

# Staff Report

PLANNING DIVISION  
COMMUNITY & ECONOMIC DEVELOPMENT

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To: Salt Lake City Planning Commission

From: Maryann Pickering, AICP, Principal Planner  
(801) 535-7660

Date: December 9, 2015

Re: PLNPCM2015-00438 Partial Street Closure and PLNSUB2015-00473 Preliminary Subdivision – Victory Road Twin Homes at approximately 690 N. West Capitol Street

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## Partial Street Closure and Preliminary Subdivision Plat

**PROPERTY ADDRESS:** 690 N. West Capitol Street

**PARCEL ID:** 08-25-478-009

**MASTER PLAN:** Low Density Residential 5-15 dwelling units per acre

**ZONING DISTRICT:** SR-1A (Special Development Pattern Residential District)

**REQUESTS:** The applicant, Bruce Baird, representing the property owners is requesting approval of two petitions for the property located at approximately 690 N. West Capitol Street. Each request is detailed below.

**PLNPCM2015-00438 – Partial Street Closure.** The first petition is a request to close a portion of West Capitol Street adjacent to and directly west of the properties located at approximately 690 N. West Capitol Street and 686 N. West Capitol Street (parcel id: 08-254-780-02). The existing street has an existing right-of-way that is approximately 49 feet, 5 inches along this portion of West Capitol Street. The applicant is requesting to close approximately 11 feet, 5 inches of right-of-way, resulting in a street right-of-way of approximately 38 feet wide. The property located to the north (686 N. West Capitol Street) has also been included so that there is not one parcel remaining with the large right-of-way at the front. The applicant is proposing to make improvements to West Capitol along the east side of the street in front of their project. The Planning Commission will forward a recommendation to the City Council on this request.

**PLNSUB2015-00473 – Victory Road Twin Homes Subdivision.** The second petition is a request for approval of a new twin home subdivision. There will be a total of seven buildings as part of the project and each building will contain two units for a total of 14 units within the proposed subdivision. In order to access the new units, a new public street has been included as part of the subdivision. The Planning Commission has final approval authority on this request. However, approval by the City Council of the street closure is necessary in order for the subdivision to be accomplished as shown on the proposed plans.

**RECOMMENDATION AND POTENTIAL MOTION:** Based on the criteria for street closures along with the standards and findings for preliminary plats listed in the staff report, it is the Planning Staff's opinion that the project meets the applicable criteria for street closures and the standards and findings for preliminary subdivisions and recommends the following motion:

I move that based on the criteria along with the standards and findings in this staff report, that the Planning Commission forwards a positive recommendation on PLNPCM2015-00438 (Partial Closure of West Capitol Street) and approves PLNSUB2015-00473 (Victory Road Twin Homes Subdivision) subject to complying with all applicable regulations. Due to the potential for detrimental impacts created by the proposal identified in this report, staff recommends the Planning Commission applies the following conditions to the project:

1. The proposed subdivision shall only be valid if the street closure request is approved by the City Council. In the event the City Council does not approve the street closure, the subdivision will be null and void.
2. The proposed method of disposition of the street property shall be consistent with the method of disposition expressed in Chapter 2.58 – City Owned Real Property of the Salt Lake City Code.
3. The street closure shall comply with departmental or division comments.
4. The applicant shall file a final subdivision plat for approval by the City.
5. The final plat application must be submitted within 18 months of the approval of the preliminary plat per Section 21A.16.190. If no final plat is submitted, the preliminary plat approval will be considered as expired.
6. A landscape plan shall be required and reviewed prior to the issuance of any building permit.
7. The applicant shall comply with all other Department/Division conditions attached to this staff report.
8. Fencing located adjacent to any public street shall comply with the sight distance requirements of 21A.40.120.E.
9. Final approval authority shall be delegated to the Planning Director based on the applicant's compliance with the standards and conditions of approval noted in this staff report.
10. The property is located within the Capitol Hill Local Historic District. Any new construction of homes or structures will require approval by the Historic Landmark Commission.

**ATTACHMENTS:**

- A. Vicinity Map
- B. Street Closure Exhibits
- C. Additional Applicant Information – Street Closure
- D. Proposed Subdivision Plans
- E. Additional Applicant Information – Preliminary Subdivision
- F. Property Photographs
- G. Existing Conditions
- H. Analysis of Standards
- I. Public Process and Comments
- J. Department Review Comments
- K. Motions

**PROJECT DESCRIPTION:**

The applicant is requesting approval of two petitions. The street closure petition proposes to close a portion of West Capitol Street which has an approximate 49 feet, 5 inch right of way. The request is to close approximately 11 feet, 5 inches on the east side of the street. Applicable

reviewing departments and divisions have reviewed this request and determined that the right-of-way or a portion of the street can be closed and sold to each applicant (the two property owners are requesting the closure). However, these reviewing departments and divisions along with the Planning Commission only make a recommendation to the City Council to close a portion of the street. A positive or negative recommendation by the Planning Commission is not a final decision on this issue. Should the City Council decide to approve the request and close a portion of the street, the applicants will need to work the City's Property Management Division to finalize the transfer process. The latter process will include a decision on the price of the land and what each applicant may need to pay in order to complete the transaction.

The second request is for a preliminary subdivision plat on approximately 2.03 acres. The applicant is requesting a twin home subdivision. A twin home is a two family dwelling where the units that are attached, but the property line runs between them so that each unit and property are separately owned. The applicant is proposing a total of seven buildings that will contain two units each for a total of 14 units on 14 lots. The property is located within the SR-1A (Special Development Pattern Residential District). The proposed layout of lots, setbacks, garages, parking, and density meet all of the minimum requirements of the Zoning Ordinance. However, in order to meet the zoning ordinance requirements of minimum lot size, setbacks and density, the applicant needs the land associated with the partial street closure to design the project without any variation of standards or variances. Should the partial street closure not be approved, the applicant would need to either redesign the project or submit for a planned development subdivision to vary or reduce the minimum zoning standards. Also, due to the slope and topography of the site, several retaining walls are proposed, but again, they meet all of the standards for height found in the Zoning Ordinance. A public street will be constructed as part of the subdivision and its design has been reviewed and approved as part of the preliminary design.

The proposed is also located with the boundaries of the Capitol Hill Local Historic District. Since the applicant is not proposing specific development of the site at this time, there are no building development plans. When the applicant is ready to move forward with an actual housing product, it will need to be reviewed and approved by the Historic Landmark Commission. This approval by the Historic Landmark Commission will also include review and design of all retaining walls. A condition of approval has been included so that it is clear this approval will be necessary. Therefore, the only items to be reviewed at this time include the street closure and subdivision, not the design of the proposed residences or any retaining walls.

#### **KEY ISSUES:**

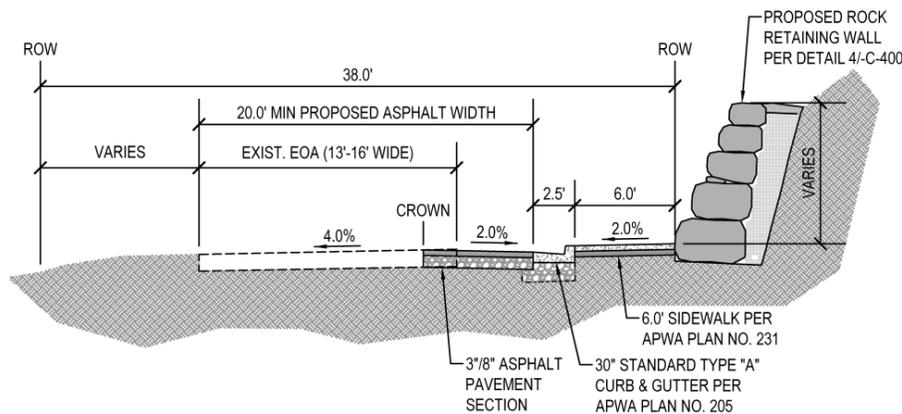
The key issues listed below have been identified through the analysis of the project, neighbor and community input and department review comments.

1. Issue 1. The community has expressed concerns about the partial closure of West Capitol Street. Concerns include a reduction of driving surfaces and improvements in the right of way.
2. Issue 2. Concerns have been expressed about an increase in traffic in the area due to the increased number of residences.
3. Issue 3. Some concern has been expressed by the community about the physical development of the site including availability of utilities and geotechnical/seismic issues.

#### **Issue 1**

The right-of-way along West Capitol Street in this area is approximately 49 feet, 5 inches. The applicant is proposed to close a portion of it or approximately 11 feet, 5 inches. The portion that is closed will be made part of the proposed subdivision that is also part of the request. The request is to close approximately 11 feet, 5 inches of the excess right-of-way along the entire east

side of the street and including the property to the north. Removing this amount of right-of-way will not reduce the driving surface of West Capitol Street and will actually widen the existing driving surface along some parts of West Capitol Street when all improvements are completed. At this time, the existing paving varies from 13 to 16 feet in width. The new cross section of the road as shown below; indicates that a minimum of 20 feet of new paving will be installed along the east of the street and therefore, will increase the driving surface.



**2 WEST CAPITOL CROSS SECTION** SCALE: NONE

- NOTES:
1. ROAD BASE 6" PAST EDGE OF SIDEWALK AND CURB AND GUTTER.
  2. ALL MATERIALS COMPACTED TO 95% OF MAXIMUM DRY DENSITY.

In addition, the applicant will install improvements such as asphalt, curb, gutter and sidewalk all along the western edge of their property. The community has discussed as to whether the improvements will be along both sides of West Capitol Street. The applicant is only responsible for improvements adjacent to their property and are not required or obligated to make additional improvements. When the improvements are completed, there will be approximately 20 feet of driving surface plus the new curb, gutter and sidewalk along the east side of the street. The total right-of-way for West Capitol Street will be 38 feet in width. Currently, the driving surface ranges from approximately 13 feet, 5 inches to approximately 16 feet. This project will improve the access along West Capitol Street.

All applicable reviewing departments and divisions have reviewed this request and have worked with the applicant to design a project that satisfies the standards of various departments and divisions. For this request, the City Council has the final decision to sell the applicant that portion of the street proposed to be closed. Should the City Council decide not to close their portion of the street, the proposed subdivisions is not feasible as proposed. The partial street closure is necessary to comply with all minimum zoning ordinance development standards without any variances. In the event the partial street closure is not approved, the applicant would need to redesign the layout or submit for a modification of development standards. Therefore staff has included a condition of approval that the subdivision, should be approved, is only valid once the street closure process is completed.

**Issue 2**

All applicable reviewing departments and divisions, including the Transportation Division, have reviewed the request and determined that there are adequate facilities in place for the increase

in traffic that could result from the project. There is no requirement for a traffic study as part of the preliminary subdivision.

In addition to the traffic concerns, there have been some concerns expressed about parking in the area. The proposed project meets all minimum parking requirements for this type of development. Sheet C-100 of the proposed plat shows the typical footprint detail for each unit. It shows the building pad and driveway, which would lead to a garage for each unit. Each unit has a garage and a driveway that is a minimum of 20 feet in depth. This would allow for cars to also park in front of the garage.

Comments have been raised about the availability of parking along West Capitol Street. The Transportation Division has noted that the street, even with the proposed improvements, would not be wide enough to allow cars to park along West Capitol Street. It is likely the street will have no parking signs installed to prevent the parking.

### **Issue 3**

As noted previously, all applicable reviewing departments and divisions have reviewed the preliminary plat and have approved it in the preliminary stage. This means that based on all information submitted, the project can be developed with adequate public utilities and has met the basic standards for development on a steep slope. Should the project be approved and future submittals for the final plat and building permits are submitted, a more intensive review of all other standards will occur and the applicant will be required to demonstrate that the subdivision meets all applicable city standards. This would include geotechnical and seismic issues as well as compliance with all standards for utilities, including sewer service.

### **DISCUSSION:**

At this time, the property proposed for the preliminary subdivision is a vacant parcel of land in the City. It has been vacant for many years and due to the topography of the site, it is a difficult site to develop. It is one of the few remaining parcels in the Capitol Hill area that is not developed. While there are concerns from the community regarding several issues with the property, the applicant has demonstrated to the satisfaction of various city reviewers that it is possible to develop with the proposed twin home subdivision. In addition, the applicant is not requesting any modifications to any Zoning Ordinance standards as part of the subdivision request.

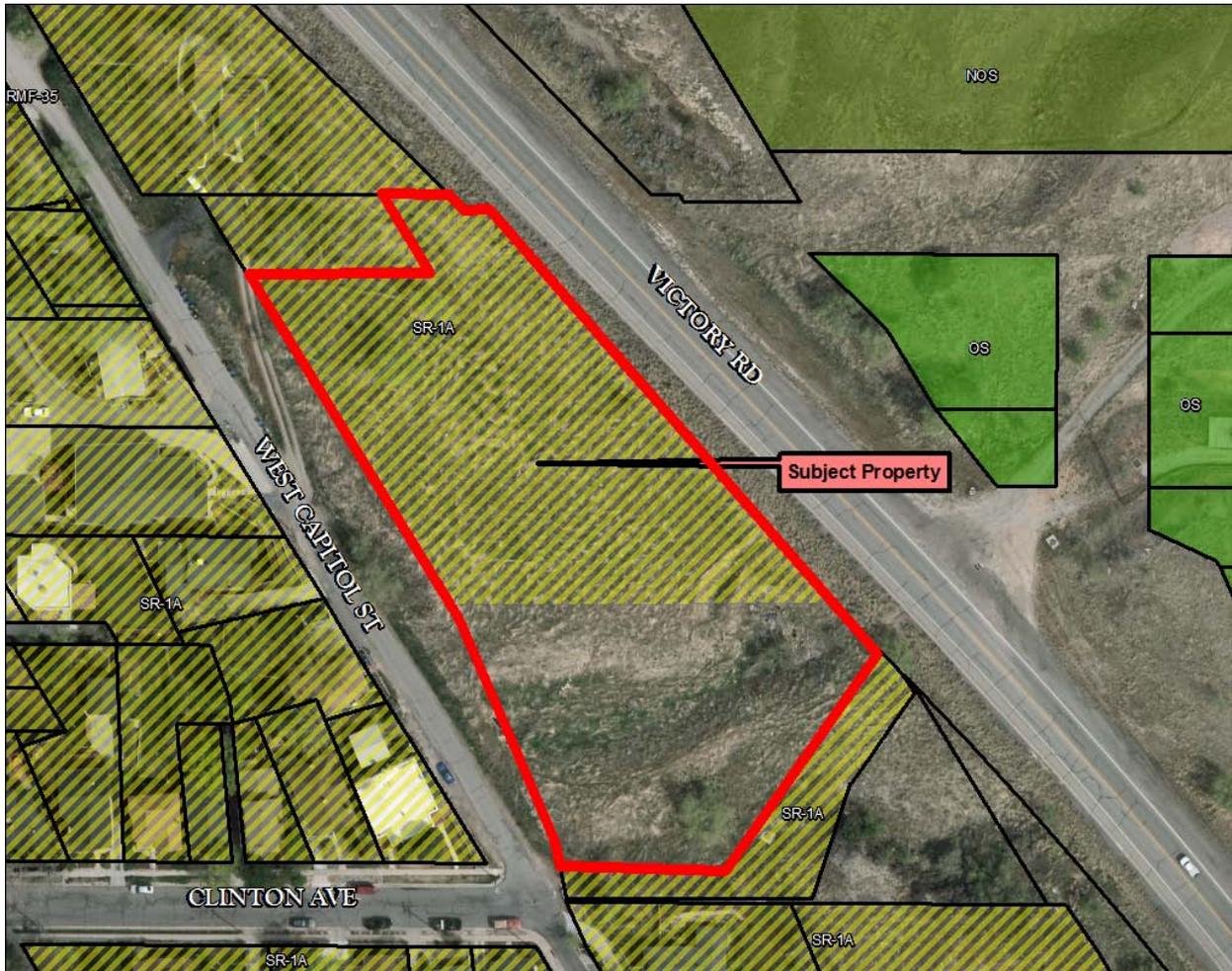
It should be noted that a similar project was approved on this site in the past. The request was submitted in 2006 and received approval from the Planning Commission in 2007 and the Historic Landmark Commission in 2008. That approval was for 17 units and a new street which connected from West Capitol Street to Victory Road. This project does not propose the through or connecting street and has fewer units.

### **NEXT STEPS:**

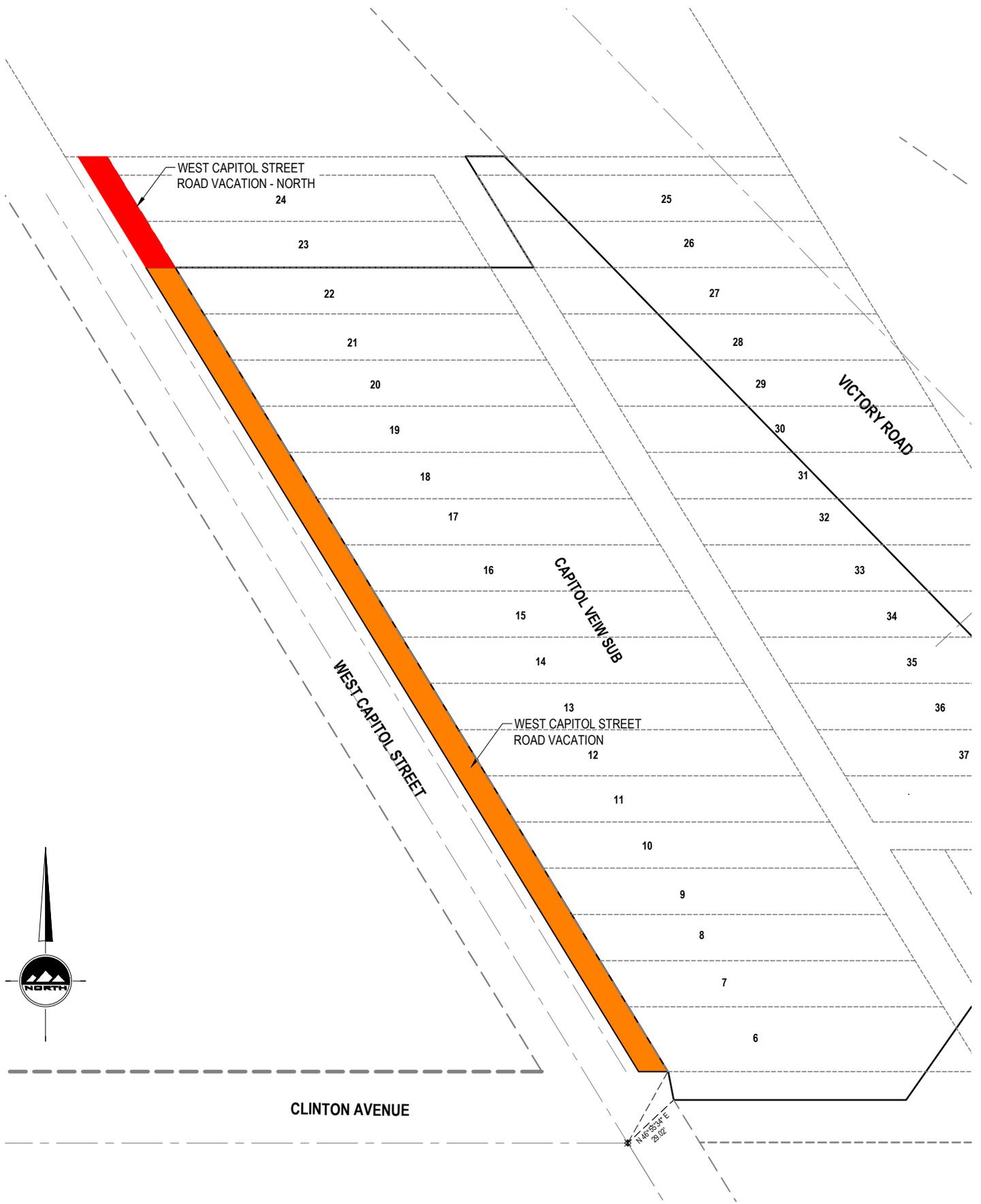
If the project is recommended for approval, the applicant will need to complete the street closure process before the preliminary subdivision plat is effective. Should the preliminary subdivision plat be effective, a final plat will be required to finalize the subdivision process and then any applicable Historic Landmark Commission and building permit approvals would be needed to complete the project.

