

Staff Report

PLANNING DIVISION DEPARTMENT of COMMUNITY and NEIGHBORHOODS

Salt Lake City Planning Commission To:

From: Amy Thompson, Principal Planner, 801-535-7281, amy.thompson@slcgov.com

Date: September 13, 2017

Re: PLNSUB2017-00519 SL Costume Co.

Planned Development

PROPERTY ADDRESS: 1701 S 1100 East

PARCEL ID: 16-17-259-020-0000 **MASTER PLAN:** Sugar House

ZONING DISTRICT: RB, Residential Business

REQUEST: James Glascock, the architect representing the owners of the property, is requesting Planned Development approval to renovate the existing building on the subject property for a 19 unit residential project located at the above listed address. The applicant is requesting relief from the zoning ordinance requirements through the planned development process for modified projections for balconies and planters in the front and side yard, restoration of the existing nonconforming sign, and 5 FT of additional building height to match the roofline of a new rear addition with the existing roofline. The property is located in the RB (Residential Business) zoning district. The Planning Commission has final decision making authority for Planned Developments.

RECOMMENDATION: Based on the information in this staff report, Planning Staff recommends that the Planning Commission approve the proposal.

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Final approval of lighting and landscaping are subject to compliance with Planned Development Standards. Final approval details are delegated to Planning Staff.

ATTACHMENTS:

- **A.** Vicinity and Zoning Maps
- **B.** Site Photos
- **C.** Application Information
- D. Site Plans
- E. Building Elevations and Floor Plans
- **F.** Existing Conditions
- **G.** Analysis of Planned Development Standards
- H. Public Process and Comments
- I. Department Comments

SALT LAKE CITY CORPORATION

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PROJECT DESCRIPTION:

The subject property is located on the south east corner of 1700 S. and 1100 East. The proposal is to renovate the existing building on the property for 19 unit residential project that includes live work, 1 and 2 bedroom units. The main entrance is oriented toward 1100 east, and five of the street level units have separate entrances also accessed from 1100 East. Surface parking is proposed to the rear and side of the structure (east and south side of the development). The applicant is requesting approval to modify the following zoning ordinance regulations through the Planned Development process:

- 1. 5 feet of building height
- 2. Balconies and planters in required yard areas
- 3. Restoration/maintenance of existing sign

1. 5 feet of building height

The subject property is located in the RB zoning district which allows a maximum building height of 30 feet. The existing building has a height of approximately 33 feet 6 inches and therefore is noncomplying in regards to building height. As part of the building renovations, a small portion of the south east corner of the building will be removed, and a new addition is proposed that extends the building farther east and south, with the two upper floors cantilevering over a portion of the surface parking stalls.

Because the slope of the site slightly varies, additional building height is needed to keep the proposed addition in line with the existing roof and make internal adjustments to the floor heights as needed. The maximum height of the proposed building is 35 feet. The Planning Commission may approve up to 5 feet maximum of additional building height through the Planned Development process, if it further achieves one or more of the Planned Development objectives in section 21A.55.010 of this chapter.

2. Balconies and planters located in required yard areas

For buildings legally existing prior to April 12, 1995, the required front, corner side, and interior side yard requirement is no greater than the existing yard. The front yard setback of the existing building ranges from approximately 0 to 2 feet. Section 21A.36.020 of the zoning ordinance regulates obstructions in required yard areas. Balconies that project not more than 5 feet are permitted in the side and rear yard, and architectural ornaments/planters may project not more than 4 inches into any yard area. The proposal is to allow 2nd and 3rd story balconies and planters located under the window sill that project into the required yard areas by approximately 12 inches.

3. Restoration of existing sign

The proposal includes restoration of the iconic Salt Lake Costume Co. sign. City records indicate the sign was likely installed in 1952. Section 21A.46.08o.C regulates signs for the RB zoning district. Because this particular sign doesn't fit the definition of any of our sign types in the zoning ordinance, the sign is considered nonconforming.

21A.46.140: Nonconforming Signs

A. Moving, Extensions or Alterations: A nonconforming sign shall not be

SACT LAKE COSTUME CO

reconstructed, raised, moved, replaced, extended, altered or enlarged unless the sign is changed so as to conform to all provisions of this chapter. Alterations shall also mean the changing of the text or message of the sign as a result of a change in use of the property. Alterations shall not be

interpreted to include changing the text or copy on outdoor advertising signs, theater signs, outdoor bulletins or other similar signs which are designed to accommodate changeable copy.

Signs can be taken down for maintenance and reinstalled in the same place on the building. Through the Planned Development process, the applicant is requesting approval from the Commission to allow for removal of the sign during construction, and allow it to be reinstalled on the renovated building in approximately the same location, however because the existing awning the sign is currently attached to will be removed with the development, reinstallation of the sign and its location may have to be slightly modified. No alterations to the sign face are proposed, and the text on the sign will remain the same. A separate sign permit will be required through building services prior to reinstallation.

KEY ISSUES:

The key issues listed below have been identified through the analysis of the project, neighbor and community input and department review comments.

Issue 1 – Existing Rooftop Antennas

There are three existing rooftop antenna arrays located on the subject property. The City does not have any record of a permit being issued for the existing roof mounted antennas at this location. Antennas are considered a use because they are listed in table 21A.33 which identifies permitted and conditional uses for zoning districts. Rooftop antennas are not a permitted use in the RB zoning district. Unless evidence can be provided showing the existing rooftop antennas were installed under an approved building permit, they are illegal, and must be removed from the building. Staff did find records for a building permit that was issued at this location in 1996 to install wall mounted antennas, which are a permitted use in the RB zone.

The initial proposal included concealing the existing rooftop antennas with faux water towers under the provisions for stealth antennas in section 21A.40.090 in the zoning ordinance. Stealth antennas that are in concert with surroundings are permitted in any zoning district subject to compliance with section 21A.36.020 which relates to lot and bulk controls including height exceptions:

Conformance with District Requirements: No structure or lot shall be developed, used or occupied unless it meets the lot area, lot width, yards, building height, and other requirements established in the applicable district regulations, except where specifically established otherwise elsewhere in this title.

Examples of stealth antennas include but are not limited to flagpoles, dormers, steeples and chimneys. Because there is not a specific building height exception for water towers in table 21A.36.020.C of the zoning ordinance, the proposed 13 ½ foot tall water towers/stealth antennas on top of the proposed 35 foot building would exceed the 30 foot maximum height of the zoning district by approximately 18 ½ feet. The Planning Commission can only grant an additional 5 feet of building height through the Planned Development process and the water towers would exceed the height that could be granted through this process. The water towers have been removed from the current proposal, however, a conceptual rendering that included the water towers was presented to the community so Staff is addressing the water towers in this issue to help clear up any confusion as to why the water towers cannot be approved through the Planned Development process. If the applicant wants to proceed with a stealth antenna, the only type of stealth antenna that could be pursued is one that was disguised as a chimney because chimneys specifically have a height exemption in section 21A.36.020.C of the zoning ordinance.

Issue 2 - Community Concerns

Some public comments received expressed concerns regarding the proposed use of the property which is for 19 residential apartments. Because multi-family dwellings are a permitted use in the zoning

district, the Planned Development process is not looking at whether or not apartments can be located here. By development right, the applicant could construct 19 apartments subject to meeting the zoning ordinance requirements and obtaining a building permit.

Other concerns expressed by members of the public relate to lack of parking and increased traffic. The proposal meets the parking requirements of the zoning ordinance for the proposed use of the property. The proposal was reviewed by Salt Lake City's Transportation Division, and if they are of the opinion the proposal would significantly increase the traffic in the area, a traffic study could be requested. Staff is not aware of any requests for a traffic study from Salt Lake City's Transportation Division. In response to parking concerns, the property owners have attempted to contact surrounding property owners (including a church across the street) about the potential for a shared parking agreement, however this agreement is not required for Planned Development approval because they are in compliance with the zoning ordinance parking requirements.

All public comments are included in Attachment H of the staff report.

NEXT STEPS:

Planned Development Approval

If the Planned Development is approved, the applicant will be able to proceed with the project subject to compliance with any conditions of approval listed in the Staff Report and obtaining all required permits and approvals. Approval is for the specific items discussed and identified in the staff report. All other applicable zoning regulations still apply.

Planned Development Denial

If the Planned Development is denied, the applicant will still be able to develop the property if a new design is submitted that meets all of the standards required by the zoning ordinance.

ATTACHMENT A: VICINITY & ZONING MAPS





ATTACHMENT B: SITE PHOTOS



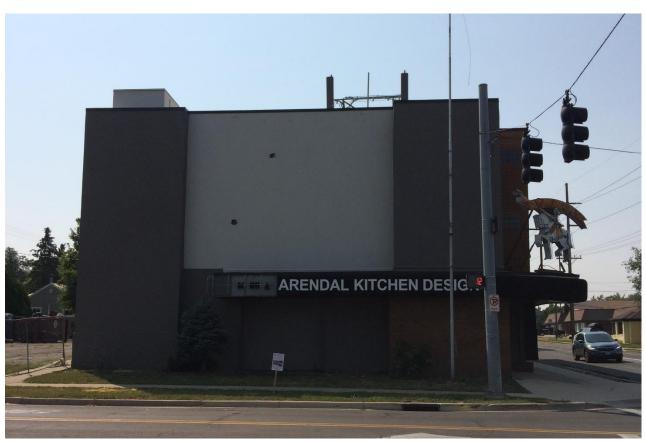
View of subject property from the northwest corner of 1700 S. 1100 E looking south east.



East elevation of existing building on subject property



West elevation (adjacent to 1100 E.) of existing building on the subject property.



North elevation (adjacent to 1700 S.) of existing building on the subject property.



South elevation and adjacent alley



West elevation facing north



View of adjacent alley to the south of the subject property facing east



View of adjacent alley to the south of the subject property facing south



 ${\it View facing south from 1700 S. of existing surface parking area and adjacent development}$



Surrounding development on the south side of 1700 S.



Surrounding development on the north side of 1700 S.



View facing east from 1100 E. of existing building and adjacent development



View of surrounding development on the east side of 1100 E.



Surrounding development on the west side of 1100 E.

ATTACHMENT C: APPLICATION INFORMATION



JAMES B. GLASCOCK, ARCHITECT P.C. ARCHITECTURE & PLANNING

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E-mail: glascock@mtcon.net

August 09, 2017

Salt Lake Costume Project 1701 South 1100 East Salt Lake City, Utah 84120

Planned Development Application

Request - Revised

- 1. Permit the Allowable Parapet Height and Roof to be 5'-0" above the permitted height in the RB Zone from 30' above Finished Grade to 35'-0" above existing grade. The Existing Top of Parapet and Top of Building are currently at 33'-6" above finished grade. The Exterior Elevation Plans show the New Top of Parapet and Top of Bldg 35'-0". This would allow the Architect and Structural Engineer to adjust the final heights of the roof and floors as needed to resolve some complex existing and unknown connection heights to the existing building bearing walls. The intent would be to finish the top of building roof at approximately 33'-6", and the request for the Parapet will effectively hide all new rooftop mechanical equipment and allows the architect some flexibility during the remodel stage.
- 2. The Existing Iconic and Historical "Knight" sign on the Northwest Building Corner is intended to Remain in Place and will <u>not</u> be moved, extended, altered or changed in any way. The Existing Sign is in good shape and has relatively no deterioration. The only corrections would be to Re-Paint the sign to match the Existing Original Colors and to Repair any current Structural Connections to ensure life safety of the Existing Sign and Existing Front Canopy for pedestrians. We will modify the Existing Canopy with new roofing, edge cap and paint. This will preserve one of the most known Icons in the Sugarhouse Area
- 3. Permit the Use of new historic type "Water Towers" on the roof to replace the Existing Metal Cell Towers. There are three (3) Existing Cell Towers. A T-Mobile Drawing has been provided. The Three Existing Cell Towers are exposed galvanized metal framing, approximately 11 FT High above the roof parapet x 10 FT wide at the top x 12 FT wide at the base. All three are close to the roof edge and can easily be seen at street level. our plan is to replace the three with two (2) New Water Towers for the cell service equipment. Our Proposed Water Towers are centered in the middle of the roof east to west and set back 1/3 the length of the roof from the north and south roof edges. They would only be seen from a distance. Attached are some photos that show the existing cell towers from the street level, roof level and Birdseye level for clarity.
- 4. The zoning code will only allow the decorative balconies and planters on 1700 South and 1100 East to extend only 4" from the new building face. We would request that these items be allowed to extend to 12" from the building face for better architectural definition. The site plan is at such a scale that you won't see the 12" extension clearly. The Existing Elevations show the requested 12" depth on the North (1700 South) and West (1100 East). The other two elevations (South and West) are shown at 12" from the building face since they are not within the required minimum setbacks. I have attached Sheet A-3.1 Third Floor Plan, which show the 12" balconies on the North (1700 South) and West (1100 East). Grids A and 1 are located at the faces of the existing foundation. It is important to note that neither the requested 12" deep balconies nor the 12" deep planters on 1100 East or 1700 South will extend over the property line at any point. They will extend 8" further into the setbacks on those two streets than is allowed by code (4") into the required setbacks.

SL Costume Building Planned Development Application Revised Request and Project Description Wednesday, August 09, 2017 Page Two

Project Description- Revised

The current structure has been vacant for nearly 12 years and without some relief will remain vacant until some developer purchases the property as a tear down. Under the current RO setbacks, this would only allow a Convenience Store, Gas Station or Fast Food, which is not in the interests of what is a Prime Gateway Entry to the Westminster and Sugarhouse Area. The south half of the building was original constructed in the late 1800's as a lumberyard building. Later is was obtained by Westminster College and a new north end was constructed as their Chapel with many decorative features, such as twin bell towers with stained glass on the north end and connected to the lumberyard building. Sometime around WW II, the building was converted to the Costume Company with at least two additions and two floors added. The additions were constructed with non-descript non-matching brick and concrete block and the bell towers were re-configured into an elevator and storage and the distinctive bell tower features removed. The walls were left as new brick and the original building was covered with a hard non-removable stucco. At least the Iconic "Knight" sign was added to give the structure some design. After the Costume Company went out of business, an interior design and kitchen cabinet business took over and added the black awnings to further degrade the building. After they went out of business, the structure has sat vacant with no improvements made. There is a very tall evergreen tree barrier that was installed at some time at the east parking lot and remains as a significant visual and sound barrier and we would maintain this barrier to protect the adjacent homeowners to the east. There have been a half-dozen recent design attempts to remodel the building but all have been architecture that adds nothing to the flavor the Neighborhood deserves, all being very modern in design.

Our proposed use would be to create an apartment building that would create a vision of what historically should be done with all new buildings that act as a Gateway to the Westminster and Sugarhouse Area. We have researched structures built at the turn of the century through the 1920's in Salt Lake. Chicago and New York in gentrified areas. We want to combine this sense of historical flavor with our proposed new development that addresses the growing need for urban living for the selective millennial population. It is our intent to provide a residential and live work opportunity to meet the demand for a downtown lifestyle in the Sugar House area. With expansive ceilings, state of the art appliances, yet a 1920's vintage look, we will provide quaint living in the heart of Salt Lake's emerging most sought after neighborhood. We will add an antique distressed brick veneer to all facades (existing and new) to cover the existing surfaces, add steel elements indicative of architecture of that period, add historical elements to the façade such as the flags and balconies, especially the Iconic "Knight" sign and roof elements such as the water towers that enhance and strengthen our design concept. We will meet all building, fire, zoning and engineering requirements and will bring new life to a building that needs architectural attention. We have added a significant amount of glass at the pedestrian street level for additional softening of the building at eye level. We believe strongly that our somewhat modified "historical" design approach is what the master planning for the Sugarhouse area intended and that our building will provide a significant architecture feature to what is an immensely important "Gateway" entrance to Sugarhouse and would serve as a design guideline for future new and remodeled buildings in the area.

