan Requirements**

One paper copy (24" x 36") of each plan and elevation drawing

A digital (PDF) copy of the each plan and elevation drawing

One 11 x 17 inch reduced copy of each plan and elevation drawing

**3. Site Plan**

Site plan (see *Site Plan Requirements* flyer for further details)

**4. Elevation Drawing** (if applicable)

Detailed elevation, sections and profile drawings with dimensions drawn to scale

Type of construction and list the primary exterior construction materials

Number, size, and type of dwelling units in each building, and the overall dwelling unit density

**AVAILABLE CONSULTATION**

Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

I would like to add a bathroom to the storage area on the second floor of my garage in order to be able to use it for other things like an art studio and an office because my wife works from home.

The original garage has been completed, inspected, and given "final approval" from the Salt Lake City building inspection department. Thus, permit BLD 2014-04375 is done and closed and all issues resolved to the city's satisfaction.

Updated 2/20/15



A DETACHED GARAGE RENOVATION FOR :

# 1229 EAST 1700 SOUTH

SALT LAKE CITY, UTAH

## INDEX OF DRAWINGS

T-1 - COVER / TITLE SHEET
A-1 - 1/4" FLOOR PLANS
A-2 - 1/4" BUILDING SECTIONS
A-3 - 1/4" ELECTRICAL PLANS
S0.1 - STRUCTURAL COVER SHEET
S0.2 - GENERAL STRUCTURAL NOTES
S1.1 - FLOOR & ROOF FRAMING PLANS
S5.1 - FRAMING SCHEDULES / DETAILS

A DETACHED GARAGE RENOVATION FOR :

# 1229 E 1700 S

SALT LAKE CITY, UTAH

THE DESIGN IDEAS, CONCEPTS, DETAILS, FLOOR PLANS, AND SHALL REMAIN THE EXCLUSIVE PROPERTY OF THE DESIGNER AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OF THESE DRAWINGS FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS STRICTLY PROHIBITED. THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THE DESIGNER'S INTENT AND SHALL BE USED AS SUCH. DRAWINGS ARE AVAILABLE FOR REVIEW AND REVISIONS ONLY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY THE DESIGNER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES AND CONDITIONS SHOWN ON THESE DRAWINGS.

ENGINEER :

DRISTRICT CONSULTANTS  
JOSEPH STUART  
PO BOX 1111  
WILLARD, UTAH 84340  
CELL: (435) 764-6851  
jstuart@drifstructural.com

DESIGNER :

MKB DESIGN, LLC  
MICAL BRACKEN  
PO BOX 682458  
PARK CITY, UT 84068  
CELL: (801) 803-2726  
mkbdesignllc@gmail.com

OWNER :

YING YING ZHANG  
PO BOX 522353  
SALT LAKE CITY, UT 84152  
PHONE: (801) 668-9095

JANUARY 31, 2017

REVISIONS

1	MAY 4, 2017
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## SQUARE FOOTAGE

LOCATION	SQUARE FOOTAGE
EXISTING GARAGE	576 SQ. FT.
EXISTING UPPER LEVEL	576 SQ. FT.
EXISTING TOTAL	1,152 SQ. FT.

## CODE ANALYSIS

UTAH STATE ADOPTED  
CODES AS OF JULY 1, 2016

- 2015 IBC - 2015 IFGC
- 2015 IRC - 2015 IFC
- 2015 IMC - 2015 IECC
- 2015 IPC - 2014 NEC

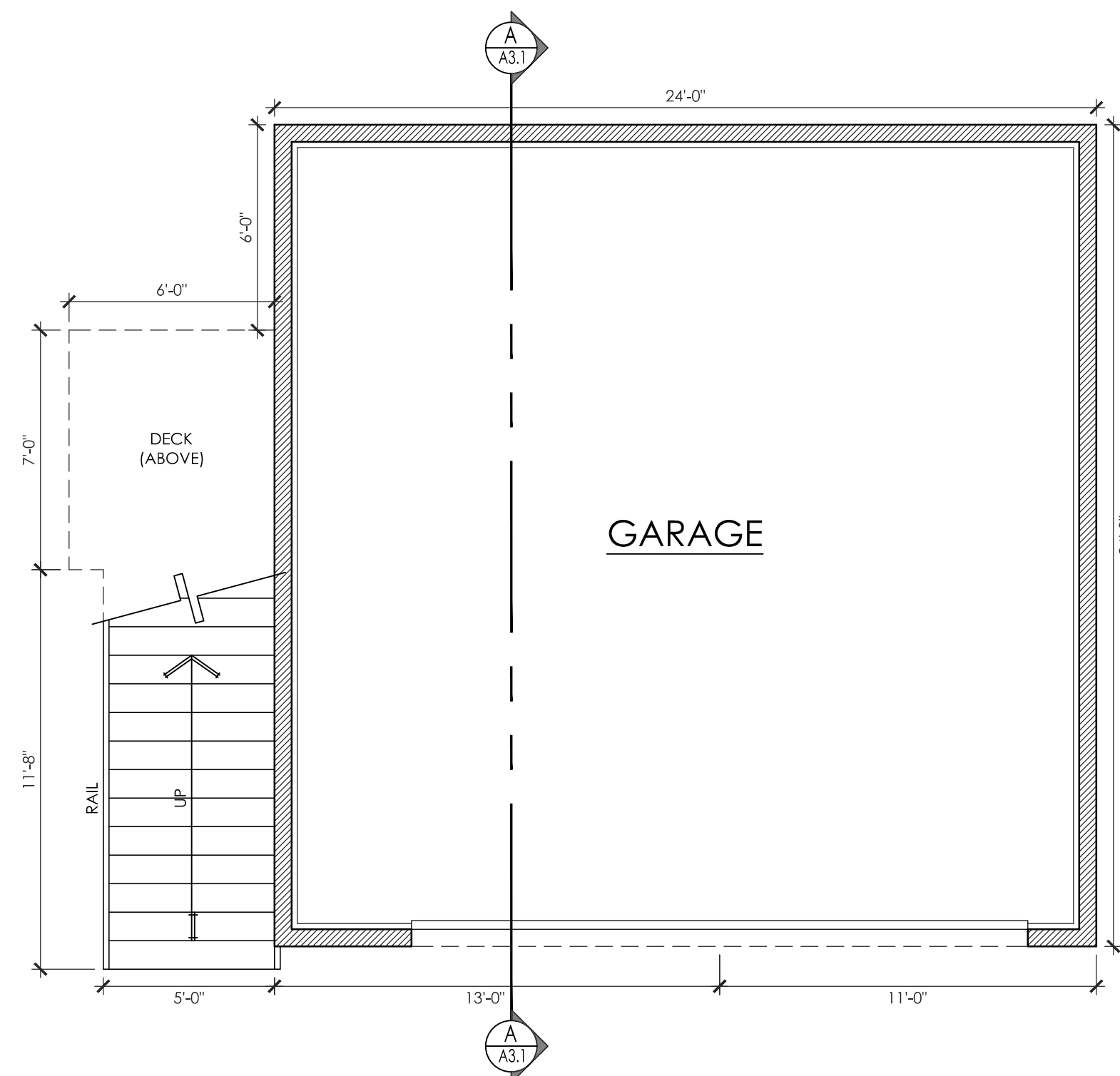
## GENERAL NOTES

25	WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.	13	ALL ELECTRICAL, MECHANICAL AND/OR PLUMBING WORK IS TO BE COMPLETED BY A LICENSED CONTRACTOR IN EACH RESPECTIVE FIELD, AND MUST COMPLY WITH LOCAL AND/OR NATIONAL STANDARDS, WHICHEVER IS MOST RESTRICTIVE.	1	GENERAL CONTRACTOR SHALL COMPLY WITH THE 2015 IRC.
26	ALL DIMENSIONS TO AND FROM NEW CONSTRUCTION WHEN SHOWN IN PLAN ARE TO FACE OF STUD, FACE OF MASONRY, CENTERLINE, UNLESS OTHERWISE NOTED.	14	GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER FOR ALL ELECTRICAL SWITCHES, SCHEMATIC WIRING, EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH ELECTRICAL CONTRACTOR, ELECTRICAL KEY NOTES, INTERNATIONAL BUILDING CODE AND RELATED CODES FOR INSTALLATION REQUIREMENTS.	2	GENERAL CONTRACTOR SHALL COMPLY WITH ALL UTAH STATE AMENDMENTS TO THE 2015 IRC.
27	ALL VERTICAL DIMENSIONS ARE TO FACE OF FINISH, FINISH FLOOR, UNLESS OTHERWISE NOTED.	15	GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER FOR ALL MECHANICAL AND PLUMBING EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH IBC AND RELATED CODES FOR INSTALLATION REQUIREMENTS.	3	GENERAL CONTRACTOR SHALL COMPLY WITH ALL OTHER NATIONAL, STATE, LOCAL AND RELATED CODES AND STANDARD CONSTRUCTION PRACTICES.
28	ALL REQUIRED EXITS SHALL BE OPERABLE FROM INSIDE, WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE.	16	GENERAL CONTRACTOR SHALL FOLLOW ALL MANUFACTURER SPECIFICATIONS FOR INSTALLATION OF FIXTURES, EQUIPMENT AND MATERIALS.	4	IN THE CASE OF ANY DISCREPANCY BETWEEN INFORMATION PRESENTED IN THESE CONSTRUCTION DOCUMENTS AND THE 2015 IRC, GUIDELINES AND/OR ESTABLISHED RESTRICTIONS, THE ESTABLISHED CODE, GUIDELINE OR ESTABLISHED RESTRICTION SHALL ALWAYS TAKE PRECEDENCE.
29	GLASS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIAL TO MEET STATE AND FEDERAL REQUIREMENTS.	17	GENERAL CONTRACTOR SHALL VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEMS OF WORK.	5	ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
30	GENERAL CONTRACTOR SHALL INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE SPECIFICATIONS AND IN CONFORMANCE WITH LOCAL FIRE MARSHAL REQUIREMENTS.	18	GENERAL CONTRACTOR SHALL COORDINATE AND INSTALL ALL REQUIRED SOLID BLOCKING FOR THE INSTALLATION OF FIXTURES, CABINETS, EQUIPMENT, FINISH HARDWARE, ETC.	6	GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, DIMENSIONS, CONNECTIONS, ETC. PRIOR TO CONSTRUCTION.
31	GENERAL CONTRACTOR SHALL VERIFY FIRE SPRINKLER REQUIREMENTS WITH IRC REGULATIONS, CITY OR COUNTY ORDINANCES, AND PROPERTY COVENANTS, IF REQUIRED. GENERAL CONTRACTOR SHALL FOLLOW ALL CODES OF THE INTERNATIONAL RESIDENTIAL CODE AND NFPA REGULATIONS.	19	GENERAL CONTRACTOR SHALL PROVIDE ENGINEERED TRUSS DRAWING BY THE TRUSS MANUFACTURER'S ENGINEER PRIOR TO INSTALL. DRAWINGS TO BE SIGNED BY A REGISTERED ENGINEER.	7	GENERAL CONTRACTOR SHALL COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUIT, WATER LINES, GAS LINES, DRAINAGE LINES, ETC.
32	SEALANT, CAULKING AND FLASHING, ETC., LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.	20	GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL MILLWORK, METAL WORK AND CUSTOM ITEMS.	8	GENERAL CONTRACTOR SHALL COMPLY WITH IRC CHAPTER FOUR FOR EXCAVATION, FILL CUTS AND GRADING, SPECIAL ATTENTION SHOULD BE MADE TO CUTS AT PROPERTY LINE.
33	ALL EXTERIOR DOORS AND WINDOWS SHALL BE WEATHER STRIPPED UNLESS OTHERWISE NOTED.	21	GENERAL CONTRACTOR SHALL PROVIDE ALL SEISMIC BRACING AND HOLD-DOWN CLIPS AS REQUIRED BY CODE FOR ALL SUSPENDED CEILING AND SOFFIT FRAMING CONDITIONS.	9	WHERE APPLICABLE, GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COMPLYING WITH REQUIREMENTS OF SOIL REPORT AS PREPARED BY GEOTECHNICAL ENGINEER.
34	ALL BALCONIES, LANDINGS, DECKS, AND SIMILAR SURFACES EXPOSED TO WEATHER SHALL HAVE APPROPRIATE MOISTURE-PROOFING AND SHALL SLOPE AWAY FROM STRUCTURE AT A MIN. OF 1/8" PER 12'.	22	GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL VALUE OR INTEGRITY OF THE BUILDING.	10	ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
35	ALL ROOF DECK PENETRATIONS AND EXTERIOR WALL OPENINGS SHALL BE GUARANTEED BY THE CONTRACTOR TO BE WATER TIGHT FOR A MINIMUM PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF ALL WORK.	23	GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING BUILDING AND SITE CONDITIONS TO REMAIN INCLUDING WALLS, CABINETS, FINISHES, TREES AND SHRUBS, PAVING, ETC.	11	GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF THE CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
36	GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRECT DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE JOB SITE.	24	INTERIOR WALLS ARE 2X4 OR 2X6 WOOD STUDS @ 16" O.C., UNLESS OTHERWISE NOTED AND ALL EXTERIOR WALL ARE 2X6 WOOD STUDS @ 16" O.C., UNLESS OTHERWISE NOTED.	12	GENERAL CONTRACTOR SHALL CLOSELY COORDINATE ALL TRADES TO EXPEDITE CONSTRUCTION AND ENFORCE THE HIGHEST QUALITY OF WORKMANSHIP OF THE INVOLVED TRADES.
37	GENERAL CONTRACTOR SHALL LEAVE PREMISES AND ALL AFFECTED AREAS CLEAN AND ORDERLY, READY FOR OCCUPANCY. THIS INCLUDES CLEANING OF ALL GLASS (INSIDE AND OUTSIDE) AND FRAMES, BOTH NEW AND EXISTING.				