A final option is that both applications for recommended for denial and the applicant could then decide if they wanted to move forward with the street closure request. However, if the preliminary subdivision is denied, there is no need for the street closure request any longer.

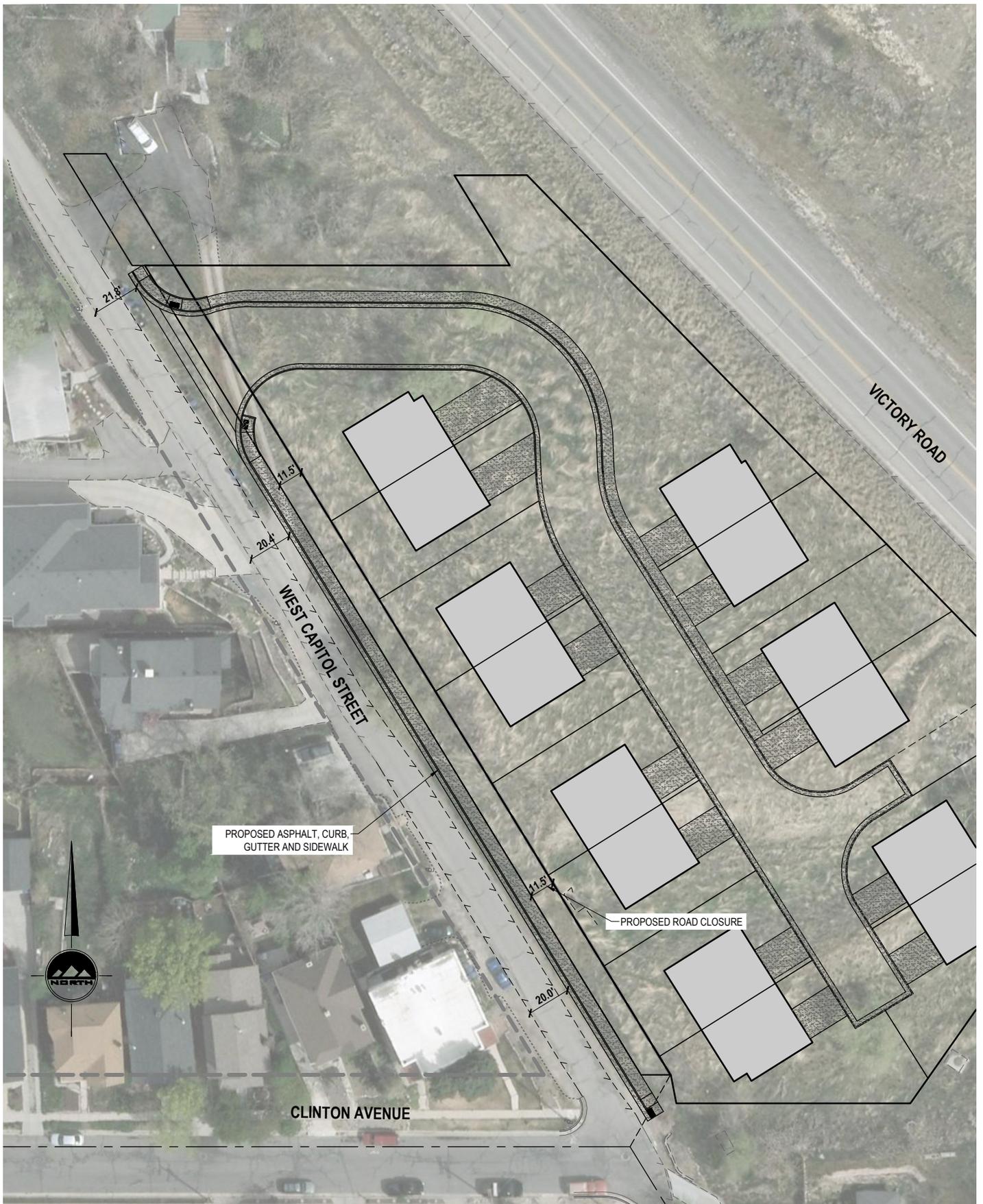
# ATTACHMENT A: VICINITY MAP



# **ATTACHMENT B: STREET CLOSURE EXHIBITS**



<p>PROJECT # 6512    DATE 11/11/15</p> <p><b>1 OF 1</b></p> <p>FILE: SURVEYDRAWINGS</p>	<p><b>VICTORY ROAD TWINHOMES</b></p> <p>651 NORTH VICTORY ROAD SALT LAKE CITY, UTAH</p> <p><b>WEST CAPITOL STREET VACATION</b></p>	<p>FOR: UR 13, LLC</p>	<p>45 W. 10000 S. Ste 500 Sandy, UT 84070 Phone: 801.255.0529 Fax: 801.255.4449 <a href="http://www.ensigneng.com">www.ensigneng.com</a></p>	
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PROJECT # 6512 DATE 11/10/15

**1 OF 1**

FILE: SURVEYDRAWINGS

**VICTORY ROAD TWINHOMES**

651 NORTH VICTORY ROAD  
SALT LAKE CITY, UTAH  
**WEST CAPITOL STREET VACATION**

FOR:  
UR 13, LLC

45 W. 10000 S. Ste 500  
Sandy, UT 84070  
Phone: 801.255.0529  
Fax: 801.255.4449  
[www.ensigneng.com](http://www.ensigneng.com)



# **ATTACHMENT C: ADDITIONAL APPLICANT INFORMATION – STREET CLOSURE**

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# Street Closure

SALT LAKE CITY PLANNING

### OFFICE USE ONLY

Received By: <i>A Anglin</i>	Date Received: <i>6/2/15</i>	Project #: <i>PLNPCM2015-00438</i>
Project Name: <i>West Capitol partial street vacate</i>		

### PLEASE PROVIDE THE FOLLOWING INFORMATION

Name/Location of the Street: Partial Closure. Eastern Portion of West Capitol Street at approximately 641 N. in Salt Lake City	
Name of Applicant: Sean Neves, Uterra Real Estate	Phone: 801-463-1503
Address of Applicant: 530 Colorado Street, Salt Lake City, Utah 84116	
E-mail of Applicant: seanneves@gmail.com	Cell/Fax:
Applicant's Interest in Subject Property: <input type="checkbox"/> Owner <input type="checkbox"/> Contractor <input type="checkbox"/> Architect <input checked="" type="checkbox"/> Other: Agent	
Name of Property Owner abutting the street (if different from applicant): 641 Victory LLC	
E-mail of Property Owner: greg_blake@sbcglobal.net	Phone: 949-500-8684

➔ **Please note** that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

### AVAILABLE CONSULTATION

➔ Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

### WHERE TO FILE THE COMPLETE APPLICATION

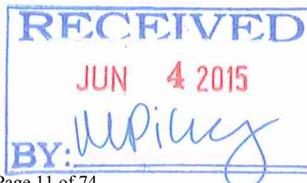
<i>Mailing Address:</i> Planning Counter PO Box 145471 Salt Lake City, UT 84114	<i>In Person:</i> Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
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### REQUIRED FEE

- ➔ Filing fee of \$357.
- ➔ Plus additional fee for required public notices.

### SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.



Updated 2/20/15

Signature of Owner or Agent:

Date:

5-21-2015

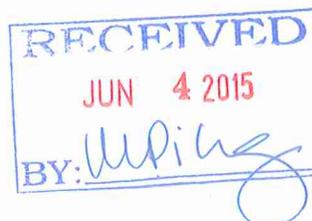
**SUBMITTAL REQUIREMENTS**

Staff Review

**Please include with the application:** (please attach additional sheet)

- 1. A letter explaining why you are requesting this Street Closure.
- 2. A Sidwell map showing the area of the proposed Street Closure. On the map please:
  - a. Highlight the area of the proposed Street Closure.
  - b. Indicate the property owners abutting the proposed Street Closure.
  - c. Submit one paper copy and a digital (PDF) copy of the map.
- 3. A written description with the width and length measurements of the proposed Street Closure.
  - A final legal description prepared by a licensed engineer will be required later.
- 4. The name, address and signatures of all abutting property owners who support the petition.
  - You may use the form attached to this application or provide your own form with signatures.
  - Signatures should be from the property owners and not from the property renters.

➔ Please be aware that once the City closes the street it will then sell the property at fair market value to the abutting property owners.



Updated 2/20/15

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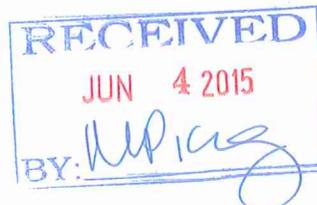
**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

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SR

I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.

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Updated 2/20/15

PETITION TO CLOSE A STREET

Name of Applicant:

Sean Neves, Uterra RE.

Address of Applicant:

530 Colorado St. Salt Lake City, UT 84116

Date:

5/21/2015

As an owner of property adjacent to the street, I agree to the proposed street closure. I also understand that I have the option to purchase the portion of the street adjacent to my property at fair market value.

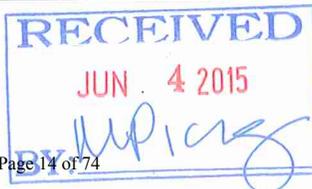
\*

Print Name

Address

Signature

Date



Updated 2/20/15

ATTN: Salt Lake City Planning and Zoning Dept  
Re: Street Closure, Approximately 641 N, West Capitol

To Whom it May Concern,

Uterra Real Estate is submitting a petition to close a portion of a street located at approximately 641 N. West Capitol in Salt Lake City. The portion of the road that we are attempting to vacate lies directly east of the functional roadway. The road, as currently designated, is unnecessarily wide and impedes the owner's use and enjoyment of their property. The proposed vacation will not affect the usefulness, maintenance or accessibility of West Capitol Street in any way. The land in question is a steep grade slope and is currently unutilized.

Attached with this document, you will find the following information:

- A Sidwell map showing the area of the proposed Street Closure. On the map please:
- A written description with the width and length measurements of the proposed Street Closure.
- Agency authorization from the property owner authorizing Uterra RE to handle the partial street vacation on their behalf.

Please do not hesitate to call with questions.

Best regards,

Sean Neves  
Uterra Corp Real Estate  
801-463-1503  
[seanneves@gmail.com](mailto:seanneves@gmail.com)



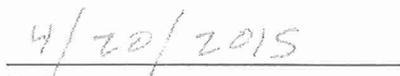
## Statement of Consent and Agency Authorization

641 Victory LLC, as owner of parcels located at 641 N. Victory Road in Salt Lake City, Tax ID numbers: 08-25-478-009, 08-36-230-022, 08-36-230-034, authorizes Uterra Corp Real Estate, (Sean Neves and Gabe Chadsey agents) and Bruce R. Baird, to act on their behalf to petition Salt Lake City to vacate a portion of West Capitol Street, as described in the attached application.

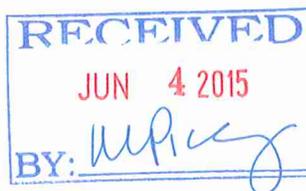
Signed, 641 Victory LLC



Gregory D. Blake, It's Manager



Date



**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

**CIVIL CODE § 1189**

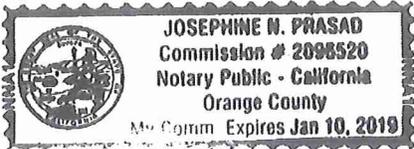
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )  
County of Orange )  
On April 20, 2015 before me, Josephine Prasad  
Date Here Insert Name and Title of the Officer  
personally appeared M. Patel  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Josephine N. Prasad  
Signature of Notary Public

Place Notary Seal Above

**OPTIONAL**

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

**Description of Attached Document**

Title or Type of Document: \_\_\_\_\_ Document Date: \_\_\_\_\_

Number of Pages: \_\_\_\_\_ Signer(s) Other Than Named Above: \_\_\_\_\_

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: \_\_\_\_\_

Signer's Name: \_\_\_\_\_

Corporate Officer – Title(s): \_\_\_\_\_

Corporate Officer – Title(s): \_\_\_\_\_

Partner –  Limited  General

Partner –  Limited  General

Individual  Attorney in Fact

Individual  Attorney in Fact

Trustee  Guardian or Conservator

Trustee  Guardian or Conservator

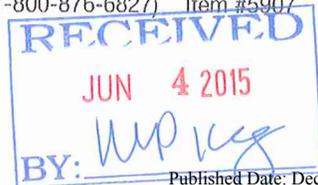
Other: \_\_\_\_\_

Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

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PETITION TO CLOSE A STREET

Name of Applicant: Sean Neves, Uteva RE.

Address of Applicant: 530 Colorado St. Salt Lake City, UT 84116

Date: 5/21/2015

As an owner of property adjacent to the street, I agree to the proposed street closure. I also understand that I have the option to purchase the portion of the street adjacent to my property at fair market value.

\* Thomas E. Hunt 686 West Capitol St. Phs 827 6-4-2015  
Print Name Address Signature Date

Updated 2/20/15

RECEIVED JUN 9 2015 BY: [Signature]

**West Capitol Street Vacation (11.5' width)**

Beginning at the Southwest Corner of Lot 6, CAPITOL VIEW, a subdivision of Lots 1,2, 3, 4, 5 and 6, Block 33 Plat "E", Salt Lake City Survey and running

thence South 89°59'13" West 13.48 feet to a point 11.50 feet perpendicular to the Westerly Boundary Line of said Capitol View Subdivision;

thence North 31°29'29" West 435.00 feet parallel to said Westerly Boundary Line of said Capitol View Subdivision;

thence North 89°59'13" East 13.48 feet to the Northwest Corner of Lot 22 of said Capitol View Subdivision;

thence South 31°29'29" East 435.00 feet along said Westerly Boundary Line of said Capitol View Subdivision to the point of beginning.

Contains 5,002 Square Feet or 0.115 Acres

**West Capitol Street Vacation – North (11.5' width)**

Beginning at the Southwest Corner of Lot 23, CAPITOL VIEW, a subdivision of Lots 1,2, 3, 4, 5 and 6, Block 33 Plat "E", Salt Lake City Survey and running

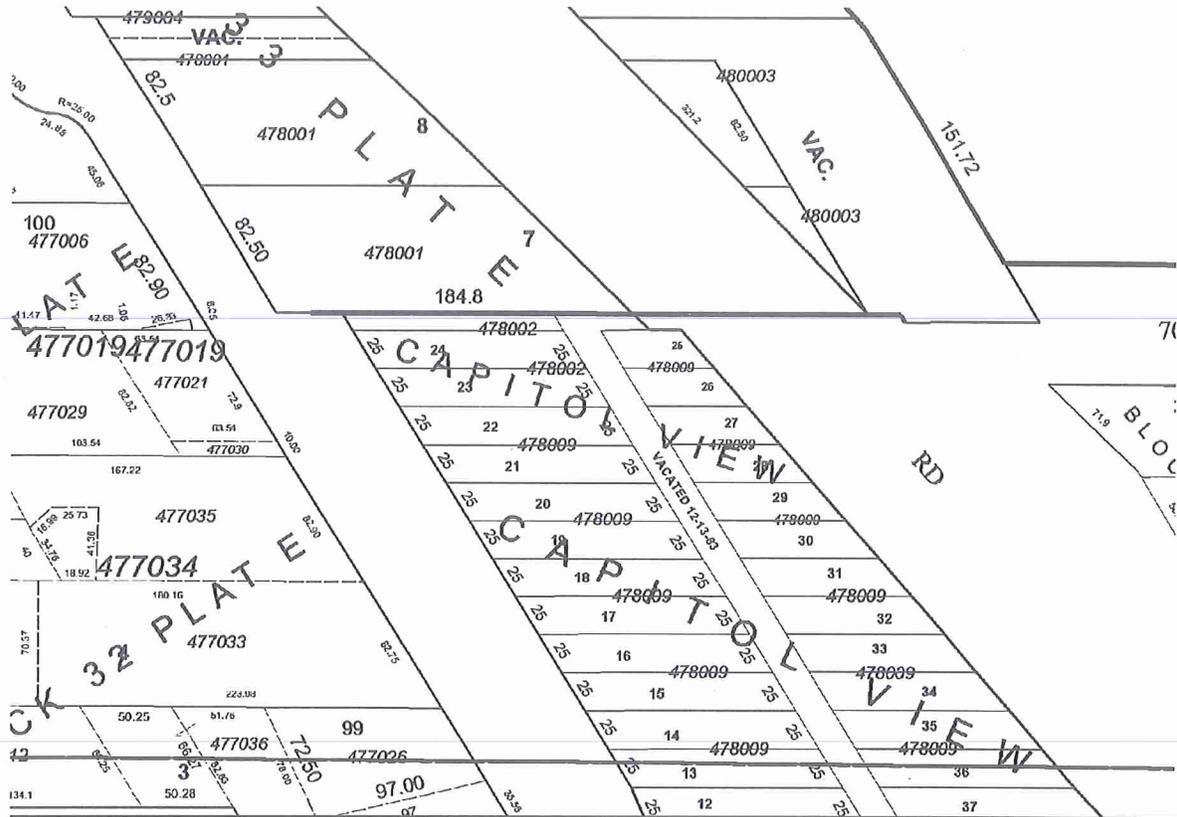
thence South 89°59'13" West 13.48 feet to a point 11.50 feet perpendicular to the Westerly Boundary Line of said Capitol View Subdivision;

thence North 31°29'29" West 60.00 feet parallel to said Westerly Boundary Line of said Capitol View Subdivision;

thence North 89°59'13" East 13.48 feet to the Northwest Corner of said Capitol View Subdivision;

thence South 31°29'29" East 60.00 feet along said Westerly Boundary Line of said Capitol View Subdivision to the point of beginning.

