



To:	Salt Lake City Planning Commission
From:	Lauren Parisi, Associate Planner 801-535-7226; <u>lauren.parisi@slcgov.com</u>
Date:	September 13, 2017
Re:	Unfinished Business – PLNPCM2017-00222 Special Exception for Hobby Shop at 1229 East 1700 South

# **ACTION REQUIRED:**

This item regarding a Special Exception request for a hobby shop use (home office) on the second story of the applicant's existing detached garage was tabled at the July 12, 2017 Planning Commission meeting until the applicant was able to attend a meeting to discuss and clarify some project details. The Planning Commission has final decision making authority for Special Exceptions.

**RECOMMENDATION:** The applicant's proposal has not changed. Based on the findings listed in the July 12<sup>th</sup> staff report, it is Planning Staff's recommendation that the Planning Commission take additional testimony and approve the request for the hobby shop use as proposed with the following condition:

• The applicant must obtain a building permit to remove the windows on the north façade of the garage and install egress windows on the south façade before the hobby shop can be utilized.

**BACKGROUND/DISCUSSION:** AJ Waller, owner of the property at 1229 East 1700 South, is requesting approval for a hobby shop use (home office) to be located on the second story of his existing detached garage. Uses other than parking a vehicle or storage in an accessory structure require Special Exception approval for a "hobby shop." Hobby shops uses include, but are not limited to, home offices, art studios, exercise rooms, and dressing rooms adjacent to swimming pools. In general, hobby shops accommodate low-intensity uses that do not create a nuisance in single-family neighborhoods. A hobby shop cannot be used as an accessory dwelling unit or a commercial business.

This application was originally elevated to a Planning Commission hearing due to the number of comments/concerns heard from the surrounding neighbors upon sending out the first public notice. Four individuals spoke at the previous hearing with multiple concerns regarding the potential for the office space to become an apartment or accessory dwelling unit (ADU). The approval of a hobby shop does not authorize an ADU, defined as:

"a complete housekeeping unit with a shared or separate entrance, and separate kitchen, sleeping area, closet space, and bathroom facilities." A hobby shop use does allow for bathroom facilities, but not a full housekeeping unit where someone can live and spend the night as described above. Per the current Accessory Dwelling Unit Ordinance, this garage space could not be converted into an ADU as the property is not within <sup>1</sup>/<sub>2</sub> mile of a TRAX or light rail stop. The applicant is also fully aware that the garage space cannot be converted into an ADU. Additionally, a hobby shop does not authorize a commercial office space where multiple customers could visit at one time.

Other questions came up at the public hearing regarding why the applicant is requesting a home office if he does not live at the property. The applicant has clarified that he does rent out the property when he and his wife are away on business, but would like the home office for his wife when they are in town. Renting out a single-family home for more than 30 days to no more than three unrelated people is permitted in Salt Lake City.

The garage was initially constructed without a building permit; however, building permit BLD2014-04375 was pulled and closed out since then and the garage is meeting zoning and building code standards. The building inspector who reviewed this project has also confirmed that the garage is no taller than 17 feet per the approved plans. One of the four Special Exception standards for a hobby shop indicates that if the accessory structure is located less than 10 feet from a property line, no windows can be located on the walls adjacent to these property lines. Therefore, as a condition of approval, the applicant will have to obtain a permit to remove the windows on the north façade and install egress windows on the south façade. A building permit will also need to be obtained to finish all of the second-level space.

Again, this Special Exception review is regarding the hobby shop *use* and not the physical structure/the garage itself. The approval or denial of this request should be based on the standards of review for hobby shops and general standards for Special Exceptions as listed in "Attachment E" of the July 12<sup>th</sup> staff report. As the applicant's proposal has not changed, staff's recommendation regarding hobby shop stands.

Attachments: July 12, 2017 Planning Commission Staff Report

**CC:** Planning Commission Nick Norris, Planning Director Michaela Oktay, Planning Manager Paul Nielson, City Attorney



Staff Report

PLANNING DIVISION COMMUNITY & NEIGHBORHOODS

	Special Execution
Re:	PLNPCM2017-00222 – Hobby Shop at 1229 E. 1700 S.
Date:	July 12, 2017
From:	Lauren Parisi, Associate Planner 801-535-7932, <u>lauren.parisi@slcgov.com</u>
То:	Salt Lake City Planning Commission
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# **Special Exception**

PROPERTY ADDRESS: 1229 East 1700 South PARCEL ID: 16-17-279-016-0000 MASTER PLAN: Central Community ZONING DISTRICT: R-1-5,000: Single-Family Residential

# **REQUEST:**

AJ Waller, owner of the property at 1229 East 1700 South, is requesting approval for a hobby shop use (home office) to be located on the second story of his existing detached garage. Uses other than parking a vehicle or storage in an accessory structure require Special Exception approval for a "hobby shop." Hobby shops uses include, but are not limited to, home offices, art studios, exercise rooms, and dressing rooms adjacent to swimming pools. A hobby shop cannot be used as an accessory dwelling unit. The Planning Commission has final decision making authority for Special Exceptions.

# **RECOMMENDATION:**

Based on the findings listed in the staff report, it is the Planning Staff's recommendation that the Planning Commission approve the request for the hobby shop use as proposed with one condition.

**Recommended Motion**: Based on the information contained in the staff report and comments received, I move that the Planning Commission approve Special Exception request PLNPCM2017-00222 for a hobby shop in the applicant's detached garage at 1229 East 1700 South with the following condition:

1. The applicant must obtain a building permit to remove the windows on the north façade of the garage and install egress windows on the south façade before the hobby shop can be utilized.

# **ATTACHMENTS:**

- A. Vicinity Maps
- **B.** <u>Applicant Materials</u>
- C. <u>Site Photographs</u>
- D. Zoning Standards
- E. Analysis of Standards
- **F.** Public Process and Comments
- G. Motions

# **PROJECT DESCRIPTION:**

This is a Special Exception request to have a hobby shop, or more specifically a home office, in the second story of the applicant's existing detached garage. Uses other than parking a vehicle or storage in an accessory structure require Special Exception approval for a "hobby shop." Hobby shops uses include, but are not limited to, home offices, art studios, exercise rooms, and dressing rooms adjacent to swimming pools. A hobby shop cannot be used as an accessory dwelling unit where someone can permanently reside.

The subject garage has a footprint of approximately 576 square feet and is located in the northeast corner of the applicant's rear yard about five feet from the rear/north property line and two feet from the interior/east property line (see site plan below). The garage has a pitched roof and is approximately 17 feet tall. The first floor of the garage is being used to park vehicles, while the second floor is currently empty. The applicant has explained the he would like to have an office on the second floor for his wife who works from home. Half of the upper level would be used for this office space and the other half would continue to be used for storage and a new bathroom (see "Attachment B" for floor plan details). Initially, the garage was constructed without a building permit; however, building permit BLD2014-04375 was pulled and closed out since then and the garage is meeting zoning and building code standards. Another building permit will need to be obtained to finish the second-level space.

	IED GARAG	Upper Storage: 576 Sq F	t t t t	Lloyd Holt medesign.com 1-809-5245	
		118'-6"			801-809-524;
NEW GARAGE	NEW CONCRETE PATIO AND DRIVEWAY	EXISTING DRIVEWAY	And a construction of the		A CONTRACT CONTRACT ASSOCIATION CONTRACTOR ASSOCIATION CONTRACTOR ASSOCIATION ASSOCIATION CONTRACTOR ASSOCIATION ASSOCIN
STRUCTURE 576 SQ.FT		EXISTING HOME 936 SQ. FT.	SITE PLAN: 1229 East 1700 South SALT LAKE CITY SCALE: 1/4"=1'	SIDEWALK PARKSTRIP 43'4"	DETACHED GARAGE
	÷	HE SHALL BE DONE SO AS TO PROVIDE POSTING DRAINED AND THEM ALL SALES TO AND	AREA LOT: 5,135 sq ft AREA HOME: 336 sq ft AREA COVERED PATIO: 224 sq ft AREA GARAGE ADDITION: 576 sq ft TOTAL COVERAGE: 1736 sq ft AREA OF LOT COVERED= 33.8% © GARAGE ADDITION RATIO= 49.6% 28'-5'-		29 E. 1700 S.

Special Exceptions for hobby shop uses are subject to the standards listed in Chapter 21A.52.030(A)(4) as follows:

4. Hobby shop, art studio, exercise room or a dressing room adjacent to a swimming pool, or other similar uses in an accessory structure, subject to the following conditions:

**a.** The height of the accessory structure shall not exceed the height limit established by the underlying zoning district unless a special exception allowing additional height is allowed.

**b.** If an accessory building is located within ten feet (10') of a property line, no windows shall be allowed in the walls adjacent to the property lines.

**c.** If the accessory building is detached, it must be located in the rear yard.

**d.** The total covered area for an accessory building shall not exceed fifty percent (50%) of the building footprint of the principal structure, subject to all accessory building size limitations.

The existing accessory structure is not meeting letter "b." of these Special Exception standards as there are two windows located on the second story of the rear/north garage wall. The applicant is aware that these windows will need to be removed and has updated his floor plans indicating their removal plus the addition of two egress windows on the front façade of the garage. A building permit will need to be pulled to remove these windows.

# **KEY ISSUES:**

The key issues listed below have been identified through the analysis of the project.

# Issue 1: Planning referral to a Planning Commission Hearing

Section 21A.52.040(5)(b) of the Salt Lake City Municipal Code states that: *"The planning director or the planning director's designee may refer any application to the Planning Commission due to the complexity of the application, the significance in change to the property or the surrounding area."* 

This application has been elevated to a Planning Commission hearing due to the number of comments/concerns heard from the surrounding neighbors. After the initial public notice was sent out, many concerns came in regarding the size of the accessory structure and the potential for an accessory dwelling unit in the future. However, the garage is meeting zoning and building code standards and was permitted. Additionally, this approval does not allow for an accessory dwelling unit, which the applicant is fully aware of. This Special Exception review is regarding the hobby shop *use* and not the physical structure. The approval or denial of this request should be based on the standards of review for hobby shops as listed in "Attachment E" of this staff report.

# **Issue 2: Relocation of the Windows**

Again, one of the four Special Exception standards for a hobby shop indicates that if the accessory structure is located less than 10 feet from a property line, no windows can be located on the walls adjacent to these property lines. While there are no windows on the east façade of the garage, there are two existing windows on the north façade of the garage that is setback approximately 5 feet from the rear property line. The purpose of this standard is to maintain a level of privacy between neighbors. Therefore, as a condition of approval, the applicant will have to obtain a permit to remove the windows on the north façade and install egress windows on the south façade. The applicant is aware that the hobby shop cannot be utilized until a permit has been pulled and the windows are removed. He has also updated his plans to indicate their removal.

# Issue 3: Compatibility of the Structure and Hobby Shop Use

While the garage may appear relatively large, it is meeting the R-1-5,000 zoning standards for accessory structures. It is subordinate to the principal structure and located in the rear yard where it is not highly visible from the street. There are other relatively large garages on the block face in terms of floor area. Hobby shop uses are meant to accommodate low intensity uses in accessory structures like a home office. Many property owners in single-family residential areas request approval for hobby shops. A commercial office involving frequent visitation from clients/customers, frequent deliveries, etc. is not permitted as a part of a hobby shop use. If for some reason the intensity of the home office increases or the space becomes an accessory dwelling unit, Salt Lake City's Civil Enforcement Division can help to rectify this situation. In general, home offices are low intensity uses and should not be bothersome to neighbors.

# **NEXT STEPS:**

# Approved with Staff's Recommendation

If approved, the applicant will be able to apply for a building permit to finish the second-story space, which includes the installation of a bathroom, and use it as a home office.

# Denied

If denied, the applicant will not be able to apply for a building permit to finish the second-story space and the structure will remain as is without an office.

# **ATTACHMENT A: VICINITY**





# **ATTACHMENT B: APPLICANT MATERIALS**



SALT LAKE CITY PLANNING

# **Special Exception** NOTICE OF APPLICATION

Historic Landmark Commission
By: Date Received: Zoning:
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Signature of Owner or Agent:

NEW DE	1725.07	SUBMITTAL REQUIREMENTS
Staff Review	1.	Project Description (please attach additional sheet) Written description of your proposal
	2.	Minimum Plan Requirements
		One paper copy (24" x 36") of each plan and elevation drawing
		A digital (PDF) copy of the each plan and elevation drawing
		One 11 x 17 inch reduced copy of each plan and elevation drawing
	3.	Site Plan
		Site plan (see Site Plan Requirements flyer for further details)
	4.	Elevation Drawing (if applicable)
		Detailed elevation, sections and profile drawings with dimensions drawn to scale
		Type of construction and list the primary exterior construction materials
		Number, size, and type of dwelling units in each building, and the overall dwelling unit density

# AVAILABLE CONSULTATION

Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

# INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Updated 2/20/15

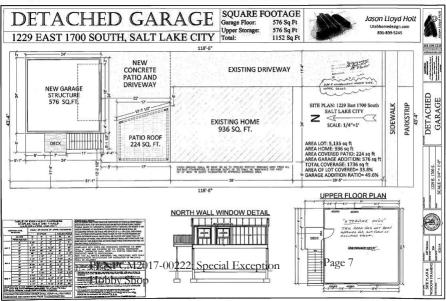
Date:

I would like to add a bathroom to the storage area on the second floor of my garage in order to be able to use it for other things like an art studio and an obbie because my wife works from home. The original garage has been completed, inspected, and given "final approval" from the Salt Jobe City building inspection department. Thus, permit BLD 2014-04375

is done and closed and all issues resolved

to the city's satisfaction.

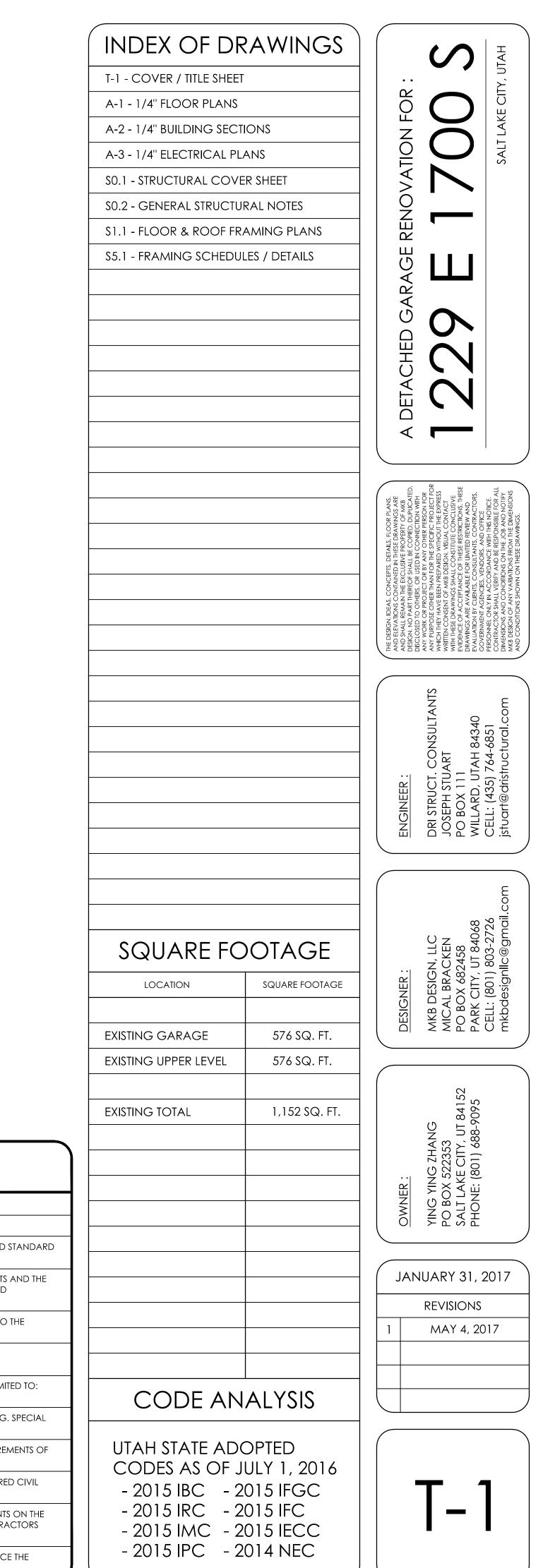
Updated 2/20/15



# A DETACHED GARAGE RENOVATION FOR : 1229 EAST 1700 SOUTH SALT LAKE CITY, UTAH

<b>~</b>			GENERAL NOTES			
25	WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.	13	ALL ELECTRICAL, MECHANICAL AND/OR PLUMBING WORK IS TO BE COMPLETED BY A LICENSED CONTRACTOR IN EACH RESPECTIVE FIELD, AND MUST COMPLY WITH LOCAL AND/OR NATIONAL STANDARDS, WHICHEVER IS MOST RESTRICTIVE.	1	GENERAL CONTRACTOR SHALL COMPLY WITH THE 2015 IRC.	
26	ALL DIMENSIONS TO AND FROM NEW CONSTRUCTION WHEN SHOWN IN PLAN ARE TO FACE OF STUD, FACE OF MASONRY, CENTERLINE, UNLESS OTHERWISE NOTED.		GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER FOR ALL ELECTRICAL SWITCHES, SCHEMATIC WIRING,	2	GENERAL CONTRACTOR SHALL COMPLY WITH ALL UTAH STATE AMENDMENTS TO THE 2015 IRC.	
27	ALL VERTICAL DIMENSIONS ARE TO FACE OF FINISH, FINISH FLOOR, UNLESS OTHERWISE NOTED.	14	EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH OWNER FOR ALL ELECTRICAL SWITCHES, SCHEMATIC WIRING, EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH ELECTRICAL CONTRACTOR, ELECTRICAL KEY NOTES, INTERNATIONAL BUILDING CODE AND RELATED CODES FOR INSTALLATION REQUIREMENTS.	3	GENERAL CONTRACTOR SHALL COMPLY WITH ALL OTHER NATIONAL, STATE, LOCAL AND RELATED CONSTRUCTION PRACTICES.	
28	ALL REQUIRED EXITS SHALL BE OPERABLE FROM INSIDE, WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE.	15	GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER FOR ALL MECHANICAL AND PLUMBING EQUIPMENT AND		IN THE CASE OF ANY DISCREPANCY BETWEEN INFORMATION PRESENTED IN THESE CONSTRUCTION	
29	GLASS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIAL TO MEET STATE AND FEDERAL REQUIREMENTS.		FIXTURE LOCATIONS. COORDINATE WITH IBC AND RELATED CODES FOR INSTALLATION REQUIREMENTS.	4	2015 IRC, GUIDELINES AND/OR ESTABLISHED RESTRICTIONS, THE ESTABLISHED CODE, GUIDELINE OR RESTRICTION SHALL ALWAYS TAKE PRECEDENCE.	
30	GENERAL CONTRACTOR SHALL INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE SPECIFICATIONS AND IN CONFORMANCE WITH LOCAL FIRE MARSHAL REQUIREMENTS.	16	GENERAL CONTRACTOR SHALL FOLLOW ALL MANUFACTURER SPECIFICATIONS FOR INSTALLATION OF FIXTURES, EQUIPMENT AND MATERIALS.	5	ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THESE CONSTRUCTION DOCUMENTS SHALL BE ATTENTION OF THE DESIGNER AND THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH TH	
31	GENERAL CONTRACTOR SHALL VERIFY FIRE SPRINKLER REQUIREMENTS WITH IRC REGULATIONS, CITY OR COUNTY ORDINANCES, AND PROPERTY COVENANTS. IF REQUIRED, GENERAL CONTRACTOR SHALL FOLLOW ALL CODES OF THE	17	GENERAL CONTRACTOR SHALL VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC. BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEMS OF WORK.	6	GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL EXISTING CONDITION MEASUREMENTS, DIMENSIONS, CONNECTIONS, ETC. PRIOR TO CONSTRUCTION.	
51	INTERNATIONAL RESIDENTIAL CODE AND NFPA REGULATIONS.	18	GENERAL CONTRACTOR SHALL COORDINATE AND INSTALL ALL REQUIRED SOLID BLOCKING FOR THE INSTALLATION OF			
32	SEALANT, CAULKING AND FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.		FIXTURES, CABINETS, EQUIPMENT, FINISH HARDWARE, ETC. GENERAL CONTRACTOR SHALL PROVIDE ENGINEERED TRUSS DRAWING BY THE TRUSS MANUFACTURER'S ENGINEER PRIOR	7	GENERAL CONTRACTOR SHALL COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING IRRIGATION PIPES, ELECTRICAL CONDUIT, WATER LINES, GAS LINES, DRAINAGE LINES, ETC.	
33	ALL EXTERIOR DOORS AND WINDOWS SHALL BE WEATHER STRIPPED UNLESS OTHERWISE NOTED.	19	19 TO INSTALL. DRAWINGS TO BE SIGNED BY A REGISTERED ENGINEER.		GENERAL CONTRACTOR SHALL COMPLY WITH IRC CHAPTER FOUR FOR EXCAVATION, FILL CUTS A ATTENTION SHOULD BE MADE TO CUTS AT PROPERTY LINE.	
		20	GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL MILLWORK, METAL WORK AND CUSTOM ITEMS.			
34	ALL BALCONIES, LANDINGS, DECKS, AND SIMILAR SURFACES EXPOSED TO WEATHER SHALL HAVE APPROPRIATE MOISTURE-PROOFING AND SHALL SLOPE AWAY FROM STRUCTURE AT A MIN. OF 1/8" PER 12".	21	21 GENERAL CONTRACTOR SHALL PROVIDE ALL SEISMIC BRACING AND HOLD-DOWN CLIPS AS REQUIRED BY CODE FOR ALL		WHERE APPLICABLE, GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COMPLYING SOIL REPORT AS PREPARED BY GEOTECHNICAL ENGINEER.	
35	ALL ROOF DECK PENETRATIONS AND EXTERIOR WALL OPENINGS SHALL BE GUARANTEED BY THE CONTRACTOR TO BE WATER TIGHT FOR A MINIMUM PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF ALL WORK.	22	SUSPENDED CEILING AND SOFFIT FRAMING CONDITIONS. GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL	10	ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY ENGINEER OR A LICENSED LAND SURVEYOR.	
	GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON		VALUE OR INTEGRITY OF THE BUILDING.		GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF THE CONSTRUCT	
36	A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRECT DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE JOB SITE.	23	GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING BUILDING AND SITE CONDITIONS TO REMAIN INCLUDING WALLS, CABINETS, FINISHES, TREES AND SHRUBS, PAVING, ETC.	11	JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.	
37	GENERAL CONTRACTOR SHALL LEAVE PREMISES AND ALL AFFECTED AREAS CLEAN AND ORDERLY, READY FOR OCCUPANCY. THIS INCLUDES CLEANING OF ALL GLASS (INSIDE AND OUTSIDE) AND FRAMES, BOTH NEW AND EXISTING.	24	INTERIOR WALLS ARE 2X4 OR 2X6 WOOD STUDS @ 16" O.C. UNLESS OTHERWISE NOTED AND ALL EXTERIOR WALL ARE 2X6 WOOD STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.	12	GENERAL CONTRACTOR SHALL CLOSELY COORDINATE ALL TRADES TO EXPEDITE CONSTRUCTION A HIGHEST QUALITY OF WORKMANSHIP OF THE INVOLVED TRADES.	

