



# Staff Report

PLANNING DIVISION  
COMMUNITY & ECONOMIC DEVELOPMENT

**To:** Salt Lake City Planning Commission  
**From:** Lex Traughber – Senior Planner  
(801) 535-6184 or lex.traughber@slcgov.com  
**Date:** January 27, 2016  
**Re:** PLNSUB2015-00928 & PLNSUB2015-00929, Marmalade Townhomes –  
Subdivision and Planned Development

## PLANNED DEVELOPMENT & SUBDIVISION

**PROPERTY ADDRESS:** 535 N. Arctic Court  
**PARCEL ID:** 08-36-205-040  
**HISTORIC DISTRICT:** Capitol Hill Historic District  
**ZONING DISTRICT:** R-MU (Residential Mixed-use District) & H – Historic Preservation Overlay District  
**MASTER PLAN:** Capitol Hill Master Plan – High Density Mixed-Use

**REQUEST:** Everest Builders is requesting approval from the City to develop twelve (12) townhomes on the property located at approximately 535 N. Arctic Court in the Capitol Hill Historic District. The applicant is requesting that the Planning Commission modify the required landscape buffer requirement along Arctic Court as well as approve the units that have no direct street frontage through the Planned Development process. The applicant is also seeking subdivision approval. The site is zoned R-MU (Residential Mixed-Use), and is located in City Council District 3, represented by Stan Penfold.

**RECOMMENDATION:** Planning Staff recommends that the Planning Commission approve the requested planned development and subdivision requests for new construction for the twelve (12) new townhomes located at approximately 535 N. Arctic Court.

**MOTION:** Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Planning Commission approve the planned development and subdivision requests for new construction for the twelve (12) new townhomes located at approximately 535 N. Arctic Court, subject to the following conditions:

1. The Planning Commission specifically approves the reduced landscape buffer requirement along Arctic Court from 10' to 5'3".
2. The Planning Commission specifically approves the "Type 1 Units" without street frontage as shown on the site plan and preliminary plat.
3. The Planning Commission specifically approves the subdivision of lots as proposed. A final plat is required.
4. The applicant shall adhere to all City Department/Division comments as noted in this staff report (Attachment H)

The Planning Commission finds that the proposed project complies with the review standards as demonstrated in Attachments F of this staff report.

**BACKGROUND AND PROJECT DESCRIPTION:**

The applicant, Eric Saxey, Everest Builders, was selected by the Salt Lake City Redevelopment Agency (RDA) to build a townhome development on Parcel 4 of the Marmalade Block. This project constitutes one part of the overall redevelopment of the area which includes the new Marmalade Library that is under construction. The subject property is located within the Capitol Hill Historic District (see attached map – Attachment B). The Historic Landmark Commission reviewed and approved the project and site plan on September 3, 2015. The HLC approved the townhome design and the overall site plan.

The proposed new residential construction will consist of twelve (12) townhomes; single-family attached dwellings. There will be two (2) unit types; Type 1 and Type 2. Type 1 units will be 3,149 square feet with 3-4 bedrooms, 3 ½ bathrooms, and a 2 car garage. Type 2 units will be 2,583 square feet with 3 bedrooms, 2 ½ baths, and a 2 car garage. All units will be built with one common party side wall and attached outdoor patio space adjacent. This configuration provides for functional outdoor space and provides for visual sight lines through the project similar to the single family residences to the east and the Marmalade library plaza to the west. **The Type 1 townhomes will front on a “plaza” designed to create open space and pedestrian interaction in the overall project area.** The Type 2 units will front Arctic Court, a private street. Garage access will be internal to the development and access will be via a private drive. Air conditioning units will be located internally as well to minimize visual impact. The applicants narrative (Attachment D), site plan and elevation drawings (Attachment C) are included for reference.

As part of the proposal, the applicant is requesting that the Planning Commission modify the required landscape buffer of 10 feet along Arctic Court. **Section 21A.48.80(C) – Landscape Buffers** requires that a 10 foot landscape buffer be provided when a property in the RMU (Residential Mixed-Use) Zone abuts a single or two-family residential district. The subject property is zoned RMU and abuts property that is zoned SR-1A (Special Development Pattern Residential District). **The applicant is proposing a landscape buffer of 5’3”;** a reduction in **the landscape buffer of 4’9”**. Please refer to the site plan for details (Attachment C).

The applicant is also requesting relief from **Section 20.12.010(E)(1) – Access to Public Streets** which states that all lots or parcels created by the subdivision of land shall have access to a public street improved to standards required by code, unless modified standards are approved by the Planning Commission as part of a Planned Development, and Section 21A.36.010(C) – Use of Land and Buildings which states that all lots shall front on a public street unless specifically exempted from this requirement by other provisions in the code. The Type 1 units of the proposed development do not have street frontage, rather they front the adjacent Marmalade Library plaza.

Finally, the applicant is requesting subdivision approval to create the proposed townhome lots.

The rationale behind the subject design is to provide the best and most creative use of the site and to orient the structures to, and hide the garages from, both the library plaza and Arctic Court, as outlined in the Marmalade Block Design Guidelines. The townhome buildings will be built essentially out to the property lines so that garage access will be through a private drive on the interior of the development.

**PHOTOS OF SUBJECT SITE:**



View of Arctic Court from 500 North looking north.



View of project site between Arctic Court and the proposed park plaza and the Marmalade Library from 500 North looking north. The project site is located between Arctic Court and the chain link fence shown in the photo



View from 500 North of the new Marmalade Library and the proposed Marmalade Townhomes project.

#### **KEY ISSUES:**

The key issues listed below have been identified through the analysis of the project, neighbor input and department review comments.

**Issue 1:** The applicant is seeking a modification to the required landscape buffer in order to render the project more compatible with adjacent development and to complete the vision established for the overall project area by the RDA. Again, a 10 foot landscape buffer is required in the RMU zone when the property abuts a single of two-family zone.

**Discussion:** The project as proposed is built essentially to the street just as other developments have been built in the immediate vicinity in recent history. The Marmalade Library, various condominium and townhome developments in the area, as well as commercial development particularly along the 300 West corridor have all been built to the street in order to create a more urban, pedestrian friendly, and walkable environment. The proposed Marmalade Townhome project is no exception to this development pattern and is therefore appropriate in terms of setbacks for the subject site. The site plan has already been approved by the Historic Landmark Commission who reviews the design, materials, and compatibility with the development on the surrounding streetscape. The proposed townhomes provide a logical transition from the Marmalade Library to the single-family neighborhoods to the east.

The required landscape buffer **of 10’ is particularly relevant and important when two parcels actually abut one another. In this case, the applicant’s parcel does not actually abut adjacent single family zoned property as it is separated by Arctic Court.** Planning Staff asserts that the **proposed 5’3” landscape buffer proposed, along with the width of Arctic Court provides an ample buffer (in excess of 25”)** for the single family zoned parcels to the east.

**Issue 2:** The applicant is requesting that the Planning Commission modify the street frontage requirement for the proposed lots where the Type 1 units will be located.

**Discussion:** The proposed Type 1 units have been designed to face the Marmalade Library plaza located **adjacent and to the west of the proposed townhome development. This design feature will help to “activate” the plaza by creating a pedestrian friendly and walkable area.** The plaza area also acts as fire access in case of emergency, so the Type 1 units can be serviced in case of emergency. Planning Staff asserts that the proposed townhome configuration is warranted given the location next to the library plaza and street frontage is not an essential element in the proposed design. The Historic Landmark Commission approved of the proposed design, however they do not have the ability to modify the street front requirement which falls under the purview of the Planning Commission.

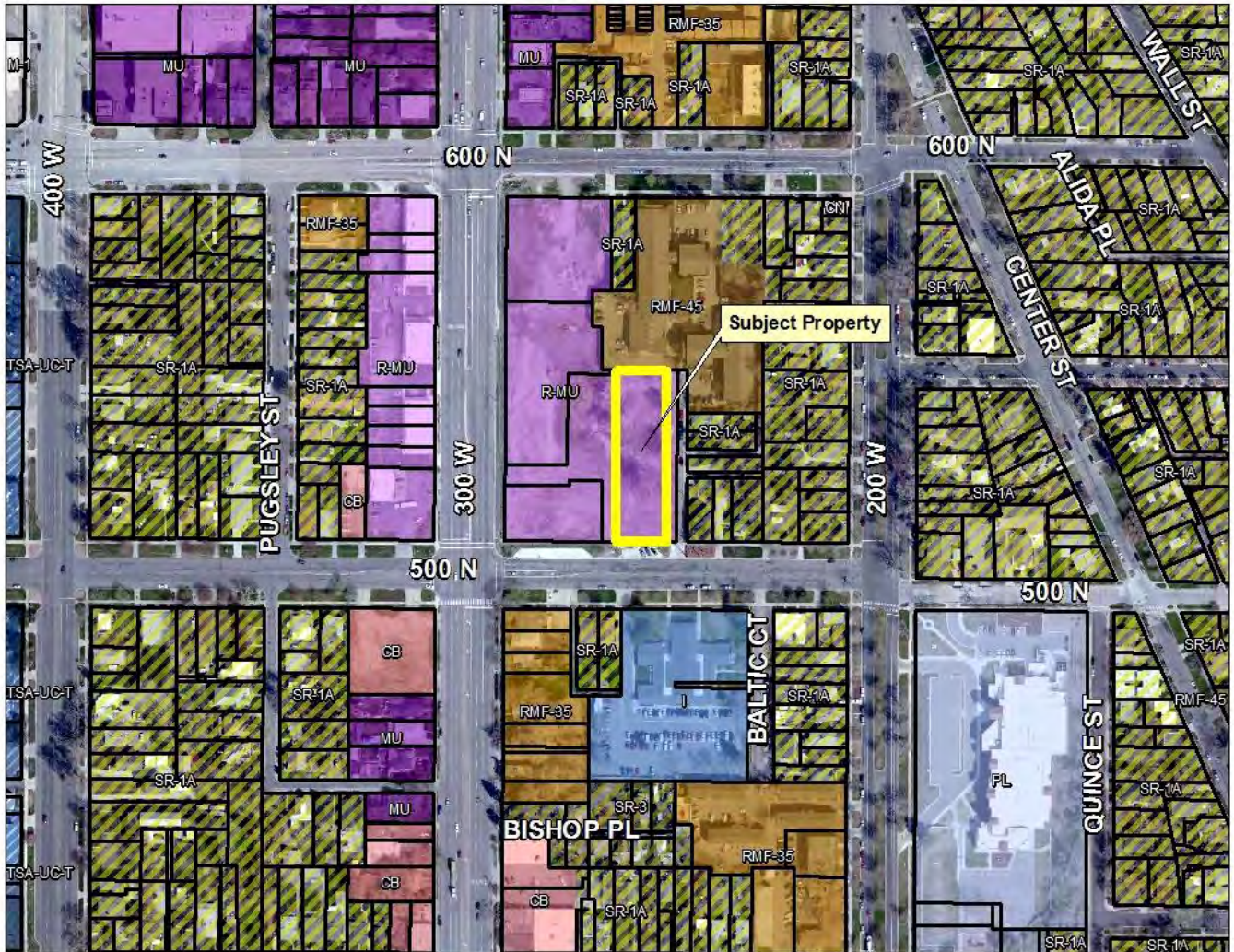
**NEXT STEPS:**

Having Historic Landmark Commission approval for the townhome design and site plan, any action taken by the Planning Commission regarding the Planned Development and Subdivision requests would complete City approval processes and the applicant would move forward to the building permit stage.

**ATTACHMENTS:**

- A.** Vicinity Map
- B.** Historic District Map
- C.** Development Plan Set
- D.** Applicant Information
- E.** Existing Conditions
- F.** Analysis of Planned Development Standards
- G.** Analysis of Subdivision Standards
- H.** Public Process and Comments
- I.** Alternate Motion

# ATTACHMENT A: VICINITY MAP



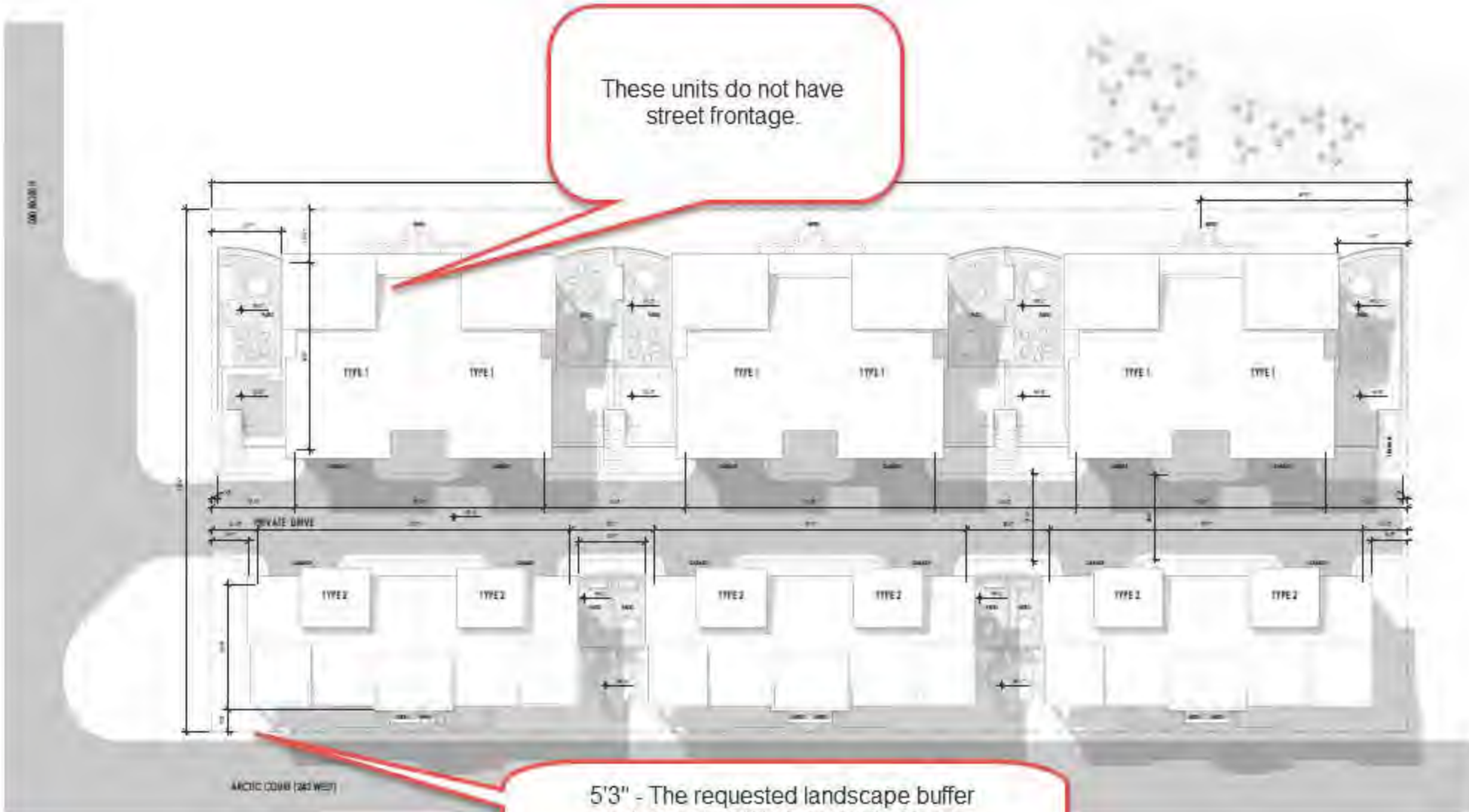
# ATTACHMENT B: HISTORIC DISTRICT MAP



★ *Approximate Project Location*

# **ATTACHMENT C: DEVELOPMENT PLAN SET**

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These units do not have street frontage.

5'3" - The requested landscape buffer reduction is 4'9" along Arctic Court.

Site Plan  
 1/10/17



# MARMALADE TOWNHOMES

JALIL LAKE CITY, UT



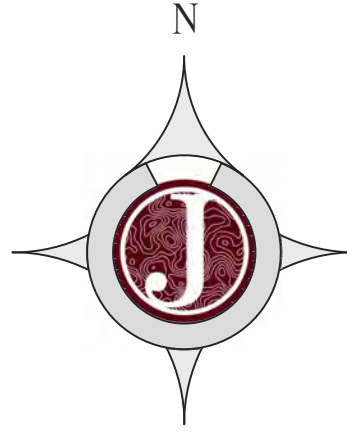
**The Grove**  
**500 NORTH 240 WEST**  
 Salt Lake City, Utah

Found Street Monument  
 Standard 3" Brass Cap  
 Set In Concrete with  
 Ring and Lid  
 Record Elevation=4244.82  
 500 North & 300 West



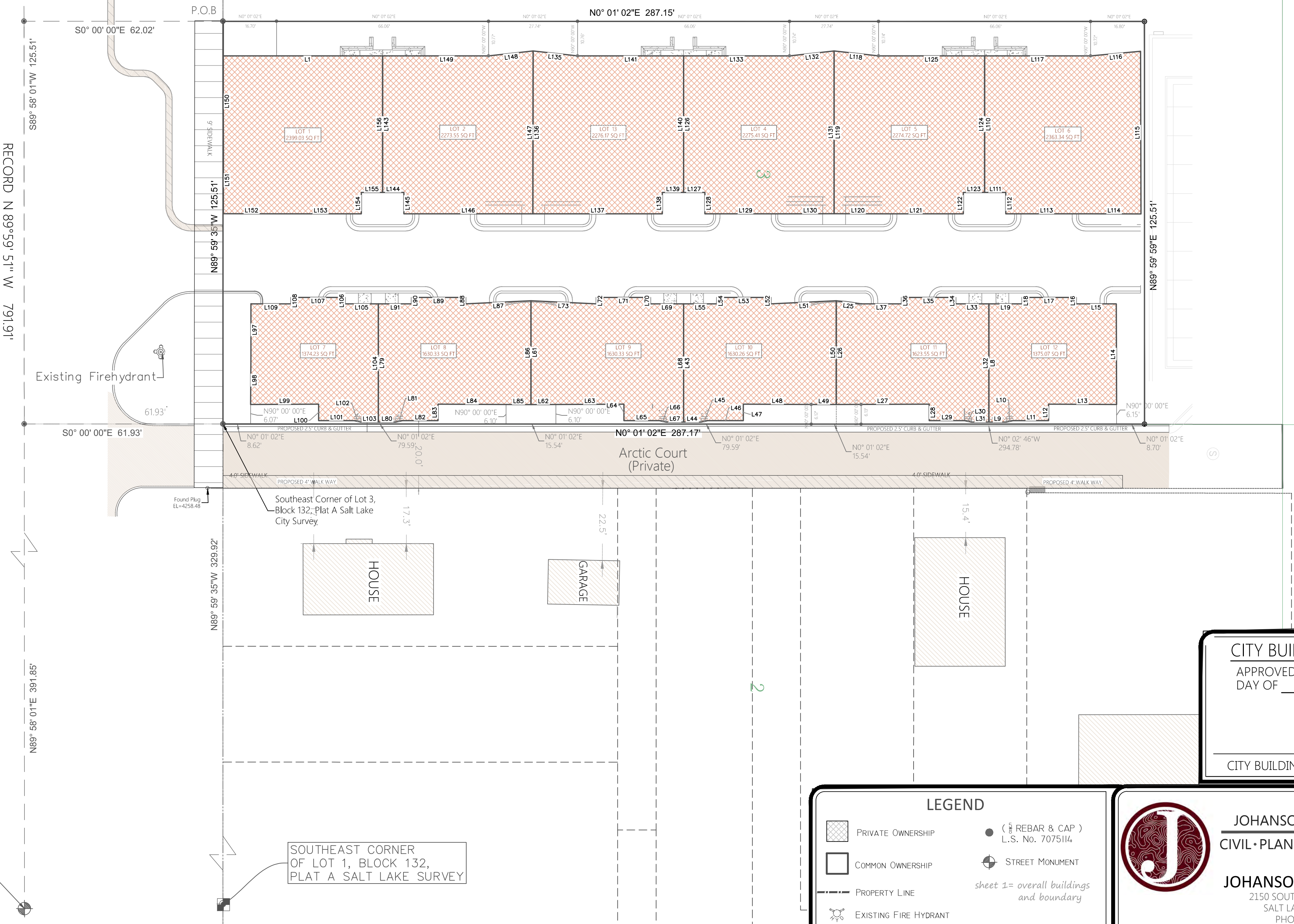
• VICINITY MAP

Parcel Line Table			Parcel Line Table			Parcel Line Table			Parcel Line Table			Parcel Line Table			Parcel Line Table			Parcel Line Table																	
Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction												
L1	49.73	N00°00'06"W	L32	36.86	N90°00'00"E	L62	7.77	S00°16'54"E	L87	20.39	N02°46'02"W	L112	8.66	N90°00'00"W	L132	13.96	N06°19'13"W	L154	6.66	N90°00'00"E	L154	6.66	N90°00'00"E	L155	6.62	S00°00'00"E	L155	6.62	S00°00'00"E	L156	42.57	N90°00'00"E	L156	42.57	N90°00'00"E



**500 NORTH STREET**  
RECORD N 89°59' 51" W 791.91'  
 PER SALT LAKE CITY ATLAS PLAT A

Existing Firehydrant



This survey was performed within the accordance of the minimum accuracy of an urban survey, Class "A", or a linear closure of 1:15,000'.

Vertical Datum: NAVD 1988

RTK Elevation: 4244.82

Benchmark located in the intersection of  
 300 West South and 500 North Street.  
 Existing street monument being a  
 3" brass cap.

Found Street Monument  
 Standard 2" Brass Cap  
 Set In Concrete with  
 Ring and Lid  
 500 North & 200 West

SOUTHEAST CORNER  
 OF LOT 1, BLOCK 132,  
 PLAT A SALT LAKE SURVEY

**SURVEYOR'S CERTIFICATE**

I, Shane Johanson, certify that I am a Licensed a Professional Land Surveyor holding license no. 7075114 in accordance with Utah Code Annotated Title 58, Chapter 22, described tract of land has been completed by me in accordance with Utah Code Annotated 17-23-17, and that I have verified all measurements as shown hereon further certify that this Condominium Plat complies with the provision of section 57-8-13(1) of the Utah Condominium Ownership Act, Utah Code Annotated.

DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

**PROJECT PROPERTY DESCRIPTION**

Beginning at the Southwest Corner of Lock 4 Block 132 Plat A Salt Lake City Survey;  
 Thence with a bearing of S 89°59'35" E a distance of 125.51 feet to the point of beginning;  
 Thence with a bearing of N 00°01'02" E a distance of 287.17 feet;  
 Thence with a bearing of S 89°59'59" W a distance of 125.51 feet;  
 Thence with a bearing of S 00°01'02" W a distance of 287.15 feet to the point of beginning.  
 containing 36041.19 square feet or 0.827 acres.

**OWNER'S DEDICATION**

Know all men by these presents that I, Eric Saxey of Everest Builders L.L.C., the undersigned owner of the above described tract of land, having caused same to be subdivided into Lots and Common area do hereby consent to the recordation of this plat.

In witness whereof, I, Eric Saxey of Everest Builders, L.L.C., hereunto set my hand this \_\_\_ day of \_\_\_, 20\_\_.

Eric Saxey (Everest Builders, L.L.C.)

**ACKNOWLEDGEMENT**

STATE OF UTAH )  
 ) SS.  
 County of Salt Lake )  
 On the \_\_\_ day of \_\_\_, 20\_\_ Everest Builders, LLC personally appeared before me, who being by me duly sworn, did acknowledge that he executed the foregoing Owner's Dedication.  
 Commission Number \_\_\_\_\_  
 My Commission Expires: \_\_\_\_\_  
 \_\_\_\_\_  
 (printed name)  
 A Notary Public Commissioned in Utah

**NOTES**

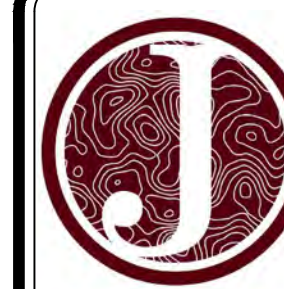
Utilities shall include the right to install, maintain and operate their equipment above and below ground and all other related facilities within the public utility easements identified on this plat map as may be necessary or desirable in providing utility services within and without the lots identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures, trees and vegetation that may be placed within the pue. The utility may require the lot owner to remove all structures within the pue at the lot owners expense, or the utility may remove such structures at the owners expense. At no time may any permanent structures be placed within the pue or any other obstruction which interferes with the use of the pue without the prior written approval of the utilities with facilities in the pue.

**CITY BUILDING OFFICIAL**  
 APPROVED AS TO FORM THIS  
 DAY OF \_\_\_\_\_, 20\_\_

CITY BUILDING OFFICIAL

**LEGEND**

- PRIVATE OWNERSHIP
  - COMMON OWNERSHIP
  - PROPERTY LINE
  - EXISTING FIRE HYDRANT
  - REBAR & CAP L.S. No. 7075114
  - STREET MONUMENT
- sheet 1= overall buildings and boundary



**JOHANSON ENGINEERING**  
 CIVIL • PLANNING • SURVEYING

**JOHANSON ENGINEERING**  
 2150 SOUTH 1300 EAST SUITE "500"  
 SALT LAKE CITY, UTAH 84106  
 PHONE (801) 859-1862

**The Grove**

LOCATED IN SECTION 07 TOWNSHIP  
 1 SOUTH, RANGE 1 EAST, S.L.B.&M  
 LOT 11 BLOCK 14 FIVE ACRE PLAT "A" BIG FIELD  
 SURVEY LOCATED IN SALT LAKE CITY, UTAH



1 in. = 20 FT.

NUMBER \_\_\_\_\_  
 ACCOUNT \_\_\_\_\_

**SALT LAKE VALLEY HEALTH**

SALT LAKE VALLEY HEALTH DEPT.  
 APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
 VALLEY HEALTH DEPARTMENT

SHEET 1  
 OF 3 SHEETS

**CITY PLANNING DIRECTOR**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ BY THE SALT LAKE CITY PLANNING COMMISSION.  
 PLANNING DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

**CITY ENGINEERING DIVISION**

I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE.  
 CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

**CITY PUBLIC UTILITIES DEPT.**

APPROVED AS TO SANITARY SEWER AND WATER DETAILS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
 SALT LAKE CITY PUBLIC UTILITIES DIRECTOR \_\_\_\_\_

**CITY ATTORNEY**

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
 SALT LAKE CITY ATTORNEY \_\_\_\_\_

**CITY APPROVAL**

PRESENTED TO SALT LAKE CITY THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ AND IT IS HEREBY APPROVED.  
 SALT LAKE CITY MAYOR \_\_\_\_\_  
 SALT LAKE CITY RECORDER \_\_\_\_\_

**Recorded # \_\_\_\_\_**

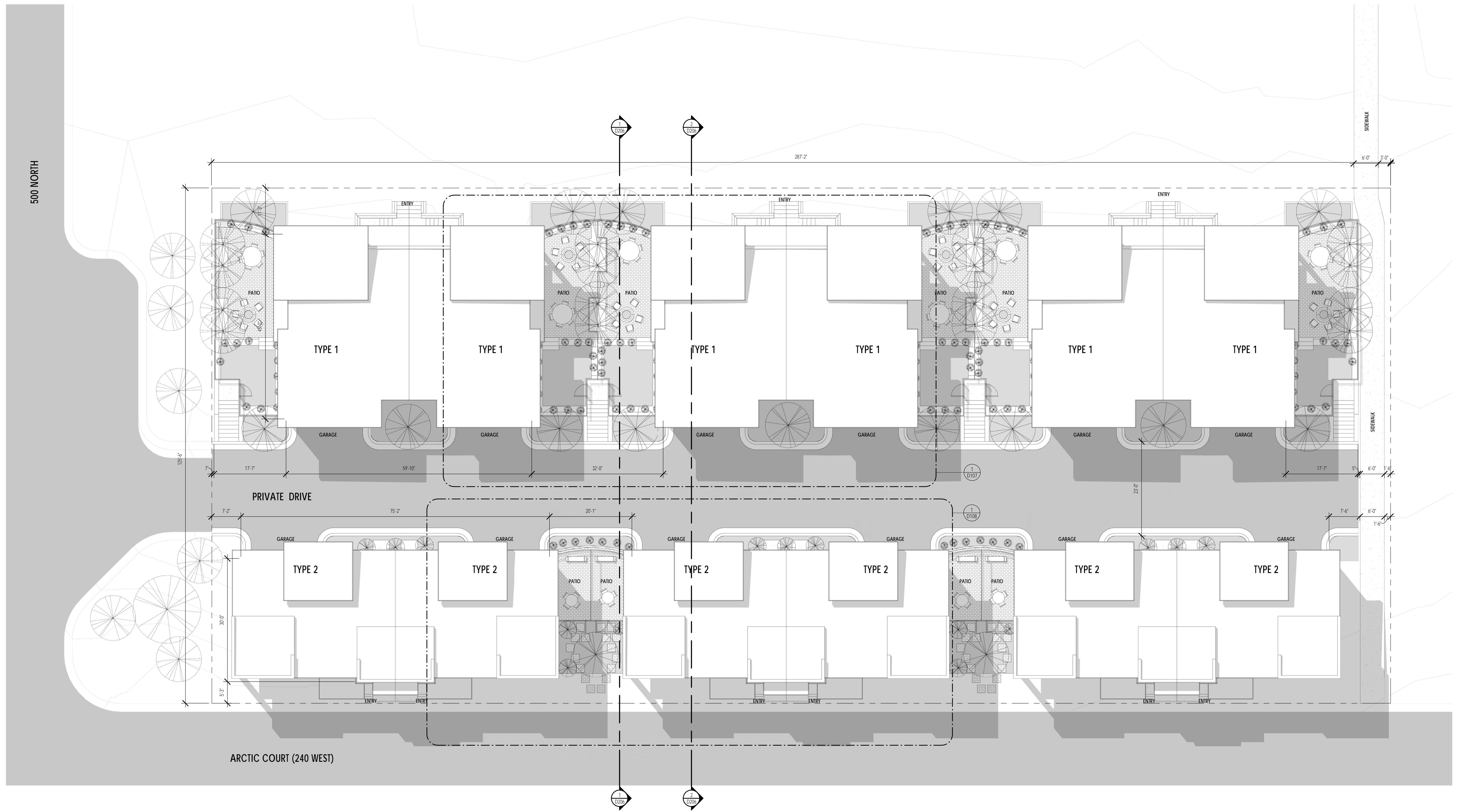
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 Date \_\_\_\_\_ Time \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_  
 Fee \$ \_\_\_\_\_ Salt Lake County Recorder

NUMBER \_\_\_\_\_  
 ACCOUNT \_\_\_\_\_

SHEET 1  
 OF 1 SHEETS

# MARMALADE TOWNHOMES





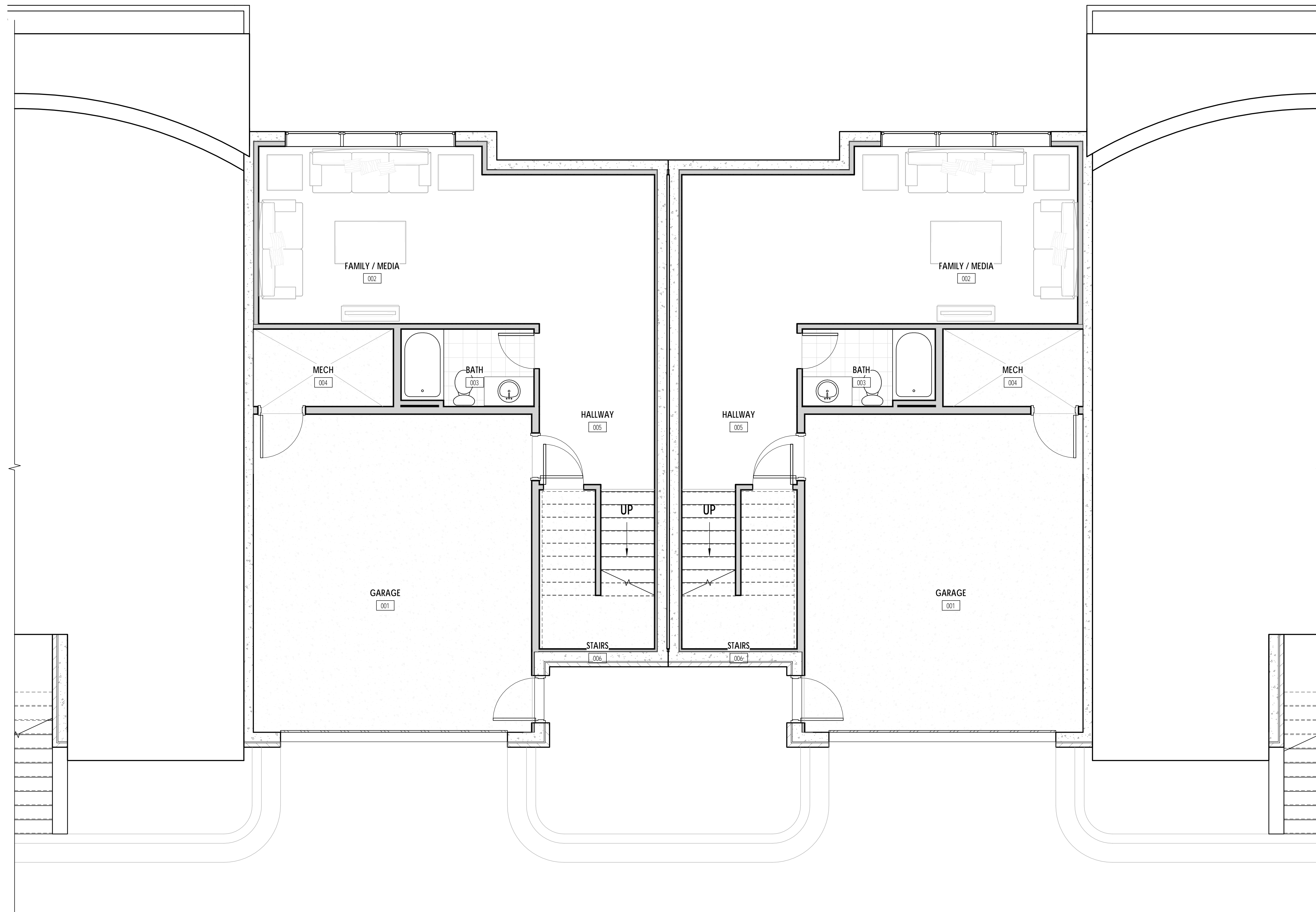
SITE PLAN  
3/32" = 1'-0"