# T-1

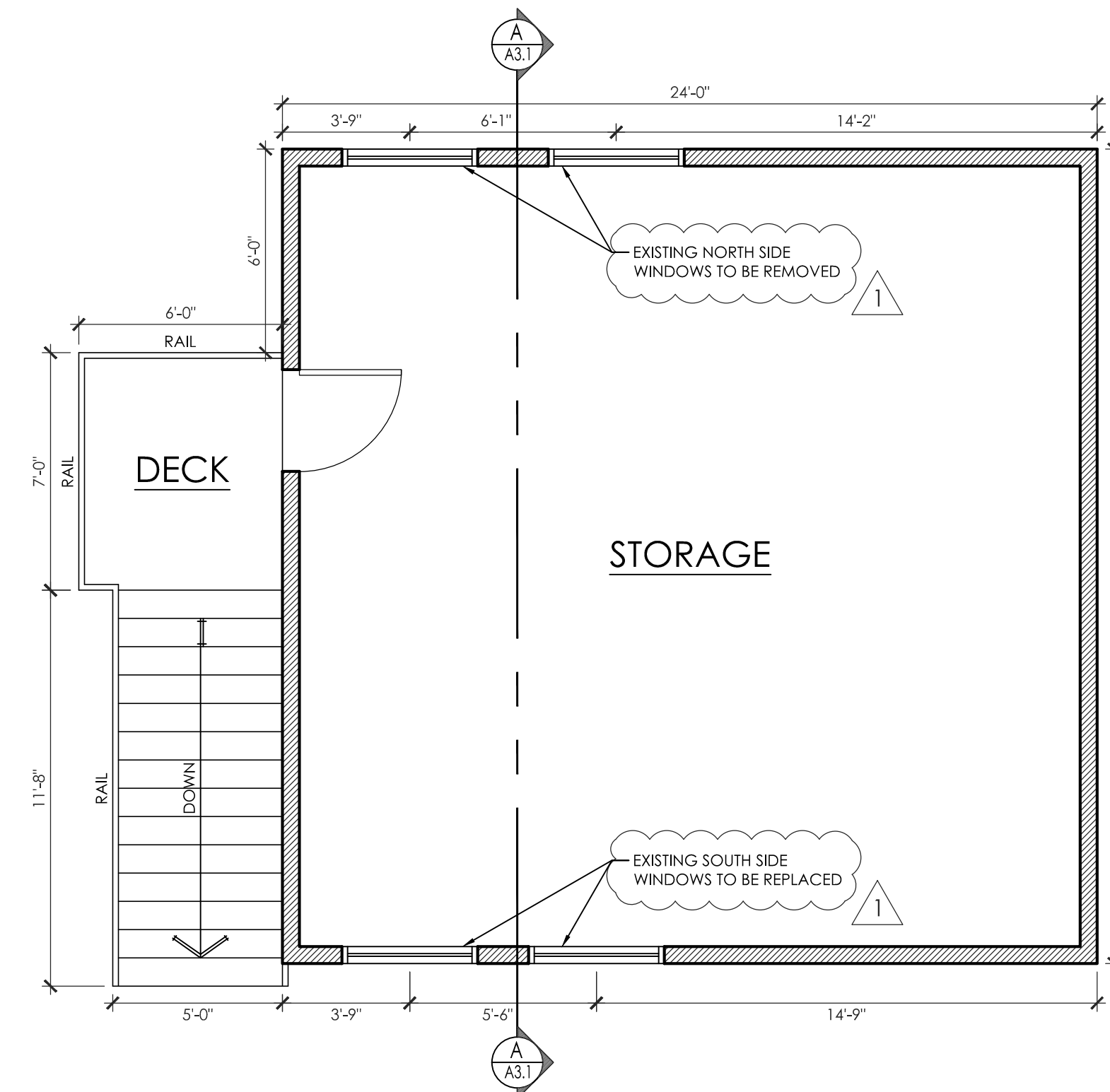
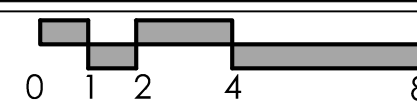
# FLOOR PLAN NOTES

1	GENERAL CONTRACTOR SHALL COMPLY WITH THE 2015 IRC.
2	GENERAL CONTRACTOR SHALL COMPLY WITH ALL UTAH STATE AMENDMENTS TO THE 2015 IRC.
3	GENERAL CONTRACTOR SHALL COMPLY WITH ALL OTHER NATIONAL, STATE, LOCAL AND RELATED CODES AND STANDARD CONSTRUCTION PRACTICES.
4	GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, DIMENSIONS, CONNECTIONS, ETC. PRIOR TO CONSTRUCTION.
5	GENERAL CONTRACTOR SHALL FOLLOW ALL MANUFACTURER SPECIFICATIONS FOR INSTALLATION OF FIXTURES, EQUIPMENT AND MATERIALS.
6	ALL BALCONIES, LANDINGS, DECKS, AND SIMILAR SURFACES EXPOSED TO WEATHER SHALL HAVE APPROPRIATE MOISTURE-PROOFING AND SHALL SLOPE AWAY FROM STRUCTURE AT A MIN. OF 1/8" PER 12".
7	GENERAL CONTRACTOR SHALL PROVIDE PROPER FLASHING AT ALL DOOR AND WINDOW CONDITIONS. EXTEND 60 MIL. SELF-ADHESIVE BITUMINOUS ICE AND WATER SHIELD, CONTINUOUS FROM EDGE OF EAVE TO A POINT 3'-0" IN FROM EXTERIOR WALL.
8	GENERAL CONTRACTOR SHALL PROTECT WOOD AGAINST DECAY AS NOTED AND REQUIRED BY CODE. WHERE PROTECTION IS REQUIRED, WOOD MUST BE APPROVED, TREATED, OR DECAY RESISTANT.
9	ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING LEDGERS AND FURRING WALLS MUST BE PRESERVATIVELY TREATED OR FOUNDATION-GRADE REDWOOD (IRC R319).
10	SUBSTRATE FOR WET AREAS SHALL BE MIN. 1/2" SCLUTER-KERDI-BOARD (OR EQUIVALENT) CONTINUOUS FROM FLOOR TO CEILING (IRC R702.4.2).
11	ALL INTERIOR NON-BEARING WALLS TO BE 2X4 FRAMING @ 16" O.C. WITH DOUBLE TOP AND BOTTOM PLATES. PROVIDE TREATED SOLE PLATE WHERE IN CONTACT WITH CONCRETE. PROVIDE 1/2" GYPSUM BOARD FINISH EACH SIDE. PROVIDE SOLID 2X MID SPAN BLOCKING IN WALLS EXCEEDING 10'-0".
12	PROVIDE 2X4 @ 16" O.C. FURR OUT FRAMING AT PERIMETER OF BASEMENT WALLS. PROVIDE PRESSURE TREATED SOLE PLATE WHERE IN CONTACT WITH CONCRETE. PROVIDE FIRE BLOCKING AT MID SPAN. HOLD FRAMING OUT FROM FOUNDATION WALL 1/2". PROVIDE INSULATION SYSTEM AS PER NOTES AND ENERGY CODE. PROVIDE 1/2" GYPSUM BOARD FINISH.
13	EXTERIOR WALLS AND BEARING WALLS SHALL BE 2X6 FRAMING @ 16" O.C. W/ 1/2" GYPSUM BOARD UNLESS OTHERWISE NOTED.
14	CEILING JOISTS FURR DOWN TO BE 2X4 FRAMING W/ 1/2" GYPSUM BOARD.
15	WALLS AND CEILING OF GARAGE SHALL HAVE A MIN. 5/8" TYPE 'X' GYPSUM BOARD. WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN THE EQUIVALENT PROTECTION OF ONE LAYER 5/8" TYPE 'X' GYPSUM BOARD (IRC 309).
16	WALLS AND SOFFIT ON UNDERSIDE OF STAIRS SHALL HAVE 5/8" TYPE 'X' GYPSUM BOARD IF USED AS ACCESSIBLE SPACE (IRC R314.8).
17	FRAME AROUND FIREPLACE FLUE W/ 5/8" TYPE 'X' GYPSUM BOARD ON 2X STUDS. PROVIDE REQUIRED MIN. 2" AIR SPACE CLEARANCE TO COMBUSTIBLES (IRC R1003.18).
18	PROVIDE FIRE BLOCKING IN ALL WALLS GREATER THAN 8'-0" HIGH.
19	ALL PLUMBING WALLS TO BE 2X6 FRAMING @ 16" O.C.
20	ALL MECHANICAL AND PLUMBING EQUIPMENT SHALL BE RAISED 18" ABOVE FINISHED FLOOR.
21	EACH WATER CLOSET SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30" IN WIDTH (15" MIN. FROM CENTER TO ANY OBSTRUCTION) AND HAVE A CLEAR SPACE IN FRONT OF NOT LESS THAN 21" (IRC R307.1).
22	WINDOW WELLS SHALL PROVIDE A MIN. NET CLEAR OPENING OF 9 SQ. FT. WITH A MIN. DIMENSION OF 36". PROVIDE A PERMANENT LADDER IF WINDOW WELL IS MORE THAN 44" DEEP (IRC R310.2).
23	STAIRWAY RISERS SHALL NOT EXCEED 7 3/4" AND TREADS SHALL NOT BE LESS THAN 10".
24	STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4-1/2" ON EITHER SIDE (IRC 314.1).
25	LANDINGS SHALL HAVE A MIN. DIMENSION MEASURED IN THE DIRECTION OF TRAVEL OF 36" (IRC R312.2).
26	THE MINIMUM HEADROOM IN ALL PARTS OF A STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM (IRC R314.3).
27	GENERAL CONTRACTOR SHALL ENSURE THAT ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND STAIRS, BALCONIES AND PORCHES MORE THAN 30" ABOVE GRADE SHALL BE PROTECTED BY A GUARDRAIL. GUARDRAILS SHALL NOT BE LESS THAN 36" IN HEIGHT AND SHALL NOT ALLOW PASSAGE OF A 4" SPHERE (IRC R312).
28	TOPS OF HANDRAILS SHALL BE PLACED NOT LESS THAN 34" AND NOT MORE THAN 38" ABOVE THE NOSING OF THE TREADS AND BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2-5/8" IN CROSS SECTIONAL DIMENSION. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL (IRC R315).
29	WHERE APPLICABLE, CRAWL SPACE VENTILATION SHALL BE A MINIMUM OF 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA. VENTS SHALL BE ARRANGED TO PROVIDE CROSS-VENTILATION ON AT LEAST TWO OPPOSING SIDES (IRC R408).
30	WHERE APPLICABLE, ACCESSIBLE BELOW-FLOOR AREAS SHALL BE PROVIDED WITH A MINIMUM 18" X 24" ACCESS OPENING (IRC R408.3).
31	GENERAL CONTRACTOR SHALL PROVIDE A MINIMUM 22" X 30" ATTIC ACCESS IN READILY ACCESSIBLE LOCATION (IRC R807).
32	ENCLOSED ATTICS AND SPACES BETWEEN RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACED VENTILATED. THE TOTAL VENTILATING AREA RATIO MAY BE REDUCED TO NOT LESS THAN 1/300 IF: (1) OPENINGS ARE PROVIDED IN THE UPPER AND LOWER PORTIONS OF THE VENTILATED SPACE, OR (2) A 1 PERM. VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF THE CEILING (IRC R806).
33	CEILINGS SHALL RECEIVE MIN. R-49 INSULATION. EXT. WALLS SHALL RECEIVE MIN. R-20 INSULATION. FLOORS SHALL RECEIVE MIN. R-30 INSULATION (IRC N1102). WHERE APPLICABLE, VENT CRAWL SPACE PER IRC R408.
34	GENERAL CONTRACTOR SHALL VERIFY ALL FINISHES WITH OWNER.
35	GENERAL CONTRACTOR SHALL VERIFY ALL DOOR AND WINDOW SIZES W/ OWNER PRIOR TO PURCHASE. ALL DOORS ARE TO BE SOLID CORE WOOD DOORS UNLESS OTHERWISE NOTED.