Contains 690 Square Feet



is not intended to represent actual physical properties. In order to establish exact physical bounda



E 1/2 SE 1/4 Sec 25 T1N R1W

RECEIVED  
 JUN 4 2015  
 BY: *[Signature]*

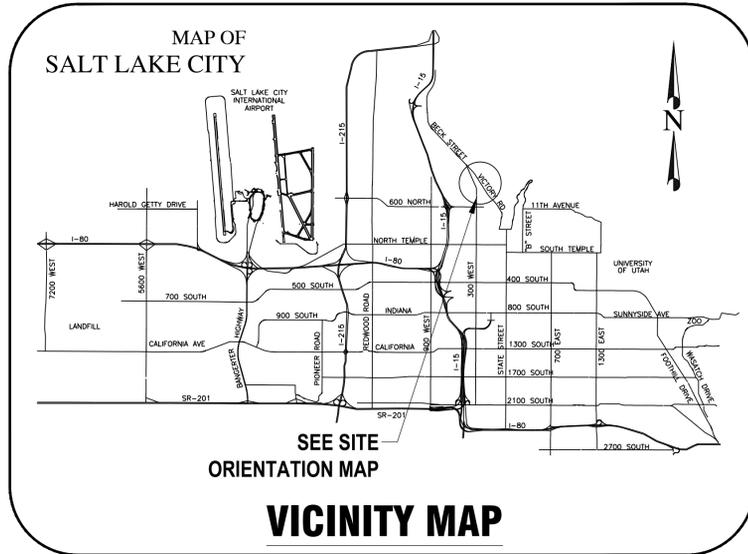


# **ATTACHMENT D: PROPOSED SUBDIVISION PLANS**

# SALT LAKE CITY CORPORATION

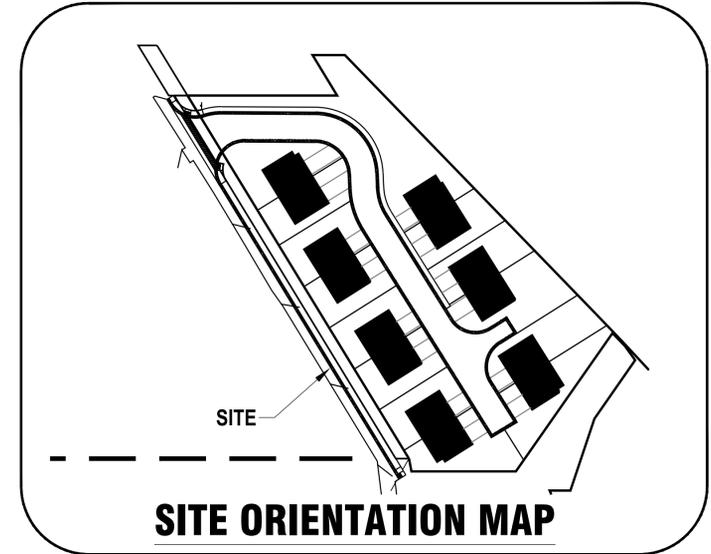
## VICTORY ROAD TWIN HOMES

**JOB NO. 880518**



### SHEET SET ASSEMBLY ORDER

SHEET DESIGNATOR	BINDING ORDER	SHEET TITLE
<b>C-000</b>	<b>1</b>	<b>COVER SHEET</b>
<b>1 of 1</b>	<b>2</b>	<b>PLAT</b>
<b>C-001</b>	<b>3</b>	<b>GENERAL NOTES</b>
<b>C-100</b>	<b>4</b>	<b>SITE PLAN</b>
<b>C-200</b>	<b>5</b>	<b>GRADING AND DRAINAGE PLAN</b>
<b>C-300</b>	<b>6</b>	<b>UTILITY PLAN</b>
<b>C-400</b>	<b>7</b>	<b>DETAILS</b>
<b>PP-1</b>	<b>8</b>	<b>VICTORY LANE PLAN AND PROFILE</b>
<b>PP-2</b>	<b>9</b>	<b>WEST CAPITOL PLAN AND PROFILE</b>
<b>PP-3</b>	<b>10</b>	<b>OFFSITE WATERLINE PLAN AND PROFILE</b>



### OWNER

DEPARTMENT OF:  
**COMMUNITY AND ECONOMIC DEVELOPMENT  
ENGINEERING DIVISION**

DIRECTOR - JILL LOVE  
CITY ENGINEER - JEFF SNELLING, S.E.  
349 SOUTH 200 EAST, SUITE 100  
SALT LAKE CITY, UTAH 84111  
OFFICE - 801.535.7961  
FAX - 801.535.6093

### CITY OFFICIALS

MAYOR	RALPH BECKER
CITY COUNCIL	DIST. 1 JAMES ROGERS
	DIST. 2 KYLE LAMALFA
	DIST. 3 STAN PENFOLD
	DIST. 4 LUKE GARROTT
	DIST. 5 ERIN MENDENHALL
	DIST. 6 CHARLIE LUKE
	DIST. 7 LISA ADAMS

### DESIGNER



**SALT LAKE CITY**  
45 W. 10000 S., Suite 500  
Sandy, Utah 84070  
Phone: 801.255.0529  
Fax: 801.255.4449

**LAYTON**  
Phone: 801.547.1100

**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.896.2983

WWW.ENSIGNUTAH.COM

### UTILITY PROVIDERS CONTACT INFORMATION

PROVIDER	CONTACT	PHONE NUMBER
AT&T	STEVE MCFARLANE	801-971-5397
CENTURY LINK	ARLENE DENNEY	801-974-8130
INTEGRA TELECOM	SHAUNA JONES	801-708-6157
LEVEL 3 COMMUNICATIONS	JOHN STEWART	435-730-0473
QUESTAR GAS	JASON MCGEE	801-324-3970
ROCKY MOUNTAIN POWER	CURT ANDERSON	801-220-7295
VERIZON	DEAN BOYERS	
ZAYO GROUP	RYAN FINCH	801-636-5350

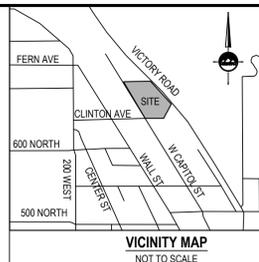
**VICTORY ROAD TWIN HOMES**

**JOB NO. 880518**

CITY ENGINEER	ENGINEERING PLAN REVIEW	TRANSPORTATION DEPARTMENT	REDEVELOPMENT AGENCY	PUBLIC UTILITIES	SALT LAKE CITY PLANNING	FIRE MARSHAL
JEFF SNELLING, S.E.	SCOTT H. WEILER, P.E.	MICHAEL BARRY	EDWARD BUTTERFIELD	JASON DRAPER, P.E.	MARYANN PICKERING, AICP	EDWARD ITCHON
DATE	DATE	DATE	DATE	DATE	DATE	DATE

# VICTORY ROAD TWINHOMES

AMENDING A PORTION OF LOTS 2-6, ALL OF LOTS 7-24, PORTION OF LOTS 25-38 AND ALLEYWAYS OF CAPITOL VIEW SUBDIVISION LOCATED IN THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 36 & EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN SALT LAKE CITY, SALT LAKE COUNTY, UTAH

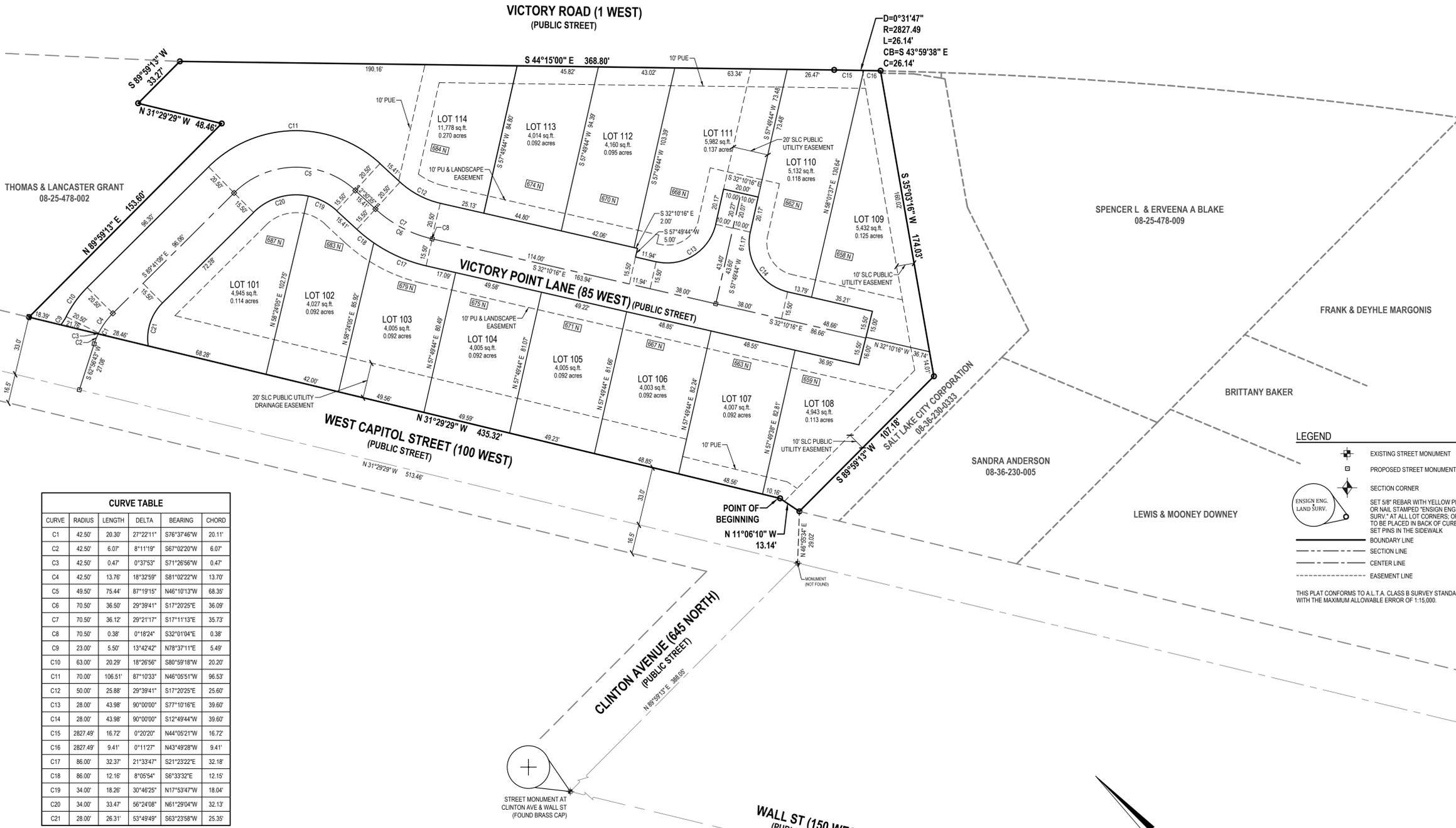


**SURVEYOR'S CERTIFICATE**  
I, PATRICK M. HARRIS, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 28682 as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereinafter to be known as VICTORY ROAD TWINHOMES, and that the same has been correctly surveyed and staked on the ground as shown on this plat.

## BOUNDARY DESCRIPTION

Beginning at the Southwest Corner of Lot 6, Capitol View Subdivision; and running  
thence North 31°29'29" West 435.32 feet along the Easterly Right-of-Way Line of West Capitol Street;  
thence North 89°59'13" East 153.69 feet;  
thence North 31°29'29" West 48.46 feet;  
thence North 89°59'13" East 33.27 feet to the Westerly Right-of-Way Line of Victory Road;  
thence South 44°15'00" East 368.80 feet along Westerly Right-of-Way Line of said Victory Road;  
thence Southwesterly 26.14 feet along the arc of a 2,827.49 foot radius curve to the right (center bears South 45°44'29" West and the chord bears South 43°59'59" East 26.14 feet with a central angle of 00°31'47") along Westerly Right-of-Way Line of said Victory Road;  
thence South 35°03'18" West 174.03 feet;  
thence South 89°59'13" West 107.18 feet to the Easterly Right-of-Way Line of West Capitol Street;  
thence North 11°06'10" West 13.14 feet along the Easterly Right-of-Way Line of said West Capitol Street to the point of beginning.  
Contains 88,891 Square Feet or 2.041 Acres

Date \_\_\_\_\_ PATRICK M. HARRIS  
P.L.S. 28682

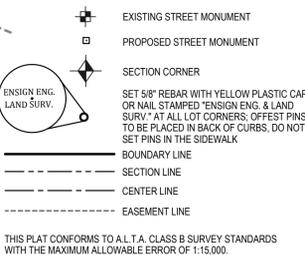


CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	42.50'	20.30'	27°22'11"	S78°37'46"W	20.11'
C2	42.50'	6.07'	8°11'19"	S67°02'20"W	6.07'
C3	42.50'	0.47'	0°37'53"	S71°26'56"W	0.47'
C4	42.50'	13.76'	18°32'59"	S81°02'22"W	13.70'
C5	49.50'	75.44'	87°19'15"	N46°10'13"W	68.35'
C6	70.50'	36.50'	29°39'41"	S17°20'25"E	36.09'
C7	70.50'	36.12'	29°21'17"	S17°11'13"E	35.73'
C8	70.50'	0.38'	0°18'24"	S32°01'04"E	0.38'
C9	23.00'	5.50'	13°42'42"	N78°37'11"E	5.49'
C10	63.00'	20.29'	18°26'56"	S80°59'18"W	20.20'
C11	70.00'	106.51'	87°10'33"	N46°05'51"W	96.53'
C12	50.00'	25.88'	29°39'41"	S17°20'25"E	25.60'
C13	28.00'	43.98'	90°00'00"	S77°10'16"E	39.60'
C14	28.00'	43.98'	90°00'00"	S12°49'44"W	39.60'
C15	2827.49'	16.72'	0°20'20"	N44°05'21"W	16.72'
C16	2827.49'	9.41'	0°11'27"	N43°49'28"W	9.41'
C17	86.00'	32.37'	21°33'47"	S21°23'22"E	32.18'
C18	86.00'	12.16'	8°05'54"	S6°33'32"E	12.15'
C19	34.00'	18.26'	30°46'25"	N17°53'47"W	18.04'
C20	34.00'	33.47'	56°24'08"	N61°29'04"W	32.13'
C21	28.00'	26.31'	53°49'49"	S63°23'58"W	25.35'

ROCKY MOUNTAIN POWER NOTES:  
1. PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.  
2. PURSUANT TO UTAH CODE ANN. § 17-27A-603(4)(C)(II) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:  
2.1. A RECORDED EASEMENT OR RIGHT-OF-WAY  
2.2. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS  
2.3. TITLE 54, CHAPTER 84, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR  
2.4. ANY OTHER PROVISION OF LAW.

QUESTAR NOTE:  
QUESTAR APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. QUESTAR MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABRIGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT QUESTAR'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

## LEGEND



## OWNER'S DEDICATION

Know all men by these presents that I, we, the undersigned owner(s) of the above described tract of land, having caused same to be subdivided, hereinafter known as the

## VICTORY ROAD TWINHOMES

AMENDING A PORTION OF LOTS 2-6, ALL OF LOTS 7-24, PORTION OF LOTS 25-38 AND ALLEYWAYS OF CAPITOL VIEW SUBDIVISION

do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for Public Use. Owner(s) hereby agree to warrant and defend and save the City harmless against any easements or other encumbrances on a dedicated street which will interfere with the City's use, maintenance, and operation of the street.

In witness whereof I / we have hereunto set our hand(s) this \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_.

By: \_\_\_\_\_

By: \_\_\_\_\_

## CORPORATE ACKNOWLEDGMENT

STATE OF UTAH  
County of Salt Lake  
On the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_, personally appeared before me \_\_\_\_\_, the signer of the foregoing instrument, who duly acknowledged to me that he/she is the \_\_\_\_\_ of \_\_\_\_\_, a Utah Corporation, and is authorized to execute the foregoing Agreement in its behalf and that he/she executed it in such capacity.

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_ RESIDING IN \_\_\_\_\_ COUNTY.

## LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH  
County of Salt Lake  
On the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_, personally appeared before me \_\_\_\_\_, the signer of the foregoing instrument, who duly acknowledged to me that he/she is a \_\_\_\_\_ of \_\_\_\_\_, a Utah limited liability company, and is authorized to execute the foregoing Agreement in its behalf and that he/she executed it in such capacity.

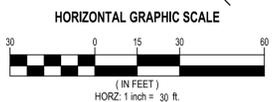
MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_ RESIDING IN \_\_\_\_\_ COUNTY.

## SHEET 1 OF 1

PROJECT NUMBER: 6512  
MANAGER: ROE  
DRAWN BY: JWJ  
CHECKED BY: KFW  
DATE: 5/25/15

DEVELOPER  
UR 113, LLC  
2150 SOUTH 1300 EAST, STE 500  
SALT LAKE CITY, UTAH 84106  
801-205-9030



NUMBER _____	<p>SALT LAKE CITY 45 W. 10000 S., Suite 1000 Sandy, UT, 84070 Phone: 801.255.0529 Fax: 801.255.4449 WWW.ENSIGNENG.COM</p>	<p>APPROVED THIS _____ DAY OF _____, 20____ BY THE BOARD OF HEALTH.</p> <p>SALT LAKE COUNTY HEALTH DEPT.</p>	<p>APPROVED THIS _____ DAY OF _____, 20____ BY THE SALT LAKE CITY PLANNING COMMISSION.</p> <p>SALT LAKE CITY PLANNING DIRECTOR _____ DATE _____</p>	<p>I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE.</p> <p>CITY ENGINEER _____ DATE _____</p>	<p>APPROVED AS TO SANITARY SEWER AND WATER UTILITY DETAIL THIS _____ DAY OF _____, 20____.</p> <p>SALT LAKE CITY PUBLIC UTILITIES DIRECTOR _____</p>	<p>APPROVED AS TO FORM THIS _____ DAY OF _____, 20____ BY THE SALT LAKE CITY ATTORNEY.</p> <p>SALT LAKE CITY ATTORNEY _____</p>	<p>PRESENTED TO SALT LAKE CITY THIS _____ DAY OF _____ AND IS HEREBY APPROVED.</p> <p>SALT LAKE CITY MAYOR _____ ATTEST: CITY RECORDER _____</p>	<p>RECORDED # _____</p> <p>STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: _____</p> <p>DATE _____ TIME _____ BOOK _____ PAGE _____</p> <p>FEES _____ DEPUTY SALT LAKE COUNTY RECORDER _____</p>	<p>NUMBER _____</p> <p>ACCOUNT _____</p> <p>SHEET 1</p> <p>OF 2 SHEETS</p>
ACCOUNT _____		<p>APPROVED THIS _____ DAY OF _____, 20____ BY THE BOARD OF HEALTH.</p> <p>SALT LAKE COUNTY HEALTH DEPT.</p>	<p>APPROVED THIS _____ DAY OF _____, 20____ BY THE SALT LAKE CITY PLANNING COMMISSION.</p> <p>SALT LAKE CITY PLANNING DIRECTOR _____ DATE _____</p>	<p>I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE.</p> <p>CITY ENGINEER _____ DATE _____</p>	<p>APPROVED AS TO SANITARY SEWER AND WATER UTILITY DETAIL THIS _____ DAY OF _____, 20____.</p> <p>SALT LAKE CITY PUBLIC UTILITIES DIRECTOR _____</p>	<p>APPROVED AS TO FORM THIS _____ DAY OF _____, 20____ BY THE SALT LAKE CITY ATTORNEY.</p> <p>SALT LAKE CITY ATTORNEY _____</p>	<p>PRESENTED TO SALT LAKE CITY THIS _____ DAY OF _____ AND IS HEREBY APPROVED.</p> <p>SALT LAKE CITY MAYOR _____ ATTEST: CITY RECORDER _____</p>	<p>RECORDED # _____</p> <p>STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: _____</p> <p>DATE _____ TIME _____ BOOK _____ PAGE _____</p> <p>FEES _____ DEPUTY SALT LAKE COUNTY RECORDER _____</p>	<p>NUMBER _____</p> <p>ACCOUNT _____</p> <p>SHEET 1</p> <p>OF 2 SHEETS</p>

**SALT LAKE CITY PUBLIC UTILITIES GENERAL NOTES**

**1. COMPLIANCE:**  
ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, AND SLC PUBLIC UTILITIES MODIFICATIONS TO APWA STANDARD PLANS AND APPROVED MATERIALS AND SLC PUBLIC UTILITIES APWA SPECIFICATIONS MODIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED IN WRITING BY THE SALT LAKE CITY DIRECTOR OF PUBLIC UTILITIES.

**2. COORDINATION:**  
THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL APPROPRIATE GOVERNMENT AND PRIVATE ENTITIES ASSOCIATED WITH THE PROJECT. THE FOLLOWING MUST BE CONTACTED 48-HOURS PRIOR TO CONSTRUCTION AS APPLICABLE TO THE PROJECT.

**PUBLIC UTILITIES:**  
BACKFLOW PREVENTION - 483-6795  
DEVELOPMENT REVIEW ENGINEERING - 483-6781  
INSPECTIONS, PERMITS, CONTRACTS & AGREEMENTS - 483-6727  
PRETREATMENT - 799-4002  
STORM WATER - 483-6751

**SLC DEPARTMENTS:**  
ENGINEERING - PUBLIC WAY PERMITS AND ISSUES - 535-6248  
ENGINEERING - SUBDIVISIONS - 535-6159  
FIRE DEPARTMENT - 535-6636  
PERMITS AND LICENSING (BLDG SERVICES) - 535-7752  
PLANNING AND ZONING - 535-7700  
TRANSPORTATION - 535-6630

- ALL OTHER POTENTIALLY IMPACTED GOVERNING AGENCIES OR ENTITIES  
- ALL WATER USERS INVOLVED IN WATER MAIN SHUTDOWNS  
- APPLICABLE SEWER, WATER AND DRAINAGE DISTRICTS  
- BLUESTAKES LOCATING SERVICES - 532-5000  
- COUNTY FIRE DEPARTMENT - 743-7231  
- COUNTY FLOOD CONTROL - 468-2779  
- COUNTY HEALTH DEPARTMENT - 385-468-3913  
- COUNTY PUBLIC WAY PERMITS - 468-2241  
- HOLLADAY CITY - 272-9450  
- SALT LAKE COUNTY HIGHWAY DEPARTMENT - 468-3705 OR 468-2156  
- THE UTAH TRANSIT AUTHORITY FOR RE-ROUTING SERVICE - 262-5626  
- UNION PACIFIC RAILROAD CO., SUPERINTENDENTS OFFICE - 595-3405  
- UTAH DEPARTMENT OF TRANSPORTATION, REGION #2 - 975-4800  
- UTAH STATE ENGINEER - 538-7240

**3. SCHEDULE**  
PRIOR TO CONSTRUCTION THE CONTRACTOR WILL PROVIDE, AND WILL UPDATE AS CHANGES OCCUR, A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SPECIFICATIONS AND SALT LAKE CITY ENGINEERING OR SALT LAKE COUNTY REGULATIONS AS APPLICABLE FOR WORKING WITHIN THE PUBLIC WAY.