1  
D100



# MARMALADE TOWNHOMES

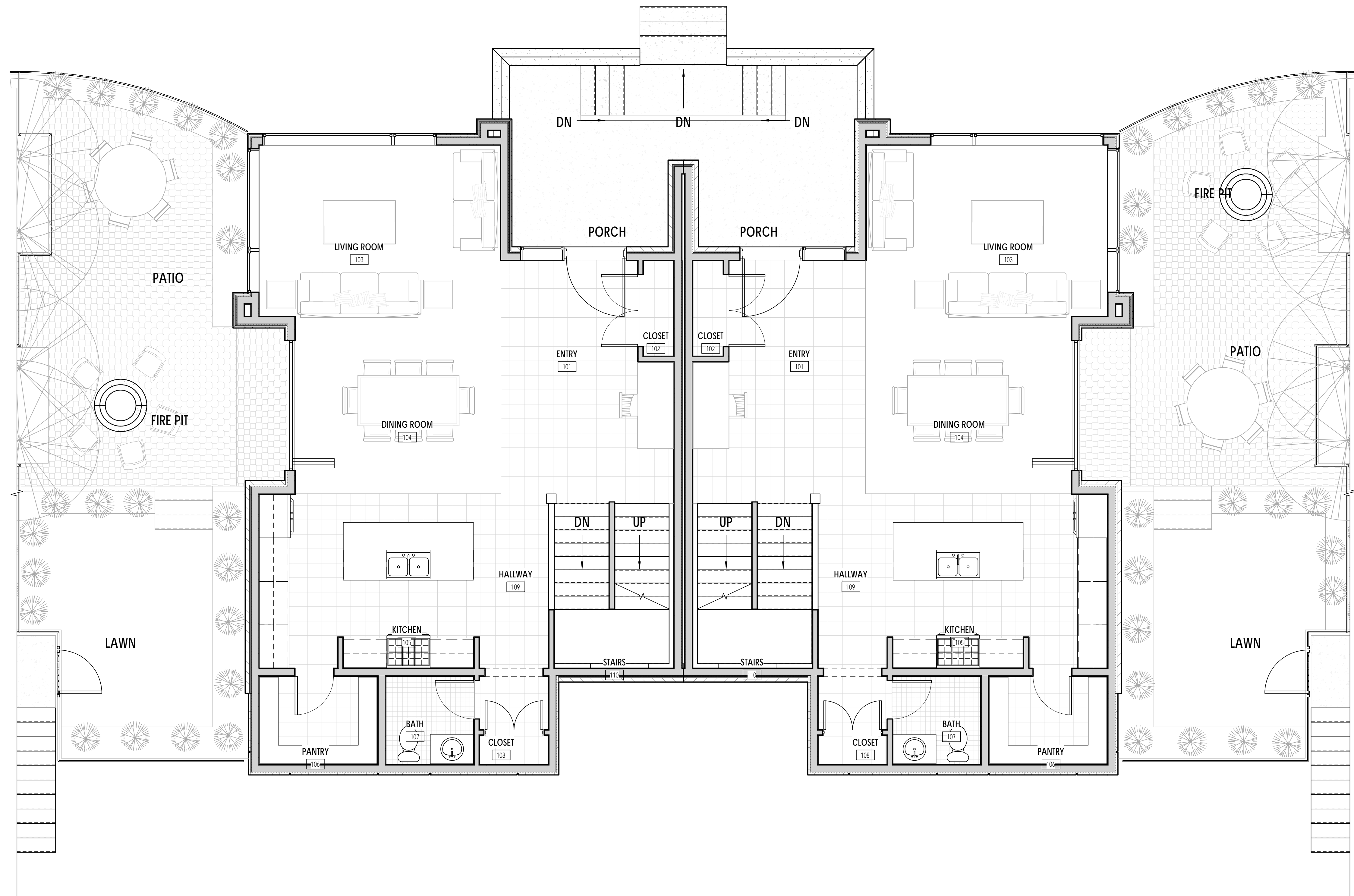
SALT LAKE CITY, UT



LEVEL 0 DUPLEX PLAN - TYPE 1  
1/4" = 1'-0"

1  
0101

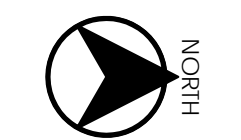




LEVEL 1 DUPLEX PLAN - TYPE 1

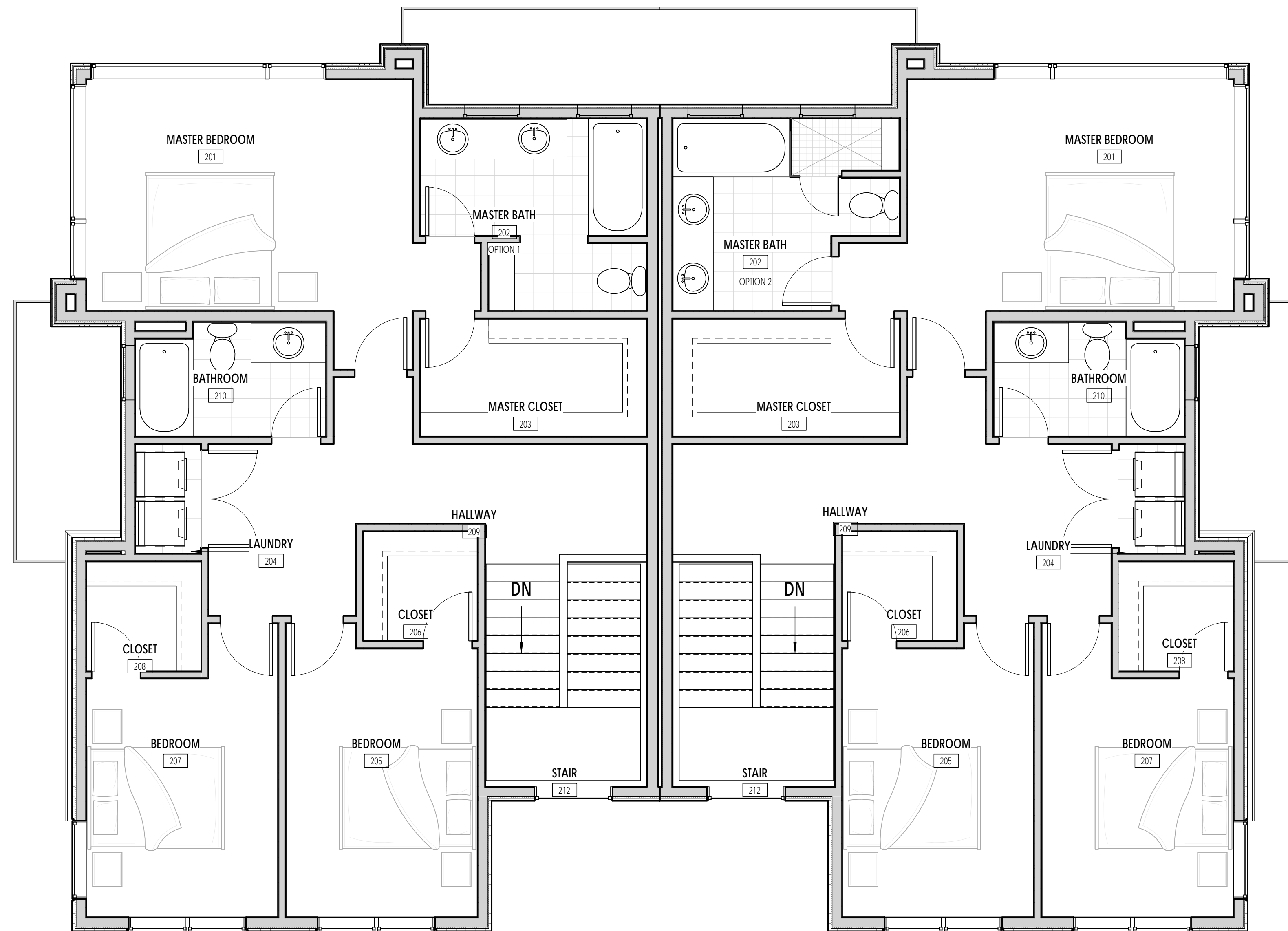
1/4" = 1'-0"

1  
D102



# MARMALADE TOWNHOMES

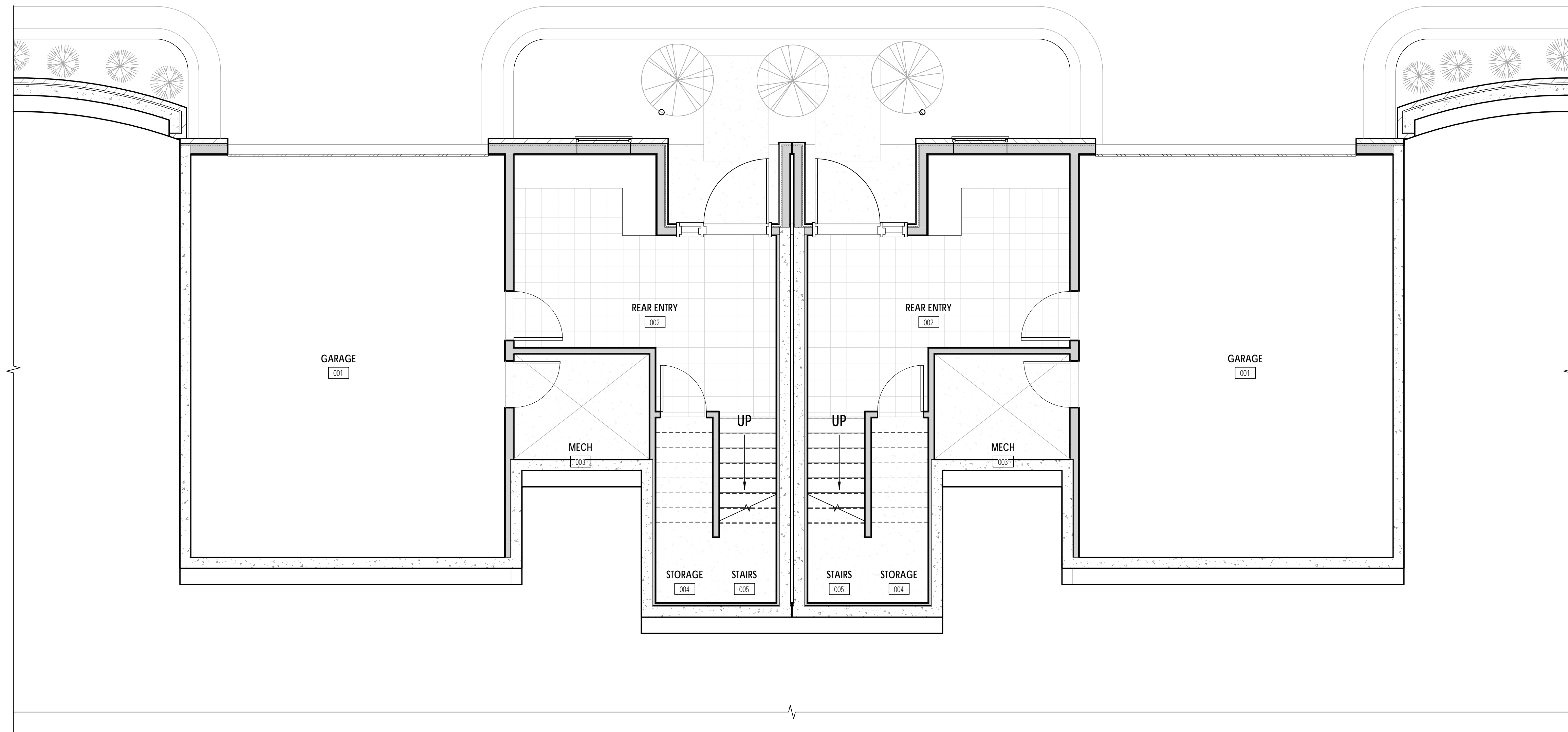
SALT LAKE CITY, UT



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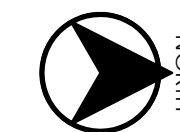
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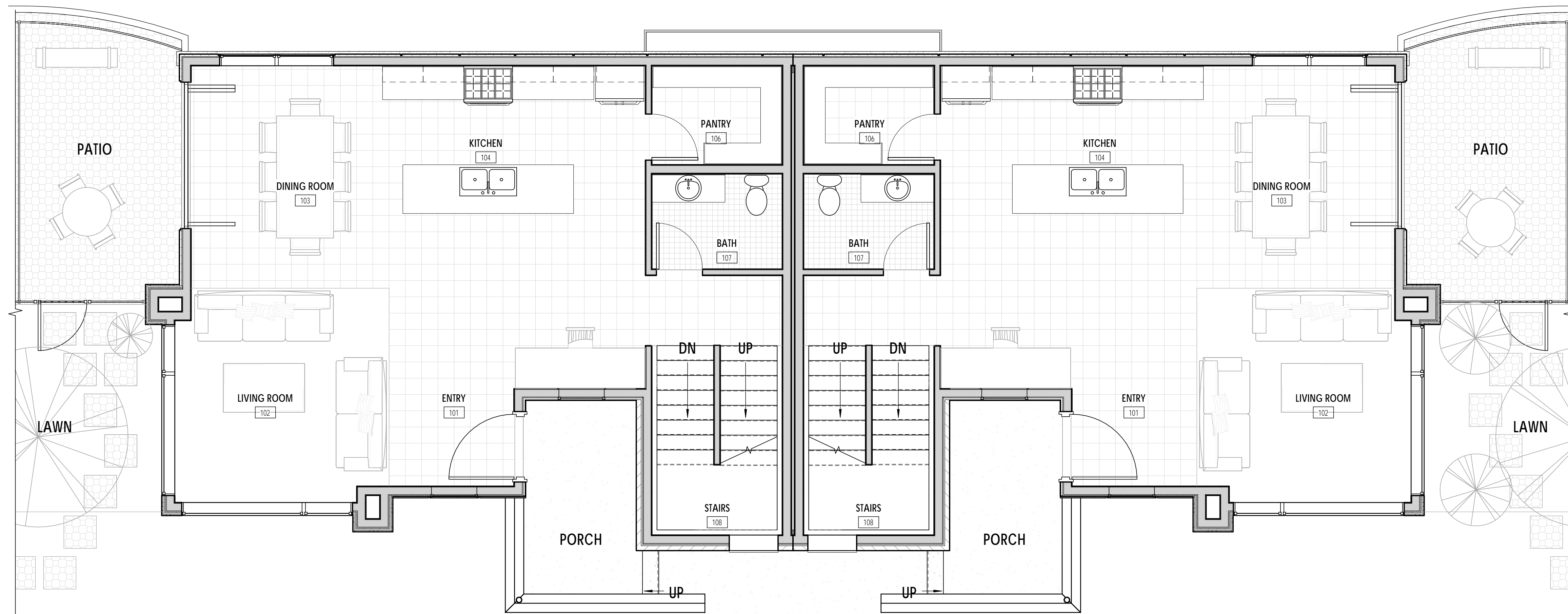




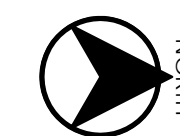
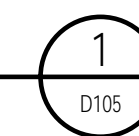
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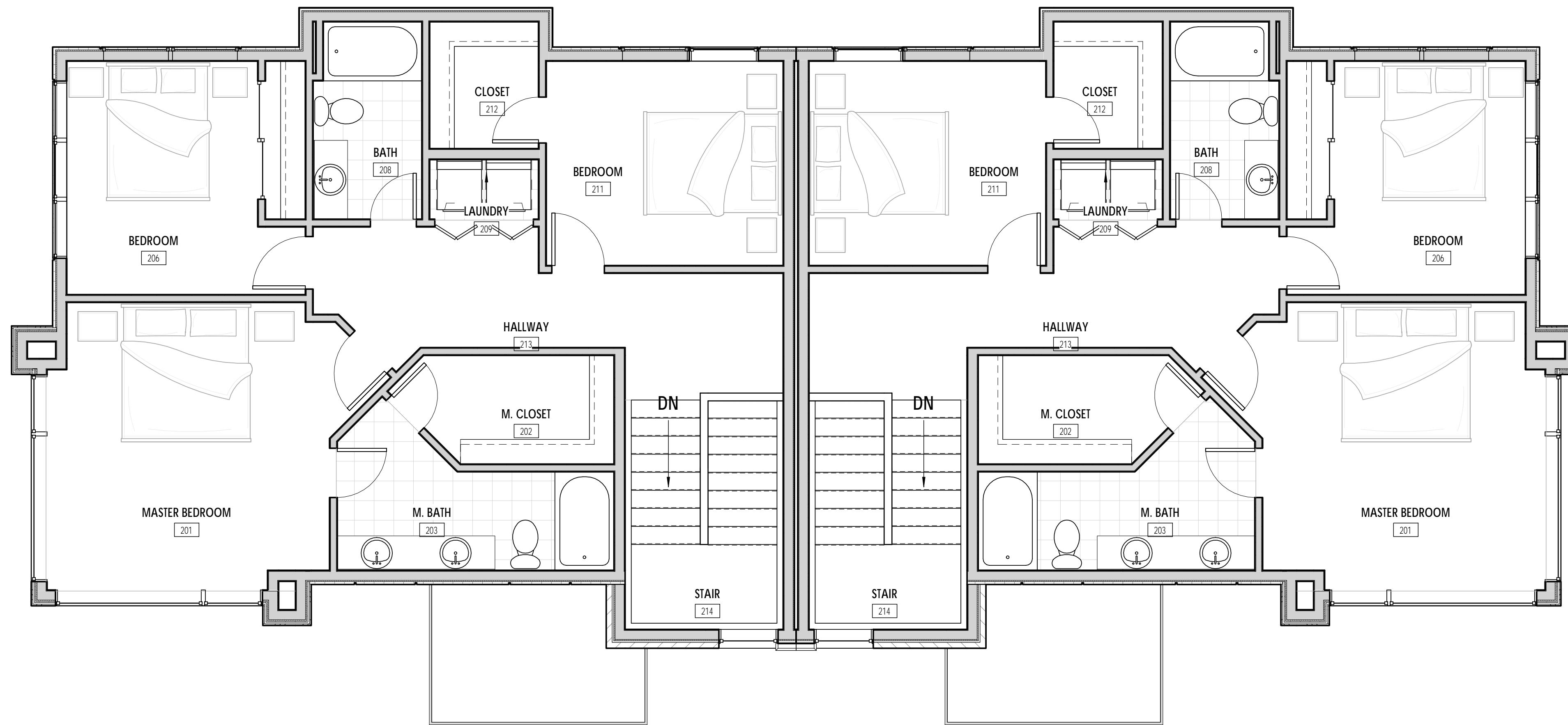




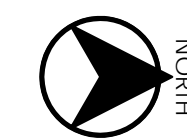
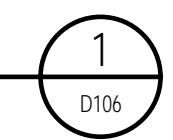
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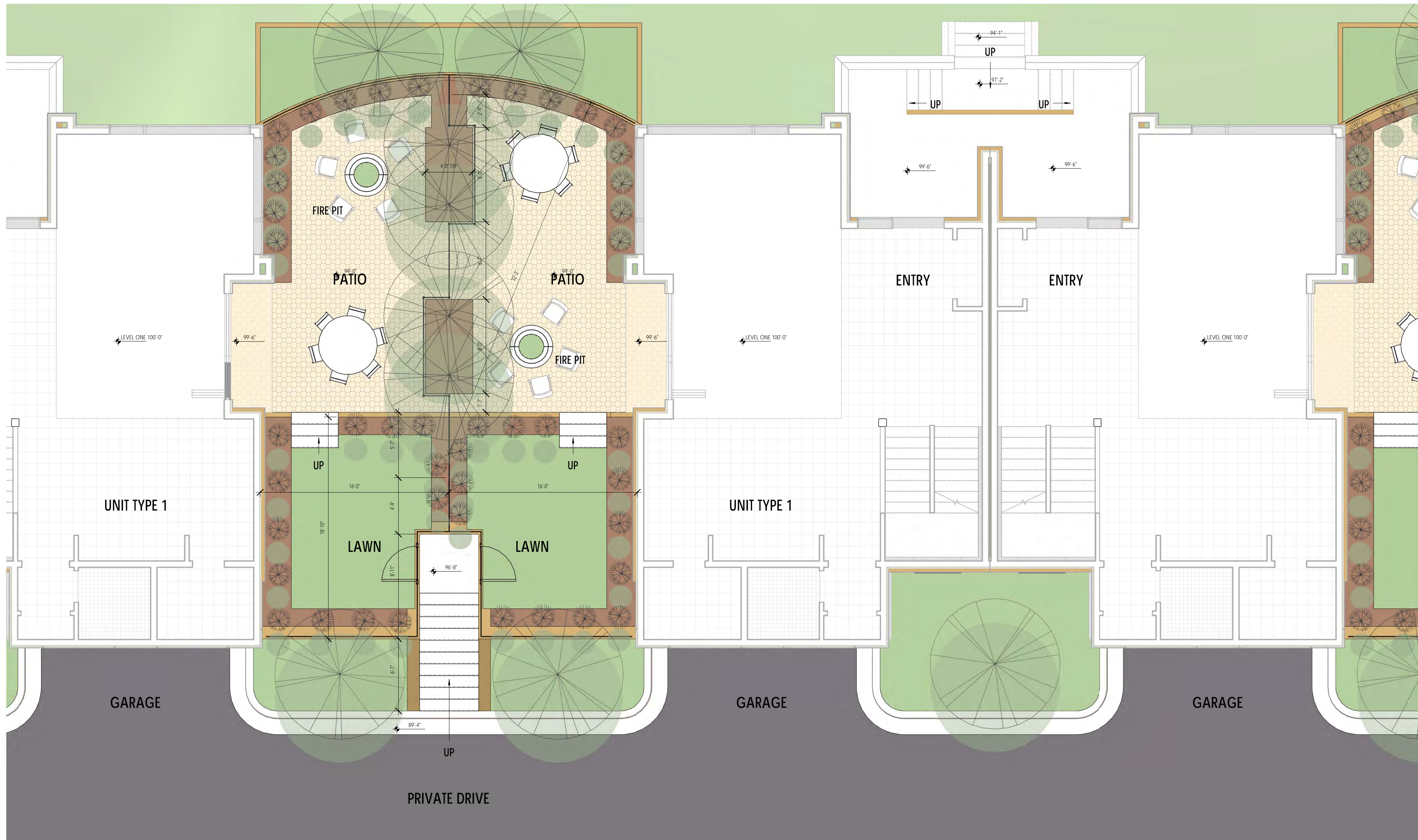






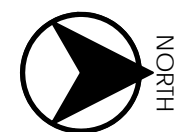
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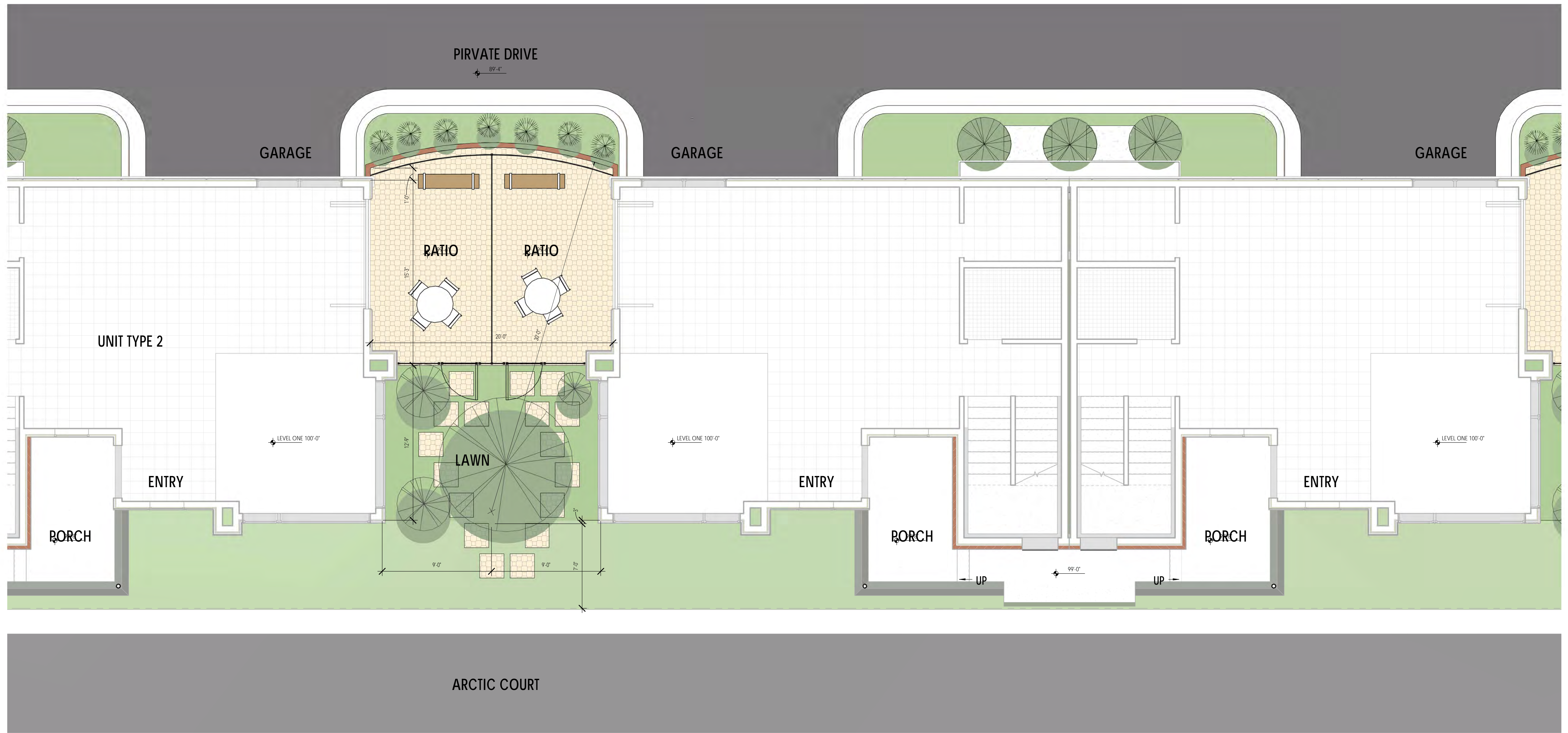




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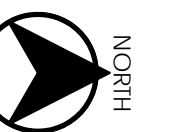
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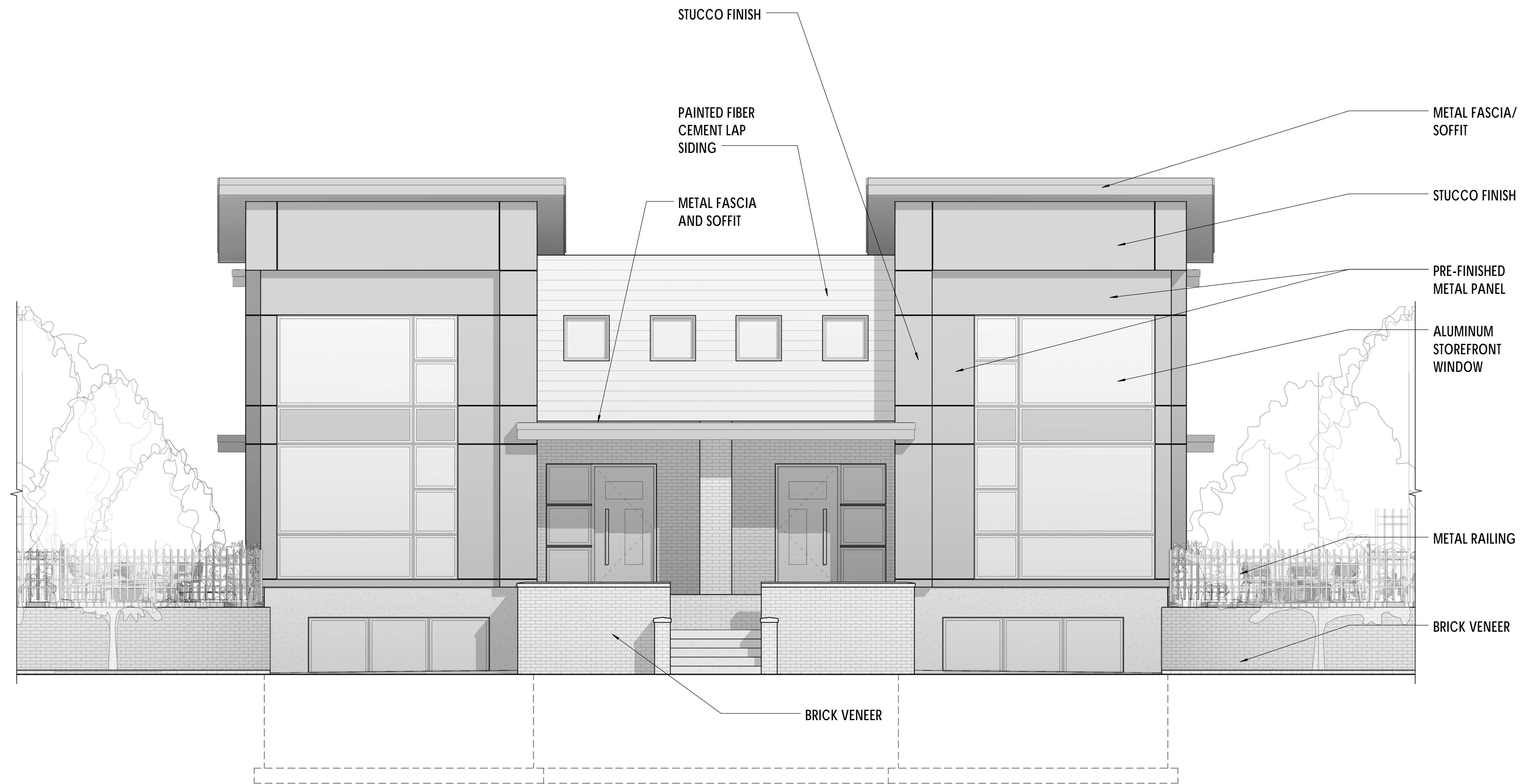




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D108



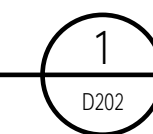


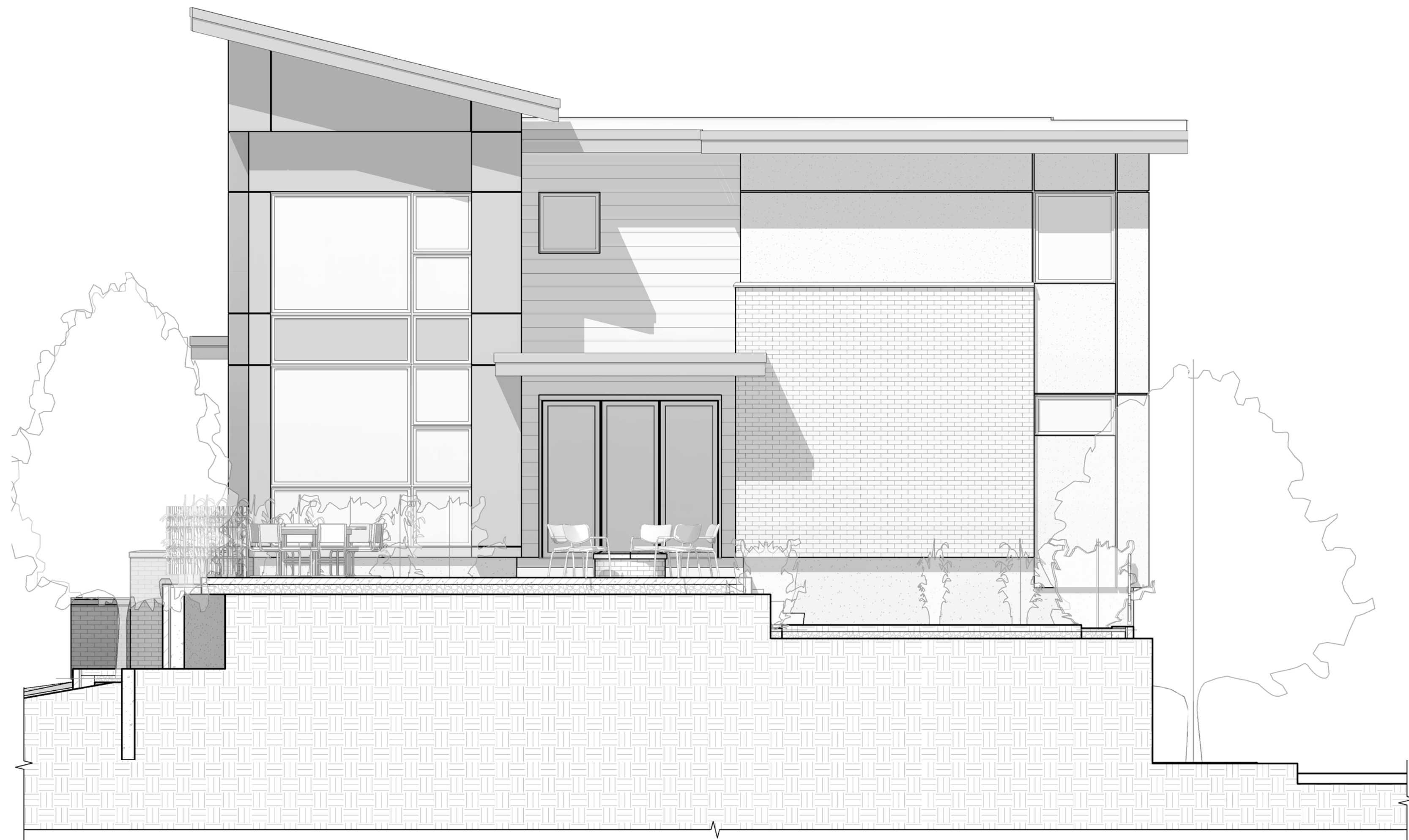
TYPE 1 - WEST ELEVATION  
1/4" = 1'-0"

1  
0201



TYPE 1 - EAST ELEVATION  
1/4" = 1'-0"





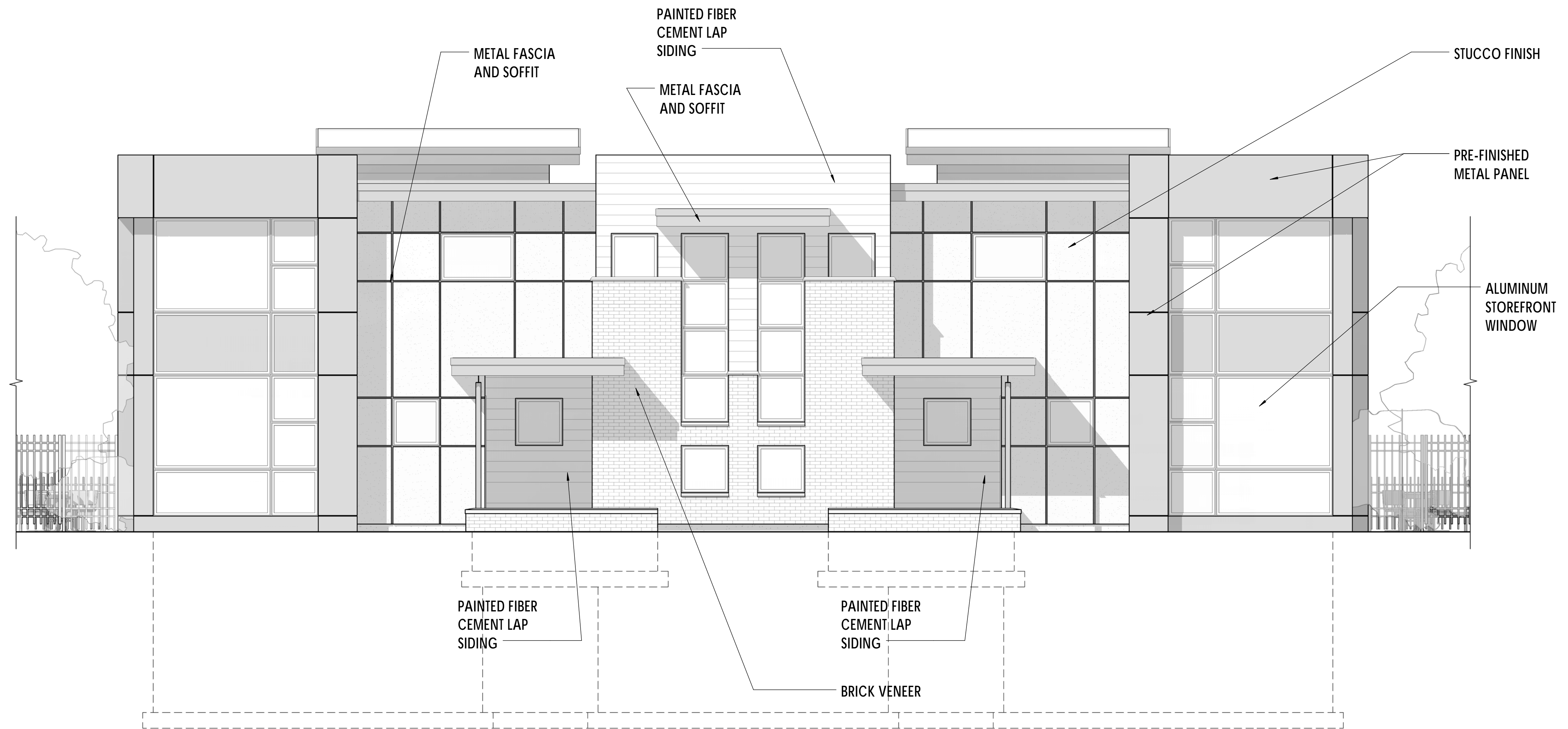
TYPE 1 - COURTYARD ELEVATION  
1/4" = 1'-0"