PLNPCM2017-00222: Special Exception Hobby Shop



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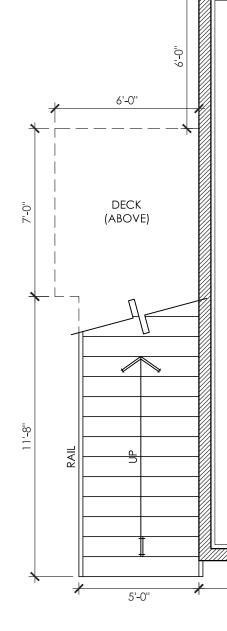
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SENTED IN THESE CONSTRUCTION DOCUMENTS AND THE STABLISHED CODE, GUIDELINE OR ESTABLISHED
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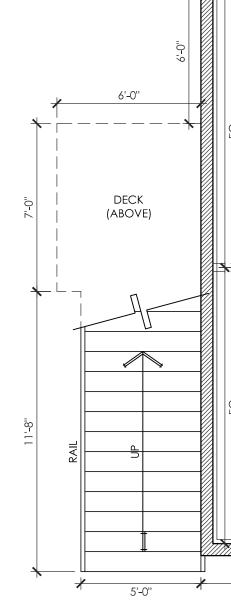
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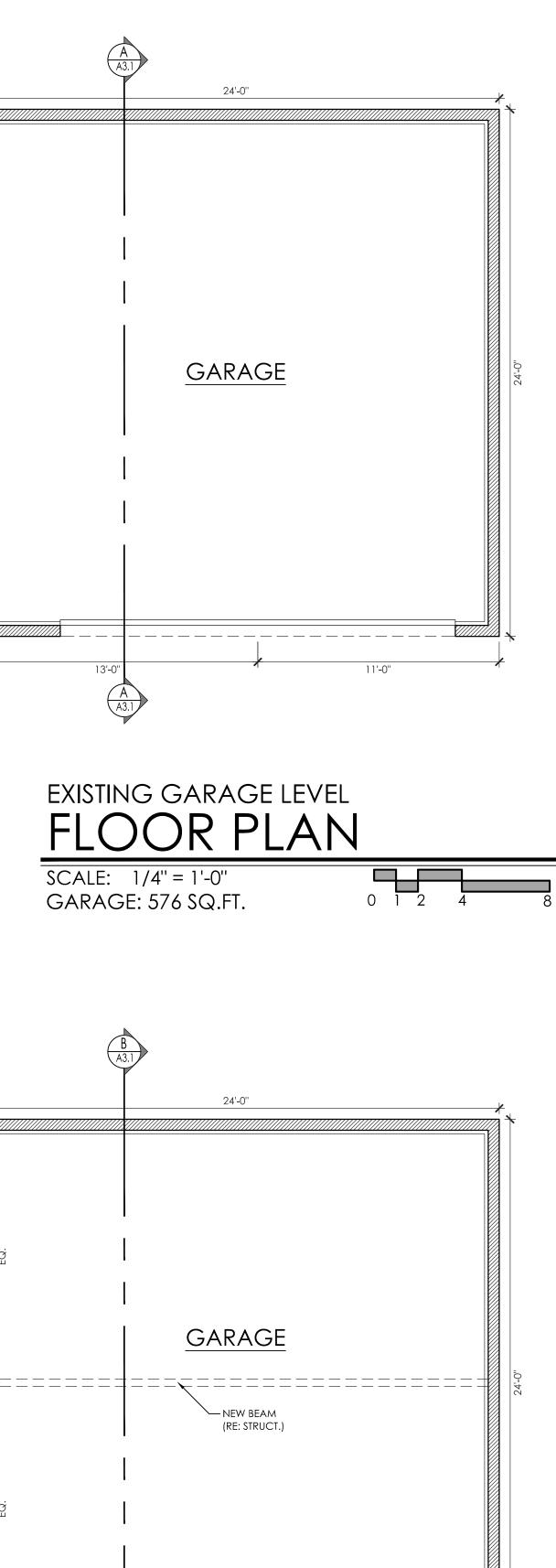
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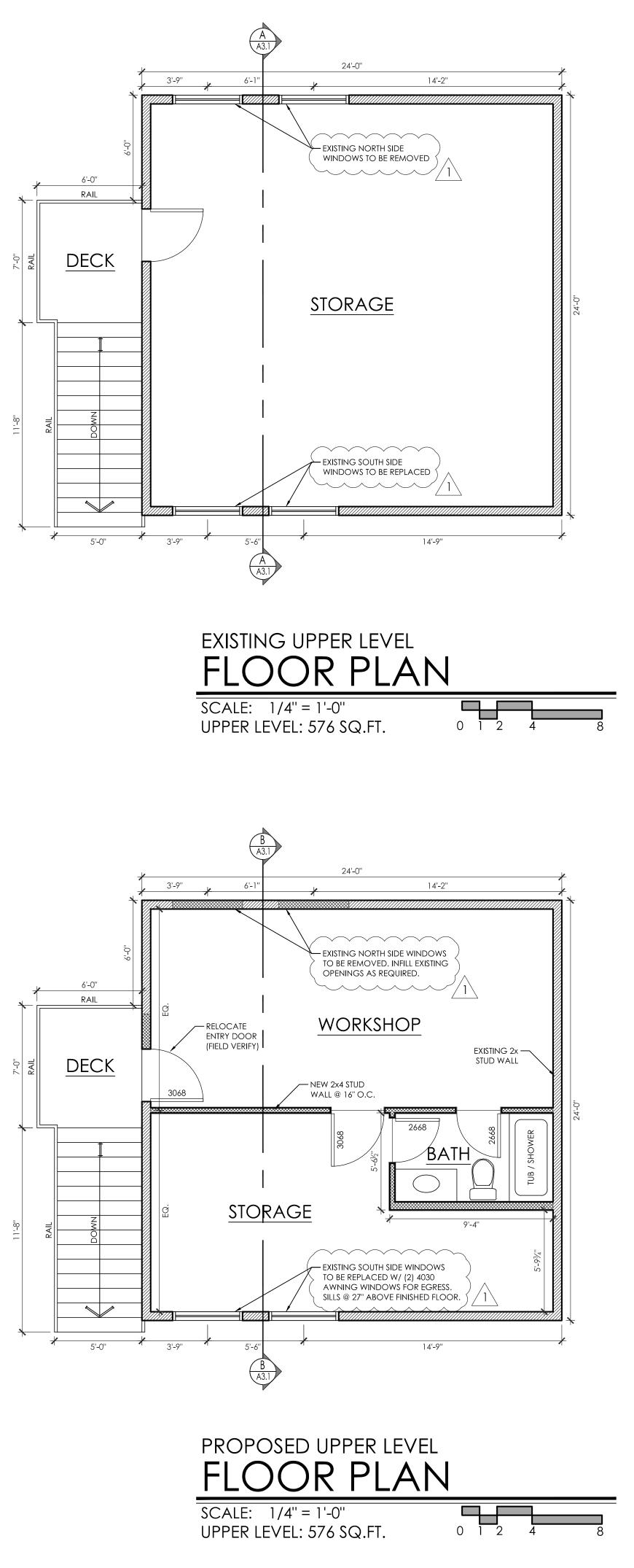
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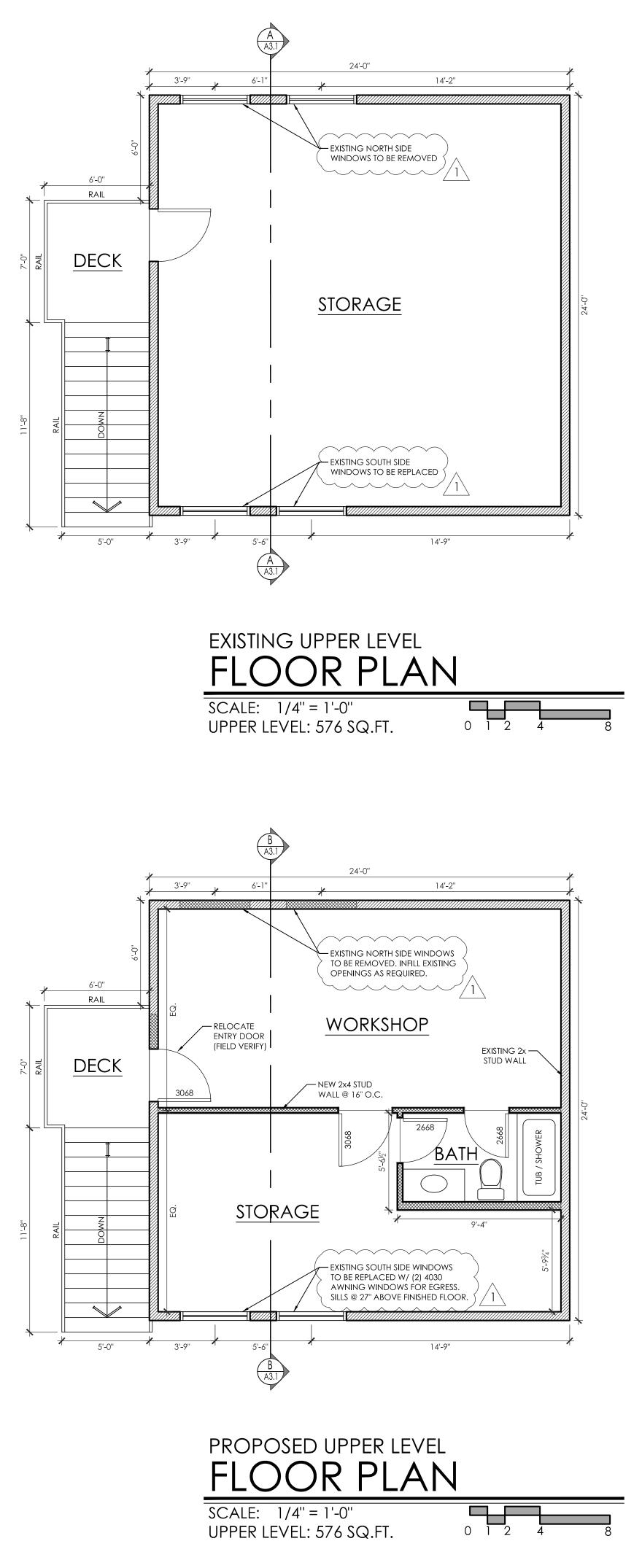
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]	GENERAL CONTRACTOR SHALL COMPLY WITH THE 2015 IRC.				
2	GENERAL CONTRACTOR SHALL COMPLY WITH ALL UTAH STATE AMENDMENTS TO THE 2015 IRC.				
3	GENERAL CONTRACTOR SHALL COMPLY WITH ALL OTHER NATIONAL, STATE,				
0	LOCAL AND RELATED CODES AND STANDARD CONSTRUCTION PRACTICES.				
4	GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, DIMENSIONS, CONNECTIONS, ETC. PRIOR TO CONSTRUCTION.				
5	GENERAL CONTRACTOR SHALL FOLLOW ALL MANUFACTURER SPECIFICATIONS FOR INSTALLATION OF FIXTURES, EQUIPMENT AND MATERIALS.				
6	ALL BALCONIES, LANDINGS, DECKS, AND SIMILAR SURFACES EXPOSED TO WEATHER SHALL HAVE APPROPRIATE MOISTURE-PROOFING AND SHALL SLOPE AWAY FROM STRUCTURE AT A MIN. OF 1/8" PER 12".				
7	GENERAL CONTRACTOR SHALL PROVIDE PROPER FLASHING AT ALL DOOR AND WINDOW CONDITIONS. EXTEND 60 MIL, SELF-ADHESIVE BITUMINOUS "ICE AND WATER SHIELD" CONTINUOUS FROM EDGE OF EAVE TO A POINT 3'-0" IN FROM EXTERIOR WALL.				
8	GENERAL CONTRACTOR SHALL PROTECT WOOD AGAINST DECAY AS NOTED AND REQUIRED BY CODE. WHERE PROTECTION IS REQUIRED, WOOD MUST BE APPROVED, TREATED, OR DECAY RESISTANT.				
9	ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING LEDGERS AND FURRING WALLS MUST BE PRESERVATIVELY TREATED OR FOUNDATION-GRADE REDWOOD (IRC R319).				
10	SUBSTRATE FOR WET AREAS SHALL BE MIN. 1/2" SCHLUTER-KERDI-BOARD (OR EQUIVALENT) CONTINUOUS FROM FLOOR TO CEILING (IRC R702.4.2).				
11	ALL INTERIOR NON-BEARING WALLS TO BE 2X4 FRAMING @ 16" O.C. WITH DOUBLE TOP AND BOTTOM PLATES. PROVIDE TREATED SOLE PLATE WHERE IN CONTACT WITH CONCRETE. PROVIDE 1/2" GYPSUM BOARD FINISH EACH SIDE. PROVIDE SOLID 2X MID SPAN BLOCKING IN WALLS EXCEEDING 10'-0".				
12	PROVIDE 2X4 @ 16" O.C. FURR OUT FRAMING AT PERIMETER OF BASEMENT WALLS. PROVIDE PRESSURE TREATED SOLE PLATE WHERE IN CONTACT WITH CONCRETE. PROVIDE FIRE BLOCKING AT MID SPAN. HOLD FRAMING OUT FROM FOUNDATION WALL 1/2". PROVIDE INSULATION SYSTEM AS PER NOTES AND ENERGY CODE. PROVIDE 1/2" GYPSUM BOARD FINISH.				
13	EXTERIOR WALLS AND BEARING WALLS SHALL BE 2X6 FRAMING @ 16'' O.C. W/ 1/2'' GYPSUM BOARD UNLESS OTHERWISE NOTED.				
14	CEILING JOISTS FURR DOWN TO BE 2X4 FRAMING W/ 1/2" GYPSUM BOARD.				
15	WALLS AND CEILING OF GARAGE SHALL HAVE A MIN. 5/8" TYPE 'X' GYPSUM BOARD. WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN THE EQUIVALENT PROTECTION OF ONE LAYER 5/8" TYPE 'X' GYPSUM BOARD (IRC 309).				
16	WALLS AND SOFFIT ON UNDERSIDE OF STAIRS SHALL HAVE 5/8" TYPE 'X' GYPSUM BOARD IF USED AS ACCESSIBLE SPACE (IRC R314.8).				
17	FRAME AROUND FIREPLACE FLUE W/ 5/8" TYPE 'X' GYPSUM BOARD ON 2X STUDS. PROVIDE REQUIRED MIN. 2" AIR SPACE CLEARANCE TO COMBUSTIBLES (IRC R1003.18).				
18	PROVIDE FIRE BLOCKING IN ALL WALLS GREATER THAN 8'-0" HIGH.				
19	ALL PLUMBING WALLS TO BE 2X6 FRAMING @ 16" O.C.				
20	ALL MECHANICAL AND PLUMBING EQUIPMENT SHALL BE RAISED 18" ABOVE FINISHED FLOOR.				
21	EACH WATER CLOSET SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30" IN WIDTH (15" MIN. FROM CENTER TO ANY OBSTRUCTION) AND HAVE A CLEAR SPACE IN FRONT OF NOT LESS THAN 21" (IRC R307.1).				
22	WINDOW WELLS SHALL PROVIDE A MIN. NET CLEAR OPENING OF 9 SQ. FT. WITH A MIN. DIMENSION OF 36". PROVIDE A PERMANENT LADDER IF WINDOW WELL IS MORE THAN 44" DEEP (IRC R310.2).				
23	STAIRWAY RISERS SHALL NOT EXCEED 7 3/4" AND TREADS SHALL NOT BE LESS THAN 10".				
24	STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4-1/2" ON EITHER SIDE (IRC 314.1).				
25	LANDINGS SHALL HAVE A MIN. DIMENSION MEASURED IN THE DIRECTION OF TRAVEL OF 36" (IRC R312.2).				
26	THE MINIMUM HEADROOM IN ALL PARTS OF A STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM (IRC R314.3).				
27	GENERAL CONTRACTOR SHALL ENSURE THAT ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND STAIRS, BALCONIES AND PORCHES MORE THAN 30" ABOVE GRADE SHALL BE PROTECTED BY A GUARDRAIL. GUARDRAILS SHALL NOT BE LESS THAN 36" IN HEIGHT AND SHALL NOT ALLOW PASSAGE OF A 4" SPHERE (IRC R312).				
28	TOPS OF HANDRAILS SHALL BE PLACED NOT LESS THAN 34" AND NOT MORE THAN 38" ABOVE THE NOSING OF THE TREADS AND BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2-5/8" IN CROSS SECTIONAL DIMENSION. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL (IRC R315).				
29	WHERE APPLICABLE, CRAWL SPACE VENTILATION SHALL BE A MINIMUM OF 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA. VENTS SHALL BE ARRANGED TO PROVIDE CROSS-VENTILATION ON AT LEAST TWO OPPOSING SIDES (IRC R408).				
30	WHERE APPLICABLE, ACCESSIBLE BELOW-FLOOR AREAS SHALL BE PROVIDED WITH A MINIMUM 18'' X 24'' ACCESS OPENING (IRC R408.3).				
31	GENERAL CONTRACTOR SHALL PROVIDE A MINIMUM 22'' X 30'' ATTIC				
32	ACCESS IN READILY ACCESSIBLE LOCATION (IRC R807). ENCLOSED ATTICS AND SPACES BETWEEN RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACED VENTILATED. THE TOTAL VENTILATING AREA RATIO MAY BE REDUCED TO NOT LESS THAN 1/300 IF: (1) OPENINGS ARE PROVIDED IN THE UPPER AND LOWER PORTIONS OF THE VENTILATED SPACE, OR (2) A 1 PERM VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF THE CEILING (IRC R806).				
33	CEILINGS SHALL RECEIVE MIN. R-49 INSULATION. EXT. WALLS SHALL RECEIVE MIN. R-20 INSULATION. FLOORS SHALL RECEIVE MIN. R-30 INSULATION (IRC N1102). WHERE APPLICABLE, VENT CRAWL SPACE PER IRC R408.				
34	GENERAL CONTRACTOR SHALL VERIFY ALL FINISHES WITH OWNER.				
35	GENERAL CONTRACTOR SHALL VERIFY ALL DOOR AND WINDOW SIZES W/ OWNER PRIOR TO PURCHASE. ALL DOORS ARE TO BE SOLID CORE WOOD DOORS UNLESS OTHERWISE NOTED.				

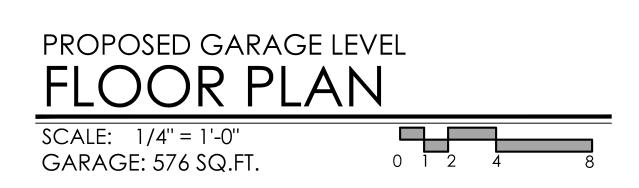








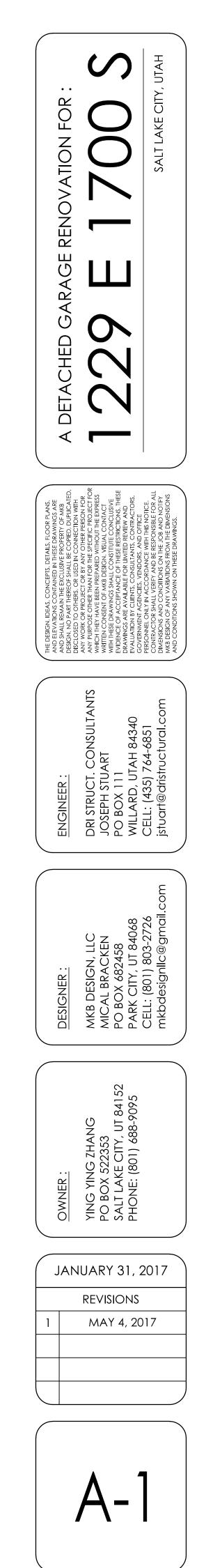




13'-0

B A3.1

11'-0"