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SL Costume Building Planned Development Application Revised Request and Project Description Wednesday, August 09, 2017 Page Three

Planned Development Information

The following will be an item by item response to the criteria in the application:

- a. The proposed existing building remodel and additions will follow the same building setbacks and current parapet of the existing. The remodeled building and addition will create a design of architecture up to 1920 period. The existing building and new additions will be finished with a distressed brick veneer to mimic the brick used and aged from that period. We have added numerous architectural features that take the building from a commercial/ light industrial "plain jane" look to an exciting historical residential feel that will enhance the surrounding neighborhood. We have added period historical elements such as balconies, flags, water towers to mask the cell towers, steel arch elements and stone base and wainscot to continue our theme. We would want to keep and re-furbish the Iconic "Knight" Sign as a historical feature well known in the Salt lake Environs.
- b. We will keep the site slopes as they exist and minimize the land reshaping. We will keep and maintain the tall evergreen tree barrier that was installed at some time at the east parking lot and it will remain as a significant visual and sound barrier.
- c. Although this building has undergone numerous remodels and additions, most that have negatively affected the building, it is still an important element in the neighborhood fabric. Many Salt Lake Residents have memories of this building both as a chapel and the best costume rental business. I remember coming to the building in 1955 to be fitted for a costume for school ceremony. The "Knight" sign is historically significant and needs to be saved and kept for future generations of a sign of past times. Our plan recognizes the importance of the building and its place in the neighborhood.
- d. The building design with period brick veneer, glazing at the pedestrian level, the addition of historical architectural elements, maintaining the existing east evergreen barrier, the worklive element to the building, adding residents, all add to a better visual experience and environment to the neighborhood. This is significantly light years better than the obvious other probable uses of a Convenience Store, Gas Station or Fast Food Establishment.
- e. We have already enumerated the many special design amenities that would be of interest to the general public. Please refer to Items #a, c and d above.
- f. We will eliminate the existing blighted structure, but not by removing it and replacing it, but by rehabilitation through remodeling and adding to it. We believe that tearing down an old building is against the belief that we should maintain our history and preserve it.
- g. We will provide 19 new housing or apartment units that will be rented at market rates.
- h. We are planning on using many green building techniques. First and foremost, we are not tearing the building down, but building onto the existing structure and not wasting materials. We are moving one existing wood floor down and the existing wood roof up to re-use existing building materials. Any wood and brick materials that are demolished will be re-used wherever possible to minimize materials going to waste. All new materials used are "green" and re-useable such as brick, steel, concrete block, wood, concrete and new apartment units will use bamboo floors and energy star rated appliances.

James B. Glascock, Architect



ATTACHMENT D: SITE PLANS

REMODEL PLANS

FOR: SALT LAKE COSTUME BUILDING 1701 SOUTH 1100 EAST SALT LAKE CITY, UTAH 04120

ARCHITECT PROJECT #15-027 DATE: FEBRUARY 03, 2017 - ORIGINAL PERMIT REVIEW SET DATE: APRIL 04, 2017 -REVISED PERMIT REVIEW AND BID SET

AND OWNER VALUE ENGINEERING

OWNER

SALT LAKE COSTUME PROPERTIES, INC

CONTACT: JAMES HARDY 1706 SOUTH 500 WEST BOUNTIFUL, UTAH 84010 OFFICE PHONE (8Ø1) 975-Ø222 EMAIL: JAMES@JLHARDY.COM

GENERAL CONTRACTOR

JL HARDY CONSTRUCTION, INC. UTAH STATE CONTRACTORS LICENSE: 252733-55ØI

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James B. Glascock, Architect P.C. Architecture Planning

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CONSULTANTS

STRUCTURAL ENGINEER

REALIZE STRUCTURAL ENGINEERING, INC. CONTACT: RUSSELL MERRILL SE #184004 2880 WEST 4700 SOUTH, SUITE A WEST VALLEY CITY, UTAH 84129 OFFICE PHONE (8ØI) 93Ø-9625 EMAIL: INFO@REAL-SE.COM

CIVIL ENGINEER:

CIR ENGINEERING. L.L.C. CONTACT: SCOTT THORSEN, PE # 354291 3Ø32 SOUTH 1Ø3Ø WEST, SUITE 2Ø2 SALT LAKE CITY, UTAH 84119 PHONE (8ØI) 949-6296 E-MAIL: SCOTT@CIRENGINEERING.COM

ELECTRICAL ENGINEER:

DEAN ENGINEERING CONTACT: DEAN LEVORSEN PE # 154867 459 WILLOW SPRINGS LANE DRAPER, UTAH 84020 PHONE (8ØI) 243-Ø854 E-MAIL: DEANLEVORSEN@MSN.COM

LANDSCAPE ARCHITECT:

RDL DESIGN COMPANY. INC. CONTACT: ROBERT D LIEN LA #106360 1020 EAST YALE AVENUE SALT LAKE CITY, UTAH 841Ø5 PHONE (8ØI) 647-3114 E-MAIL: RDLDESIGN@COMCAST.NET

MECHANICAL ENGINEER:

DALE R. WILDE COMPANY CONTACT: RAY WILDE PE # 1558674 IIØ6 EAST 27ØØ SOUTH SALT LAKE CITY, UTAH 84106 PHONE (8ØI) 433-1125 FAX (8ØI) 486-Ø744 E-MAIL: WILDE@DRWCO.COM

GEOTECHNICAL ENGINEER:

GSH GEOTECHNICAL, INC CONTACT: WILLIAM G TURNER PE # 171715 CONTACT: WILIAM BE TURNER PE # 162291 473 WEST 4800 SOUTH SALT LAKE CITY, UTAH 84123 PHONE (8ØI) 685-919Ø E-MAIL: GSHGEO.COM

2915 EDITIION IBC - CODE ANALYSIS

CURRENT SALT LAKE CITY ORDINANCES CURRENT STATE OF UTAH ADOPTED AMENDMENTS 2Ø15 INTERNATIONAL BLDG CODE (IBC) INCLUDING APPENDIX 2Ø15 INTERNATIONAL PLUMBING CODE (IPC) 2Ø15 INTERNATIONAL FUEL & GAS CODE (IFGC 2015 INTERNATIONAL MECHANICAL CODE (IMC) 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC. 2011 NATIONAL ELECTRICAL CODE (NEC) THE 193Ø-196Ø PERIOD. THE ORIGINAL BUILDING WAS A LUMBER SHOP, THEN A CHURCH AND SOMETIME IN THE 194Ø-195Ø PRIOD USED AS A RETAIL COSTUME RENTAL BUSINESS UNTIL THE BLDG WAS SOLD. IT HAS SINCE BEET 3. THE EXISTING FIRE SPRINKLER SYSTEM (NOW VACATED) WILL BE REMOVED AND A COMPLETE NEW SYSTEM WILL BE INSTALLED TO MEET SECTION 903, THIS WILL BE A DEFERRED SUBMITTAL, DIRECTLY FROM THE FIRE SPRINKLER SUB-CONTRACTOR. THE FIRE ALARM SYSTEM WILL ALL BE A DESIGN-BUILD SYSTEM AND IS TO BE A DEFERRED SUBMITTAL ITEM. 4. THE SQUARE FOOTAGE OF THIS PROPOSED BUILDING REMODEL IS AS FOLLOWS WITH PROPOSED NUMBER OF UNITS: I,884 GROSS SF = PARTIAL BSMT OF I LIVE/WORK A = 724 GROSS SF MAIN FLOOR 4,823 GROSS SF = 4 ONE-BEDROOM APTS UNITS IØI IS A TYPCIAL APT AND UNITS 102, 103 AND 104 ARE LIVE WORK UNITS 7,23Ø GROSS SF = 8 ONE-BEDROOM APT = 5,994 GROSS SF THIRD FLOOR 7,23Ø GROSS SF = 5 ONE-BDRM +TWO 2-BDRM APT = 6,147 GROSS SF

/i\ 21,167 GROSS SF = 19 TOTAL APT = 16,27Ø GROSS SF

5. PER TABLE 5Ø4.3 FOR OCCUPANCY GROUP R-2, TYPE VB-SM CONSTRUCTION, THE MAXIMUM ALLOWABLE HEIGHT = 6Ø FT AND MAXIMUM FINISHED HEIGHT ABOVE GRADE AT HIGHEST POINT WILL BE 34-6" AND PER TABLE 5Ø4.4 THE ALLOWABLE # OF STORIES IS 3 AND THE BLDG HAS 3. PER TABLE 5Ø6,2 THE ALLOWABLE AREA FOR TYPE VB-SM IS 21,000 SF. PER 506.3.2 F= 309 AND BLDG PERIMETER ON 30+ FT YARDS = 383 AND W=59.44. PER SECTION 5Ø6.3,,3,FRONTAGE INCREASE = I = (3Ø9 / 383 - Ø.25) 59.44 /3Ø = 59.44/ 3Ø = I.IØ. TOTAL ALLOWABLE AREA = (21,0000 + (21,0000 X 1.1) X 3 = 132,300 SF. ACTUAL = 28,397 GROSS SF.

. THE BUILDING HAS A MINIMUM FIRE SEPARATION DISTANCE OF 73 FT+ ON NORTH (17ØØ SOUTH), 54'-8"+ ON WEST (IIØØ EAST). 53'-6"+ ON EAST AND 21'-2" ON THE SOUTH (INCLUDES THE ALLEY WIDTH). FOR TYPE VB-SM OCCUPANCIES PER TABLE 6ØI ALL BLDG ELEMENTS CAN BE NON-RATED AND PER TABLE 6Ø2 ALL EXTERIOR WALLS GREATER THAN IØ FT & LESS THAN 30 FT CAN BE NON-RATED. ALL EXTERIOR WALLS WILL BE NON RATED. MAXIMUM AREA OF UNPROTECTED OPENINGS ALLOWED FOR FIRE SPRINKLERED BLDGS GREATER THAN 20 FT IS UNLIMITED.

UNIT SEPARATION PER SECTIONS 420.2 AND 708 IS TO BE I/2 HR-RATED WITH SPRINKLER SYSTEM AND HORIZONTAL FLOOR/CEILING SEPARATION PER SECTIONS 420.3 AND 711 IS TO BE 1/2 HR-RATED WITH SPRINKLER SYSTEM, UNIT SEPARATION FROM CORRIDORS PER SECTIONS 708.3 AND 1020.1 AND TABLE 1021.1 SHALL BE 1/2 HR-RATED WITH SPRINKLER SYSTEM. DOORS IN 1/2 HR RATED CORRIDORS TO BE 1/3 HR RATED (20 MIN) DOORS AND FRAMES. I-HR RATED FLOOR AND WALL RATED ASSEMBLIES WILL BE USED. SHAFT AND STAIR ENCLOSURES WILL BE I-HR RATED AND DOOR AND WINDOW OPENINGS IN SHAFTS SHALL BE I-HR RATED PER TABLE 716.5.

PER TABLE 8Ø3.II WITH FIRE SPRINKLERS FOR R-2 OCCUPANCY ALL INTERIOR FINISH MATERIALS SHALL BE CLASS C. REQUIRED # OF EXITS AND WIDTH PER TABLES 1004.1.2. 1006.2.1. 1006.3.1. 10 AND 1015 (USED R-2 OCCUPANCY OF 200 SF FOR SF/OCC LOAD PER THE GROSS APT SF (DID NOT INCLUDE CORRIDORS, ETC.)

> BASEMENT - PARTIAL LIVE/WORK APT = 724 SF/200 SF = 4 OCC = 1 EXIT REQ'D AND I EXIT PROVIDED THRU SAME APT FLOOR ABOVE = 1,16Ø SF/5ØØ SF = 2 OCC = 1 EXIT REQ'D AND I PROVIDED BASEMENT - TENANT STORAGE MAIN FLOOR (4 - I BDRM APTS) 3,4Ø5 SF/2ØØ SF= 17 OCC = 2 EXITS REQ'D AND 4 PROVIDED EACH APT HAS DIRECT EXIT TO MAIN LEVEL 5,994 SF/200 SF= 30 OCC= 2 EXITS REQ'D AND TWO EXIT 2ND FLOOR (8 - I BDRM APTS

STAIRS PROVIDED 3RD FLOOR (5 - I BDRM APTS AND 2 - 2 BDRM APTS) = 6,147 SF/200 SF= 31 OCC= 2 EXITS REQ'D AND TWO EXIT STAIRS PROVIDED

PER SECTION IØII.2 EXCEPTION #I, THE MINIMUM REQUIRED STAIR WIDTH IS 36" CLEAR AT ALL

STAIRS. THE TWO STAIRS ARE IN I-HR RATED ENCLOSURES WITH WIDTHS OF 44" ON ONE STAIR AND 42" ON THE OTHER THE STAIR ENTRANCE DOORS ARE SEPARATED BY GREATER THAN 1/3 THE BLDG DIAMETER PER SECTION IØØ7.I.I.I. THE LARGEST BLDG DIAGONAL = 126'-5" AND THE DISTANCE BETWEEN THE CENTER JAMB WIDTH OF BOTH STAIR EXIT DOORS = 42'-2" = GREATER THAN 1/3 THE BLDG DIAMETER 42'-1 5/8". IØ. MAXIMUM ALLOWABLE TRAVEL DISTANCE PER TABLE IØI7.2 (SPRINKLERED) = 25Ø FT AND ALL DISTANCES IN THE PROPOSED BUILDING DESIGN ARE WITHIN THE ALLOWABLE. ALL DEAD ENDS ARE LESS THAN 100 FT PER 1024.4.

II. EXIT SIGNS PER SECTION IØI3 AND EXIT ILLUMINATION PER SECTION IØØ8 WITH BATTERY BACK-UP ARE SHOWN ON THE ELECTRICAL PLANS AT EACH STAIR AND EXIT DOOR LOCATION. 12. FOUR (4) FIRE EXTINGUISHERS (FE) ARE REQUIRED WITH ONE (I) WILL BE PROVIDED ON EACH FLOOR, BASEMENT, MAIN (IST) FLOOR, 2ND FLOOR AND 3RD FLOOR IN A CENTRAL LOCATION.

13 THE NEW BUILDING WILL MEET ACCESSIBILITY REQUIREMENTS PER CHAPTER II AND ICC/ANSI AII7.1-2ØII. BOTH NEW MAIN FLOOR BUILDING ENTRANCES ARE ACCESSIBLE. ONE PUBLIC ACCESSIBLE TOILET IS PROVIDED ON THE MAIN LEVEL FOR THE LIVE/WORK UNITS. 14. PER SECTION IIØ7.6 ALL UNITS WILL BE TYPE B UNITS PER SECTION IIØ7.6.2.2.1 = LESS THAN 2Ø TOTAL

UNIT. THERE ARE ONLY 3 LIVE/WORK UNITS PER 11Ø7.6.2.1 AND ONLY THE NON-RESIDENTIAL SECTION IS ACCESSIBLE. UNIT IØI IS NOT A LIVE/WORK UNIT. 15. PER SECTION 12Ø7.2 SHALL HAVE A STC OF 5Ø OR GREATER BETWEEN UNITS AND PUBLIC SPACES.