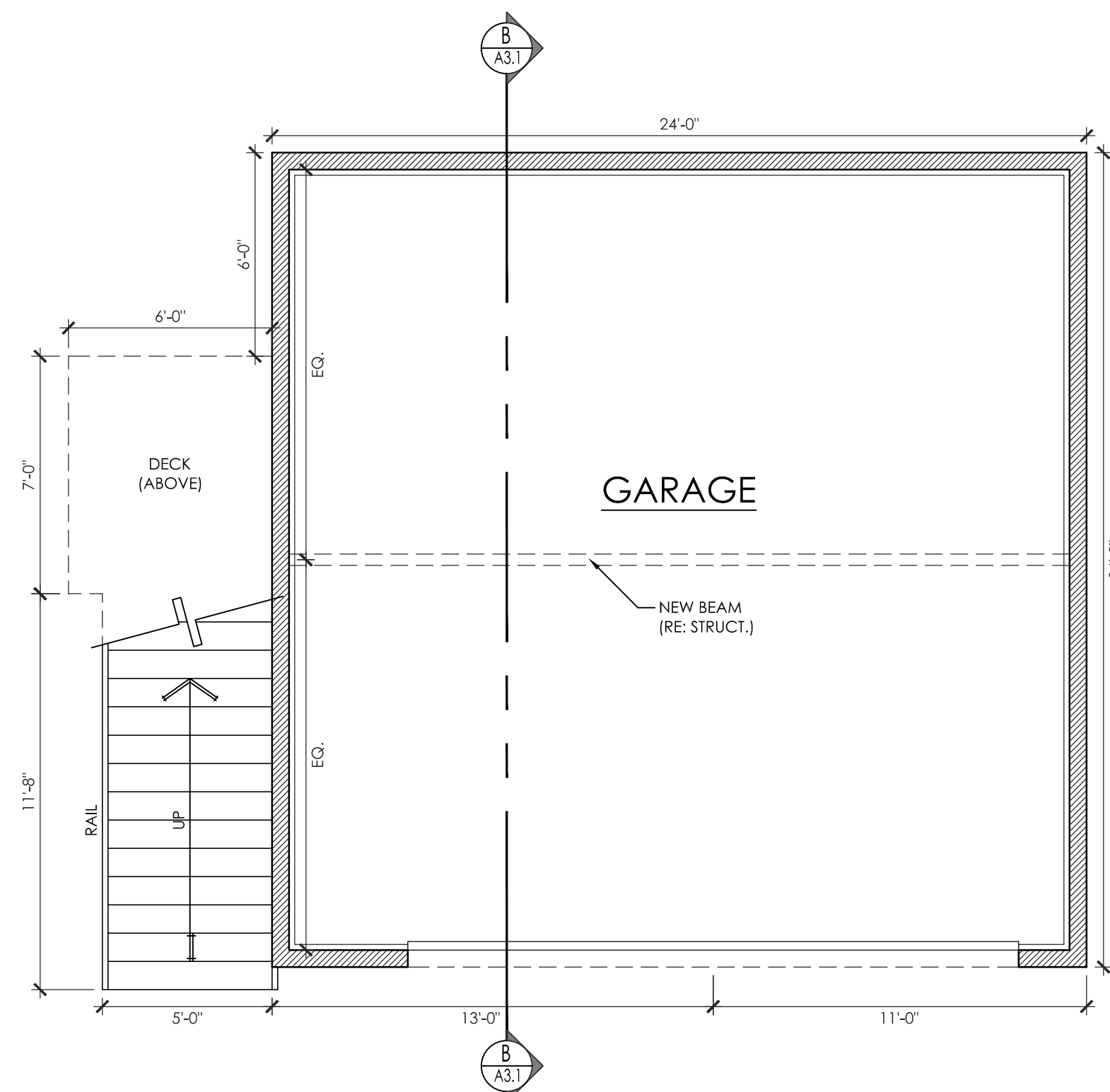
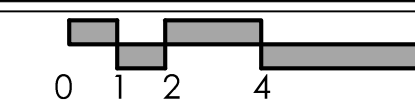
## EXISTING GARAGE LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"  
GARAGE: 576 SQ.FT.



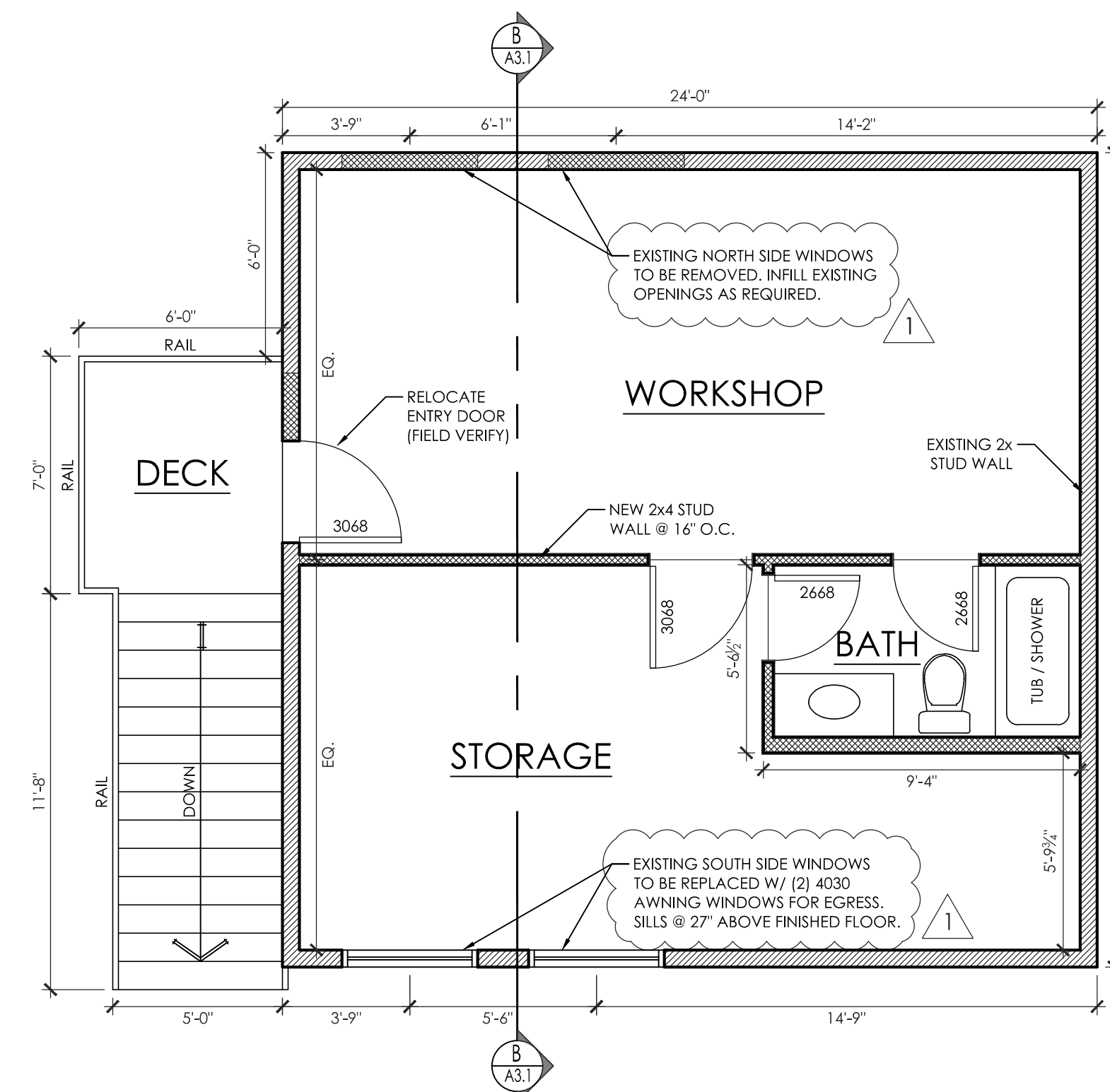
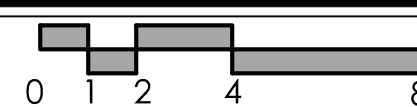
## EXISTING UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"  
UPPER LEVEL: 576 SQ.FT.



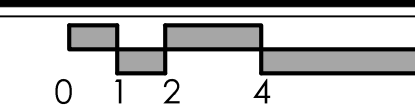
## PROPOSED GARAGE LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"  
GARAGE: 576 SQ.FT.



## PROPOSED UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"  
UPPER LEVEL: 576 SQ.FT.



A DETACHED GARAGE RENOVATION FOR :

**1229 E 1700 S**

SALT LAKE CITY, UTAH

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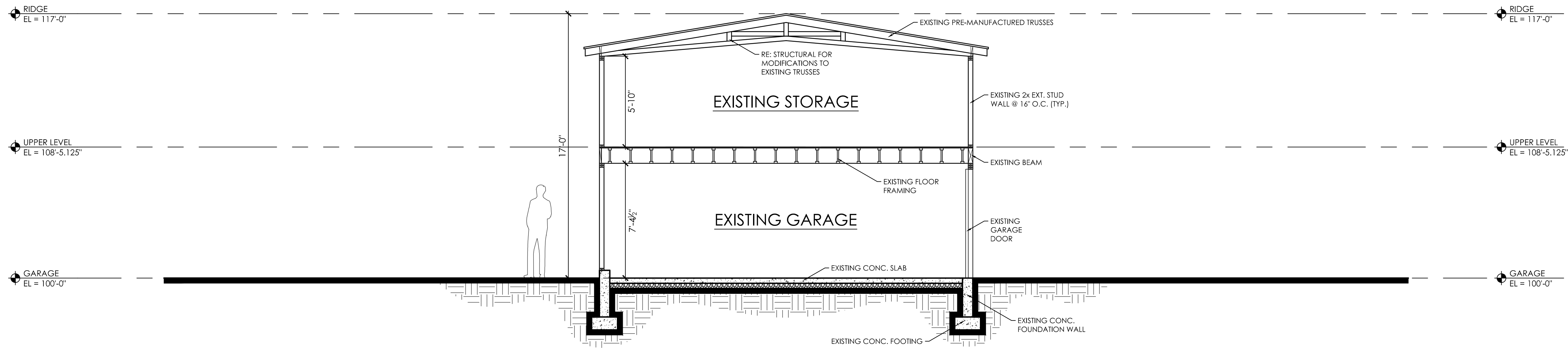
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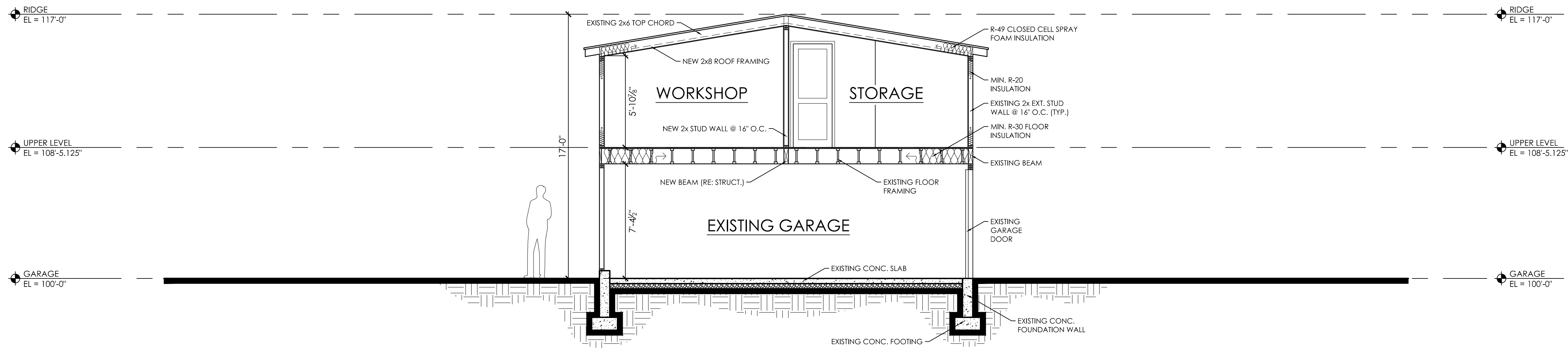
**A-1**