**4. PERMITS, FEES AND AGREEMENTS**  
CONTRACTOR MUST OBTAIN ALL THE NECESSARY PERMITS AND AGREEMENTS AND PAY ALL APPLICABLE FEES PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT SALT LAKE CITY ENGINEERING (535-6248) FOR PERMITS AND INSPECTIONS REQUIRED FOR ANY WORK CONDUCTED WITHIN SALT LAKE CITY'S PUBLIC RIGHT-OF-WAY. APPLICABLE UTILITY PERMITS MAY INCLUDE MAINLINE EXTENSION AGREEMENTS AND SERVICE CONNECTION PERMITS. ALL UTILITY WORK MUST BE BONDED. ALL CONTRACTORS MUST BE LICENSED TO WORK ON CITY UTILITY MAINS.

CONSTRUCTION SITES MUST BE IN COMPLIANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) STORM WATER PERMIT FOR CONSTRUCTION ACTIVITIES (538-6923). A COPY OF THE PERMIT'S STORM WATER POLLUTION PREVENTION PLAN MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADDITIONAL WATER QUALITY AND EROSION CONTROL MEASURES MAY BE REQUIRED. THE CONTRACTOR MUST ALSO COMPLY WITH SALT LAKE CITY'S CLEAN WHEEL ORDINANCE.

**5. ASPHALT AND SOIL TESTING**  
THE CONTRACTOR IS TO PROVIDE MARSHALL AND PROCTOR TEST DATA 24-HOURS PRIOR TO USE. CONTRACTOR IS TO PROVIDE COMPACTION AND DENSITY TESTING AS REQUIRED BY SALT LAKE CITY ENGINEERING, UDOT, SALT LAKE COUNTY OR OTHER GOVERNING ENTITY. TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS, SECTION 330520 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE SLC PROJECT ENGINEER IF NATIVE MATERIALS ARE USED. **NO NATIVE MATERIALS ARE ALLOWED WITHIN THE PIPE ZONE.** THE MAXIMUM LIFTS FOR BACKFILLING EXCAVATIONS IS 8-INCHES. ALL MATERIALS AND COMPACTION TESTING IS TO BE PERFORMED BY A LAB RECOGNIZED AND ACCEPTED BY SALT LAKE COUNTY PUBLIC WORKS AND/OR SALT LAKE CITY ENGINEERING.

**6. TRAFFIC CONTROL AND HAUL ROUTES**  
TRAFFIC CONTROL MUST CONFORM TO THE MOST CURRENT EDITION OF SALT LAKE CITY TRAFFIC CONTROL MANUAL - PART 6 OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" FOR SALT LAKE COUNTY AND STATE ROADS. SLC TRANSPORTATION MUST APPROVE ALL PROJECT HAUL ROUTES (635-7129). THE CONTRACTOR MUST ALSO CONFORM TO UDOT, SALT LAKE COUNTY OR OTHER APPLICABLE GOVERNING ENTITIES REQUIREMENTS FOR TRAFFIC CONTROL.

**7. SURVEY CONTROL**  
CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS APPROVED. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE GRADE OF THE MAIN AND/OR FACILITY AS APPROVED. IN ADDITION, THE CONTRACTOR AND/OR SURVEYOR SHALL PROVIDE TO SALT LAKE CITY PUBLIC UTILITIES CUT SHEETS FILLED OUT COMPLETELY AND CLEARLY SHOWING THE PERTINENT GRADES, ELEVATIONS AND CUT/FILLS ASSOCIATED WITH THE FIELD STAKING OF THE MAIN AND/OR FACILITY. THE CUT SHEET FORM IS AVAILABLE AT THE CONTRACTS AND AGREEMENTS OFFICE AT PUBLIC UTILITIES. ALL MAINS AND LATERALS NOT MEETING MINIMUM GRADE REQUIREMENTS AS SPECIFIED BY ORDINANCE OR AS REQUIRED TO MEET THE MINIMUM REQUIRED FLOWS OR AS APPROVED MUST BE REMOVED AND RECONSTRUCTED TO MEET DESIGN GRADE. THE CONTRACTOR SHALL PROTECT UTILITY WORKERS UNTIL PUBLIC UTILITY SURVEYORS COMPLETE FINAL MEASUREMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE COUNTY SURVEYOR (468-2028) FOR MONUMENT LOCATIONS AND CONSTRUCTION REQUIREMENTS. ALL ELEVATIONS SHALL BE REFERENCED TO SALT LAKE CITY DATUM UNLESS NOTED OTHERWISE ON THE PLANS.

**8. ASPHALT GUARANTEE**  
THE CONTRACTOR SHALL REMOVE, DISPOSE OF, FURNISH AND PLACE PERMANENT ASPHALT PER SALT LAKE CITY ENGINEERING, UDOT, COUNTY, OR OTHER GOVERNMENT STANDARDS AS APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY.

**9. TEMPORARY ASPHALT**  
IF THE CONTRACTOR CHOOSES TO WORK WITHIN THE PUBLIC WAY WHEN HOT MIX ASPHALT IS NOT AVAILABLE, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE APPROPRIATE GOVERNING ENTITY PRIOR TO INSTALLING TEMPORARY ASPHALT SURFACING MATERIAL. WITHIN SALT LAKE CITY, WHEN PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL REMOVE THE TEMPORARY ASPHALT, FURNISH AND INSTALL THE PERMANENT ASPHALT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY FROM THE DATE OF COMPLETION.

**10. SAFETY**  
THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA, STATE, COUNTY AND OTHER GOVERNING ENTITY REQUIREMENTS.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS.

**11. DUST CONTROL**  
THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO THE GOVERNING ENTITY STANDARDS. USE OF HYDRANT WATER OR PUMPING FROM CITY-OWNED CANALS OR STORM DRAINAGE FACILITIES IS NOT ALLOWED FOR DUST CONTROL ACTIVITIES WITHOUT WRITTEN APPROVAL OF THE PUBLIC UTILITIES DIRECTOR.

**12. DEWATERING**  
ALL ON-SITE DEWATERING ACTIVITIES MUST BE APPROVED IN WRITING BY PUBLIC UTILITIES. PROPOSED OUTFALL LOCATIONS AND ESTIMATED FLOW VOLUME CALCULATIONS MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADEQUATE MEASURES MUST BE TAKEN TO REMOVE ALL SEDIMENT PRIOR TO DISCHARGE. PUBLIC UTILITIES MAY REQUIRE ADDITIONAL MEASURES FOR SEDIMENT CONTROL AND REMOVAL.

**13. PROJECT LIMITS**  
THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.

**14. WATER, FIRE, SANITARY SEWER AND STORM DRAINAGE UTILITIES**  
**A. INSPECTIONS -**  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE ANY WATER, SEWER, BACKFLOW AND DRAINAGE INSPECTION 48-HOURS IN ADVANCE TO WHEN NEEDED. CONTACT 483-6727 TO SCHEDULE INSPECTIONS.

**B. DAMAGE TO EXISTING UTILITIES -**  
THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR, MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE, TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.

**C. UTILITY LOCATIONS -**  
CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL UTILITIES AND SERVICE LATERALS, AND FOR REPAIRING ALL DAMAGE THAT OCCURS TO THE UTILITIES DUE TO THE CONTRACTOR'S ACTIVITIES. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, MATERIAL AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POT-HOLING A MINIMUM OF 300-FEET AHEAD OF SCHEDULED CONSTRUCTION IN ORDER TO IDENTIFY POTENTIAL CONFLICTS AND PROBLEMS WITH FUTURE CONSTRUCTION ACTIVITIES. EXISTING UTILITY INFORMATION OBTAINED FROM SLC PUBLIC UTILITIES' MAPS MUST BE ASSUMED AS APPROXIMATE AND REQUIRING FIELD VERIFICATION. CONTACT BLUE STAKES OR APPROPRIATE OWNER FOR COMMUNICATION LINE LOCATIONS.

**D. UTILITY RELOCATIONS -**  
FOR UTILITY CONFLICTS REQUIRING MAINLINE RELOCATIONS, THE CONTRACTOR MUST NOTIFY THE APPLICABLE UTILITY COMPANY OR USER A MINIMUM OF 2-WEEKS IN ADVANCE. A ONE-WEEK MINIMUM NOTIFICATION IS REQUIRED FOR CONFLICTS REQUIRING THE RELOCATION OF SERVICE LATERALS. ALL RELOCATIONS ARE SUBJECT TO APPROVAL FROM THE APPLICABLE UTILITY COMPANY AND/OR USER.

**E. FIELD CHANGES -**  
NO ROADWAY, UTILITY ALIGNMENT OR GRADE CHANGES ARE ALLOWED FROM THE APPROVED CONSTRUCTION PLANS/DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE SLC PUBLIC UTILITIES DIRECTOR. CHANGES TO HYDRANT LOCATIONS AND/OR FIRE LINES MUST BE REVIEWED AND APPROVED BY THE SALT LAKE CITY OR SALT LAKE COUNTY FIRE DEPARTMENT (AS APPLICABLE TO THE PROJECT) AND PUBLIC UTILITIES.

**F. PUBLIC NOTICE TO PROJECTS IN THE PUBLIC WAY -**  
FOR APPROVED PROJECTS THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND DISTRIBUTE WRITTEN NOTICE TO ALL RESIDENTS LOCATED WITHIN THE PROJECT AREA AT LEAST 72-HOURS PRIOR TO CONSTRUCTION. WORK TO BE CONDUCTED WITHIN COMMERCIAL OR INDUSTRIAL AREAS MAY REQUIRE A LONGER NOTIFICATION PERIOD AND ADDITIONAL CONTRACTOR COORDINATION WITH PROPERTY OWNERS. THE WRITTEN NOTICE IS TO BE APPROVED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER.

**G. PUBLIC NOTICE FOR WATER MAIN SHUT DOWNS -**  
THROUGH THE SLC PUBLIC UTILITIES INSPECTOR AND WITH THE PUBLIC UTILITIES PROJECT ENGINEER APPROVAL, SLC PUBLIC UTILITIES MUST BE CONTACTED AND APPROVE ALL WATER MAIN SHUTDOWNS. ONCE APPROVED THE CONTRACTOR MUST NOTIFY ALL AFFECTED USERS BY WRITTEN NOTICE A MINIMUM 48-HOURS (RESIDENTIAL) AND 72-HOURS (COMMERCIAL/INDUSTRIAL) PRIOR TO THE WATER MAIN SHUT DOWN. PUBLIC UTILITIES MAY REQUIRE LONGER NOTICE PERIODS.

**H. WATER AND SEWER SEPARATION -**  
IN ACCORDANCE WITH UTAH'S DEPARTMENT OF HEALTH REGULATIONS, A MINIMUM TEN-FOOT HORIZONTAL AND 1.5-FOOT VERTICAL (WITH WATER ON TOP) SEPARATION IS REQUIRED. IF THESE CONDITIONS CANNOT BE MET, STATE AND SLC PUBLIC UTILITIES APPROVAL IS REQUIRED. ADDITIONAL CONSTRUCTION MEASURES WILL BE REQUIRED FOR THESE CONDITIONS.

**I. SALVAGE -**  
ALL METERS MUST BE RETURNED TO PUBLIC UTILITIES, AND AT PUBLIC UTILITIES REQUEST ALL SALVAGED PIPE AND/OR FITTINGS MUST BE RETURNED TO SLC PUBLIC UTILITIES (483-6727) LOCATED AT 1530 SOUTH WEST TEMPLE.

**J. SEWER MAIN AND LATERAL CONSTRUCTION REQUIREMENTS -**  
SLC PUBLIC UTILITIES MUST APPROVE ALL SEWER CONNECTIONS. ALL SEWER LATERALS 6-INCHES AND SMALLER MUST WYE INTO THE MAINS PER SLC PUBLIC UTILITIES REQUIREMENTS. ALL 8-INCH AND LARGER SEWER CONNECTIONS MUST BE PETITIONED FOR AT PUBLIC UTILITIES (483-6762) AND CONNECTED AT A MANHOLE. **INSIDE DROPS IN MANHOLES ARE NOT ALLOWED.** A MINIMUM 4-FOOT BURY DEPTH IS REQUIRED ON ALL SEWER MAINS AND LATERALS. CONTRACTOR SHALL INSTALL INVERT COVERS IN ALL SEWER MANHOLES WITHIN THE PROJECT AREA.

CONTRACTOR TO PROVIDE AIR PRESSURE TESTING OF SEWER MAINS IN ACCORDANCE WITH PIPE MANUFACTURERS RECOMMENDATIONS AND ALL SLC PUBLIC UTILITIES REQUIREMENTS. ALL PVC SEWER MAIN AND LATERAL TESTING SHALL BE IN ACCORDANCE WITH UNI-BELL UN-8-6-98 RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE. CONTRACTOR SHALL PROVIDE SEWER LATERAL WATER TESTING AS REQUIRED BY THE SALT LAKE CITY PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. A MINIMUM OF 9-FEET OF HEAD PRESSURE IS REQUIRED AS MEASURED VERTICALLY FROM THE HIGH POINT OF THE PIPELINE AND AT OTHER LOCATIONS ALONG THE PIPELINE AS DETERMINED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. TESTING TIME WILL BE NO LESS THAN AS SPECIFIED FOR THE AIR TEST DURATION IN TABLE 1 ON PAGE 12 OF UNI-8-6-98. ALL PIPES SUBJECT TO WATER TESTING SHALL BE FULLY VISIBLE TO THE INSPECTOR DURING TESTING. TESTING MUST BE PERFORMED IN THE PRESENCE OF A SLC PUBLIC UTILITIES REPRESENTATIVE. ALL VISIBLE LEAKAGE MUST BE REPAIRED TO THE SATISFACTION OF THE SLC PUBLIC UTILITIES ENGINEER OR INSPECTOR.

**K. WATER AND FIRE MAIN AND SERVICE CONSTRUCTION REQUIREMENTS -**  
SLC PUBLIC UTILITIES MUST APPROVE ALL FIRE AND WATER SERVICE CONNECTIONS. A MINIMUM 3-FOOT SEPARATION IS REQUIRED BETWEEN ALL WATER AND FIRE SERVICE TAPS INTO THE MAIN. ALL CONNECTIONS MUST BE MADE MEETING SLC PUBLIC UTILITIES REQUIREMENTS. A 5-FOOT MINIMUM BURY DEPTH (FINAL GRADE TO TOP OF PIPE) IS REQUIRED ON ALL WATER/FIRE LINES UNLESS OTHERWISE APPROVED BY PUBLIC UTILITIES. WATER LINE THRUST BLOCK AND RESTRAINTS ARE AS PER SLC APPROVED DETAIL, DRAWINGS AND SPECIFICATIONS. ALL EXPOSED NUTS AND BOLTS WILL BE COATED WITH CHEVRON FM1 GREASE PLUS MINIMUM 8 MIL THICKNESS PLASTIC. PROVIDE STAINLESS STEEL NUTS, BOLTS AND WASHERS FOR HIGH GROUNDWATER/SATURATED CONDITIONS AT FLANGE FITTINGS, ETC.

ALL WATERLINES INSTALLATIONS AND TESTING TO BE IN ACCORDANCE WITH AWWA SECTIONS C600, C601, C651, C206, C200, C900, C303 AWWA MANUAL M11 AND ALL OTHER APPLICABLE AWWA, UPWS, ASTM AND ANSI SPECIFICATIONS RELEVANT TO THE INSTALLATION AND COMPLETION OF THE PROJECT. AMENDMENT TO SECTION C800 SECTION 4.1.1; DOCUMENT TO READ MINIMUM TEST PRESSURE SHALL NOT BE LESS THAN 200 P.S.I. GAUGED TO A HIGH POINT OF THE PIPELINE BEING TESTED. ALL MATERIALS USED FOR WATERWORKS PROJECTS TO BE RATED FOR 150 P.S.I. MINIMUM OPERATING PRESSURE.

CONTRACTOR IS TO INSTALL WATER SERVICE LINES, METER YOKES AND/OR ASSEMBLIES AND METER BOXES WITH LIDS LOCATED AS APPROVED ON THE PLANS PER APPLICABLE PUBLIC UTILITIES DETAIL DRAWINGS. METER BOXES ARE TO BE PLACED IN THE PARK STRIPS PERPENDICULAR TO THE WATERMAIN SERVICE TAP CONNECTION. ALL WATER METERS, CATCH BASINS, CLEANOUT BOXES, MANHOLES, DOUBLE CHECK VALVE DETECTOR ASSEMBLIES, REDUCED PRESSURE DETECTOR ASSEMBLIES AND BACKFLOW PREVENTION DEVICES MUST BE LOCATED OUTSIDE OF ALL APPROACHES, DRIVEWAYS, PEDESTRIAN WALKWAYS AND OTHER TRAVELED WAYS UNLESS OTHERWISE APPROVED ON PLANS.

BACKFLOW PREVENTORS ARE REQUIRED ON ALL IRRIGATION AND FIRE SPRINKLING TAPS PER PUBLIC UTILITIES AND SLC FIRE DEPARTMENT REQUIREMENTS. CONTRACTORS SHALL INSTALL BACKFLOW PREVENTION DEVICES ON FIRE SPRINKLER CONNECTIONS. DOUBLE CHECK VALVE ASSEMBLIES SHALL BE INSTALLED ON CLASS 1, 2 AND 3 SYSTEMS. REDUCED PRESSURE PRINCIPLE VALVES SHALL BE INSTALLED ON CLASS 4 SYSTEMS. ALL FIRE SPRINKLING BACKFLOW ASSEMBLIES SHALL CONFORM TO ASSE STANDARD 1048, 1013, 1047 AND 1015. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM BACKFLOW PREVENTION TESTS PER SALT LAKE CITY STANDARDS AND SUBMIT RESULTS TO PUBLIC UTILITIES. ALL TESTS MUST BE PERFORMED AND SUBMITTED TO PUBLIC UTILITIES WITHIN 10 DAYS OF INSTALLATION OR WATER TURN-ON. BACKFLOW TEST FORMS ARE AVAILABLE AT PUBLIC UTILITIES' CONTRACTS AND AGREEMENTS OFFICE.

**L. GENERAL WATER, SEWER AND STORM DRAIN REQUIREMENTS -**  
ALL WATER, FIRE AND SEWER SERVICES SUBJECT TO A PROPERTY MUST BE USED OR WATER AND FIRE SERVICES MUST BE KILLED AT THE MAIN AND SEWER LATERALS CAPPED AT PROPERTY LINE PER PUBLIC UTILITIES REQUIREMENTS. ALLOWABLE SERVICES TO BE KEPT WILL BE AS DETERMINED BY THE PUBLIC UTILITIES PROJECT ENGINEER. ALL WATER AND FIRE SERVICE KILLS AND SEWER LATERAL CAPS ARE TO BE KILLED AND CAPPED AS DETERMINED AND VISUALLY VERIFIED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

ALL MANHOLES, HYDRANTS, VALVES, CLEAN-OUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER PUBLIC UTILITIES STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS AND VALVES PER PUBLIC UTILITIES STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED AS REQUIRED BY THE PUBLIC UTILITIES INSPECTOR. ALL MANHOLE, CLEANOUT BOX OR CATCH BASIN DISCONNECTIONS MUST BE REPAIRED AND GROUTED AS REQUIRED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION. UTILITY TRENCHING, BACKFILL, AND PIPE ZONE AS PER SLC PUBLIC UTILITIES 'UTILITY INSTALLATION DETAIL.'