16. SPECIAL INSPECTIONS ARE REQUIRED FOR THIS PROJECT. REFER TO STRUCTURAL NOTES. 7. DEFERRED SUBMITTALS: A. FIRE SPRINKLER DESIGN-BUILD DRAWINGS AND CALCULATIONS

C. CARPORT STRUCTURE DESIGN-BUILT DRAWINGS, CALCULATIONS AND UTAH SE STAMP

// D. CONTRACTOR SUBMITTED MECHANICAL SEISMIC BRACING DETAILS

FIRE ALARM DESIGN-BUILD DRAWINGS

		SCHEDULE OF DRAWINGS			
	SHT	SHEET DESCRIPTION			
	SP-1 SP-2 SP-3 SP-4 SP-5 SP-6	ARCHITECTURAL SPECIFICATIONS ARCHITECTURAL SPECIFICATIONS ARCHITECTURAL SPECIFICATIONS ARCHITECTURAL SPECIFICATIONS ARCHITECTURAL SPECIFICATIONS ARCHITECTURAL SPECIFICATIONS			
	AS-1 AS-2	ARCHITECTURAL SITE PLAN & SITE CALCULATIONS ARCHITECTURAL SITE DETAILS			
	CV GN C-Ø.I C-1 C-2 C-3 C-4 C-5 C-6	CIVIL COVER SHEET CIVIL GENERAL NOTES SITE DEMOLITION PLAN CIVIL SITE PLAN GRADING & DRAINAGE PLAN SITE UTILITY PLAN CIVIL SITE DETAILS EROSION CONTROL PLAN (SWPPP) EROSION CONTROL DETAIL SHEET			
	L-1.1 L-2.1 L-3.1	LANDSCAPE PLAN, SITE CALCULATIONS & PLANT LIST IRRIGATION PLAN LANDSCAPE & IRRIGATION DETAILS			
\wedge	D-Ø.1 D-Ø.2 D-Ø.3 A-F.Ø	EXISTING BLDG BASEMENT & MAIN FLOOR DEMOLITION PLANS EXISTING BLDG 2ND FLOOR DEMOLITION PLAN EXISTING BLDG 3RD FLOOR DEMOLITION PLAN FIRESTOP PENETRATION DETAILS			
	A-1.2 A-1.3 A-1.4 A-2.1 A-2.2 A-2.3 A-2.4 A-3.1 A-3.2 A-3.3 A-4.1 A-5.1	MAIN FLOOR PLAN MAIN FLOOR DIMENSION PLAN MAIN FLOOR FINISH PLAN MAIN FLOOR REFLECTED CEILING PLAN SECOND FLOOR PLAN SECOND FLOOR DIMENSION PLAN SECOND FLOOR FINSH PLAN SECOND FLOOR REFLECTED CEILING PLAN THIRD FLOOR PLAN			
	A-7.1 A-7.2 A-7.3 A-7.4	NORTH EXTERIOR ELEVATION WEST EXTERIOR ELEVATION EAST EXTERIOR ELEVATION SOUTH EXTERIOR ELEVATION			
	S-Ø.Ø S-Ø.1 S-Ø.2 S-Ø.3 S-I.Ø S-I.1 S-I.2 S-J.3 S-5.0 S-5.1 S-5.2 S-5.3 S-5.5 S-5.5 S-5.5	STRUCTURAL CONCRETE DETAILS STRUCTURAL FRAMING DETAILS MAIN FLOOR AND BASEMENT FTG & FDN PLANS SECOND FLOOR FRAMING PLAN & SHEAR WALL SCHEDULE THIRD FLOOR FRAMING PLAN ROOF FRAMING PLAN BUILDING SECTIONS ROOF AND 3RD FLOOR RAISING DETAILS ROOF AND 3RD FLOOR RAISING DETAILS SHOTCRETE WALL DETAILS X-BRACING & STRUCTURAL DETAILS STAIR & STRUCTURAL DETAILS BLDG SECTIONS & DETAILS			
	MP-1 MP-2 MP-3 MP-4 M-1.0 M-1.1 M-1.2 M-1.3 M-1.4 M-2.1 M-3.1 M-3.2 P-1.0 P-1.1 P-1.2 P-1.3 P-1.4 P-2.0 P-2.1 P-2.1 P-2.2 P-2.1 P-2.1 P-2.2 P-3.1 P-5.1 P-5.1 P-5.2	MECHANICAL & PLUMBING SPECIFICATIONS MECHANICAL & PLUMBING SPECIFICATIONS MECHANICAL & PLUMBING SPECIFICATIONS MECHANICAL & PLUMBING SPECIFICATIONS BASEMENT MECHANICAL PLAN MAIN FLOOR MECHANICAL PLAN SECOND FLOOR MECHANICAL PLAN THIRD FLOOR MECHANICAL PLAN ROOF MECHANICAL PLAN ROOF MECHANICAL PLAN MECHANICAL NOTES & DETAILS SPLIT SYSTEM EQUIPMENT SCHEDULE MECHANICAL EQUIPMENT SCHEDULES BASMENT WASTE & PIPING FLOOR PLAN MAIN FLOOR WASTE & PIPING FLOOR PLAN SECOND FLOOR WASTE & PIPING FLOOR PLAN THIRD FLOOR WASTE & PIPING PLOOR PLAN BASEMENT WATER & GAS PIPING PLAN BASEMENT WATER & GAS PIPING PLAN MAIN FLOOR WATER & GAS PIPING PLAN THIRD FLOOR WATER & GAS PIPING PLAN SECOND FLOOR WATER & GAS PIPING PLAN THIRD FLOOR WATER & GAS PIPING PLAN THIRD FLOOR WATER & GAS PIPING PLAN SECOND FLOOR WATER & GAS PIPING PLAN THIRD FLOOR WATER & GAS PIPING PLAN PLUMBING SCHEDULES PLUMBING FIXTURES SCHEDULES PLUMBING DETAILS			
	E-Ø1 E-Ø2 E-Ø3 E-Ø4 E-Ø5 E-Ø7 E-Ø8 E-Ø9 E-IØ E-I1 E-I2	ELECTRICAL NOTES, SPECIFICATIONS & SYMBOL SCHEDULE BASEMENT LIGHTING & POWER PLANS FIRST FLOOR POWER PLAN FIRST FLOOR LIGHTING PLAN SECOND FLOOR POWER PLAN SECOND FLOOR LIGHTING PLAN THIRD FLOOR POWER PLAN THIRD FLOOR LIGHTING PLAN ROOF POWER PLAN PANEL SCHEDULES PANEL SCHEDULES FIXTURE SCHEDULE & ONE-LINE DIAGRAM SITE ELECTRICAL PLAN & CHARGING STATION			

PLNSUB2017-00519: SL Costume Co. Planned Development Publish Date: 9/8/2017

PLNSUB2017-00519: SL Costume Co. Planned Development

BUILDING SF SUMMARY

EXISTING BLDG

BASEMENT (1/2 APT UNIT 10/0) BASEÑENT PART OF UNIT #IØØ LOFT STORAGE AND MECHANICAL TOTAL BASEMENT

MAIN FLOOR (32 APT - I BEDROOM UNITS) 2ND FLOOR (8 - I BDRM APARTMENT UNITS) 3RD FLOOR (5 - I BDRM APARTMENT UNITS) (2 - 2 BDRM APRATMENT UNIT TOTAL 3RD FLOOR

TOTAL BLDG GROSS SF TOTAL BLDG NET USEABLE (APARTMENT) SF

ORIGINAL BLDG SF BEFORE PARTIAL DEMOLITION PARTIAL BASEMENT MAIN FLOOR + MEZZANINE 2ND FLOOR 3RD FLOOR TOTAL ORIGINAL BLDG

% OF ORIGINAL BLDG SF TO NEW BLDG SF ORIGINAL PERIMETER LF ORIGINAL PERIMETER LF MAINTAINED % OF REMAINING LF TO ORIGINAL BLDG LF

724 GROSS SF 1,16Ø GROSS SF 1,884 GROSS SF

4,824 GROSS SF (BLDG FOOTPRINT) 7,23Ø GROSS SF

7,23Ø GROSS SF

19 APARTMENTS 2,122 GROSS SF 4,968 GROSS SF 4,968 GROSS SF 4,968 GROSS SF 17,Ø26 GROSS SF 3Ø9.71 LF 26Ø.19 LF 84%

28,397 GROSS SF

16,27Ø GROSS SF

SITE SUMMARY

<i>61</i>
46.5%
<i>3.1%</i>
19.6%
12.3%
38.1%
0.0%

SITE PARKING SUMMARY

EXISTING BUILDING MAIN APARTMENTS + BASEMENT LOFT SPACE CONSIDERED WORK/LIVE UNITS 4 APARTMENTS (ALL I BEDROOM) 2ND FLOOR APARTMENTS 6 APARTMENTS (ALL I-BEDROOM) 3RD FLOOR APARTMENTS 8 APARTMENTS (2 - 2 BEDROOM + 6 I-BEDROOM) TOTAL BUILDING REQUIRED PARKING 4 (I) BEDRMS LIVE /WORK = 4 SPACES 12 (1) BEDROOMS = 12 SPACES 4 (2) BEDROOMS = 4 SPACES TOTAL REQUIRED 20 SPACES REQUIRED TOTAL SPACES PROVIDED 2I SPACES PROVIDED ACCESSIBLE SPACES REQUIRED: CHAPTER 2IA.44,Ø2Ø.D = II-25 SPACES I ACCESSIBLE SPACE REQUIRED I ACCESSIBLE SPACE PROVIDED ACCESSIBLE SPACES PROVIDED =

I NEW CITY STD BIKE RACKS I BICYCLE PARKING PROVIDED OTHER SPACES PROVIDED ON SITE:

I LEVEL I ELECTRICAL VEHICLE WITH SIGN AND RE-CHARGE STATION PROVIDED

PLAN REVIEW NOTES FROM SALT LAKE CITY, DEPARTMENT OF COMMUNITY AND NEIGHBORHOODS:

- ALL WORK IN THE PUBLIC WAY SHALL CONFORM TO APWA 2012 STANDARD PLANS AND
- THE CURB AND GUTTER SHALL BE CONSTRUCTED AS PER APWA 2015A, AND 251 OR 252. ALL UTILITY TRENCH WORK IN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA 255. ALL SIDEWALK WORK DONE IN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA 231. THE DRIVE APPROACH SHALL BE CONSTRUCTED AS PER APWA 225. PRIOR TO OCCUPANCY PERMIT BEING ISSUED, IT IS RECOMMENDED THAT ALL TRIP HAZARDS ON THE PUBLIC SIDEWALK BE REMOVED.
- FOR ANY REQUIRED STREET TREES, PLEASE CONTACT TONY GLIOT (8Ø1-972-7818) OR ONE OF HIS REPRESENTATIVES REGARDING THE INSTALLATION OR REMOVAL OF ANY STREET TREES.
- Ø4-Ø5-17 SLC DEPT PLAN REVIEWS AND OWNER VALUE ENGINEERING CORRECTIONS

BIKE PARKING REQUIRED:

5% OF REQUIRED PARKING = 21 X 5%

INTERIOR PARKING LOT LANDSCAPING REQUIRED:

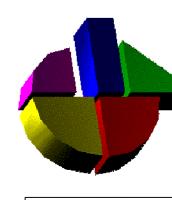
REFER TO LANDSCAPE CALCULATIONS ON SHEET L-I.I

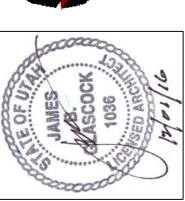
- Ø8-Ø9-17 REVISED FOR PROPOSED DEVELOPMENT REVIEW APPLICATION
- Ø8-14-17 REVISED FOR PROPOSED DEVELOPMENT REVIEW APPLICATION WITHOUT THE STEALTH WATER TOWER T-MOBILE ROOF ANTENNAS Ø8-18-17 - REVISED FOR PROPOSED
- DEVELOPMENT REVIEW APPLICATION EXISTING BLDG OUTLINE AND SIMPLIFY FLOOR LINES
- Ø4-Ø5-I7 SLC DEPT PLAN REVIEWS AND OWNER VALUE ENGINEERING CORRECTIONS

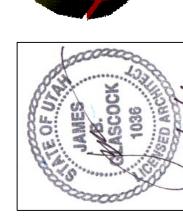
I BICYCLE PARKING REQUIRED

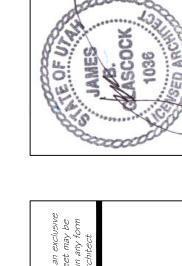
- Ø8-18-17 REVISED FOR SLC PLANNED 2 DEVELOPMENT APPLICATION
- Ø8-3Ø-17 REVISIONS FOR PROPOSED DEVELOPMENT REVIEW APPLICATION TO SHOW EXISTING AND NEW BLDG DIMENSIONS AND SETBACK DIMENSIONS

 \mathcal{O} rchit $\frac{\partial}{\partial a}$ a E









1700 South Street

1700 SOUTH STREET TREES

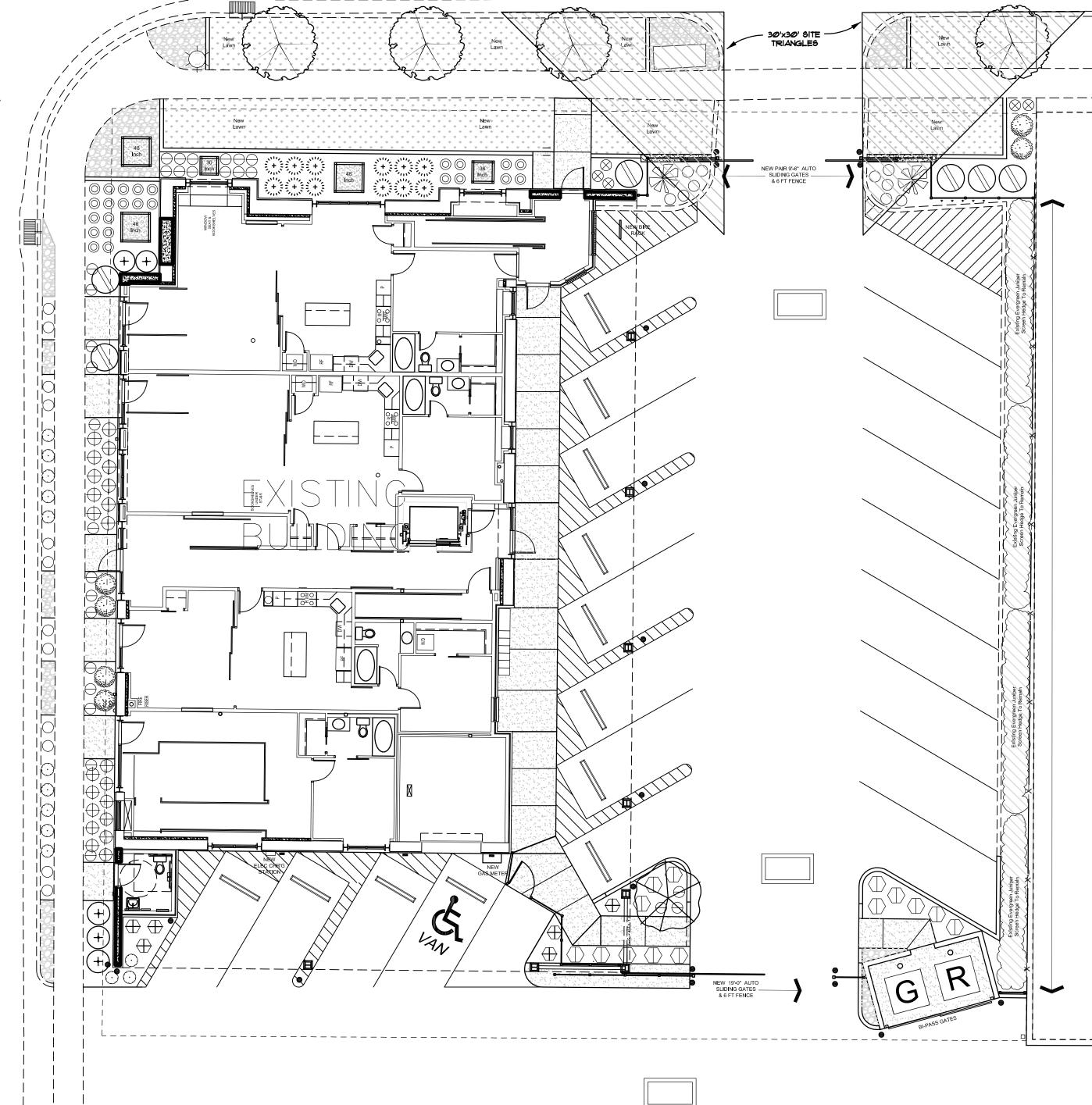
STREET FRONTAGE - 124 LF.