$\square$	SECTION NOTES
1	GENERAL CONTRACTOR SHALL COMPLY WITH THE 2015 IRC.
2	GENERAL CONTRACTOR SHALL COMPLY WITH ALL UTAH STATE AMENDMENTS TO THE 2015 IRC.
3	GENERAL CONTRACTOR SHALL COMPLY WITH ALL OTHER NATIONAL, STATE, LOCAL AND RELATED CODES AND STANDARD CONSTRUCTION PRACTICES.
4	GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, DIMENSIONS, CONNECTIONS, ETC. PRIOR TO CONSTRUCTION.
5	GENERAL CONTRACTOR SHALL FOLLOW ALL MANUFACTURER SPECIFICATIONS FOR INSTALLATION OF FIXTURES, EQUIPMENT AND MATERIALS.
6	ALL BALCONIES, LANDINGS, DECKS, AND SIMILAR SURFACES EXPOSED TO WEATHER SHALL HAVE APPROPRIATE MOISTURE-PROOFING AND SHALL SLOPE AWAY FROM STRUCTURE AT A MIN. OF 1/8" PER 12".
7	GENERAL CONTRACTOR SHALL ENSURE THAT EXISTING GRADE IS MODIFIED AS REQUIRED TO MAINTAIN CONTINUOUS DRAINAGE AWAY FROM STRUCTURE AT ALL POINTS TO A PUBLIC WAY TO ENSURE THAT NO DRAINAGE IS ALLOWED TO FLOW ONTO ANY ADJACENT PROPERTIES.
8	GENERAL CONTRACTOR SHALL ENSURE TOP OF FOUNDATION WALL IS MIN. 6" ABOVE ADJACENT FINISH GRADE.
9	GENERAL CONTRACTOR SHALL PROVIDE PROPER FLASHING AT ALL DOOR AND WINDOW CONDITIONS. INSTALL 60 MIL, SELF-ADHESIVE BITUMINOUS "ICE AND WATER SHIELD" CONTINUOUS AT ALL PERIMETER CONDITIONS MIN. 3'-0" IN FROM EXTERIOR WALL, AT ALL VALLEY AND RIDGE CONDITIONS AND AT ALL WALL / ROOF CONDITIONS. EXTEND UP WALL MIN. OF 3'-0".
10	GENERAL CONTRACTOR SHALL PROTECT WOOD AGAINST DECAY AS NOTED AND REQUIRED BY CODE. WHERE PROTECTION IS REQUIRED, WOOD MUST BE APPROVED, TREATED, OR DECAY RESISTANT.
11	ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING LEDGERS AND FURRING WALLS MUST BE PRESERVATIVELY TREATED OR FOUNDATION-GRADE REDWOOD (IRC R319).
12	SUBSTRATE FOR WET AREAS SHALL BE MIN. 1/2" SCHLUTER-KERDI-BOARD (OR EQUIVALENT) CONTINUOUS FROM FLOOR TO CEILING (IRC R702.4.2).
13	ALL INTERIOR NON-BEARING WALLS TO BE 2X4 FRAMING @ 16" O.C. WITH DOUBLE TOP AND BOTTOM PLATES. PROVIDE TREATED SOLE PLATE WHERE IN CONTACT WITH CONCRETE. PROVIDE 1/2" GYPSUM BOARD FINISH EACH SIDE. PROVIDE SOLID 2X MID SPAN BLOCKING IN WALLS EXCEEDING 10'-0".
14	PROVIDE 2X4 @ 16" O.C. FURR OUT FRAMING AT PERIMETER OF BASEMENT WALLS. PROVIDE PRESSURE TREATED SOLE PLATE WHERE IN CONTACT WITH CONCRETE. PROVIDE FIRE BLOCKING AT MID SPAN. HOLD FRAMING OUT FROM FOUNDATION WALL 1/2". PROVIDE INSULATION SYSTEM AS PER NOTES AND ENERGY CODE. PROVIDE 1/2" GYPSUM BOARD FINISH.
15	EXTERIOR WALLS AND BEARING WALLS SHALL BE 2X6 FRAMING @ 16" O.C. W/ 1/2" GYPSUM BOARD UNLESS OTHERWISE NOTED.
16	CEILING JOISTS FURR DOWN TO BE 2X4 FRAMING W/ 1/2" GYPSUM BOARD. WALLS AND CEILING OF GARAGE SHALL HAVE A MIN. 5/8" TYPE 'X' GYPSUM BOARD. WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY, THE STRUCTURE SUPPORTING
17	THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN THE EQUIVALENT PROTECTION OF ONE LAYER 5/8" TYPE 'X' GYPSUM BOARD (IRC 309).
18	WALLS AND SOFFIT ON UNDERSIDE OF STAIRS SHALL HAVE 5/8" TYPE 'X' GYPSUM BOARD IF USED AS ACCESSIBLE SPACE (IRC R314.8).
19	FRAME AROUND FIREPLACE FLUE W/ 5/8" TYPE 'X' GYPSUM BOARD ON 2X STUDS. PROVIDE REQUIRED MIN. 2" AIR SPACE CLEARANCE TO COMBUSTIBLES (IRC R1003.18).
20	WHERE APPLICABLE, GENERAL CONTRACTOR SHALL ENSURE SEALED DIRECT VENT FIREPLACE IN SLEEPING AREAS. GENERAL CONTRACTOR SHALL PROVIDE BUILDING DEPARTMENT WITH LISTING
21	(APPROVAL) NUMBER FOR EACH FIREPLACE INSERT AND SHOWER STEAMER PRIOR TO INSTALL.
22 23	PROVIDE FIRE BLOCKING IN ALL WALLS GREATER THAN 8'-0" HIGH. ALL MECHANICAL AND PLUMBING EQUIPMENT SHALL BE RAISED 18" ABOVE FINISHED
24	FLOOR. ALL PLUMBING WALLS TO BE 2X6 FRAMING @ 16" O.C. STAIRWAY CONSTRUCTION TO BE MIN. (3) 2x12 STRINGERS W/ 3/4" STAIR TREAD. STAIRWAY RISERS SHALL NOT EXCEED 7 3/4" AND TREADS SHALL NOT BE LESS THAN 10".
25	STAIRWAY RISERS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4-1/2" ON EITHER SIDE (IRC 314.1).
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31	WHERE APPLICABLE, ACCESSIBLE BELOW-FLOOR AREAS SHALL BE PROVIDED WITH A MINIMUM 18" X 24" ACCESS OPENING (IRC R408.3).
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33	ENCLOSED ATTICS AND SPACES BETWEEN RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACED VENTILATED. THE TOTAL VENTILATING AREA RATIO MAY BE REDUCED TO NOT LESS THAN 1/300 IF: (1) OPENINGS ARE PROVIDED IN THE UPPER AND LOWER PORTIONS OF THE VENTILATED SPACE, OR (2) A 1 PERM VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF THE CEILING (IRC R806).
34	PROVIDE CONTINUOUS 1 1/2" DIAMETER HOLES AT EACH BLOCKING TO ENSURE FREE TRANSLATION OF AIR FROM SOFFIT/EAVE VENT THROUGH BLOCKING AND TO 1" AIR SPACE ABOVE BATT INSULATION.
35	CEILINGS SHALL RECEIVE MIN. R-49 INSULATION. EXT. WALLS SHALL RECEIVE MIN. R-20 INSULATION. FLOORS SHALL RECEIVE MIN. R-30 INSULATION (IRC N1102). WHERE APPLICABLE, VENT CRAWL SPACE PER IRC R408.
36	GENERAL CONTRACTOR SHALL VERIFY ALL DOOR AND WINDOW SIZES W/ OWNER PRIOR TO PURCHASE. ALL DOORS ARE TO BE SOLID CORE WOOD DOORS UNLESS OTHERWISE NOTED.
37	GENERAL CONTRACTOR SHALL VERIFY ALL FINISHES WITH OWNER. GENERAL CONTRACTOR SHALL VERIFY FRAMED OPENINGS AT ALL DOORS AND WINDOWS WITH OWNER PRIOR TO INSTALLATION.
38	GENERAL CONTRACTOR SHALL PROVIDE STANDING SEAM METAL ROOF. VERIFY W/ OWNER PRIOR TO PURCHASE / INSTALLATION.
39	WHERE APPLICABLE, GENERAL CONTRACTOR SHALL PROVIDE 4" CONCRETE SLAB OVER 4" WASHED GRAVEL BASE OVER 6 MIL POLY.
40	WHERE APPLICABLE, SPECIAL INSPECTION REQUIRED FOR ALL STUCCO SYSTEMS.

➡ RIDGE EL = 117'-0"

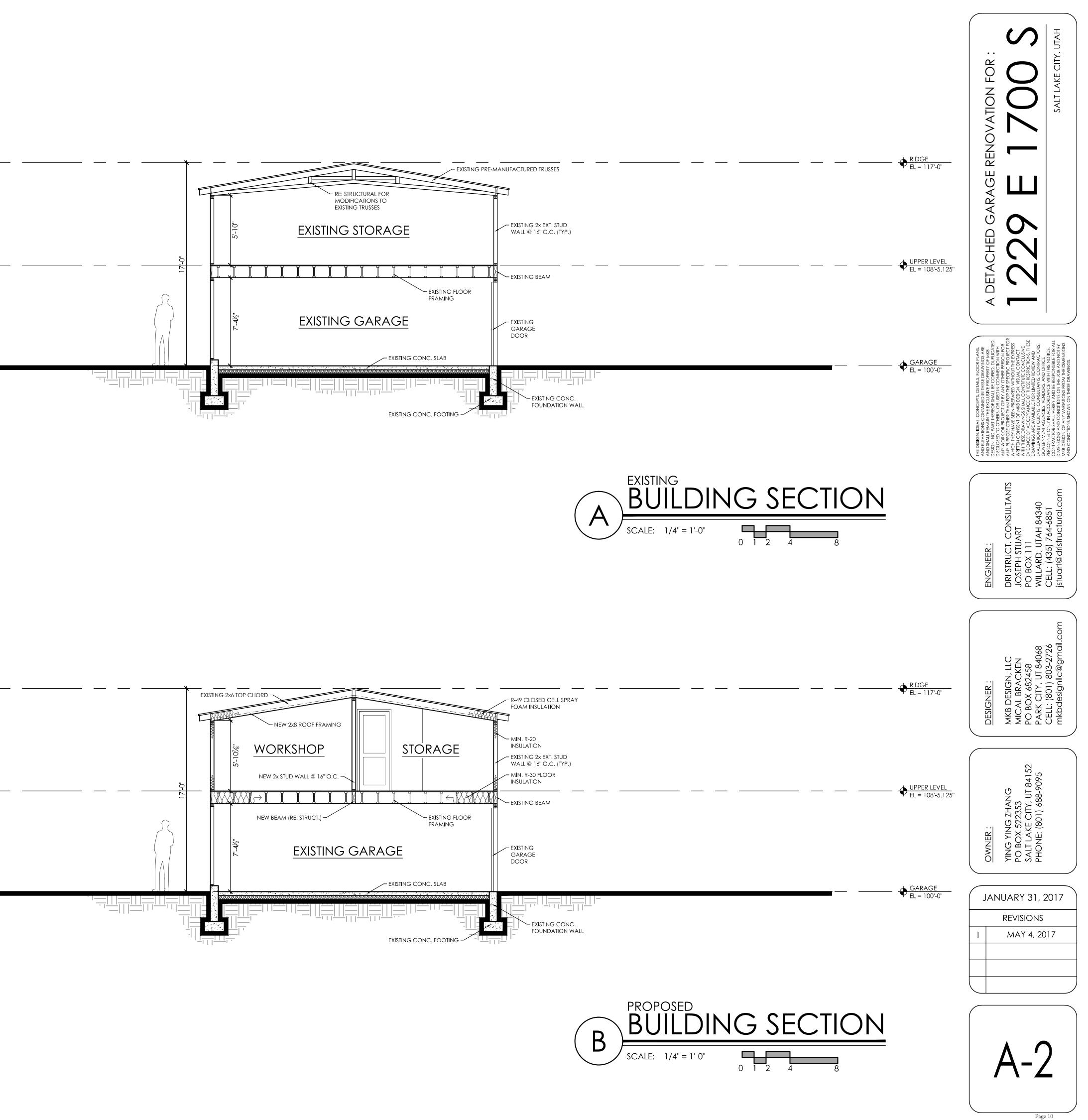
• UPPER LEVEL EL = 108'-5.125"

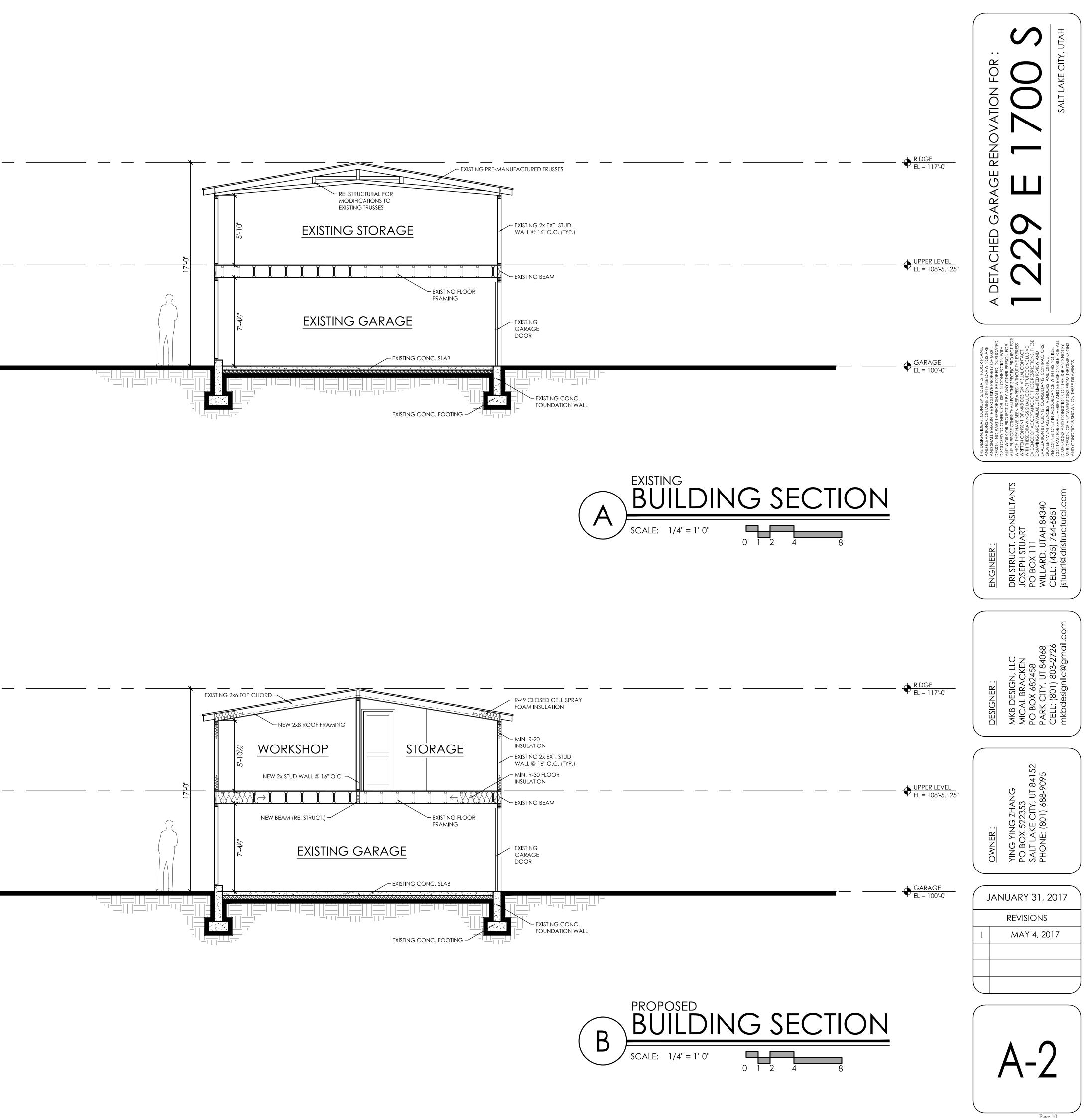
GARAGE EL = 100'-0''

• RIDGE EL = 117'-0''

UPPER LEVEL EL = 108'-5.125"

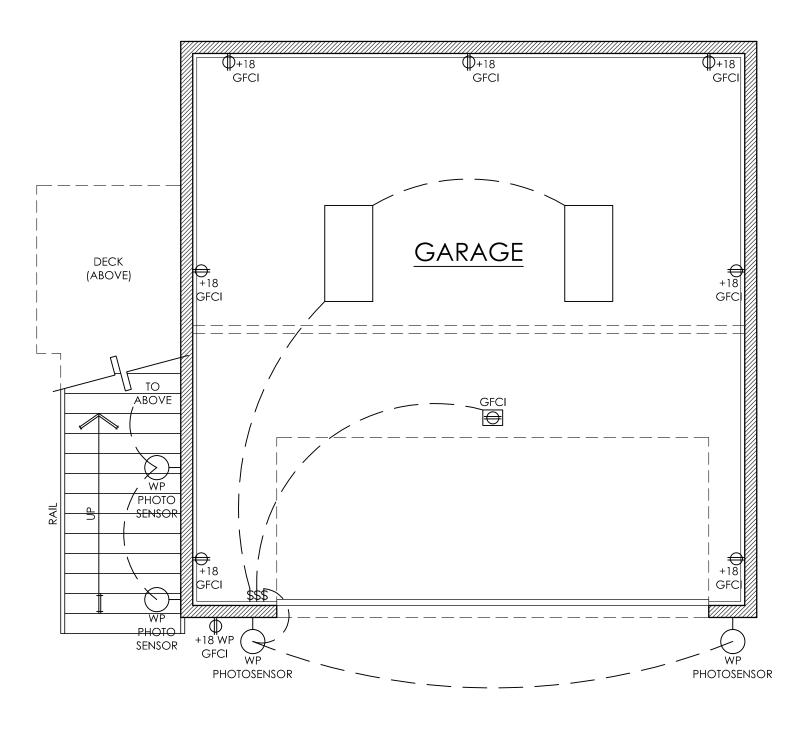
GARAGE EL = 100'-0''