**ABBREVIATIONS**

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BOS	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
C	CURVE
CB	CATCH BASIN
CF	CURB FACE OR CURB FEET
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EOA	EDGE OF ASPHALT
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
GF	GARAGE FLOOR
GV	GATE VALVE
H/C	HANDICAP
HP	HIGH POINT
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
LD	LAND DRAIN
LF	LINEAL FEET
LP	LOW POINT
MH	MANHOLE
MIN	MINIMUM
MJ	MECHANICAL JOINT
NG	NATURAL GROUND
NIC	NOT IN CONTRACT NUMBER
OC	ON CENTER
OCCW	ON CENTER EACH WAY
OHP	OVERHEAD POWER
PC	POINT OF CURVATURE OR PRESSURE CLASS
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PIP	PLASTIC IRRIGATION PIPE
PIV	POST INDICATOR VALVE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROOF DRAIN
ROW	RIGHT OF WAY
S	SLOPE
SA	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER STATION
STA	STATION
SW	SIDEWALK
SWL	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TOG	TOP OF GRADE
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOW	TOP OF WALL
TOS	TOP OF STEP
TYP	TYPICAL
VC	VERTICAL CURVE
WV	WALL INDICATOR VALVE
WL	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

**LEGEND**

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	SET ENSIGN REBAR AND CAP		EXISTING FENCE
	EXISTING WATER METER		PROPOSED FENCE
	PROPOSED WATER METER		EXISTING FLOW LINE
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	PROPOSED WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		PROPOSED STORM DRAIN LINE
	PROPOSED WATER VALVE		ROOF DRAIN LINE
	EXISTING FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE HYDRANT		HIGHWATER LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER VALVE		PROPOSED SANITARY SEWER
	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN COMBO BOX		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING GAS LINE
	EXISTING STORM DRAIN CULVERT		EXISTING TELEPHONE LINE
	PROPOSED STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW OUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		STRAW WATTLE
	ROOF DRAIN		TEMPORARY BERM
	EXISTING ELECTRICAL MANHOLE		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL BOX		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		EXISTING WALL
	EXISTING UTILITY POLE		PROPOSED WALL
	EXISTING LIGHT		EXISTING CONTOURS
	PROPOSED LIGHT		PROPOSED CONTOURS
	EXISTING GAS METER		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS MANHOLE		PUBLIC DRAINAGE EASEMENT
	EXISTING GAS VALVE		EXISTING ASPHALT TO BE REMOVED
	EXISTING TELEPHONE MANHOLE		PROPOSED ASPHALT
	EXISTING TELEPHONE BOX		EXISTING CURB AND GUTTER
	EXISTING TRAFFIC SIGNAL BOX		PROPOSED CURB AND GUTTER
	EXISTING CABLE BOX		PROPOSED REVERSE PAN CURB AND GUTTER
	EXISTING BOLLARD		TRANSITION TO REVERSE PAN CURB
	PROPOSED BOLLARD		CONCRETE TO BE REMOVED
	EXISTING SIGN		EXISTING CONCRETE
	PROPOSED SIGN		PROPOSED CONCRETE
	EXISTING SPOT ELEVATION		BUILDING TO BE REMOVED
	PROPOSED SPOT ELEVATION		EXISTING BUILDING
	EXISTING FLOW DIRECTION		PROPOSED BUILDING
	EXISTING TREE		
	DENSE VEGETATION		

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.

**MISCELLANEOUS NOTES**

- AT LEAST ONE MEMBER OF THE CONCRETE FINISHING CREW MUST BE ACI CERTIFIED. THE NAME OF THE ACI CERTIFIED FINISHER MUST BE PROVIDED AT THE PRE-CONSTRUCTION MEETING FOR THE SUBDIVISION.
- THE CONSTRUCTION CONTRACTOR MUST FILE A NOTICE OF INTENT WITH THE STATE OF UTAH, DEPARTMENT OF ENVIRONMENTAL QUALITY, DIVISION OF WATER QUALITY, TO COMPLY WITH THE NPDES PERMITTING PROCESS. A COPY OF THE POLLUTION PREVENTION PLAN MUST ALSO BE SUBMITTED TO SLC PUBLIC UTILITIES.



**SALT LAKE CITY**  
45 W. 10000 S., Suite 500  
Sandy, UT 84070  
Phone: 801.255.0529

**LAYTON**  
Phone: 801.547.1100

**TOOELE**  
Phone: 435.843.3590

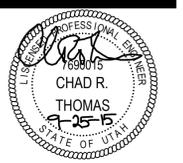
**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.896.2983

**WWW.ENSIGNENG.COM**

FOR:  
UR 13, LLC  
2150 S. 1300 E., SUITE 500  
SALT LAKE CITY, UT 84106  
CONTACT:  
GABE CHADSEY  
PHONE: 801-205-9030

**VICTORY ROAD TWINHOMES**  
651 NORTH VICTORY ROAD  
SALT LAKE CITY, UTAH



**811**  
Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

**BENCHMARK**

ROW MARKER AT THE INTERSECTION OF WALL STREET AND CLINTON AVENUE, SECTION 25 T1N, R1W, SALT LAKE BASE & MERIDIAN

NAVD88  
ELEVATION = 4395.53

**ENSIGN**  
THE STANDARD IN ENGINEERING

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**GENERAL NOTES**

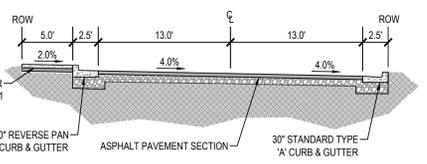
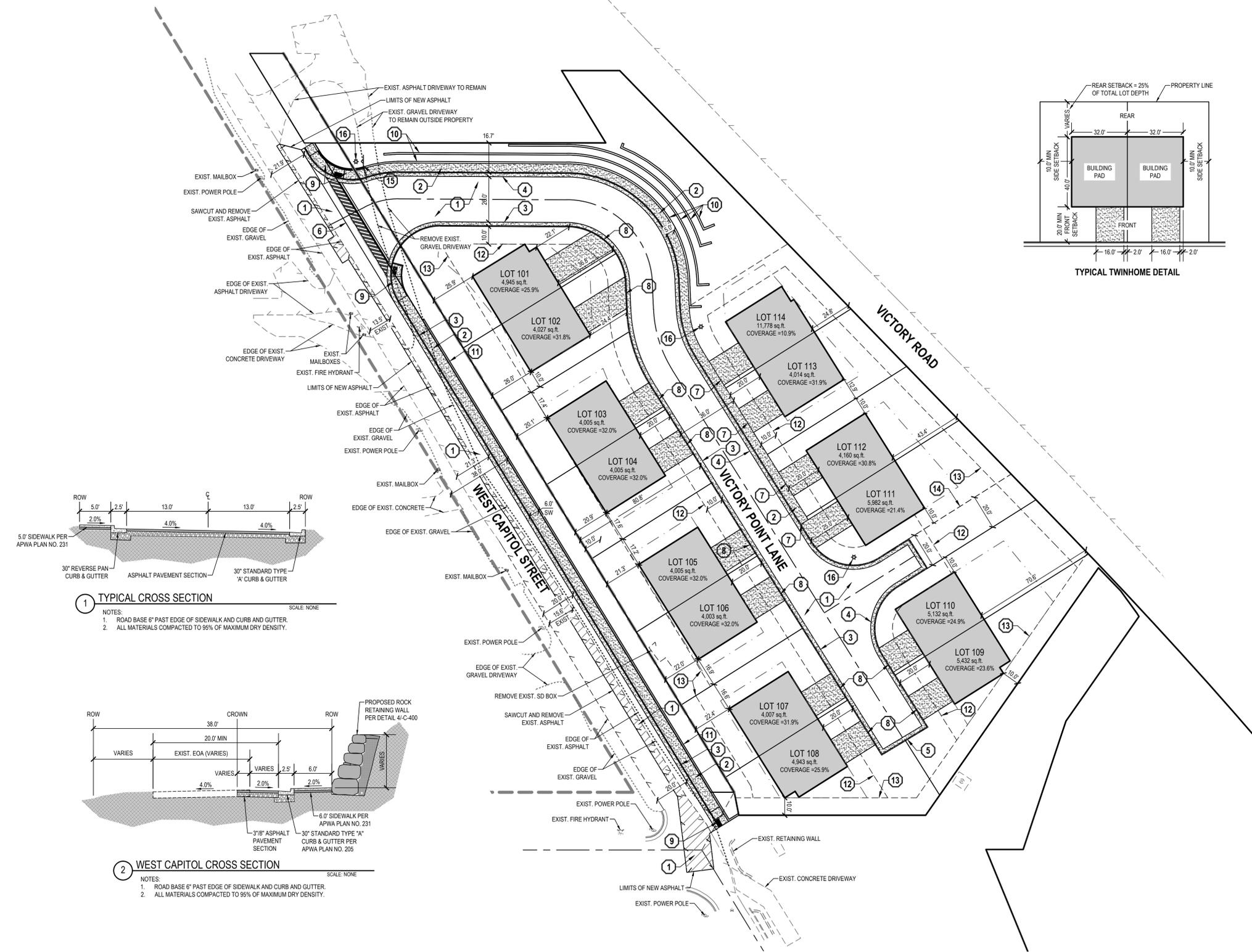
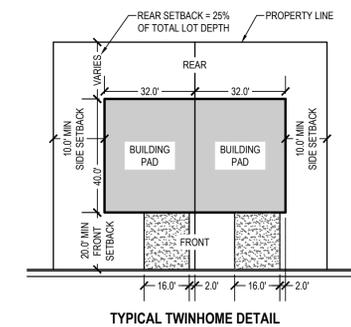
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

**SCOPE OF WORK:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

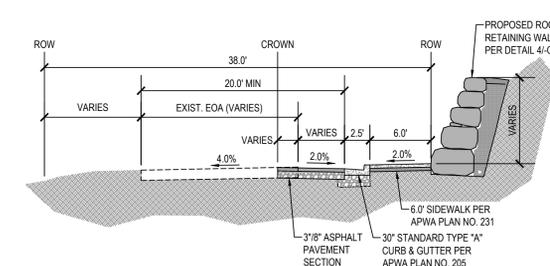
- ASPHALT PAVEMENT: 3" THICK ASPHALTIC CONCRETE WITH 8" UNTREATED BASE COURSE PER DETAIL 1/C-400.
- 4" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231 AND SPECIFICATIONS.
- 30" STANDARD TYPE "A" CURB AND GUTTER PER APWA STANDARD PLAN NO. 205 AND SPECIFICATIONS.
- 30" STANDARD TYPE "A" REVERSE PAN CURB AND GUTTER PER DETAIL 2/C-400.
- TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
- 4" WATERWAY PER APWA STANDARD PLAN NO. 211 AND SPECIFICATIONS.
- INSTALL DRIVEWAY APPROACH PER APWA PLAN NO. 215
- INSTALL DRIVEWAY APPROACH PER APWA PLAN NO. 221 TYPE A
- HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238 AND SPECIFICATIONS.
- RETAINING WALL. SEE GRADING PLAN FOR ELEVATION INFORMATION.
- RETAINING WALL PER DETAIL 4/C-400. SEE GRADING PLAN FOR ELEVATION INFORMATION.
- 10' PUE AND LANDSCAPE EASEMENT
- 10' PUE
- SALT LAKE CITY PUBLIC UTILITIES EASEMENT
- "STOP" SIGN PER M.U.T.C.D. STANDARD PLANS.
- STREET LIGHT

ZONE - SR-1A

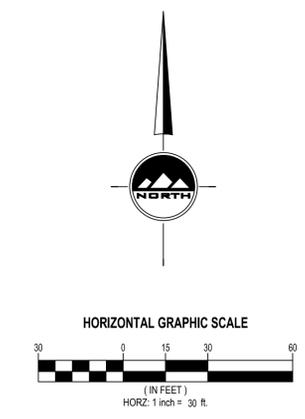
SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	17,582	20%
ROOF	16,800	19%
LANDSCAPING	54,184	61%
TOTAL SITE	88,566	100%
	2.93 ACRES	



- NOTES:
- ROAD BASE 6" PAST EDGE OF SIDEWALK AND CURB AND GUTTER.
  - ALL MATERIALS COMPACTED TO 95% OF MAXIMUM DRY DENSITY.



- NOTES:
- ROAD BASE 6" PAST EDGE OF SIDEWALK AND CURB AND GUTTER.
  - ALL MATERIALS COMPACTED TO 95% OF MAXIMUM DRY DENSITY.



**VICTORY ROAD TWINHOMES**  
651 NORTH VICTORY ROAD  
SALT LAKE CITY, UTAH

PROFESSIONAL ENGINEER  
CHAD R. THOMAS  
2-25-15  
STATE OF UTAH

**SITE PLAN**

PROJECT NUMBER: 6512  
PRINT DATE: 9/25/15  
DRAWN BY:  
CHECKED BY:

PROJECT MANAGER

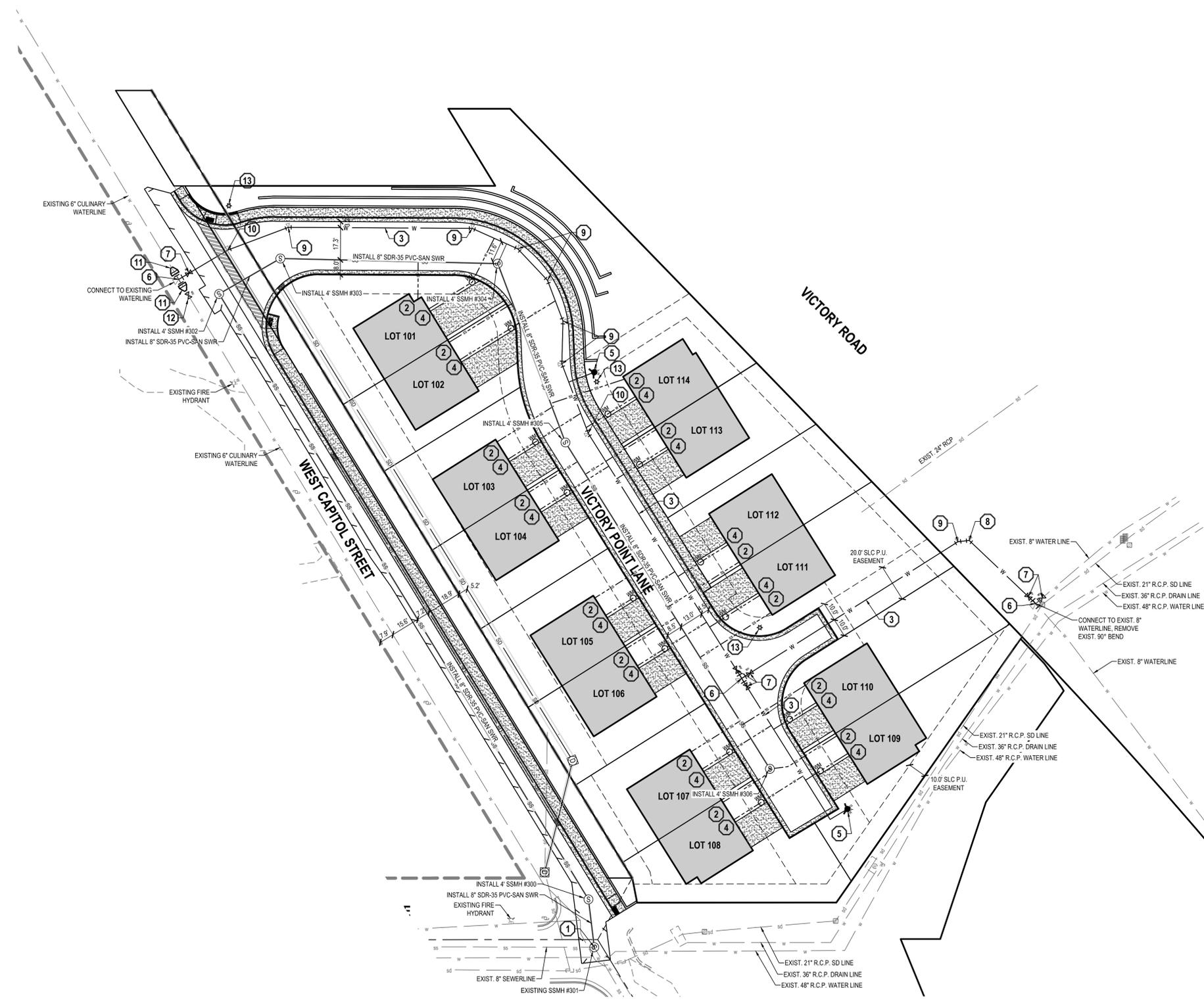
**C-100**

REVIEW SET - NOT FOR CONSTRUCTION





**BENCHMARK**  
 ROW MARKER AT THE INTERSECTION OF WALL STREET AND CLINTON AVENUE. SECTION 25 T1N, R1W, SALT LAKE BASE & MERIDIAN  
 NAVD88  
 ELEVATION = 4395.93



**GENERAL NOTES**

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER SALT LAKE CITY STANDARD PLANS AND SPECIFICATIONS.
- ALL WATER INFRASTRUCTURE TO BE INSTALLED PER APWA STANDARD PLANS AND SPECIFICATIONS.
- DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
- THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

**KEY NOTES:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- CONNECT TO EXISTING SEWER MAIN PER SALT LAKE CITY STANDARDS AND SPECIFICATIONS.
- INSTALL 4" PVC SANITARY SEWER LATERAL PER SVSD STANDARDS (TYP).
- 8" CLASS 52 DUCTILE IRON PIPE (D.I.P.) WATER LINE, INCLUDING INSTALLATION AND TRENCHING, PER SALT LAKE CITY STANDARDS AND SPECIFICATIONS.
- INSTALL 3/4" WATER METER PER SALT LAKE CITY STANDARDS AND SPECIFICATIONS (TYP).
- FIRE HYDRANT ASSEMBLY COMPLETE PER APWA STANDARD PLAN NO. 511 AND SPECIFICATIONS.
- INSTALL 8"x8" D.I.P. TEE WITH THRUST BLOCKING PER APWA STANDARD PLAN NO. 561 AND SPECIFICATIONS.
- INSTALL 8" GATE VALVE PER SALT LAKE CITY STANDARDS AND SPECIFICATIONS.
- INSTALL 8" D.I.P. 45° BEND WITH THRUST BLOCKING PER APWA STANDARD PLAN NO. 561 AND SPECIFICATIONS.
- INSTALL 8" D.I.P. 22.5° BEND WITH THRUST BLOCKING PER APWA STANDARD PLAN NO. 561 AND SPECIFICATIONS.
- INSTALL 8" D.I.P. 11.25° BEND WITH THRUST BLOCKING PER APWA STANDARD PLAN NO. 561 AND SPECIFICATIONS.
- INSTALL 8"x8" REDUCER PER APWA STANDARD PLAN NO. 561 AND SPECIFICATIONS.
- INSTALL 6" GATE VALVE PER SALT LAKE CITY STANDARDS AND SPECIFICATIONS.
- INSTALL LED STREET LIGHT PER SALT LAKE CITY STANDARDS AND SPECIFICATIONS.