STREET TREES REQUIRED - 4 / (1/30 LF.)

STREET TREES PROVIDED - 4

(NEED TO REVIEW SITE VISIBILITY ISSUES)





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Legena				
Symbol	Description	Remarks		
36 Inch	Paver Pad Base For Individual Planter Pots	Material To Be "Belgard" Urbana Modular Paver / (3) 48" Pads, (1) 36" Pad, (1) 30" Pad / Toscana Color		
	Concrete Mowstrip 6"x6" Poured in Place	Install in Straight Lines & Flush To Curbs & Walks. Compact Sub-Grade To Minimum 95%.		
* * * * * * * * * * * * * * * * * * *	New Sodded Lawn / Drought Tolerant Mix	Install In All Areas Shown Over Specified 4 Inch Depth Of Import Topsoil.		
6000	Decorative Stone / 1/2" Min. Size / Washed	Install To 4" Depth / Material Is CALICO And Available Through Several Local Sources.		
No Hatch	Bark Mulch / Shredded & Colored / Dark Brown	install To 4" Depth / Material is Tinted Bark And Available Through Local Nurseries.		

Landscape Area Calculations

TOTAL SITE AREA TOTAL LANDSCAPE AREA REQUIRED	15,562 S.F 3,112 S.F.	(100%) (20%)
TOTAL LANDSCAPE AREA PROVIDED	3,281 S.F.	(21%)
TOTAL LAWN AREA (ON-SITE) TOTAL PLANTING AREA (ON-SITE) TOTAL LAWN AREA (OFF-SITE) TOTAL PLANTING AREA (OFF-SITE)	480 SF. 1,440 SF. 670 SF. 691 SF.	(14.6%) (43.9%) (20.4%) (21.1%)

Drought Tolerant Plant Calculations

Brought rototant rant careana		
TREE PLANTINGS PROVIDED	5 EA.	(100%)
DROUGHT TOLERANT PLANTS REQUIRED DROUGHT TOLERANT PLANTS PROVIDED	4 E <i>A.</i> 5 E <i>A.</i>	(3Ø%) (1ØØ%)
SHRUB PLANTINGS PROVIDED	25 EA.	(100%)
DROUGHT TOLERANT PLANTS REQUIRED DROUGHT TOLERANT PLANTS PROVIDED	23 E.A. 25 E.A.	(3Ø%) (1ØØ%)
PERENNIALS / GRASSES PLANTINGS PROVIDED	144 EA.	(100%)
DROUGHT TOLERANT PLANTS REQUIRED DROUGHT TOLERANT PLANTS PROVIDED	118 E.A. 144 E.A.	(90%) (100%)

Landscape Plan

SCALE: 1" = 10'-0"



Plant List (TREES)

Botanical Name	Common Name	Size	Remarks	Hydrozone
** Amelanchier gr. 'Autumn Brilliance'	Autumn Brill. Serviceberry	2" Caliper 8'-10' Height	Full Heads Matching	TD-4 Deciduous Trea
** Zelcova serrata 'Musashino'	Musashino Columnar Zelcova	2" Caliper 10'-12' Height	Full Heads Matching	TD-4 Deciduous Trea
	** Amelanchier gr. 'Autumn Brilliance'	** Amelanchier gr. 'Autumn Brilliance' Autumn Brill. Serviceberry	** Amelanchier gr. 'Autumn Brilliance' Autumn Brill. Serviceberry 2" Caliper 8'-10' Height ** Zelcova serrata 'Musashino' Musashino Columnar Zelcova 2" Caliper	** Amelanchier gr. 'Autumn Brilliance' Autumn Brill. Serviceberry 2" Caliper Full Heads 8'-10' Height Matching

Plant List (SHRUBS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks	Hydrozone
12	+ + + + + + + + + + + + + + + + + + + +	** Buxus microphylla 'Julia Jane'	Julia Jane Boxwood	5 Gallon	18" - 24" Ht.	TW-2
2		** Rhus typhina 'Bailtiger'	Tiger Eye's Sumac	5 Gallon	24" - 30" Ht.	TW-2
6		** Rosa sp. 'Knock Out Red'	Red Knock Out Rose	5 Gallon	18" - 24" Ht.	TW-2
5	(+)	** Spiraea japonica 'Walbuma'	Magic Carpet Spiraea	5 Gallon	18" - 24" Ht.	TW-2

Plant List (ORNAMENTAL GRASSES/PERENNIALS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks	Hydrozone
6	\bigoplus	** Calamagrostis a. 'Avalanche'	Avalanche Feather Grass	5 Gallon	24" - 30" Ht.	TW-2
14		** Calamagrostis a. 'Karl Foerster'	Karl Foerster Feather Grass	5 Gallon	24" - 3Ø" Ht.	TW-2
22	\bigcirc	** Hemerocallis Stella d'Oro	Stella d'Oro Day Lily	l Gallon	9" - 12" Ht.	TW-2
5	\otimes	** Lavandula 'Munstead'	Munstead Lavender	1 Gallon	9" - 12" Ht.	TW-2
6		** Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	5 Gallon	18" - 24" Ht.	TW-2
22	\oplus	** Pennisetum apol. 'Hameln'	Hameln Dwarf Fountain Grass	1 Gallon	12" - 15" Ht.	TW-2
24		** Pennisetum apol. 'Little Bunny'	Little Bunny Fountain Grass	1 Gallon	12" - 15" Ht.	TW-2
16	\odot	** Sesleria autumnalis	Autumn Moor Grass	1 Gallon	9" - 12" Ht.	TW-2
29	\ominus	** Sedum rupestre 'Angelina'	Angelina Sedum	l Gallon	Full Can	TW-2

** INDICATES PLANT MATERIAL SPECIES IS INCLUDED IN THE "SALT LAKE CITY PLANT LIST & HYDROZONE SCHEDULE 2013".
Plant quantities are provided for convenience ONLY!! The contractor shall provide and install all plants either shown or noted on the plans.

Plant Material Quality Note:

All plant materials shall be of number one quality and size for the container specified. All materials of each variety shall be furnished by the same supplier and come from the same stock or group. The Owner and Landscape Architect have the right to reject any and all plant materials not meeting specification or in a healthy condition for the project. The contractor shall secure all plant materials for the project a minimum of 60 days prior to the anticipated installation date. No plant substitutions will be considered following this 60 day period. All plant materials shall be reviewed and approved prior to shipment to the site.

Planting Notes

- 1. All shrub planting areas shall receive a 12 inch depth of topsoil, all lawn areas a 4 inch depth of topsoil. Topsoil is not available at the site and must be imported from an approved local source. All topsoil shall be of a sandy loam consistency. The contractor shall supply a sample and chemical analysis of the proposed topsoil from a reputable topsoil company. The chemical analysis shall be of an acceptable range as compared to the sample analysis prepared by BYU soil testing laboratory, which is available from
- 2. Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a 6 inch depth, by the use of mechan-
- ical means, in order to create a transition layer between soils.

 3. All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed
- from the site, or used in site backfill prior to topsoil placement.

 4. Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to in-
- stallation. A pre-mixed soil medium can be used as an alternative.

 5. Plant fertilizer shall be 'Agriform' brand 21 gram tablets used as per recommendations.
- 6. Upon completion of planting operations, all shrub pits and tree wells shall receive a 4 inch depth of fine ground bark mulch cover.

 The actual bed areas shall receive a 3 inch depth of shredded tinted (dark brown) bark mulch, which is available through several local suppliers. Pre-emergent herbicide shall be applied to all areas, one application on topsoil prior to bark mulch installation, the other on top of bark mulch following installation. Rock areas shall receive "DeWitt" Pro-5 weed barrier fabric beneath decorative rock, secured to the ground per manufacturer's recommendations, with pre-emergent applications as previously mentioned.
- 7. All lawn areas shall be installed using a water conservative mixture, and shall be composed of multiple drought tolerant Bluegrass
- varieties. Provide cutsheet of exact product.

 8. Landscape maintenance shall be required for a period through the second mowing of the lawn (30 days min.) and shall include mow-
- ing, weeding, pruning and one fertilization.

 9. The project shall be swept clean of dirt and debris prior to completion of the project, and on a daily basis, if required, as deter-
- 10. The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and acceptance.

Planting General Notes

mined by the Owner/contractor.

- All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscape and irrigation projects, and be able to supply the necesarry staff to perform all tasks associated with these drawings, and in a professional
- and timely manner.

 2. The landscape contractor, at all times, shall have personnel on-site experienced in being able to interpret the drawings correctly,
- and accurately measure the design layout using the specified scale.

 3. The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning work.
- The contractor shall coordinate their work with the project manager and all other contractors working on the site.

 4. The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregu-
- larities. The finish grade of all landscape areas shall be graded consistently 1/2" below all walks, curbs, etc.

 5. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as speci-
- fied and shown on the drawings.

 6. All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant
- material not conforming to the specifications.
- 7. The contractor shall plant all plants per the planting details, stake/guy as shown. The top of the rootballs shall be planted flush with the finish grade.

Submittal Requirements

- I. The contractor shall provide to the Owner/Engineer product samples of all landscape materials such as boulders, decorative stone, bark mulches, weed barrier fabric, soil ammendments & import topsoil in order to obtain approval to be used on the project, and prior to any shipment to the site. Failure to provide this in a timely manner will in no way affect the construction schedule and time
- for project completion.

 2. All plant materials shall be secured for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to planting of

Sub-Grade Requirements

- 1. LAWN AREAS : Six (6) inches below finish grade. This will allow for the installation of a six inch depth of topsoil along with the sodding material, leaving the top of sodding 1 inch below finish grade of adjacent concrete and hardscape areas.
- 2. SHRUB AREAS: Sixteen (16) inches below finish grade. This will allow for the installation of a twelve inch depth of topsoil along with a four inch minimum depth of decorative rock mulch and weed barrier fabric, leaving it 1 inch below finish grade of adjacent
- 3. ROCK "ONLY" AREAS: Five (5) inches below finish grade. This will allow for the installation of a four inch depth of decorative rock mulch and weed barrier fabric, leaving it 1 inch below finish grade of adjacent concrete and hardscape areas.
- 4. COORDINATION: The Landscape Contractor shall meet early on in the construction process with the earthwork/grading contractor to discuss and ensure that all sub-grade elevations, per these requirements, are established and provided.

James B. Glascock, Architect P Architecture • Planning

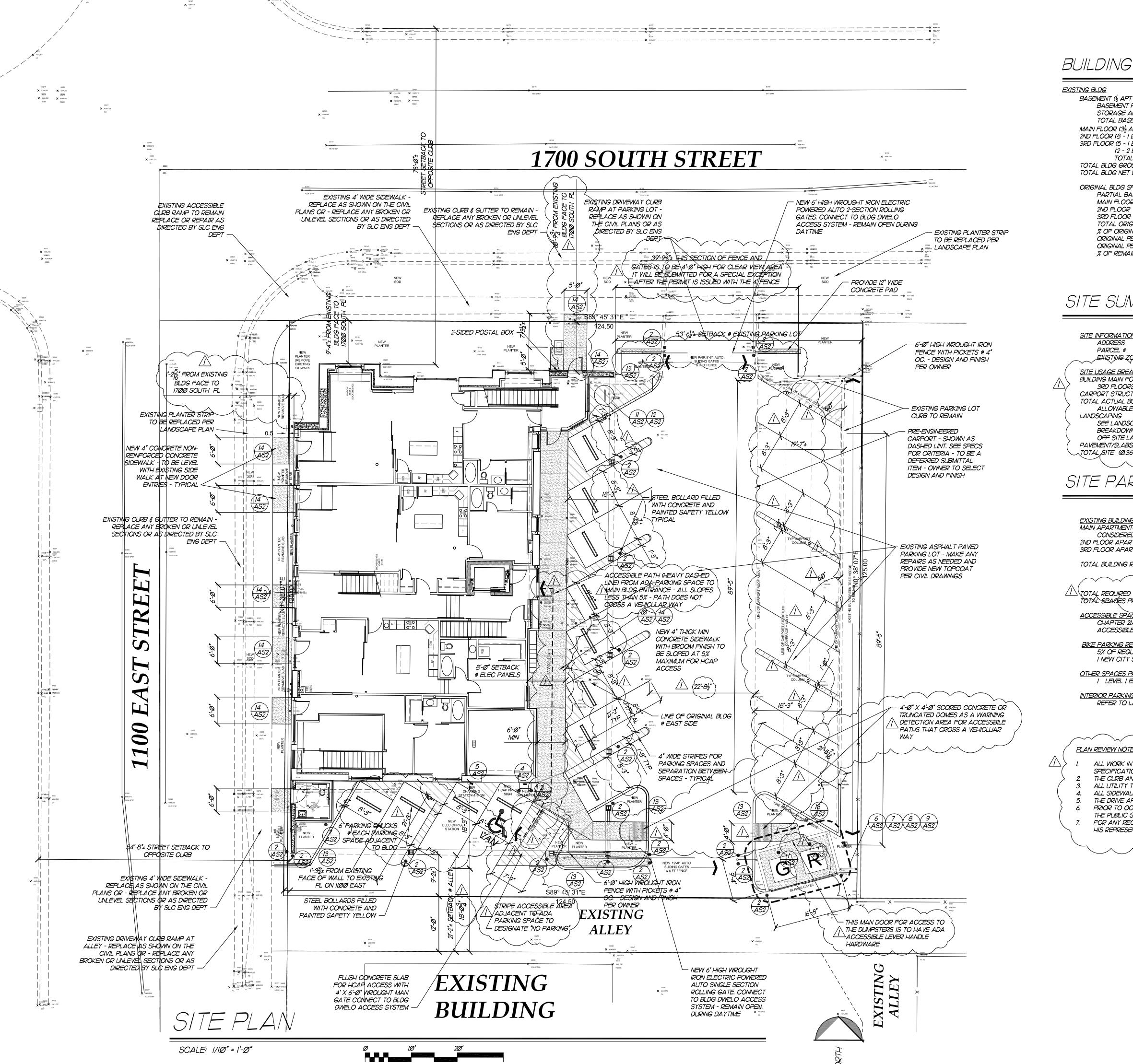
> ROBERT D. 106380 III-03-2016

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COStume building

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PLNSUB2017-00519: SL Costume Co. Planned Development

BUILDING SF SUMMARY

EXISTING BLDG

BASEMENT (APT UNIT 100) BASEÑENT PART OF UNIT #IØØ LOFT STORAGE AND MECHANICAL TOTAL BASEMENT

MAIN FLOOR (31/2) APT - I BEDROOM UNITS) 2ND FLOOR (8 - I BDRM APARTMENT UNITS) 3RD FLOOR (5 - I BDRM APARTMENT UNITS) (2 - 2 BDRM APRATMENT UNIT TOTAL 3RD FLOOR

TOTAL BLDG GROSS SF TOTAL BLDG NET USEABLE (APARTMENT) SF

ORIGINAL BLDG SF BEFORE PARTIAL DEMOLITION PARTIAL BASEMENT MAIN FLOOR + MEZZANINE 2ND FLOOR 3RD FLOOR

TOTAL ORIGINAL BLDG % OF ORIGINAL BLDG SF TO NEW BLDG SF ORIGINAL PERIMETER LF ORIGINAL PERIMETER LF MAINTAINED % OF REMAINING LF TO ORIGINAL BLDG LF