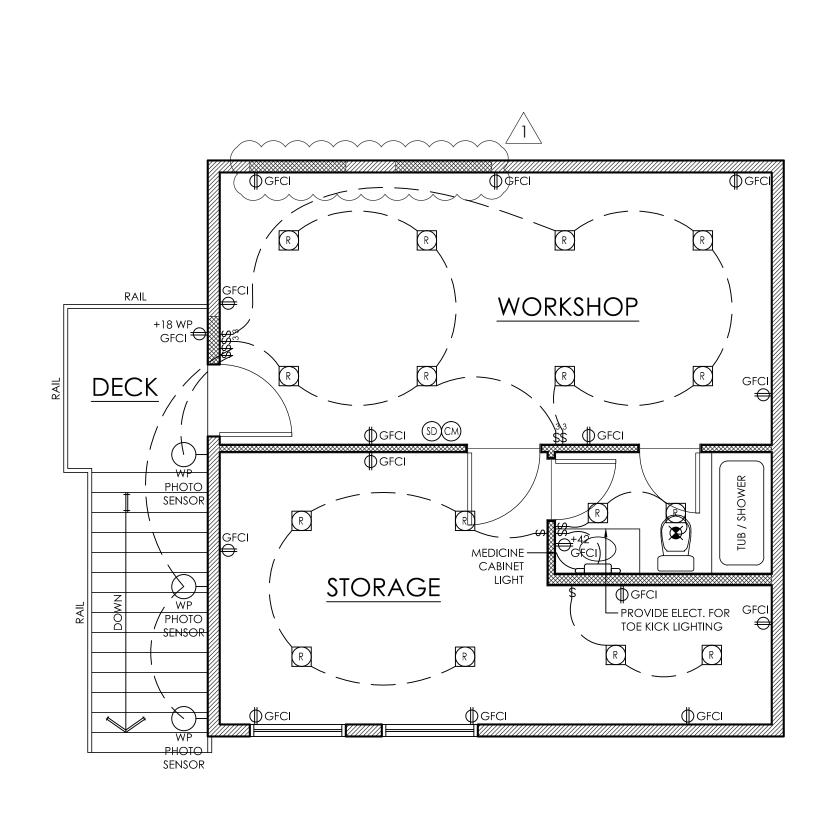


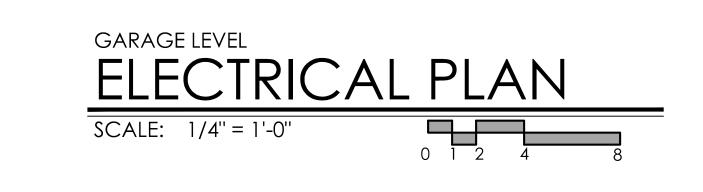


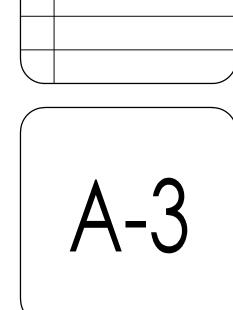
MP - 1         AND FIGC. AND ALL OTHER LOCAL STAFF. AND NATIONAL CODES. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL TEMS. RELATED TO THE PROJECT AS PER INDUSTRY STANDARDS.           MP - 2         COORDINATE WITH OWNER FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.           MP - 3         MECHANICAL LATOUTS ARE SHOWN IN SCHEMANTC. THE CONTRACTOR & RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED TEMS WITH EXISTING CONDITIONS AND RELATED TRADES.           MP - 4         MENTINCINES SCHEMORY IN SCHEMANTC. THE CONTRACTOR & RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED TEMS WITH EXISTING CONDITIONS AND RELATED TRADES.           MP - 4         MENTINCINES SCHEMORY IN SCHEMANTC. THE CONTRACTOR & RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED TEMS SCHEME COR CONTINUOUS OPERATION. VENTILATION AR SHALL BE EXHAUSTED DIRECTLY TO THE COURSE. EXHAUST FANS SHALL BE SIZED FOR MINIMAL RATE OF SCHEM, DUCTO TO BE CALVANED STEEL SANGT COR WERE GUARS.           MP - 5         RATHROOM EXHAUST DUCT WORK TO BE ALUMINUM. CALVANIZED STEEL COR APPROVED REEK CLASS.           MP - 6         ENSTITION OF AND STAND TO BE DIRED STEME. STANLINES STEEL. OF COPERE. DUCTS TO BE AIRTIGHT AND EQUIPPED WITH A BACK DRAFT DAMPER. ALL DUCTS TO TERMINATE OUTSIDE.           MP - 6         CONTRACTOR TO ENSURE THAT A FLOOR DRAIN IS INSTALLED BY THE WATER HEATER. CONTRACTOR TO ENSTITUTION OF ARE FLOW. MAXIMUM ENGTHS THE WATER HEATER OR STEAM SHOWER EQUIPMENT IF LOCATED ON A WOOD FLOOR.           MP - 7         CONTRACTOR TO ENSURE THAT A FLOOR DRAIN IS INSTALLED BY THE WATER HEATER. CONTRACTOR TO ENSTITUTION OF A RELOW. MAXIMUM ENGTHS HALL NOT EXCEED 25-07 (EXCLUDANE SHEMONT ON THIN	MP - 1	NECH./PLUMB. NOTES
mp.         endpointed account of an account of an account of an account of an account of a account of account of a account of account account of account of account of account of account of		
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<ul> <li>Herrich M. B. Schwart and M. S. Schwart and Schwart a</li></ul>	MP - 4	BATHROOM EXHAUST FAN SPECIFICATIONS: BATHROOM EXHAUST FANS SHALL BE CAPABLE OF VENTILATING 50 CFM FOR INTERMITTENT OPERATION OR 20 CFM FOR CONTINUOUS OPERATION. VENTILATION AIR SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. EXHAUST FANS SHALL BE SIZED FOR MINIMAL RATE OF 50 CFM, DUCTED TO OUTSIDE. FANS TO BE DIRECT DRIVE CENTRIFUGAL UNITS WITH SLOW
<ul> <li>Construction to Replay the region of the term of the term of the region of the construction o</li></ul>	MP - 5	BATHROOM EXHAUST DUCT WORK TO BE ALUMINUM, GALVANIZED STEEL OR APPROVED FIBER GLASS. KITCHEN HOOD EXHAUST DUCTS TO BE GALVANIZED STEEL, STAINLESS STEEL, OR COPPER. DUCTS TO BE
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Image:	MP - 7	DUCT). THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED 2.5' FOR EACH 45 DEGREE BEND AND 5' FOR EACH 90 DEGREE BEND. TRANSITION DUCTS SHALL NOT BE OBSTRUCTED WITHIN CONSTRUCTION. LONGER DUCT LENGTHS WILL BE PERMITTED AS PER EXCEPTION #11502.6. DRYER VENT SHALL BE ABLE TO EXHAUST GREATER THAN 25'-0" AS PER MANUFACTURERS SPECIFICATIONS. CONTRACTOR TO PROVIDE
eff-0         Berlin Her Ore CHANNED MIST IS IN HER. OF 07 YOL THE NOTAL ASSERDED AND TO EXAMPLES.           e100         PORTURE STELLANDOM MUST IS IN HER. OF 07 YOL THE NOTAL ASSERDED AND HER OF A FALANCE.           e100         PORTURE STELLANDOM MUST IS IN HER. OF 07 YOL THE NOTAL ASSERDED AND HER OF A FALANCE.           e100         PORTURE STELLANDOM MUST IS IN A DUP TO EXAMPLE AND HERE OF A FALANCE.           e111         PORTURE STELLANDOM MUST IS IN A DUP TO EXAMPLE AND HERE OF A PARTURE AND HERE OF A PARTURE AND HERE OF A PARTURE AND HERE AND H	MP - 8	CONTRACTOR. COORDINATE WITH ELECTRICAL CONTRACTOR.
11         Contribution in the work wide words, but and processor of numerical solution constraints in the processor of numerical solution in the solution in	MP - 9	INPUT. THE ONE OPENING MUST BE IN THE TOP 12" OF THE ROOM. ASSURE MIN 1" CLEARANCE AROUND
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and         American Status (Section 2000)         and add on the Construction of the Consthe Construction of the Construction of the Constructio	MP - 12	REMOVE DEBRIS AND TRASH FROM DUCT WORK AND VACUUM CLEAN DUCTS. RUN SUPPLY AND EXHAUST FANS BEFORE GRILLES AND REGISTERS ARE INSTALLED AND BEFORE CEILINGS AND WALLS ARE PAINTED. THE
44: 14         The OPENNEE WITCH AREA IN A WOOLD WATER COOL NUMBER CONTRUCTS AND OTHER WITCH A PROJECTION OF THE AND THE AND THE AND THE OPENNEE WITCH AND CONTRUCTS OF AND THE AND TH	MP - 13	MIN. WINDOW AREA SHALL NOT EQUAL LESS THAN 8% OF THE FLOOR AREA OF THE ROOM UNLESS PROPER
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44-12     AP-120	MP - 16	CONTRACTOR TO PROVIDE GAS LOGS AND EACH GAS APPLIANCE WITH A SHUT-OFF VALVE WITHIN SIX
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Web CLEARANCE OF MIGHE JANUE FOR WATER CLOBEL           PP - 20         ALL INSTRUME STORAGE OF MALE FOR WATER CONDITIONED TO EXERTISE THAN 1.4 GALLONS PER FLUGH.           ALL SHOWEST DI LAND A RIOW RATE OF NOT MORE HUNDER SOBLE TO ENTITIES ROLE AND MOULES AND MOULES AND AND STATES AND		
ALL VENTS SHALL BE GANGED TO THE FEWEST NUMBER POSSIBLE TO PENETRATE ROOF AND SHOULD BEAM     AUX VENTS SHALL BE GANGED TO THE FEWEST NUMBER POSSIBLE TO PENETRATE ROOF AND SHOULD BEAM     AUX VENTS SHALL BE CONFERENCE TYPE WITH BACK CHOW PERVENTOR.     ALL HOSE BISS SHALL BE NOVERBEEZ YTEE WITH BACK CHOW PERVENTOR.     ALL HOSE BISS SHALL BE NOVERBEEZ YTEE WITH BACK CHOW PERVENTOR.     ALL HOSE BISS SHALL BE NOVERBEEZ YTEE WITH BACK CHOW PERVENTOR.     ALL HOSE BISS SHALL BE NOVERBEEZ YTEE WITH BACK CHOW PERVENTOR.     ALL HOSE BISS SHALL BE NOVERBEEZ YTEE WITH BACK CHOW PERVENTOR.     ALL HOSE BISS SHALL BE NOVERBEEZ YTEE WITH BACK CHOW PERVENTOR.     ALL HOSE BISS SHALL BE NOVERBEEZ YTEE WITH BACK CHOW PERVENTOR.     ALL HOSE BISS SHALL BE NOVERBEEZ YTEE WITH BACK CHOW PERVENTOR.     ALL HOSE BISS SHALL BE NOVERBEEZ YTEE WITH BACK CHOW PERVENTOR.     ALL HOSE BISS SHALL BENOVERBEEZ YTEE WITH BACK CHOW PERVENTOR.     ALL HOSE BISS SHALL BENOVERBEEZ YTEE WITH BACK CHOW PERVENTION.     ALL HOSE SHALL PENEWER BISS SHALL BENOVERBEEL IN THE HOSE AND THE WASHING MACHINE.     ALL HOSE DERVENTIONS, TAKE LEAD DUING DEMENSION SHALL ALC DUING DEAL NOVER STUDIES.     AND EXCIDENT AND TALL ALL PLIVIEND PENDERS IN STRICT ACCORDANCE WITH THE HOSE AND PROVIDED DEAL DOCAL CODES     AND AUTHORNES. CHILDREN TO BE INSTRUCT ACCORDANCE WITH TO AND THE SHALL DOCAL CODES     AND AUTHORNES. CHILDREN ON BE INSTRUCT ACCORDANCE WITH TO AND THE SHALL DOPENTION.     TRANSMESSION AUTHORNAL AND AND ALL DUINS. SHOWERS, ETC. BATHTUB VALVES SHALL UNIT     TEMPERATURE TO A MAXIMUM OF 120 DEGREES.     THE ELECTRICAL SYSTEM TO BE INSTRUCT ACCORDANCE WITH THE 2015 BIC AND UTAH STATE     AND DOWNER. CHILDRES ON COORDINATE WITH THE 2015 BIC AND UTAH STATE     AND DOWNER. CHILDRES TO COORDINATE WITH THE DERVINOS.     EL 1     THE ELECTRICAL SYSTEM TO BE INSTRUCT ACCORDANCE WITH THE 2015 BIC ADD UTAH STATE     AND DOWNER. CHILDRES TO COORDINATE WITH THE PENNER.     ALL DRAWING SAND ELECTRICAL LATIONS INTECH ACCORDANCE WITH THE PENNER.     ALL DRAW		ALL TANK TYPE WATER CLOSETS ARE TO HAVE A FLOW RATE NOT GREATER THAN 1.6 GALLONS PER FLUSH.
ALL HOSE BIRS MALL BE NON-PREZE TYPE WITH BACK ILOW PREVENTIOR.         AP - 22       WATER FORACE TANKS TO HAVE SEBMIC STRAFPING TE DOWNS IN TOP ONE-FINED OF APPLIANCE AND MOTOM ONE-FINED.         AP - 23       REMOVED ELICOR DRAIN NO. / OR DRIP PAN UNDER WATER HEATER. SPA HOT TUB. WASHING MACHINE.         AP - 24       REMOVED ELICOR DRAIN NO. / OR DRIP PAN UNDER WATER HEATER. SPA HOT TUB. WASHING MACHINE.         AP - 24       REMOVED ELICOR DRAIN NO. / OR DRIP PAN UNDER WATER HEATER. SPA HOT TUB. WASHING MACHINE.         AP - 24       REMOVED ELICOR DRAIN COMMENT OR DATA FOLDER ON STRUCT ACCORDANCE WITH THE MANUFACTURES INSTRUCTIONS. TALK CARE DURING BUILDING. CONSTRUCTION TO SEE THAT PROVIDED IN MARKED STRUCT BURGED MACCORDANCE WITH ADD TO SEE THAT PROVIDED IN MARKED STRUCT BURGED MACCORDANCE WITH ADD TALE CARE DURING COMMENT ON DE MARKED STRUCT BURGED MACTINES.         AP - 24       APPEND COMPACTOR DATA TEXT ALL PHONE INCLUIDED COMMACE WITH ADD TALE CARE DURING COMMENT ON DEMANDE COMMENT ON DEMANDE COMMENT ON DATA FOLDER DATA TEXT.         APPEND COMPACTOR DATA TEXT ALL PHENCEMANCE MANALESCH ADD THAT STATE DEMONTONIC MUTHORS IN DEMANDE COMMENT ON DATA FOLDER DATA TEXT.         APPEND COMPACTOR DATA TEXT.       DEMANDE COMPACTOR DATA TEXT.         APPEND COMPACTOR DATA TEXT.       DEMANDE COMMENT ON DEMANDE COMMENT ON DATA TEXT.         APPEND COMPACTOR DATA TEXT.       DEMANDE COMMENT ON DATA TEXT.         APPEND COMPACTOR DATA TEXT.       DEMANDE COMMENT ON DATA TEXT.         APPEND COMPACTOR DATA TEXT.       DEMANDE COMPACTOR TEXT.         APP	MP - 21	All vents shall be ganged to the fewest number possible to penetrate roof and should be a MINIMUM 10'-0'' from eaves. All vents to be sized as per I.R.C. requirements and / or not less
Mr. 24         BOTTOM ORF-HIRD;           PP-24         STECOM ORF-HIRD;         PROVIDE FLOOR DRAIN AND / OR DRIP PAN UNDER WATER HEATER, SPA HOT TUB, WASHING MACHINE;           PP-24         STEENAL CONTRACTOR SHALL INSTALL ALL PLUWINGS INTURES INSTICT ACCORDANCE WITH HE MRDFCIUES INSTICTIONS, TAKE CARE DURING MUNDEC CONSTITUCTION SEE THAT FORMISCING ARE MADE FOR PROPER RETURES SUPPORT AND THAT ROLEH ON PIPING E ACCURATELY SET AND PROVECTED FROM WANKER.           PP-23         CONTRACTOR SHALL ISSI ALL PIPING INTO CONSTITUCTION SEE THAT FORMISCING ARE MADE FOR PROPER RETURES SUPPORT AND THAT ROLEH ON PIPING E ACCURATELY SET AND PROVECTED FROM WANKER.           PP-24         CONTRACTOR SHALL ISSI ALL PIPING INTO CONSTITUCTION SEE THAT FORMISCING AND AUTHORITIS. WATER LINES TO BE DEDINATECTED IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REGULATIONS. WARP MULTICARE TO SEE DEDINATECTED IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT PROVED ANTI-SCALD SHOWER VALVE ON ALL TUBS, SHOWERS, ETC. BATHTUB VALVES SHALL LIMIT TEAMSMUSION.           PP-24         THE ELECTRICAL SYSTEM TO BE INSTITUCT ACCORDANCE WITH INCAL HOLD ANTIPEN SOLAD TRANSMUSION.           PP-27         PROVED ANTIPECTOR SHALL PERFORM ALL WORK IN CONTROCTOR STRUCTURES.           PP-27         THE PIECTICAL AND TO SCI THAT STALLED IN STRUCT ACCORDANCE WITH INCAL HEALTH DEPARTMENTS.           PP-28         THE DEDICTICAL AND TO SCI THAT STALL AND IN CONTROLOGY WITH THESE REGULATIONS.           PP-29         THE DEDICTICAL AND TO SCI THAT STALL AND IN CONTROLOGY TO CONTRACTOR FOR ALL PROVED REGULARMENTS.           E1-1         THE ELECTRICAL STRUCK ON AND THE DRAWINGS.	ир <b>-</b> 22	
Y <sup>4+7-4</sup> STEAM SHOWER EQUIPMENT, ET., LI JOCATED ON WOOD FLOOR STRUCTURE.     STEAM SHOWER EQUIPMENT, ET., LI JOCATED ON WOOD FLOOR STRUCTURE.     Setter Constructions in statular and provide provide on Perine B ACCURATES IN STRUCT ACCORDANCE WITH THE     MAUPACIDIE'S INSTRUCTORS INALL INSTALL ALL PLUMARING FRUIDES IN STRUCT ACCORDANCE WITH THE     STEAM SHOWER STRUCTURE.     STEAM MOVEMENT OR DAMAGE.     SETTEM STRUCTURE INSTRUCTURE.     STEAM MOVEMENT OR DAMAGE.     SETTEM STRUCTURE INSTRUCTURE.     STEAM MOVEMENT OR DAMAGE.     SETTEM STRUCTURE INSTRUCTURE.     STEAM SHOWER STRUCTURE INSTRUCTURE ON PERING INCLUDING CONTINUES WATER PROVIDED     STRUCTURE.     STEAM SHOWER STRUCTURE IN ACCORDANCE WITH LIPORY PLUMARING CODE AND LOCAL HEALTH DEPARTMENT     PERINGLAND, STRUET INSTRUCTURE OF DAMAGE.     STEAM SHOWER STRUCTURE IN ACCORDANCE WITH LIPORY PLUMARING CODE AND LOCAL HEALTH DEPARTMENT     TEMPERATURE TO A MAXIMUM OF 120 DEGRES.     SEELECENTRICLAR SYSTEM TO BE INSTRUCT ACCORDANCE WITH LIPOXAL STATE     AMEDINARID. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONTOWING WITH HEAD STATE     AMEDINARID. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONTOWING WITH HEAD     STEAM STOWER STRUET OR DOTSIDE WORK IS SPECIFICALLY SHOWN ON THE DEAWINGS.     EL-1     THE ELECENTRICL STRUCTURE ON WORK IS SPECIFICALLY SHOWN ON THE DEAWINGS.     EL-3     CONTRACTOR TO RED VERTY ALL RUSTING CONDITIONS, UTLITES, MEASUREMENTS, CONNECTIONS,     EL-3     CONTRACTOR TO RED VERTY ALL RUSTING CONDITIONS, UTLITES, MEASUREMENTS, CONNECTIONS,     EL-4     DESCHARE ROBURENTS,     EL-5     ALL REAVINGS AND ELECTRICAL LAYOUTS INDICATE LOCATIONS AS STEPART. LOCATIONS SHALL     EL-5     ALL REAVINGS AND ELECTRICAL LAYOUTS INDICATE LOCATIONS AS STEPART.     EL-6     CONTRACTOR TO RED VERTY ALL RUSTING CONDITIONS, UTLITES, MEASUREMENTS, CONNECTION RAIL     EL-6     ALL REAVINGS AND ELECTRICAL LAYOUTS INDICATE LOCATIONS AS STEPART.     LOW RER RUBERMENTS,     EL-6     ALL REAVINGS AND ELECTRICAL LAYOUTS INDICATE LOCATIONS AS STEPART.     C		BOTTOM ONE-THIRD.
Pare Made Foor Process names support and that rough on privic is accurately set and intercent provide models.           Process         Contractor Shall test all privic including drainage waist lines, water privic. Intercent provide models and privic including drainage waist lines, water privic.           Process         Process         Process         Process         Process         Process           Process <td>иР - 24 </td> <td>STEAM SHOWER EQUIPMENT, ETC. IF LOCATED ON WOOD FLOOR STRUCTURE. GENERAL CONTRACTOR SHALL INSTALL ALL PLUMBING FIXTURES IN STRICT ACCORDANCE WITH THE</td>	иР - 24 	STEAM SHOWER EQUIPMENT, ETC. IF LOCATED ON WOOD FLOOR STRUCTURE. GENERAL CONTRACTOR SHALL INSTALL ALL PLUMBING FIXTURES IN STRICT ACCORDANCE WITH THE
AP - 24         NATURAL GAS PIPING. EIC. TEST IN ACCORDANCE WITH UNFORM PLUMBING CODE AND LOCAL CODES TRANSMISSION.           AP - 27         PROVIDE ANTI-SCALD SHOWER VALVE ON ALL TUBS, SHOWERS, EIC. BATHTUB VALVES SHALL LIMIT TEMPERATURE TO A MAXIMUM OF 120 DEGREES.           AP - 27         PROVIDE ANTI-SCALD SHOWER VALVE ON ALL TUBS, SHOWERS, EIC. BATHTUB VALVES SHALL LIMIT TEMPERATURE TO A MAXIMUM OF 120 DEGREES.           EL         1         THE ELECTRICAL SYSTEM TO BE INSTALLED IN STRICT ACCORDANCE WITH THE 2015 IRC AND UTAH STATE AMENDMENTS. THE CONTRACTOR THALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS STRICT ACCORDANCE WITH THE 2015 IRC AND UTAH STATE AMENDMENTS. THE CONTRACTOR TO ALL PREFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS STRICT ACCORDANCE WITH THE 2015 IRC AND UTAH STATE AMENDMENTS. THE CONTRACTOR TO AUXIMUM OF 120 DEGREES.           EL - 2         ALL DRAWINGS AND ELECTRICAL LYOUTS INDICATE LOCATION AS SCHEMATIC. LOCATION SHALL PERFORM ALL WORK REQUIREMENTS.           EL - 3         CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, UTILITES, MEASUREMENTS. CONNECTION ROLD PRE 2015 IRC AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR ROLL PRE 2015 IRC CONTRACTOR TO HELD VERIFY ALL EXISTING CONDITIONS, UTILITES, MEASUREMENTS. CONNECTION ROLL PRE 2015 IRC CONTRACTOR TO HELD VERIFY ALL EXISTING CONDITIONS, UTILITES, MEASUREMENTS. CONNECTION ROLL PRE 2015 IRC CONTRACTOR TO VERIFY LOCATIONS OF ALL OUTLETS, EXTURES, SWITCHES, ETC. W/ OWNER AND DISEGNER PRIOR TO WEING.           EL - 4         CONTRACTOR TO HELD VERIFY ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, ODMENTATIONS, ALL DEECTROCAL INSTALL STROCTON INCERS SHALL BE SPACED AS PRE 2015 IRC. CHAPTERS 3	ИР <b>-</b> 25	ARE MADE FOR PROPER FIXTURE SUPPORT AND THAT ROUGH ON PIPING IS ACCURATELY SET AND PROTECTED FROM MOVEMENT OR DAMAGE.
Part - 20         TEMPERATURE TO A MAXIMUM OF 120 DEGREES.           ELECTED         ELECTED         ELECTED         ELECTED         ELECTED         THE ELECTRICAL SYSTEM TO BE INSTALLED IN STRUCT ACCORDANCE WITH THE 2015 IRC. AND UTAH STATE ANEWED MENTS. THE CONTRACTOR SHALL PERFORM ALL WORK TO CONFORMITY INTEREST REGULATIONS WHETHER ON NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.           EL-1         ALL DRAWINGS AND ELECTRICAL LAYOUTS NOTCATE LOCATIONS AS SCHEMATIC. LOCATIONS SHALL BE PREVENDED BIE ON DOWNER, CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER REQUIREMENTS.           EL-3         CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, CONNECTIONS.           EL-4         DESIGNER REPORT OF WEIRY ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, CONNECTIONS.           EL-5         ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, BATHS, UNFINISHED BASEMENTS, AND OUTSIDE RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, BATHS, UNFINISHED BASEMENTS, AND OUTSIDE RECEPTACLES SHALL BE GOT ROTOCTOCID.           EL-6         NATALL SMORE DETECTORS IN ALL BUILDING LEVELS, SLEEPING, AREAS, ACCESS WAYS TO SLEEPING AREAS, ROOMS WITH SLOPED WALLS ADJACENT TO HALLS SERVING BEDROOMS, ALL DETECTORS SHALL BE INTERCONNECTED AND HARD WIRED W/ BATTERY BACKUP.           EL-7         ALL ELECTRICAL PROTECTION IN ALL BUILDING LEVELS SLEEPING, AREAS, ACCESS WAYS TO SLEEPING AREAS, ROOMS WITH SLOPED WALLS ADJACENT TO HALLS SERVING BEDROOMS, MUST BE PROVIDED WITH ARECTALL PROVIDE TON ON THE CODE.           EL-7         ALL BECKTRICAL PROTECTION IN ALL BUILDING LEVELS SLEEPING, AREAS, ACCESS WAYS TO SLEEPING AREAS, BOOMS WI	ИР - 26	NATURAL GAS PIPING, ETC. TEST IN ACCORDANCE WITH UNIFORM PLUMBING CODE AND LOCAL CODES AND AUTHORITIES. WATER LINES TO BE DISINFECTED IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REGULATIONS. WRAP ALL PLUMBING FIXTURE WASTE LINES WITH ROCK WOOL TO DAMPEN SOUND
EL -1         THE ELECTRICAL SYSTEM TO SEINSTALLED IN STRICT ACCORDANCE WITH THE 2015 IRC AND UTAH STATE AMENDMENTS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.           EL -2         ALL DRAWINGS AND ELECTRICAL LAYOUTS INDICATE LOCATIONS AS SCHEMATIC. LOCATIONS SHALL BE PPER 2015 IRC AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER REQUERTES.           EL -3         CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS. UTILITIES, MEASUREMENTS, CONNECTIONS.           EL -4         CONTRACTOR TO VERIFY LOCATIONS OF ALL OUTLETS. FIXTURES. SWITCHES. ETC. W/ OWNER AND DISISTEMER PRIOR TO WIRING.           EL -5         ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS. IN GARAGES, BATHS. UNFINISHED BASEMENTS, AND OUTSIDE RECEPTRACLES STALL BE OFCI PROTECTED.           EL -6         INSTALL SMOKE DETECTORS IN ALL BUILDING LEVELS. SLEEPING AREAS, ACCESS WAYS TO SLEEPING AREAS, ROOMS WITH SLOPED WALLS ADJACENT TO HALLS SERVING BEDROOMS. ALL DETECTORS SHALL BE INTERCONNECTED AND HAND WIRED WY BATTERY BACKUP.           EL -7         ALL ELECTRICAL RECEPTACLES SHALL BE SPACED AS PER 2015 IRC. CHAPTERS 39, 39 AND OTHER AREAS, DOOMS WITH SLOPED WALLS ADJACENT TO HALLS SERVING BEDROOMS. ALL DETECTORS SHALL BE INTERCONNECTED AND HAND WIRED WY BATTERY BACKUP.           EL -7         ALL BLACTRICAL RECEPTACLES SHALL BE SPACED AS PER 2015 IRC. CHAPTERS 39, 39 AND OTHER AREAS ADOM WITH SLOPED WALLS ADJACENT TO HALL SERVING SPACE AND MIN 6-5" HEADROOM.           EL -7         ALL BLACTRICAL RECEPTACLES SHALL BE COMPLETED IN THE ROAT SMALL DETECTORS.           EL -7         AL	иР <b>-</b> 27	
EL 1       AMENDAENTS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH HESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.         EL 2       ALL DRAWINGS AND ELECTRICAL LAYOUTS INDICATE LOCATIONS AS SCHEMATIC. LOCATIONS SHALL BE PER 2015 REC AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER REQUIREMENTS.         EL -3       CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, CONNECTIONS.         EL -4       CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, CONNECTIONS.         EL -5       ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS. IN GARAGES, BATHS, UNFINISHED BASEMENTS, AND OUTSIDE RECEPTACLES SHALL BE GFCI PROTECTED.         EL -6       ALL RECEPTACLES SHALL BE GFCI PROTECTED.         EL -6       INSTALL SMOKE DETECTORS IN ALL BUILDING LEVELS. SLEEPING AREAS, ACCESS WAYS TO SLEEPING AREAS, ROOMS WITH SLOPED WALLS ADLACENT TO HALLS SERVING BEDROOMS. ALL DETECTORS SHALL BE INTERCONNECTED AND HARD WIRED WY BATTERY BACKUP.         EL -7       ALL ELECTRICAL RECEPTACLES SHALL BE SPACED AS PER 2015 IRC. CHAPTERS 38, 39 AND OTHER AREAS, ROOMS WITH SLOPED WALLS ADLACENT TO HALLS SERVING BEDROOMS. MUST BE PROVIDED WITH ARC-FAULT PROTECTION.         EL -10       INSTALL AT LEAST TWO (2) OUTSIDE GRADE LEVEL RECEPTACLES - ONE IN THE FRONT YARD AND ONE IN THE REAR YARD.         EL -11       DRIVELUCAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE IRC AND NATIONAL ELECTRICAL SERVICE COAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE IRC AND NATIONAL ELECTRICAL SERVICE COAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDIC	E	ELECTRICAL NOTES
EL - 2         PER 2015 IRC AND OWNER, CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER REQUIREMENTS.           EL - 3         CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, CONNECTIONS.           EL - 4         CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, CONNECTIONS.           EL - 4         CONTRACTOR TO VERIFY LOCATIONS OF ALL OUTLETS, FIXTURES, SWITCHES, ETC. W/ OWNER AND DESIGNER PRIOR TO VERIFY LOCATIONS OF ALL OUTLETS, FIXTURES, SWITCHES, ETC. W/ OWNER AND DESIGNER PRIOR TO VERIFY LOCATIONS OF ALL OUTLETS, IN GARAGES, BATHS, UNFINISHED BASEMENTS, AND OUTSIDE RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, BATHS, UNFINISHED BASEMENTS, AND OUTSIDE RECEPTACLES SHALL BE GCOI PROTECTED.           EL - 6         ALL RECEPTACLES SHALL BE GCOI PROTECTED.           EL - 7         ALLE DETRICAL PROCEPT ACLES SHALL BE SPACED AS PER 2015 IRC. CHAPTERS 38, 39 AND OTHER APPLICABLE SECTIONS OF THE CODE.           EL - 7         ALL BRANCH CIRCUITS THAT SUPPLY RECEPTACLE OUTLETS IN BEDROOMS MUST BE PROVIDED WITH ARC-FAULT PROTECTION.           EL - 8         ALL BRANCH CIRCUITS THAT SUPPLY RECEPTACLE OUTLETS IN BEDROOMS MUST BE PROVIDED WITH ARC-FAULT PROTECTION.           EL - 10         INSTALL AT LEAST TWO (2) OUTSIDE GRADE LEVEL RECEPTACLES - ONE IN THE FRONT YARD AND ONE IN THE REAR YARD.           EL - 11         PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REQ. AND CLEARANCE DIMENSIONS OF IRC E3903.11           EL - 10         INSTALL AT LEAST TWO (2) OUTSIDE GRADE LEVEL RECEPTACLES - ONE IN THE FRONT YARD AND ONE IN THE REAR YARD.	EL - 1	AMENDMENTS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE
EL - 4         CONTRACTOR TO VERIFY LOCATIONS OF ALL OUTLETS, FIXTURES, SWITCHES, ETC. W/ OWNER AND DESIGNER PRIOR TO WIRING.           EL - 5         ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, BATHS, UNFINISHED BASEMENTS, AND OUTSIDE RECEPTACLES SHALL BE GGCI PROTECTED.           EL - 6         ALL RECEPTACLES SHALL BE GGCI PROTECTED.           EL - 6         NSTALL SMOKE DETECTORS IN ALL BUILDING LEVELS, SLEEPING AREAS, ACCESS WAYS TO SLEEPING AREAS, ROOMS WITH SLOOPED WALLS ADLACENT TO HALLS SERVING BEDROOMS. ALL DETECTORS SHALL BE INTERCONNECTED AND HARD WIRED W/ BATTERY BACKUP.           EL - 7         ALL ELECTRICAL RECEPTACLES SHALL BE SPACED AS PER 2015 IRC, CHAPTERS 38, 39 AND OTHER APPLICABLE SECTIONS OF THE CODE.           EL - 8         ALL BRANCH CIRCUITS THAT SUPPLY RECEPTACLE OUTLETS IN BEDROOMS MUST BE PROVIDED WITH ARC-FAULT PROTECTION.           EL - 9         ELECTRICAL PANELS MUST COMPLY W/ IRC E330S FOR 30" X 36" CLEAR WORKING SPACE AND MIN 6'-6" HEADROOM.           EL - 10         INSTALL AT LEAST TWO (2) OUTSIDE GRADE LEVEL RECEPTACLES - ONE IN THE FRONT YARD AND ONE IN THE REAR YARD.           EL - 11         DROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REG. AND CLEARANCE DIMENSIONS OF JRC E3903.11           EL - 11         PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REG. AND CLEARANCE DIMENSIONS OF JRC E3903.11           EL - 11         DIMENSIONS OF ARC E3903.11           EL - 110         INTERLECTRICAL SERVICE EQUIPMENT SHALL BE COMPUTED BY METHOD INDICATED IN THE IRC AND NATIONAL ELECTRIC CAPACITY AND SIZE SHALL BE COMPUTE	EL - 2	PER 2015 IRC AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL
EL - 4       DESIGNER PRIOR TO WIRING.         EL - 5       ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, BATHS, UNFINISHED BASEMENTS, AND OUTSIDE RECEPTACLES SHALL BE GFCI PROTECTED.         EL - 6       INSTALL SMOKE DETECTORS IN ALL BUILDING LEVELS, SLEEPING AREAS, ACCESS WAYS TO SLEEPING AREAS, ROOMS WITH SLOPED WALLS ADJACENT TO HALLS SERVING BEDROOMS. ALL DETECTORS SHALL BE INTERCONNECTED AND HARD WIRED W/ BATTERY BACKUP.         EL - 7       ALL ELECTRICAL RECEPTACLES SHALL BE SPACED AS PER 2015 IRC, CHAPTERS 38, 39 AND OTHER APPLICABLE SECTIONS OF THE CODE.         EL - 8       ALL BRANCH CIRCUITS THAT SUPPLY RECEPTACLE OUTLETS IN BEDROOMS MUST BE PROVIDED WITH ARC-FAULT PROTECTION.         EL - 9       ELECTRICAL PANELS MUST COMPLY W/ IRC E3305 FOR 30" X 36" CLEAR WORKING SPACE AND MIN 6-6" HEADROOM.         EL - 10       INSTALL AT LEAST TWO (2) OUTSIDE GRADE LEVEL RECEPTACLES - ONE IN THE FRONT YARD AND ONE IN THE REAR YARD.         EL - 11       PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REG. AND CLEARANCE DIMENSIONS OF IRC E3903.11         EL - 12       PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REG. AND CLEARANCE DIMENSIONS OF IRC E3903.11         EL - 12       PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REG. AND CLEARANCE DIMENSIONS OF IRC E3903.11         EL - 11       PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REG. AND CLEARANCE DIMENSIONS OF IRC E3903.11         EL - 12       PROVIDE LIGHT FIXTURES INC CLOSETS THAT COMPLY WITH INSTALLATION REG. AND CLEARANCE DIMENTAS, SWITCHES CODE, P	EL - 3	
OUISIDE RECEPTACLES SHALL BE GFCI PROTECTED.           EL - 6         INSTALL SMOKE DETECTORS IN ALL BUILDING LEVELS, SLEEPING AREAS, ACCESS WAYS TO SLEEPING AREAS, ROOMS WITH SLOPED WALLS ADJACENT TO HALLS SERVING BEDROOMS, ALL DETECTORS SHALL BE INTERCONNECTED AND HARD WIRED W/ BATTERY BACKUP.           EL - 7         ALL ELECTRICAL RECEPTACLES SHALL BE SPACED AS PER 2015 IRC, CHAPTERS 38, 39 AND OTHER APPLICABLE SECTIONS OF THE CODE.           EL - 8         ALL BRANCH CIRCUITS THAT SUPPLY RECEPTACLE OUTLETS IN BEDROOMS MUST BE PROVIDED WITH ARC-FAULT PROTECTION.           EL - 9         ELECTRICAL PANELS MUST COMPLY W/ IRC E3305 FOR 30" X 36" CLEAR WORKING SPACE AND MIN 6'-6" HEADROOM.           EL - 10         INSTALL AT LEAST TWO (2) OUTSIDE GRADE LEVEL RECEPTACLES - ONE IN THE FRONT YARD AND ONE IN THE REAR YARD.           EL - 11         PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REQ. AND CLEARANCE DIMENSIONS OF IRC E3903.11           EL - 12         PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REQ. AND CLEARANCE DIMENSIONS OF IRC E3903.11           EL - 12         PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REQ. AND CLEARANCE DIMENSIONS OF IRC E3903.11           EL - 12         PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REQ. AND CLEARANCE ON ONTHER SERVICE EQUIPMENT SHALL BE LOCATED BY METHOD INDICATED IN THE IRC AND OTHER SERVICE SONG CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES OR OTHER SERVICE FORM OUTSIDE WEATHER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER. AND PROTECTED LOCATION, ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM		DESIGNER PRIOR TO WIRING.         ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, BATHS, UNFINISHED BASEMENTS, AND
EL - 7         ALL ELECTRICAL RECEPTACLES SHALL BE SPACED AS PER 2015 IRC, CHAPTERS 38, 39 AND OTHER APPLICABLE SECTIONS OF THE CODE.           EL - 8         ALL BRANCH CIRCUITS THAT SUPPLY RECEPTACLE OUTLETS IN BEDROOMS MUST BE PROVIDED WITH ARC-FAULT PROTECTION.           EL - 9         ELECTRICAL PANELS MUST COMPLY W/ IRC E3305 FOR 30" X 36" CLEAR WORKING SPACE AND MIN 6'-6" HEADROOM.           EL - 10         INSTALL AT LEAST TWO (2) OUTSIDE GRADE LEVEL RECEPTACLES - ONE IN THE FRONT YARD AND ONE IN THE REAR YARD.           EL - 11         PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REQ. AND CLEARANCE DIMENSIONS OF IRC E3903.11           EL - 12         CLECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE IRC AND NATIONAL ELECTRICA SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE IRC AND NATIONAL ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE IRC AND NATIONAL ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE IN AN INCONSPICUOIS, ACCESSIBLE, AND PROTECTED LOCATION. ELECTRICAL METER BASE SHALL BE IN AN INCONSPICUOIS, ACCESSIBLE, AND PROTECTED LOCATION. ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER.           EL - 13         HEIGHT OF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED OTHER BURST. THE MOUNTING FROM THE FINISHED FLOOR TO THE CENTER OF OUTLETS. INCLUDING TELEPHONE, CATV, ETC. SHALL BE 18" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS. SHALL BE 12" TO CENTERLINE ABOVE SURFACE UNLESS NOTED OTHER SURFACES THE OUTLETS. TELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.           EL - 14         UNLESS NOTED OTHERWISE L	_	INSTALL SMOKE DETECTORS IN ALL BUILDING LEVELS, SLEEPING AREAS, ACCESS WAYS TO SLEEPING
EL - 8       ALL BRANCH CIRCUITS THAT SUPPLY RECEPTACLE OUTLETS IN BEDROOMS MUST BE PROVIDED WITH ARC-FAULT PROTECTION.         EL - 9       ELECTRICAL PANELS MUST COMPLY W/ IRC E3305 FOR 30" X 36" CLEAR WORKING SPACE AND MIN 6'-6" HEADROOM.         EL - 10       INSTALL AT LEAST TWO (2) OUTSIDE GRADE LEVEL RECEPTACLES - ONE IN THE FRONT YARD AND ONE IN THE REAR YARD.         EL - 11       PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REQ. AND CLEARANCE DIMENSIONS OF IRC E3903.11         EL - 12       RELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE IRC AND NATIONAL ELECTRIC CODE. PANELS OR CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN AN INCONSPICUOUS, ACCESSIBLE, AND PROTECTED LOCATION. ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER.         EL - 13       HEIGHT OF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED OTHER SURFACES THE OUTLETS SHALL BE IS" TYPICAL AT DESKS AND DUTES OUTLETS, OTHER SURFACES THE OUTLETS SHALL BE IZ" TO CENTRERIUR ABOVE SUBFACE UNLESS NOTED FLOOR TO THE CENTER SURFACES THE OUTLETS SHALL BE IZ" TO CENTRERIUR ABOVE SUBFACE UNLESS NOTED OTHER SURFACES THE OUTLETS, SHALL BE IZ" TO CENTRERIUR ABOVES SUBFACE UND INSTALL ONE (1) GFIC WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR.         EL - 14       UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE (1) GFIC WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR.         EL - 14       UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE EACH HABITABLE LEVEL OF	EL - 7	ALL ELECTRICAL RECEPTACLES SHALL BE SPACED AS PER 2015 IRC, CHAPTERS 38, 39 AND OTHER
EL-9       HEADROOM.         EL - 10       INSTALL AT LEAST TWO (2) OUTSIDE GRADE LEVEL RECEPTACLES - ONE IN THE FRONT YARD AND ONE IN THE REAR YARD.         EL - 11       PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REQ. AND CLEARANCE DIMENSIONS OF IRC E3903.11         EL - 11       PROVIDE LIGHT SWITCE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE IRC AND NATIONAL ELECTRIC CODE. PANELS OR CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN AN INCONSPICUOUS, ACCESSIBLE, AND PROTECTED LOCATION. ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER.         EL - 12       HEIGH TOF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED OTHER WISE. THE MOUNTING FROM THE FINISHED FLOOR TO THE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV. ETC. SHALL BE 18" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE 12" TO CENTERLINE ABOVE SURFACE UNLESS NOTED OTHERWISE. SWITCHES, OUTLETS, TELEPHONE, CATV. ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.         EL - 14       UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE (1) GFIC WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR.         EL - 15       CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH HABITABLE LEVEL OF A DWELLING UNIT BATTERY BACKUP AND, WHERE APPLICABLE, INTERCONNECTED WITH SMOKE DETECTORS.         EL - 16       CONTRACTOR TO PROVIDE ELECTRICAL SERVICE TO MECHANICAL EQUIPMENT AS REQUIRED.         EL - 17       IN LIVING AREAS OF THE HOME, OUTLETS ARE REQUIRED TO BE INSTALLED SO THAT NO POIN	EL - 8	ALL BRANCH CIRCUITS THAT SUPPLY RECEPTACLE OUTLETS IN BEDROOMS MUST BE PROVIDED WITH
EL - 10       THE REAR YARD.         EL - 11       PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REQ. AND CLEARANCE DIMENSIONS OF IRC E3903.11         EL - 11       PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH INSTALLATION REQ. AND CLEARANCE DIMENSIONS OF IRC E3903.11         EL - 12       ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE IRC AND NATIONAL ELECTRIC CODE. PANELS OR CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN AN INCONSPICUOUS, ACCESSIBLE, AND PROTECTED LOCATION, ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED INFROM OUTSIDE WEATHER.         EL - 12       HEIGHT OF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED OTHERWISE. THE MOUNTING FROM THE FINISHED FLOOR TO THE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 18" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE 12" TO CENTERLINE ABOVE SURFACE UNLESS NOTED OTHERWISE. SWITCHES, OUTLETS, NELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.         EL - 14       UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE (1) GFIC WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR.         EL - 15       CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH HABITABLE LEVEL OF A DWELLING UNIT EQUIPPED WITH FUEL BURNING APPLICABLE, INTERCONNECTED WITH SMOKE DETECTORS.         EL - 16       CONTRACTOR TO PROVIDE ELECTRICAL SERVICE TO MECHANICAL EQUIPMENT AS REQUIRED.         EL - 17       IN LIVING AREAS OF THE HOME, OUTLETS ARE REQUIRED TO BE INSTALLED SO THAT NO POINT ALONG <td>EL - 9</td> <td></td>	EL - 9	
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EL - 13OTHERWISE. THE MOUNTING FROM THE FINISHED FLOOR TO THE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 18" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE 12" TO CENTERLINE ABOVE SURFACE UNLESS NOTED OTHERWISE. SWITCHES, OUTLETS, TELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.EL - 14UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE (1) GFIC WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR.EL - 14CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH HABITABLE LEVEL OF A DWELLING UNIT EQUIPPED WITH FUEL BURNING APPLIANCES. DETECTORS TO BE HARD WIRED TO BUILDING CIRCUIT W/ BATTERY BACKUP AND, WHERE APPLICABLE, INTERCONNECTED WITH SMOKE DETECTORS.EL - 16CONTRACTOR TO PROVIDE ELECTRICAL SERVICE TO MECHANICAL EQUIPMENT AS REQUIRED.EL - 17IN LIVING AREAS OF THE HOME, OUTLETS ARE REQUIRED TO BE INSTALLED SO THAT NO POINT ALONG		NATIONAL ELECTRIC CODE. PANELS OR CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES OR
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EL - 15EQUIPPED WITH FUEL BURNING APPLIANCES. DETECTORS TO BE HARD WIRED TO BUILDING CIRCUIT W/ BATTERY BACKUP AND, WHERE APPLICABLE, INTERCONNECTED WITH SMOKE DETECTORS.EL - 16CONTRACTOR TO PROVIDE ELECTRICAL SERVICE TO MECHANICAL EQUIPMENT AS REQUIRED.EL - 17IN LIVING AREAS OF THE HOME, OUTLETS ARE REQUIRED TO BE INSTALLED SO THAT NO POINT ALONG	EL - 11 EL - 12	FROM OUTSIDE WEATHER.         HEIGHT OF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED OTHERWISE. THE MOUNTING FROM THE FINISHED FLOOR TO THE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 18" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE 12" TO CENTERLINE ABOVE SURFACE UNLESS NOTED OTHERWISE. SWITCHES, OUTLETS, TELEPHONE, CATV,
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	EL - 11 EL - 12 EL - 13 EL - 14	FROM OUTSIDE WEATHER.         HEIGHT OF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED OTHERWISE. THE MOUNTING FROM THE FINISHED FLOOR TO THE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 18" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE 12" TO CENTERLINE ABOVE SURFACE UNLESS NOTED OTHERWISE. SWITCHES, OUTLETS, TELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.         UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE (1) GFIC WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR.         CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH HABITABLE LEVEL OF A DWELLING UNIT EQUIPPED WITH FUEL BURNING APPLIANCES. DETECTORS TO BE HARD WIRED TO BUILDING CIRCUIT W/