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D203

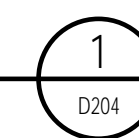


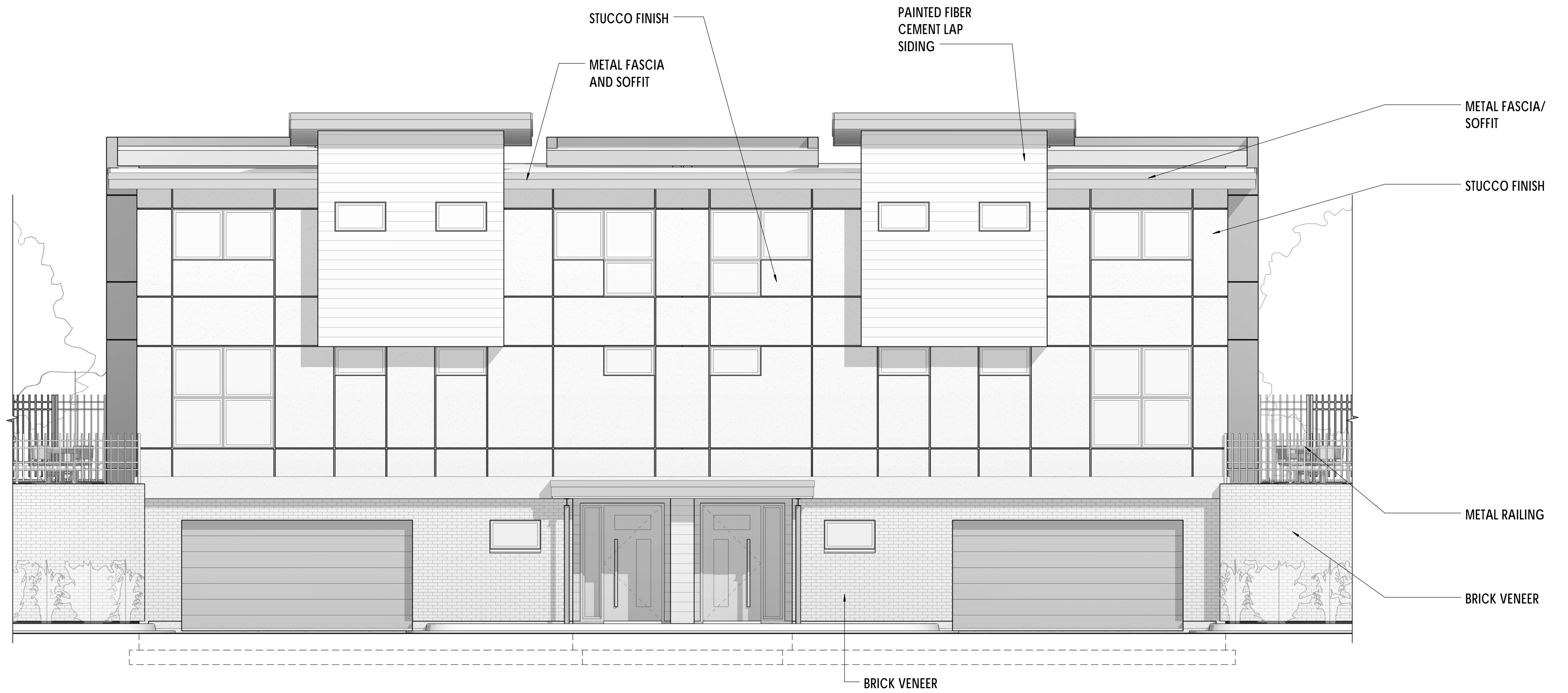
TYPE 2 - COURTYARD ELEVATION  
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2  
D203



TYPE 2 - EAST ELEVATION  
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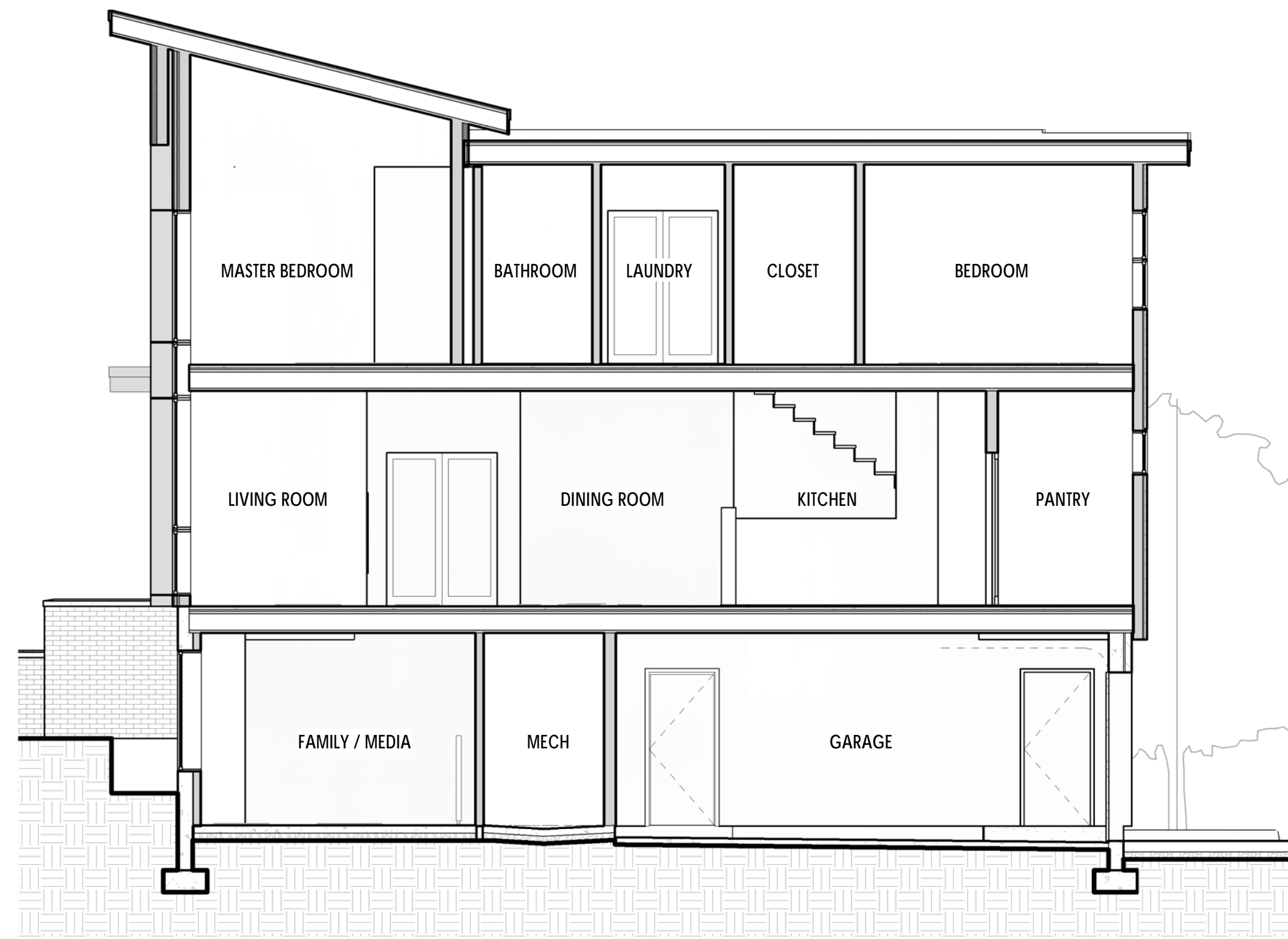




TYPE 2 - WEST ELEVATION  
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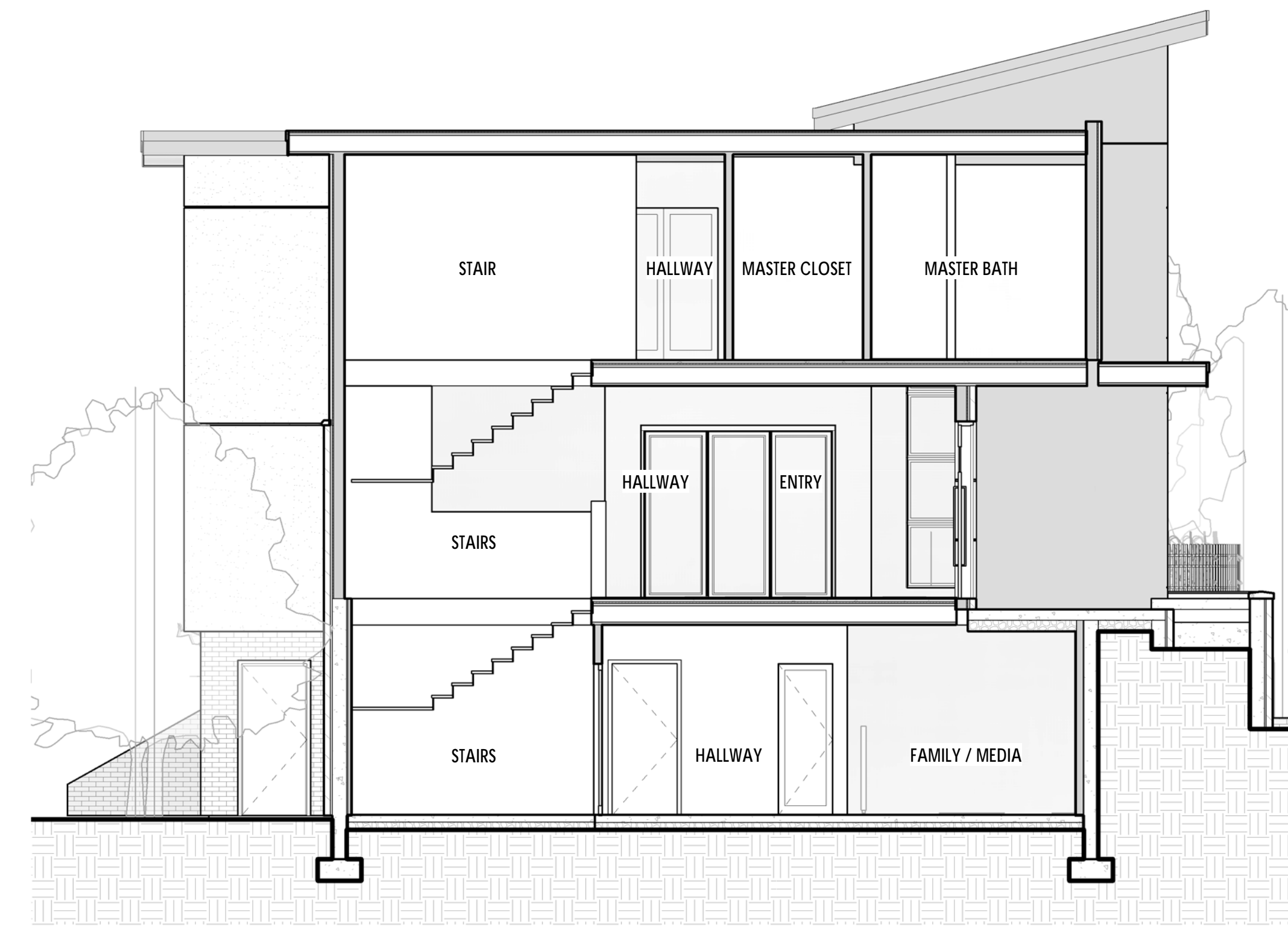
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D205





BUILDING SECTION 1A  
3/16" = 1'-0"

1  
D206



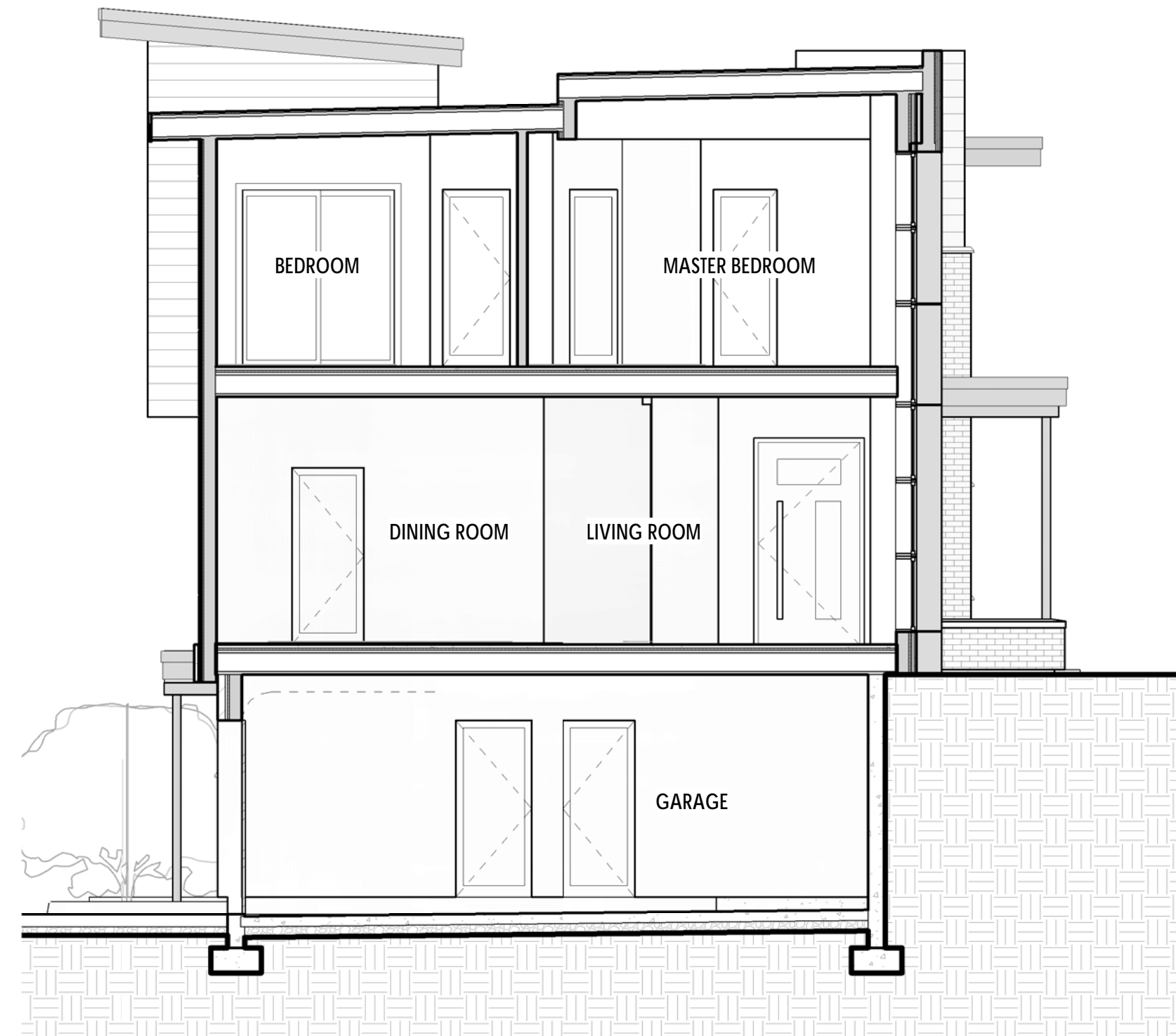
BUILDING SECTION 1B  
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2  
D206

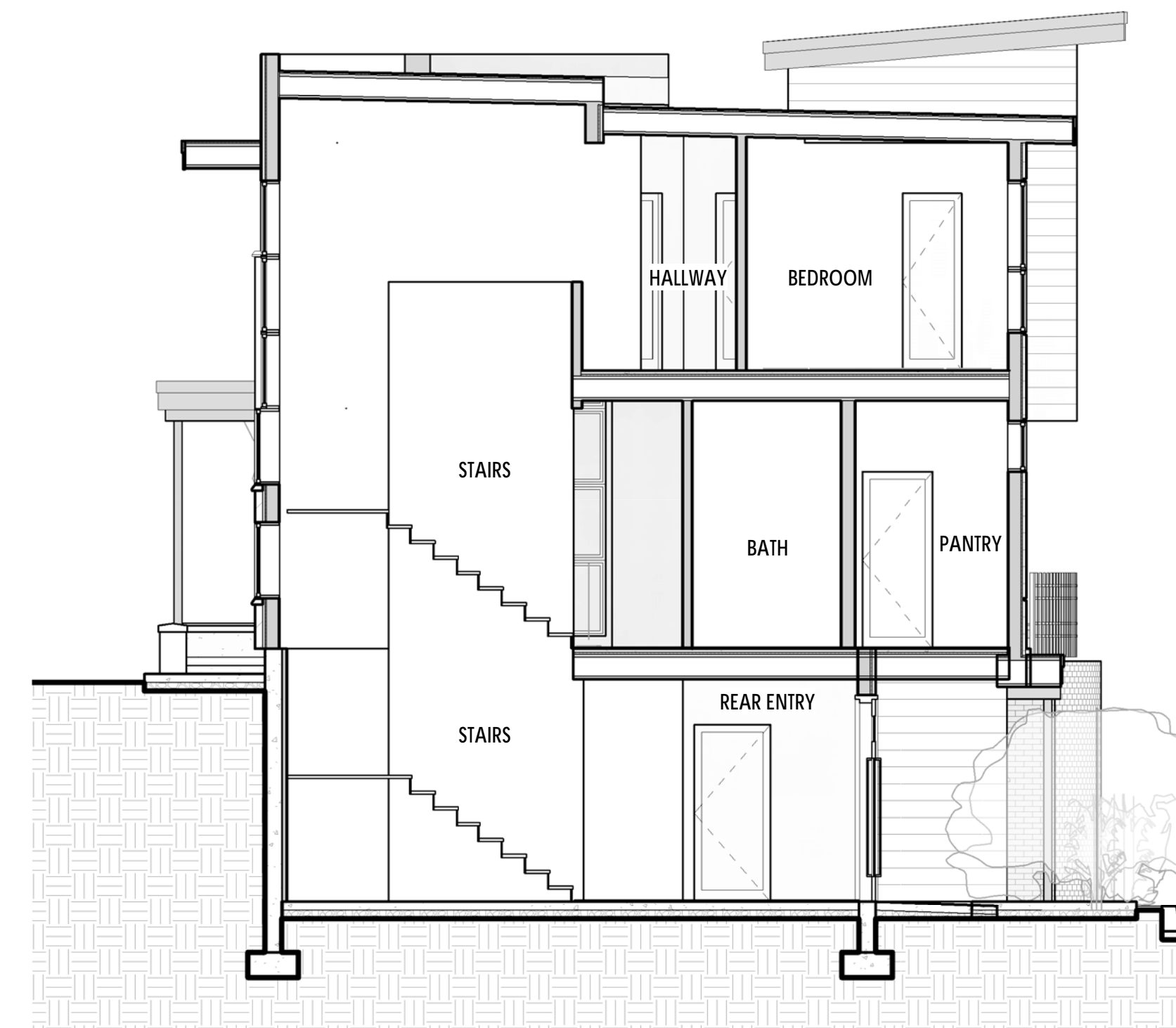


BUILDING SECTION 1C  
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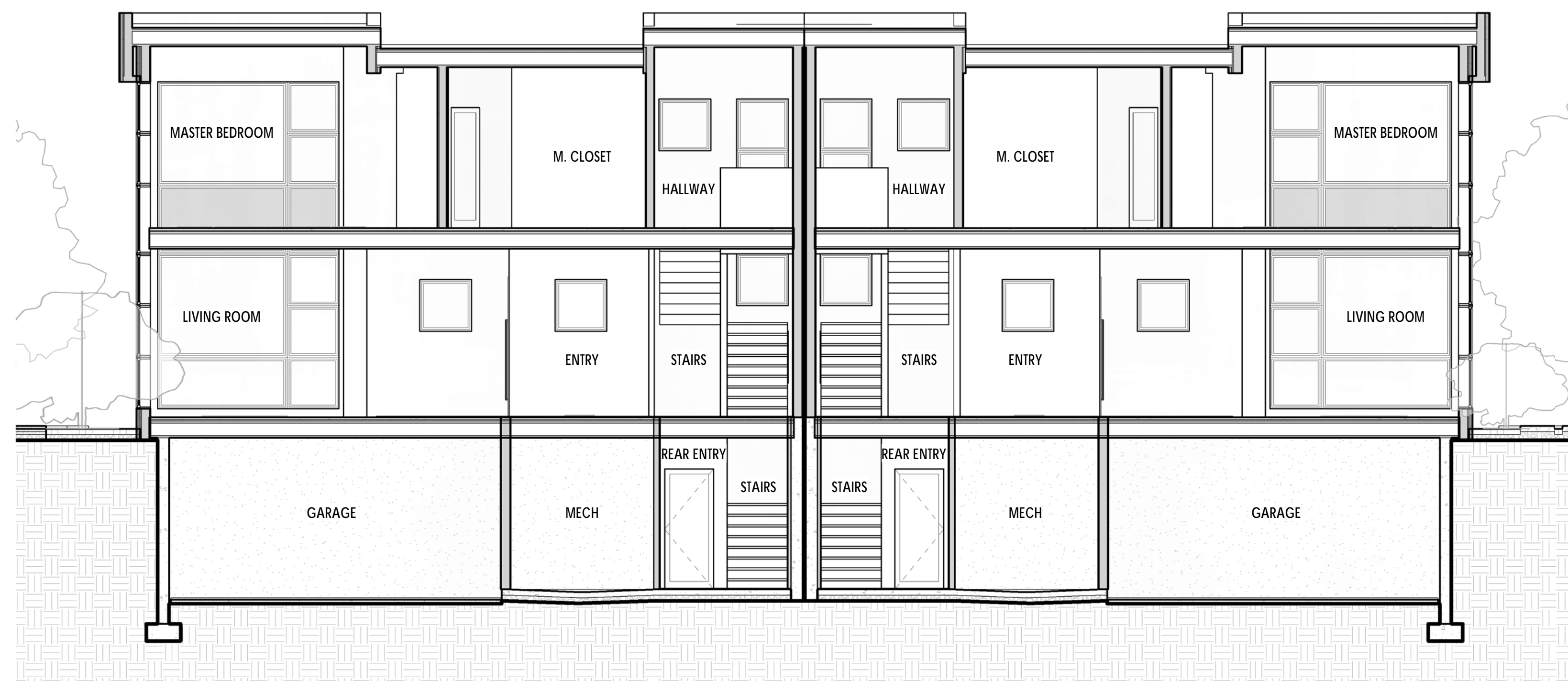
3  
D206



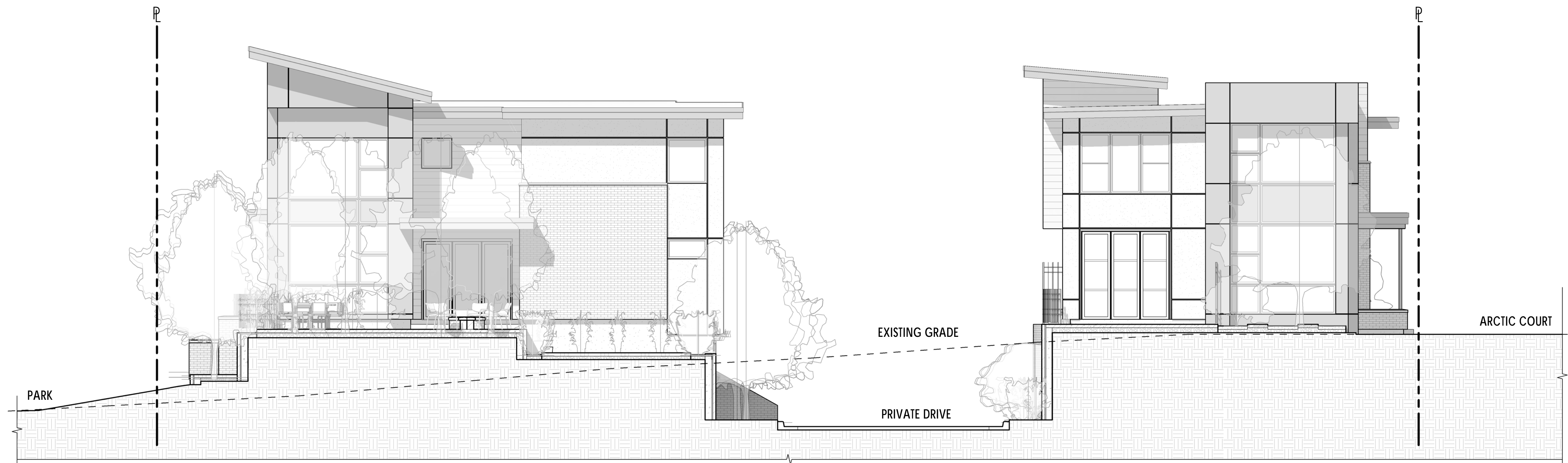
BUILDING SECTION 2A  
3/16" = 1'-0"  
1  
D207



BUILDING SECTION 2B  
3/16" = 1'-0"  
2  
D207

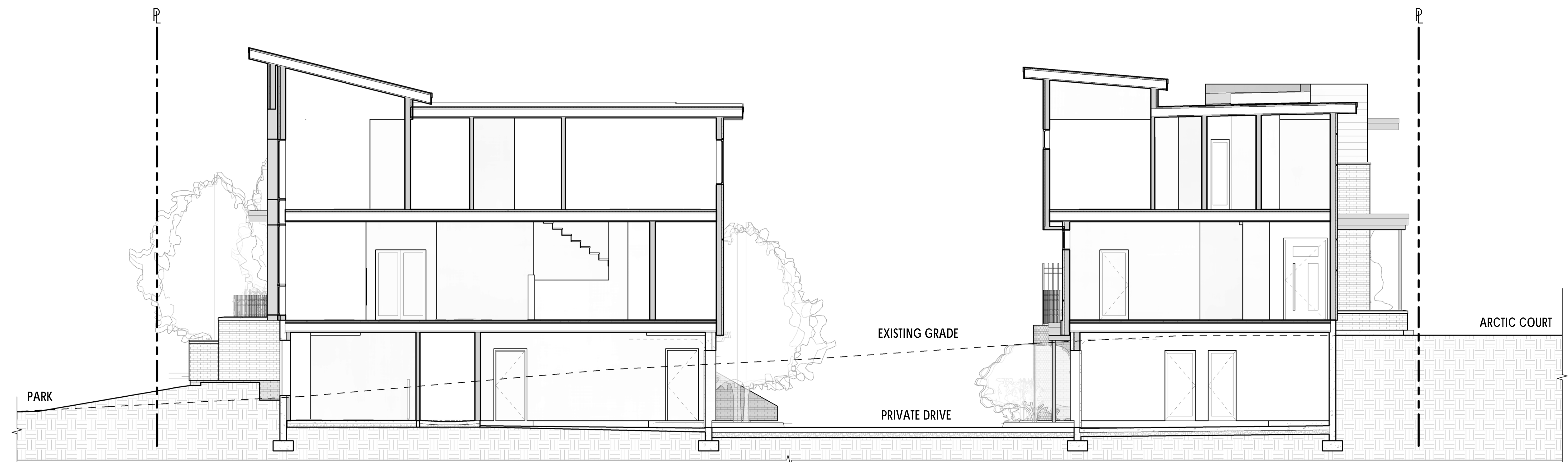


BUILDING SECTION 2C  
3/16" = 1'-0"  
3  
D207



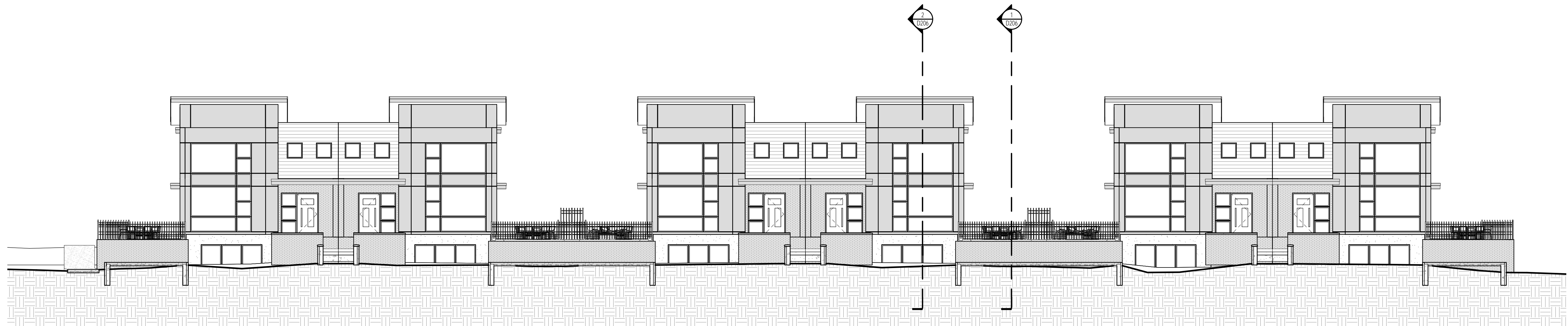
SITE SECTION 1 - LOOKING NORTH  
3/16" = 1'-0"

1  
0206



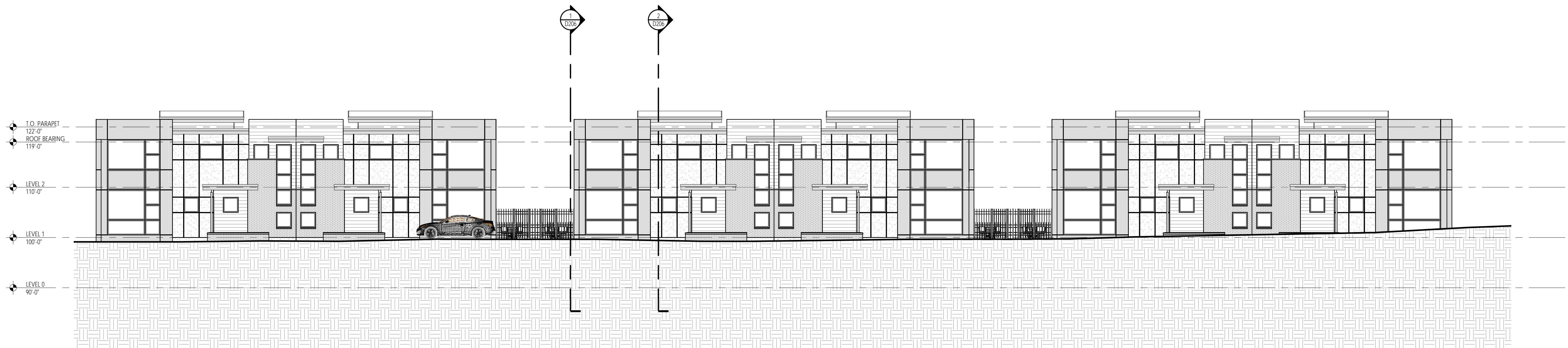
SITE SECTION 2 - LOOKING NORTH  
3/16" = 1'-0"

2  
0206



SITE SECTION - N-S - UNIT 1  
3/32" = 1'-0"

1  
D206



SITE SECTION - N-S - UNIT 2  
3/32" = 1'-0"

2  
D206



UNIT 1 - FRONT PERSPECTIVE

# MARMALADE TOWNHOMES

SALT LAKE CITY, UT



UNIT 1 - REAR PERSPECTIVE

# MARMALADE TOWNHOMES

SALT LAKE CITY, UT



UNIT 2 - FRONT PERSPECTIVE

# MARMALADE TOWNHOMES

SALT LAKE CITY, UT



UNIT 2 - REAR PERSPECTIVE

# MARMALADE TOWNHOMES

SALT LAKE CITY, UT





SOUTHWEST PERSPECTIVE - FROM PARK



# MARMALADE TOWNHOMES

SALT LAKE CITY, UT



SCALE = ± 1:80



## MARMALADE TOWNHOMES

SALT LAKE CITY, UT

# **ATTACHMENT D: APPLICANT INFORMATION**

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## Project Description-RDA Parcel 4 Marmalade Block-535 N Arctic Court

My company, Everest Builders, was selected by the SLC RDA to build a townhome development on Parcel 4 of the Marmalade Block. This property is in the Capitol Hill Historic District, and more specifically, the West Capitol Hill Neighborhood.

The proposed new construction will consist of 12 single family attached units. There will be 2 unit types. The six western units will be 3149 sq ft with 3-4 bedrooms and 3 ½ bathrooms with a 2 car garage. The 6 eastern units will be 2583 sq ft with 3 bedrooms and 2 ½ bathrooms with a 2 car garage. All units are built with only one shared party wall per unit and connected by a retaining wall. This provides for a functional outdoor space in the side yard for each townhome. It also provides for visual sight lines through the project which I feel provides a great transition from the single family residences to the east to the Marmalade Library plaza to the west. I have been through required design reviews with the RDA (RDA Board and staff, separately) and overall the comments were positive, and they have approved the design of the structures and site as currently presented. This project has also been through The Landmarks process and been approved. I plan build to LEED Silver Certification specifications, as per SLC RDA requirements.

The thought behind design is to provide the best and most creative use of the site and to orient the structures to, and hide the garages from, both the Library Plaza and Arctic Court, as is requested in the Marmalade Block Design Guidelines. The townhome buildings are nudged out toward the edges of the property to provide garage access through a private drive through the interior of the project.

I am seeking some relief from the side yard landscape requirement on the Arctic Court (east units) side.

The ordinance states a required 10 foot landscape buffer to the property line where R-MU zoning abuts single family zoning. This site plan provides 5'3". I believe that the intent of the ordinance is to buffer the single family home owners from the higher density housing by 10 feet. With Arctic Court between the Parcel 4 development and the single family housing, there is actually 25'3" between the structures and the property line of the single family home owner's property line. I believe the intent of the ordinance is met. I am bearing the expense of rebuilding the Arctic Court street and underground infrastructure as part of the development agreement with the RDA.

I am also asking for the Planning Commission to approve the site plan with the west units lacking street frontage.

Drive access is from a private driveway and front door access is from the west plaza.

All other planning and zoning requirements are met with the design of the structures and site as currently presented.

I hope you agree that this is a positive trade off and I have made all efforts to accomplish this in a way that is respectful to the neighboring properties and the neighborhood as a whole. Thank you.

# **ATTACHMENT E: ZONING ORDINANCE STANDARDS**

## **Existing Conditions:**

The site is currently undeveloped and vacant.

## **Zoning Ordinance Standards for RMU (Residential Mixed-Use District)**

<b>Standard</b>	<b>Finding</b>	<b>Rationale</b>
<b>Minimum Lot Area And Lot Width:</b> 3,000 square feet per dwelling unit and 22' for interior lots, 32 for corners.	<b>Complies</b>	The subject parcel is approximately 37,461 square feet with 12 dwelling units proposed. The minimum lot size of 3,000 feet will be met at the time the project is platted.
<b>Minimum Front Yard Requirements:</b> 15 feet.	<b>Approved by the HLC.</b>	The applicant requested that the front yard setback for the Type 1 units be essentially eliminated, however the patio that is proposed in the front yard along <b>500 North provides almost 17' between the property line and the front façade of the building.</b> The Type 2 units are setback approximately 11 feet from 500 North. This area will be landscaped.
<b>Interior Side Yard:</b> No yard is required, however if one is provided is shall not be less than 4 feet.	<b>Complies</b>	The interior side yards exceed 4 feet in all instances, along Arctic Court and the library plaza.
<b>Rear Yard:</b> 25% of the lot depth or 25' whichever is less.	<b>Approved by the HLC.</b>	The rear yard for both the Type 1 and Type II was significantly reduced by <b>9' and 16'</b> respectively, however it was noted that these buildings about a high density multifamily development to the north, separated by an access drive.
<b>Maximum Building Height:</b> 75 feet.	<b>Complies</b>	Various building heights are proposed. None to exceed 75 feet. The highest elevation is on the west side of the Type 2 units at approximately <b>36'</b> , the east elevation of these units which faces Arctic Court is approximately <b>25'</b> .
<b>Minimum Open Space:</b> Not less than 20% of the lot area shall be maintained as open space. This open space may take the form of landscape yards or plazas or courtyards, subject to site plan approval.	<b>Complies</b>	Overall the total project meets the 20% open space requirement per the proposed site plan.
<b>Landscape Buffer:</b> Required in the RMU when abutting a single or two-family residential zone.	<b>Requires PC approval for reduction.</b>	Arctic Court is a private street and the property across Arctic is zoned SR-1A. A ten foot landscaping buffer is required. The applicant is requesting that the PC reduce the required landscape buffer.