724 GROSS SF 1,16Ø GROSS SF 1,884 GROSS SF

4,824 GROSS SF (BLDG FOOTPRINT) 7,23Ø GROSS SF

7,23Ø GROSS SF 28,397 GROSS SF

16,27Ø GROSS SF 19 APARTMENTS 2,122 GROSS SF 4,968 GROSS SF 4,968 GROSS SF 4,968 GROSS SF 17,Ø26 GROSS SF 3Ø9.71 LF 26Ø.19 LF 84%

SITE SUMMARY

	CITE INICODADATIONI		
	SITE INFORMATION ADDRESS	17ØI SOUTH IIØØ	EAST
	PARCEL #	16-17-259- <i>020-00</i>	- · · · -
	EXISTING ZONING	10-17-239-10210-1010 RB	<i>DEE</i>
	CATO TITUE Z OT VIT VG	<i>RD</i>	_
	SITE USAGE BREAKDOWN		
^ \	BUILDING MAIN FOOTPRINT (INCLUDES 2ND &		
$\langle \rangle$	3RD FLOORS ABOVE	7,23Ø SF	46.5%
(CARPORT STRUCTURAL COVERAGE FOOTPRINT	49Ø SF	<u>3.1%</u>
	TOTAL ACTUAL BUILDING FOOTPRINT COVERAGE	7,72Ø SF	49.6%
/	ALLOWABLE = 50% - PROJECT MEETS CODE		
(LANDSCAPING	1,92Ø SF	12.3%)
>	SEE LANDSCAPE PLAN L-I.I FOR SF		<
(BREAKDOWN FOR 2Ø% ONSITE &)
	OFF SITE LANDSCAPING)
(PAVEMENT/SLABS/WALKS	<u>5,922 SF</u>	<u> </u>
	TOTAL, SITE (Ø.36 AC)	15,562 SF	100.0% <
		^ ^	,)

SITE PARKING SUMMARY

EXISTING BUILDING MAIN APARTMENTS + BASEMENT LOFT SPACE CONSIDERED WORK/LIVE UNITS 2ND FLOOR APARTMENTS 3RD FLOOR APARTMENTS

TOTAL BUILDING REQUIRED PARKING

4 (I) BEDRMS LIVE /WORK = 4 SPACES .12/(1) BEDROOMS = 12-SRACES. <u> 4 (2) BEDROOMS = 4 SPACES</u> 2Ø SPACES REQUIRED

4 APARTMENTS (ALL I BEDROOM)

6 APARTMENTS (ALL I-BEDROOM)

(2 - 2 BEDROOM + 6 I-BEDROOM)

8 APARTMENTS

2I SPACES PROVIDED

I BICYCLE PARKING REQUIRED

I BICYCLE PARKING PROVIDED

TOTAL SPACES PROVIDED ACCESSIBLE SPACES REQUIRED: CHAPTER 2IA.44,020.D = II-25 SPACES ACCESSIBLE SPACES PROVIDED =

I ACCESSIBLE SPACE REQUIRED I ACCESSIBLE SPACE PROVIDED BIKE PARKING REQUIRED:

5% OF REQUIRED PARKING = 21 X 5% I NEW CITY STD BIKE RACKS

OTHER SPACES PROVIDED ON SITE: I LEVEL I ELECTRICAL VEHICLE WITH SIGN AND RE-CHARGE STATION PROVIDED

INTERIOR PARKING LOT LANDSCAPING REQUIRED: REFER TO LANDSCAPE CALCULATIONS ON SHEET L-I.I

PLAN REVIEW NOTES FROM SALT LAKE CITY, DEPARTMENT OF COMMUNITY AND NEIGHBORHOODS:

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> Ø4-Ø5-I7 - SLC DEPT PLAN REVIEWS AND OWNER VALUE ENGINEERING CORRECTIONS

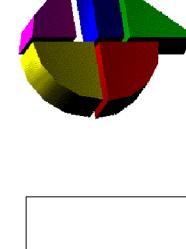
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ATTACHMENT E: ELEVATIONS AND FLOOR PLANS

Archited <u>Glas</u>



12/01/16

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AND OWNER VALUE ENGINEERING
CORRECTIONS

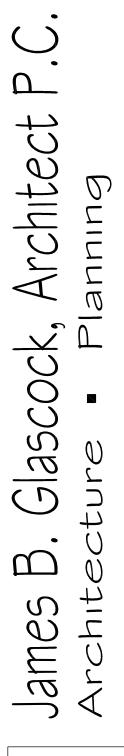
Ø8-Ø9-17 - REVISED FOR PROPOSED DEVELOPMENT REVIEW APPLICATION

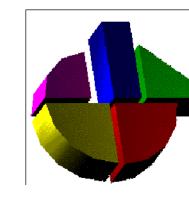
Ø8-14-17 - REVISED FOR PROPOSED

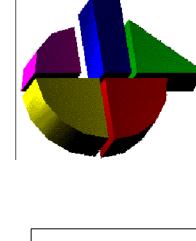
DEVELOPMENT REVIEW APPLICATION WITHOUT THE STEALTH WATER TOWER T-MOBILE ROOF ANTENNAS

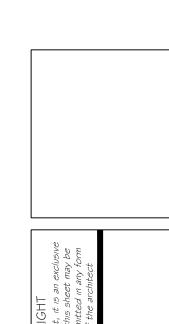
Ø8-18-17 - REVISED FOR PROPOSED DEVELOPMENT REVIEW APPLICATION EXISTING BLDG OUTLINE AND SIMPLIFY FLOOR LINES

PLNSUB2017-00519: SL Costume Co. Planned Development









Date | 12/01/16

Ø4-Ø5-I7 - SLC DEPT PLAN REVIEWS AND OWNER VALUE ENGINEERING CORRECTIONS

Ø8-Ø9-17 - REVISED FOR PROPOSED DEVELOPMENT REVIEW APPLICATION

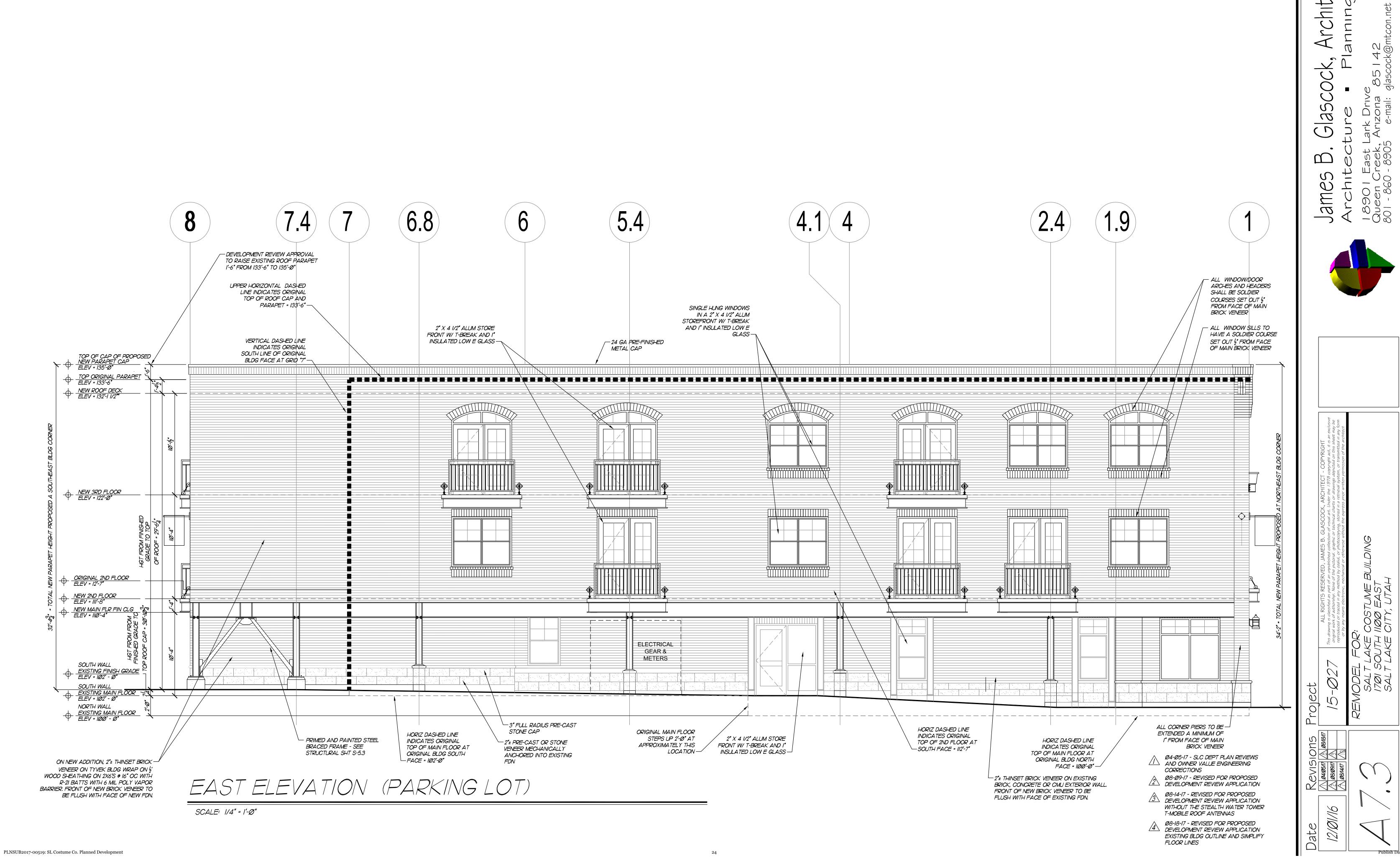
Ø8-14-17 - REVISED FOR PROPOSED DEVELOPMENT REVIEW APPLICATION WITHOUT THE STEALTH WATER TOWER T-MOBILE ROOF ANTENNAS

Ø8-18-17 - REVISED FOR PROPOSED
DEVELOPMENT REVIEW APPLICATION EXISTING BLDG OUTLINE AND SIMPLIFY FLOOR LINES

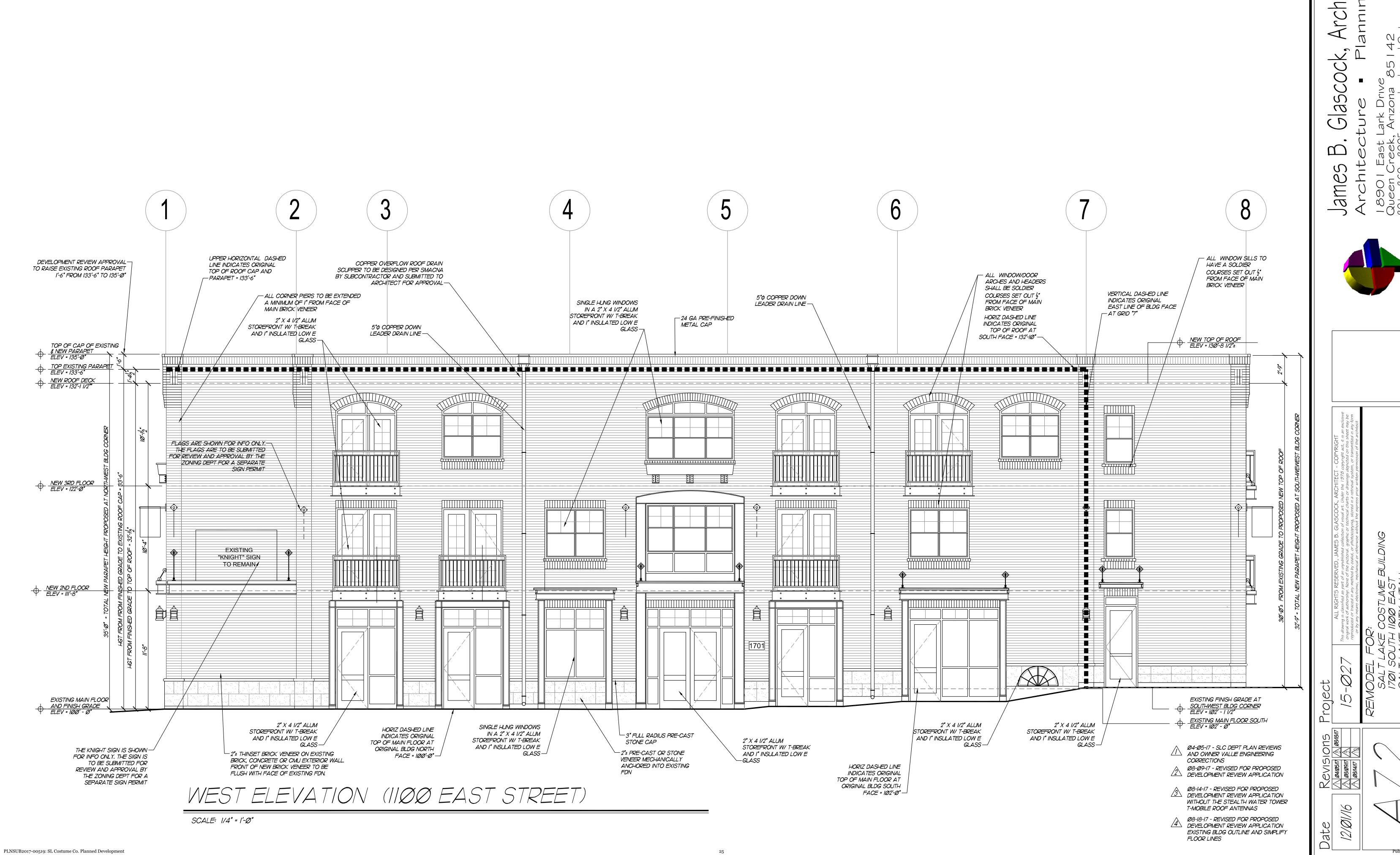
PLNSUB2017-00519: SL Costume Co. Planned Development