ELECTRICAL LEGEND				
\$	SINGLE POLE TOGGLE SWITCH	R	RECESSED CAN	
\$ <del>3</del>	THREE WAY TOGGLE SWITCH	SL	STEP LIGHT	
\$	FOUR WAY TOGGLE SWITCH	A	MONOSPOT CEILING LIGHT FIXTURE	
\$ <sub>D</sub>	DIMMER TOGGLE SWITCH	- <del>\</del> -	CEILING MOUNTED LIGHT FIXTURE	
\$ 3D	THREE WAY DIMMER SWITCH	$\Phi$	SUSPENDED PENDANT LIGHT FIXTURE	
\$	GARAGE DOOR OPENER	ю	INDOOR WALL SCONCE	
<del>0</del>	110 VOLT DUPLEX OUTLET	HOWE	OUTDOOR WALL SCONCE (WATERPROOF)	
€ AFCI	110 VOLT ARC-FAULT PROTECTION	X	EXHAUST FAN	
	110 VOLT GROUND FAULT INTERRUPTER	<b>A</b>	TELEPHONE OUTLET (CAT 5E WIRING)	
	110 VOLT WATERPROOF GFI OUTLET W/ BUBBLE COVERS	TV	1X COAX + 1X CAT6 FOR TV HOOKUP	
	110 VOLT FLOOR DUPLEX OUTLET	TNI	INTERNET	
<del>Q</del>	110 VOLT DUPLEX OUTLET (+42" ABOVE FINISHED FLOOR)			
Ð	110 VOLT DUPLEX CELING OUTLET		CEILING MOUNTED FAN AND LIGHT FIXTURE	
€ wP	110 VOLT DUPLEX WATERPROOF RAFTER OUTLET		WALL MOUNT FIXTURE	
<del>o</del>	110 VOLT HALF-SWITCHED OUTLET	+++	UNDER CABINET HALOGENS (24")	
€	220 VOLT OUTLET	<b>+ + +</b>	UNDER CABINET HALOGENS (48")	
(SD)	SMOKE DETECTOR W/ BATTERY BACK-UP			
CM	CARBON MONOXIDE DETECTOR	7	2' X 4' FLUORESCENT FIXTURE	









Page 11

UPPER LEVEL ELECTRICA	LPLAN
SCALE: 1/4" = 1'-0"	0 1 2 4 8



IEER :

DESI

OWNER :

84152 2095

, UT

YING Y PO BO SALT L/ PHO

JANUARY 31, 2017

REVISIONS

MAY 4, 2017

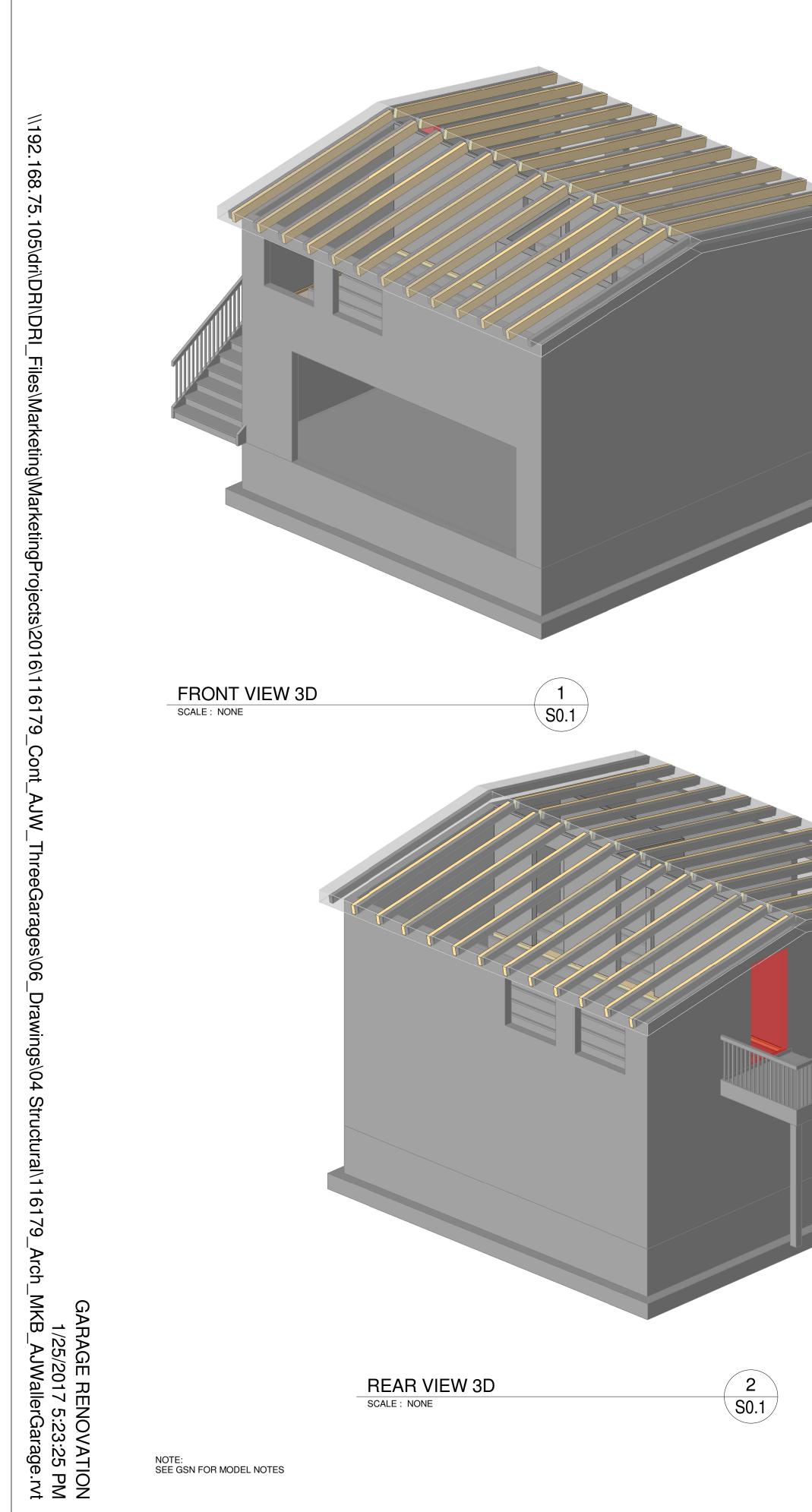
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AH 64

JTAH

ELECTRICAL LAYOUTS ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. COORDINATE W/ OWNER PRIOR TO PURCHASE / INSTALL.