**SALT LAKE CITY**  
 45 W. 10000 S., Suite 500  
 Sandy, UT 84070  
 Phone: 801.255.0529

**LAYTON**  
 Phone: 801.547.1100

**TOOELE**  
 Phone: 435.843.3590

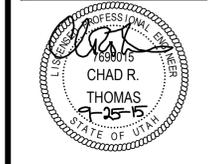
**CEDAR CITY**  
 Phone: 435.865.1453

**RICHFIELD**  
 Phone: 435.896.2983

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
 UR 13, LLC  
 2150 S. 1300 E., SUITE 500  
 SALT LAKE CITY, UT 84106  
 CONTACT:  
 GABE CHADSEY  
 PHONE: 801-205-9030

**VICTORY ROAD TWINHOMES**  
 651 NORTH VICTORY ROAD  
 SALT LAKE CITY, UTAH

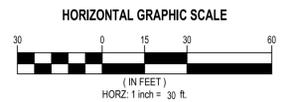


**UTILITY PLAN**

PROJECT NUMBER: 6512      PRINT DATE: 9/25/15  
 DRAWN BY:      CHECKED BY:  
 PROJECT MANAGER:

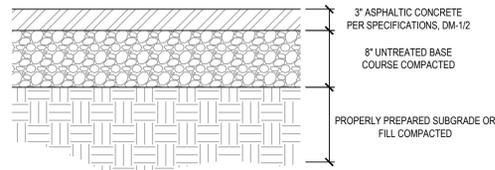
**C-300**

REVIEW SET - NOT FOR CONSTRUCTION



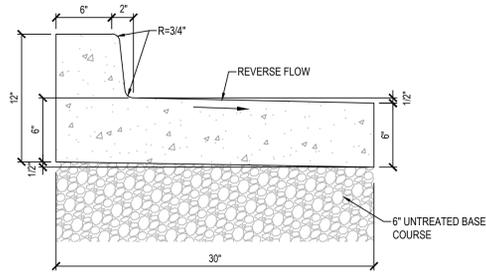
**ASPHALT NOTES**

- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
- ALL STRUCTURAL FILL TO BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-169 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
- REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



**1 STANDARD ASPHALT SECTION**

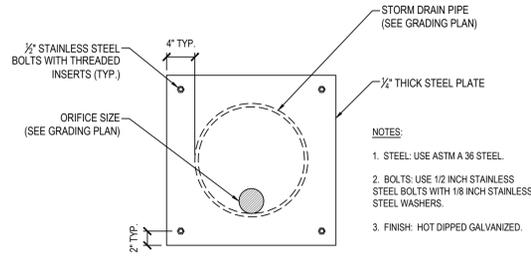
SCALE: NONE



NOTE: CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA STANDARD PLAN NO. 205.

**2 30" TYPE E REVERSE PAN CURB AND GUTTER**

SCALE: NONE



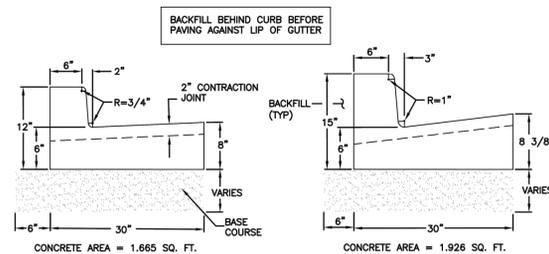
- NOTES:
- STEEL: USE ASTM A 36 STEEL.
  - BOLTS: USE 1/2 INCH STAINLESS STEEL BOLTS WITH 1/8 INCH STAINLESS STEEL WASHERS.
  - FINISH: HOT DIPPED GALVANIZED.

**3 ORIFICE PLATE**

SCALE: NONE

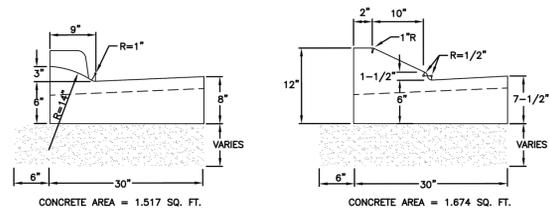
**Curb and gutter**

- GENERAL**
  - Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER's discretion. Additional requirements are specified in APWA Section 32 16 13.
- PRODUCTS**
  - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
  - Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
  - Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
  - Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
- EXECUTION**
  - Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
  - Concrete Placement: APWA Section 03 30 10.
    - Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form construction.
    - Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.
    - Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
  - Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.



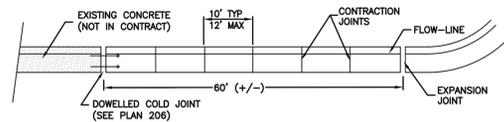
**Type A**

**Type B**



**Type C**

**Type D**



**JOINT DETAIL**

**Curb and gutter**

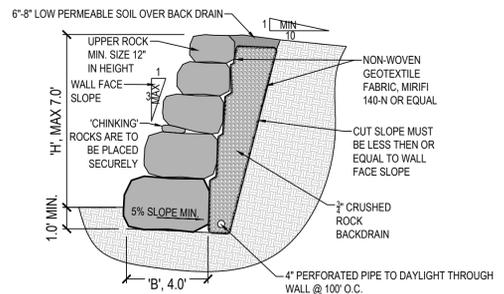
December 2008

27

Plan  
**205**  
Sheet 1 of 3

**NOTES:**

- EACH ROCK IS TO BE PLACED INDIVIDUALLY BY EQUIPMENT SUITABLE FOR LIFTING, MANIPULATING AND PLACING ROCKS OF THE SIZE AND SHAPE SPECIFIED. ENSURE THAT EACH ROCK IS SET AND SUPPORTED BY UNDERLYING MATERIALS AND ADJACENT ROCKS. REPOSITION OR REPLACE LOOSE ROCKS.
- UPPER ROCKS ARE TO BE SUPPORTED BY (2) ROCKS IN ROW BELOW. ROCKS ARE TO BE OFFSET SO THAT VERTICAL SEAMS ARE NOT CONSTRUCTED IN WALL.
- PLACE BASE, FACING, AND CAP ROCKS SO THAT THEIR HEIGHT DIMENSION IS NOT GREATER THAN THEIR WIDTH. THE LONGEST DIMENSION OF THE BASE, FACING, AND CAP ROCKS IS PERPENDICULAR TO THE FACE OF ROCKERY. TYPICAL BASE DIMENSION IS 1.5 x HEIGHT OF ROCK.
- ROCKS ARE TO BE PLACED SO THAT SLOPE BACK INTO HILLSIDE AT A MIN. OF 5%. PROVIDE 'CHINKS' AS NECESSARY BETWEEN ROCKS TO SLOPE UPPER ROCKS ADEQUATELY.
- ALL FILL TO BE COMPACTED TO 95% MAX DRY DENSITY PLACED IN 8" LIFTS.
- SURROUND THE PERFORATED PIPE ON ALL SIDES BY AT LEAST 4" OF GRANULAR ROCK BACKDRAIN MATERIAL.
- STABILITY OF TEMPORARY CUT SLOPES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- DO NOT CONSTRUCT ROCK WALLS OR SLOPES EXCEEDING THE HEIGHTS SHOWN HERE WITHOUT CONSULTING WITH ENGINEER.
- ROCKS ARE TO BE ANGULAR TO PROVIDE ADEQUATE 'FLAT SURFACE' FOR ROCK TO ROCK CONNECTION. ROUND SHAPED ROCKS ARE NOT ACCEPTABLE.
- ROCKS ARE TO QUARRIED BY NON-EXPLOSIVE METHODS. ROCKS QUARRIED BY BLASTING METHODS ARE PRONE TO CRACKING AND ARE NOT ACCEPTABLE.
- MAINTENANCE OF ROCK-PROTECTED SLOPES WILL BE REQUIRED AS THE ROCKS SETTLE AND MOVE OVER TIME. LOCALIZED AREAS OF ROCK-PROTECTED SLOPE MAY NEED ADJUSTMENTS TO IMPROVE ROCK INTERLOCKING OVER TIME. ADEQUATE BACKFILL OR ROCK TO ROCK CONTACT SHOULD BE MAINTAINED TO PREVENT SIGNIFICANT MOVEMENT OF THE TOP ROW OF ROCKS.
- CARE SHOULD BE TAKEN NOT TO OVER WATER THE SOIL LOCATED ABOVE AND BEHIND THE ROCK-PROTECTED SLOPES. OVER WATERING WILL LIKELY RESULT IN SOIL ERODING THROUGH THE JOINTS BETWEEN THE ROCKS.
- GOOD SURFACE DRAINAGE SHOULD BE PROVIDED UPSLOPE OF THE ROCK-PROTECTED SLOPES TO DIRECT RUNOFF AWAY FROM THE ROCK PROTECTED SLOPES.



**4 ROCK RETAINING WALL**

SCALE: NONE



**SALT LAKE CITY**  
45 W. 10000 S., Suite 500  
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**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.896.2983

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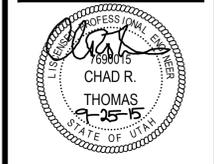
FOR:  
UR 13, LLC  
2150 S. 1300 E., SUITE 500  
SALT LAKE CITY, UT 84106

CONTACT:  
GABE CHADSEY  
PHONE: 801-205-9030

**VICTORY ROAD TWINHOMES**

**651 NORTH VICTORY ROAD**

**SALT LAKE CITY, UTAH**



**REVIEW SET - NOT FOR CONSTRUCTION**

**DETAILS**

PROJECT NUMBER: 6512  
PRINT DATE: 9/25/15  
DRAWN BY:  
CHECKED BY:  
PROJECT MANAGER:

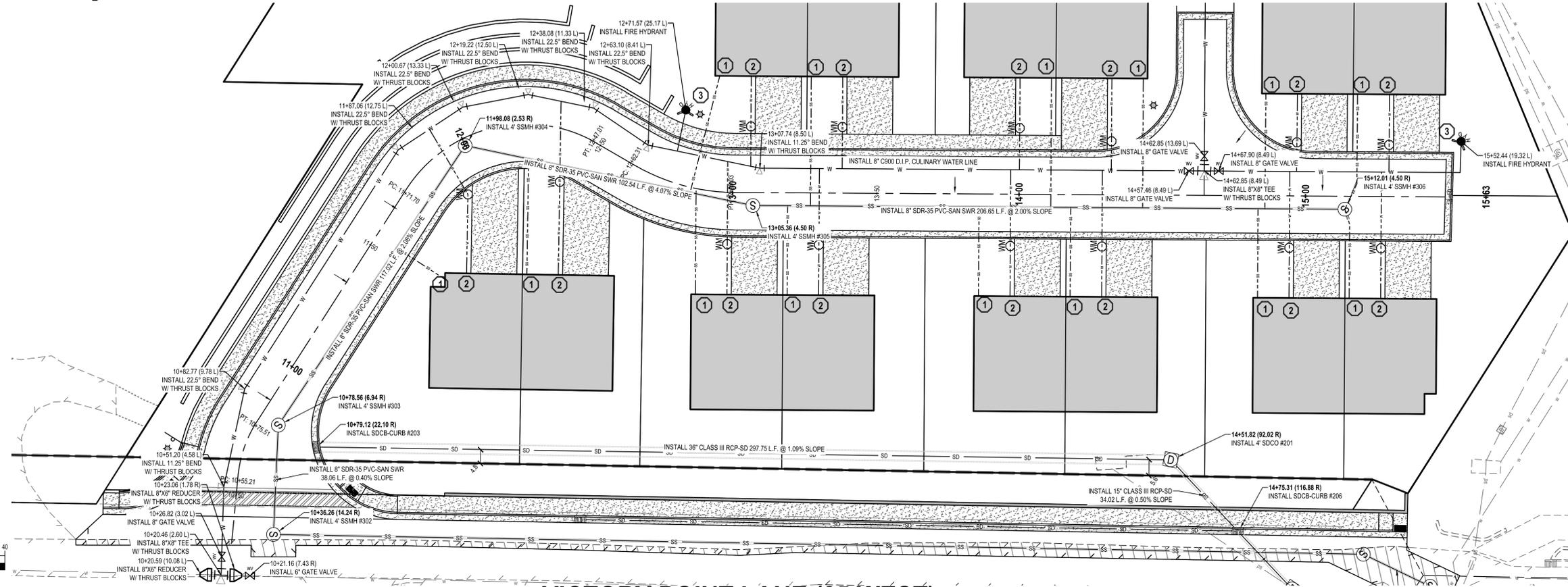
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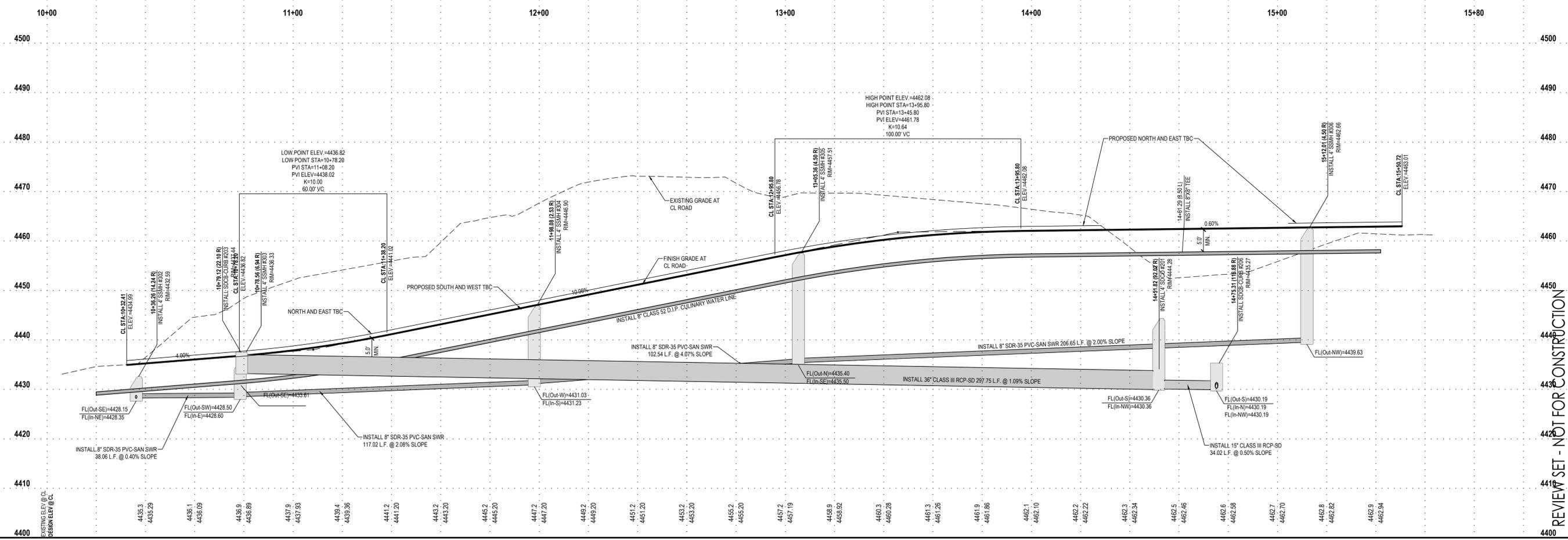
**BENCHMARK**  
ROW MARKER AT THE INTERSECTION OF WALL STREET AND CLINTON AVENUE, SECTION 35 T1N, R1W, SALT LAKE BASE & MERIDIAN  
NAVD88 ELEVATION = 4395.53

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 INSTALL 4" O.D. SANITARY SEWER LATERAL PER SALT LAKE CITY STANDARDS (TYP).
- 2 INSTALL 3/4" METER PER SALT LAKE CITY STANDARDS (TYP).
- 3 INSTALL FIRE HYDRANT & VALVE PER SALT LAKE CITY STANDARDS



**VICTORY POINT LANE (85 WEST)**



**EN SIGN**  
THE STANDARD IN ENGINEERING

**SALT LAKE CITY**  
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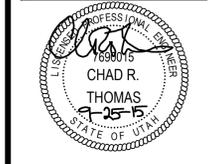
**RICHFIELD**  
Phone: 435.896.2983

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
UR 13, LLC  
2150 S. 1300 E., SUITE 500  
SALT LAKE CITY, UT 84106

CONTACT:  
GABE CHADSEY  
PHONE: 801-205-9030

**VICTORY ROAD TWINHOMES**  
651 NORTH VICTORY ROAD  
SALT LAKE CITY, UTAH



**ROAD PLAN & PROFILE**

PROJECT NUMBER: 6512      PRINT DATE: 9/29/15  
DRAWN BY:      CHECKED BY:  
PROJECT MANAGER:

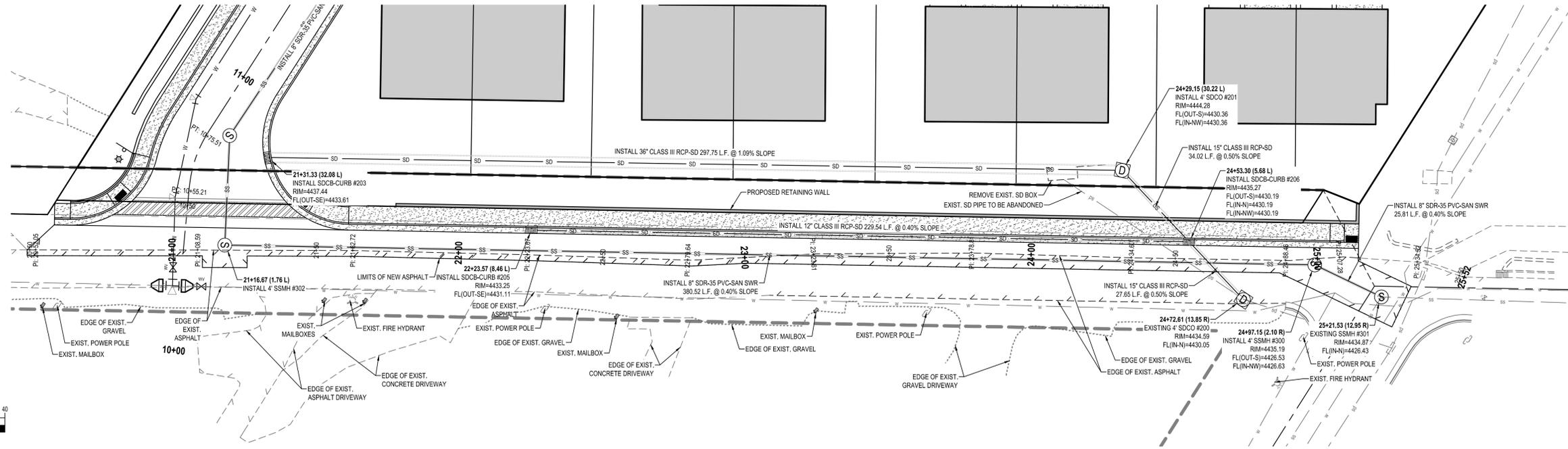
**PP-1**



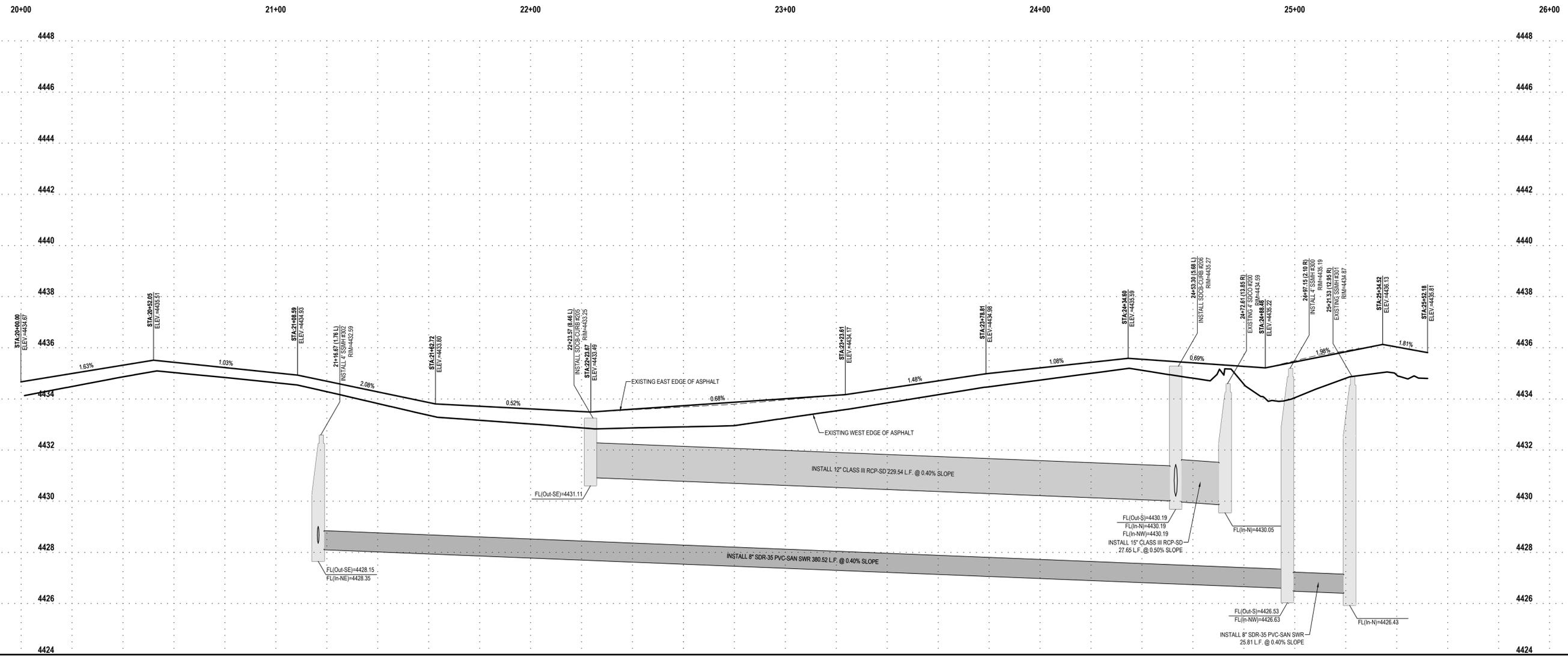
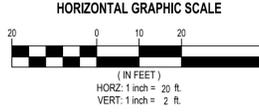
**BENCHMARK**  
ROW MARKER AT THE INTERSECTION OF WALL STREET AND CLINTON AVENUE. SECTION 25 T1N, R11W, SALT LAKE BASE & MERIDIAN  
NAVD88  
ELEVATION = 4395.53