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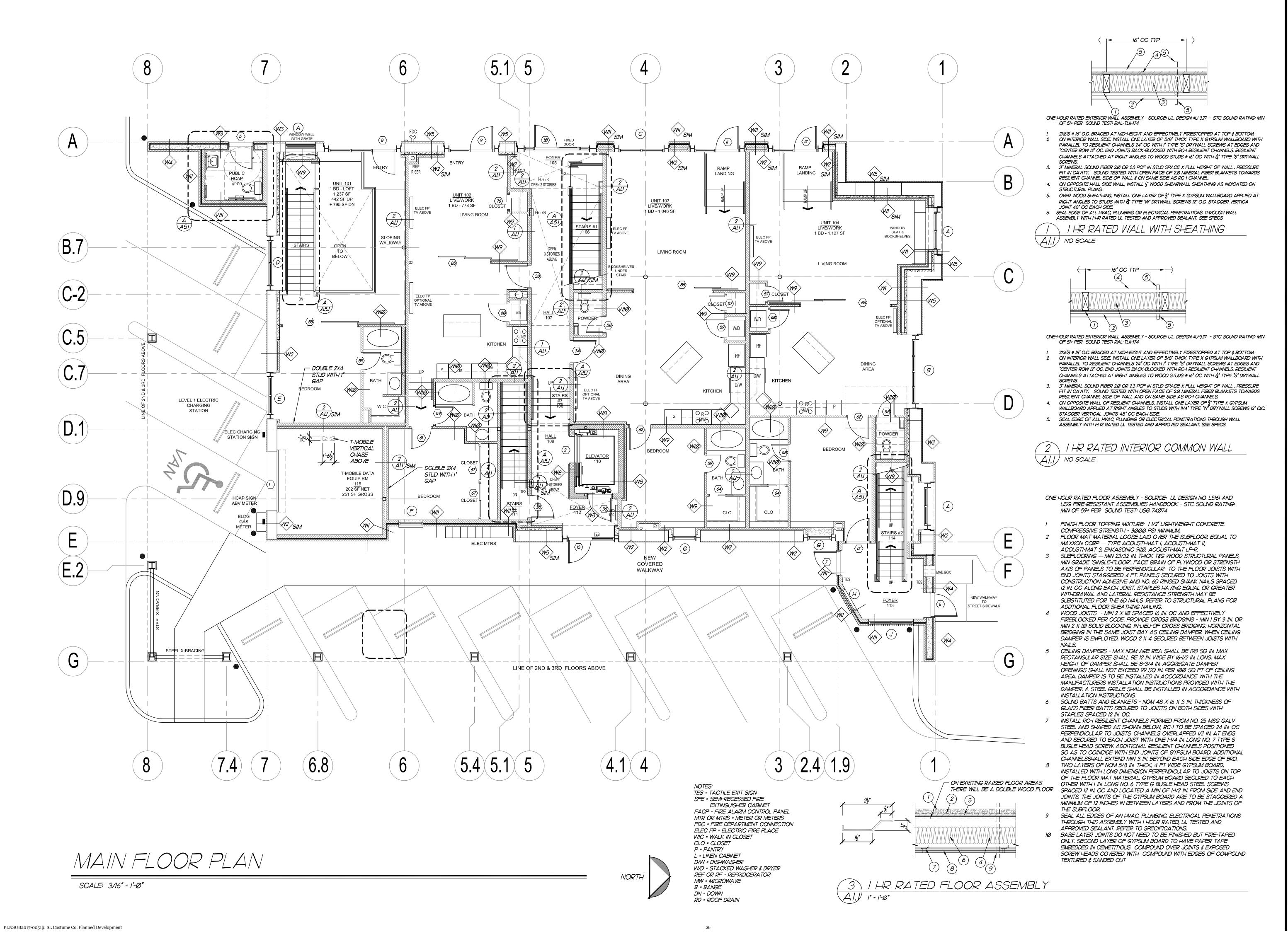
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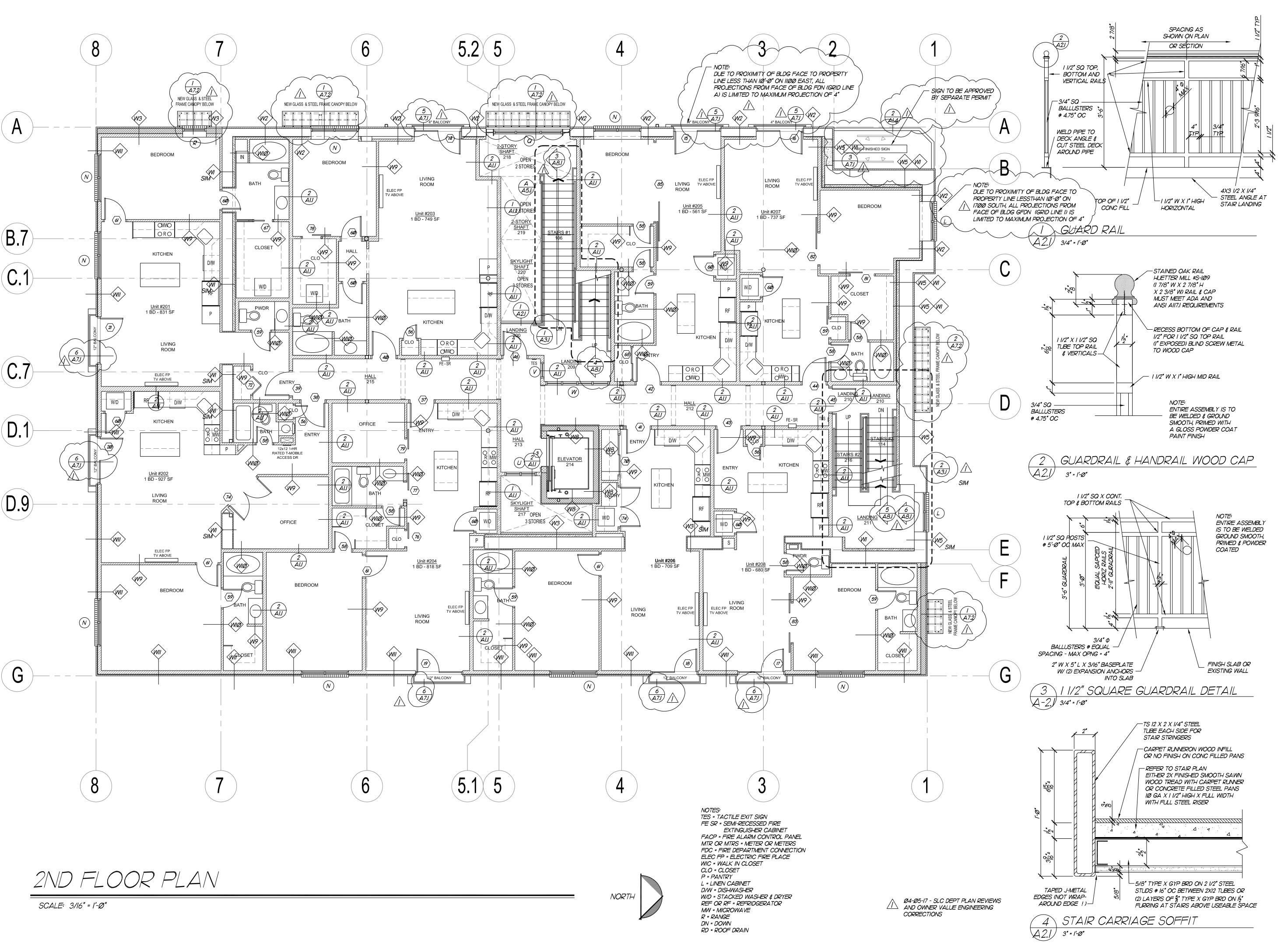


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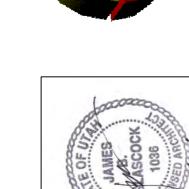
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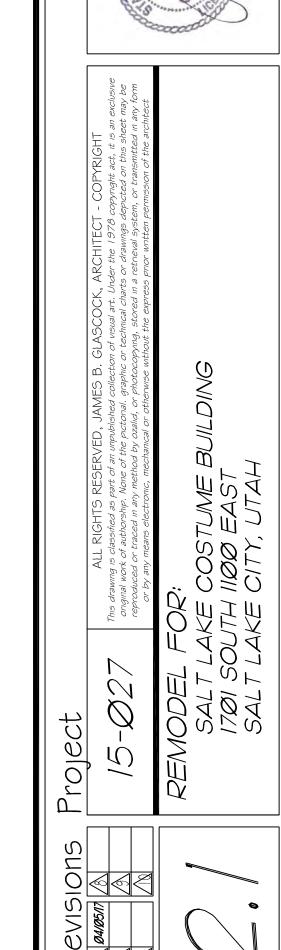


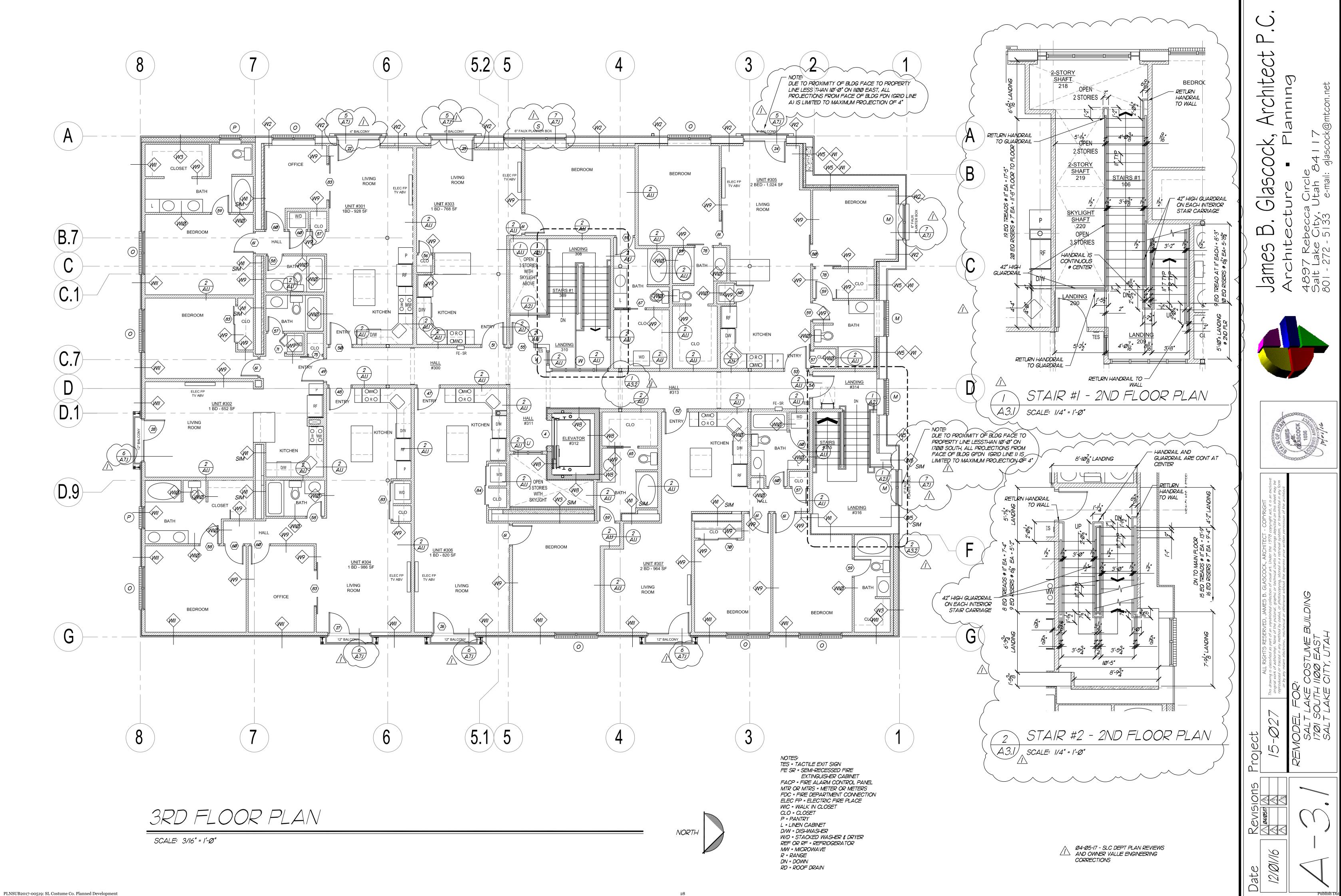
PLNSUB2017-00519: SL Costume Co. Planned Development

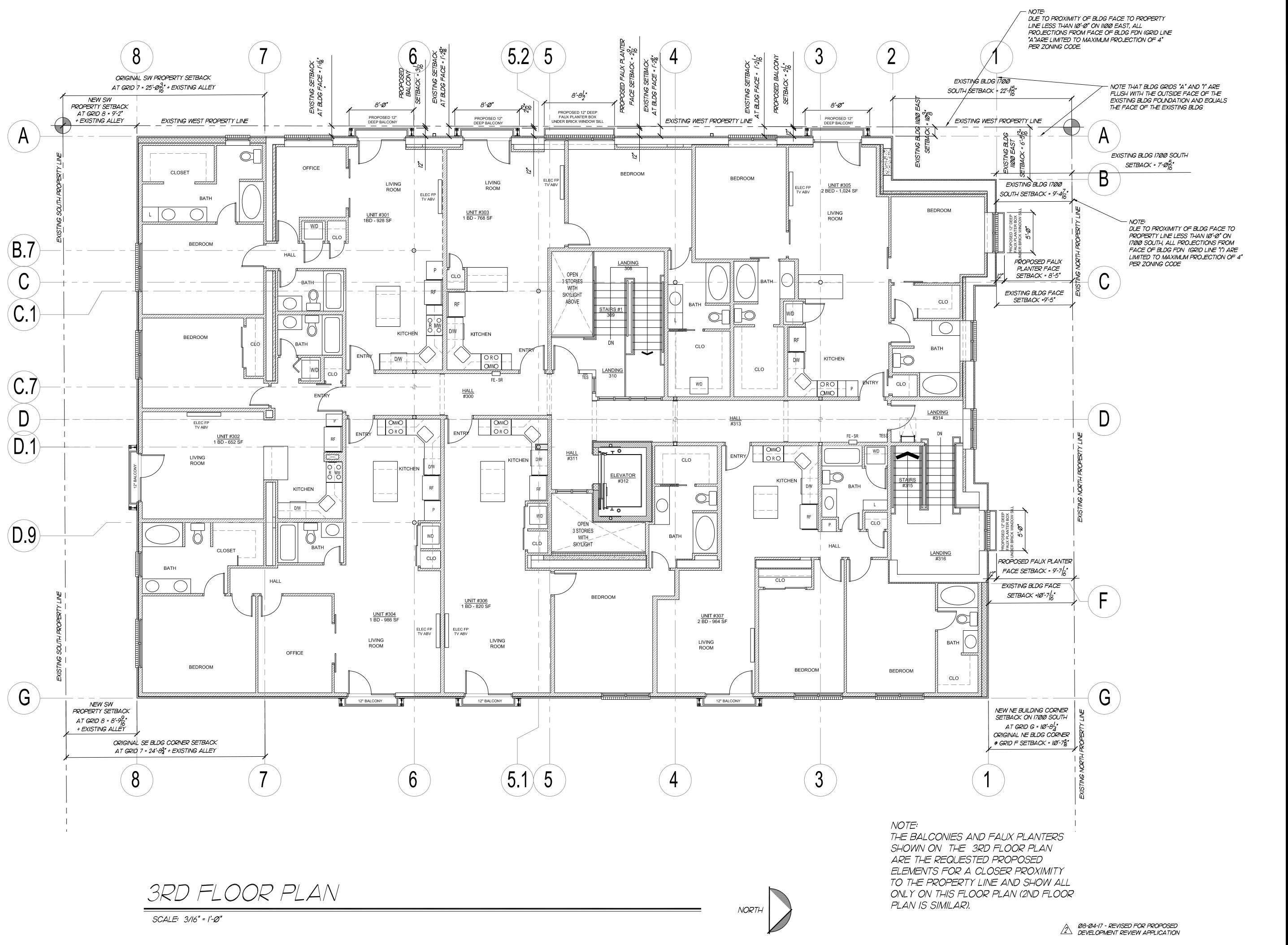
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PLNSUB2017-00519: SL Costume Co. Planned Development

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ATTACHMENT F: EXISTING CONDITIONS

Sugar House Master Plan Discussion

The proposal is located within the Sugar House Master Plan area. The Future Land Use map in the master plan designates the property as "Neighborhood Business" and the property has been zoned Residential Business, which is in compliance with the plans designation. The proposed multi-family residential is permitted in the zoning district. The master plan recommends that this area should provide services, products and attractions on a small scale within close proximity to residential neighborhoods. Neighborhood Business Land Use areas allow both residential and small business uses. Proposed development and land uses within the neighborhood business area must be compatible with the land uses and architectural features surrounding each site.

The below information is an extract from the master plan of a variety of policies that are relevant or related to this development. These include overall general Sugar House Community Development Objectives, policies about the future land use for the property ("Neighborhood Business"), and more specific policies directed at medium density housing.

The plan includes the below policies related to the request. Staff has included discussion about the project's compliance with the applicable policies after the general plan sections noted below:

Sugar House Development Objectives:

- Develop the Sugar House Community to be a sustainable, attractive, harmonious and pedestrian oriented community
- Maintain, protect, and upgrade Sugar House as a residential community with a vital supporting commercial core.
- Strengthen and support existing neighborhoods with appropriate adjacent land uses and design guidelines to preserve the character of the area.
- Provide a mix of housing types, densities, and costs to allow residents to work and live in the same community. Locate higher density housing on or near public transportation routes to afford residents the ability to reduce their reliance on the automobile.