# SECTION NOTES

1	GENERAL CONTRACTOR SHALL COMPLY WITH THE 2015 IRC.
2	GENERAL CONTRACTOR SHALL COMPLY WITH ALL UTAH STATE AMENDMENTS TO THE 2015 IRC.
3	GENERAL CONTRACTOR SHALL COMPLY WITH ALL OTHER NATIONAL, STATE, LOCAL AND RELATED CODES AND STANDARD CONSTRUCTION PRACTICES.
4	GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, DIMENSIONS, CONNECTIONS, ETC. PRIOR TO CONSTRUCTION.
5	GENERAL CONTRACTOR SHALL FOLLOW ALL MANUFACTURER SPECIFICATIONS FOR INSTALLATION OF FIXTURES, EQUIPMENT AND MATERIALS.
6	ALL BALCONIES, LANDINGS, DECKS, AND SIMILAR SURFACES EXPOSED TO WEATHER SHALL HAVE APPROPRIATE MOISTURE-PROOFING AND SHALL SLOPE AWAY FROM STRUCTURE AT A MIN. OF 1/8" PER 12".
7	GENERAL CONTRACTOR SHALL ENSURE THAT EXISTING GRADE IS MODIFIED AS REQUIRED TO MAINTAIN CONTINUOUS DRAINAGE AWAY FROM STRUCTURE AT ALL POINTS TO A PUBLIC WAY TO ENSURE THAT NO DRAINAGE IS ALLOWED TO FLOW ONTO ANY ADJACENT PROPERTIES.
8	GENERAL CONTRACTOR SHALL ENSURE TOP OF FOUNDATION WALL IS MIN. 6" ABOVE ADJACENT FINISH GRADE.
9	GENERAL CONTRACTOR SHALL PROVIDE PROPER FLASHING AT ALL DOOR AND WINDOW CONDITIONS. INSTALL 60 MIL. SELF-ADHESIVE BITUMINOUS ICE AND WATER SHIELD CONTINUOUS AT ALL PERIMETER CONDITIONS MIN. 3'-0" IN FROM EXTERIOR WALL AT ALL VALLEYS AND RIDGE CONDITIONS AND AT ALL WALL / ROOF CONDITIONS. EXTEND UP WALL MIN. OF 3'-0".
10	GENERAL CONTRACTOR SHALL PROTECT WOOD AGAINST DECAY AS NOTED AND REQUIRED BY CODE. WHERE PROTECTION IS REQUIRED, WOOD MUST BE APPROVED, TREATED, OR DECAY RESISTANT.
11	ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING LEDGERS AND FURRING WALLS MUST BE PRESERVATIVELY TREATED OR FOUNDATION-GRADE REDWOOD (IRC R319).
12	SUBSTRATE FOR WET AREAS SHALL BE MIN. 1/2" SCLUTER-KERD-BEARD (OR EQUIVALENT) CONTINUOUS FROM FLOOR TO CEILING (IRC R702.4.2).
13	ALL INTERIOR NON-BEARING WALLS TO BE 2X4 FRAMING @ 16" O.C. WITH DOUBLE TOP AND BOTTOM PLATES. PROVIDE TREATED SOLE PLATE WHERE IN CONTACT WITH CONCRETE. PROVIDE 1/2" GYPSUM BOARD FINISH EACH SIDE. PROVIDE SOLID 2X MID SPAN BLOCKING IN WALLS EXCEEDING 10'-0".
14	PROVIDE 2X4 @ 16" O.C. FURR OUT FRAMING AT PERIMETER OF BASEMENT WALLS. PROVIDE PRESSURE TREATED SOLE PLATE WHERE IN CONTACT WITH CONCRETE. PROVIDE FIRE BLOCKINGS AT MID SPAN. HOLD FRAMING OUT FROM FOUNDATION WALL 1/2". PROVIDE INSULATION SYSTEM AS PER NOTES AND ENERGY CODE. PROVIDE 1/2" GYPSUM BOARD FINISH.
15	EXTERIOR WALLS AND BEARING WALLS SHALL BE 2X6 FRAMING @ 16" O.C. W/ 1/2" GYPSUM BOARD UNLESS OTHERWISE NOTED.
16	CEILING JOISTS FURR DOWN TO BE 2X4 FRAMING W/ 1/2" GYPSUM BOARD.
17	WALLS AND CEILING OF GARAGE SHALL HAVE A MIN. 5/8" TYPE 'X' GYPSUM BOARD. WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN THE EQUIVALENT PROTECTION OF ONE LAYER 5/8" TYPE 'X' GYPSUM BOARD (IRC 309).
18	WALLS AND SOFFIT ON UNDERSIDE OF STAIRS SHALL HAVE 5/8" TYPE 'X' GYPSUM BOARD IF USED AS ACCESSIBLE SPACE (IRC R314.8).
19	FRAME AROUND FIREPLACE FLUE W/ 5/8" TYPE 'X' GYPSUM BOARD ON 2X STUDS. PROVIDE REQUIRED MIN. 2" AIR SPACE CLEARANCE TO COMBUSTIBLES (IRC R1003.18).
20	WHERE APPLICABLE, GENERAL CONTRACTOR SHALL ENSURE SEALED DIRECT VENT FIREPLACE IN SLEEPING AREAS.
21	GENERAL CONTRACTOR SHALL PROVIDE BUILDING DEPARTMENT WITH LISTING (APPROVAL) NUMBER FOR EACH FIREPLACE INSERT AND SHOWER STEAMER PRIOR TO INSTALL.
22	PROVIDE FIRE BLOCKING IN ALL WALLS GREATER THAN 8'-0" HIGH.
23	ALL MECHANICAL AND PLUMBING EQUIPMENT SHALL BE RAISED 18" ABOVE FINISHED FLOOR. ALL PLUMBING WALLS TO BE 2X6 FRAMING @ 16" O.C.
24	STAIRWAY CONSTRUCTION TO BE MIN. (3) 2x12 STRINGERS W/ 3/4" STAIR TREAD. STAIRWAY RISERS SHALL NOT EXCEED 7 3/4" AND TREADS SHALL NOT BE LESS THAN 10".
25	STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4-1/2" ON EITHER SIDE (IRC 314.1).
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31	WHERE APPLICABLE, ACCESSIBLE BELOW-FLOOR AREAS SHALL BE PROVIDED WITH A MINIMUM 18" X 24" ACCESS OPENING (IRC R408.3).
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34	PROVIDE CONTINUOUS 1 1/2" DIAMETER HOLES AT EACH BLOCKING TO ENSURE FREE TRANSLATION OF AIR FROM SOFFIT/EAVE VENT THROUGH BLOCKING AND TO 1" AIR SPACE ABOVE BATT INSULATION.
35	CEILINGS SHALL RECEIVE MIN. R-49 INSULATION. EXT. WALLS SHALL RECEIVE MIN. R-20 INSULATION. FLOORS SHALL RECEIVE MIN. R-30 INSULATION (IRC N102). WHERE APPLICABLE, VENT CRAWL SPACE PER IRC R408.
36	GENERAL CONTRACTOR SHALL VERIFY ALL DOOR AND WINDOW SIZES W/ OWNER PRIOR TO PURCHASE. ALL DOORS ARE TO BE SOLID CORE WOOD DOORS UNLESS OTHERWISE NOTED.
37	GENERAL CONTRACTOR SHALL VERIFY ALL FINISHES WITH OWNER. GENERAL CONTRACTOR SHALL VERIFY FRAMED OPENINGS AT ALL DOORS AND WINDOWS WITH OWNER PRIOR TO INSTALLATION.
38	GENERAL CONTRACTOR SHALL PROVIDE STANDING SEAM METAL ROOF. VERIFY W/ OWNER PRIOR TO PURCHASE / INSTALLATION.
39	WHERE APPLICABLE, GENERAL CONTRACTOR SHALL PROVIDE 4" CONCRETE SLAB OVER 4" WASHED GRAVEL BASE OVER 6 MIL. POLY.
40	WHERE APPLICABLE, SPECIAL INSPECTION REQUIRED FOR ALL STUCCO SYSTEMS.