ALL EXISTING LIGHTING & ELECTRICAL TO REMAIN UNLESS NOTED OTHERWISE.





@ AB	AT ANCHOR BOLT	LHS LL
ABV ACI	ABOVE AMERICAN CONCRETE	LLH LLV
	INSTITUTE	LN
4∕E AEC	ARCH. AND/OR ENGR. ARCHITECT, ENGINEER &	LPNT LT
AESS	CONTRACTOR ARCHITECTURALLY EXPOSED	LSL
ASCE	STRUCTURAL STEEL AMERICAN SOCIETY OF	LSLT LVL
ADD	CIVIL ENGINEERS ADDITIONAL	LWC
ADDM AISC	ADDENDUM AMERICAN INSTITUTE OF	MAS MAX
ALT	STEEL CONSTRUCTION ALTERNATE	MB MCJ
APPLIC	APPLICABLE	MECH
APPROX ARCH	APPROXIMATE ARCHITECT	MEP
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MEZZ MFR
BLOCK BLDG	BLOCKING BUILDING	MIN MISC
BLW BM	BELOW BEAM	MOD MONO
BN BTM	BOUNDARY NAILING BOTTOM	MSJC
BRG BRK	BEARING BRICK	MTL N
	CAMBER	(N)
CANT	CALCULATIONS CANTILEVERED	NA NGVD
CD	CONTRACT DOCUMENTS/ CONTRACT DRAWINGS	NIC
CE CJ	CIVIL ENGINEER CONTROL/CONST. JOINT	NS NTS
CJP	COMPLETE JOINT PENETRATION	NWC OAE
CL CLR.	CENTER LINE CLEAR	OC OD
CMU	CONC. MAS. UNIT CLEAN OUT	OF OPNG
COL.	COLUMN	OPP
COMP COMPR	COMPONENTS COMPRESSION	OSB OWSJ
CONC CONF	CONCRETE CONFIGURATION	OWWJ
CONST CONT	CONSTRUCTION CONTINUOUS	PAR'L PCF
CONTR COORD	CONTRACTOR COORDINATE	PEN PER
CTR	CENTER PENNY NAIL	PERP PJP
DB DBL	DECK BEARING DOUBLE	PL
DBA DBE	DEFORMED BAR ANCHOR DECK BEARING ELEV.	PLF
DEFL	DEFLECTION	PLUM PMB
DEG DTL	DEGREE DETAIL	PNL
DIA DIAG	DIAMETER DIAGONAL	PNT PSF
DIM DL	DIMENSION DEAD LOAD (ASD, UNO)	PSI PT
DN DR	DOWN DRAIN	QA QC
DTL DWG	DETAIL DRAWING	QTY RAD
DWL E EA	DOWEL MODULUS OF ELASTICITY	RD (RE)
ĒF	EACH EACH FACE	RECT REINF
EJ	EXPANSION JOINT (SEISMIC SEPERATION)	REQ'D RET
EL ELEC	ELEVATOR ELECTRICAL	REV RF
ELEV. E.N.	ELEVATION EDGE NAILING	RFI
Eor Engr.	ENGR. OF RECORD ENGINEER	RHS RST
Equip Esr	EQUIPMENT ENGINEERING STANDARD	RTU SCHED
EQ.	REFERENCE (DOCUMENT) EQUAL	SDS SECT
EW EXT.	EACH WAY EXTERIOR	SER SF
E)/EXIST. F)	EXISTING FUTURE	SGL SHT/
	FLOOR DRAIN FINISHED FLOOR	SHEATH SI
FE	FINISHED FLOOR ELEV.	SIM
=G =LR	FINISHED GRADE FLOOR	SIS SL
FLEX FND	FLEXURAL FOUNDATION	SOG SPA
=P =S	FULL PENETRATION FAR SIDE	SPEC SQ
FRMG FT	FRAMING FOOT	SS SSLT
TG V	FOOTING FIELD VERIFY	STAG STIFF
GA GALV	GAUGE GALVANIZED	STIR STD
GLB GR	GLU-LAMINATED BEAM GRADE	STL STRUC
GSN GYP	GENERAL STRUC. NOTES GYPSUM	sv
ЧВ	HOR'Z BRIDGING	SYM
HD HGR	HOLD DOWN HANGER	T&B T&G
HOR'Z HSA	HORIZONTAL HEADED STUD ANCHOR	TEMP THDS
ISS	HOLLOW STRUCTURAL SECTION	THRU TL
ΗT	HEIGHT MOMENT OF INERTIA	T.O. T.O.B.
BC	INTERNATIONAL BUILDING CODE	T.O.C. T.O.D.
F CBO	INSIDE FACE INTERNATIONAL CONFERENCE	T.O.F. T.O.G.
CC	OF BUILDING OFFICIALS INTERNATIONAL CODE	T.O.M. T.O. PAR
D	COUNCIL INSIDE DIAMETER	T.O.S. T.O.W.
EBC	INTERNATIONAL EXISTING BUILDING CODE	TS TYP
N NT	INCH INTERIOR	TWS U.N.O.
NTER RC	INTERSECTION/INTERSECTING INTERNATION RESIDENTIAL	VERT
IBE	CODE JOIST BEARING ELEV.	VOL W/
JDE JT (/KIP	JOINT 1,000 LBS.	WF W/O
KLF	KIP PER FOOT ANGLE	WL WP
- d _AT	DEVELOPMENT LENGTH	WT WWF
_BS _F	POUNDS LINEAL FOOT	XB XS
_FRS	LAT. FORCE RESISTING SYSTEM	XXS (#)
		\·· /

LEFT HAND SIDE LIVE LOAD (ASD, UNO) LONG LEG HOR'Z	
LIVE LOAD (ASD, UNO)	
LONG LEG HOR'Z	
LONG LEG VERT.	
LINE	
LOW POINT	
LIGHT LAMINATED STRAND	
LUMBER	
LONG SLOTTED LAMINATED VANEER	
LUMBER	
LIGHT WEIGHT CONCRETE MASONRY	
MAXIMUM	
MACHINE BOLT	
MASONRY CONTROL JOINT MECHANICAL	
MECHANICAL, ELECTRICAL,	
PLUMBING MEZZANINE	
MANUFACTURER	
MINIMUM MISCELLANEOUS	
MISCELLANEOUS MODULUS	
MONOLITHIC	
MASONRY STANDARDS JOINT COMMITTEE	
METAL	
NUMBER	
NEW NOT APPLICABLE	
NATIONAL GEOGRAPHIC VERTIC	CA
NOT IN CONTRACT/SCOPE NEAR SIDE	
NOT TO SCALE	
NORMAL WEIGHT CONCRETE OR APPROVED EQUAL	
ON CENTER SPACING	
OUTSIDE DIA.	
OUTSIDE FACE OPENING	
OPPOSITE/ OPP. HAND	
ORIENTED STRAND BOARD OPEN WEBBED STEEL	
JOIST	
OPEN WEBBED WOOD JOIST	
PARALLEL POUNDS PER CUBIC FOOT	
PENETRATION	
PERIODIC	
PERPENDICULAR PARTIAL JOINT	
PENETRATION	
PER LINEAR FOOT PLUMBING	
PREMANUFACTURED METAL	
BUILDING PANEL	
POINT	
LBS. PER SQUARE FOOT	
LBS. PER SQUARE INCH POST TENSIONED	
QUALITY ASSURANCE	
QUALITY CONTROL QUANTITY	
RADIUS	
ROOF DRAIN REMOVE EXIST.	
RECTANGULAR	
REINFORCING/REINFORCED	
REQUIRED RETAINING	
REVISION/REVISED	
ROOF REQUEST FOR	
INFORMATION	
RIGHT HAND SIDE	
ROUGH SAWN TIMBER ROOF TOP UNIT	
SCHEDULE	
SELF DRILLING SCREWS SECTION	
STRUC. ENGR. OF RECORD	
SQUARE FOOT (FEET)	
SINGLE SHEET	
SHEATHING/SHEETING	
SPECIAL INSPECTION	
SIMILAR SISTERED	
SNOW LOAD	
SLAB ON GRADE	
SPACING SPECIFICATION	
SQUARE	
STAINLESS STEEL	
SHORT SLOTTED STAGGERED	
SHORT SLOTTED STAGGERED STIFFENER	
SHORT SLOTTED STAGGERED	
SHORT SLOTTED STAGGERED STIFFENER STIRRUP STANDARD STEEL	
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SECTION MARK	SEISMIC STRAP
• SHEET NUMBER	L
LEVEL NAME 	L SYSTEMS & COMP. WHICH ARE PART OF THE LFRS AND HAVE ADD. REQ'D SPEC. INSP. CONSIDERATIONS.
X/XXX) TOTAL LOAD/ LIVE LOAD IN PLF, ASD	SHEAR WALL-SEE SCHED.
• FTG. MARK • TOP OF FTG. ELEV.	MIN. LENGTH OF SHEAR WALL-SEE ARCH.
FTG. STEP	TYP. HD = SIMPSON HDU2 W/ (2) 2x END POST - SEE TYP. DTLS TYPICAL CONFIGURATION OF HD.
DEPRESSED FDN. WALL W/ POUR - OVER SLAB	HDU - SIMPSON HOLD DOWN TYPE & SIZE. POST - SIZE OF END POST CONNECTED TO HOLD
• TOP OF FND. WALL OR COL. PIER ELEV.	DOWN ((2) 2x MIN.). BM#
x" STEP IN SLAB / CHANGE IN ELEVATION	WOOD BEAM
COL. SIZE	HAND/GUARD RAIL
ty PIER / BASE PL MARK	CW# NEW CONC WALL
OPENING	OVERBUILD
	]
OWNER CER	
CERTIFY THAT I HAVE READ THE NOTES ON T IY ROLE AND RESPONSIBILITY IN THE CONST RELATED TO STRUCTURAL OBSERVATIONS.	
	OWNER SIGNATURE
	OWNER NAME PRINTED
/	COMPANY NAME (IF APPLIC.)/DATE
CONTRACTOR C	
CERTIFY THAT I HAVE READ THE NOTES ON T MY ROLE AND RESPONSIBILITY IN THE CONST RELATED TO: STRUCTURAL OBSERVATIONS. SPECIAL INSPECTIONS MEANS & METHODS DEFERRED SUBMITTALS SUBMITTALS	HESE DRAWINGS AND THAT I UNDERSTAND RUCTION PROCESS, PARTICULARLY
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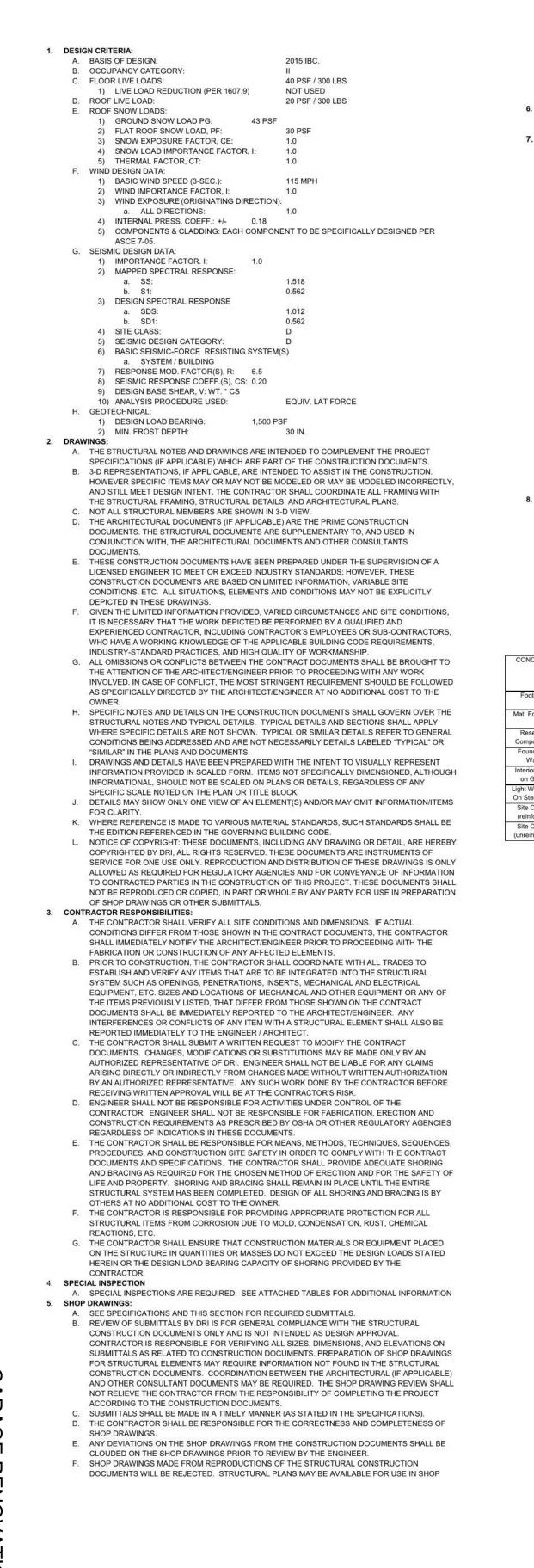
BF#	BRACED FRAME	GB#
BM#	BEAM	LS#
CB#	CONCRETE BEAM	LP#
CC#	CONCRETE COLUMN	MC#
CJ#	CONC. JOIST	MF#
CL#	CONC. LINTEL	MJ#
CP#	CONC. PIER	ML#
CS#	CONC. SLAB	MP#
CW#	CONC. WALL	MW#
DP#	DRILLED PIER	RW#
FC#	CONTINUOUS FTG.	BP#
FM#	MAT FTG.	SC#
FR#-#	RECT. FTG.	SW#
FS#	SQUARE FTG.	PB#
FT#	THICKENED SLAB FTG.	PL#
FW#	FND. WALL	WD#

GB#	GRADE BEAM
LS#	LAT. STRAP
LP#	LAT. PLATE
MC#	MASONRY COLUMN
MF#	MOMENT FRAME
MJ#	MASONRY JAMB
ML#	MASONRY LINTEL
MP#	MASONRY PIER
MW#	MASONRY WALL
RW#	RETAINING WALL
BP#	BASE PLATE
SC#	STL. COLUMN
SW#	SHEAR WALL
PB#	PANEL BLOCK
PL#	STEEL CAP PLATE
WD#	WOOD DIAPHRAGM

STRUCTURAL SHEET INDEX						
IEET #	SHEET NAME	REV. #	<b>REV. DATE</b>			
S0.1	COVER SHEET					
S0.2	GENERAL STRUCTURAL NOTES					
S1.1	FLOOR & ROOF FRAMING PLANS					
S5.1	FRAMING SCHEDULES/ DETAILS					



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	G.	THE CONTRA DRAWING. TI								OF EACH SHOP
	et DU	SUBMITTAL F	OR THE ENG				ADDITIO	VAL COPT OF	THE SHC	P DRAWING
		STRUCTURAL	OBSERVAT	IONS ARE	NOT RE	QUIRE	D FOR THI	S PROJECT F	PER IBC 20	009/CBC 2010
	FOUN	SECTION 171	0.							
		A. DESIGN SOIL PRESSURE: SEE GSN / DESIGN CRITERIA B. ALL FOOTINGS SHALL BE PLACED ON MECHANICALLY COMPACTED FILL COMPACTED								
		TO NOT LES	S THAN 95	% OF MO	DIFIED	PROC	TOR DEN	SITY (ASTM	1 D-1557)	
	C.	C. UNLESS NOTED OTHERWISE, ALL CONCRETE SLABS ON EARTH SHALL BEAR ON STRUCTURAL FILL COMPACTED TO 90% OF MODIFIED PROCTOR DENSITY (ASTM D								
		1557).					10-24			
	D.	D. TOP OF FOOTING ELEVATIONS SHOWN ON THE FOOTING AND FOUNDATION PLAN BASED ON PRELIMINARY GRADING INFORMATION AND MUST BE VERIFIED PRIOR								
BASED ON PRELIMINARY GRADING INFORMATION AND MUST BE VERIFIED PRI CONSTRUCTION. STEPS WHERE SHOWN ARE AT APPROXIMATE LOCATIONS. A EXTERIOR FOOTINGS MUST BEAR A MINIMUM OF 36 INCHES BELOW LOWEST					NS. ALL					
		ADJACENT I			AR A M	INIMU	M OF 36 II	NCHES BEL	OW LOW	EST
	E.	ALL WALLS								
		BRACED AGAINST LATERAL MOVEMENT PRIOR TO BACKFILLING. DESIGN AND ERECTION OF BRACING/SHORING IS THE RESPONSIBILITY OF THE GENERAL								
		CONTRACT								RUCTURAL
	F.	UNLESS NO								RED BELOW
	G	COLUMNS.					ES FORMED			
		B. UNLESS NOTED OTHERWISE, ALL FOOTINGS SHALL HAVE VERTICAL FACES FORMED WITH STANDARD FORMING MATERIALS (WOOD, METAL, ETC.). WITH PRIOR APPROVAL OF ARCHITECT AND ENGINEER, CONCRETE FOR FOOTINGS CAN BE PLACED IN								
					1000 State 1997 State					ASED 3" ON
		EACH SIDE. ENGINEERS			OTO MI	THOUT				
	п.	SUBSTITUT								
	L					MECH				COMPACTED
		TO NOT LES	S THAN 95	% OF MO	DIFIED	PROC	TOR DEN	SITY (ASTM	1 D-1557)	•
	J.	UNLESS NO								
		1557).							DEntern	
i.	CONC A.	RETE: THE CONTRA	CTOR SHAL	BE RESP	ONSIBL	E FOR	THE DESIG	N, DETAILIN	G, CARE, I	PLACEMENT,
		REMOVAL AN								D TO OWN ON THE
	В.	STRUCTURAL								MEMDEDS
	D.	HAVE ACQUIF	RED SUFFICI	ENT STRE	NGTH T	O SAFE	LY SUPPC	RT THEIR O	WN WEIGH	IT AND ANY
		CONSTRUCTI SHORING BE	REMOVED II	LESS TH	IAN 24 H	OURS A	AFTER CON	NCRETE PLA	CEMENT.	
	C. D.	UNLESS NOT SUPPORTING								W COLUMNS.
		HAVE ACQUIF								
	-	FORMS AND	SHORING BE	REMOVE	D IN LES	S THAN	V 24 HOUR	S AFTER CO	NCRETE F	LACEMENT.
	E.	CONCRETE S		UPPLIED	IN ACCC	RDANC	CE WITH AC	CI 318 AND T	HE FOLLO	WING
IC.	USE	COMP. STRENGTH	Exposure Classes	CementT ype <sup>a</sup>	Max W/	Max Fly	Air Content <sup>b</sup>	Aggregate Size, Max.	Slump Limit <sup>c</sup>	
		fc (psi)			CM Ratio	ash				
otir	ngs <sup>d</sup>	4500	F1, S0, P0, C0	I, II	0.45	50%	5%	1 ½"	4"	
Foo	otings <sup>d</sup>	4500	F1, S0, P0, C0	l, 11	0.45	50%	5%	1 1⁄2"	4*	
	voir	4500	F1, S0, P0, C1	I, II	.045	0%	5%	3⁄4"	4*	
nd	nents <sup>r</sup> ation	4500	F1, S0,	I, II	0.45	25%	5%	3/4"	4*	
	Slabs	3000	P0, C1 F0, S0,	I, II	0.50	25%	1.5%	1*	4*	
-	ade Conc.	3000	P0, C0 F0, S0,	1, 11	0.50	25%	1.5%	3/4"	4*	
	I Deck	5000	P0, C0 F2, S0,	I, II	0.40	25%	6%	3/4"	4"	
	nced)	4500	P0, C2 F2, S0,	I, II	0.45	25%	6%	3/4"	4"	
inf	orced)	TABLE FOOT	P0, C0 NOTES:							
			EMENT TO C		ITH AST	M C150	. USE TYPE	E V CEMENT	WHERE R	EQUIRED BY
		b) Al	R CONTENT	+/- 1.5%, 1						
								WHEN USED)		RETE SLABS ON
								EEDING ONE RES AND FLY		RAINMENT
		2000 C	UMP LIMIT					CONCRETE.	TEST SH	ALL BE
		d) TI	HE REQUIRE	D COMPR	ESSIVE	STREN	GTH SPEC	IFIED IS PER		
			ITH FLY ASH					28 DAYS FU	RFOUTIN	G CONCRETE
			EE CIVIL DRA				RETE REQI	UIREMENTS.	IN THE AE	SENCE OF
		10 State 10						IUM OF 6.5 S		
		R	ESERVOIR F	OOTING, F	LOORS	LABS A	ND WALLS	S. THE MAXIN	IUM SHRII	NKAGE SHALL
								57. SHRINKA		CING WITH A DOSAGI
								WITHOUT EN		APPROVAL. A
	F.	C	HEMICAL CO	RPORATI	ON IS RE					B AND WALLS.
	г.		AL WEIGHT	AGGREGA	TES		ASTM C	33		
			WEIGHT AG WEIGHT CO		S		ASTM C <u>&lt;</u> 100 (±			
			SH, CLASS F ORCING STE		N		ASTM C	618		
		a.	GRADE 60 (	FY = 60 KS	and the second se			ASTM 615		
		7) HEADE	RMED BAR A		1		ASTM A	108		
		<li>8) ANCHO a.</li>	DR BOLTS: F1554 IS AN	ANCHOR	BOLT SI	PECIFIC		1554 SEE NOTE E		ON, NOT A
								ZED BOLT, W		T BE A
				T CONFO				~ 안동 같이 같은 것을 많은 것이 같은 것이야.		SET FORTH IN
			A.B. NUTS (	WHERE AF						
			A.B. NUTS ( A.B. WASHE					X (>1-1/2" DIA RDENED WA		
		9) ADMIX	TURES: AIR	-ENTRAIN	ING ADM	IXTUR	ES SHALL	COMPLY WIT	H ASTM C	the spectrum of the spectrum state of the
		UNREI	NFORCED C	ONCRETE	SLABS			AVE CALCIU		
			DING ONE F			ASTM	C-150 SHAI	LL BE USED I	FOR ALL C	ONCRETE.
			ATER/CEME ROUT MIXES				E 4000 PS	I AND GREAT	ER SHALL	NOT EXCEED
		12) THE S	LUMP OF AL		1		IMITED TO	0 4" UNLESS	PLASTICIZ	ZERS ARE
			DE AIR ENTR							
								E OF ADMIXT		D FLY ASH.
	G. H.	SEE REINFOR	CEMENT NO	DTES FOR	REQUIR	ED CO				
		1) PROVI	DE A BEVEL	ED 2 X 4 II	NTERME	DIATE P				
		FOOTI	NG AND FOL	INDATION	WALLS.	IN ADI	DITION, AL			TENTIONALLY
	ROUGHENED TO FULL AMPLITUDE OF APPROXIMATELY ¼ INCH.									