# **ATTACHMENT F: PLANNED DEVELOPMENT STANDARDS**

**21a.55.050: Standards for Planned Developments:** The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

<b>Standard</b>	<b>Finding</b>	<b>Rationale</b>
<p><b>A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section:</b></p> <p><b>A. Combination and coordination of architectural styles, building forms, building materials, and building relationships;</b></p> <p><b>B. Preservation and enhancement of desirable site characteristics such as natural topography, vegetation and geologic features, and the prevention of soil erosion;</b></p> <p><b>C. Preservation of buildings which are architecturally or historically significant or contribute to the character of the city;</b></p> <p><b>D. Use of design, landscape, or architectural features to create a pleasing environment;</b></p> <p><b>E. Inclusion of special development amenities that are in the interest of the general public;</b></p> <p><b>F. Elimination of blighted structures or incompatible uses through redevelopment or rehabilitation;</b></p> <p><b>G. Inclusion of affordable housing with market rate housing; or</b></p> <p><b>H. Utilization of "green" building techniques in development.</b></p>	<p><b>Complies</b></p>	<p>The applicant achieves objective A, D, and E, through the proposed design. The townhomes are built to the street along the east property boundary, and are designed to interface with the library plaza on the west. The proposed design has been reviewed by the RDA, and has been reviewed and approved by the HLC.</p>
<p><b>B. Master Plan And Zoning Ordinance Compliance: The proposed planned development shall be:</b></p> <p><b>1. Consistent with any adopted policy set forth in the citywide, community, and/or small area master plan and future land use map applicable to the site where the planned development will be located, and</b></p> <p><b>2. Allowed by the zone where</b></p>	<p><b>Complies</b></p>	<p>The project is located within the Capitol Hill Master Plan area and is designated "High Density Mixed-Use". The proposed development is consistent with this master plan designation and is allowed in the RMU zoning district (see Attachment E – Existing Conditions). The project is also consistent with the Marmalade Block Urban and Landscape Design Guidelines, a master plan prepared for the RDA.</p>

<p><b>the planned development will be located or by another applicable provision of this title.</b></p>		
<p><b>C. Compatibility: The proposed planned development shall be compatible with the character of the site, adjacent properties, and existing development within the vicinity of the site where the use will be located. In determining compatibility, the planning commission shall consider:</b></p> <ol style="list-style-type: none"> <li><b>1. Whether the street or other adjacent street/access or means of access to the site provide the necessary ingress/egress without materially degrading the service level on such street/access or any</b></li> <li><b>2. Whether the planned development and its location will create unusual pedestrian or vehicle traffic patterns or volumes that would not be expected, based on:</b> <ol style="list-style-type: none"> <li><b>a. Orientation of driveways and whether they direct traffic to major or local streets, and, if directed to local streets, the impact on the safety, purpose, and character of these streets;</b></li> <li><b>b. Parking area locations and size, and whether parking plans are likely to encourage street side parking for the planned development which will adversely impact the reasonable use of adjacent property;</b></li> <li><b>c. Hours of peak traffic to the proposed planned development and whether such traffic will unreasonably impair the use and enjoyment of adjacent property.</b></li> </ol> </li> <li><b>3. Whether the internal circulation system of the proposed planned development will be designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic;</b></li> <li><b>4. Whether existing or proposed utility and public services will be adequate to support the proposed planned development at normal service levels and will be designed in a manner to avoid adverse impacts on adjacent land uses, public services, and utility resources;</b></li> <li><b>5. Whether appropriate buffering or other mitigation measures, such as, but not limited to, landscaping, setbacks, building location, sound attenuation,</b></li> </ol>	<p><b>Complies</b></p>	<p>The proposed townhomes provides a transition between commercial and residential development along 300 West and the single-family development located to the east.</p> <p>One parking entrance to the proposed development is off of 500 North. The entrance on 500 North is designed to minimize vehicular impact. Parking is to be located on the interior of the development.</p> <p>None of the City Departments/Divisions contacted have made any indication that there is a lack of utility or public services to support the proposed development.</p> <p>The entire project is designed and will be sited in such a manner as to focus on the street, with little impact on adjacent parcels.</p>

<p>odor control, will be provided to protect adjacent land uses from excessive light, noise, odor and visual impacts and other unusual disturbances from trash collection, deliveries, and mechanical equipment resulting from the proposed planned development; and</p> <p>6. Whether the intensity, size, and scale of the proposed planned development is compatible with adjacent properties.</p> <p>If a proposed conditional use will result in new construction or substantial remodeling of a commercial or mixed used development, the design of the premises where the use will be located shall conform to the conditional building and site design review standards set forth in chapter 21A.59 of this title.</p>		
<p><b>D. Landscaping: Existing mature vegetation on a given parcel for development shall be maintained. Additional or new landscaping shall be appropriate for the scale of the development, and shall primarily consist of drought tolerant species;</b></p>	<p><b>Requires PC approval for reduction of landscape buffer.</b></p>	<p>The applicant is seeking a modification to the required landscape buffer in order to render the project more compatible with adjacent development and to complete the vision established for the overall project area by the RDA. The reduction allows the townhomes to be built essentially at the street. A 10 foot landscape buffer is required in the RMU zone when the property abuts a single of two-family zone. <b>The required landscape buffer of 10' is particularly relevant and important when two parcels actually abut one another. In this case, the applicant's parcel does not actually abut adjacent single family zoned property as it is separated by Arctic Court. Planning Staff asserts that the proposed 5'3" landscape buffer proposed, along with the width of Arctic Court provides an ample buffer (in excess of 25') for the single family zoned parcels to the east.</b></p>
<p><b>E. Preservation: The proposed planned development shall preserve any historical, architectural, and environmental features of the property;</b></p>	<p><b>Does not apply</b></p>	
<p><b>F. Compliance With Other Applicable Regulations: The proposed planned development shall comply with any other applicable code or ordinance requirement.</b></p>	<p><b>Requires PC approval for the creation of lots without street frontage.</b></p>	<p>The applicant is specifically seeking relief of the requirement for all lots to have street frontage. The Planning Commission has decision making authority in this case. Other than the specific modifications requested by the applicant, the project appears to comply with all other applicable codes. Further compliance will be ensured during review of construction permits.</p>



## **ATTACHMENT G: SUBDIVISION STANDARDS**

**20.16.100:** All preliminary plats for subdivisions and subdivision amendments shall meet the following standards:

<b>Criteria</b>	<b>Finding</b>	<b>Rationale</b>
<b>A. The subdivision complies with the general design standards and requirements for subdivisions as established in Section 20.12</b>	<b>Complies</b>	The proposed townhome lots comply with the general design standards and requirements for subdivisions as established in Section 20.12 – General Standards and Requirements. In addition, the Historic Landmark Commission specifically approved the site plan on 9/3/15 that directly corresponds to the proposed subdivision.
<b>B. All buildable lots comply with all applicable zoning standards;</b>	<b>Complies</b>	The proposed lots comply with the zoning standard.
<b>C. All necessary and required dedications are made;</b>	<b>Complies</b>	No dedications are required.
<b>D. Water supply and sewage disposal shall be satisfactory to the Public Utilities Department director;</b>	<b>Complies</b>	The Public Utilities department was consulted on the proposed development on several occasions and made no indication that water supply and sewage disposal was an issue at the subject location.
<b>E. Provisions for the construction of any required public improvements, per section 20.40.010, are included;</b>	<b>Complies by condition</b>	The provisions of 20.40.010 shall be met through compliance with all City Department/Division comments.
<b>F. The subdivision otherwise complies with all applicable laws and regulations.</b>	<b>Complies</b>	The subdivision otherwise complies with all applicable laws and regulations.
<b>G. If the proposal is an amendment to an existing subdivision and involves vacating a street, right-of-way, or easement, the amendment does not materially injure the public or any person who owns land within the subdivision or immediately adjacent to it and there is good cause for the amendment.</b>	<b>Complies</b>	The proposed subdivision is not an amendment to an existing subdivision nor does it involve vacating a street, right-of-way way, or easement.

## **ATTACHMENT H: PUBLIC PROCESS AND COMMENTS**

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### **Meetings & Public Notice**

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project.

**September 3, 2015** – The Historic Landmark Commission approved the development proposal and site plan.

**December 16, 2015** – The applicant met with the Capitol Hill Community Council. No comments were received as of the preparation and distribution of this staff report.

### **Notice of the Planning Commission public hearing for the proposal include:**

- Notice mailed on January 14, 2016.
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on January 14, 2016.

### **Comments**

City Department/Division comments regarding the planned development and subdivision are attached. No comments were received that would preclude the proposed development or subdivision. Any approval granted by the Planning Commission would be conditional based upon the requirement of the applicant satisfying all City Department/Division comments.

# Memorandum

To: Lex Traugher, Senior Planner

From: Ken Brown, Senior Development Review Planner

Date: December 7, 2015

Re: PLNSUB2015-00928 Preliminary Subdivision: 535 N. Arctic Ct.  
PLNSUB2015-00929 Planned Development: 535 N. Arctic Ct.

Building Services zoning comments for this preliminary subdivision and planned development application in an R-MU zoning district are as follows:

- It is understood that the historic district elements have been processed under PLNHLC2015-00360.
- This property is located in close proximity to a suspected fault line and requires a Site Specific Fault Study to verify that the structures will not be placed over a fault line.
- Per the PLNZAD2015-00591, it is understood that this proposal is to create 12 new single family attached units, some of which will be connected at the patio.
- Through the planned development/subdivision process, the following issues will need to be considered:
  - Front façade controls per 21A.24.010.
  - The lot area for each single family attached dwelling lot.
  - The lot width for each single family attached dwelling lot.
  - The minimum and maximum setbacks.
  - 10' landscape buffer where the development abuts the SR-1A zoning district and other landscaping per 21A.24.170 and 21A.48.
  - Open space.
  - Entrance and visual access as regulated by 21A.170.



**Work Flow History Report**  
**535 N Arctic Ct**  
**PLNSUB2015-00929**

Date	Task/Inspection	Status/Result	Action By	Comments
11/12/2015	Staff Assignment	Assigned	Traughber, Lex	
11/17/2015	Planning Dept Review	In Progress	Traughber, Lex	
11/17/2015	Staff Assignment	Routed	Traughber, Lex	
11/23/2015	Engineering Review	Complete	Weiler, Scott	No objections to the two proposed modifications requiring planned development approval.
12/7/2015	Zoning Review	Complete	Brown, Ken	See the Documents folder.
12/8/2015	Public Utility Review	Complete	Draper, Jason	Public Utilities has no objection to the requested reduction in landscape buffer or the street frontage modification. However, there are items on the submitted plans that do not meet SLCPU standards and will require revision prior to the subdivision approval.
12/11/2015	Transporation Review	Complete	Barry, Michael	Each residence includes two (2) parking spaces in garage. Sufficient area for vehicle parking and maneuvering is provided.
12/16/2015	Community Council Review	Scheduled	Traughber, Lex	
12/16/2015	Planning Dept Review	Complete	Traughber, Lex	
12/29/2015	Fire Code Review	Complete	Itchon, Edward	
1/4/2016	Community Council Review	Complete	Traughber, Lex	
1/4/2016	Community Open House	Complete	Traughber, Lex	Went to Community Council Dec 2015
1/4/2016	Staff Review and Report	In Progress	Traughber, Lex	



# Work Flow History Report

535 N arctic Ct

PLNSUB2015-00928

Date	Task/Inspection	Status/Result	Action By	Comments
11/12/2015	Staff Assignment	Assigned	Traughber, Lex	
11/17/2015	Fire Code Review	Complete	Itchon, Edward	
11/17/2015	Planning Dept Review	In Progress	Traughber, Lex	
11/17/2015	Staff Assignment	Routed	Traughber, Lex	
11/23/2015	Engineering Review	Complete	Weiler, Scott	Redlines on the preliminary plat and civil improvement plans sent to Lex.
12/7/2015	Zoning Review	Complete	Brown, Ken	See the Documents folder.
12/8/2015	Public Utility Review	Complete	Draper, Jason	<p>Public Utilities Comments:            Subdivision improvement plans are incomplete as submitted.            Detail sheets are missing data.            Add Streetlight notes to the SLPD general notes - Contact SLCPU regarding any streetlight upgrades or requirements.            The waterline in 500 North is now a 12" line.            The meter to the house on Arctic Way is a 3/4" meter            Identify the location of the roadway cross sections.            Storm water quality treatment is required prior to discharge.            Coordination with the Capital Villa storm drain line needs to be evaluated and completed.            Waterlines are required to be 10' from sewer and 3' from all other utilities.            Sewer lines are required to be 10' from water and 5' from all other utilities.            A public main in a private street must be approved by petition. The other option is to install a detector check and a private 8" line to the fire hydrant while leaving the 2" line in place.            Water mains should be PVC in this area.            If a public main is approved in the private street an easement and water main extension agreement will be required.            There may be reimbursement costs for the storm drain.</p>
12/16/2015	Planning Dept Review	Complete	Traughber, Lex	
12/16/2015	Staff Review and Determination	In Progress	Traughber, Lex	
12/16/2015	Transporation Review	Complete	Traughber, Lex	

**The Grove**  
 500 NORTH 240 WEST  
 Salt Lake City, Utah

Found Street Monument  
 Standard 3" Brass Cap  
 Set in Concrete with  
 Ring and Lid  
 Record Elevation=4244.82  
 500 North & 300 West

SOUTHWEST CORNER  
 OF LOT 4, BLOCK 132,  
 PLAT A SALT LAKE SURVEY

Found Street Monument  
 Standard 2" Brass Cap  
 Set in Concrete with  
 Ring and Lid  
 500 North & 200 West

SOUTHEAST CORNER  
 OF LOT 1, BLOCK 132,  
 PLAT A SALT LAKE SURVEY

Vertical Datum: NAVD 1988  
 RTK Elevation: 4244.82  
 Benchmark located in the intersection of  
 300 West South and 500 North Street.  
 Existing street monument being a  
 3" brass cap.

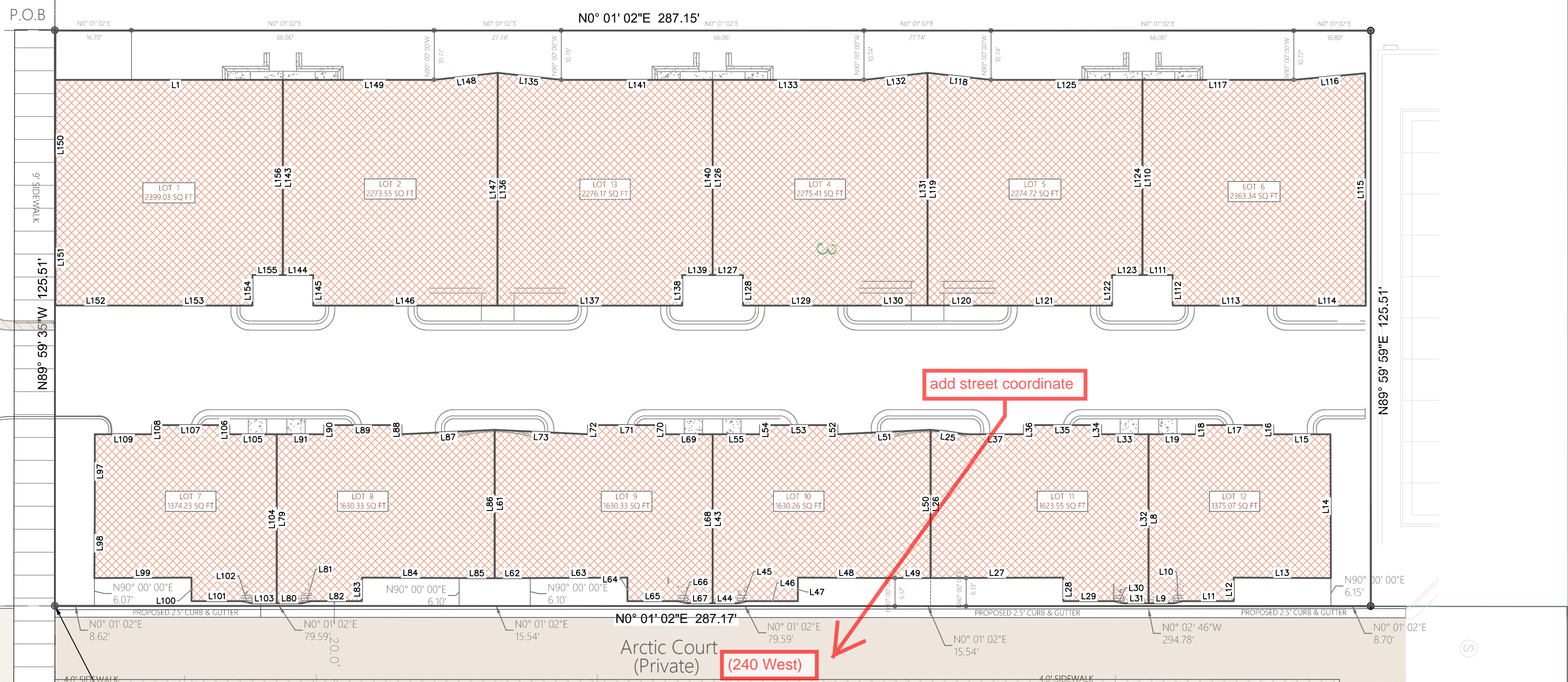
This survey was performed within the  
 accordance of the minimum accuracy of  
 an urban survey, Class "A", or a linear  
 closure of 1:15,000.



VICINITY MAP

Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction
L1	49.73	N00°00'06"W	L32	36.86	N90°00'00"E	L62	7.77	S00°16'54"E	L87	20.39	N02°46'02"W	L112	6.66	N90°00'00"W	L132	13.96	N06°19'13"W
L8	36.86	N90°00'00"W	L33	10.37	N00°00'00"E	L63	21.19	S00°16'54"E	L88	2.00	N90°00'00"E	L113	25.41	S00°00'00"E	L133	33.03	N00°00'00"E
L9	5.41	S00°00'00"E	L34	2.00	N90°00'00"E	L64	5.14	N90°00'00"W	L89	16.83	N00°00'00"E	L114	16.70	S00°02'33"W	L134	13.95	N06°19'34"E
L10	2.19	S12°38'50"E	L35	16.83	N00°00'00"E	L65	11.06	S00°00'00"W	L90	2.00	N90°00'00"E	L115	50.70	N89°51'32"E	L135	50.74	N89°55'44"W
L11	11.06	S00°00'00"E	L36	2.00	N90°00'00"E	L66	2.19	S12°38'50"W	L91	10.37	N00°00'00"W	L116	15.64	N89°20'23"W	L136	40.33	S00°01'57"W
L12	5.14	N90°00'00"E	L37	12.49	N00°00'00"E	L67	5.41	S00°00'00"E	L92	16.14	N90°00'00"W	L117	33.03	N00°00'00"E	L137	6.66	N90°00'00"E
L13	21.19	S00°16'54"W	L38	36.86	N90°00'00"W	L68	36.86	N90°00'00"E	L93	15.20	N89°36'27"W	L118	13.95	N06°19'36"E	L138	6.62	S00°00'00"E
L14	31.34	N89°48'35"E	L39	5.41	S00°00'00"E	L69	10.37	N00°00'00"E	L94	21.19	S00°16'54"E	L119	50.73	N90°00'00"W	L139	6.62	S00°00'00"E
L15	12.50	N00°00'00"E	L40	2.19	S12°38'50"E	L70	2.00	N90°00'00"E	L95	5.14	N90°00'00"W	L120	14.86	S00°08'08"W	L140	42.57	N90°00'00"E
L16	2.00	N90°00'00"E	L41	11.06	S00°00'00"E	L71	16.83	N90°00'00"E	L96	11.06	S00°00'00"E	L121	25.41	S00°00'00"E	L141	33.03	N00°00'00"E
L17	16.83	N00°00'00"E	L42	5.14	N90°00'00"E	L72	2.00	N90°00'00"W	L97	2.19	S12°38'50"W	L122	6.66	N90°00'00"E	L142	42.57	N90°00'00"E
L18	2.00	N90°00'00"W	L43	21.19	S00°16'54"W	L73	10.37	N02°46'02"E	L98	5.41	S00°00'00"E	L123	6.62	S00°00'00"E	L143	42.57	N90°00'00"E
L19	10.37	N00°00'00"E	L44	7.77	S00°00'00"E	L74	36.86	N90°00'00"W	L99	2.00	N90°00'00"E	L124	42.57	N90°00'00"E	L144	6.62	S00°00'00"E
L20	7.93	N07°07'50"E	L45	32.33	S89°59'58"E	L75	10.37	N02°46'02"E	L100	5.41	S00°00'00"E	L125	33.03	N00°00'00"E	L145	6.66	N90°00'00"W
L21	28.96	S00°12'22"E	L46	2.00	N90°00'00"E	L76	16.83	N90°00'00"E	L101	10.37	N00°00'00"E	L126	42.57	N90°00'00"E	L146	40.22	S00°01'58"E
L22	5.14	N90°00'00"W	L47	16.83	N00°00'00"E	L77	2.00	N90°00'00"W	L102	2.19	S12°38'50"W	L127	6.62	S00°00'00"E	L147	50.74	S89°55'44"E
L23	28.96	S00°12'22"E	L48	2.00	N90°00'00"E	L78	10.37	N02°46'02"E	L103	5.41	S00°00'00"E	L128	6.66	N90°00'00"W	L148	13.96	N06°19'15"W
L24	5.14	N90°00'00"E	L49	16.83	N00°00'00"E	L79	36.86	N90°00'00"W	L104	36.86	N90°00'00"E	L129	25.41	S00°00'00"E	L149	33.03	N00°00'00"E
L25	11.06	S00°00'00"E	L50	2.00	N90°00'00"E	L80	5.41	S00°00'00"E	L105	10.37	N00°00'00"E	L130	14.86	S00°08'08"E	L150	28.33	S89°42'48"W
L26	32.33	N89°59'58"W	L51	20.39	N02°46'01"W	L81	2.19	S12°38'50"E	L106	2.00	N90°00'00"E	L131	17.59	S00°08'52"W	L151	20.86	N89°55'32"W
L27	28.96	S00°12'22"E	L52	2.00	N90°00'00"E	L82	11.06	S00°00'00"E	L107	16.83	N00°00'00"E	L132	13.96	N06°19'13"W	L152	17.59	S00°08'52"W
L28	5.14	N90°00'00"W	L53	16.83	N00°00'00"E	L83	5.14	N90°00'00"E	L108	2.00	N90°00'00"W	L133	33.03	N00°00'00"E	L153	25.41	S00°00'00"E
L29	11.06	S00°00'00"E	L54	2.00	N90°00'00"E	L84	21.19	S00°16'54"W	L109	12.50	N00°00'00"E	L134	13.95	N06°19'34"E			
L30	2.19	S12°38'50"W	L55	10.37	N00°00'00"E	L85	7.77	S00°16'54"W	L110	42.57	N90°00'00"W	L135	50.74	N89°55'44"W			
L31	5.41	S00°00'00"E	L56	10.37	N00°00'00"E	L86	32.36	N90°00'00"E	L111	6.62	S00°00'00"E	L136	40.33	S00°01'57"W			

500 NORTH STREET  
 RECORD N 89°59' 51" W 791.91'  
 PER SALT LAKE CITY ATLAS PLAT A



SURVEYOR'S CERTIFICATE

I, Shane Johanson, certify that I am a Licensed a Professional Land Surveyor holding license no. 7075114 in accordance with Utah Code Annotated Title 58, Chapter 22, described tract of land has been completed by me in accordance with Utah Code Annotated 17-23-17, and that I have verified all measurements as shown hereon further certify that this Condominium Plat complies with the provision of section 57-8-13(1) of the Utah Condominium Ownership Act, Utah Code Annotated.

DATE \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

PROJECT PROPERTY DESCRIPTION

Beginning at the Southwest Corner of Lock 4 Block 132 Plat A Salt Lake City Survey;  
 Thence with a bearing of S 89°59'35" E a distance of 125.51 feet to the point of beginning;  
 Thence with a bearing of N 00°01'02" E a distance of 287.17 feet;  
 Thence with a bearing of S 89°59'59" W a distance of 125.51 feet;  
 Thence with a bearing of S 00°01'02" W a distance of 287.15 feet to the point of beginning.  
 containing 36041.19 square feet or 0.827 acres.

OWNER'S DEDICATION

Know all men by these presents that I, Eric Saxey of Everest Builders L.L.C., the undersigned owner of the above described tract of land, having caused same to be subdivided into Lots and Common area do hereby consent to the recording of this plat.

In witness whereof I, Eric Saxey of Everest Builders, L.L.C., hereunto set my hand this day of 20\_\_.

Eric Saxey (Everest Builders, L.L.C)

ACKNOWLEDGEMENT

STATE OF UTAH )  
 ) SS.  
 County of Salt Lake )  
 On the \_\_\_ day of \_\_\_\_\_, 20\_\_ Everest Builders, LLC personally appeared before me, who being by me duly sworn, did acknowledge that he executed the foregoing Owner's Dedication.  
 Commission Number \_\_\_\_\_  
 My Commission Expires: \_\_\_\_\_  
 \_\_\_\_\_ (printed name)  
 A Notary Public Commissioned in Utah

NOTES

Utilities shall include the right to install, maintain and operate their equipment above and below ground and all other related facilities within the public utility easements identified on this plat map as may be necessary or desirable in providing utility services within and without the lots identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures, trees and vegetation that may be placed within the pue. The utility may require the lot owner to remove all structures within the pue at the lot owners expense, or the utility may remove such structures at the owners expense. At no time may any permanent structures be placed within the pue or any other obstruction which interferes with the use of the pue without the prior written approval of the utilities with facilities in the pue.

CITY BUILDING OFFICIAL  
 APPROVED AS TO FORM THIS  
 DAY OF \_\_\_\_\_ 20\_\_  
 \_\_\_\_\_  
 CITY BUILDING OFFICIAL

**LEGEND**

- PRIVATE OWNERSHIP
- COMMON OWNERSHIP
- PROPERTY LINE
- EXISTING FIRE HYDRANT
- REBAR & CAP (Symbol)
- L.S. No. 7075114
- STREET MONUMENT
- sheet 1= overall buildings and boundary

**JOHANSON ENGINEERING**  
 CIVIL • PLANNING • SURVEYING  
**JOHANSON ENGINEERING**  
 2150 SOUTH 1300 EAST SUITE "500"  
 SALT LAKE CITY, UTAH 84106  
 PHONE (801) 859-1862

**The Grove**  
 LOCATED IN SECTION 07 TOWNSHIP  
 1 SOUTH, RANGE 1 EAST, S.L.B.&M  
 LOT 11 BLOCK 14 FIVE ACRE PLAT "A" BIG FIELD  
 SURVEY LOCATED IN SALT LAKE CITY, UTAH

1 in. = 20 FT.

NUMBER \_\_\_\_\_  
 ACCOUNT \_\_\_\_\_  
**SALT LAKE VALLEY HEALTH**  
 SALT LAKE VALLEY HEALTH DEPT.  
 APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_  
 \_\_\_\_\_  
 VALLEY HEALTH DEPARTMENT

**CITY PLANNING DIRECTOR**  
 APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_ BY THE SALT LAKE CITY PLANNING COMMISSION.  
 \_\_\_\_\_  
 PLANNING DIRECTOR DATE

**CITY ENGINEERING DIVISION**  
 I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE.  
 \_\_\_\_\_ DATE  
 CITY ENGINEER  
 \_\_\_\_\_ DATE  
 CITY SURVEYOR

**CITY PUBLIC UTILITIES DEPT.**  
 APPROVED AS TO SANITARY SEWER AND WATER DETAILS THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_  
 \_\_\_\_\_  
 SALT LAKE CITY PUBLIC UTILITIES DIRECTOR

**CITY ATTORNEY**  
 APPROVED AS TO FORM THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_  
 \_\_\_\_\_  
 SALT LAKE CITY ATTORNEY

**CITY APPROVAL**  
 PRESENTED TO SALT LAKE CITY THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_ AND IT IS HEREBY APPROVED.  
 \_\_\_\_\_  
 SALT LAKE CITY MAYOR  
 \_\_\_\_\_  
 SALT LAKE CITY RECORDER

Recorded # \_\_\_\_\_  
 State of Utah, County of Salt Lake, recorded and filed at the request of \_\_\_\_\_  
 Date \_\_\_\_\_ Time \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_  
 Fee \$ \_\_\_\_\_ Salt Lake County Recorder



**DESCRIPTION DOES NOT MATCH THE PLAT DESCRIPTION**

Legal Description-Lot 4 RDA Marmalade Project-The Grove

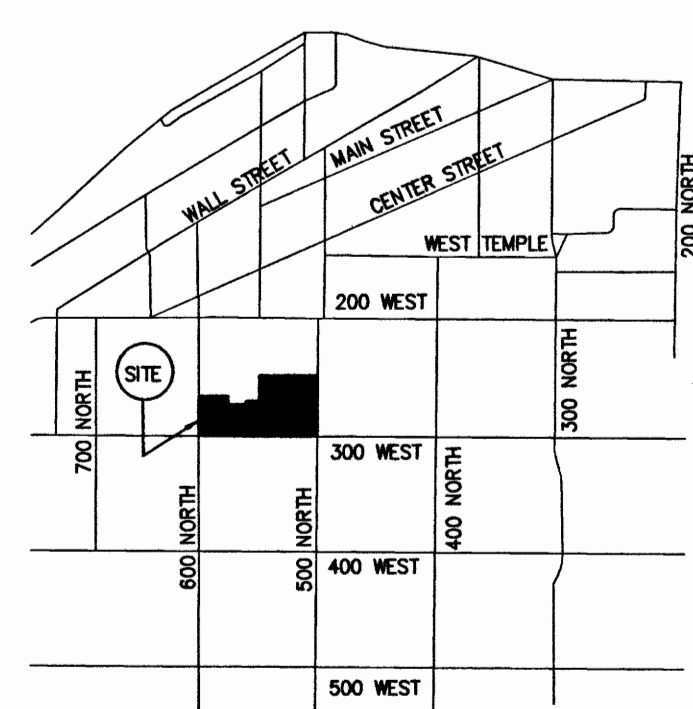
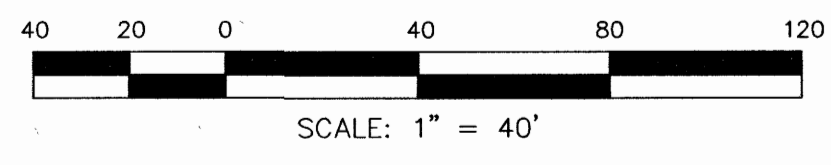
Beginning at the Southwest Corner of Lock 4 Block 132 Plat A Salt Lake City Survey; Thence with a bearing of S 89°59'35" E a distance of 125.51 feet to the point of beginning; Thence with a bearing of N 00°01'02" E a distance of 287.17 feet; Thence with a bearing of S 89°59'59" W a distance of 125.51 feet; Thence with a bearing of S 00°01'02" W a distance of 287.15 feet to the point of beginning.  
containing 36041.19 square feet or 0.827 acres

**SEE PAGE 3; MARMALADE DISTRICT SUBDIVISION PLAT**



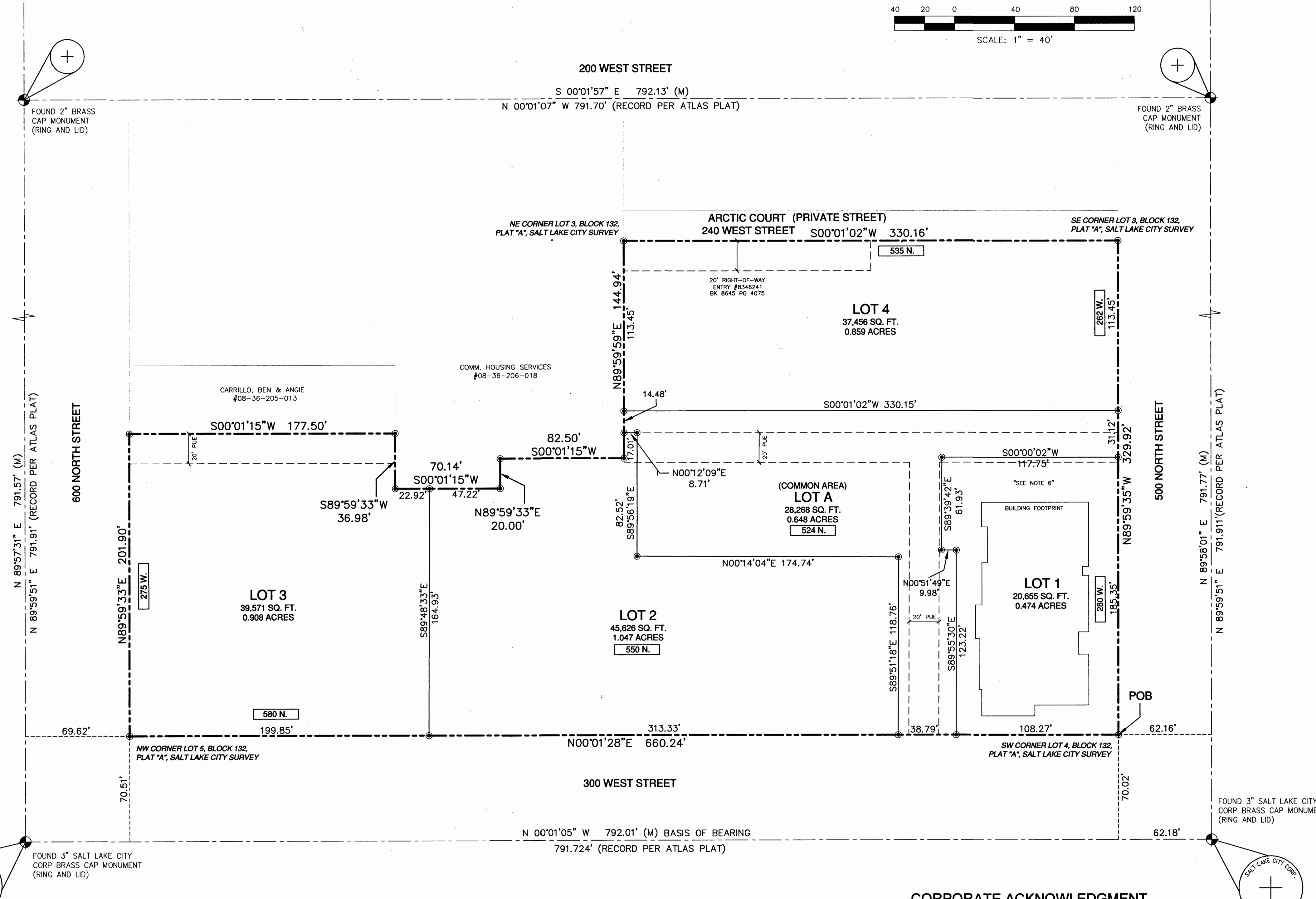
# MARMALADE DISTRICT

LOCATED IN THE NORTHEAST QUARTER OF SECTION 36,  
TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
SALT LAKE CITY, SALT LAKE COUNTY, UTAH



VICINITY MAP

LEGEND	
	PROPERTY LINE
	LOT LINE
	MONUMENT LINE
	SET PSOMAS BAR/CAP OR RIVET AS NEEDED
	PUBLIC UTILITY ESMT.
	ADJOINER
	STREET MONUMENT



**NOTES**

- An easement for sewer line (exact location not disclosed) as disclosed by instrument recorded November 18, 1939 as Entry No. 869482 in Book 239 of liens and leases at Page 252 of Official Records.
- Agreement Permitting Encroachments recorded July 3, 1975 as Entry No. 2722612 in Book 3906 at Page 298 of Official Records.
- 5/8" X 24" rebar with a Psomas survey cap to be placed at all Lot corners. (If needed nail and washer)
- Boundary description has a minimum closure error of 1:15,000

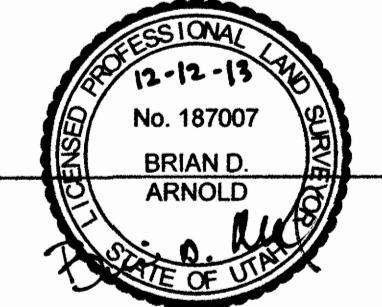
**CORPORATE ACKNOWLEDGMENT**

STATE OF UTAH } S.S.  
COUNTY OF SALT LAKE }  
On this 12 day of Dec, 2013, personally appeared before me D.J. Baxter, who being duly sworn did say he is the Executive Director of the Redevelopment Agency of Salt Lake City, and that the hereon Owner's Dedication was signed on behalf of said Redevelopment Agency of Salt Lake City, and they duly acknowledged to me that said agency executed the same for the uses and purposes stated therein.