**A** EXISTING BUILDING SECTION  
SCALE: 1/4" = 1'-0"



**B** PROPOSED BUILDING SECTION  
SCALE: 1/4" = 1'-0"

A DETACHED GARAGE RENOVATION FOR :  
**1229 E 1700 S**  
SALT LAKE CITY, UTAH

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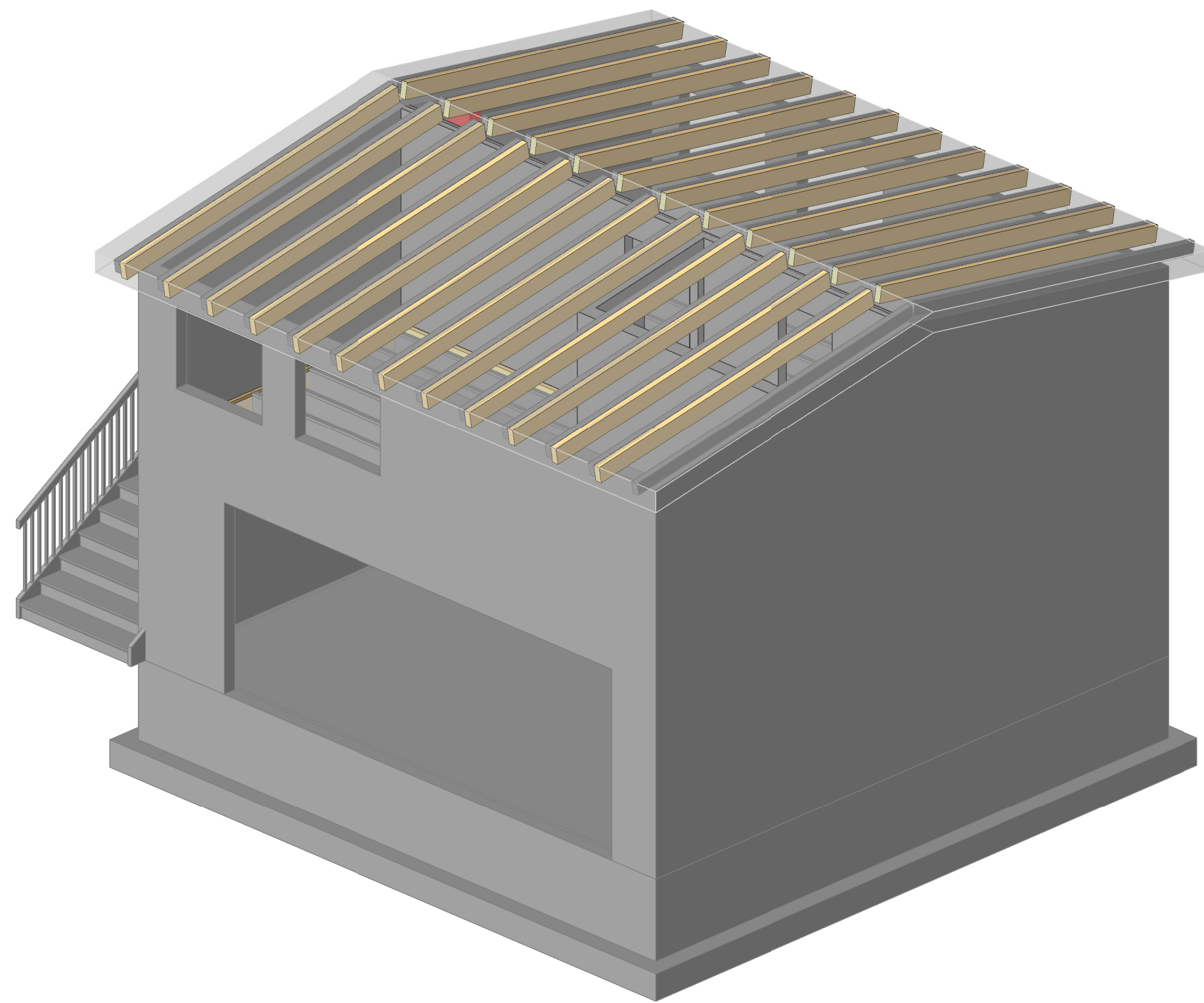
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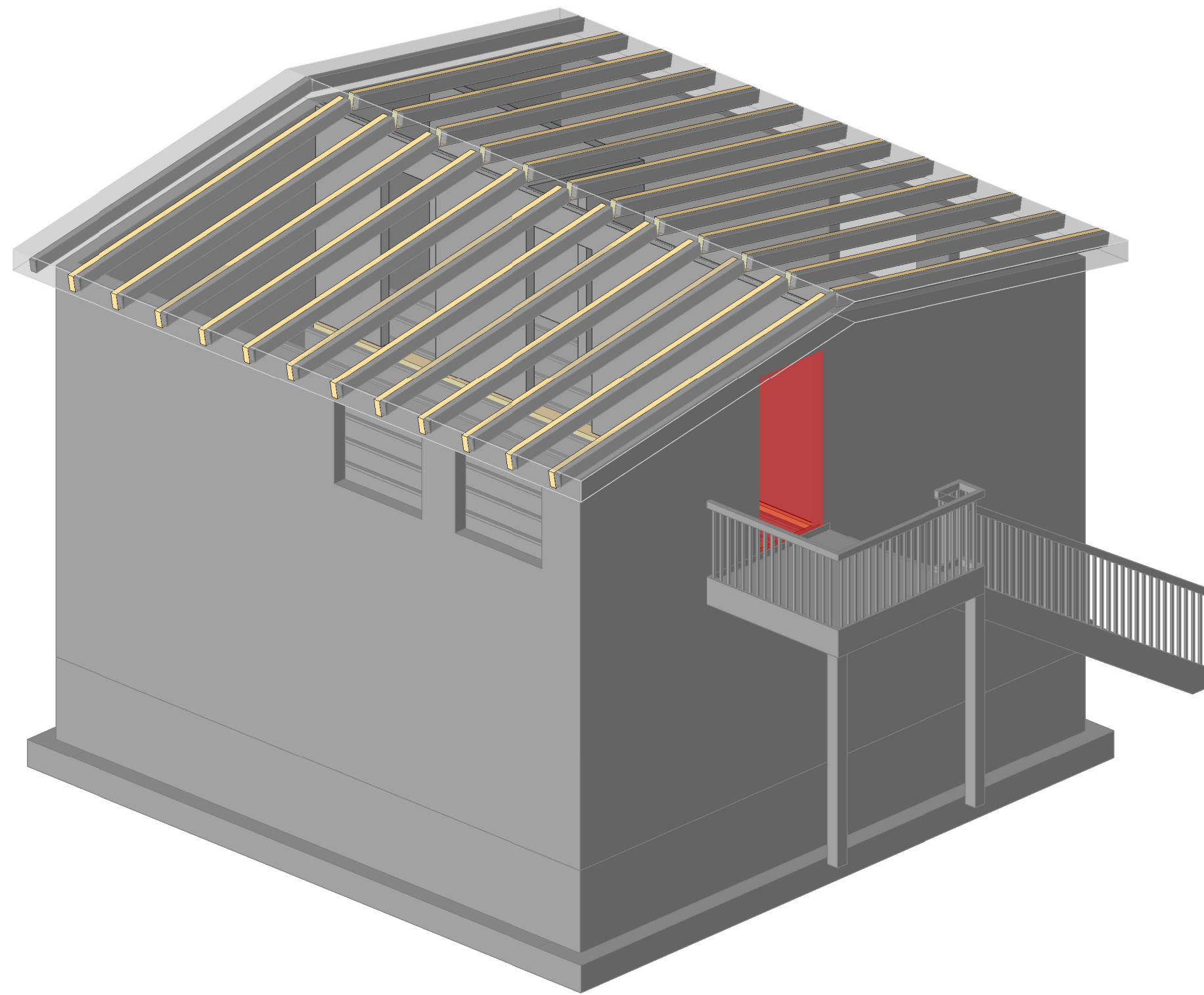


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 GARAGE RENOVATION  
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FRONT VIEW 3D  
SCALE: NONE

1  
S0.1



REAR VIEW 3D  
SCALE: NONE

2  
S0.1

NOTE:  
SEE GSN FOR MODEL NOTES

STRUCTURAL ABBREVIATIONS

@ AB ABV ACI  A/E AEC  AESS  ASCE  ADD ADDUM AISC  ALT APPLIC APPROX ARCH ASTM  BLOCK BLDG BLW BM BN BTM BRG BRK C CALC CANT CD  CE CJ CJP  CL CLR CMU CO COL COMPR CONC CONF CONSTR CONT CONTR COORD CTR d DB DBL DBA DBE DEFL DEG DTL DIA DIAG DIM DI DN DR DRL DWG DWL E EA EF EJ  EL ELEC ELEV. E.N. EQP ENGR EQUIP ESR  EQ. EW EXT. (E)EXIST. (F) FD FFE FG FLR FLEX FND FP FS FRMG FT FTG FV GA GALV GLB GR GSN GYP HB HD HGR HORZ HSA HSS  HT I IBC  IF ICBO  ICC  ID IEBC  IN INT IRC  JBE JT K/KIP KLF L LAT LBS LF LFRS	AT ANCHOR BOLT LONG LEG HORIZ LONG LEG VERT. LN LPNT LT LSL LSLT LVL  LWC MAS MAX MB MCJ MECH MEP  MEZZ MFR MIN MISC MOD MONOLITHIC MSJC  MTL N (N) NA NGVD  NIC NS NTS NWC OAE OC OD OF OPNG OPP OSB OWSJ  OWWJ PARFL PCF PEN PER PERP PJP  PL PLF PLUM PMB  PNL PNT PSF PSI POST QA QC QTY RAD RD (RE) RECTANGULAR REINFC REQD RET REV RF RFI  RHS RST RTU SCHED SDS SECT SER SF SINGL SHT/ SHEATH SI SIM SIS SL SOG SPA SPEC SQ SS SSLT STAG STIFF STIRRUP STD STL STRUC  SV SYM T&B T&G TEMP THDS THRU T. T.O.B. T.O.C. T.O.D. T.O.F. T.O.G. T.O.M. T.O.P. T.O.S. T.O.W. TS TYP TWS U.N.O.  VERT VOL W/ WF W/O WL WP WT WWF XB XFL XXS (#)	LHS LL LLH LLV LN LPNT LT LSL LSLT LVL  LWC MAS MAX MB MCJ MECH MEP  MEZZ MFR MIN MISC MOD MONOLITHIC MSJC  MTL N (N) NA NGVD  NIC NS NTS NWC OAE OC OD OF OPNG OPP OSB OWSJ  OWWJ PARFL PCF PEN PER PERP PJP  PL PLF PLUM PMB  PNL PNT PSF PSI POST QA QC QTY RAD RD (RE) RECTANGULAR REINFC REQD RET REV RF RFI  RHS RST RTU SCHED SDS SECT SER SF SINGL SHT/ SHEATH SI SIM SIS SL SOG SPA SPEC SQ SS SSLT STAG STIFF STIRRUP STD STL STRUC  SV SYM T&B T&G TEMP THDS THRU T. T.O.B. T.O.C. T.O.D. T.O.F. T.O.G. T.O.M. T.O.P. T.O.S. T.O.W. TS TYP TWS U.N.O.  VERT VOL W/ WF W/O WL WP WT WWF XB XFL XXS (#)	LEFT HAND SIDE LIVE LOAD (ASD, UNO) LONG LEG HORIZ. LONG LEG VERT. LINE LOW POINT LIGHT LAMINATED STRAND LUMBER LONG SLOTTED LAMINATED VANEER LUMBER LIGHT WEIGHT CONCRETE MASONRY MAXIMUM MACHINE BOLT MASONRY CONTROL JOINT MECH MECHANICAL ELECTRICAL, PLUMBING MEZZANINE MANUFACTURER MINIMUM MISCELLANEOUS MODULUS MONOLITHIC MASONRY STANDARDS JOINT COMMITTEE METAL NUMBER (N) NOT APPLICABLE NATIONAL GEOGRAPHIC VERTICAL DATE NOT IN CONTRACT/SCOPE NEAR SIDE NOT TO SCALE NORMAL WEIGHT CONCRETE OR APPROVED EQUAL ON CENTER SPACING OUTSIDE DIA. OUTSIDE FACE OPENING OPPOSITE/ OPP. HAND ORIENTED STRAND BOARD OPEN WEBBED STEEL JOIST OPEN WEBBED WOOD JOIST PARALLEL POUNDS PER CUBIC FOOT PENETRATOR PERIODIC PERPENDICULAR PARTIAL JOINT PENETRATION PLATE PER LINEAR FOOT PLUMBING PREMANUFACTURED METAL BUILDING PANEL POINT LBS. PER SQUARE FOOT LBS. PER SQUARE INCH POST TENSIONED QUALITY ASSURANCE QUALITY CONTROL QUANTITY RADIUS ROOF DRAIN REMOVE EXIST. RECTANGULAR REINFORCING/REINFORCED REQUIRED RETAINING REVISION/REVISED ROOF RFI REQUEST FOR INFORMATION RIGHT HAND SIDE ROUGH SAWN TIMBER ROOF TOP UNIT SCHEDULE SELF DRILLING SCREWS SECTION STRUC. ENGR. OF RECORD SQUARE FOOT (FEET) SINGLE SHEET SHEATHING/SHEETING SPECIAL INSPECTION SIMILAR SISTERED SNOW LOAD SLAB ON GRADE SPACING SPECIFICATION SQUARE STAINLESS STEEL SHORT SLOTTED STAGGERED STIFFENER STIRRUP STANDARD STEEL STRUCTURE STRUCTURAL SLOPE VARIES SYMMETRIC TOP & BOTTOM TONGUE & GROOVE TEMPERATURE THREADS THROUGH TOTAL LOAD (ASD, UNO) TOP OF (elevation) TOP OF BEAM TOP OF CONCRETE TOP OF DECK TOP OF FTG TOP OF GIRDER TOP OF MASONRY TOP OF PARAPET TOP OF STL TOP OF WALL TUBE STEEL TYPICAL THREADED WELDED STUD UNLESS NOTED TUBE STEEL VERTICAL VOLUME WITH WIDE FLANGE WITHOUT WIND LOAD WORK POINT WEIGHT WELDED WIRE FABRIC CROSS BRACE EXTRA FOOT DOUBLE EXTRA STRONG NUMERICAL QUANTITY
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**LEGEND OF SYMBOLS**

SECTION MARK SHEET NUMBER LEVEL NAME ELEV. FTG. MARK TOP OF FTG. ELEV. FTG. STEP WD. SHEAR WALL DEPRESSED FDN. WALL W/ POUR-OVER SLAB STEP IN SLAB / CHANGE IN ELEVATION COL. SIZE PIER / BASE PL. MARK OPENING	SEISMIC STRAP SYSTEMS & COMP. WHICH ARE PART OF THE LFRS AND HAVE ADD. REQ'D SPEC. INSP. CONSIDERATIONS. SHEAR WALL-SEE SCHED. MIN. LENGTH OF SHEAR WALL-SEE ARCH. TYP. HD = SIMPSON HDU2 W/ (2) 2x END POST - SEE TYP. DTL'S TYPICAL CONFIGURATION OF HD. HDU - SIMPSON HOLD DOWN TYPE & SIZE. POST - SIZE OF END POST CONNECTED TO HOLD DOWN ((2) 2x MIN.). WOOD BEAM HAND/GUARD RAIL NEW CONC WALL OVERBUILD
---	--

**OWNER CERTIFICATION**

I CERTIFY THAT I HAVE READ THE NOTES ON THESE DRAWINGS AND THAT I UNDERSTAND MY ROLE AND RESPONSIBILITY IN THE CONSTRUCTION PROCESS, PARTICULARLY RELATED TO STRUCTURAL OBSERVATIONS.

OWNER SIGNATURE \_\_\_\_\_

OWNER NAME PRINTED \_\_\_\_\_

COMPANY NAME (IF APPLIC.)/DATE \_\_\_\_\_

**CONTRACTOR CERTIFICATION**

I CERTIFY THAT I HAVE READ THE NOTES ON THESE DRAWINGS AND THAT I UNDERSTAND MY ROLE AND RESPONSIBILITY IN THE CONSTRUCTION PROCESS, PARTICULARLY RELATED TO:

- STRUCTURAL OBSERVATIONS.
- SPECIAL INSPECTIONS
- MEANS & METHODS
- DEFERRED SUBMITTALS
- SUBMITTALS

ANY DISCREPANCY FOUND HAS BEEN BROUGHT TO THE ATTENTION OF THE E.O.R. AND/OR ARCHITECT.