Residential Land Use Policies:

Medium-Density Residential areas are designed to accommodate a mix of low-rise housing types. These include single-family through four-plex units, garden apartments, townhouses and mixed use or live/work units. This land use classification allows net densities between ten and twenty (10-20) dwelling units per acre. Variations in densities and housing types are encouraged. Design features should include: usable landscaped open space, screened off-street parking areas, and units oriented in a way to be compatible to existing surrounding residential structures. New medium-density housing opportunities are encouraged in certain locations in Sugar House, including some areas presently used for commercial, warehouse, and industrial uses.

Policies

- Encourage new Medium-Density housing opportunities in appropriate locations in Sugar House.
- Encourage a variety of densities in the Medium Density range while ensuring the design of these projects is compatible with surrounding residential structures.
- Encourage street patterns that connect with other streets.
- Discourage gated developments.

Planned Developments:

Policies

- Ensure the site and building design of residential Planned Developments are compatible and integrated with the surrounding neighborhood.
- Discourage the development of "gated communities".
- Review all proposed residential planned developments using the following guidelines:
 - Support new projects of a similar scale that incorporate the desirable architectural design features common throughout the neighborhood;
 - Maintain an appropriate setback around the perimeter of the development;
 - Position houses so that front doors and front yards face the street;
 - o Require front yards to be left open wherever possible.
 - Provide at least two access points wherever possible in order to connect the street system to the larger street network to maintain an integrated network of streets; and
 - o Incorporate a pedestrian orientation into the site design of each project with sidewalks, park-strips and street trees as well as trail ways wherever possible

Gateways:

A Gateway is a prominent entrance to a city, community or neighborhood and provides residents and visitors their first perception of the community. They are an important part of an area's image because they provide visitors and residents with their first visual impression of the community. A gateway often frames a principal view and defines a change in land use, providing a point of identity from which the viewer begins to evaluate the form and scale of an area. The project is located in an area identified as a community gateway.

Policies:

- Improve gateway vistas and the immediate environment of the major gateway roads. Rehabilitate the areas immediately around gateways by providing landscaping and special streetscape features. If thoughtfully installed, such improvements announce to visitors that they have arrived.
- Encourage development that takes advantage of natural features such as topography, vegetation, water elements, etc.

Staff Discussion: With regard to the above Mater Plan polices, the proposal provides a residential option with the potential to allow residents to live and work in the community. The site and building are designed to be compatible and integrated with the neighborhood. The development has several street level entrances to the building as well as architectural features that add pedestrian interest to the building.

The development has two access points that connect to larger arterial streets. The location of the project is identified as a "community gateway" and the redevelopment of this currently vacant structure has the potential to improve the immediate environment of this area.

Applicable General Zoning Standards:

RB Residential Business District

Standard Existing/Proposed Complies					
Minimum Lot Area and Lot Width for Multi- Family Dwellings: 5000 SF Lot Area 50 FT of Lot Width	15, 562 SF Lot Area 125 FT of Lot Width	Complies			
Building Height: Maximum building height permitted in this district is 30 FT	Existing Structure: 33 FT 6 IN (noncomplying structure) Proposed Structure: 35 FT	Modification Requested 5 FT of building height requested through Planned Development			
Front Yard: Buildings legally existing prior to April 12, 1995 the front yard shall be no greater than the existing yard.	Existing Structure: 0 – 2 FT Proposed Structure: 0 – 2 FT	Complies			
Corner Side Yard: Buildings legally existing prior to April 12, 1995 the corner side yard shall be no greater than the existing yard.	Existing Structure: 9 FT 4 IN Proposed Structure: 9 FT 4 IN	Complies			
Interior Side Yard: Buildings legally existing prior to April 12, 1995 the interior side yard shall be no greater than the existing yard.	Existing Structure: 24 FT 8 5/16 IN Proposed Structure: 9 FT 1 7/8 IN	Complies			
Rear Yard: 25% of the lot depth but the yard need not exceed 30 FT.	Existing Structure: 61 FT Proposed Structure: 53 FT 8 9/16 IN	Complies			
Building Coverage: All principal and accessory buildings shall not exceed 50% of the lot area.	Existing Building Coverage: 32% Proposed Building Coverage: 49.6%	Complies			
Parking Lot Landscaping: A parking lot existing prior to April 12, 1995, that is noncomplying with respect to landscaped setbacks, may be reconstructed, subject to the following requirements: 1 If parking and loading facilities are below these requirements, they shall not be further reduced.	Existing Parking Lot Landscaping Setback: 4 FT 4 ½ IN (noncomplying) Proposed Building Coverage: 4 FT 4 ½ IN. Existing landscaping located along east property line to remain.	Complies			
2. Development shall be reviewed through the site plan review process to consider the feasibility of redesign of parking layout to provide required landscaped setbacks without a reduction in the number of existing parking spaces.					

${\bf 21A.36.020.} B\ Obstructions\ in\ Required\ Yards$

Standard	Proposed	Complies
Balconies: Projecting not more than 5 FT permitted in side and rear yard areas	In addition to the balconies that are permitted in the side and rear yard areas, balconies are proposed in front and corner side yard areas that project approximately 12 IN into the required yard.	Modification Requested through Planned Development
Architectural Ornament/Planters: Projecting not more than 4 IN permitted in all yard areas	Planters located below the window sill that project approximately 12 IN into required yard area.	Modification Requested through Planned Development

ATTACHMENT G: ANALYSIS OF STANDARDS - PLANNED DEVELOPMENT

21a.55.050: Standards for Planned Developments: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard	Finding	Rationale
A. Planned Development Objectives:	Complies	The applicants intend to achieve several
The planned development shall meet	_	objectives as described in their narrative in
the purpose statement for a planned		Attachment C. Staff agrees that they are meeting
development (section <u>21A.55.010</u> of		multiple objectives.
this chapter) and will achieve at least		
one of the objectives stated in said		To accomplish some of these objectives,
section:		including A, B, and F, the applicants are
A. Combination and coordination		proposing to redevelop and add onto an existing
of architectural styles, building forms, building materials, and		building, retaining the overall building form and
building relationships;		building relationships. The natural topography and mature vegetation on the site will also be
bunding relationships,		maintained with the request. There is an existing
B. Preservation and enhancement		culvert located on the subject property and care
of desirable site characteristics		is being taken to protect that area. The existing
such as natural topography,		building is not considered historic as defined by
vegetation and geologic features,		Salt Lake City, however maintaining the building
and the prevention of soil erosion;		form and existing development pattern is in
,		character with this context. In compliance with
C. Preservation of buildings which		objective D, the proposal creates a pleasing
are architecturally or historically		environment through the proposed architectural
significant or contribute to the		features of the building including balconies,
character of the city;		planters, and retention of the existing sign that is
		of significance to the community. The proposal
D. Use of design, landscape, or		meets objective H in regards to green building
architectural features to create a		techniques in the development by building onto
pleasing environment;		an existing structure which reduces waste that
		would otherwise be accumulated through
E. Inclusion of special		demolition. Existing building materials will be
development amenities that are in the interest of the general public;		reused in the development wherever possible.
the interest of the general public,		
F. Elimination of blighted		
structures or incompatible uses		
through redevelopment or		
rehabilitation;		
G. Inclusion of affordable housing		
with market rate housing; or		
H. Utilization of "green" building		
techniques in development.		
D. Magtan Dlan And Zarring	Compliants	The proposal is leasted within the Course II
B. Master Plan And Zoning Ordinance Compliance: The	Complies, if modifications	1. The proposal is located within the Sugar House Community Master Plan. The future land use
proposed planned	are approved	map in the plan designates this property as
development shall be:	are approved	"Neighborhood Business".
1. Consistent with any		recignizationa dusiness.
adopted policy set forth in		The master plan recommends that this area
the citywide, community,		should provide services, products and attractions

and/or small area master on a small scale within close proximity to plan and future land use residential neighborhoods. Neighborhood map applicable to the site Business Land Use areas allow both residential where the planned and small business uses. Proposed development development will be and land uses within the neighborhood business area must be compatible with the land uses and located, and architectural features surrounding each site. Additional policies related to this area of Sugar House recognize that medium scale development is appropriate in this area and should be designed to be compatible and integrated into the surrounding neighborhood. Please see Attachment F for more detailed policies from the Master Plan and a discussion of the proposed development and its compliance with Master Plan policies. **2**. The development includes 19 residential units. Multi-family residential is an allowed use in the RB zoning district. 2. Allowed by the zone where the planned Some zoning regulations are proposed to be development will be modified through the Planned Development located or by another process. These are noted in the Existing applicable provision of Conditions zoning analysis in Attachment F. this title. C. Compatibility: The proposed **Complies** 1. The development retains existing planned development shall be ingress/egress from adjacent public streets (1100 compatible with the character of the East & 1700 South). The City transportation site, adjacent properties, and existing department reviewed the request and did not development within the vicinity of the have any concerns with the development's site where the use will be located. In impact on adjacent service levels, as it is not determining compatibility, the projected that the proposed 19 units will change planning commission shall consider: the service levels of adjacent city streets. 1. Whether the street or other means of access to the site provide the necessary ingress/egress without materially degrading the service level on such street/access or any adjacent street/access; 2. Whether the planned **2a**. The development directs traffic to two development and its location will arterial streets, 1700 South and 1100 East. No traffic is being directed onto local streets. The create unusual pedestrian or proposal utilizes a private alley to the south of vehicle traffic patterns or volumes the subject property. It's not anticipated that the that would not be expected, based proposal will create unusual volumes of traffic or on: impact the existing character of the alley. a. Orientation of driveways and whether they direct traffic **2b**. The development is providing approximately to major or local streets, and, 21 surface parking spaces for the for the 19 unit if directed to local streets, the residential building, which is more than the impact on the safety, purpose, minimum required for the use (20 required and character of these streets: spaces). There is limited potential for street side parking impacts due to the lack of street side b. Parking area locations and parking available on the adjacent public streets. size, and whether parking plans are likely to encourage street side parking for the planned development which will adversely impact the

- reasonable use of adjacent property; c. Hours of peak traffic to the proposed planned development and whether such traffic will unreasonably impair the use and enjoyment of adjacent property.
- 3. Whether the internal circulation system of the proposed planned development will be designed to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic;
- 4. Whether existing or proposed utility and public services will be adequate to support the proposed planned development at normal service levels and will be designed in a manner to avoid adverse impacts on adjacent land uses, public services, and utility resources;
- 5. Whether appropriate buffering or other mitigation measures, such as, but not limited to, landscaping, setbacks, building location, sound attenuation, odor control, will be provided to protect adjacent land uses from excessive light, noise, odor and visual impacts and other unusual disturbances from trash collection, deliveries, and mechanical equipment resulting from the proposed planned development; and
- 6. Whether the intensity, size, and scale of the proposed planned development is compatible with adjacent properties.

- **2c**. The limited amount of residential development (19 units) and its level of traffic is not expected to have a substantial impact on nearby traffic or adjacent property use.
- **3.** The circulation of the site is designed to allow for safe pedestrian flow onto nearby pedestrian sidewalks outside of the development. Vehicle traffic is generally directed onto City arterials, as well as utilization of an existing private alley. Traffic generated by the development, including motorized and nonmotorized, is not expected to adversely impact adjacent development.
- 4. The development may be required to upgrade utility infrastructure where determined to be necessary by the Public Utilities Department and other responsible entities in order to adequately provide service. Emigration Creek runs underneath the east side of the subject lot and the applicant is coordinating with Salt Lake City and Salt Lake County to mitigate any potential adverse impacts on this resource.
- 5. The development utilizes an existing building located in the Neighborhood Business District The development is located next to commercial development as well as single family residential uses. Loading, delivery, and refuse service points are located on the rear of the development adjacent to the public alley away from the front of businesses and residences. There is mature vegetation along the east property line of the subject property that will be maintained and provides a buffer between the surface parking for the development and the adjacent single family residential uses. Parking lot lighting shall be appropriately screened to minimize the impact on the neighborhood. Staff is recommending final details related to parking lot lighting be delegated to Planning Staff.
- **6**. Although the existing building is located adjacent to single family residential properties, the development utilizing the existing building and generally maintains the existing character of the site and development pattern in terms of size and scale. The properties along 1100 East are also zoned RB, and the proposal is consistent with the zoning and Master Plan future land use designation for this site. The existing building is approximately 33.5 FT tall. The requested additional building height is to accommodate an addition to the building and adjust any roof heights as needed, so the new roofline matches the existing. The total height of the building has a maximum height of 35 FT. As stated in standard 5, the intensity and residential density of this development is not expected to cause any

		adverse negative impacts to surrounding
		properties. The proposal is therefore generally compatible with the adjacent properties.
D. Landscaping: Existing mature	Complies	There is some existing mature vegetation along
vegetation on a given parcel for	Compiles	the east lot line that will remain with the
development shall be maintained.		proposed development and provides a buffer
Additional or new landscaping shall		between the surface parking area and adjacent
be appropriate for the scale of the		single family residential development. The
development, and shall primarily		development is proposing to install a greater
consist of drought tolerant species;		number of trees than currently exist on the site
		as well as required landscaping. (See landscape
		plan in Attachment C). All landscaping must
		comply with the City's approved plant lists that
E. Duogowyation, The muon equi	Committee	generally require drought tolerant species.
E. Preservation: The proposed planned development shall	Complies	The development site currently consists of a vacant building and a surface parking lot.
preserve any historical,		Although the south half of the structure was
architectural, and		constructed in the late 1800's, the structure is
environmental features of the		not historic in terms of Salt Lake City definitions
property;		or regulations, as it is not in a historic district, it
F - F		is not a Landmark Site, and it is not individually
		listed on the National Register of Historic Places.
		The existing sign could be considered an
		architectural feature of the property, and the
		proposal is to preserve the existing sign.
		Emigration Creek runs underneath the east
		portion of the proposal, and the applicants are
		working with Salt Lake City Public Utilities as
		well as Salt Lake County to ensure the development protects that resource.
F. Compliance With Other	Complies	Other than the specific modifications requested
Applicable Regulations: The	Complies	by the applicant, the project appears to comply
proposed planned		with all other applicable codes. Further
development shall comply		compliance will be ensured during review of
with any other applicable code		construction permits.
or ordinance requirement.		_

Additional Considerations for Planned Developments in RB Zoning District

The Planned Development ordinance includes the following additional "considerations" for developments in the Residential Business (RB) zone.

21A.55.090: Specific Standards for Planned Developments in Certain Zoning Districts: Planned developments within the TC-75, **RB**, R-MU, MU, CN, CB, CSHBD districts, South State Street corridor overlay district and CS district (when the CS district is adjacent to an area of more than 60 percent residential zoning located within 300 feet of the subject parcel to be developed, either on the same block or across the street), may be approved subject to consideration of the following general conceptual guidelines (a positive finding for each is not required):

Guideline	Finding	Discussion
A. The development shall be primarily oriented to the street, not an interior courtyard or parking lot;	Complies	The residential building is oriented to both adjacent streets (1700 South and 1100 Easto with active uses along the entire length of the street facing façades and multiple street level entrances along 1100 East.
B. Primary access shall be oriented to the pedestrian and mass transit.		Each building has entrances that are oriented to the pedestrian, with a main entrance to access upper floors as well as individual access to units at street level.
C. The facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.	Complies	With the exception of existing storefront openings on the façade facing 1700 South, the existing building has virtually no windows, and minimal door openings. Each proposed building façade includes detailing and glass to facilitate pedestrian interest and interaction. Window size and type vary as the façade progresses vertically to create visual interest.
D. Architectural detailing shall emphasize the pedestrian level of the building.	Complies	As noted in consideration C above, architectural detailing including awnings, glass, brick detailing, planters and balconies on all facing facades to emphasize the pedestrian level. The proposal to retain the existing sign also adds a pedestrian element and focal point to the building.
E. Parking lots shall be appropriately screened and landscaped to minimize their impact on the neighborhood.	Complies	The proposal utilizes the existing surface parking area on the east portion of the lot. There is a mature row of trees along the eastern property line and that will be maintained as part of the proposal and provides a buffer between the development and adjacent single family homes.
F. Parking lot lighting shall be shielded to eliminate excessive glare or light into adjacent neighborhoods.	Complies	Information related to parking lot lighting will be submitted and reviewed as part of the building permit if the project is approved. Planning Staff recommends final review of proposed lighting be delegated to Planning Staff and will be reviewed for compliance with the Planned Development Standards.
G. Dumpsters and loading docks shall be appropriately screened or located within the structure.	Complies	Dumpsters are located in the south east corner of the development adjacent to a private alley and loading docks are located on the south side of the development which is adjacent to an alley.
H. Signage shall emphasize the pedestrian/mass transit orientation.	Complies	The proposal is to retain the existing Salt Lake Costume Co. sign which is generally more pedestrian oriented due to its location on the building.