*Carolyn I. Berger*  
A NOTARY PUBLIC COMMISSIONED IN UTAH  
COMMISSION NUMBER 603371 JAN 14 2014  
MY COMMISSION EXPIRES 4/17/17 CITY RECORD

**SURVEYOR'S CERTIFICATE**

I, Brian D. Arnold, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 187007 as prescribed by the Laws of the State of Utah. I further certify that by Authority of the Owners I have made a Survey of the Parcel of Land shown on this Plat and have subdivided said Parcel of Land into parcels and streets, together with easements hereafter known as **Marmalade District** and that the same has been correctly surveyed and staked on the ground as shown on this Plat.



December 12, 2013  
Date

**BOUNDARY DESCRIPTION**

All of Lots 3, 4 and 5, and a part of Lot 6, Block 132, Plat "A", Salt Lake City Survey, lying and situate in the Northeast Quarter of Section 36, Township 1 North, Range 1 West, Salt Lake Base and Meridian, Salt Lake City, Salt Lake County, Utah, being more particularly described as follows:

COMMENCING at a found Salt Lake City brass cap monument at the intersection of 500 North Street and 300 West Street; thence North 00°01'05" West 62.18 feet along the monument line of said 300 West Street; thence North 89°58'53" East 70.02 feet to the Southwest Corner of Lot 4, Block 132, Plat "A", Salt Lake City Survey and the POINT OF BEGINNING; thence North 00°01'28" East 660.24 feet along the East Right-of-Way line of 300 West Street to the Northwest Corner of Lot 5, Block 132, Plat "A", Salt Lake City Survey; thence North 89°59'33" East 201.90 feet along the South Right-of-Way line of 600 North Street; thence South 00°01'15" West 177.50 feet; thence South 89°59'33" West 36.98 feet; thence South 00°01'15" West 70.14 feet; thence North 89°59'33" East 20.00 feet; thence South 00°01'15" West 82.50 feet to the North line of Lot 3, Block 132, Plat "A", Salt Lake City Survey; thence North 89°59'59" East 144.94 feet along the said North line; thence South 00°01'02" West 330.16 feet to the Southeast Corner of said Lot 3; thence North 89°59'35" West 329.92 feet along the North Right-of-Way line of 500 North Street to the POINT OF BEGINNING.

Contains 3.938 acres, 5 Lots

**OWNER'S DEDICATION**

Know all men by these presents that we, Redevelopment Agency of Salt Lake, the undersigned owner of the above described tract of land having caused the same be subdivided into parcels, together with easements to be hereafter known as, **Marmalade District** do hereby dedicate for perpetual use of the public all roads and other areas land shown on this plat as intended for public use. The undersigned owner also hereby conveys to Salt Lake City, and to any and all public utility companies a perpetual, non-exclusive easement over the public utility and drainage easements shown on this plat. The undersigned owner also hereby conveys any other easements shown on this plat to the parties indicated and for the purposes shown hereon. In witness whereof I have hereunto set my hand this 12 day of January, A.D., 2014.

REDEVELOPMENT AGENCY OF SALT LAKE CITY  
By: *Ralph Becker*  
Ralph Becker  
Its Chief Administrative Officer  
By: *D.J. Baxter*  
D.J. Baxter  
Its Executive Director  
Approved as to form:  
By: *Damon Georgelas*  
Damon Georgelas, RDA Counsel

**CORPORATE ACKNOWLEDGMENT**

STATE OF UTAH } S.S.  
COUNTY OF SALT LAKE }  
On this 14 day of January, 2014, personally appeared before me Ralph Becker, who being duly sworn did say he is the Chief Administrative Officer of the Redevelopment Agency of Salt Lake City, and that the hereon Owner's Dedication was signed on behalf of said Redevelopment Agency of Salt Lake City, and they duly acknowledged to me that said agency executed the same for the uses and purposes stated therein.

*Janyce Fowles*  
A NOTARY PUBLIC COMMISSIONED IN UTAH  
COMMISSION NUMBER 602287  
MY COMMISSION EXPIRES 9-8-14

**MARMALADE DISTRICT**

LOCATED IN THE NORTHEAST QUARTER OF SECTION 36,  
TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
SALT LAKE CITY, SALT LAKE COUNTY, UTAH

**PSOMAS**  
4179 RIVERBOAT ROAD  
Salt Lake City, Utah 84123  
(801) 270-5777 (801) 270-5782 (FAX)

DATE: 12-12-13	DESIGNED: BDA
SCALE: 1" = 40'	DRAFTED: JT
PROJECT No.: 8MIG010100	CHECKED: BDA

HEALTH DEPARTMENT	CITY PLANNING DIRECTOR	CITY ENGINEERING DIVISION	CITY PUBLIC UTILITIES DEPT.	CITY ATTORNEY	CITY APPROVAL	SALT LAKE COUNTY RECORDER
APPROVED THIS <u>16<sup>TH</sup></u> DAY <u>Dec.</u> A.D., 2013. <i>Jeremy Roberts</i> SALT LAKE VALLEY HEALTH DEPARTMENT	APPROVED THIS <u>18</u> DAY OF <u>December</u> A.D., 2013 BY THE SALT LAKE PLANNING COMMISSION. <i>Willard Hansen</i> PLANNING DIRECTOR DATE <u>12-18-13</u>	I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE. DATE <u>12-18-2013</u> <i>Melinda Ostad</i> CITY ENGINEER DATE <u>12-17-2013</u> <i>Melinda Ostad</i> CITY SURVEYOR	APPROVED SANITARY SEWER AND WATER DETAILS THIS <u>16<sup>TH</sup></u> DAY <u>DECEMBER</u> A.D., 2013. <i>Ellen Wal</i> SALT LAKE CITY PUBLIC UTILITIES, DIRECTOR DATE <u>12-17-2013</u>	APPROVED THIS <u>8<sup>TH</sup></u> DAY OF <u>January</u> 20 <u>14</u> A.D., 2013. <i>James P...</i> SALT LAKE CITY ATTORNEY	PRESENTED TO THE SALT LAKE THIS <u>13</u> DAY OF <u>Jan</u> A.D., 20 <u>14</u> AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED. <i>Beverly Jones</i> SALT LAKE CITY MAYOR <i>Beverly Jones</i> SALT LAKE CITY RECORDER (Deputy)	RECORDED <u>11789868</u> STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF <u>Redevelopment Agency</u> DATE <u>01/15/2014</u> TIME <u>10:41 AM</u> BOOK <u>2014P</u> PAGE <u>9</u> FEE \$ <u>No Fee</u> <i>Ronald J. Smith</i> SALT LAKE COUNTY RECORDER

08-36-21 SEE PLAT NOTES #4 FOR PARCELS

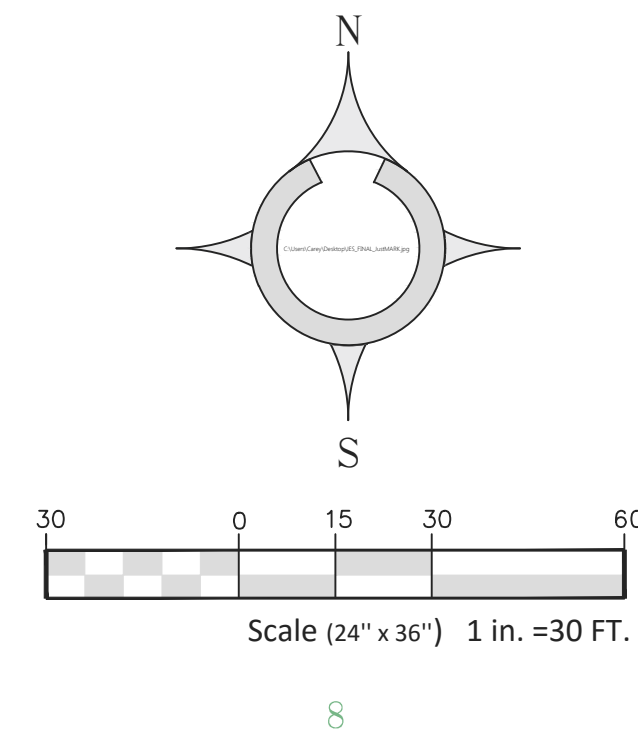
No Fee





# BOUNDARY & TOPOGRAPHIC SURVEY MAMALADE TOWNHOME PROJECT

300 WEST 500 SOUTH LOCATED WITHIN, SALT LAKE CITY, UTAH. A PART OF THE W. 1/2 OF THE NW 1/4 SEC. 36, T. 1 N. R. 1. W. S.L.B.&M



## LEGEND

- = SECTIONAL CORNER
- = STREET MONUMENT
- = FOUND PROPERTY MARKER
- = SET REBAR AND CAP
- = REPRESENTS PROPERTY LINE
- = EXISTING FIRE HYDRANT
- = EXISTING FIRE DEPT. SPK.
- = EXISTING WATER MANHOLE
- = EXISTING WATER METER
- = EXISTING WATER VALVE
- = STORM DRAIN CLEANOUT
- = EXISTING STORM DRAIN
- = EXISTING CONTROL VALVE
- = EXISTING STORM DRAIN BOX
- = STORM BOX CURB
- = OHP - OVER HEAD UTILITY WIRES
- = EXISTING LIGHT POLE
- = BLOCK CORNER
- = EXISTING SEWER MANHOLE
- = EXISTING GAS METER
- = EXISTING GAS VALVE
- = PHONE UTILITY SERVICE
- = FIBER OPTIC COMM.
- = CABLE BOX
- = COMMUNICATION MANHOLE
- = ELECTRIC METER
- = EXISTING TRANSFORMER
- = ELECTRIC BOX
- = ELECTRIC MANHOLE
- = EXISTING UTILITY BOX
- = EXISTING UTILITY MANHOLE
- = EXISTING UTILITY POLE
- = EXISTING GUY WIRE
- = CHAINING/WIRE FENCE
- = WOOD/VINYL FENCE
- = EXISTING ROCK RETAINING WALL

300 WEST STREET  
50° 01' 05"E 792.01'

BASIS OF BEARING N 00° 01' 05" W  
(MEASURED DISTANCE = 792.01') RECORD= 791.72'  
PER SALT LAKE CITY ATLAS PLAT A

80° 01' 28"W 660.24'

200 WEST STREET  
(N0° 01' 57"W 792.13' MEASURED)

RECORD N 00° 01' 07" W 791.72'  
PER SALT LAKE CITY ATLAS PLAT A

N0° 00' 36"E 660.41'

FOUND STREET MONUMENT  
STD. 3" BRASS CAP IN  
CONC. WITH RING & LID  
RECORD ELEVATION=4244.82  
Southwest Corner of Lot 4,  
Block 132, Plat A Salt Lake  
City Survey

LOT 4  
36,040 SQ.FT  
0.827 ACRES

Southeast Corner of Lot 3,  
Block 132, Plat A Salt Lake  
City Survey

FOUND STREET MONUMENT  
STD. 2" BRASS CAP IN  
CONC. WITH RING & LID

RECORD N 89° 59' 51" W 791.91'  
PER SALT LAKE CITY ATLAS PLAT A  
500 NORTH STREET

DRAWING TITLE

# SURVEY

CLIENT

**EVEREST BUILDERS**  
676 EAST MARKEA AVE #9  
SLAT LAKE CITY, UTAH 84102  
801-554-8424

COMPLETION STATUS

PRELIMINARY ONLY

PROJECT

**MARMALADE TOWNHOMES**  
500 NORTH 240 WEST  
SALT LAKE CITY, UTAH

SURVEY NOTES:

### SURVEYOR'S CERTIFICATE

I, Richard K Johanson, Do hereby certify that I am a Professional Land Surveyor, holding certificate No. 152956, as prescribed under the laws of the State of Utah, and that I have made a survey of the described tract of land as shown on this plat and that this survey retraces lot lines and may have adjusted said lot lines to coincide with found evidence and other interpolations based from ground measurements and found records. Furthermore I recognize that other unwritten rights of ownership or lines of possession may exist, I do not imply to certify any of those rights, unless agreed upon by the appropriate parties.

### LEGAL DESCRIPTION

- All of lot 4 of the Marmalade district. (parcel 205038).
- Arctic Court a 20' wide perpetual right-of-way extending 330.16' more or less to the center block line. (parcel 206018).
- Parcels along East Side of Arctic Court parcels: (0601.3) (06012), (206011), (206010), (206018) of block 132 plat 'a', including alleyways.

### TOPOGRAPHICAL SURVEY NOTES

This Survey was performed at the request of Eric Saxe of Everest Builders for the purpose to locate contours and elevations of the ground in relationship to the i positioning of this lot. For the sole purpose of constructing Townhomes to be known as Marmalade District. Shown on this survey are one foot Contours Highlighted at five foot intervals. Found Survey caps and set plugs along with Monumentation of block 132 plat 12 of the official survey of Plat A have been located, utilized in determining the position of lots shown on this survey.

The elevation base is determined Salt lake county Surveyors Monument. The project benchmark, for is the top of 3" brass cap located in the intersection of 500 North Street and 300 West street. Northing: 2271739.61 Easting: 466260.147 The project bench mark is 4244.82 feet.

REVISIONS:

REV #	DESCRIPTION	DATE

**JOHANSON ENGINEERING**  
CIVIL • PLANNING • SURVEYING

2150 SOUTH 1300 EAST SUITE 500  
SALT LAKE CITY, UTAH  
PHONE (801) 801-990-2775

COPYRIGHT

THIS DRAWING IS AND AT ALL TIMES REMAINS THE EXCLUSIVE PROPERTY OF JOHANSON ENGINEERING SHALL NOT BE USED WITH OUT COMPLETE AUTHORIZATION AND WRITTEN SUPPORT.

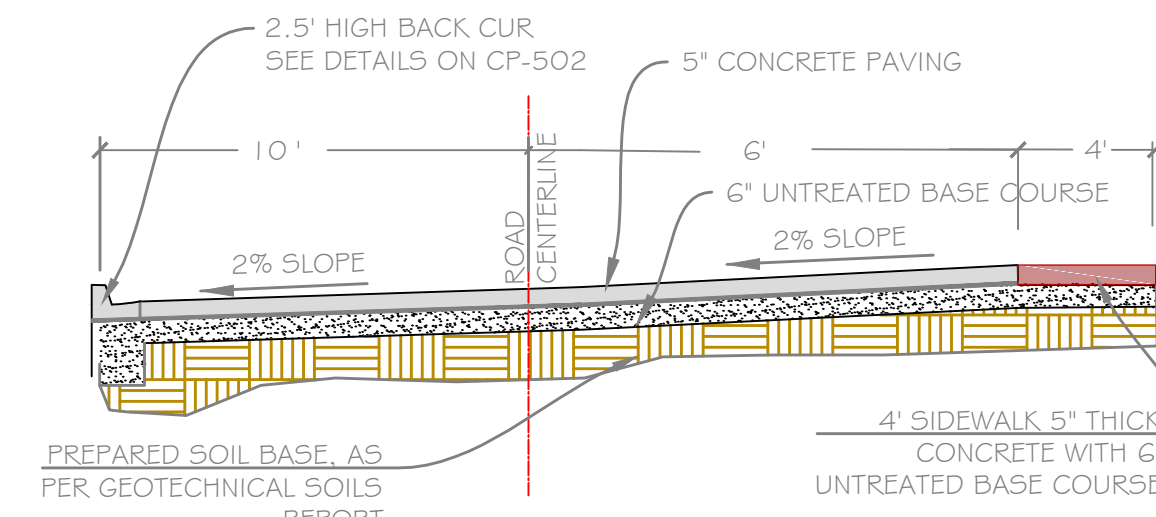
STAMP	PROJECT NO.
	E-15-15
	DATE 7/20/15
	DRAWN BY CAREY D. JOHANSON, P.E.
	CHECKED BY SHANE JOHANSON, P.L.S.
	SHEET NUMBER C-03

# MARMALADE SITE PLAN 12 TOWN HOME DEVELOPMENT

DRAWING TITLE

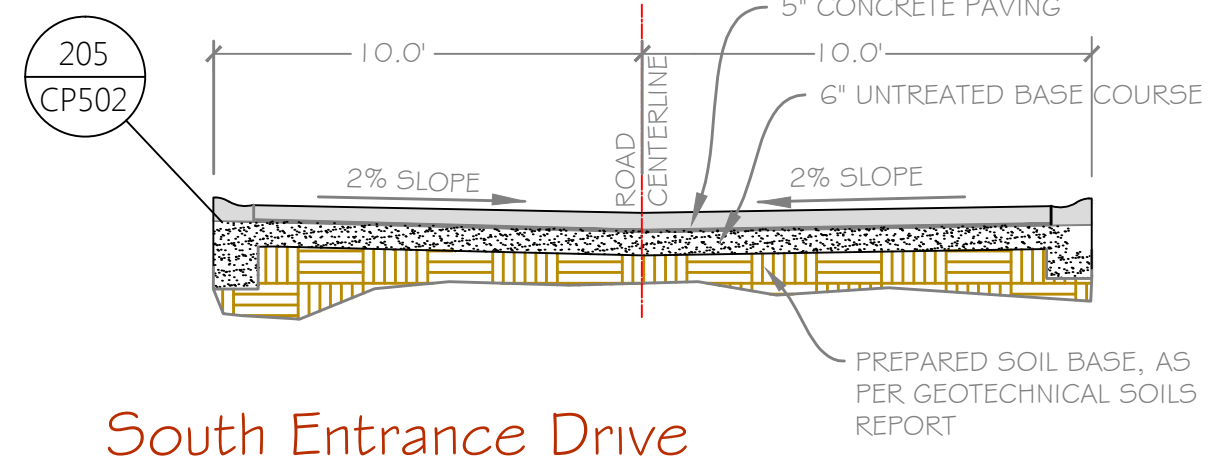
## MARMALADE SITE PLAN

### Typical road way sections



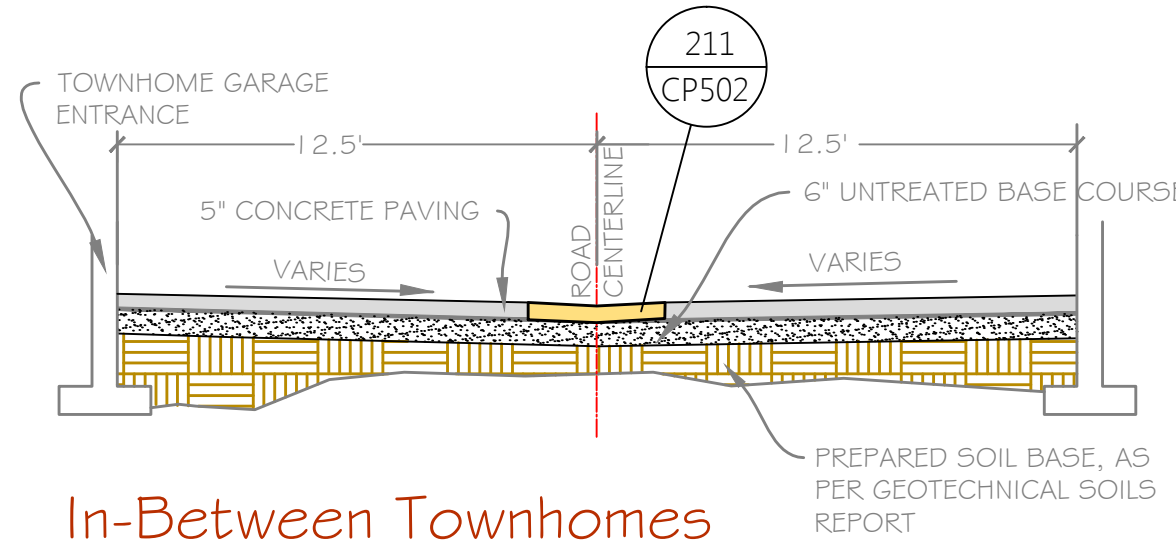
### Arctic Court Private Lane

Section A-A (NTS)



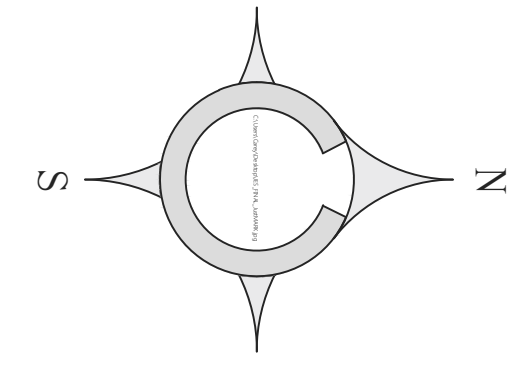
### South Entrance Drive

Section B-B (NTS)



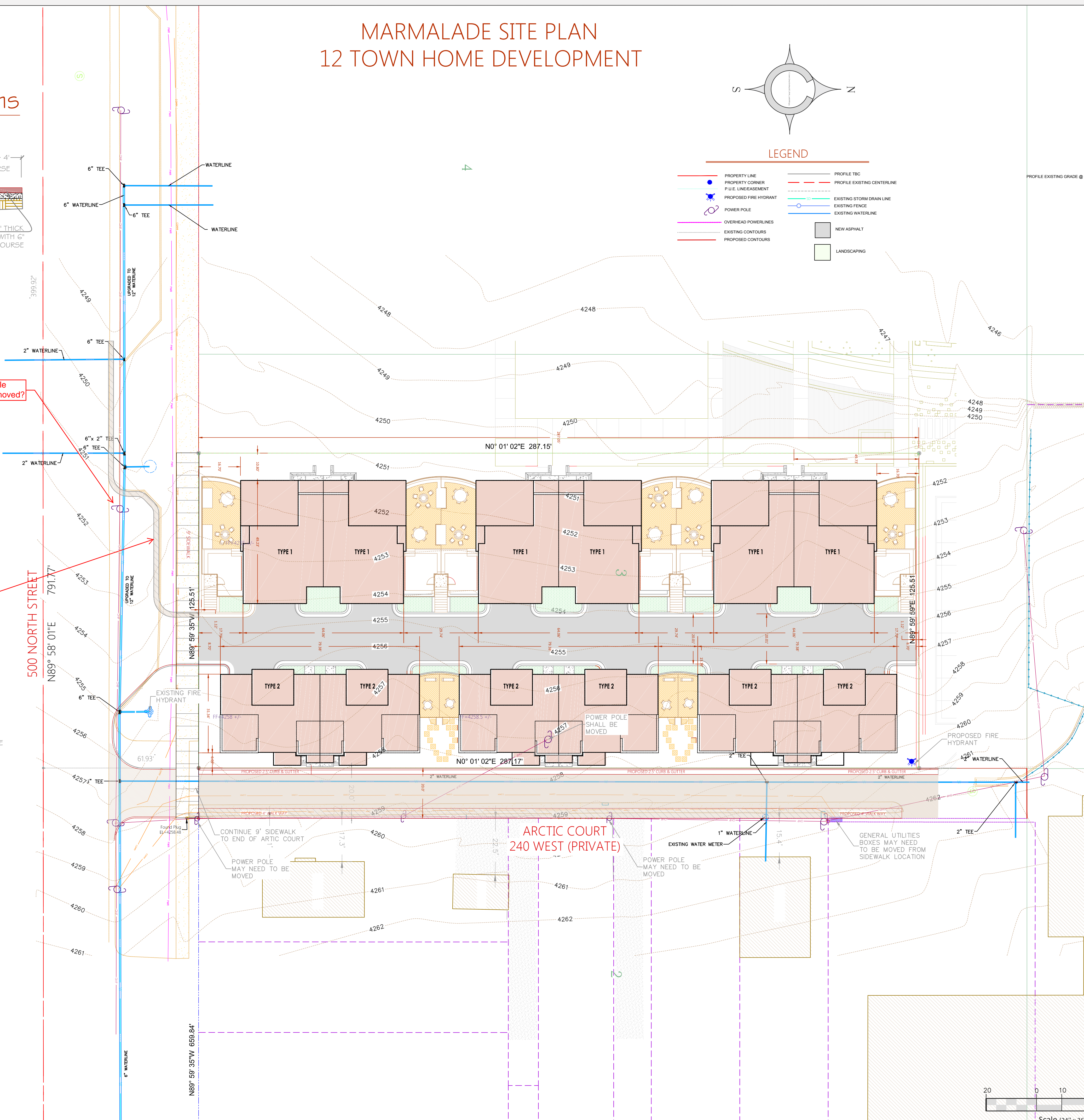
### In-Between Townhomes

Section C-C (NTS)



### LEGEND

- PROPERTY LINE
- PROPERTY CORNER
- P.U.E. LINE/EASEMENT
- PROPOSED FIRE HYDRANT
- POWER POLE
- OVERHEAD POWERLINES
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROFILE TBC
- PROFILE EXISTING CENTERLINE
- EXISTING STORM DRAIN LINE
- EXISTING FENCE
- EXISTING WATERLINE
- NEW ASPHALT
- LANDSCAPING



Does this pole need to be moved?

What does the narrow shaded strip represent? Is there value in leaving the existing cut back parking stalls here?

Please show Section B-B on the plan view.

- ### GENERAL NOTES
1. INSTALL IMPROVEMENTS TO SALT LAKE CITY, UTAH STANDARDS WHEN WORKING WITHIN UDOT RIGHT OF WAY IMPROVEMENTS NEEDS TO MEET THE CURRENT UDOT, AASHTO AND MUTCD STANDARDS.
  2. MAINTAIN A MINIMAL 10' DISTANCE BETWEEN WATER AND SEWER LINES.
  3. A MINIMAL 18" OF CLEARANCE IS REQUIRED WHERE SEWER AND WATER CROSS.
  4. A MINIMAL 12" OF CLEARANCE IS REQUIRED WHERE CROSSING EXISTING GAS LINE.
  5. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW UTILITY LINES.
  6. A MINIMUM OF 4.0 FEET OF COVER REQUIRED OVER ALL WATER LINES.
  7. CONTRACTOR RESPONSIBLE FOR OBTAINING SALT LAKE CITY STANDARDS AND APWA 2012 SPECIFICATIONS AND CONSTRUCTION STANDARDS.
  8. CONTRACTORS RESPONSIBILITY TO OBTAIN AND FOLLOW THE SOILS REPORT AND ITS RECOMMENDATIONS.
  9. CONTRACTOR RESPONSIBILITY TO VERIFY CIVIL SITE PLAN AND BUILDING DIMENSIONS MATCH BUILDING PLANS BEFORE STARTING CONSTRUCTION.
  10. ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH SALT LAKE CITY PUBLIC UTILITIES AND CONSTRUCTION SPECIFICATIONS.
  11. ALL CATCH BASINS AND MANHOLES TO BE INSTALLED PER SALT LAKE CITY STANDARDS.
  12. ALL UTILITY LINES SHALL BE TRENCHING AND BACKFILLED WITH SELECT GRANULAR FILL AS SALT LAKE CITY PUBLIC UTILITIES (SLCPU) STANDARD OF PRACTICE # 1 OR APWA 2012 STANDARDS. UTILITIES WITH IN THE UDOT RIGHT OF WAY NEEDS TO BE BACKFILLED TO UDOT STANDARDS.
  13. ALL STORM DRAIN PIPING TO BE CUT OFF FLUSH WITH INSIDE WALL OF DRAINAGE BOX. INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
  14. CONTRACTOR TO REPLACE ANY AREAS AROUND CONSTRUCTION SITE THAT IS DAMAGED DURING CONSTRUCTION.
  15. THERE SHALL BE NO CHANGES TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
  16. REVIEW AND INCORPORATE THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
  17. LOCATION (HORIZONTAL AND VERTICAL) OF UNDERGROUND UTILITIES SHALL BE UNCOVERED BY THE CONTRACTOR AT THE BEGINNING OF THE PROJECT TO SEE IF THEY IMPACT THE DESIGN.
  18. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY ON THE SITE AT ALL TIMES AND SHALL OBTAIN THE NECESSARY PERMITS TO ACCOMPLISH THE JOB.
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### REVISIONS:

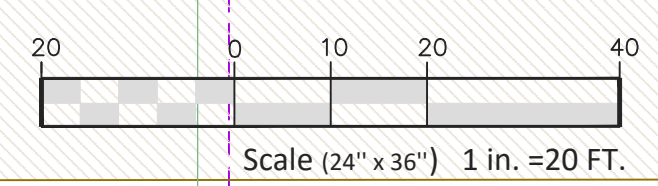
REV #	DESCRIPTION	DATE

### JOHANSON ENGINEERING CIVIL • PLANNING • SURVEYING

2150 SOUTH 1300 EAST SUITE 500  
SALT LAKE CITY, UTAH  
PHONE (801) 801-990-2775

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STAMP	PROJECT NO. E-15-15
DATE 7/20/15	DRAWN BY CAREY D. JOHANSON, P.E.
CHD BY JAKE WEBER, PE	SHEET NUMBER C-04



DRAWING TITLE

# MARMALADE SITE PLAN

Grading

CLEINT

## EVEREST BUILDERS

676 EAST MARKEA AVE #9  
SLAT LAKE CITY, UTAH 84102  
801-554-8424

COMPLETION STATUS

PRELIMINARY ONLY

PROJECT

MARMALADE TOWNHOMES  
500 NORTH 240 WEST  
SALT LAKE CITY, UTAH

GENERAL NOTES

1. INSTALL IMPROVEMENTS TO SALT LAKE CITY, UTAH STANDARDS, WHEN WORKING WITHIN UDOT RIGHT OF WAY IMPROVEMENTS NEEDS TO MEET THE CURRENT UDOT, AASHTO AND MUTCD STANDARDS.
2. MAINTAIN A MINIMAL 10' DISTANCE BETWEEN WATER AND SEWER LINES.
3. A MINIMAL 18" OF CLEARANCE IS REQUIRED WHERE SEWER AND WATER CROSS.
4. A MINIMAL 12" OF CLEARANCE IS REQUIRED WHERE CROSSING EXISTING GAS LINE.
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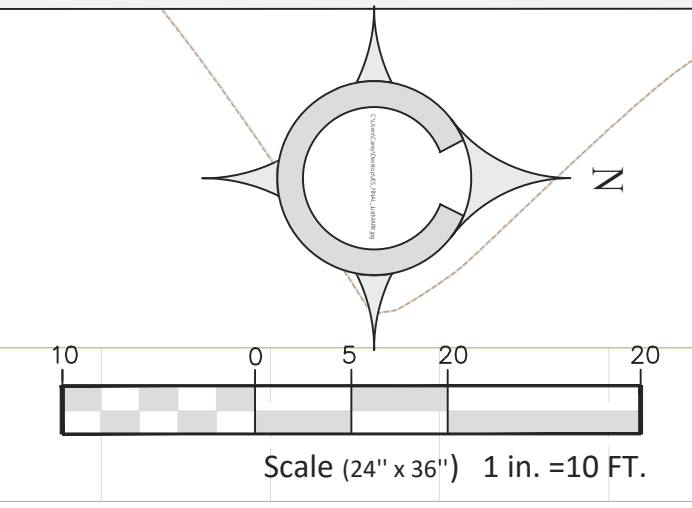
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	7/20/15
	DRAWN BY CAREY D. JOHANSON, P.E.
	CHECKED BY JAKE WEBER, PE
	SHEET NUMBER
	C-05

### LEGEND

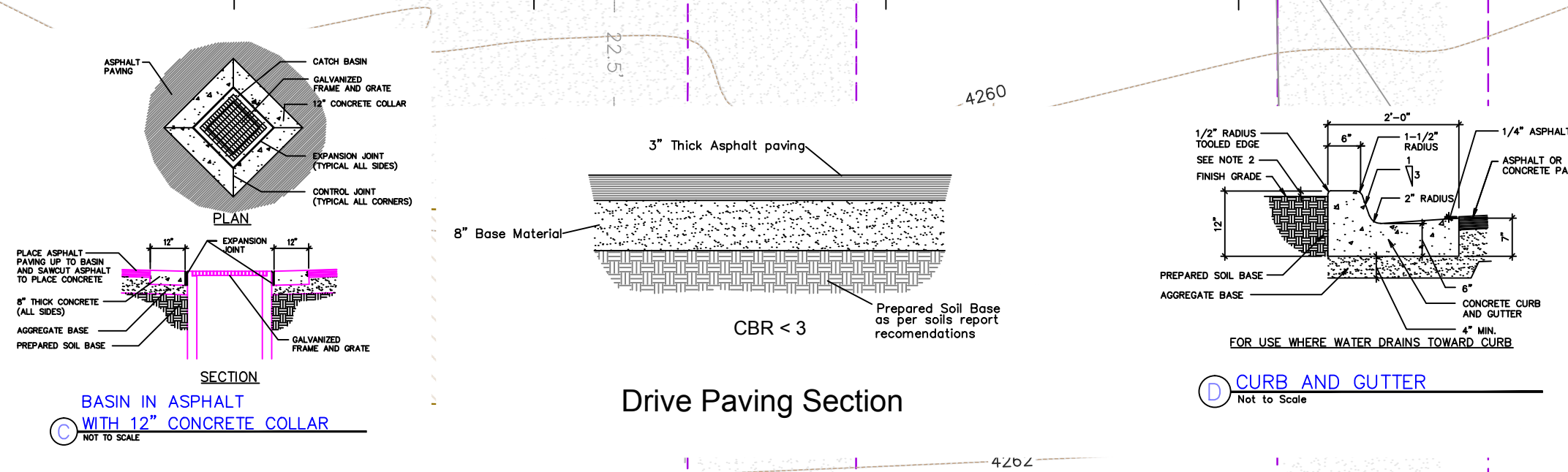
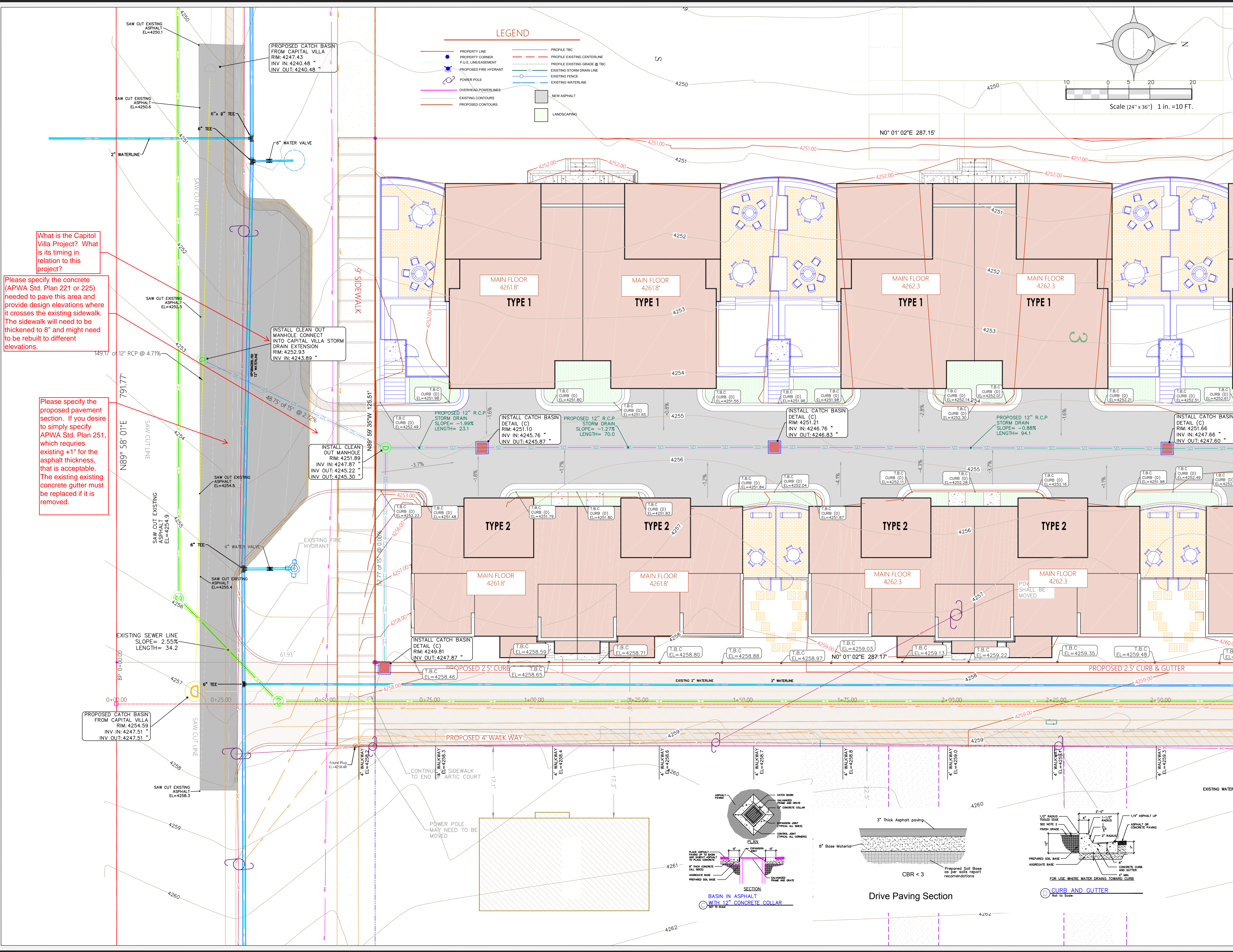
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	PROPERTY CORNER		PROFILE EXISTING CENTERLINE
	P.U.E. LINE/SEGMENT		PROFILE EXISTING GRADE @ TBC
	PROPOSED FIRE HYDRANT		EXISTING STORM DRAIN LINE
	POWER POLE		EXISTING FENCE
	OVERHEAD POWERLINES		EXISTING WATERLINE
	EXISTING CONTOURS		NEW ASPHALT
	PROPOSED CONTOURS		LANDSCAPING



What is the Capitol Villa Project? What is its timing in relation to this project?