CONTRACTOR SIGNATURE \_\_\_\_\_

CONTRACTOR NAME PRINTED \_\_\_\_\_

COMPANY NAME (IF APPLIC.)/DATE \_\_\_\_\_

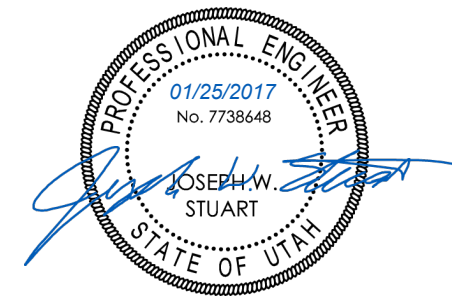
**PLAN MARKS**

BF# BRACED FRAME	GB# GRADE BEAM
BM# BEAM	LS# LAT. STRAP
CB# CONCRETE BEAM	LP# LAT. PLATE
CC# CONCRETE COLUMN	MC# MASONRY COLUMN
CJ# CONC. JOIST	MF# MOMENT FRAME
CL# CONC. LINTEL	MJ# MASONRY JAMB
CP# CONC. PIER	ML# MASONRY LINTEL
CS# CONC. SLAB	MP# MASONRY PIER
CW# CONC. WALL	MW# MASONRY WALL
DP# DRILLED PIER	RW# RETAINING WALL
FC# CONTINUOUS FTG.	BP# BASE PLATE
FM# MAT FTG.	SC# STL. COLUMN
FR# RECT. FTG.	SW# SHEAR WALL
FS# SQUARE FTG.	PB# PANEL BLOCK
FT# THICKENED SLAB FTG.	PL# STEEL CAP PLATE
FW# FND. WALL	WD# WOOD DIAPHRAGM

**STRUCTURAL SHEET INDEX**

SHEET #	SHEET NAME	REV. #	REV. DATE
S0.1	COVER SHEET		
S0.2	GENERAL STRUCTURAL NOTES		
S1.1	FLOOR & ROOF FRAMING PLANS		
SS.1	FRAMING SCHEDULES/DETAILS		

**DR I**  
Structural Consultants



**GARAGE RENOVATION**  
YING YING ZHANG  
1229 EAST 1700 SOUTH  
SALT LAKE CITY, UTAH 84105

Rev. #	Rev. Date	Rev. Desc.

Project No. 116179  
Engineer JWS  
Drawn By TTV  
Checked By JWS  
Date 01/25/2017

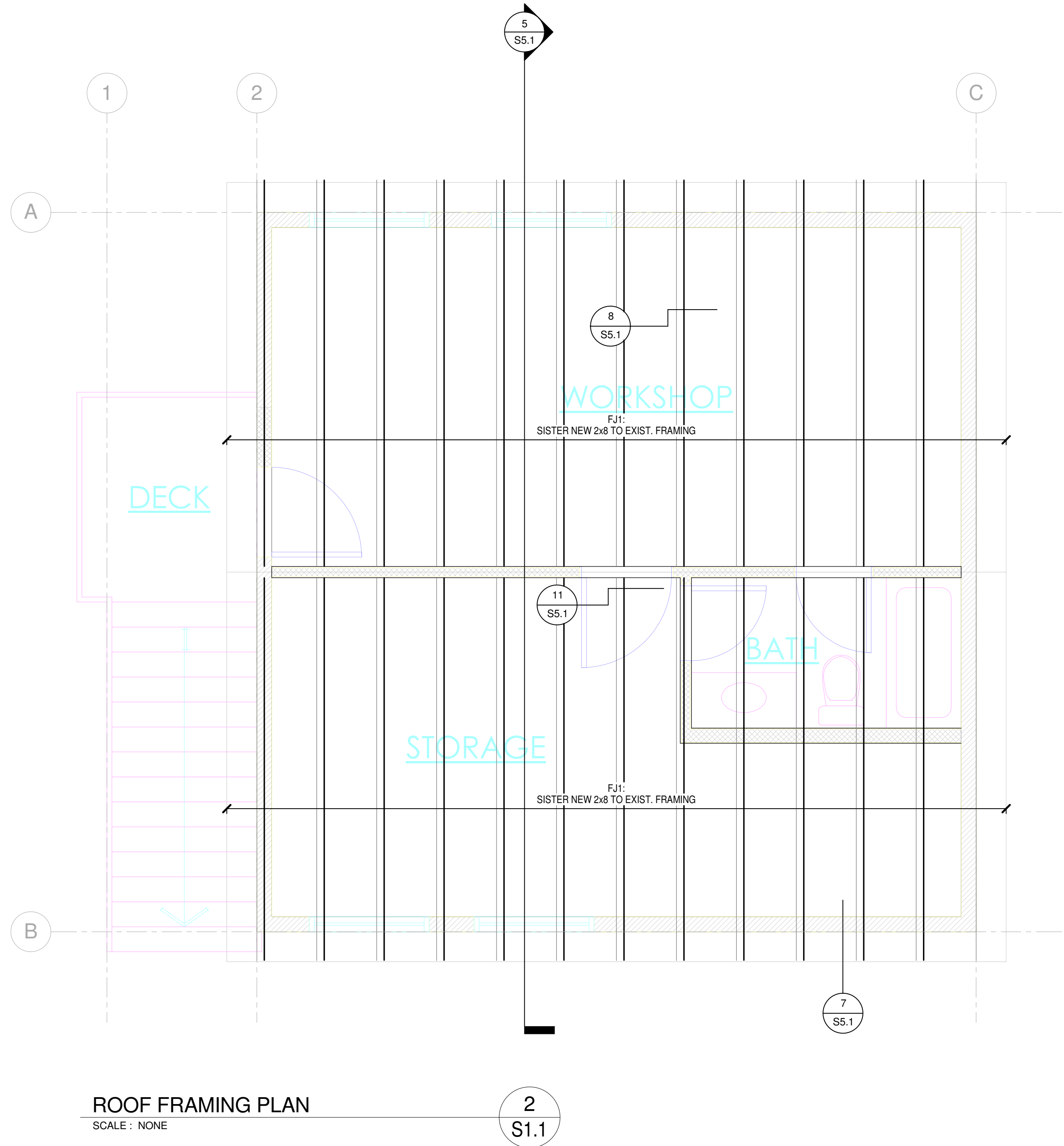
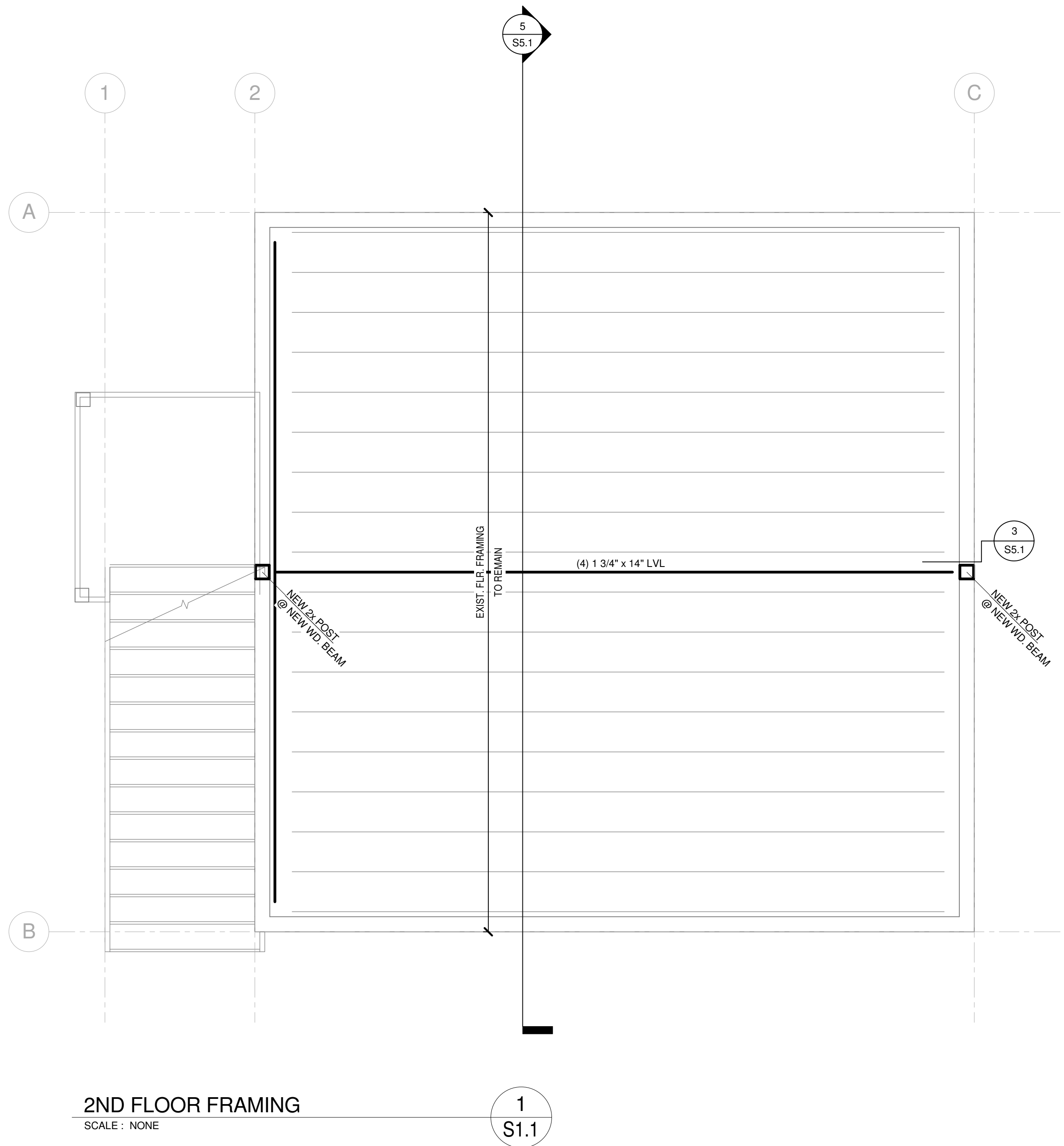
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S0.1





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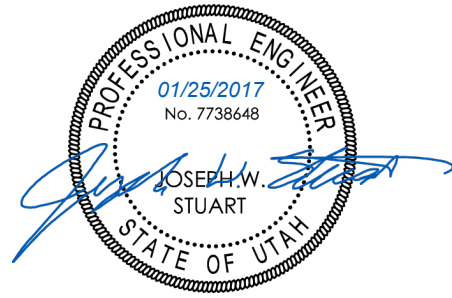
**GARAGE RENOVATION**  
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Rev. #	Rev. Date	Rev. Desc.