ATTACHMENT H: PUBLIC PROCESS AND COMMENTS

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- Planning Division Open House August 17, 2017
- Sugar House Community Council Land Use Committee August 21, 2017
- East Liberty Park Community Council August 24, 2017
- Sugar House Community Council September 7, 2017

Notice of the public hearing for the proposal included:

Public hearing notice mailed on August 31, 2017

Public hearing notice posted on August 31, 2017

Public notice posted on City and State websites and Planning Division list serve on August 31, 2017

Public Comments

As of the date this Staff Report was published, Staff received comments from 7 different members of the public. Four comments were in opposition to the proposal, three comments were in support of the proposal. All public comments are included in this attachment on the following pages.

- Comments in opposition generally relate to traffic and parking concerns as well as the multi-family residential use.
- Comments in support generally relate to reuse of the existing vacant building and a design that is compatible with the existing established neighborhood.

From: Vera M

Sent: Friday, A

To: Thompson, Amy **Subject:** PLNSUB 2017-00519

Ms. Thompson:

I understand an apartment complex with 19 residential units is being planned for the corner of 1700 South and 1100 East in Salt Lake City. 1100 East is already heavily traveled and to add more residences to the area will increase traffic and parking problems. Just wanted to let you know I oppose the plan.

Also, I have noticed that people, to avoid the slow moving traffic on 900 East and 1100 East are flying down side streets such as 1000 East. I wish speed bumps could be installed on the side streets to slow the speeders down.

Sincerely,

Vera Mengucci

From: Kate Bowman

Sent: Thursday, Aug

To: Thompson, Amy
Subject: Hello Amy,

I wanted to share some thoughts regarding the proposed development at the old Costume building. I pass by it all the time, and the building has been unused as long as I can remember. I think that corner of the neighborhood has the potential to be significantly improved and it would be great to see it used in a way that's consistent with the look and field of the neighborhood.

As an added bonus, it would be wonderful to see the creek (which flows underground nearby) daylighted and landscaped so that neighbors in the area can enjoy it. I think that a well-designed water feature in this area would really improve the draw of the neighborhood and help boost the desirability and property values of the area. Looking for opportunities to re-introduce green spaces into our communities will go a long way towards ensuring their continued vibrancy into the future. I would like to see daylighting creeks and creating green spaces become a priority for projects like this in the future.

Kate Bowman

From: Melanie Williamson
Sent: Monday, August 14,
To: Thompson, Amy
Subject: 2017-00519 PLNSUB

Hi Amy

I'm hoping you can give me some information about the proposed project on the southeast corner of 1100 East & 1700 South, the old Salt Lake Costume.

I understand there is an open house on Thursday at the City & County building to understand a proposed 19 unit high density apartment complex. Is this just a courtesy to neighbors or are you looking for input?

I heard about the project via a neighbor who received a postcard about the open house. I'm surprised I didn't get such a card as our home is just 3 blocks from the building.

I have serious concerns about the proposed apartment complex. With only single lane main thoroughfares of 11th and 13th east, I am concerned about increased traffic every day. My travel time to I-80 has almost doubled in the last 2 years and I've had to change my work schedule. Getting home is a nightmare as the 3 lanes of 1300 East turn to one at 2100 south. I realize that 19 apartments won't make a huge difference (although it will cause more congestion at busy times) but more importantly what sort of planning has gone into what this little area can handle. We won't even go into downtown Sugarhouse after about 10:00am and I can't tell you the last time we had dinner at a local restaurant in that area.

We've lived on Browning Avenue since 1991, and we love the area. But I need to understand what the intention of the planning commissions are if we are going to stay.

Any information you can give me on the future plans, our chances of fighting apartments, and the intent of the future of "North Sugarhouse" is very much appreciated. I'm also interested in the fate of the sign. I believe signs in the area are protected and I would be very sad if that's not the case on this building.

Thank you Amy, I'll attend if I can be heard, but I won't waste my time if it's just pretty pictures of a decision made without public input.

Sincerely Melanie Williamson 1145 Browning Avenue



From: Seiren Tuesday, August 15, 2017 2:53 PM Sent:

To: Thompson, Amy Subject: SL Costume Company

Hi Amy. My Name is Roddy Clark. I own the Business just south of the proposed Costume Company development. PLNSUB2017-0059 @ 1701 S 1100 E.

I am very concerned about the 19 residential apartments units that are included in this project.

Many people who live in and around this corner have complained about, and cannot imagine the terrible traffic, and congestion that 19 residential units will cause.

There are traffic accidents constantly on the corner of 17th south, and 11th east. Adding 19 units would make it a nightmare for anyone who lives down the shared alleyway to access their homes, and business owners like myself to find parking, and to come and go without having deal with the extra traffic that these 19 units will bring. Please come to this corner, and see for yourself.

The proposed development site may have enough property for 19 stalls, but that doesn't mean that it should, and many who will occupy these units will have more than one car. There is no street parking in this corner at all. The exact corner on which this building sits. Not to mention many of the adjacent streets are permit only because of the amount of traffic created by the close proximity to Westminster college.

I want this building to be renovated as it has been an eyesore for years, but I'm afraid that the builders are being overzealous in the amount of apartment they are planning on including in this project. 6 to 10 units seem reasonable, but certainly not 19.

I am sorry for the rant, but please consider that some developer who doesn't live or work here wants to make as much money possible without a care or thought of how will affect this neighborhood, and then move on to their nxt Project, and leave us to deal with the problems it will surely bring.

Thank you for your attention on this

A concerned citizen

Roddy Clark

Sent from my iPhone

From: Pehrson, Amber

Sent: Tuesday, August 15, 2017 11:41 AM

To: Thompson, Amy
Cc: City Council Liaisons
Subject: FW: Salt Lake Costume

Attachments: 1701s1100e Costume Planned Development.pdf

Good morning,

Council Member Mendenhall received the following comments regarding the Sugar House/East Liberty Park Proposal (Salt Lake Costume Co.).

Would you mind adding this to the public comment record?

Thank you! Amber

From: Melanie Williamson Sent: Friday, August 11, 20

To: Mendenhall, Erin < Erin.Mendenhall@slcgov.com>

Subject: Salt Lake Costume

Hello Erin,

I just saw there is an open house to discuss a potential MDU of 19 apartments on the corner of 1100 East and 1700 south (old Salt Lake Costume) on Thursday 8/17 at the City & County building.

This is very concerning to me, do you have any say in this matter? Our little neighborhood has two main thoroughfares, 1100 East and 1300 East. They are both single lane without the potential for widening to two lanes each way. This little area cannot handle this type of mass population, and it will wreck the neighborhood.

I've lived here for 26 years and watched things grow and change. The traffic problems in the last five years are horrendous, enough to make us want to move out of the area completely. Please don't let this part of town become another apartment dense area. I already watch cars speed down Browning Ave at 40 mpg as they cut from 1300 to 1100 east to avoid congestion. We're a wide road and a good "alternate" route. As you know, 19 apartments means more than the cars of the residents. The impact on traffic is the delivery drivers, service providers, baby sitters, friends, etc.

It may well be the straw that breaks it for us, and we may have to finally leave. As it is we won't even go into downtown Sugarhouse due to traffic. It's a real shame the growth that is happening without any infrastructure to support it, and I'm hoping you can help prevent it.



From: Becky Lawlor

Sent: Sunday, Augu
To: Thompson, Amy

Subject: Re: Application PLNSUB 2017-00519

Hi Amy,

I won't be able to make the meeting regarding the property on 1700 S. 1100 E., but I live nearby and wanted to weigh in. My understanding is that this building will exceed the current 3 story height building restriction. I am strongly opposed to granting a zoning exception. This property is surrounded by one story homes and something that goes beyond 3 stories is completely out of character and cuts off the views for others.

Additionally, I have major concerns about placing a 19-unit apartment building there. Where will residents park? The lot is not really that large. The area is already extremely congested and will only become more so. Even if these units are 1-2 bedroom or studio apartments, it's still likely many will have 2 adult residents and hence 2 cars. I really, really wish SLC would stop approving these mega apartments and condos in the area based solely on the congestion and single lane thoroughfares.

I am okay with more density, but something more like a triplex or townhomes feels more appropriate for the location and in keeping with the character of that specific corner/area.

Thanks for considering my comments.

Best, Rebekah Lawlor

From: Peter Johnson

Sent:Friday, AugustTo:Thompson, Amy

Subject: Salt Lake Costume Properties, Inc.

Ms. Thompson,

It was nice to get to meet you last evening at the Planning Division Open House. I attended to support the development proposed for the Salt Lake Costume building. The points I would like to make in support of this development are:

- I. My name is Peter M. Johnson. I am President of Sinclair Oil Corporation.
- II. There is a Sinclair gas station and convenience store on the corner of 1300 East and 1700 South, just 2 blocks east of the Salt Lake Costume building.
- III. We support the Salt Lake Costume Properties proposal, as submitted, for several reasons.
- IV. This property has been vacant for years. I remember as a young father taking my son to Salt Lake Costume each year at Halloween and helping him pick out a costume. I would love to see this property put back to a good use.
- V. It is obviously difficult for anyone to figure out how to make this property viable. I applaud the developers here for their creativity and commitment to preserving this historic structure that brought them to make this proposal.
- VI. A residential use of this property, rather than another commercial use of this property, will be a great enhancement to this neighborhood.
- VII. The proposed design submitted by the developer is conducive to the Sugar House area aesthetics while preserving the historic integrity of the building. This design will immediately look like a building that has been in place for decades. The placement of faux water towers atop the structure to hide the rooftop antennas is a creative solution, yet one with historical integrity.
- VIII. As a Salt Lake City resident and as a business with a "stake" here, we are excited about the prospect of a building with this quality of architectural values coming to life in this neighborhood.
- IX. I encourage the Planning Division to approve the plans as submitted by the developer.

I would be pleased to talk with you, or anyone with the Planning Division further, if you see any value in my doing that. Please just let me know.

Peter M. Johnson



From:

Sent: 7 7:50 PM

To: Thompson, Amy Cc: judi.short@gmail.com

Subject: Costume Shop redevelopment

Hello Amy-

I am writing in regards to the project at the old Costume Shop on 1700 S 1100 E.

I am in favor of this project wholeheartedly. I appreciate the design and the thoughtful to our history. I support preserving the knight sign. I support the extension of height on the building top and the side balconies. I also support the inclusion of the water towers to mask the cell antennas. I believe that is a nice touch and looks a lot better than triangular antennas.

One not of concern that I hope you include in your dialogue with Transportation is the flow through the parking lot and the existing traffic patterns along 1100 E. I live within 5 streets of this intersection and will say that traffic can be quite steady at times of the day and it is impossible to get more than 1-2 cars turning left in either direction on 1100 E.

The developer informed me that Transportation is advocating for an entrance to parking from 1700 S and exit, right hand turn only on 1100 E. Truly the intersection cannot quite function with that flow as it is now. It is quite time for a dedicated left hand turn signal on both lights on 1100 E. That will allow more flow along the road. Additionally the curb/gutter at the corner in front of the costume shop building along 1100 E needs to be reconfigured to not allow such a dip that makes it hazardous for cars that try and slip around to make a right hand turn. Those improvements will go a long way for the community and for the parking lot flow Transportation is advocating.

As for the project itself I am truly excited for the building to finally be brought back to life.

Regards, Amy Barry

ATTACHMENT I: DEPARTMENT COMMENTS

If the proposal is approved, the applicant will need to provide the required information showing compliance to the Building Services department before a building permit will be issued.

Building Services: (Greg Mikolash at greg.mikolash.@slcgov.com or 801-535-6181)

Transportation (Michael Barry at <u>michael.barry@slcgov.com</u> or 801-535-7147)

Parking calculations appear to be in order and so is the parking layout. The electric rolling gate suffices to meet the same intent of the gate setback requirement of 21A.40.120.E.9. A detail of the bike rack should be shown on a detail sheet or on the site plan.

Engineering: (Scott Weiler at <u>scott.weiler@slcgov.com</u> or 801-535-6159) No objections. If the abutting public sidewalks on 1700 South or 1100 East have tripping hazards, it is recommended that they be eliminated as part of this project.

Zoning: (Alan Hardman at <u>alan.hardman@slcgov.com</u> or 801-535-7742)

The architect and owner have worked diligently on getting a building permit since 10/12/2016 (BLD2016-09532), when the plans were submitted to the city. With the change of use from retail to residential, they have not been able to make the additions to the building meet the requirements of the restrictive RB zone, which make the project economically feasible. The project went to IRT to see if an inline special exception for building height would be available, and were denied that option because it is proposed to be residential. I have gone through three zoning reviews, and the applicants were directed to apply for Planned Development to receive approval for the remaining issues that cannot be resolved through the existing RB zone. They would like to see this project approved as an adaptive re-use of the property, rather than demolishing the building and starting over. The current setbacks of the building make it more pedestrian friendly than would a new project.

Sustainability: (Vicki Bennett at <u>vicki.bennett@slcgov.com</u> or 801-535-6540) This project might meet the threshold that requires recycling so space for two bins may be required.

Urban Forestry: (Cory Davis at <u>cory.davis2@slcgov.com</u> or 801-972-7818) Salt Lake City Urban Forestry has no comments or concerns

Public Utilities: (Jason Draper at <u>jason.draper@slcgov.com</u> or 801-483-6751) No new structures including retaining walls within 20 feet of the existing culvert. The easement is to be centered on the culvert.

The easement must provide access and maintenance to Salt Lake City and Salt Lake County.

Parleys Creek is a county facility and any work above or within the easement will require a Salt Lake County Flood control permit

Public Utility permit, connection, survey and inspection fees will apply.

Please submit site utility and grading plans for review. Other plans such as erosion control plans and plumbing plans may also be required depending on the scope of work. Submit supporting documents and calculations along with the plans. Storm water treatment is required prior to discharge to the public storm drain. Utilize storm water Best Management Practices (BMPs) to remove solids

and oils. Green infrastructure should be used whenever possible. Sand/oil separators are commonly used to treat storm water runoff from uncovered parking areas.

All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.

Contact SLCPU Street Light Program Manager, Dave Pearson (801-483-6738), for information regarding street lights.

All utilities must be separated by a minimum of 3ft horizontally and 18" vertically. Water and sewer lines require 10ft minimum horizontal separation.

Applicant must provide fire flow and culinary water demands to SLCPU for review. The public water system will be modeled with these demands. If the demand is not adequately delivered, a water main upsizing will be required at the property owner's expense. Required improvements on the public water system will be determined by the Development Review Engineer. New water mains must cross the entire frontage of the property. A plan and profile and Engineer's cost estimate must be submitted for review. The property owner is required to bond for the amount of the approved cost estimate.

One culinary water meter and one fire line are permitted per parcel. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Each service must have a separate tap to the main.

Fire: (Ted Itchon at <u>edward.itchon@slcgov.com</u> or 801-535-6636) No comments