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① INSTALL 4"Ø PVC SANITARY SEWER LATERAL PER SVSD STANDARDS (TYP).
- ② INSTALL 3/4" METER PER RIVERTON STANDARDS (TYP).
- ③ INSTALL FIRE HYDRANT & VALVE PER SALT LAKE CITY STANDARDS



**WEST CAPITOL STREET (100 WEST)**



**SALT LAKE CITY**  
45 W. 10000 S., Suite 500  
Sandy, UT 84070  
Phone: 801.255.0529

**LAYTON**  
Phone: 801.547.1100

**TOOELE**  
Phone: 435.843.3590

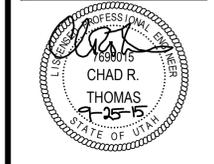
**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.896.2983

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
UR 13, LLC  
2150 S. 1300 E., SUITE 500  
SALT LAKE CITY, UT 84106  
CONTACT:  
GABE CHADSEY  
PHONE: 801-205-9030

**VICTORY ROAD TWINHOMES**  
651 NORTH VICTORY ROAD  
SALT LAKE CITY, UTAH



**ROAD PLAN & PROFILE**

PROJECT NUMBER: 6512  
PRINT DATE: 9/29/15  
DRAWN BY:  
CHECKED BY:

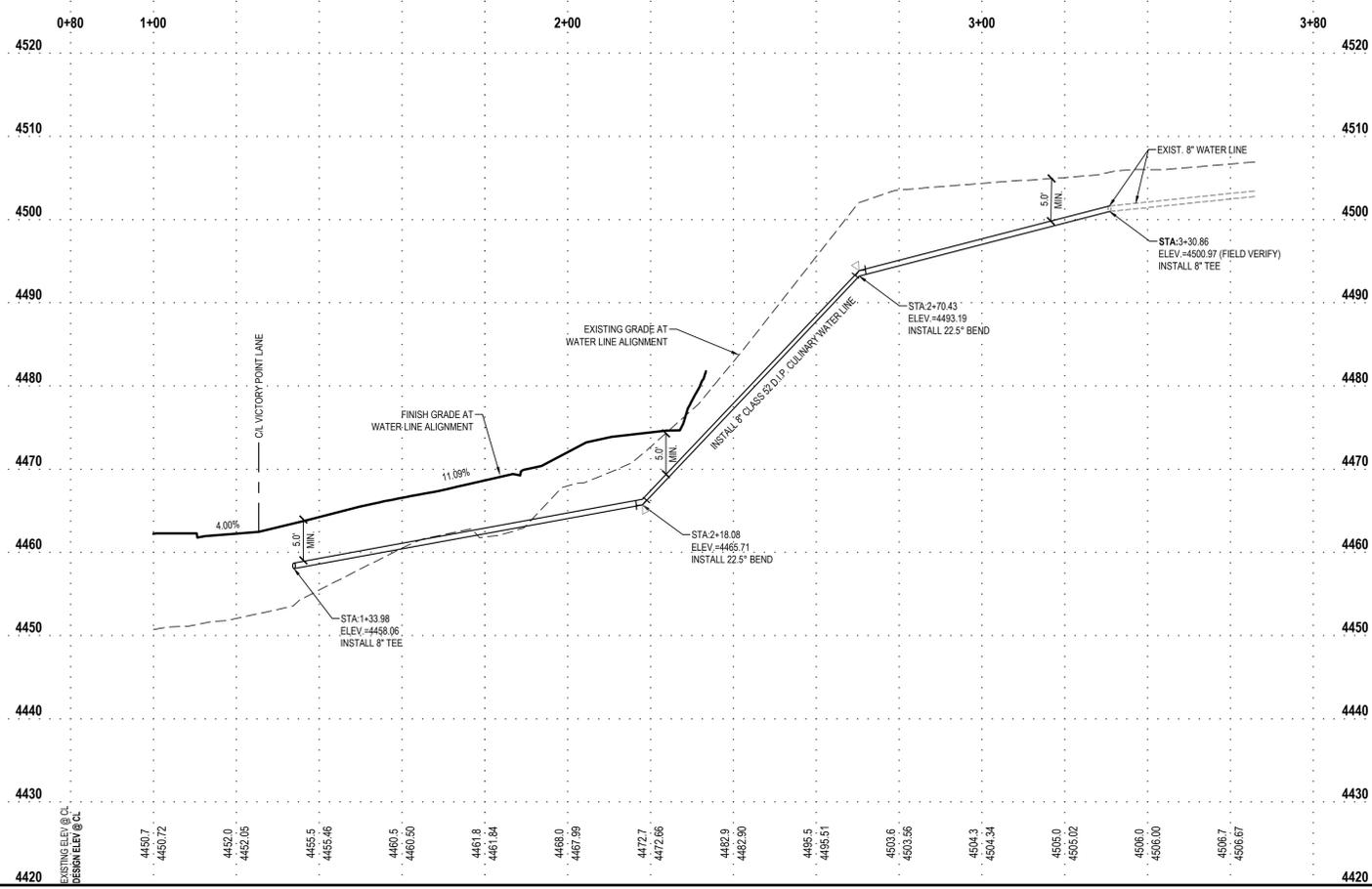
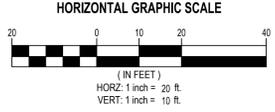
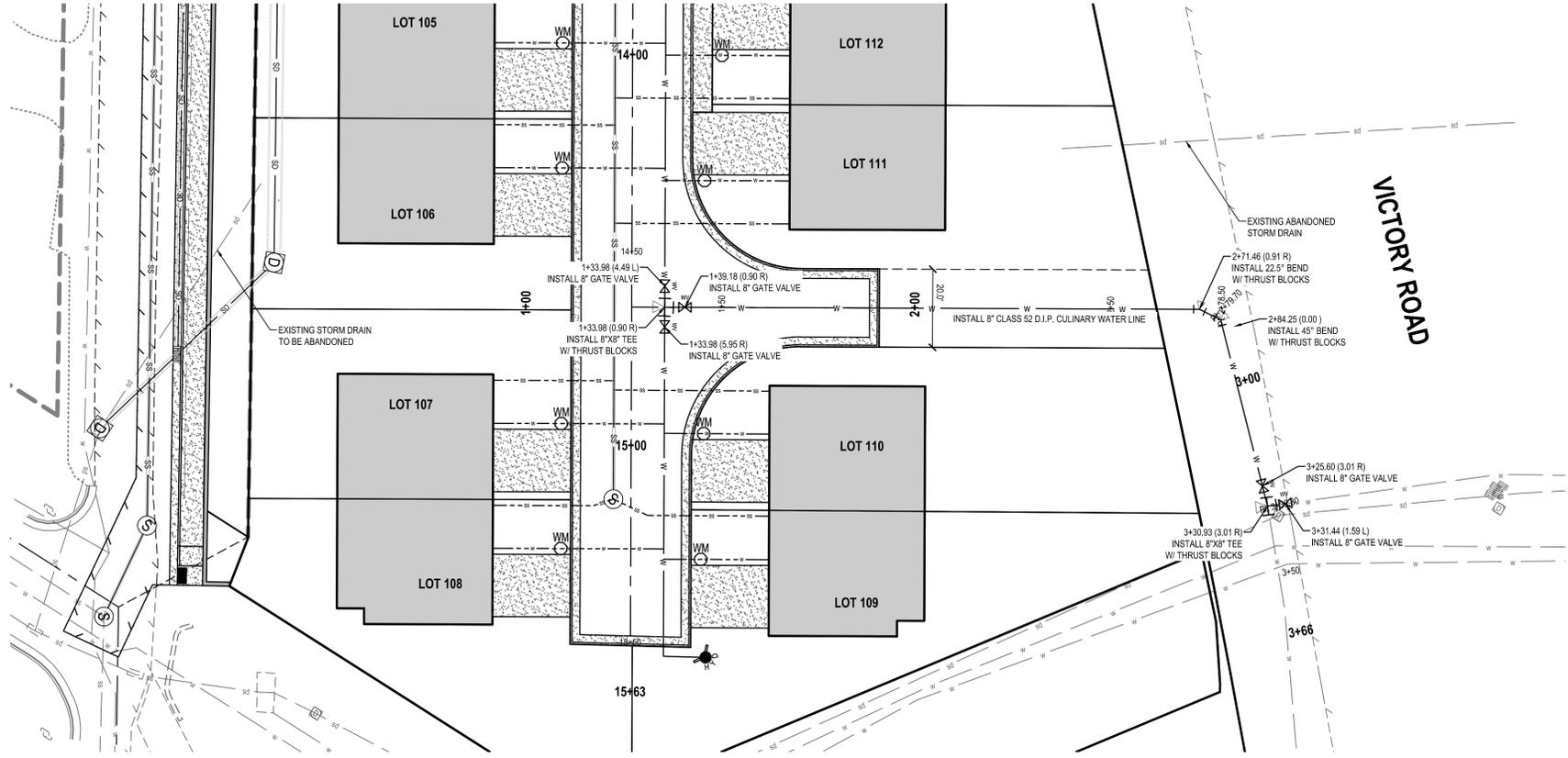
PROJECT MANAGER:  
**PP-2**



**BENCHMARK**  
 ROW MARKER AT THE INTERSECTION OF WALL STREET AND CLINTON AVENUE, SECTION 25 T1N, R1W, SALT LAKE BASE & MERIDIAN  
 NAVD88 ELEVATION = 4395.53

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

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- 2 INSTALL 3/4" METER PER SALT LAKE CITY STANDARDS (TYP).
- 3 INSTALL FIRE HYDRANT & VALVE PER SALT LAKE CITY STANDARDS



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 Phone: 435.865.1453

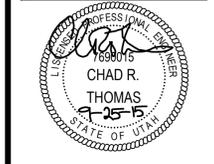
**RICHFIELD**  
 Phone: 435.896.2983

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FOR:  
 UR 13, LLC  
 2150 S. 1300 E., SUITE 500  
 SALT LAKE CITY, UT 84106

CONTACT:  
 GABE CHADSEY  
 PHONE: 801-205-9030

**VICTORY ROAD TWINHOMES**  
 651 NORTH VICTORY ROAD  
 SALT LAKE CITY, UTAH



**OFFSITE WATERLINE  
 PLAN AND PROFILE**

PROJECT NUMBER: 6512  
 PRINT DATE: 9/29/15  
 DRAWN BY:  
 CHECKED BY:  
 PROJECT MANAGER:

**PP-3**

REVIEW SET - NOT FOR CONSTRUCTION

**ATTACHMENT E: ADDITIONAL APPLICANT  
INFORMATION – PRELIMINARY SUBDIVISION**

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# Preliminary Subdivision Plat

SALT LAKE CITY PLANNING

New Lots

Amendment

### OFFICE USE ONLY

Project #: PLNSUB2015-00473	Received By: Katia	Date Received: 6/16/15	Zoning: SRI-A
--------------------------------	-----------------------	---------------------------	------------------

Proposed Subdivision Name: Victory Road Twinhomes

### PLEASE PROVIDE THE FOLLOWING INFORMATION

Property Address(s): West Capitol

690 ~~644~~ No. Victory Rd. SLC, UT 84103

Name of Applicant:

Bruce Baird / VRB, LLC

Phone:

801-647-1400 / 801-205-9030

Address of Applicant:

2150 So. 1300 E SLC, UT 84106

E-mail of Applicant:

bbaird@difficultclint.com

Cell/Fax:

801-647-1400

Applicant's Interest in Subject Property:

Owner

Engineer

Architect

Other: Buyer

Name of Property Owner (if different from applicant):

641 Victory LLC

E-mail of Property Owner:

greg-blake@sbcglobal.net

Phone:

949-500-8684

➔ Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

### WHERE TO FILE THE COMPLETE APPLICATION

Mailing Address: Planning Counter  
PO Box 145471  
Salt Lake City, UT 84114

In Person: Planning Counter  
451 South State Street, Room 215  
Telephone: (801) 535-7700

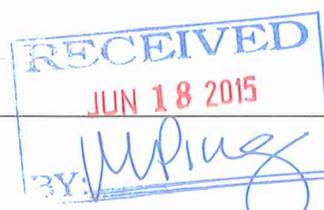
### REQUIRED FEE

- ➔ Filing fee of \$357 plus \$119 for each new lot created.
- ➔ Plus additional fee for required public notices

### SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:



Date:

6/15/15

Updated 2/20/15

**SUBMITTAL REQUIREMENTS**

Staff Review

Please include with the application *(please attach additional sheet/s if necessary)*

**Project Description**

A written description of what is being proposed.

**Legal Description**

A digital file and one (1) paper copy of the legal description of the current boundaries of the subject property; and, for proposed subdivision of 10 lots or less, the legal descriptions of each of the proposed lots.

**Preliminary Plat Drawing**

A digital (PDF) copy of the preliminary plat drawing

One paper copy (24" x 36") of the preliminary plat drawing  
(The plat shall be certified as accurate by a Utah Registered Land Surveyor or Professional Engineer and shall include the information listed on the attached checklist. If all the information cannot fit on the drawing, the information may be provided in accompanying documents.)

**APPEAL PROCESS**

- ➔ Any person adversely and materially affected by any final decision made by the planning director or designee may file a petition for review of the decision with the planning commission within ten (10) days after the record of decision is posted to the city's internet site.
- ➔ Any person adversely affected by any final decision made by the planning commission under this chapter may file a petition for review of the decision with the Appeals Hearing Officer within ten (10) days after the decision is rendered.

**AVAILABLE CONSULTATION**

- ➔ Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**



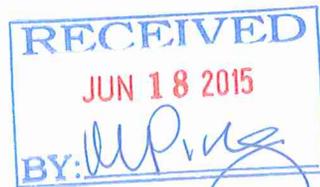
Updated 2/20/15

Published Date: December 3, 2015

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I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.

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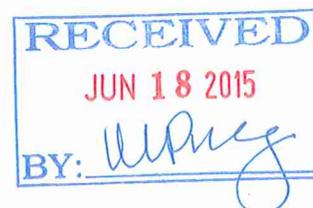


Updated 2/20/15

Beginning at the Southwest Corner of Lot 6, Capitol View Subdivision; and running

thence North 31°29'29" West 435.32 feet;  
thence North 89°59'13" East 165.33 feet;  
thence North 31°29'29" West 60.19 feet;  
thence North 89°59'13" East 17.93 feet;  
thence South 44°15'00" East 382.76 feet;  
thence Southeasterly 354.38 feet along the arc of a 2,827.49 foot radius curve to the right  
(center bears South 45°44'29" West and the chord bears South 40°40'05" East 354.15 feet with a central  
angle of 07°10'52");  
thence South 89°59'13" West 241.78 feet;  
thence North 22°23'00" West 95.02 feet;  
thence North 89°59'13" East 21.34 feet;  
thence North 18°30'00" East 77.34 feet;  
thence North 35°03'18" East 72.96 feet;  
thence North 32°17'56" West 2.18 feet;  
thence North 36°07'22" West 15.84 feet;  
thence North 44°04'00" West 18.33 feet;  
thence South 35°03'16" West 172.65 feet;  
thence South 89°59'13" West 107.18 feet;  
thence North 11°06'10" West 13.14 feet to the point of beginning.

Contains 122,271 Square Feet or 2.807 Acres





# SALT LAKE CITY CORPORATION

Buzz Center

451 South State Street, Room 215 Phone: (801) 535-7700  
P.O. Box 145471 Fax : (801) 535-7750  
Salt Lake City, Utah 84114

Date: Jun 16, 2015

UR 13, LLC

SUBDIVISION AND CONDOMINIUM

2150 SOUTH 1300 EAST  
SALT LAKE CITY, UT 84106

Project Name: VICTORY ROAD TWINHOMES

Project Address: 690 N WEST CAPITOL ST

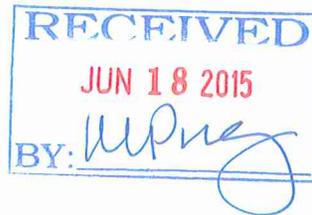
Detailed Description:



\* P L N S U B 2 0 1 5 - 0 0 4 7 3 \*

CREATING 14 BUILDABLE LOTS AND A PRIVATE ROAD.