# DRAWING PREPARATION (EITHER HARD COPY OR ELECTRONIC) AT THE DISCRETION OF THE STRUCTURAL ENGINEER WITH PRIOR CONSENT, SIGNED RELEASE AGREEMENT, ETC. G. THE CONTRACTOR SHALL ALLOW A MINIMUM OF 5 BUSINESS DAYS FOR REVIEW OF EACH SHOP L COPY OF THE SHOP DRAWING

## MPACTED FILL COMPACTED Y (ASTM D-1557). EARTH SHALL BEAR ON ROCTOR DENSITY (ASTM D-

AND FOUNDATION PLAN ARE JUST BE VERIFIED PRIOR TO XIMATE LOCATIONS. ALL HES BELOW LOWEST

ggregate ize, Max.	Slump Limit <sup>c</sup>
1 ½"	4"
1 ½"	4*
3⁄4"	4"
3/4"	4*
1*	4"
3/4"	4"
3⁄4"	4"
3/4"	4"

## A SEE NOTE BELOW RING SPECIFICATION, NOT A BOLT, WHETHER IT BE A ED, MAY BE USED ACCORDINGLY

2) CONTROL JOINTS SHALL BE INSTALLED IN SLABS ON GRADE SO THE LENGTH TO WIDTH RATIO OF THE SLAB IS NO MORE THAN 1.25:1. CONTROL JOINTS SHALL BE COMPLETED

a. SAW CUT A DEPTH OF ¼ THE THICKNESS OF THE SLAB.

WITHIN 12 HOURS OF CONCRETE PLACEMENT.

3) CONTROL JOINTS MAY BE INSTALLED BY:

- b. TOOLED JOINTS A DEPTH OF 1/4 THE THICKNESS OF THE SLAB. INSTALL CONSTRUCTION OR CONTROL JOINTS IN SLABS ON GRADE AT A SPACING NOT TO EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION, UNLESS NOTED OTHERWISE. I. CONSTRUCTION:
- 1) USE CHAIRS OR OTHER SUPPORT DEVICES RECOMMENDED BY THE CRSI TO SUPPORT BAR AND TIE REINFORCEMENT BARS AND W.W.F PRIOR TO PLACING CONCRETE. W.W.F SHALL BE CONTINUOUSLY SUPPORTED AT 36" O.C. MAXIMUM. REINFORCING STEEL FOR SLABS ON GRADE SHALL BE ADEQUATELY SUPPORTED ON PRECAST CONCRETE UNITS. LIFTING THE REINFORCING OFF THE GRADE DURING PLACEMENT OF CONCRETE IS NOT PERMITTED. 2) CONTRACTOR SHALL COORDINATE PLACEMENT OF ALL OPENINGS, CURBS, DOWELS,
- SLEEVES, CONDUITS, BOLTS, INSERTS AND OTHER EMBEDDED ITEMS PRIOR TO CONCRETE PLACEMENT 3) ALL EMBEDS AND DOWELS SHALL BE SECURELY TIED TO FORM WORK OR TO ADJACENT REINFORCING PRIOR TO THE PLACEMENT OF CONCRETE.
- 4) NO PIPES, DUCTS, SLEEVES, ETC. SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. PENETRATION: THROUGH WALLS WHEN APPROVED SHALL BE BUILT INTO THE WALL PRIOR TO CONCRETE PLACEMENT. PENETRATIONS WILL NOT BE ALLOWED IN FOOTINGS OR GRADI BEAMS UNLESS DETAILED. PIPING SHALL BE ROUTED AROUND THESE ELEMENTS AND OOTINGS STEPPED TO AVOID PIPING
- 5) REINFORCING BARS SHALL NOT BE WELDED. DO NOT SUBSTITUTE REINFORCING BARS FOR DBA'S OR HSA'S, U.N.O. J. DETAILING 1) LAP LENGTHS (SEE TYPICAL LAP LENGTH SCHEDULE)
- DO NOT SPLICE STIRRUPS AND TIES. 3) AT JOINTS PROVIDE REINFORCING DOWELS TO MATCH THE MEMBER REINFORCING,
- UNLESS NOTED OTHERWISE 4) AT ALL DISCONTINUOUS CONTROL OR CONSTRUCTIONS SLAB ON GRADE POINTS,
- PROVIDE 2- #4 X CONT. 5) PROVIDE CORNER BARS AT INTERSECTING WALL CORNERS USING THE SAME BAR SIZE AND SPACING AS THE HORIZONTAL WALL REINFORCING. 6) ALL VERTICAL REINFORCING SHALL BE DOWELED TO FOOTINGS OR TO THE STRUCTURE BELOW WITH THE SAME SIZE AND SPACING AS THE VERTICAL REINFORCING FOR THE
- ELEMENT ABOVE. DOWELS EXTENDING INTO FOOTINGS SHALL TERMINATE WITH A 90 DEGREE STANDARD HOOK AND SHALL EXTEND TO WITHIN 4" OF THE BOTTOM OF THE FOOTING U.N.O. FOOTING DOWELS (#8 BARS AND SMALLER) WITH HOOKS NEED NOT EXTEND MORE THAN 20" INTO FOOTINGS U.N.O. 7) CONCRETE SLAB SHALL BE REINFORCED WITH W1.6XW1.6 WIRE MESH 6"X6" = W1.4XW1.4 PROVIDE (2) #5 BARS AROUND CONCRETE OPENING IN FLOOR DECKING
- K. UNLESS NOTED OTHERWISE. MINIMUM REINFORCEMENT OF ALL CONCRETE FOUNDATION WALL SHALL BE: THICK TOP & BTM. HOR'2 #4@12" 0.0 (2) #5 #4@14" 0.0 (2) #5 #4@12" 0.0 #5 @ 12" 0.0
- (2) #5 #4@18" O.C., E.F. #4 @ 18" O.C., E.F. REINFORCING STEEL A. ALL REINFORCING BARS SHALL CONFORM TO ASTM STANDARD A-615 GRADE 60 AND ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM STANDARD A-185 AND SHALL BE SUPPLIED IN FLAT SHEETS. ADEQUATELY TIE AND SUPPORT ALL REINFORCING STEEL AS SPECIFIED BY ACI
- 315, TO MAINTAIN EXACT REQUIRED POSITION. B. ALL FIELD BENT DOWELS SHALL BE GRADE 40 WITH SPACING INDICATED REDUCED BY 1/3 C. UNLESS NOTED OTHERWISE, REINFORCEMENT SHALL HAVE THE FOLLOWING CONCRETE COVERAGE:
- 1) CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3" 2) EXPOSED TO EARTH OR WEATHER:
- a. #6 & LARGER: 2" b. #5 & SMALLER: 1-1/2" 3) NOT EXPOSED TO WEATHER OR EARTH:
- a. SLABS, WALLS, JOISTS, #11 & SMALLER: 3/4" b. BEAMS, COLUMNS: MAIN REINFORCING OR TIES: 1-1/2"
- c. SLAB ON GRADE: PLACE REINFORCING AT CENTER OF SLAB UNLESS INDICATED D. EXCEPT WHERE NOTED ON PLANS OR DETAILS CONTINUOUS REINFORCEMENT SHALL BE SPLICED AT POINTS OF MINIMUM STRESS BY LAPPING PER THE REBAR LAP SCHEDULE. E. REINFORCING STEEL MAY BE SPLICED WITH MECHANICAL COUPLERS THAT HAVE A TENSION CAPACITY OF AT LEAST 125% OF THE STRENGTH OF THE BAR. MECHANICAL COUPLERS SHALL
- BE A POSITIVE CONNECTING TYPE COUPLER, AND SHALL BE INSTALLED IN ACCORDANCE WITH AN APPROVED ICC RESEARCH REPORT, WHERE THESE ARE USED, SPLICES ON ADJACENT BARS SHALL BE STAGGERED AT LEAST 24 INCHES ALONG THE LENGTH OF THE BARS. F. ALL VERTICAL REINFORCING IN STRUCTURAL ELEMENTS ABOVE SHALL BE SPLICED WITH MATCHING DOWELS EMBEDDED WITHIN THE FOOTINGS OR STRUCTURE BELOW. SPLICE LENGTHS SHALL COMPLY WITH REBAR LAP SCHEDULE. DOWELS INTO FOOTINGS SHALL TERMINATE WITH A STANDARD HOOK, AND SHALL EXTEND TO WITHIN 4" OF THE BOTTOM OF THE
- FOOTING, BUT NEED NOT EXTEND MORE THAN 20" INTO FOOTING. FOR MASONRY CONSTRUCTION SEE STRUCTURAL NOTE "MASONRY". G. DO NOT WELD REINFORCING EXCEPT AS NOTED ON PLANS, WHERE REINFORCING IS WELDED, USE ASTM A-706 REINFORCING. H. REINFORCING BARS, TIES, AND TENDONS SHALL BE SUPPORTED BY NYLON CONES, PLASTIC-
- COATED TIE-WIRES, OR PLASTIC-COATED CHAIRS. REINFORCING IN FOOTINGS IS PERMITTED TC BE SUPPORTED ON CONCRETE DOBIES. I. UNLESS NOTED OTHERWISE, HOOKS, STIRRUPS, TIES, AND OTHER BENDS IN REINFORCING STEEL SHALL MEET THE STANDARDS SET FORTH IN ACI 318/318R-08. UNLESS OTHERWISE PERMITTED BY THE ENGINEER, ALL REINFORCEMENT SHALL BE BENT COLD. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT, EXCEPT AS SHOWN ON THESE
- DRAWINGS OR OTHERWISE PERMITTED BY THE ENGINEER J. UNLESS SPECIFICALLY NOTED AND/OR DETAILED IN THE STRUCTURAL DRAWINGS CONDUIT SHALL NOT BE IN CONTACT WITH REINFORCING STEEL. 10. STRUCTURAL STEEL
- A. STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING: 1) ANSI/AISC 360-05 "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS", WITH
- "COMMENTARY" AND "SUPPLEMENTS" AS REQUIRED BY BUILDING CODE. 2) AISC 303-05 "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" EXCLUDING THE FOLLOWING SECTIONS: 4.4, 4.4.1, AND 4.4.2.
- 3) AISI "SPECIFICATIONS FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL 4) AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS". 5) AWS D1.1 AND 1.3, "STRUCTURAL WELDING CODE" (EXCEPT SPECIFIC ITEMS DO NOT
- APPLY IF THEY CONFLICT WITH AISC). 6) ANSI/AISC 341-05 "SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS". B. STRUCTURAL STEEL SHALL COMPLY WITH THE FOLLOWING: 1) WIDE FLANGE SHAPES - ASTM A992
- ) OTHER SHAPES AND PLATES ASTM A-36 (UNO) 3) TUBES (TS) AND HOLLOW STRUCTURAL SECTIONS (HSS) - ASTM A-500, GRADE B (FY = 46 4) PIPE COLUMNS - ASTM A-53, GRADE B TYPE E OR S
- 5) DEFORMED BAR ANCHORS (DBA) ASTM A-496, WELDED IN ACCORDANCE WITH AWS D1.1 6) HEADED STUD ANCHORS (HSA) - ASTM A-108, GRADE 1015 STEEL AND WELDED IN ACCORDANCE WITH ASW D1.1 FOR TYPE "B". USE 3/4" DIAMETER STUDS, UNLESS NOTED OTHERWISE 7) THREADED ROD - ASTM A-449.
- 8) CONNECTIONS SHALL COMPLY WITH THE STRUCTURAL DRAWINGS UNLESS WRITTEN APPROVAL TO CHANGE IS GIVEN BY THE STRUCTURAL ENGINEER. 9) ALL SHOP FABRICATIONS SHALL BE PERFORMED BY AN APPROVED FABRICATOR IN ACCORDANCE WITH SECTIONS 1702 AND 1704 OF THE IBC OR WITH SHOP INSPECTION BY AN INDEPENDENT AGENCY IN ACCORDANCE WITH SECTION 1704.2 OF THE IBC.
- C. ALL COLUMNS ADJACENT TO OR EMBEDDED IN MASONRY SHALL HAVE (2) 1/2" DIAMETER X 24" LONG DBA EXTENDING EACH WAY AT ALL WALL BOND BEAMS D. UNLESS NOTED OTHERWISE, WHERE STEEL BEAMS SUPPORT WOOD FRAMING OR WOOD SHEATHING, PROVIDE A CONTINUOUS DOUBLE 2X OR SINGLE 3X NAILER PLATE ON THE TOP OF THE BEAM THAT EXTENDS AT LEAST THE FULL WIDTH OF THE BEAM FLANGE. ATTACH NAILER
- PLATES TO WIDE-FLANGE BEAMS WITH 1/2" DIAMETER THRU BOLTS AT 24"O.C. STAGGERED. COUNTER-SINK HEAD OF BOLTS INTO TOP OF NAILER PLATE TO PROVIDE A FLUSH BEARING SURFACE. E. ALL COLUMNS ADJACENT TO OR EMBEDDED IN WOOD STUD WALLS SHALL HAVE (1) 1/2" DIAMETER X 3-1/2" THREADED STEEL ROD SHOP-WELDED TO THE FACE OF THE COLUMN AT
- WOOD WALL STUDS TO STEEL COLUMN WITH STANDARD NUT AND WASHER AS REQUIRED. F. PROVIDE FULL DEPTH WEB STIFFENER PLATES AT EACH SIDE OF STEEL BEAMS AT ALL BEARING (EXCEPT SECONDARY FRAMING) POINTS. STIFFENER PLATES SHALL BE THICKNESS SHOWN UNLESS NOTED OTHERWISE AND SHALL BE WELDED BOTH SIDES WITH FILLET WELDS ALL
- < 8 1/4"8 1/4" < BF < 12 1/2"  $12 \ 1/2" < BF < 18$ DIRECT APPLIED INSULATION, FIREPROOFING, ETC. AS NOTED IN THE PROJECT SPECIFICATIONS
- 24"O.C. AND EXTENDING EACH WAY INTO THE ADJACENT STUD WALLS. ATTACH ADJACENT
- FLANGE WIDTH STIFFENER THICKNESS WELD THICKNESS G. FABRICATORS AND SUPPLIERS SHALL COORDINATE PAINT/FINISHES WITH REQUIREMENTS FOR

1) THESE NOTES APPLY TO TYPICAL SITUATIONS AND MATERIALS. EACH NOTE SHOULD BE TAKEN AS PROJECT MINIMUM STANDARDS, BUT MAY BE AMENDED AND/OR SUPERSEDED BY OTHER NOTES, DETAILS, SCHEDULES AND SPECIFICATIONS (IF APPLICABLE). "U.N.O." APPLIES TO EACH NOTE IN THE 'GENERAL WOOD NOTES' SECTION 2) ALL HORIZONTAL FRAMING MEMBERS SHALL BE INSTALLED WITH THE NATURAL CROWN UP, AS MARKED ON THE MEMBER (U.N.O.). 3) ALL FRAMING IN CONTACT WITH FOOTINGS, FOUNDATIONS OR SLABS ON GRADE SHALL HAVE EQUIVALENT STRESS GRADES TO TYPICAL FRAMING MEMBERS AND BE EITHER: a. PRESSURE TREATED LUMBER TIMBERSTRAND LSL TREATED LUMBER. B. DIMENSIONAL LUMBER 1) ALL FRAMING LUMBER SHALL BE DOUGLAS FIR/LARCH CLEARLY MARKED WITH A STAMP BY WWPA APPROVED AGENCY AND SHALL BE GRADED AS FOLLOWS: a. TRUSSES & TRUSS BLOCKING (IF APPLICABLE): 1. CHORDS: NO. 1 WEBS: NO. 2 ROOF/FLOOR FRAMING BEAMS & STRINGERS: NO. 1 b. WALLS: 1. JOISTS & RAFTERS: NO. 1, BEAMS & STRINGERS: NO. 1 3. POST & TRIMMERS: NO. 1. 4. STUDS: NO. 2. c. INTERIOR NON-BEARING WALLS: 1. JOISTS & RAFTERS: NO. 2, 2. BEAMS & STRINGERS: NO. 2 POST & TRIMMERS: NO. 2. 4. STUDS: NO. 2. 2) ALL BEARING WALLS SHALL BE 2x6 SPACED AT 16" O.C. BLOCK ALL NON-SHEATHED BEARING WALLS AT 4'-0"O.C., (U.N.O.). 3) VERIFY THE STUD SPACING WITH THE ANCHOR BOLT SPACING REQUIREMENTS. WHERE STUDS INTERFERE WITH ANCHOR BOLTS, PROVIDE AN ADDITIONAL FULL-HEIGHT STUD TO ENSURE THAT THE FULL CROSS-SECTIONAL AREA OF THE STUD IS IN CONTACT WITH THE SILL PLATE 4) EXTERIOR WALLS SHALL HAVE DOUBLE 2X TOP PLATES SPLICED WITH A MINIMUM OF 3'-0" OF OVERLAP AT SPLICES AND SHALL BE CONNECTED WITH A MINIMUM OF (12) 16D NAILS WITH (2) NAILS @ 3" O.C., MAX., STAGGERED 5) AT SHEAR WALLS, PROVIDE DOUBLE 2X END STUDS AT EACH END OF WALL 6) WHERE A BEAM OR COLUMN IS BEARING ON A TOP PLATE, AS A MINIMUM, PROVIDE (2) ADDITIONAL 2X STUDS IN WALL BELOW. C. SHEATHING 1) SHEATHING SHALL BE APA RATED SHEATHING, EXPOSURE I, EXTERIOR GLUE AND PANEL INDEX RATING AS NOTED BELOW (U.N.O.): WALLS THICKNESS PANEL INDEX FLOORS 23/32" 48/24 PROVIDE 2X SHAPED BLOCKING AT RIDGES UNLESS A CONTINUOUS MEMBER EXISTS. PANEL EDGES ARE UNBLOCKED (U.N.O.). 3) ALL ROOF SHEATHING SHALL HAVE 8D COMMON NAILS AT 6" O.C. AT BOUNDARY (BN) AND EDGES (EN) AND AT 6" O.C. FIELD NAILING (FN). INSTALL FLAT BLOCKING AT ALL PANEL EDGES, (U.N.O.). 4) ALL FLOOR SHEATHING SHALL HAVE 10D COMMON NAILS AT 6" O.C. AT BOUNDARY (BN) AND EDGES (EN) AND AT 6" O.C. FIELD NAILING (FN). INSTALL FLAT BLOCKING AT ALL PANEL EDGES (U.N.O.) 5) ALL EXTERIOR WALL SHEATHING SHALL HAVE 8D COMMON NAILS AT 6" O.C. AT BOUNDARY (BN) AND EDGES (EN) AND AT 12" O.C. FIELD NAILING (FN). INSTALL FLAT BLOCKING AT ALL PANEL EDGES (U.N.O.). 6) INDIVIDUAL PIECES OF SHEATHING AT ROOF, FLOOR, AND SHEAR WALLS SHALL NOT BE SMALLER THAN 24" IN EITHER DIRECTION AND SHALL SPAN A MINIMUM OF THREE MEMBERS, UNO. 7) ALL 23/32" FLOOR/ROOF SHEATHING SHALL BE TONGUE AND GROOVE (U.N.O.). 8) ALL ROOF SHEATHING AND WALL SHEATHING AT SHEAR WALLS SHALL HAVE SOLID OCKING AT ALL PANEL EDGES (U.N.O.) 9) AT ALL OVERBUILD LOCATIONS, ROOF SHEATHING SHALL BE COMPLETE BELOW OVERBUILDS PRIOR TO OVERBUILD CONSTRUCTION. 10) AT SHEAR WALLS, PANEL EDGE NAILING IS TO INCLUDE TOP & BOTTOM PLATES, END POSTS, ALL VERTICAL ELEMENTS, HOLD-DOWN ANCHORS AND HORIZONTAL BLOCKING. 11) AT ROOF & FLOOR DIAPHRAGMS, PANEL EDGE NAILING IS TO INCLUDE DRAG STRUTS. TENSION CHORDS, BLOCKING OVER BEARING WALLS AND SHEAR WALLS, AND ANY OTHER SPECIAL DIAPHRAGM MEMBERS NOTED ON PLANS. D. CONNECTIONS & FASTENERS 1) THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ADEQUATE STRUCTURAL CONNECTIONS. CONNECTIONS MUST CARRY THE BEARING CAPACITY OF THE MEMBER AND ANY UPLIFT OR SEISMIC FORCES GENERATED IN THE MEMBER. SPECIAL CONSIDERATION SHALL BE GIVEN TO CRUSHING OF WOOD AT BEARING, SPLITTING AND OR CRACKING, ETC. 2) ALL BOLTS THRU WOOD SHALL BE ASTM A-307 AND SHALL HAVE HARDENED WASHERS UNDER ASTM A-563 HEAVY HEX NUT AND BOLT HEADS. 3) AT EXPOSED LOCATIONS OR IN TREATED WOOD, NAILS SHALL BE GAI VANIZED OR STAINLESS STEEL (SEE NOTE BELOW FOR FASTENERS CONNECTED TO OR IN CONTACT WITH TREATED WOOD). THE HEAD OF ALL NAILS SHALL BE FLUSH WITH SURFACE OF THE SHEATHING, ALL NAILS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: MIN. PENETRATION INTO SHANK DIAMETER NAIL SIZE SUPPORT MEMBE 0.113" 0.131" 1.50"

H. WHEN DETERMINING THE FIRE RESISTANCE OF ASSEMBLIES, USE THE FOLLOWING: STEEL ROOF

MEMBERS ARE CONSIDERED UN-RESTRAINED AND STEEL FLOOR FRAMING MEMBERS ARE

J. ALL STRUCTURAL STEEL EXPOSED TO WEATHERING (I.E. EXTERIOR USE, ETC.) TO BE PAINTED

WITH RUST PROHIBITIVE PAINT OR BE CONSTRUCTED OF CORROSION RESISTANT STEEL.