Please specify the concrete (APWA Std. Plan 221 or 225) needed to pave this area and provide design elevations where it crosses the existing sidewalk. The sidewalk will need to be thickened to 8" and might need to be rebuilt to different elevations.

Please specify the proposed pavement section. If you desire to simply specify APWA Std. Plan 251, which requires existing +1" for the asphalt thickness, that is acceptable. The existing existing concrete gutter must be replaced if it is removed.



# MARMALADE SITE PLAN

Grading

CLEINT

## EVEREST BUILDERS

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PRELIMINARY ONLY

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### REVISIONS:

REV #	DESCRIPTION	DATE
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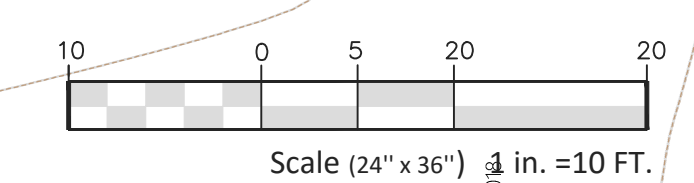
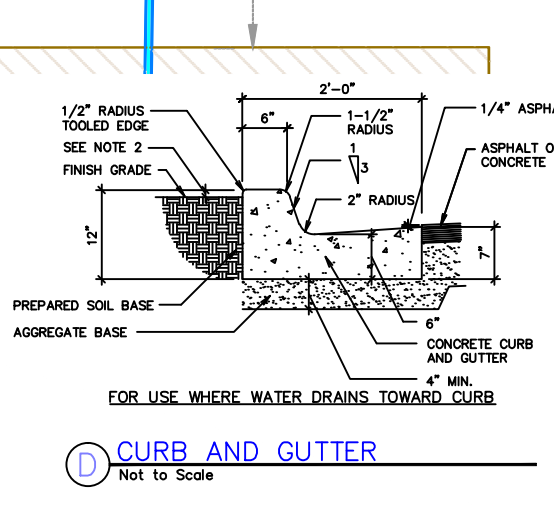
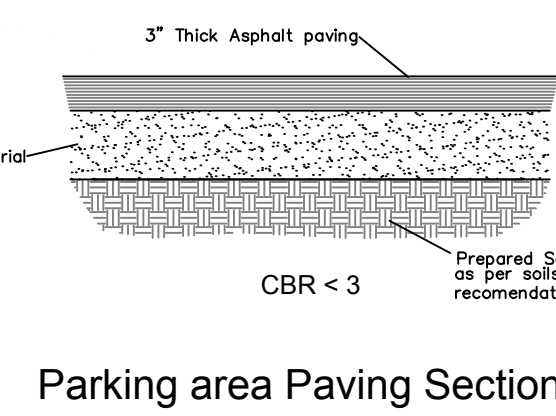
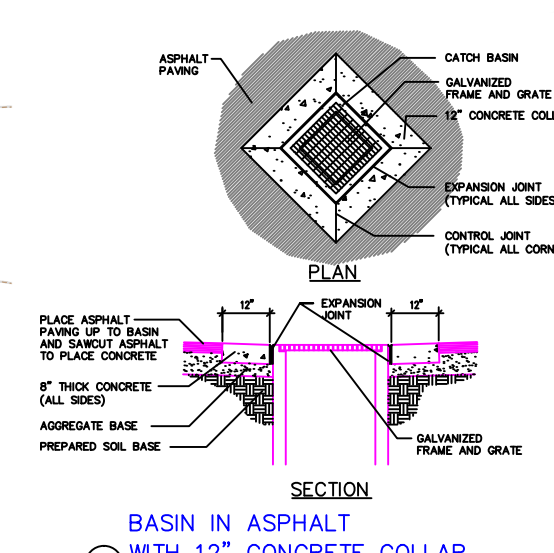
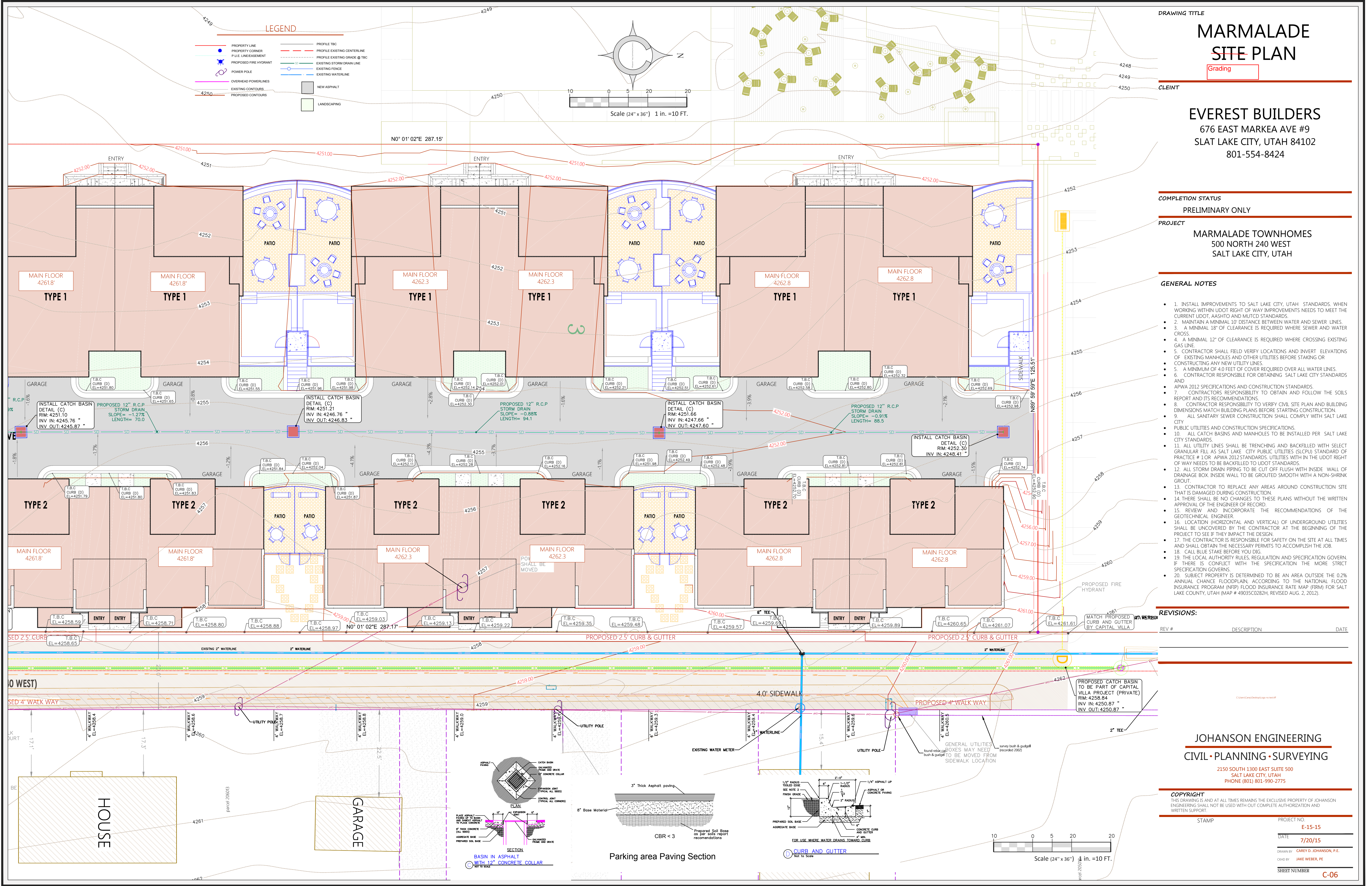
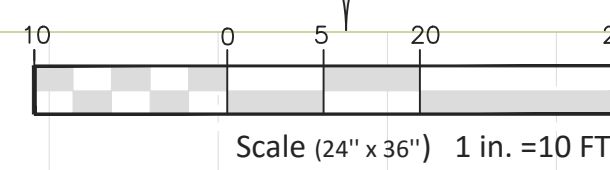
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STAMP	PROJECT NO. E-15-15
DATE 7/20/15	DRAWN BY CAREY D. JOHANSON, P.E.
CHECKED BY JAKE WEBER, PE	SHEET NUMBER C-06

### LEGEND

- PROPERTY LINE
- PROPERTY CORNER
- PROPOSED FIRE HYDRANT
- POWER POLE
- OVERHEAD POWERLINES
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROFILE T.B.C.
- PROFILE EXISTING CENTERLINE
- PROFILE EXISTING GRADE @ T.B.C.
- EXISTING STORM DRAIN LINE
- EXISTING WATERLINE
- NEW ASPHALT
- LANDSCAPING



DRAWING TITLE

# MARMALADE SITE PLAN

Utility

CLEINT

## EVEREST BUILDERS

676 EAST MARKEA AVE #9  
SLAT LAKE CITY, UTAH 84102  
801-554-8424

COMPLETION STATUS

PRELIMINARY ONLY

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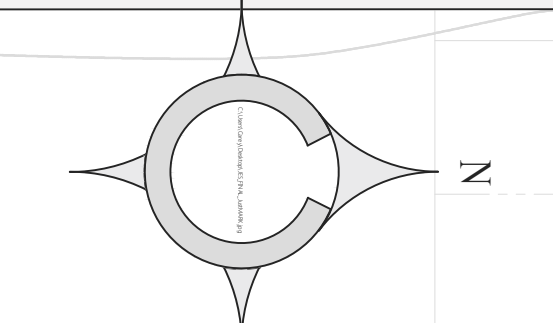
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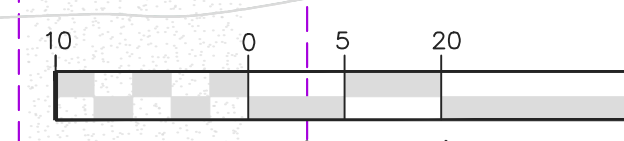
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	CHECKED BY JAKE WEBER, PE
	SHEET NUMBER C-07



Scale (24" x 36") 1 in. = 10 FT.



Scale (24" x 36") 1 in. = 10 FT.

WYE INTO EXISTING SEWER LINE AS PER SALT LAKE CITY PUBLIC UTILITIES STDS CONNECT EL=4243.80 +/-

PROPOSED 6" P.V.C SDR 35 SEWER LATERAL SLOPE = -1.00% LENGTH = 56.2

INSTALL 4" SEWER LATERAL PVC SDR 35 WITH CLEAN OUT 2' AWAY FROM BUILDING WYE CONNECTION INTO THE PROPOSED 6" SEWER LINE SEE PLUMBING PLANS FOR CONNECTION!

PROPOSED 6" P.V.C SDR 35 SEWER LATERAL SLOPE = -1.00% LENGTH = 93.8

INSTALL 4" SEWER LATERAL PVC SDR 35 WITH CLEAN OUT 2' AWAY FROM BUILDING WYE CONNECTION INTO THE PROPOSED 6" SEWER LINE SEE PLUMBING PLANS FOR CONNECTION!

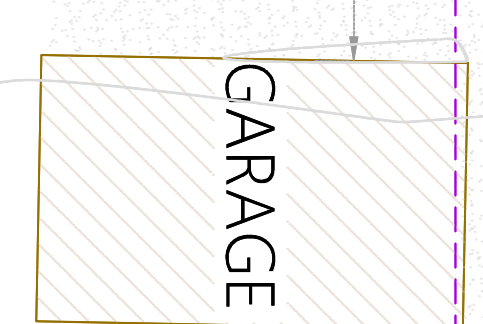
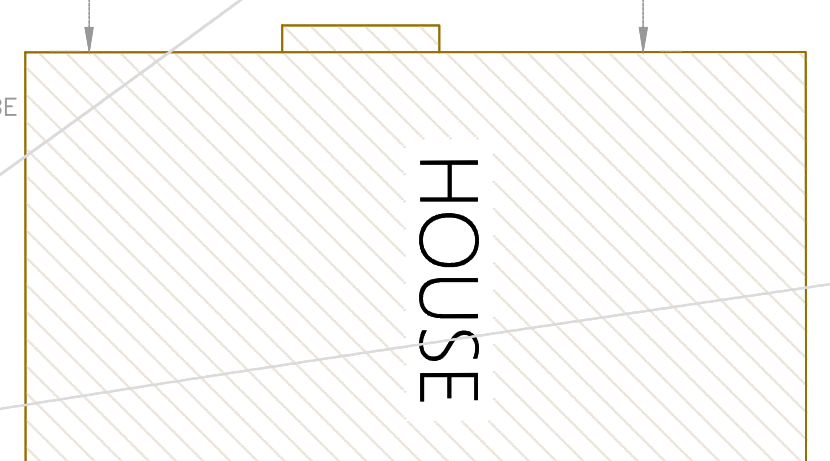
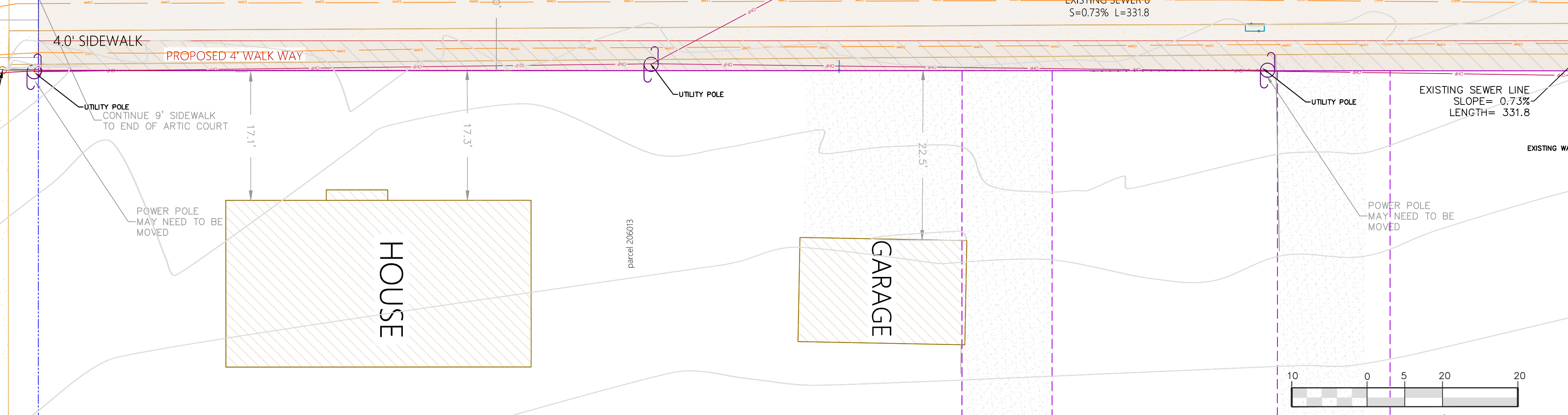
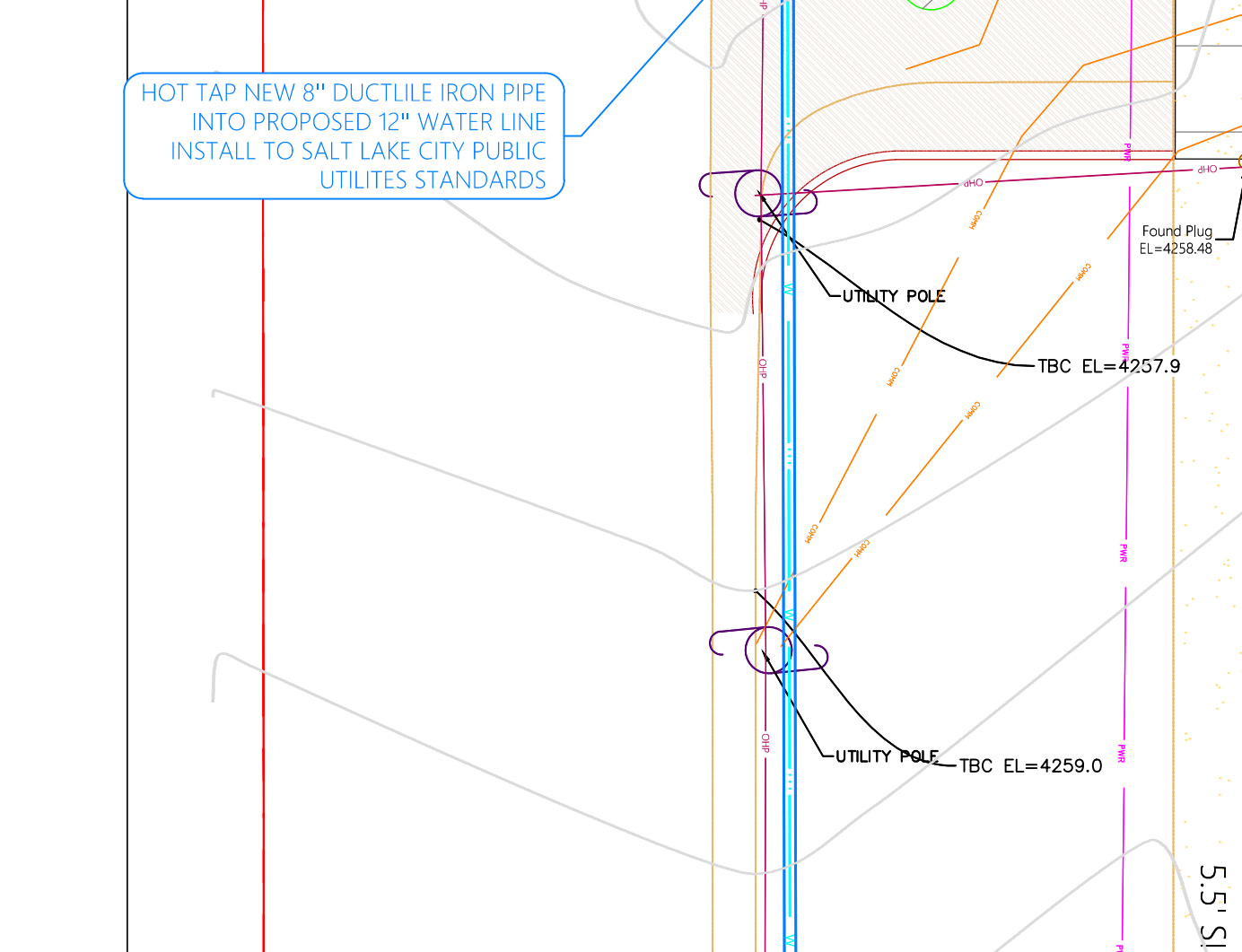
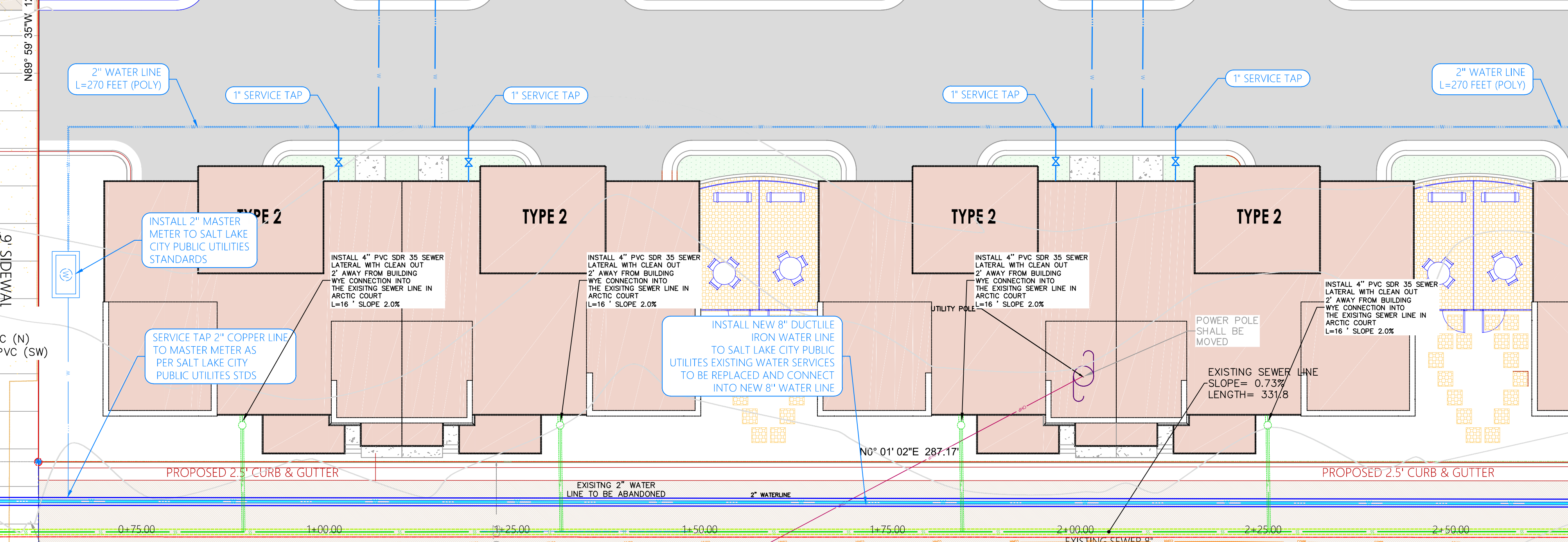
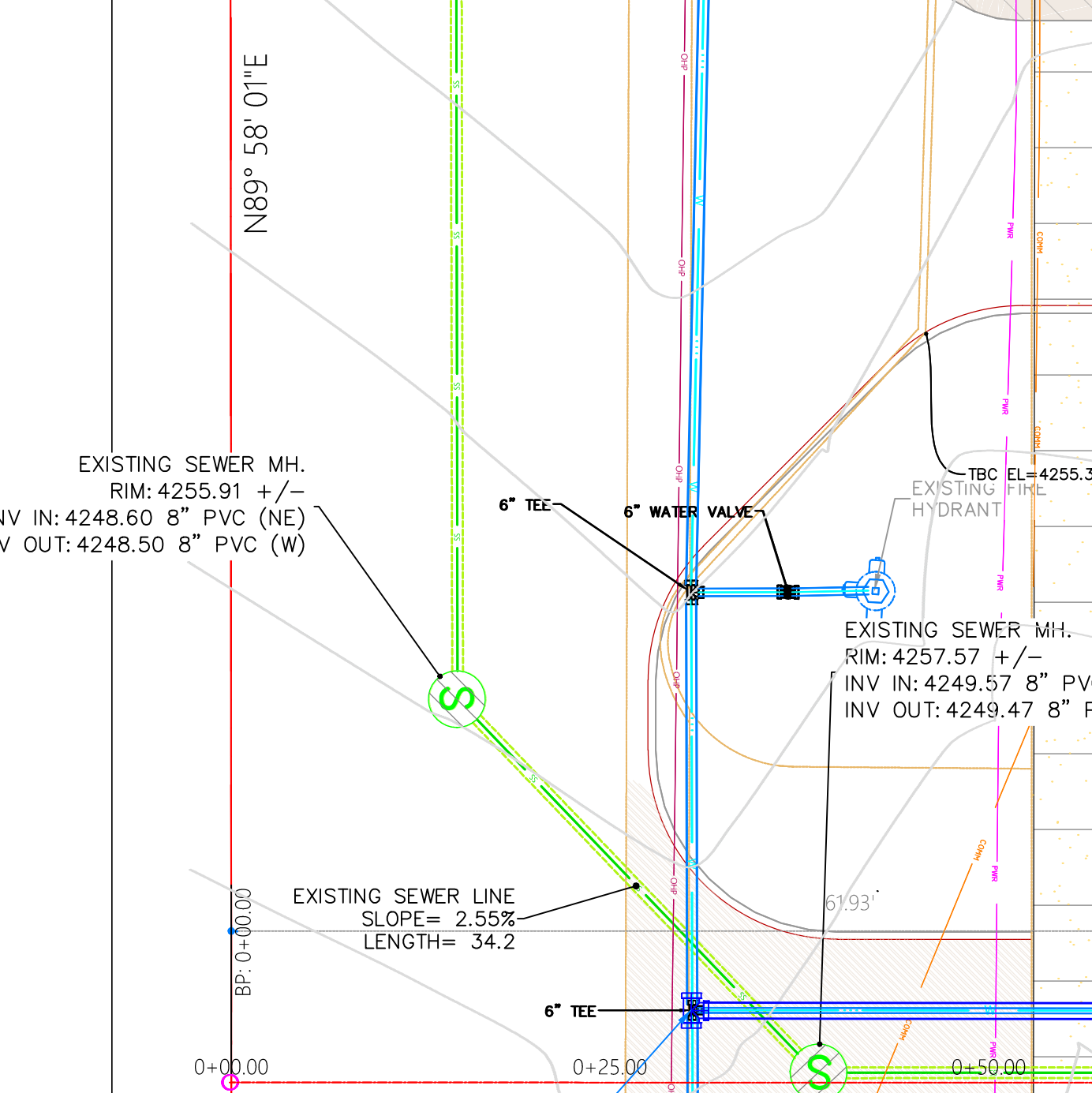
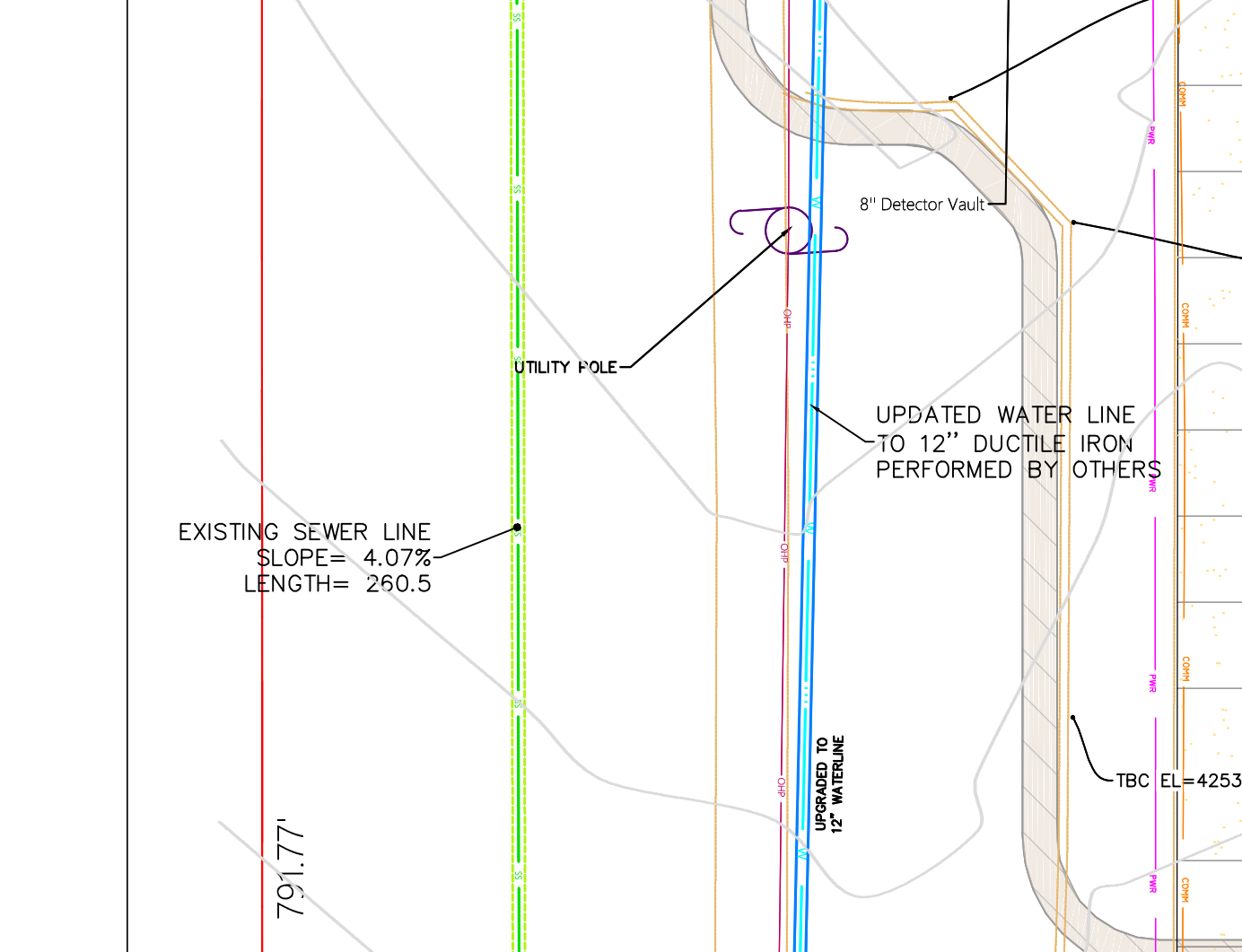
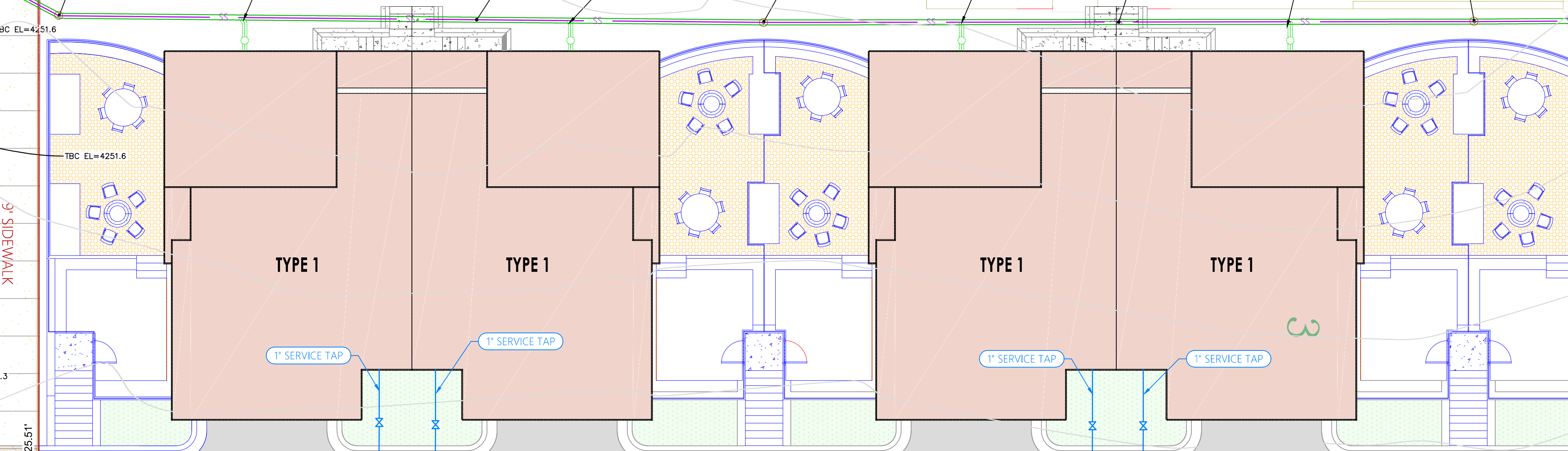
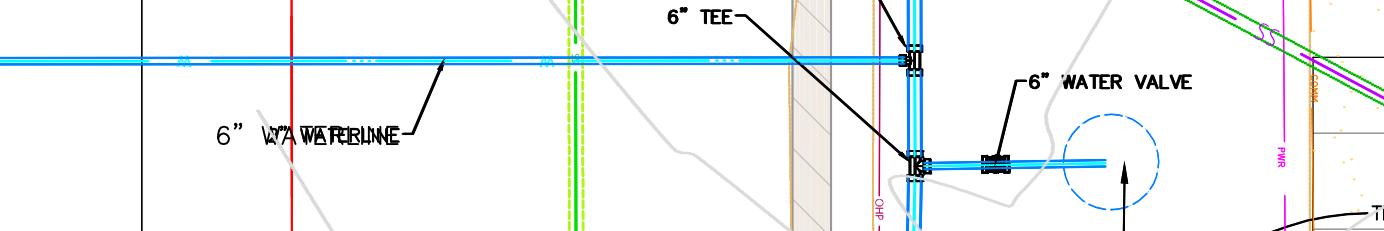
PROPOSED 6" P.V.C SDR 35 SEWER LATERAL SLOPE = -1.00% LENGTH = 94.6

INSTALL CLEAN OUT INV IN: 4246.25 " INV OUT: 4246.25 "

INSTALL CLEAN OUT INV IN: 4244.36 " INV OUT: 4244.36 "

INSTALL 4" SEWER LATERAL PVC SDR 35 WITH CLEAN OUT 2' AWAY FROM BUILDING WYE CONNECTION INTO THE PROPOSED 6" SEWER LINE SEE PLUMBING PLANS FOR CONNECTION!

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DRAWING TITLE

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Utility

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PROJECT NO.

E-15-15

DATE

7/20/15

DRAWN BY

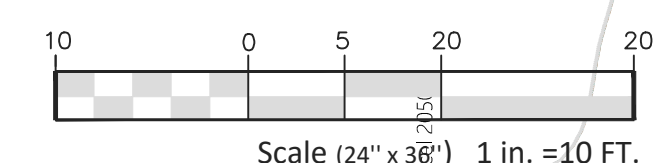
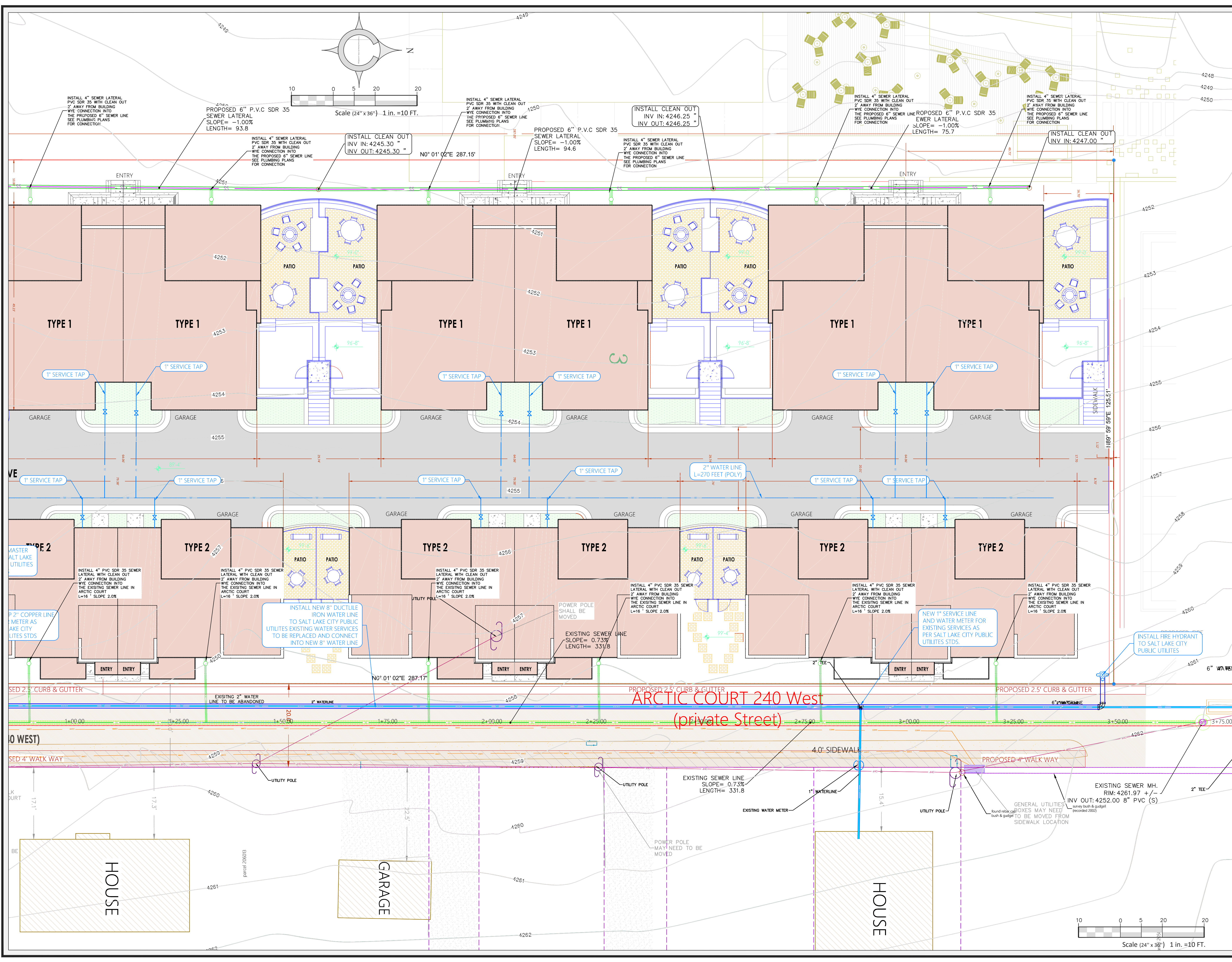
CAREY D. JOHANSON, P.E.