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Engineer	JWS
Drawn By	TTV
Checked By	JWS
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**FLOOR & ROOF FRAMING PLANS**

S1.1



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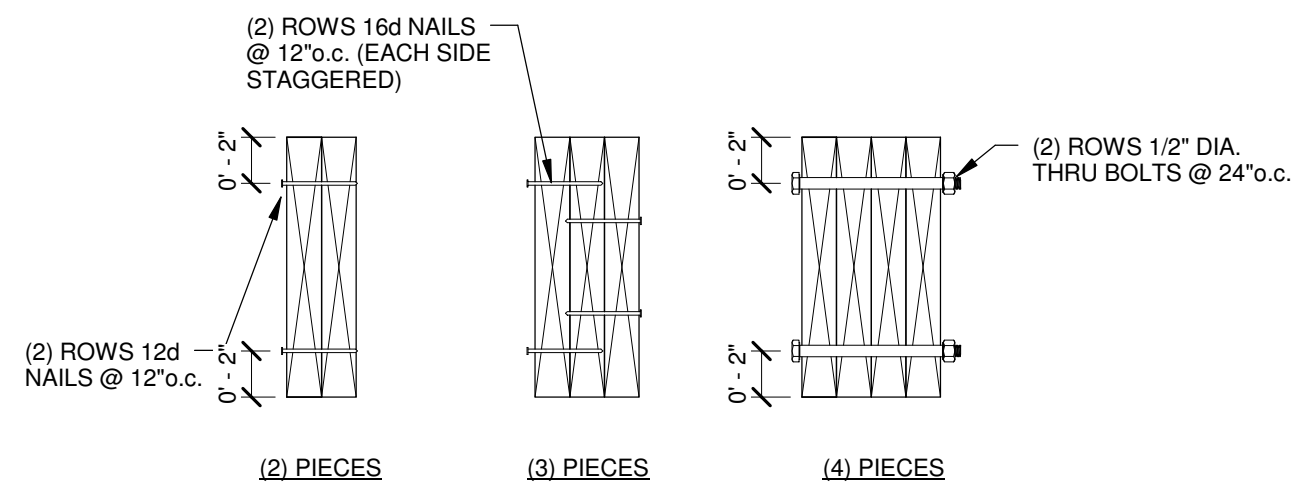
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GARAGE RENOVATION  
1/25/2017 5:23:27 PM

EQUIVALENT FASTENERS					NOTES
NAIL SIZE	NAIL SPACING	14 GA.	15 GA.	16 GA.	
8d	12"	12"	10"	8"	ALL STAPLES PROVIDE 1 1/2" PENETRATION
	10"	10"	8"	6 1/2"	
	6"	6"	5"	4"	
	4"	4"	3 1/2"	2 1/2"	
10d	12"	9 1/2"	8"	6 1/2"	
	10"	8"	7"	5 1/2"	
	6"	5"	4"	3 1/2"	
	4"	3"	2 1/2"	2"	
3"	2 1/2"	2"	1 1/2"		

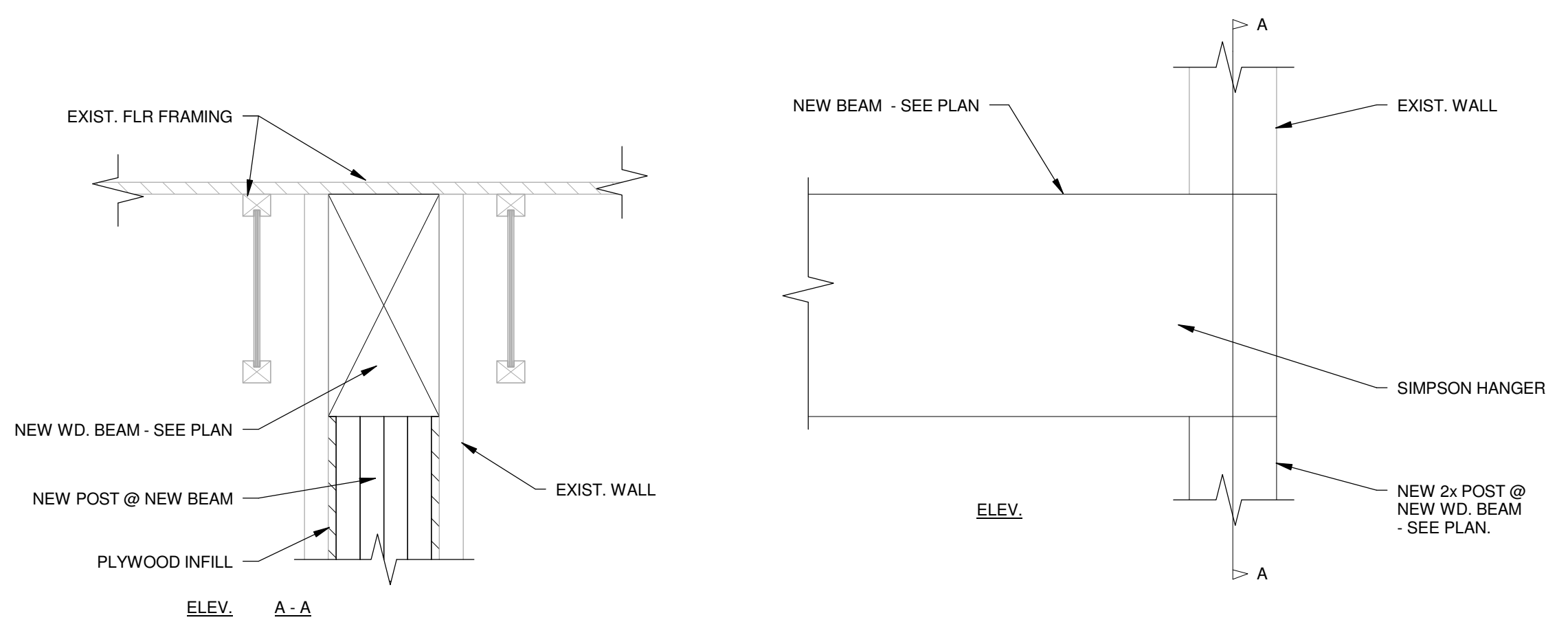
0600.07S - EQUIVALENT FASTENERS  
SCHED. DTL.  
SCALE: NONE

1  
S5.1



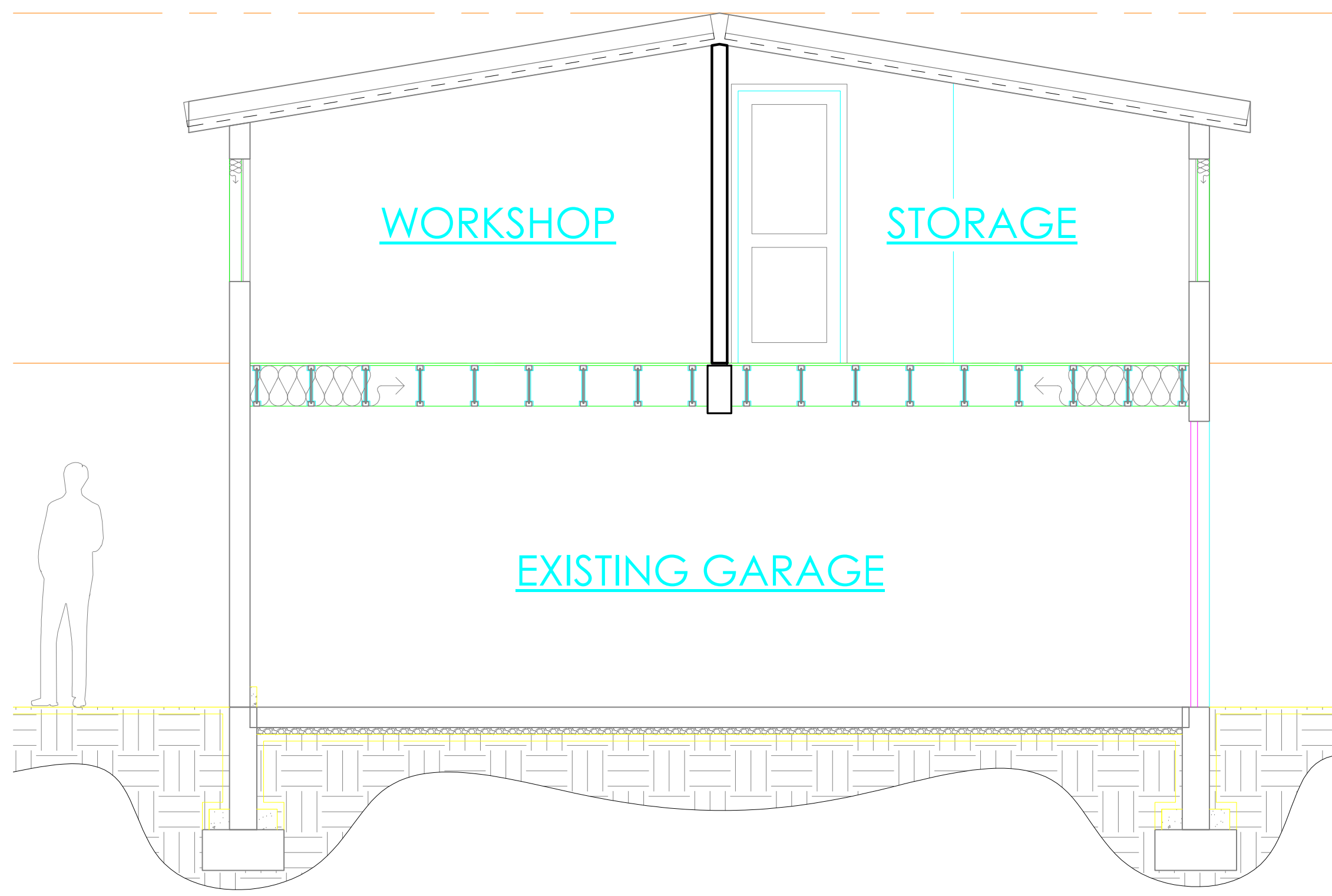
0600.08 - TYP. BEAM/JOIST SIS.CONN.  
DTL.  
SCALE: NONE

2  
S5.1



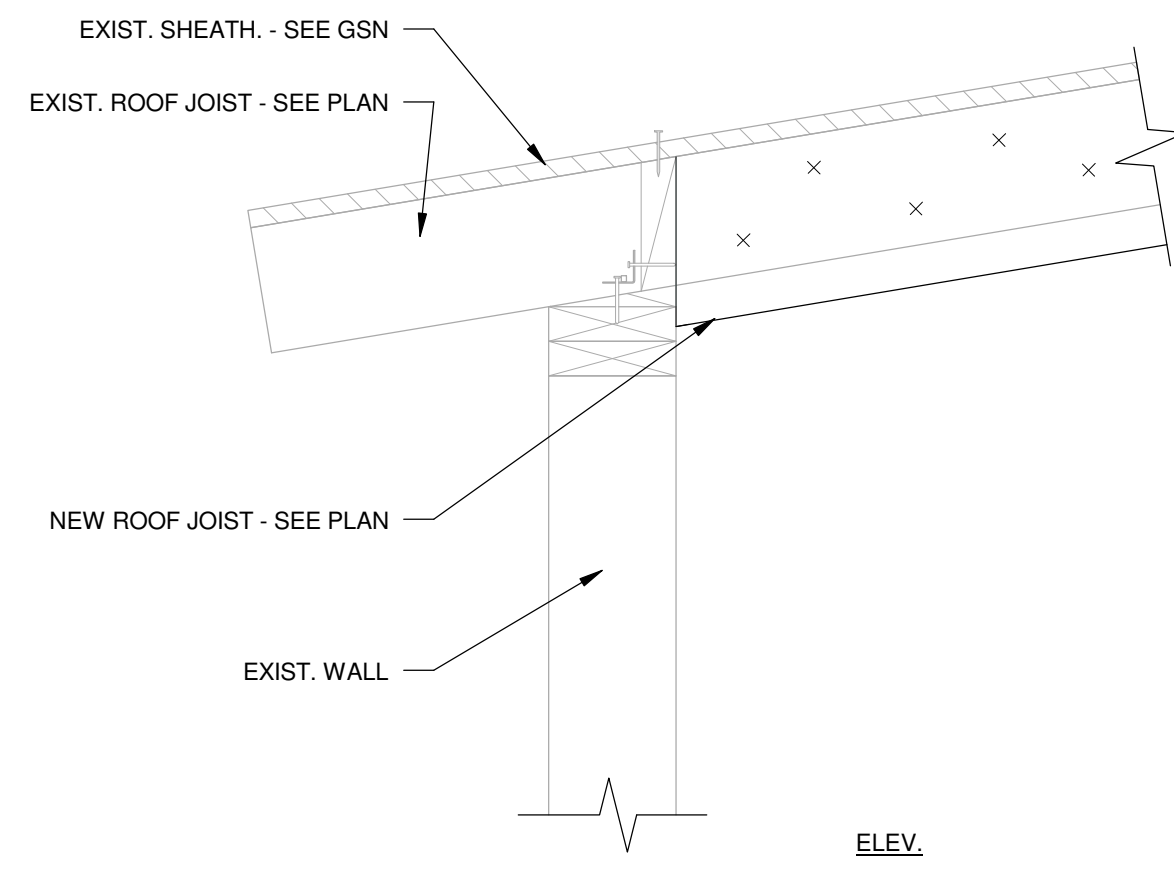
0606.01 - NEW BEAM TO EXIST. WALL  
DETAIL  
SCALE: NONE