UNLESS NOTED OTHERWISE, ALL HORIZONTAL FRAMING MEMBERS SHALL BE ERECTED WITH

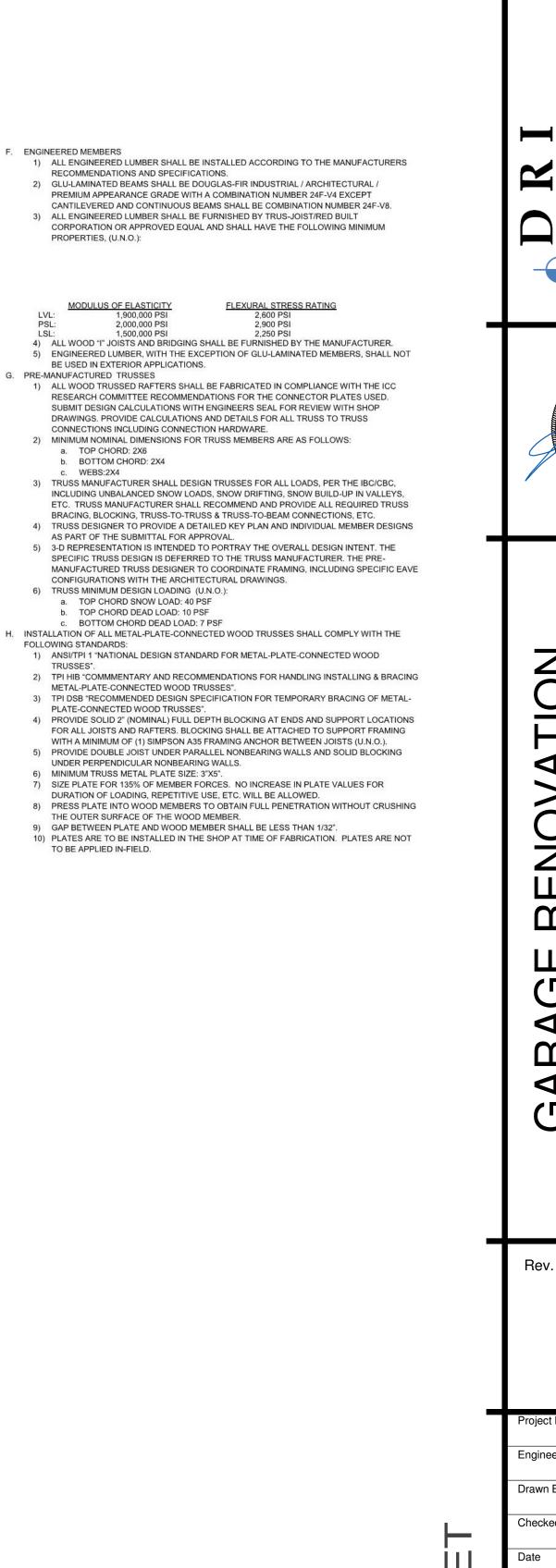
CONSIDERED RESTRAINED

THE NATURAL CROWN UP.

11. GENERAL TIMBER NOTES

A. GENERAL

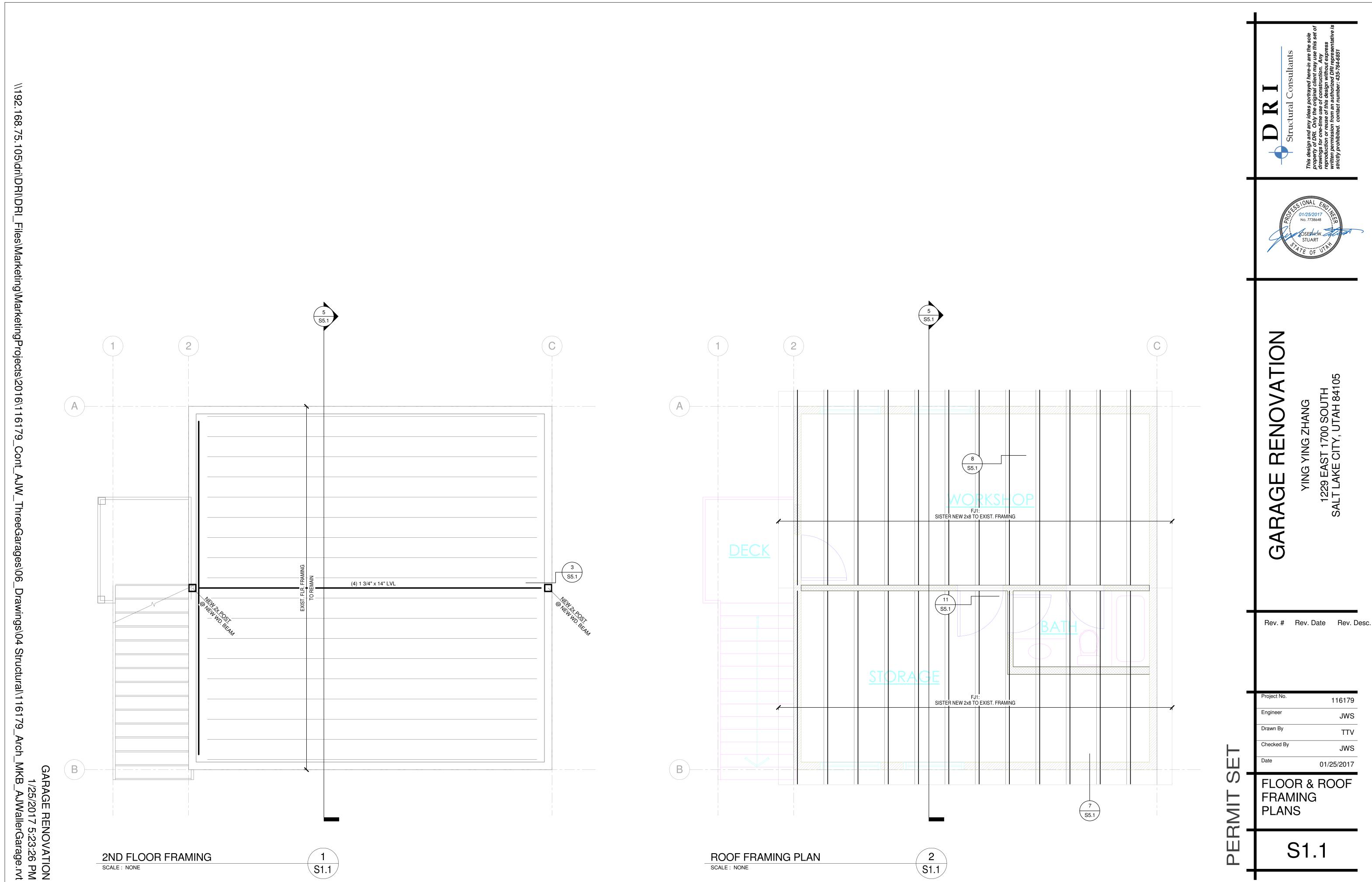
- 0.148" 1.63" 0.148" 1 63" 0.162" 1.75" 4) A CONTINUOUS BEAD OF PERMANENT BOND TIMBER/WOOD ADHESIVE COMPOUND SHALL BE USED TO FASTEN ALL PLYWOOD FLOOR SHEATHING TO FLOOR JOISTS IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS. 5) ALL FRAMING ANCHORS, POST CAPS, HOLD DOWNS, COLUMN BASES ETC., TO BE SIMPSON OR APPROVED EQUAL
- 6) ALL WALL BOTTOM PLATES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS a. ANCHORAGE TO FOUNDATIONS OR FOOTINGS WITH 3/4" DIAMETER ANCHOR BOLTS AT 32"O.C. WITH 8" MINIMUM EMBEDMENT b. THERE SHALL BE A MINIMUM OF (2) ANCHOR BOLTS PER PLATE WITH END BOLT LOCATED NOT MORE THAN 12" NOR LESS THAN 4" FROM EACH END OF EACH PIECE
- WALL BOTTOM PLATES AT SHEAR WALLS SHALL INCLUDE 1/4" X 3" X 3" STEEL PLATE WASHERS BETWEEN THE SILL PLATE AND NUT OF THE ANCHOR BOLT. THE HOLE IN THE PLATE WASHER IS PERMITTED TO BE SLOTTED DIAGONALLY WITH A WIDTH UP TO 3/16" LARGER THAN THE BOLT DIAMETER AND SLOT LENGTH NOT TO EXCEED 1-3/4", PROVIDED A STANDARD CUT WASHER IS PLACED BETWEEN THE PLATE WASHER AND THE NUT. 7) FASTENERS CONNECTED TO OR IN CONTACT WITH PRESERVATIVE-TREATED AND/OR
- FIRE-RETARDANT-TREATED WOOD (EXCEPT FOR TIMBERSTRAND LSL TREATED LUMBER AND BORATE BASED TREATMENTS) SHALL BE OF G-185 HOT-DIP GALVANIZED STEEL OR 304 OR 316 STAINLESS STEEL. STAINLESS STEEL AND GALVANIZED STEEL SHALL NEVER BE USED IN CONTACT WITH EACH OTHER. 8) ALL NAILS SPECIFIED IN THE DETAILS AND SCHEDULES SHALL BE COMMON NAILS
- (U.N.O.): 9) EXCEPT WHERE NOTED OTHERWISE, THE NUMBER AND SIZE OF NAILS CONNECTING WOOD MEMBERS SHALL NOT BE LESS THAN THE REQUIREMENTS SET FORTH IN IBC
- TABLE 2304.9.1. CONNECTIONS FOR MULTIPLE PIECES OF ENGINEERED LUMBER SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. 10) ALL STRUCTURAL MEMBERS SHALL HAVE 1 3/4" BEARING (MINIMUM). E. BLOCKING, BRIDGING & MISC.
- 1) ALL JOISTS & RAFTERS SHALL HAVE FULL-HEIGHT BLOCKING AT THEIR BEARING POINTS. CONNECT EACH BLOCK TO THE TOP OF EXTERIOR WALLS WITH SIMPSON A34 CLIP, OR EQUAL, (U.N.O.). EACH RAFTER/JOIST SHALL BE ANCHORED WITH SIMPSON H1, OR EQUAL 2) INSTALL BRIDGING AT THE MID-SPAN OF ALL FLOOR JOISTS AND/OR 8'-0"O.C. (WHICHEVER
- IS SMALLER). 3) STANDARD PENETRATIONS THROUGH STRUCTURAL MEMBERS FOR MECH. & PLUM. SYSTEMS, ETC. SHALL BE PROVIDED ON THE CENTERLINE OF THE MEMBERS' DEPTH AND
- WITHIN THE MIDDLE ONE-THIRD OF THE SPAN. LARGER PENETRATIONS ARE NOT PERMITTED WITHOUT PRIOR APPROVAL. 4) 'BIRD'S MOUTHS' AND OTHER NOTCHING OF STRUCTURAL MEMBERS NOT SPECIFICALLY
- DETAILED ARE NOT PERMITTED WITHOUT PRIOR WRITTEN APPROVAL



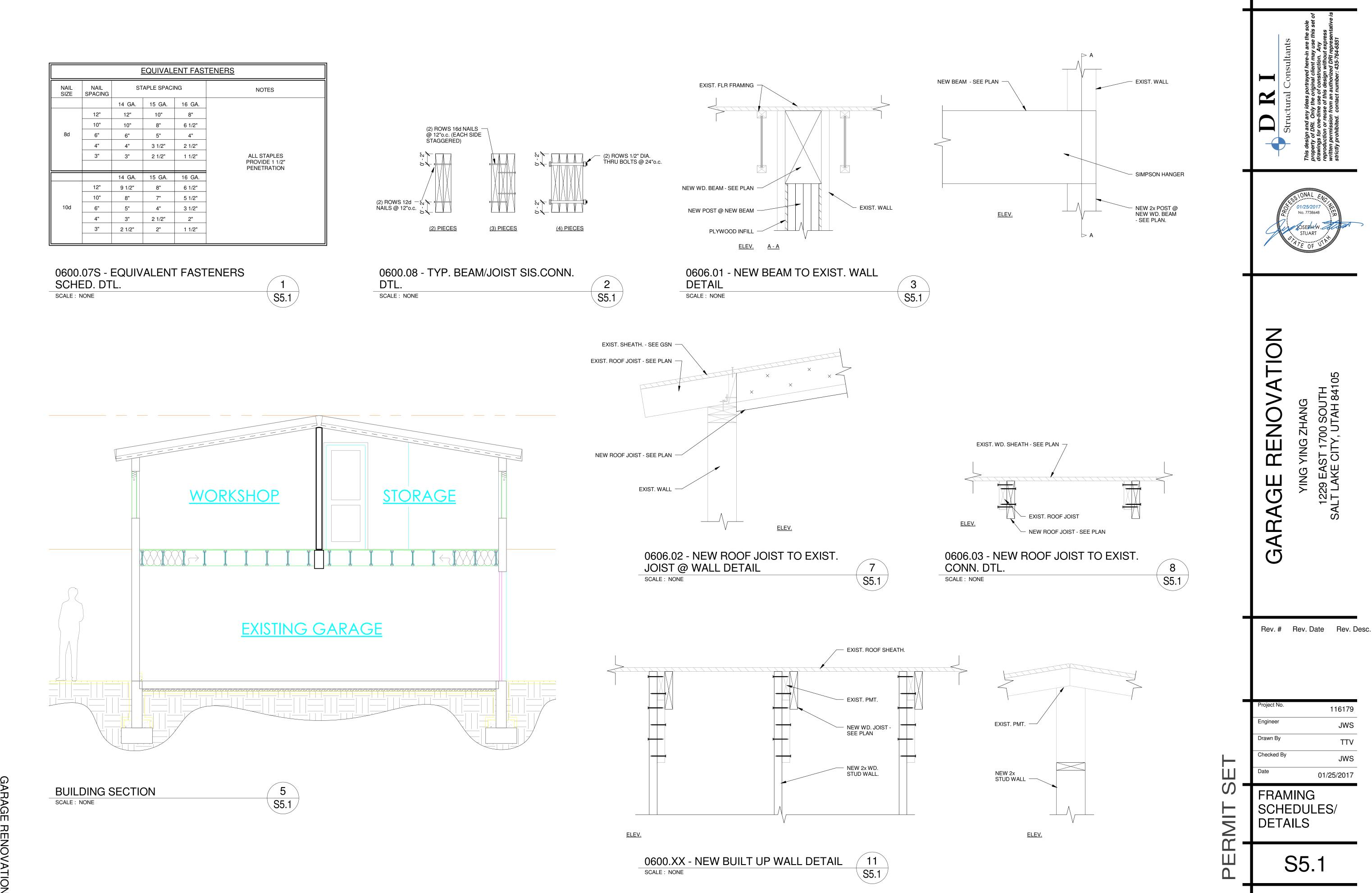


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# PLNPCM2017-00222: Special Exception Hobby Shop





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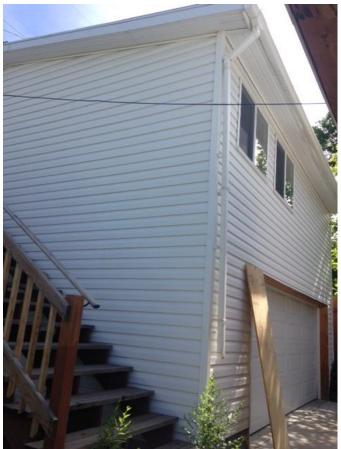
# **ATTACHMENT C: SITE PHOTOGRAPHS**



Subject property facing north – garage can be seen on the right.



Front of the subject garage facing north.



Southwest corner of the garage.



Stairs to leading to the second story with the proposed hobby shop.



Inside the second story of the garage facing south where proposed hobby shop will be located.

ATTACHMENT D: Zoning Standards for Accessory Structures 21A.40.050: General Yard, Bulk and Height Requirements for Accessory Structures. All accessory buildings shall be subject to the following general requirements:

Regulation	Zone Regulation	Existing Garage	Complies
Location of Accessory Buildings in Required Yards	Must be located in the rear yard behind the house at least a foot off all property lines.	Located in the rear yard 2' from the east property line and 5' 1" from the north property line.	Yes
Yard Coverage	Shall occupy not more than fifty percent (50%) of the total area located between the rear facade of the principal building and the rear lot line.	Rear Yard = 1,476.9 SF Garage = 576 SF	Yes – Can cover up to 738 SF
Building Coverage	Shall not exceed fifty percent (50%) of the building footprint of the principal structure up to a maximum of seven hundred twenty (720).	Home + Covered Patio = 1,160 Garage = 576 SF	Yes – Can have a footprint of 580 SF
Maximum Height	17 feet	17 feet	Yes

# **ATTACHMENT E: ANALYSIS OF STANDARDS**

**21A.52.030: Special Exceptions Authorized** Hobby shops – including art studios, exercise rooms or a dressing room adjacent to a swimming pools, or other similar uses in an accessory structure – are subject to the following conditions:

Standard	Finding	Rationale
a. The height of the accessory structure shall not exceed the height limit established by the underlying zoning district unless a special exception allowing additional height is allowed.	Complies	The maximum height for accessory structures in the R-1-5,000 zoning district is 17 feet. The height of the existing garage is 17 feet as indicated on the applicant's Special Exception and building permit plans.
b. If an accessory building is located within ten feet (10') of a property line, no windows shall be allowed in the walls adjacent to the property lines.	Complies upon meeting condition	The existing accessory structure does have two windows on the back wall, which is less than 10 feet away from the rear property line; however, a condition of this Special Exception approval is that these windows are removed. The hobby shop cannot be occupied until the windows on the north façade are removed and egress windows on the front façade are installed.
c. If the accessory building is detached, it must be located in the rear yard.	Complies	The garage is located in the rear yard behind the back façade of the home as well as the covered patio.
d. The total covered area for an accessory building shall not exceed fifty percent (50%) of the building footprint of the principal structure, subject to all accessory building size limitations.	Complies	The home's total footprint including the house and the covered patio is 1,160 square feet. Therefore, the garage cannot cover more than 580 square feet. The garage's foot is 576 square feet and does not cover more than the maximum 580.

# 21a.52.060: General Standards and Considerations for Special Exceptions: No

application for a Special Exception shall be approved unless the planning commission or the planning director determines that the proposed Special Exception is appropriate in the location proposed based upon its consideration of the general standards set forth below and, where applicable, the specific conditions for certain Special Exceptions.

Standard	Finding	Rationale
A. Compliance with Zoning Ordinance and District Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.	Complies	The existing detached garage is meeting the zoning standards for accessory structures in the R-1-5,000 zoning district. Building permit BLD2014-04375 for the structure was issued and closed out. Most all of the other properties on the block face have detached garages located towards the rear of the lot. Hobby shop uses are meant to accommodate low intensity uses on residential lots like home offices. The use should not disturb surrounding property owners.
B. No Substantial Impairment of Property Value: The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.	Complies	A hobby shop or home office use would not decrease the value of the property or surrounding properties as home offices are permitted within single-family homes outright. Additionally, the physical property will not be altered.
C. No Undue Adverse Impact: The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.	Complies	Hobby shops are meant for low impact uses like home offices, which are suitable for single-family residential areas and do not have an adverse impact on public health, safety or the general welfare of the neighborhood like more intense commercial uses might.
D. Compatible with Surrounding Development: The proposed Special Exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.	Complies	The primary use on the property will remain a single- family dwelling and the home will not be altered. The accessory structure is existing and will also not be altered. Again, most all of the other properties on the block face have detached garages and many single- family properties request hobby shop uses.
E. No Destruction of Significant Features: The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.	Complies	The Tudor home was built in 1930 and will not be altered to accommodate the hobby shop.
F. No Material Pollution of Environment: The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.	Complies	The hobby shop will not create any pollution.

G. Compliance with Standards: The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.	Complies upon meeting condition	The proposed hobby shop does not comply with letter "b." of Section 21A.52.030(A)(4) regarding the Special Exception standards for hobby shops; however, as a condition of this approval the applicant will have to remove the windows on the north façade of the garage to come into compliance with this
chapter.		of the garage to come into compliance with this standard. It is meeting the other three hobby shop
		standards.

# ATTACHMENT F: PUBLIC PROCESS AND COMMENTS

# **Public Process:**

- Public hearing notice mailed on June 29, 2017
- Public hearing sign posted on property on June 29, 2017.
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on June 29, 2017

**Public Comments:** Staff received multiple calls and emails from the public regarding this petition as well as a request for a public hearing, but nothing was submitted officially to the public record. Any future comments received will be forwarded on to the Planning Commission.

# **Potential Motions**

# Staff Recommendation:

Based on the information contained in the staff report and comments received, I move that the Planning Commission approve Special Exception request PLNPCM2017-00222 for a hobby shop in the applicant's detached garage at 1229 East 1700 South with the following condition:

1. The applicant must obtain a building permit to remove the windows on the north façade of the garage and install egress windows on the south façade before the hobby shop can be utilized.

# Not Consistent with Staff Recommendation:

Based on the information contained in the Staff report, and comments received, I move that the Planning Commission deny Special Exception petition PLNPCM2017-00222 for a hobby shop.