CHECKED BY

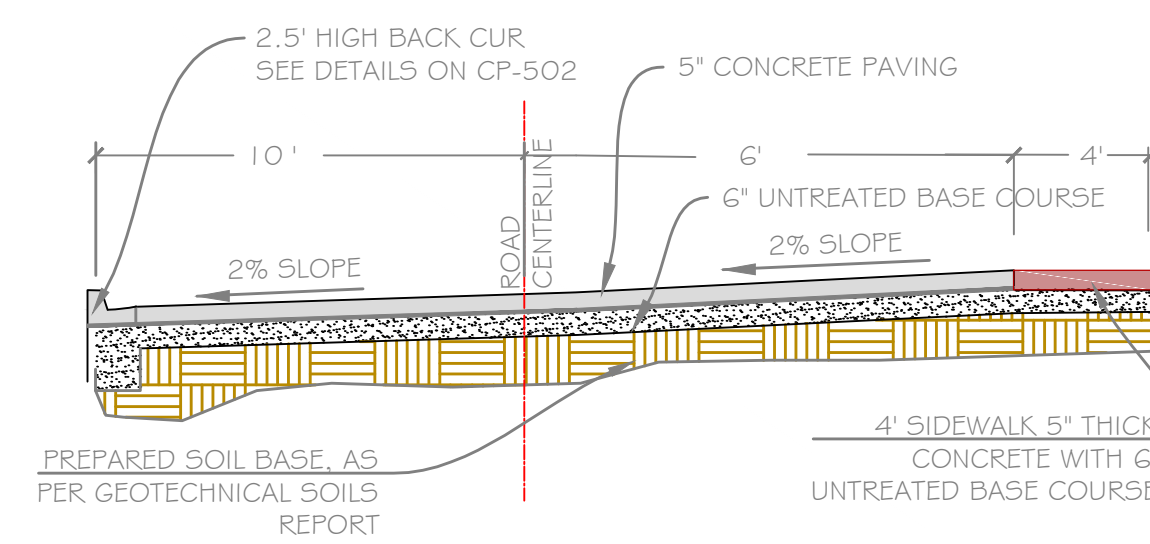
JAKE WEBER, PE

SHEET NUMBER

C-08

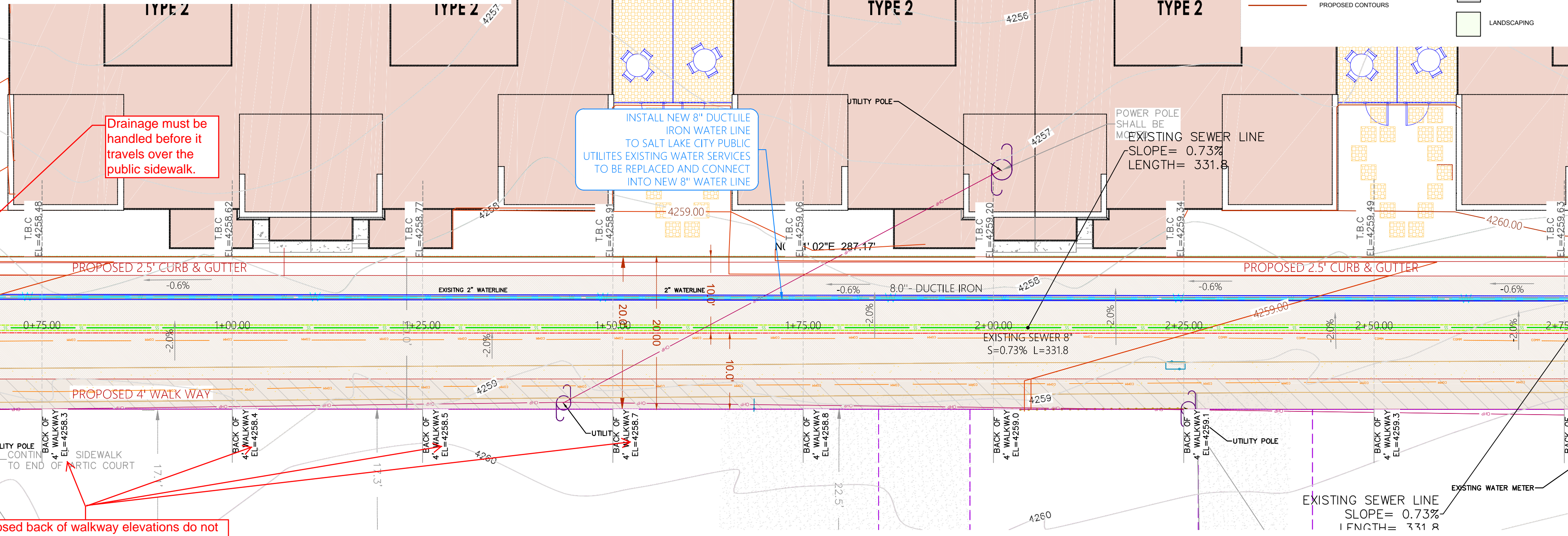


### Typical road way sections



### Arctic Court Private Lane

#### Section A-A (NTS)



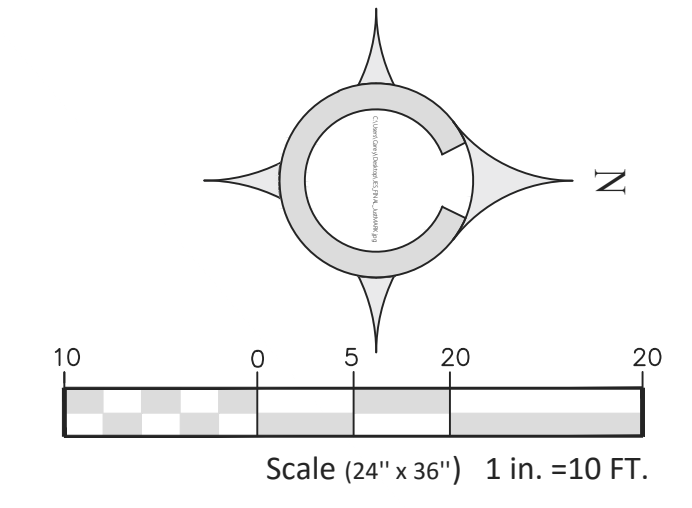
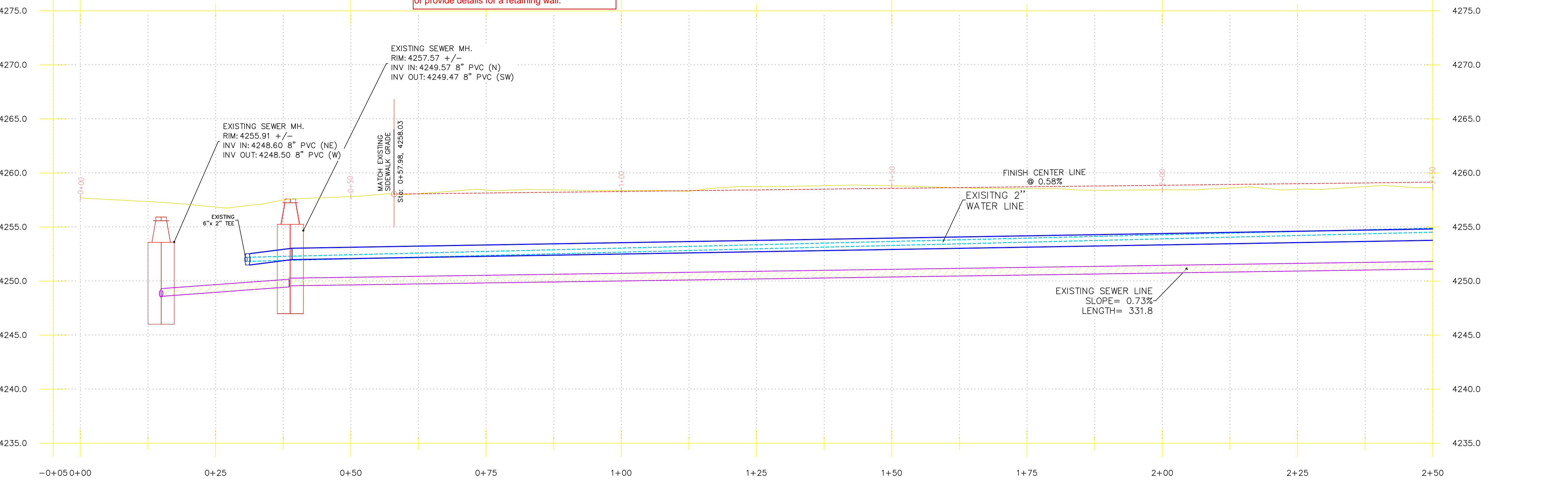
Please identify the restoration to be done in the existing drive approach and elsewhere in 500 North and specify the appropriate APWA Standard Plan for that work.

Drainage must be handled before it travels over the public sidewalk.

INSTALL NEW 8" DUCTILE IRON WATER LINE TO SALT LAKE CITY PUBLIC UTILITIES EXISTING WATER SERVICES TO BE REPLACED AND CONNECT INTO NEW 8" WATER LINE

The proposed back of walkway elevations do not match the existing contours nor do they equate to a 2% cross slope on Arctic Court. Please examine this aspect of the design. If proposed elevations are not changed, please clarify if additional grading is to occur east of the walkway or provide details for a retaining wall.

### ARCTIC COURT PLAN VIEW HORIZONTAL SCALE 1"=10'



**LEGEND**

PROPERTY LINE	PROFILE TBC
PROPERTY CORNER	PROFILE EXISTING CENTERLINE
P.U.E. LINE/SEWAGE	PROFILE EXISTING GRADE @ TBC
PROPOSED FIRE HYDRANT	EXISTING STORM DRAIN LINE
POWER POLE	EXISTING FENCE
OVERHEAD POWERLINES	EXISTING WATERLINE
EXISTING CONTOURS	NEW ASPHALT
PROPOSED CONTOURS	LANDSCAPING

**DRAWING TITLE**  
**ARCTIC COURT**

**CLIENT**  
**EVEREST BUILDERS**  
 676 EAST MARKEA AVE #9  
 SLAT LAKE CITY, UTAH 84102  
 801-554-8424

**COMPLETION STATUS**  
 PRELIMINARY ONLY

**PROJECT**  
 MARMALADE TOWNHOMES  
 500 NORTH 240 WEST  
 SALT LAKE CITY, UTAH

- GENERAL NOTES**
1. INSTALL IMPROVEMENTS TO SALT LAKE CITY, UTAH STANDARDS. WHEN WORKING WITHIN UDOT RIGHT OF WAY IMPROVEMENTS NEEDS TO MEET THE CURRENT UDOT, AASHTO AND MUTCD STANDARDS.
  2. MAINTAIN A MINIMAL 10' DISTANCE BETWEEN WATER AND SEWER LINES.
  3. A MINIMAL 18" OF CLEARANCE IS REQUIRED WHERE SEWER AND WATER CROSS.
  4. A MINIMAL 12" OF CLEARANCE IS REQUIRED WHERE CROSSING EXISTING GAS LINE.
  5. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW UTILITY LINES.
  6. A MINIMUM OF 4.0 FEET OF COVER REQUIRED OVER ALL WATER LINES.
  7. CONTRACTOR RESPONSIBLE FOR OBTAINING SALT LAKE CITY STANDARDS AND APWA 2012 SPECIFICATIONS AND CONSTRUCTION STANDARDS.
  8. CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND FOLLOW THE SOILS REPORT AND ITS RECOMMENDATIONS.
  9. CONTRACTOR RESPONSIBILITY TO VERIFY CIVIL SITE PLAN AND BUILDING DIMENSIONS MATCH BUILDING PLANS BEFORE STARTING CONSTRUCTION.
  10. ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH SALT LAKE CITY PUBLIC UTILITIES AND CONSTRUCTION SPECIFICATIONS.
  11. ALL CATCH BASINS AND MANHOLES TO BE INSTALLED PER SALT LAKE CITY STANDARDS.
  12. ALL UTILITY LINES SHALL BE TRENCHING AND BACKFILLED WITH SELECT GRANULAR FILL AS SALT LAKE CITY PUBLIC UTILITIES (SLCPU) STANDARD OF PRACTICE # 1 OR APWA 2012 STANDARDS. UTILITIES WITHIN THE UDOT RIGHT OF WAY NEEDS TO BE BACKFILLED TO UDOT STANDARDS.
  13. ALL STORM DRAIN PIPING TO BE CUT OFF FLUSH WITH INSIDE WALL OF DRAINAGE BOX. INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
  14. CONTRACTOR TO REPLACE ANY AREAS AROUND CONSTRUCTION SITE THAT IS DAMAGED DURING CONSTRUCTION.
  15. THERE SHALL BE NO CHANGES TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
  16. REVIEW AND INCORPORATE THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
  17. LOCATION (HORIZONTAL AND VERTICAL) OF UNDERGROUND UTILITIES SHALL BE UNCOVERED BY THE CONTRACTOR AT THE BEGINNING OF THE PROJECT TO SEE IF THEY IMPACT THE DESIGN.
  18. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY ON THE SITE AT ALL TIMES AND SHALL OBTAIN THE NECESSARY PERMITS TO ACCOMPLISH THE JOB.
  19. CALL BLUE STAKE BEFORE YOU DIG.
  20. THE LOCAL AUTHORITY RULES, REGULATION AND SPECIFICATION GOVERN. IF THERE IS CONFLICT WITH THE SPECIFICATION THE MORE STRICT SPECIFICATION GOVERNS.
  21. SUBJECT PROPERTY IS DETERMINED TO BE AN AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) FOR SALT LAKE COUNTY, UTAH (MAP # 49035C0282H, REVISED AUG. 2, 2012).

**REVISIONS:**

REV #	DESCRIPTION	DATE

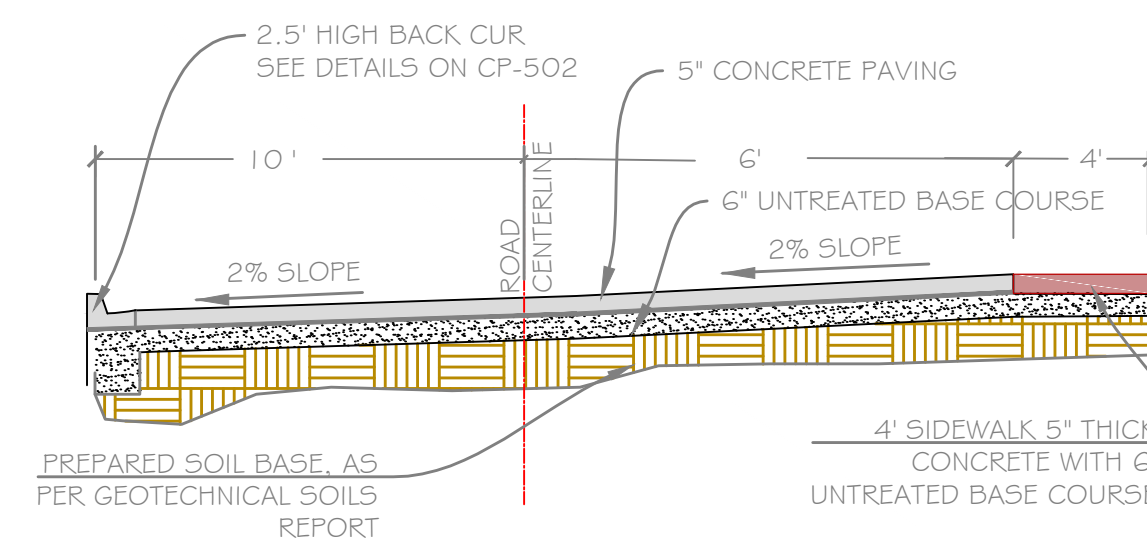
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2150 SOUTH 1300 EAST SUITE 500  
 SALT LAKE CITY, UTAH  
 PHONE (801) 801-990-2775

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STAMP	PROJECT NO. E-15-15
DATE 7/20/15	DRAWN BY CAREY D. JOHANSON, P.E.
CHECKED BY JAKE WEBER, PE	SHEET NUMBER C-09

### Typical road way sections



### Arctic Court Private Lane

#### Section A-A (NTS)

INSTALL NEW 8" DUCTILE IRON WATER LINE TO SALT LAKE CITY PUBLIC UTILITIES EXISTING WATER SERVICES TO BE REPLACED AND CONNECT INTO NEW 8" WATER LINE

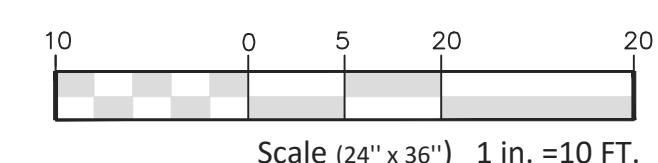
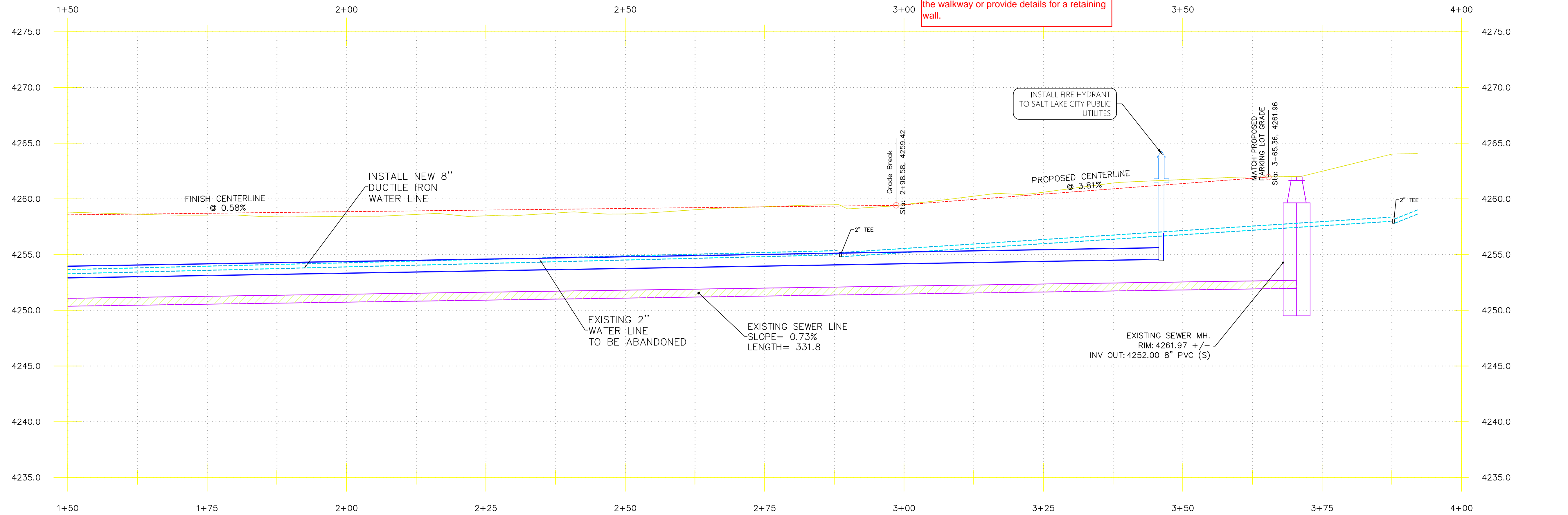
EXISTING SEWER LINE SLOPE= 0.73% LENGTH= 331.8

INSTALL FIRE HYDRANT TO SALT LAKE CITY PUBLIC UTILITIES

INSTALL NEW 8" DUCTILE IRON WATER LINE

The proposed back of walkway elevations do not match the existing contours nor do they equate to a 2% cross slope on Arctic Court. Please examine this aspect of the design. If proposed elevations are not changed, please clarify if additional grading is to occur east of the walkway or provide details for a retaining wall.

### ARCTIC COURT PLAN VIEW HORIZONTAL SCALE 1"=10'



DRAWING TITLE

# ARCTIC COURT

CLIENT

## EVEREST BUILDERS

676 EAST MARKEA AVE #9  
SLAT LAKE CITY, UTAH 84102  
801-554-8424

COMPLETION STATUS

PRELIMINARY ONLY

PROJECT

MARMALADE TOWNHOMES  
500 NORTH 240 WEST  
SALT LAKE CITY, UTAH

GENERAL NOTES

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REVISIONS:

REV #	DESCRIPTION	DATE

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E-15-15

DATE

7/20/15

DRAWN BY CAREY D. JOHANSON, P.E.

CHECKED BY JAKE WEBER, PE

SHEET NUMBER

C-10

# APWA EROSION CONTROL DETAILS

CLEINT

**EVEREST BUILDERS**  
676 EAST MARKEA AVE #9  
SLAT LAKE CITY, UTAH 84102  
801-554-8424

COMPLETION STATUS

PRELIMINARY ONLY

PROJECT

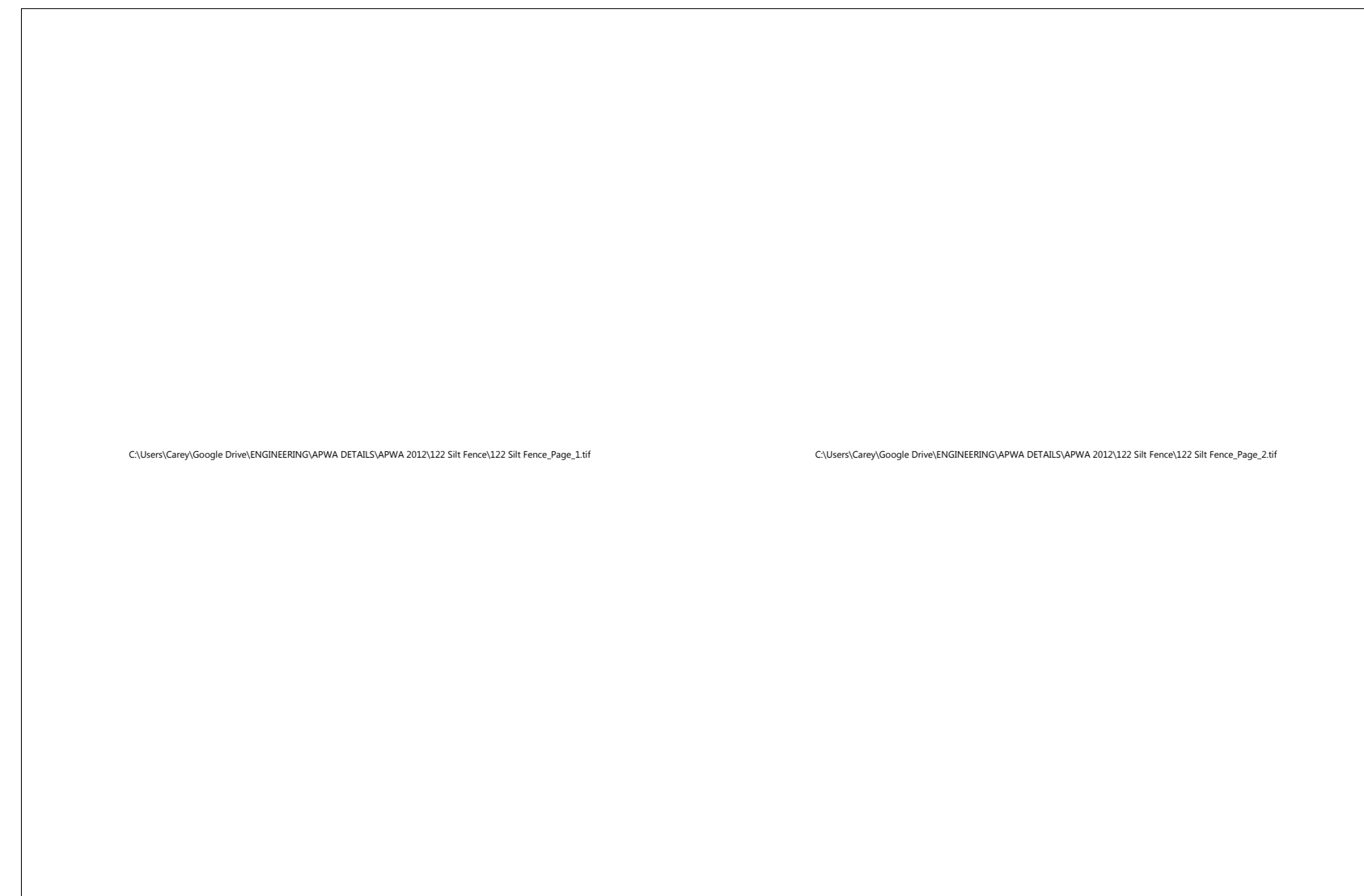
**MARMALADE TOWNHOMES**  
500 NORTH 240 WEST  
SALT LAKE CITY, UTAH

GENERAL NOTES



121 STRAW BALE BARRIER

SCALE: NTS



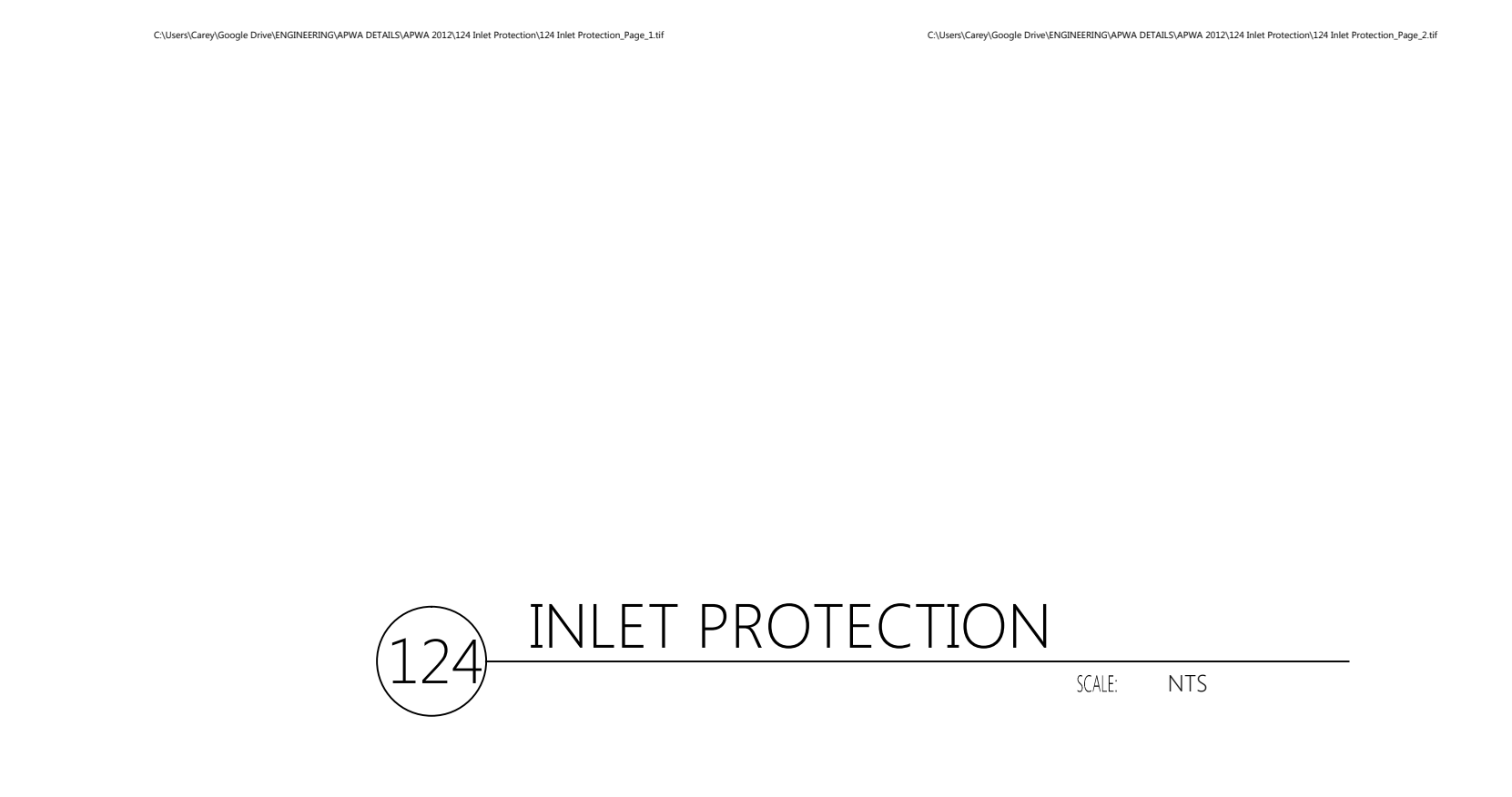
122 SILT FENCE

SCALE: NTS



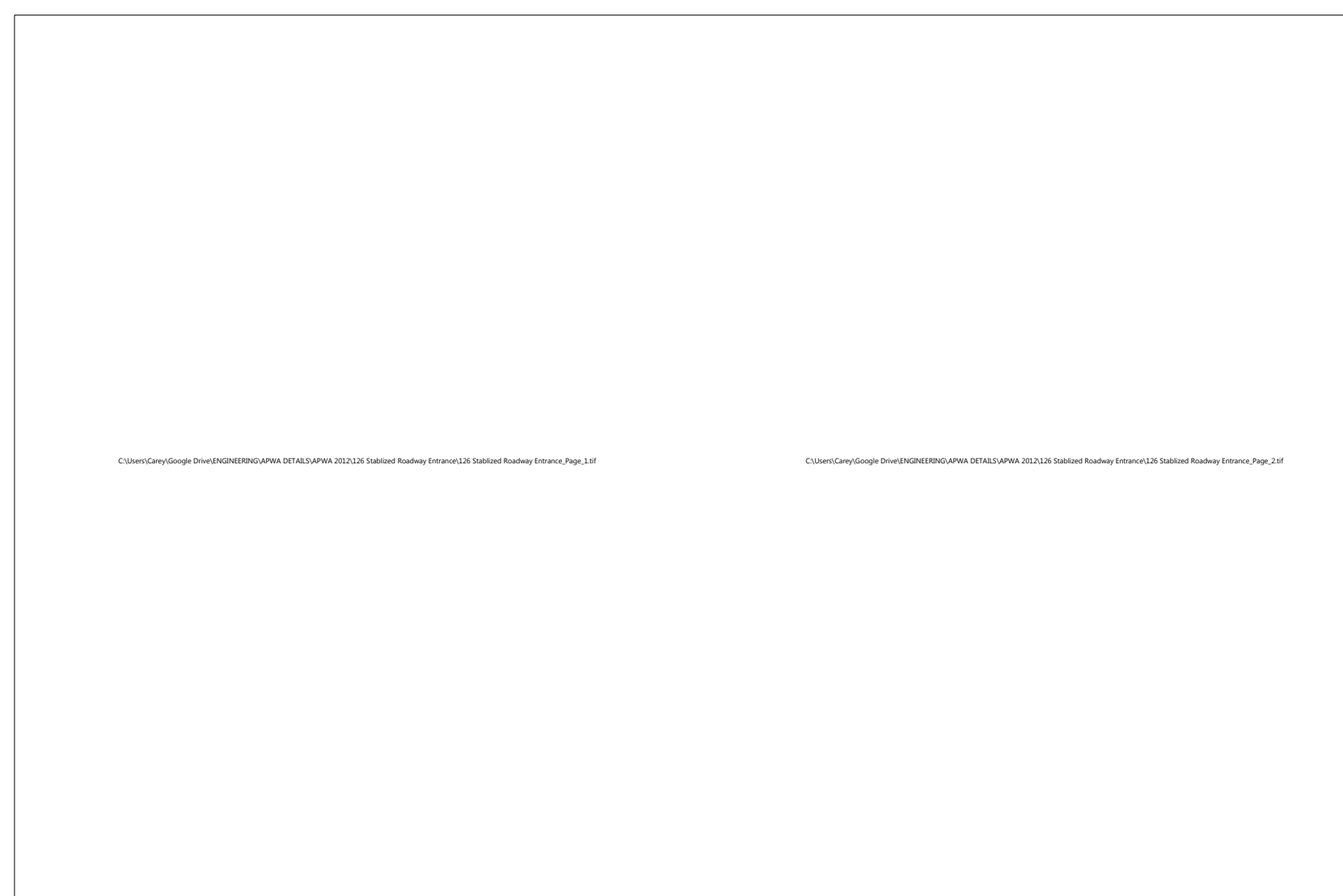
125 EQUIPMENT AND VEHICLE WASH DOWN AREA

SCALE: NTS



124 INLET PROTECTION

SCALE: NTS



126 STABILIZED ROADWAY ENTRANCE

SCALE: NTS

121 STRAW BALE BARRIER

122 SILT FENCE

124 INLET PROTECTION

125 EQUIPMENT AND VEHICLE WASH DOWN AREA

126 STABILIZED ROADWAY ENTRANCE

REVISIONS:

REV #	DESCRIPTION	DATE

Details are not viewable on this sheet and others.