3  
S5.1



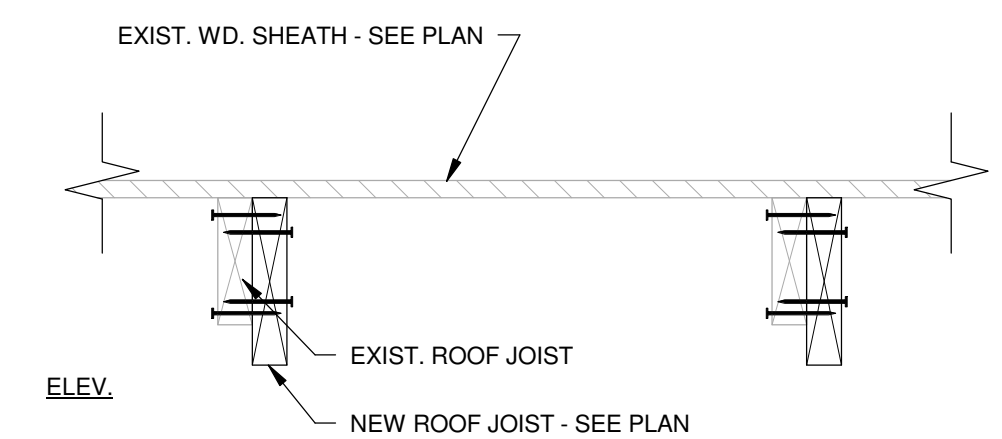
BUILDING SECTION  
SCALE: NONE

5  
S5.1



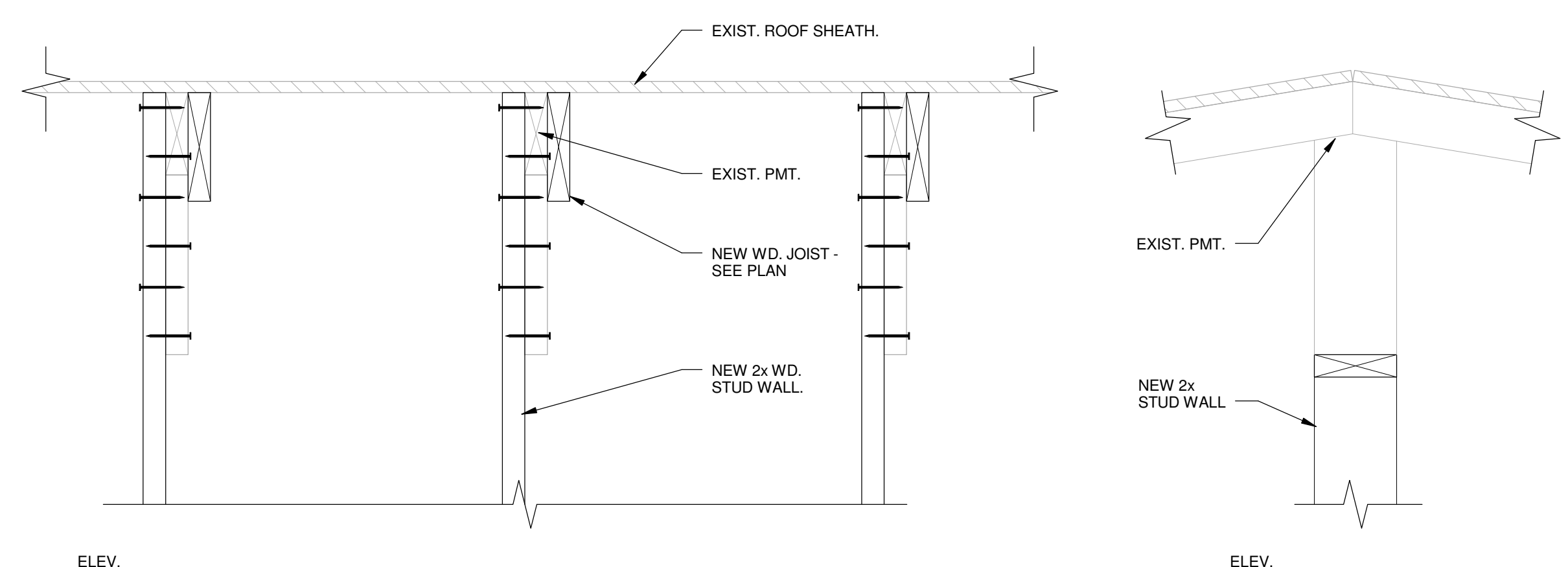
0606.02 - NEW ROOF JOIST TO EXIST. JOIST @ WALL DETAIL  
SCALE: NONE

7  
S5.1



0606.03 - NEW ROOF JOIST TO EXIST. CONN. DTL.  
SCALE: NONE

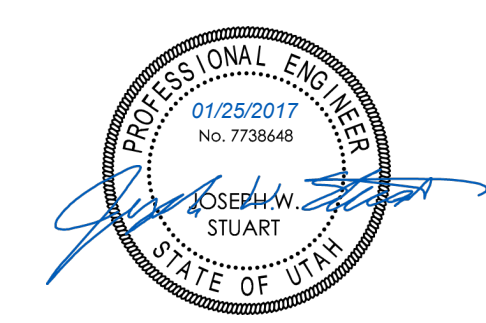
8  
S5.1



0600.XX - NEW BUILT UP WALL DETAIL  
SCALE: NONE

11  
S5.1

**DR I**  
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**GARAGE RENOVATION**

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FRAMING SCHEDULES/DETAILS

S5.1

PERMIT SET

## **ATTACHMENT C: SITE PHOTOGRAPHS**

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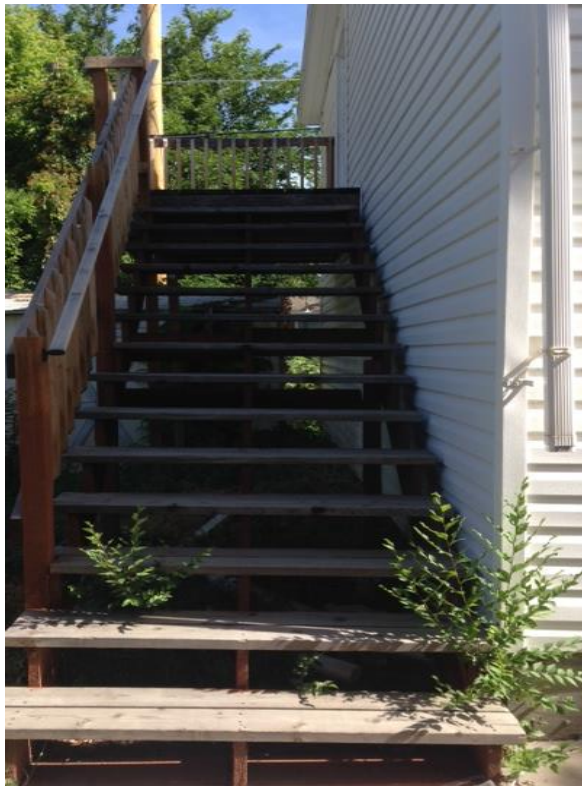
**Subject property facing north – garage can be seen on the right.**



**Front of the subject garage facing north.**



**Southwest corner of the garage.**



**Stairs to leading to the second story with the proposed hobby shop.**



**Inside the second story of the garage facing south where proposed hobby shop will be located.**

## **ATTACHMENT D: Zoning Standards for Accessory Structures**

**21A.40.050: General Yard, Bulk and Height Requirements for Accessory Structures.** All accessory buildings shall be subject to the following general requirements:

<b>Regulation</b>	<b>Zone Regulation</b>	<b>Existing Garage</b>	<b>Complies</b>
Location of Accessory Buildings in Required Yards	Must be located in the rear yard behind the house at least a foot off all property lines.	Located in the rear yard 2' from the east property line and 5' 1" from the north property line.	Yes
Yard Coverage	Shall occupy not more than fifty percent (50%) of the total area located between the rear facade of the principal building and the rear lot line.	Rear Yard = 1,476.9 SF  Garage = 576 SF	Yes – Can cover up to 738 SF
Building Coverage	Shall not exceed fifty percent (50%) of the building footprint of the principal structure up to a maximum of seven hundred twenty (720).	Home + Covered Patio = 1,160  Garage = 576 SF	Yes – Can have a footprint of 580 SF
Maximum Height	17 feet	17 feet	Yes

## **ATTACHMENT E: ANALYSIS OF STANDARDS**

### **21A.52.030: Special Exceptions Authorized**

Hobby shops – including art studios, exercise rooms or a dressing room adjacent to a swimming pools, or other similar uses in an accessory structure – are subject to the following conditions:

<b>Standard</b>	<b>Finding</b>	<b>Rationale</b>
a. The height of the accessory structure shall not exceed the height limit established by the underlying zoning district unless a special exception allowing additional height is allowed.	Complies	The maximum height for accessory structures in the R-1-5,000 zoning district is 17 feet. The height of the existing garage is 17 feet as indicated on the applicant's Special Exception and building permit plans.
b. If an accessory building is located within ten feet (10') of a property line, no windows shall be allowed in the walls adjacent to the property lines.	Complies upon meeting condition	The existing accessory structure does have two windows on the back wall, which is less than 10 feet away from the rear property line; however, a condition of this Special Exception approval is that these windows are removed. The hobby shop cannot be occupied until the windows on the north façade are removed and egress windows on the front façade are installed.
c. If the accessory building is detached, it must be located in the rear yard.	Complies	The garage is located in the rear yard behind the back façade of the home as well as the covered patio.
d. The total covered area for an accessory building shall not exceed fifty percent (50%) of the building footprint of the principal structure, subject to all accessory building size limitations.	Complies	The home's total footprint including the house and the covered patio is 1,160 square feet. Therefore, the garage cannot cover more than 580 square feet. The garage's foot is 576 square feet and does not cover more than the maximum 580.



**21a.52.060: General Standards and Considerations for Special Exceptions:** No application for a Special Exception shall be approved unless the planning commission or the planning director determines that the proposed Special Exception is appropriate in the location proposed based upon its consideration of the general standards set forth below and, where applicable, the specific conditions for certain Special Exceptions.

Standard	Finding	Rationale
A. Compliance with Zoning Ordinance and District Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.	Complies	The existing detached garage is meeting the zoning standards for accessory structures in the R-1-5,000 zoning district. Building permit BLD2014-04375 for the structure was issued and closed out. Most all of the other properties on the block face have detached garages located towards the rear of the lot. Hobby shop uses are meant to accommodate low intensity uses on residential lots like home offices. The use should not disturb surrounding property owners.
B. No Substantial Impairment of Property Value: The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.	Complies	A hobby shop or home office use would not decrease the value of the property or surrounding properties as home offices are permitted within single-family homes outright. Additionally, the physical property will not be altered.
C. No Undue Adverse Impact: The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.	Complies	Hobby shops are meant for low impact uses like home offices, which are suitable for single-family residential areas and do not have an adverse impact on public health, safety or the general welfare of the neighborhood like more intense commercial uses might.
D. Compatible with Surrounding Development: The proposed Special Exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.	Complies	The primary use on the property will remain a single-family dwelling and the home will not be altered. The accessory structure is existing and will also not be altered. Again, most all of the other properties on the block face have detached garages and many single-family properties request hobby shop uses.
E. No Destruction of Significant Features: The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.	Complies	The Tudor home was built in 1930 and will not be altered to accommodate the hobby shop.
F. No Material Pollution of Environment: The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.	Complies	The hobby shop will not create any pollution.

<p>G. Compliance with Standards: The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.</p>	<p>Complies upon meeting condition</p>	<p>The proposed hobby shop does not comply with letter “b.” of Section 21A.52.030(A)(4) regarding the Special Exception standards for hobby shops; however, as a condition of this approval the applicant will have to remove the windows on the north façade of the garage to come into compliance with this standard. It is meeting the other three hobby shop standards.</p>
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## **ATTACHMENT F: PUBLIC PROCESS AND COMMENTS**

### **Public Process:**

- Public hearing notice mailed on June 29, 2017
- Public hearing sign posted on property on June 29, 2017.
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on June 29, 2017

**Public Comments:** Staff received multiple calls and emails from the public regarding this petition as well as a request for a public hearing, but nothing was submitted officially to the public record. Any future comments received will be forwarded on to the Planning Commission.

# **ATTACHMENT G: MOTIONS**

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## **Potential Motions**

### **Staff Recommendation:**

Based on the information contained in the staff report and comments received, I move that the Planning Commission approve Special Exception request PLNPCM2017-00222 for a hobby shop in the applicant's detached garage at 1229 East 1700 South with the following condition:

1. The applicant must obtain a building permit to remove the windows on the north façade of the garage and install egress windows on the south façade before the hobby shop can be utilized.

### **Not Consistent with Staff Recommendation:**

Based on the information contained in the Staff report, and comments received, I move that the Planning Commission deny Special Exception petition PLNPCM2017-00222 for a hobby shop.