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7/20/15

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CHD BY: JAKE WEBER, PE

SHEET NUMBER

CP-501

# DETAILS ROAD

CLIENT

**EVEREST BUILDERS**  
676 EAST MARKEA AVE #9  
SLAT LAKE CITY, UTAH 84102  
801-554-8424

COMPLETION STATUS

PRELIMINARY ONLY

PROJECT

**MARMALADE TOWNHOMES**  
500 NORTH 240 WEST  
SALT LAKE CITY, UTAH

GENERAL NOTES

205 TYPE H GUTTER

206 CURB AND GUTTER CONNECTION

209 CURBS

211 WATERWAY

225 OPEN DRIVEWAY

231 SIDEWALK

251 ASPHALT CONCRETE PAVEMENT

REVISIONS:

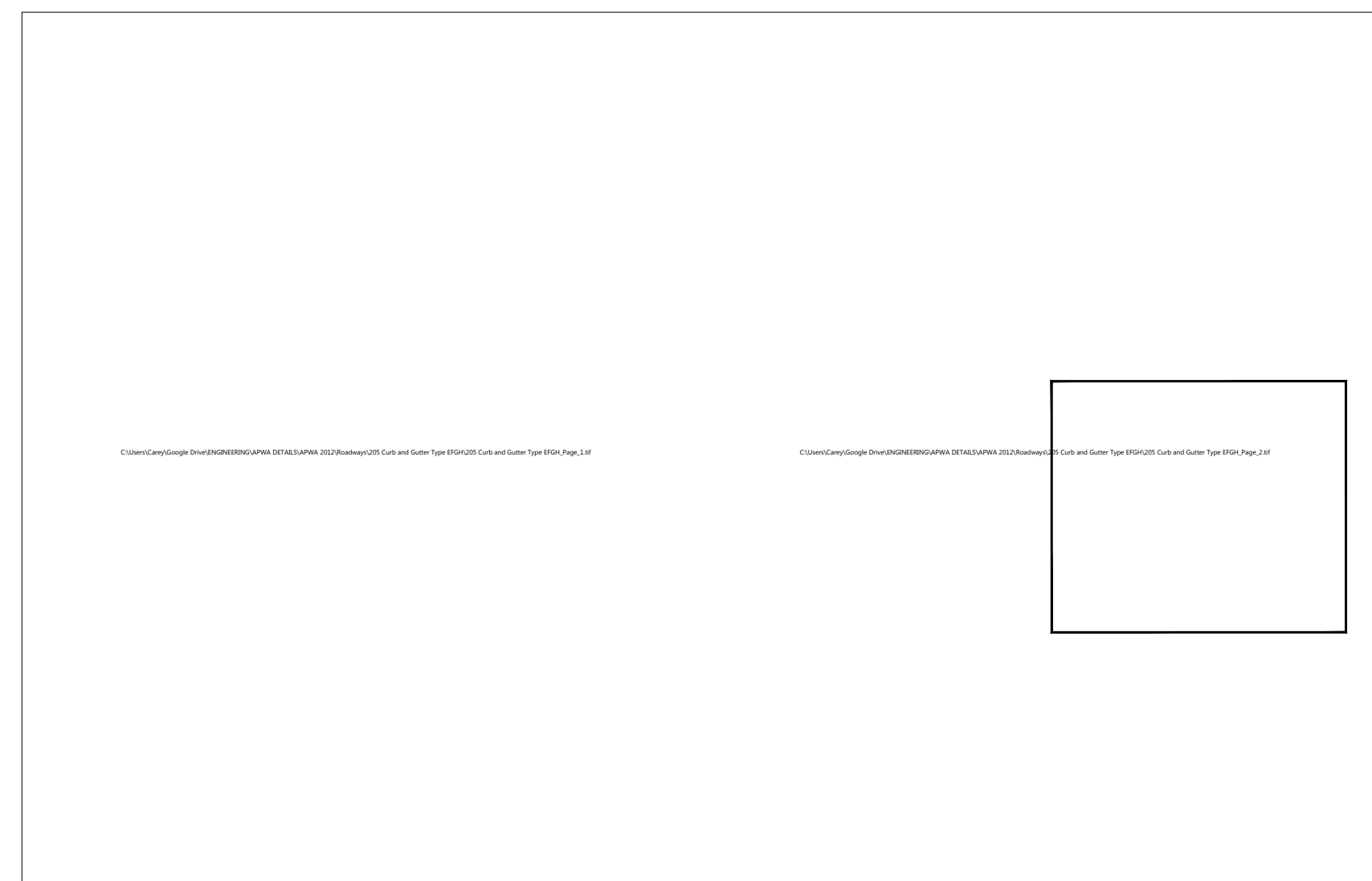
REV #	DESCRIPTION	DATE

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	CAREY D. JOHANSON, P.E.
	CHECKED BY
	JAKE WEBER, PE
	SHEET NUMBER
	CP-502



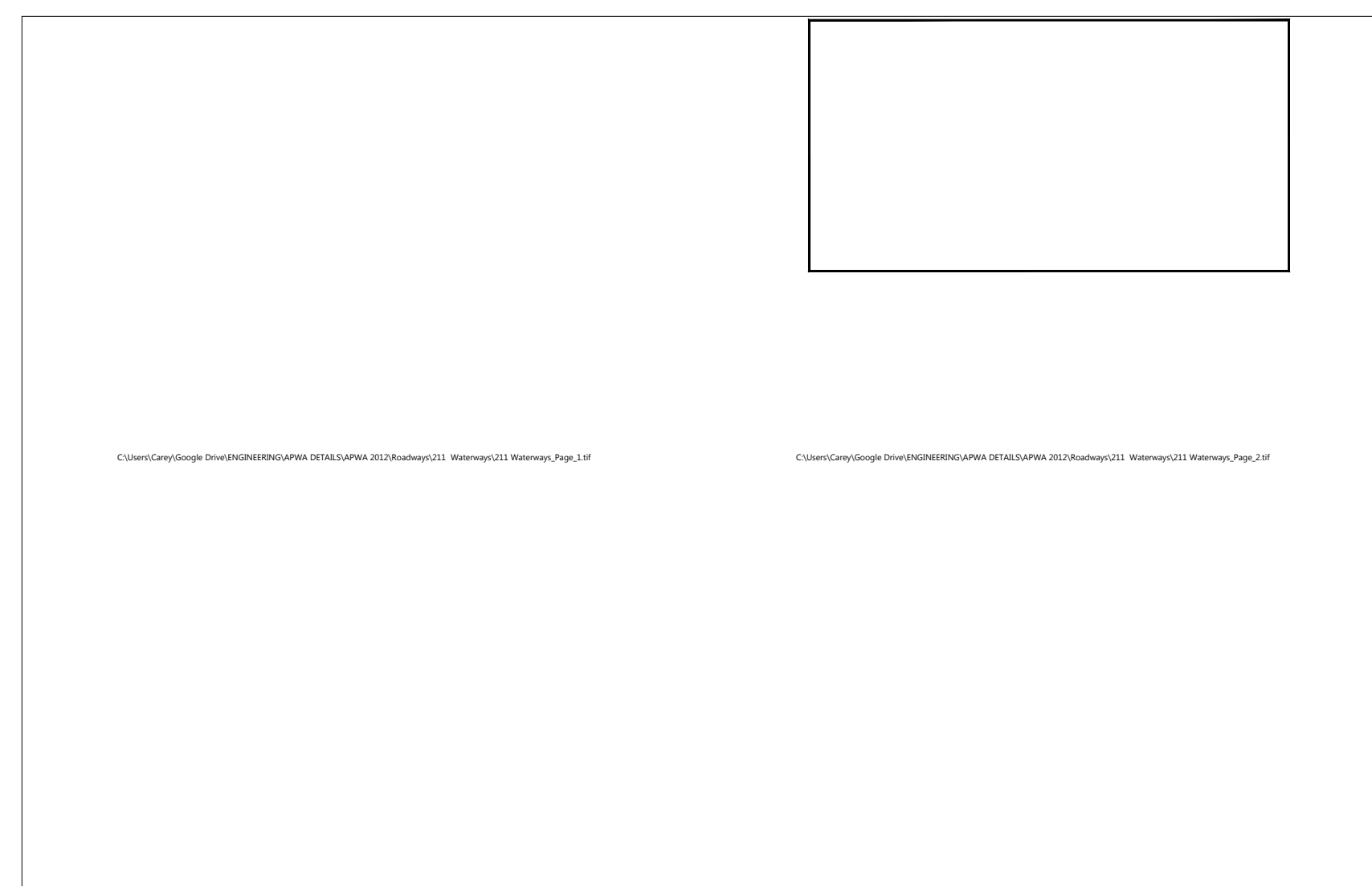
205 TYPE H GUTTER  
SCALE: NTS



206 CURB AND GUTTER CONNECTION  
SCALE: NTS



209 CURBS  
SCALE: NTS



211 WATERWAY  
SCALE: NTS



225 OPEN DRIVEWAY  
SCALE: NTS



231 SIDEWALK  
SCALE: NTS



251 ASPHALT CONCRETE PAVEMENT  
SCALE: NTS

# STORM DRAIN DETAILS

CLIENT

## EVEREST BUILDERS

676 EAST MARKEA AVE #9  
SLAT LAKE CITY, UTAH 84102  
801-554-8424

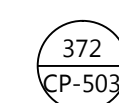

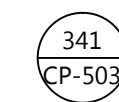
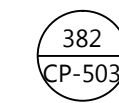
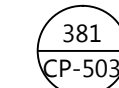
COMPLETION STATUS

PRELIMINARY ONLY

PROJECT

MARMALADE TOWNHOMES  
500 NORTH 240 WEST  
SALT LAKE CITY, UTAH

GENERAL NOTES

-  AREA DRAIN
-  PRECAST CATCH BASIN
-  PRECAST MANHOLE
-  PIPE ZONE BACKFILL
-  TRENCH BACKFILL

REVISIONS:

REV. #	DESCRIPTION	DATE

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E-15-15

DATE 7/20/15

DRAWN BY CAREY D. JOHANSON, P.E.

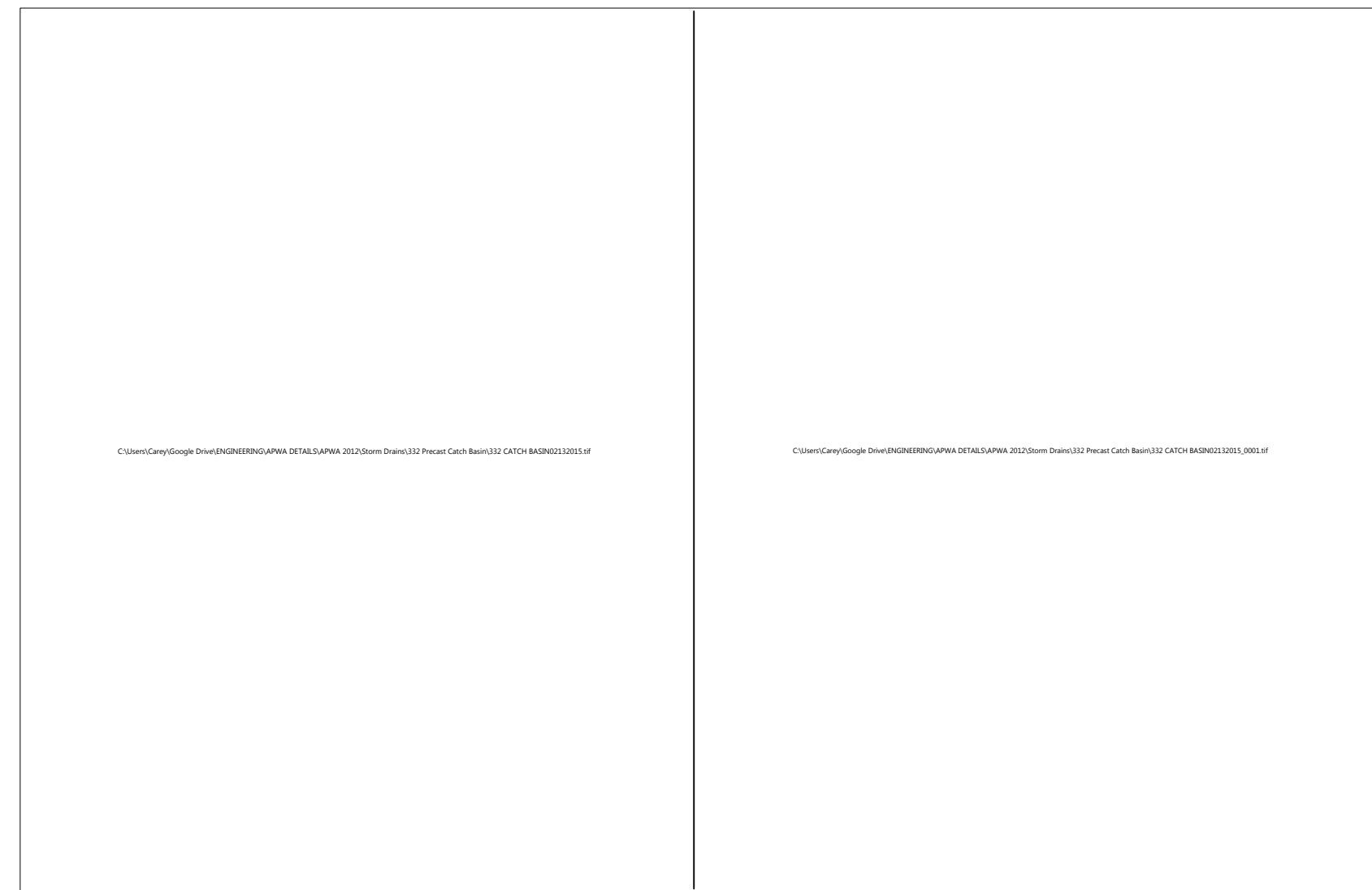
CHECKED BY JAKE WEBER, PE

SHEET NUMBER

CP-503



**372** AREA DRAIN  
SCALE: NTS



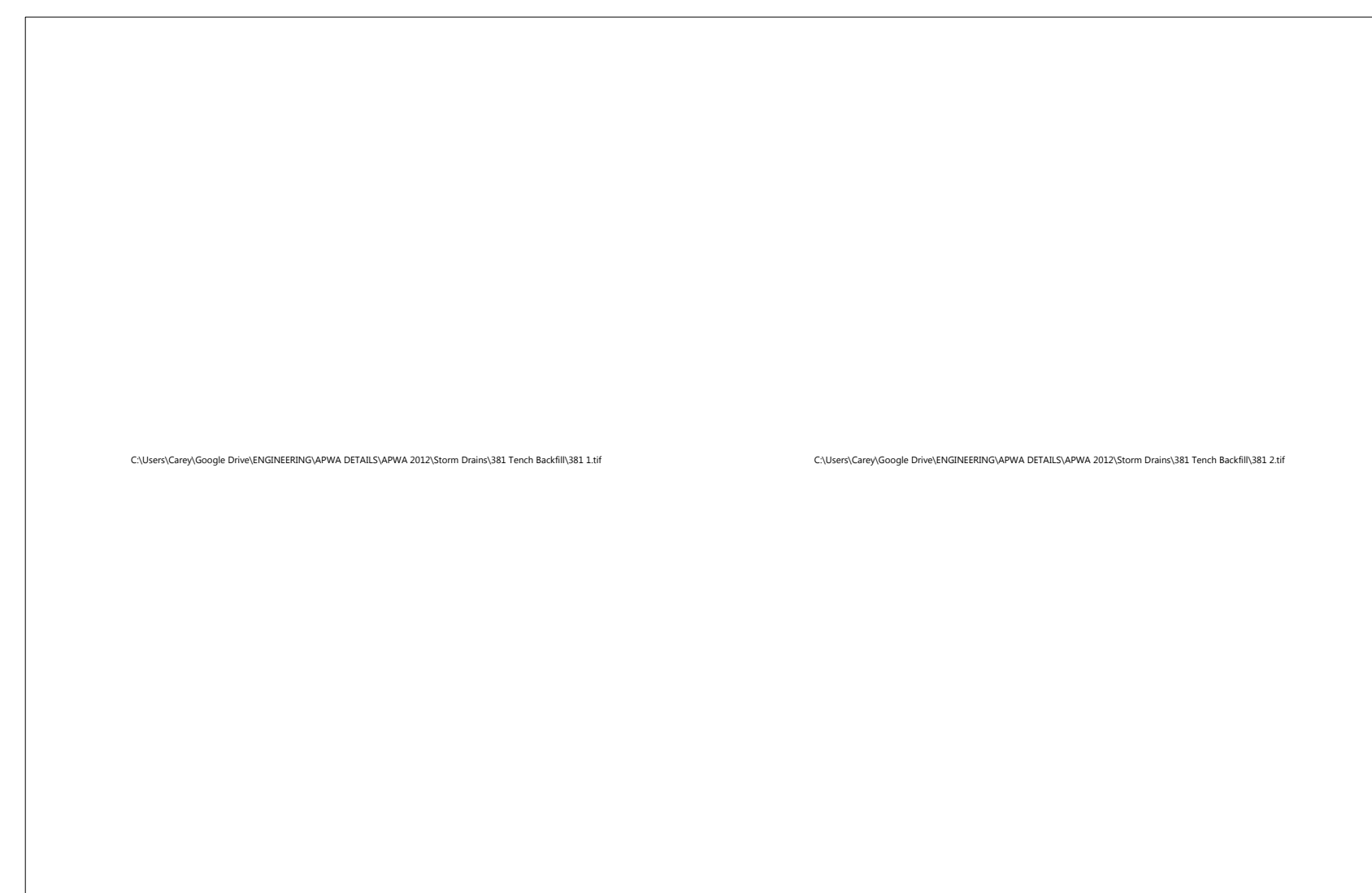
**332** PRECAST CATCH BASIN  
SCALE: NTS



**341** PRECAST MANHOLE  
SCALE: NTS



**382** PIPE ZONE BACKFILL  
SCALE: NTS



**381** TRENCH BACKFILL  
SCALE: NTS

# SEWER AND WATER DETAILS

CLEINT

## EVEREST BUILDERS

676 EAST MARKEA AVE #9  
SLAT LAKE CITY, UTAH 84102  
801-554-8424

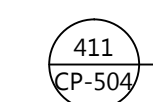
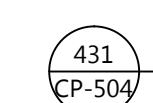
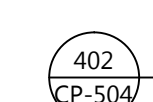
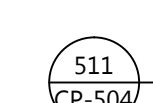

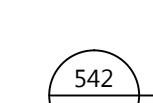
COMPLETION STATUS

PRELIMINARY ONLY

PROJECT

MARMALADE TOWNHOMES  
500 NORTH 240 WEST  
SALT LAKE CITY, UTAH

GENERAL NOTES

-  SEWER MANHOLE
-  SEWER LATERAL CONNECTION
-  30IN FRAME AND COVER
-  FIRE HYDRANT
-  3IN WATER METER
-  WATER SERVICE LOOP

REVISIONS:

REV #	DESCRIPTION	DATE

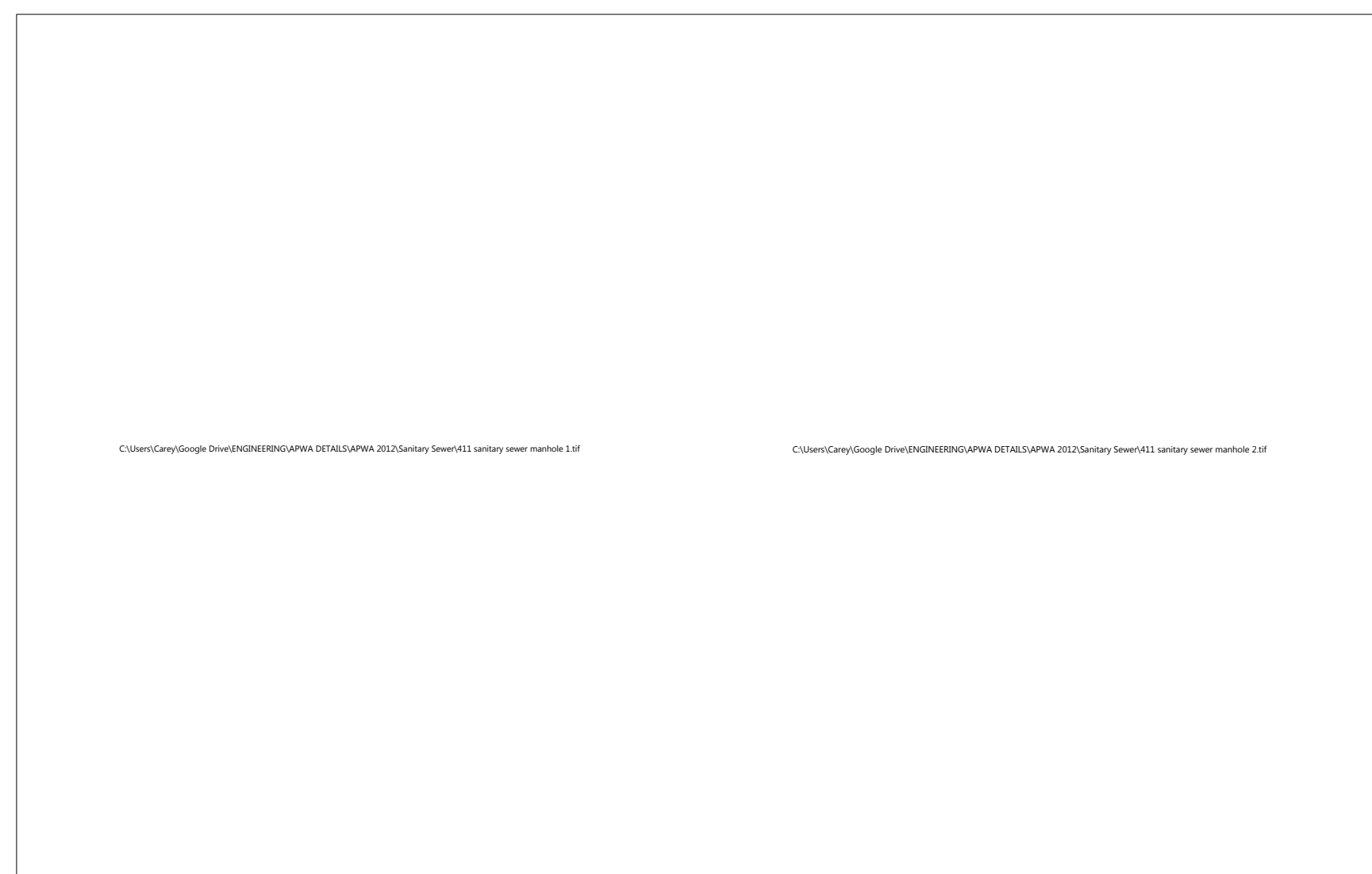
Client Copy/Detail/Log to work

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SALT LAKE CITY, UTAH  
PHONE (801) 801-990-2775

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	E-15-15
DATE	7/20/15
DRAWN BY	CAREY D. JOHANSON, P.E.
CHEK BY	JAKE WEBER, PE
SHEET NUMBER	CP-504



**411** SEWER MANHOLE  
SCALE: NTS



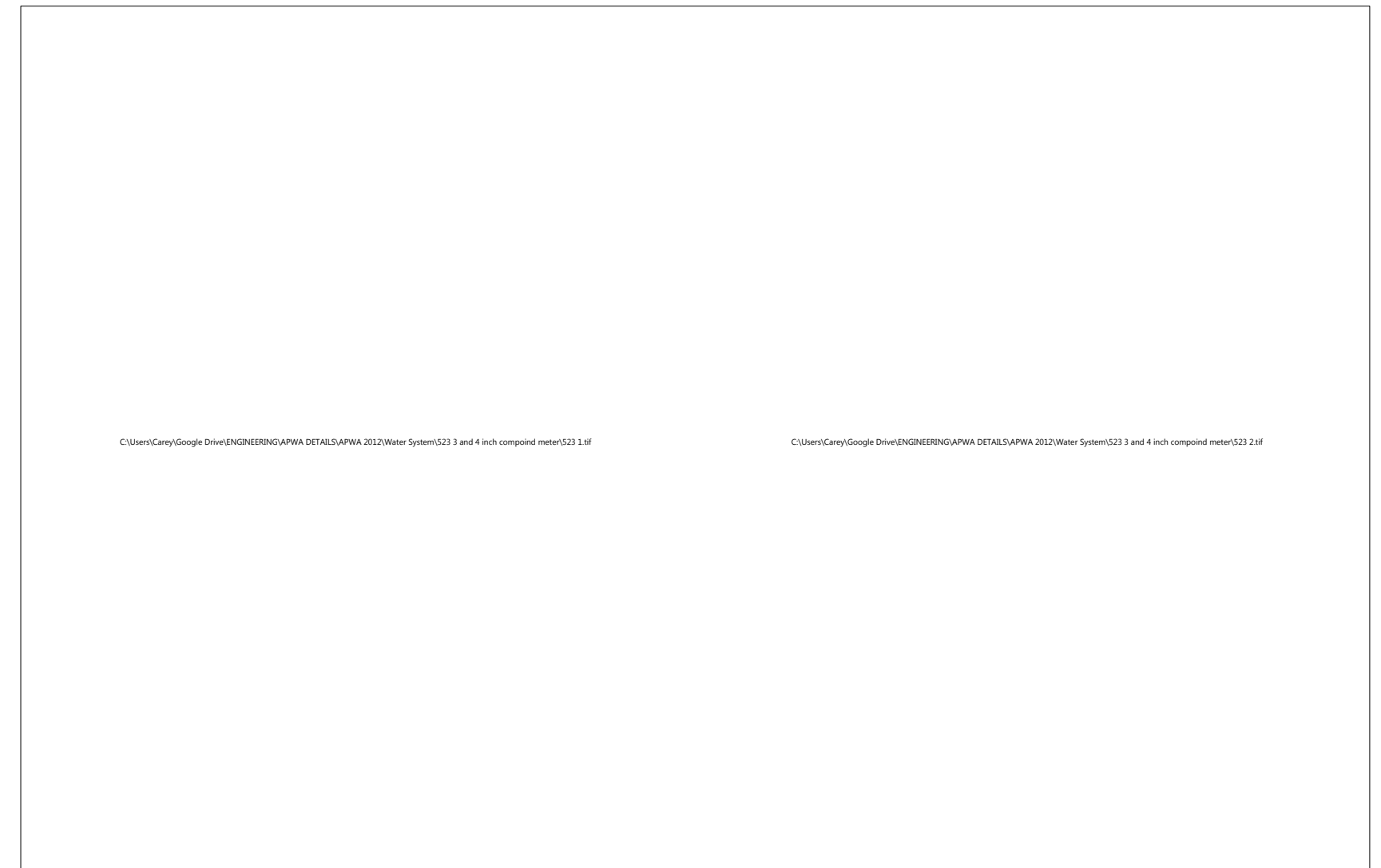
**431** SEWER LATERAL CONNECTION  
SCALE: 1/4"



**402** 30IN FRAME AND COVER  
SCALE: NTS



**511** FIRE HYDRANT  
SCALE: NTS



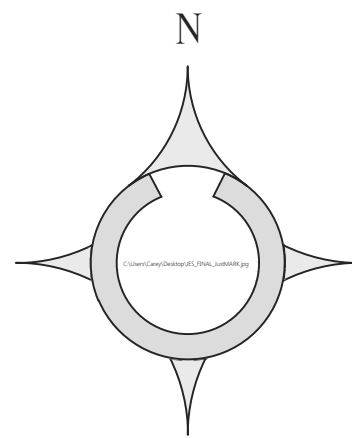
**523** 3IN WATER METER  
SCALE: NTS



**542** WATER SERVICE LOOP  
SCALE: NTS

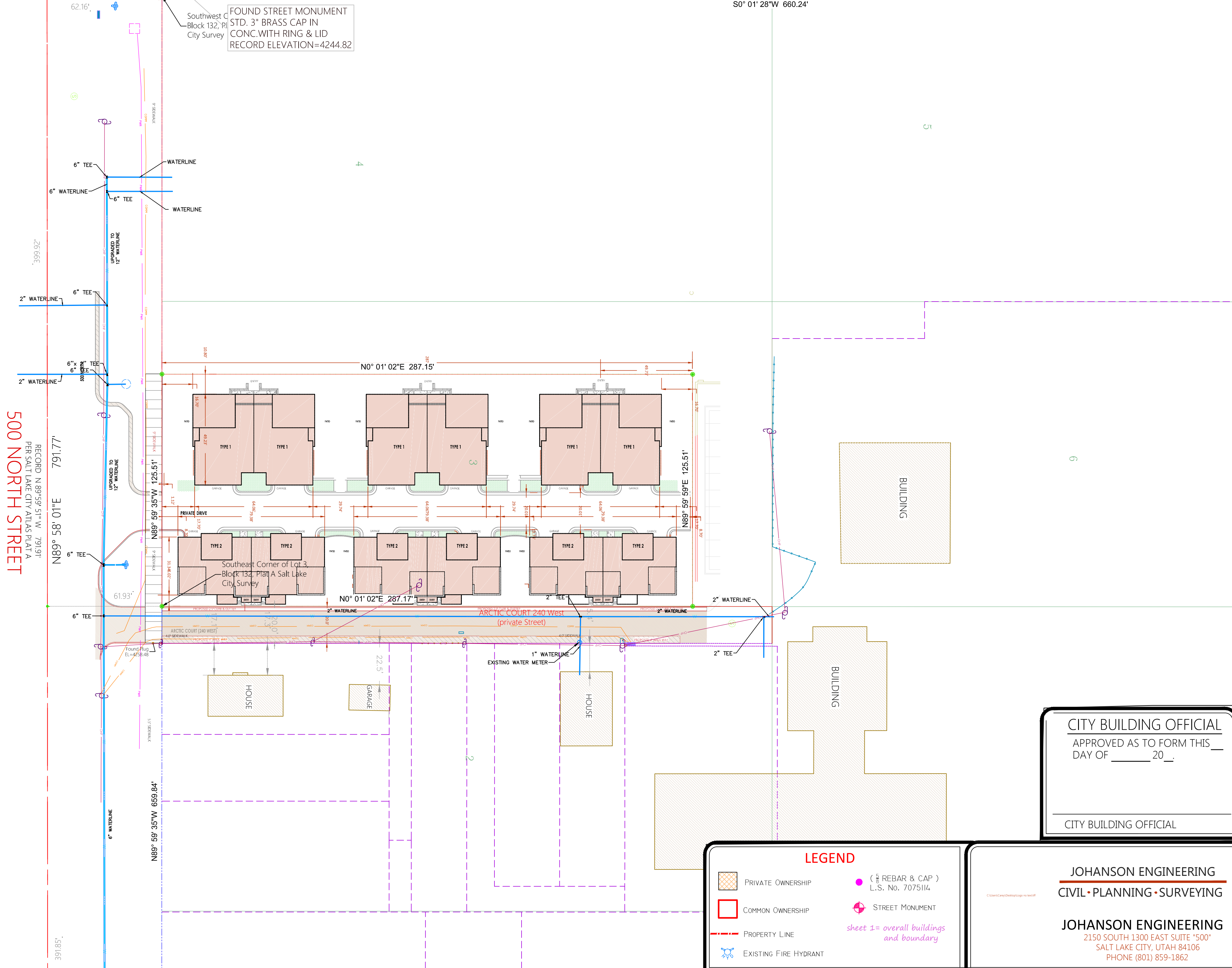
# Marmalade Townhomes

500 NORTH 240 WEST  
Salt Lake City, Utah



● VICINITY MAP

500 NORTH STREET  
RECORD N 89° 59' 51" W 791.91'  
PER SALT LAKE CITY ATLAS PLAT A



## SURVEYOR'S CERTIFICATE

I Shane Johanson, certify that I am a Licensed a Professional Land Surveyor holding license no. 7075114 in accordance with Utah Code Annotated Title 58, Chapter 22, described tract of land has been completed by me in accordance with Utah Code Annotated 17-23-17, and that I have verified all measurements as shown hereon further certify that this Condominium Plat complies with the provision of section 57-8-13(1) of the Utah Condominium Ownership Act, Utah Code Annotated.

DATE \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

## PROJECT PROPERTY DESCRIPTION

- All of lot 4 of the Marmalade district. (parcel 205038).
- Arctic Court a 20' wide perpetual right-of-way extending 330.16' more or less to the center block line. (parcel 206018).
- Parcels along East Side of Arctic Court parcels: (0601.3) (06012), (206011), (206010), (206018) of block 132 plat "a", including alleyways.

## OWNER'S DEDICATION

Know all men by these presents that I, Eric Saxey, the undersigned owner of the above described tract of land, having caused same to be subdivided into condominium units and common area do hereby consent to the recordation of this plat.

In witness whereof I, Eric Saxey, hereunto set my hand this \_\_\_\_ day of \_\_\_\_ 20\_\_.

Eric Saxey

## ACKNOWLEDGEMENT

STATE OF UTAH )  
County of Salt Lake )

On the \_\_\_\_ day of \_\_\_\_\_, 20\_\_, Michael C. Lobb personally appeared before me, who being by me duly sworn, did acknowledge that he executed the foregoing Owner's Dedication.

Commission Number \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

(printed name)  
A Notary Public Commissioned in Utah

STATE OF UTAH )  
County of Salt Lake )

On the \_\_\_\_ day of \_\_\_\_\_, 20\_\_, Jason Tanner personally appeared before me, who being by me duly sworn, did acknowledge that he is the Manager of Jeico, a Utah Limited Liability company, and that the foregoing Consent To Record regarding the Liberty Park Place Condominiums was signed by him on behalf of said Jeico, LLC.

Commission Number \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

(printed name)  
A Notary Public Commissioned in Utah

## CONSENT TO RECORD

On June 22, 2005 Michael C. Lobb entered into a Lien agreement with Jeico, LLC for \$185,000.00 plus interest recorded on June 24, 2005 Entry #9413538 Book# 9149 Page# 5058.

On June 22, 2005 Service First Realty Group, LLC and Michael C. Lobb entered into a second Lien agreement with Jeico, LLC for \$100,000.00 plus interest recorded on June 24, 2005 Entry#9413539 Book#9149 Page#5059. I, Jason Tanner Managing Member of Jeico LLC am fully aware that Michael C. Lobb is in the process of recording a plat affecting said property. I, Jason Tanner Managing Member of Jeico LLC hereby consent and give approval to the recording of the plat and the declaration of Condominium for Jeico LLC.

Jason Tanner, Managing member of Jeico LLC

Dated \_\_\_\_\_

CITY BUILDING OFFICIAL  
APPROVED AS TO FORM THIS  
DAY OF \_\_\_\_\_ 20\_\_

CITY BUILDING OFFICIAL

### LEGEND

- PRIVATE OWNERSHIP
- COMMON OWNERSHIP
- PROPERTY LINE
- EXISTING FIRE HYDRANT
- ( ) REBAR & CAP ( L.S. No. 7075114)
- STREET MONUMENT
- sheet 1= overall buildings and boundary

JOHANSON ENGINEERING  
CIVIL • PLANNING • SURVEYING

JOHANSON ENGINEERING  
2150 SOUTH 1300 EAST SUITE "500"  
SALT LAKE CITY, UTAH 84106  
PHONE (801) 859-1862

## MARMALADE TOWN HOMES

LOCATED IN SECTION 07 TOWNSHIP  
1 SOUTH, RANGE 1 EAST, S.L.B. & M  
LOT 11 BLOCK 14 FIVE ACRE PLAT "A" BIG FIELD  
SURVEY LOCATED IN SALT LAKE CITY, UTAH



1 in. = 10 FT.

NUMBER \_\_\_\_\_  
ACCOUNT \_\_\_\_\_  
SHEET 1  
OF 3 SHEETS  
SALT LAKE VALLEY HEALTH  
SALT LAKE VALLEY HEALTH DEPT.  
APPROVED THIS \_\_\_\_ DAY OF  
\_\_\_\_, 20\_\_  
VALLEY HEALTH DEPARTMENT

CITY PLANNING DIRECTOR  
APPROVED THIS \_\_\_\_ DAY OF  
\_\_\_\_, 20\_\_ BY THE SALT  
LAKE CITY PLANNING COMMISSION.  
PLANNING DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEERING DIVISION  
I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE  
AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE.  
CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

CITY PUBLIC UTILITIES DEPT.  
APPROVED AS TO SANITARY SEWER AND  
WATER DETAILS THIS \_\_\_\_ DAY OF  
\_\_\_\_, 20\_\_  
SALT LAKE CITY PUBLIC UTILITIES DIRECTOR \_\_\_\_\_

CITY ATTORNEY  
APPROVED AS TO FORM THIS  
DAY OF \_\_\_\_\_ 20\_\_  
SALT LAKE CITY ATTORNEY \_\_\_\_\_

CITY APPROVAL  
PRESENTED TO SALT LAKE CITY THIS \_\_\_\_  
DAY OF \_\_\_\_\_ 20\_\_  
AND IT IS HEREBY APPROVED.  
SALT LAKE CITY MAYOR \_\_\_\_\_  
SALT LAKE CITY RECORDER \_\_\_\_\_

Recorded # \_\_\_\_\_  
State of Utah, County of Salt Lake, recorded and filed at the request of \_\_\_\_\_  
Date \_\_\_\_\_ Time \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_  
Fee \$ \_\_\_\_\_ Salt Lake County Recorder



## **ATTACHMENT I: ALTERNATE MOTION**

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### **Not Consistent with Staff Recommendation:**

Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Planning Commission deny the planned development and subdivision requests for new construction for the twelve (12) new townhomes located at approximately 535 N. Arctic Court. I move that the Planning Commission **deny the reduced landscape buffer requirement from 10' to 5'3"**, **deny the** Type 1 Units without street frontage, and deny the subdivision of the lots. The Planning Commission finds that the proposed project does not comply with the review standards as demonstrated in Attachments F of this staff report.

The Planning Commission shall make findings on the review standards and specifically state which standard or standards are not being complied with.