Description	Qty	Dept	C Ctr	Obj	Amount		
					Invoice	Paid	Due
Invoice Number: 1242250							
Filing Fee	14	06	00900	125123	\$2,023.00	\$0.00	\$2,023.00
Postage for Planning Petitions	26	06	00900	1890	\$12.74	\$0.00	\$12.74
Total for invoice 1242250					\$2,035.74	\$0.00	\$2,035.74
Total for PLNSUB2015-00473					\$2,035.74	\$0.00	\$2,035.74



OFFICE USE ONLY  
Intake By: AA1589

CAP ID #  
PLNSUB2015-00473  
Total Due: \$2,035.74



Treasurer's Office  
Rep# 1340455  
PL PLNSUB2015-00473 Check  
\$2,035.74 6/16/2015

Please Keep  
This Box Clear



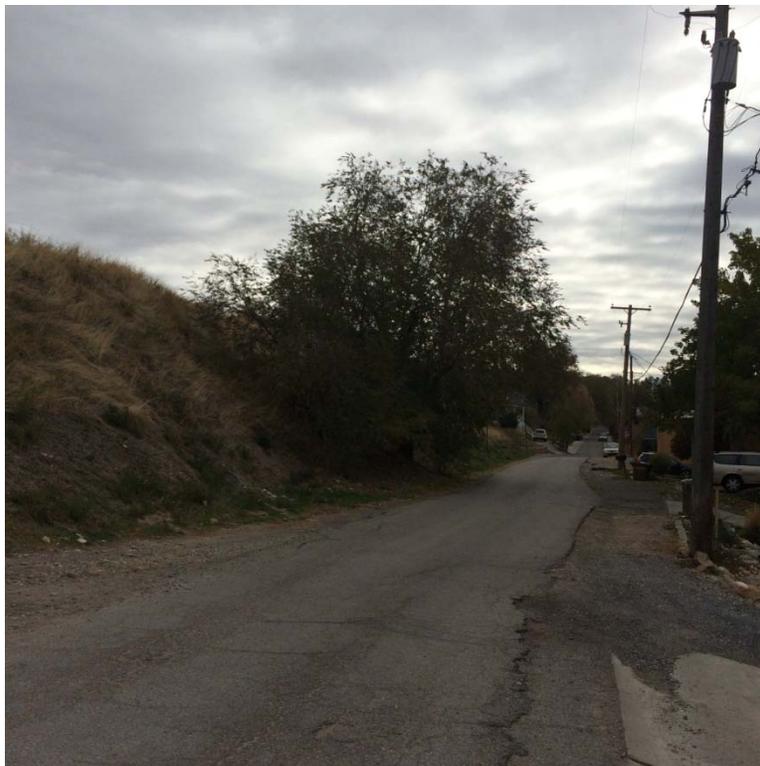
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www.slpermits.com

## **ATTACHMENT F: PROPERTY PHOTOGRAPHS**



*View looking south from the near the northwest corner of the site.*



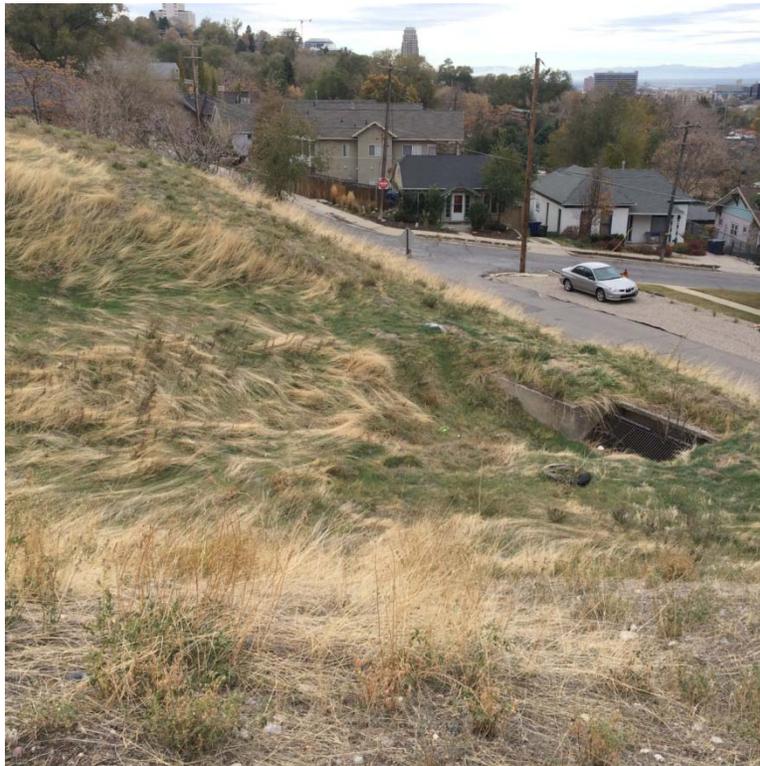
*View (looking south) of the approximate middle of the property along West Capitol Street*



*Looking south from approximate location of the new road.*



*Looking east towards Victory Road. The truck seen towards the right side is on Victory Road.*



*Southern edge of the area to be developed. This catch basin is to the south of the development.*



*Looking southwest.*



*Looking south from the approximate new public street.*

# **ATTACHMENT G: EXISTING CONDITIONS**

## **Capitol Hill Master Plan Discussion**

The proposal is located within the Capitol Hill Master Plan area. The Future Land Use map for the plan designates the property for “Low Density Residential (5-15 dwelling units an acre)” and the property is zoned SR-1A (Special Development Pattern Residential District) in compliance with this designation. The attached single-family or twin home development use is an allowed use in this zone.

<b>SR-1A Zone Standards for “Twin Home Dwellings”</b>	<b>Finding</b>	<b>Rationale</b>
Minimum lot area for twin home dwellings: 4,000 square feet per dwelling unit	Complies	The smallest lot proposed is 4,003 square feet.
Minimum lot width for twin home dwellings: 25 feet	Complies	All lots proposed meet the minimum requirement.
Maximum building height: 23 feet (pitched roofs) and 16 feet (flat roofs).	Not applicable	There is no housing product proposed at this time.
Minimum yard requirements: <ul style="list-style-type: none"> <li>a. Front – 20 feet</li> <li>b. Corner side yard – 10 feet</li> <li>c. Interior side yard – No side yard is required along one side lot line while a 10 foot yard is required on the other.</li> <li>d. Rear yard – 25% of the lot depth, but not less than 15 feet and need not exceed 30 feet.</li> </ul>	Complies	The proposed lot layout is sufficient to construct residences that comply with all minimum yard requirements.
Accessory building and structures	Not applicable	There are no accessory buildings or structures proposed at this time. All accessory buildings or structures will need to meet all standards when proposed.
Maximum building coverage: 40%	Complies	The proposed lot layout is sufficient to construct residences that comply with all minimum building coverage requirements.
Landscaped yard requirements: front and corner side yards shall be maintained as landscape yards.	Complies	At this time, there is no landscaping proposed. However, the standard will need to be met and a condition has been included requiring a landscape plan.

# **ATTACHMENT H: ANALYSIS OF STANDARDS**

## **STREET CLOSURE**

There are no standards within the Salt Lake City Code for street closures. State law does allow cities to determine how they address alley and street closures. On March 18, 1999, the City Council agreed to a street closure policy that includes the following four criteria:

<b>Criteria</b>	<b>Finding</b>	<b>Rationale</b>
<b>1. It is the policy of the City Council to close public streets and sell the underlying property. The Council does not close streets when the action would deny all access to other property.</b>	Complies	Closing the proposed portion of West Capitol Street would not deny all access to other property. The portion in question is excess right-of-way of a public street that the City is willing to sell to the adjacent property owners.
<b>2. The general policy when closing a street is to obtain fair market value for the land, whether the abutting property is residential, commercial or industrial.</b>	Complies	The properties abutting the subject portion of West Capitol Street are zoned SR-1A (Special Development Pattern Residential District). The applicants will be required to work with the City's Property Management Division to purchase or lease the subject property. The transfer will be at fair market value agreed upon by all affected parties.
<b>3. There should be sufficient public policy reasons that justify the sale and/or closure of a public street and it should be sufficiently demonstrated by the applicant that the sale and/or closure of the street will accomplish the stated public policy reasons.</b>	Complies	The subject public street does not function at this time as a standard driving surface in the area. The portion of the street to be closed is not improved at this time and therefore, could be determined to not serve any public purpose. The subject property is unnecessary for public use and would better serve the city in a direct sale or lease of the land to the surrounding property owners. No City Department or Divisions had any objection to the closure of this portion of West Capitol Street.
<b>4. The City Council should determine whether the stated public policy reasons outweigh alternatives to the closure of the street.</b>	Complies	The alternative to closing the street is to leave it as a limited functional and partially improved public right-of-way. The City has no plans for future use or construction of the subject street utilizing the full existing right-of-way and it is not identified on the City's Transportation Master Plan as a future street to be improved or upgraded. The sale or lease of the street is considered more of a benefit than keeping this property as public right-of-way that serves no valued purpose. All surrounding properties have access points to the street already and if this portion of the street is partially closed, part of it will be improved to minimum city standards. The city will then not need to maintain the entire existing excess right-of-way. The proposal is in line with this policy; it facilitates a project that has more public value than keeping the subject portion of West Capitol Street open.

## STANDARDS OF APPROVAL FOR PRELIMINARY SUBDIVISION PLATS

**20.16.100:** All preliminary plats for subdivisions and subdivision amendments shall meet the following standards:

Criteria	Finding	Rationale
<b>A. The subdivision complies with the general design standards and requirements for subdivisions as established in Section 20.12</b>	Complies	The applicant is not requesting to modify any of the general design standards or requirements for subdivisions. The project has been reviewed by all applicable city reviewers and it has been determined that the preliminary layout of this subdivision does meet the standards.
<b>B. All buildable lots comply with all applicable zoning standards;</b>	Complies	The proposed preliminary subdivision meets all applicable Zoning Ordinance requirements for lot size, lot dimensions, density, setbacks and parking. The applicant is not proposing to modify any standards are part of this preliminary approval.
<b>C. All necessary and required dedications are made;</b>	Complies	As part of the project, the applicant will be required to dedicate some right-of-way for the new public street. The dedications will take place as part of the improvement plans associated with the final plat process.
<b>D. Water supply and sewage disposal shall be satisfactory to the Public Utilities Department director;</b>	Complies	The Public Utilities department has reviewed the applicant's preliminary proposal and determined that adequate water supply and sewage disposal can be provided to this site. The applicant will need to develop an acceptable utility proposal before building permits can be issued and the final plat can be recorded. This is a condition of approval.
<b>E. Provisions for the construction of any required public improvements, per section 20.40.010, are included;</b>	Complies	The proposal was reviewed by the Engineering Department for compliance with this standard. The applicant will need to improve West Capitol Street and the new proposed public street to the satisfaction of the Engineering Department. Compliance with the comments received from Engineering is a condition of approval.
<b>F. The subdivision otherwise complies with all applicable laws and regulations.</b>	Complies	There is no evidence that the subdivision does not comply with all other applicable laws and regulations.
<b>G. If the proposal is an amendment to an existing subdivision and involves vacating a street, right-of-way, or easement, the amendment does not materially injure the public or any person who owns land within the subdivision or immediately adjacent to it and there is good cause for the amendment.</b>	Complies	The request is an amendment to an existing subdivision. There is no need for vacation of streets or right-of-way within the interior of the proposed subdivision. The applicant is requesting, as a companion application to this one, to close a portion of the public right-of-way along West Capitol Street. Based on the analysis for that request, it does not appear that the partial street closure will materially injure the public or any person who owns land in the area.

# **ATTACHMENT I: PUBLIC PROCESS AND COMMENTS**

## **Public Notice, Meetings and Comments**

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project.

### **Notice of Application:**

A notice of application regarding the proposed subdivision was mailed on June 25, 2015 to all abutting property owners. The notice sought comments from those who live in the vicinity. There were a total of eight emails received due to the notice. All of the emails expressed opposition to the project. There were also a total of seven people who called regarding the notice that had been sent out. All of these callers were also opposed to the project. Some of the concerns stated include:

- The proposed project is not compatible with and will ruin the historic nature of the area.
- The increase in traffic from 14 new dwelling units is too much for the street to handle.
- The road (West Capitol Street) is too narrow in this section and with no sidewalks, it is dangerous to walk along.

A copy of all the emails received follows in this attachment.

### **Community Council Meeting:**

The Capitol Hill Neighborhood Association held a meeting to discuss the proposed project in July 29, 2015. The comments were similar to those that had been received from the community. The comments generally were about traffic and parking in the area as well as the compatibility of the project. A copy of the comments received is included in this attachment.

### **Public Hearing Notice:**

- Public hearing notice mailed November 25, 2015.
- Public hearing notice posted at the site on November 24, 2015.
- Public notice posted on City and State websites and Planning Division list serve on November 25, 2015.

Emails that have been received as a result of the notice for this meeting are included in this attachment.

Three telephone calls were received at the time of publication of this staff report. Two callers were seeking additional information and one caller expressed concerns about the project. The specific concern noted was how the road would be affected during the construction and potential for limited to no access during construction.

**From:** [Draea Misc](#)  
**To:** [Pickering, Maryann](#)  
**Subject:** incorrect web address on Notice and Petition Concerns  
**Date:** Monday, June 29, 2015 7:42:01 PM

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Hi Maryann,

I received a notice today that gives the web address <https://aca.slcgov.com> to enter in a petition number (PLNSUB2015-00473) to view application details of a subdivision going in on my street, However, that web address is invalid and we are unable to view the information.

This invalid web address severely impedes the residents impacted from finding the pertinent information. I'd like to request that a revised notice go out with the correct web address, and the period of time to respond be extended in order to give those impacted the ability to get the required information and respond. The Print out mailed to us is ILLEGIBLE. luckily, I am extremely computer/internet savvy and was able to hunt down, and I mean hunt, the plans in pdf format.

The Notice raises a few large concerns:

The only access in and out of the subdivision is the most northern block of West Capitol Street. This Street is an extremely narrow road which doesn't allow 2 cars to pass without one squeezing over to the narrow shoulder or into a driveway. This street also ends in a dead end with no turn-around area , actually terminating in a private driveway. The amount of traffic this new sub division would introduce would severely and negatively impact the safety of residents.

Additionally there are currently no sidewalks on this part of West Capitol Street, there is simply not enough room! Me and several of my neighbors walk their dogs daily in this neighborhood, and I always feel vulnerable on this end of the street due to the lack of space to simply Get out of the Way of Cars, and several "close calls". Having this many more residents on this street will be escalating a dangerous situation. With such a narrow street you would think people would proceed slowly and with caution, unfortunately this isn't the case as often as it should be.

The idea of putting a street light where the subdivision meets West Capitol Street is, to put it nicely, absurd. A stop sign, of course would be ok.

According to the plan, the homes look to be set very close to the steep edge of West Capitol street, possibly too close for new construction standards.

I was quite excited to hear that the property would finally get developed, but then horrified today to find out the number of units being planned for the location and that all traffic would be directed to West Capitol Street. Development for that property is a good idea, but not for this many homes with this much traffic on this tiny street. The developer should consider many fewer homes, and additional access from the street system above (and a dog park ;) [wink])

Sincerely,  
Andraea Poole

**From:** [Karen Brisendine](#)  
**To:** [Pickering, Maryann](#)  
**Subject:** Petition PLNSUB2015-00473 Development on West Capitol  
**Date:** Monday, June 29, 2015 11:38:25 AM

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Good Day Maryann.

My name is Karen Brisendine and I live at 669 No. West Capitol street, right across the street from the the purposed site of the Townhouse development.

When I say across the street by no means is it a two lane street. It is just barely one small car length wide. Which means the retaining wall that will need to be built will be within spitting distance from my front yard.

This concerns me because our property value will decrease if all we see from our porch is a big concrete wall. Other concerns are traffic on our very small street. Of course the developers will want to widen the road, but how wide can you go and still meet the required set-backs off of the new road that will need to be built.

I am curious as to how much research has been done on the cost of developing this property by this new team of developers. Other developments have been approved by the city council but alas no development has taken place. One has to ask "Why?"

I hear one reason is the sewer system cannot hold that many new lines without being replaced all the way down Clinton Ave. Another is the new road is to close to an existing home, the developer would need to purchase part of the property to comply.

I know this homeowner and she would sell her home but not just a piece. She really wants a lot of money for her home.

I wonder, does the city make money if nothing gets built?

I really hope we, the residents of this very nice, and quite neighborhood, have a chance to speak out against this purposed development which would greatly reduce the value of this whole area.

Sincerely, Karen

**From:** [Eric Jergensen](#)  
**To:** [Pickering, Maryann](#)  
**Cc:** [Penfold, Stan](#); [Fullmer, Brian](#); [Stott, Michael](#)  
**Subject:** West Capital Subdivision Application  
**Date:** Wednesday, July 01, 2015 12:57:40 PM

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Maryann,

Thank you for forwarding the Application and Pending Decision letter regarding the property at roughly 690 North West Capital Street.

I have had contact with a number of the neighbors who have substantive and legitimate concerns about this proposal and its impact on the surrounding neighborhoods. They are desiring additional information and an opportunity to express their concerns about this proposal in a public setting. I would recommend that the best means to appropriately address these concerns would be through additional public process.

May we please extend the public comment period scheduled to end July 6th until a future date when we can get this set up on the agenda for one of our regularly scheduled council meetings? Our next Council meeting is July 15th, but, that agenda is already full. Our August meeting is on Wednesday, August 19th, but, that may be too long in the future and unfair to the applicant.

An alternative option may be to schedule a special meeting to discuss this specific item.

Let me know your thoughts.

Thanks.

Eric J.

**From:** [megg\\_morin](#)  
**To:** [Pickering, Maryann](#)  
**Cc:** [Megg Morin](#)  
**Subject:** comments on Subdivision Application for 690 W Capitol St, Petition PLNSUB2015-00473  
**Date:** Thursday, July 23, 2015 4:40:01 PM

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hello Ms Pickering,

I'm a resident in the neighborhood where there is a new Subdivision under consideration, and I'm writing to express a total lack of support and protest regarding the Subdivision that is proposed. My home is on the corner of Clinton and Wall St, one block west of where the proposed development of 14 new residential units would be located. I have several objections:

1. There is already a sufficient amount of existing traffic on West Capitol and Clinton Streets such that on garbage pickup day, and in the winter, the existing residents have to jockey for position to drive up and down these streets to their homes. Adding in FOURTEEN!! additional housing units would increase traffic exponentially degrade the living experience for all residents of these 2 streets. I highly object.

2. Fourteen units in the proposed space is too dense a population increase for such a small space! This pocket of Salt Lake City has narrow streets and a crowded layout already. There are many other sections of the city where additional units might be added which wouldn't detract from the experience for all existing neighbors but the proposed space is not one such section.

3. As noted, the subdivision plans would be added to the Capitol Hill historic district yet would add no aesthetic value to a neighborhood that is charming today and would NOT benefit from 14 new units being added.

Simply put, please don't approve this awful plan! The neighborhood doesn't have room for 14 additional units; the population density is crowded today and parking and travel on W. Capitol and Clinton Sts would be adversely affected. The historic charm that exists here, and that is near and dear to the existing residents, would be negatively impacted.

There is NOTHING about this planned subdivision that is a good idea, or that would be welcomed by any of the existing residents. Won't you please pass along my comments to the Planning Division?

I realize the Public Comments period has ended recently; I was only made

aware of this subdivision plan and hope my comments can still be registered.

thank you,

-Megg

Megg Morin  
homeowner, 640 N Wall St  
SLC, 84103

--

Megg Morin  
[meggmorin@gmail.com](mailto:meggmorin@gmail.com)  
cell 801-243-6743

**From:** [Richard MacDougall](#)  
**To:** [Pickering, Maryann](#)  
**Cc:** [Mindy MacDougall](#)  
**Subject:** Subdivision application  
**Date:** Thursday, July 23, 2015 7:53:44 AM

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Ms. Pickering,

Yesterday I was given a copy of a notice of a subdivision application to build seven twin homes at 690 N. West Capitol Street (referred to as Victory Road Twinhomes). The notice also refers to access from a new public street, apparently connecting West Capitol with Victory Road.

My wife Mindy and I reside at 140 W. Clinton Avenue, just around the corner from the planned development. We strongly oppose the construction of the twin homes. Twin homes are not consistent with the character of the West Capitol neighborhood.

In addition, adding a new street to access the subdivision will likely increase traffic in the neighborhood. We already have a problem with commuters using Wall Street and Victory Road/Columbus Street as shortcuts to the State Capitol and downtown--traffic which increased significantly during the I-15 rebuild for the Olympics and has not abated since. The commuters often speed through the neighborhood, running stop signs in their haste. Adding an access street for the planned subdivision will likely aggravate the problem.

My wife and I are not opposed to new housing per se. We simply favor new housing which is consistent with the style of single family dwellings in the neighborhood.

Thanks for taking the time to consider our concerns.

Rick MacDougall

Sent from my iPad

**From:** [Rebecca Mader](#)  
**To:** [Pickering, Maryann](#)  
**Subject:** "Victory Road Twinhomes" opposition  
**Date:** Tuesday, July 28, 2015 6:33:52 PM

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Ms. Pickering,

I own a home on West Clinton Avenue, 126 West Clinton, and would be greatly affected by this proposed development. We already have issues with traffic, noise, and potential structural issues due to living on such a steep hill in old homes as it is. This is a small, quiet street with very limited access. We have issues with water accumulation on days with heavy rain. Due to the narrow and one way streets, we require a certain cooperation in our traffic patterns to allow for passage. Most of us do not have driveways and have to park on the street. Traffic is a real concern here.

The proposed location for this building site is simply unacceptable to all of us in the area. It would only make the issues we already have worse, cause parking and structural issues, as well as bring down our home values. This is a historic district. That plat of land is very small, and is sloped at a high angle, it is not suitable for building, certainly not for building multiple dwellings. Victory Road is nearly impassable even now, within 2-3 hours of rush hour in the morning and evening. We cannot access Victory Road during these times as it is, it is incredibly dangerous.

We are a young couple who moved here to start a family. We would not have even considered purchasing this home if we thought there was a chance that a development would be introduced on this steep, inhabitable hill, directly above us, causing increased traffic, noise, and structural problems and endangering our family and lifestyle.

As Utah attorneys and residents of this historical community, we strongly oppose this proposition.

Thank you,

Rebecca Mader and Andres Hermosillo

**From:** [Andres Hermosillo](#)  
**To:** [Pickering, Maryann](#)  
**Subject:** Petition #PLNSUB2015-00473  
**Date:** Wednesday, July 29, 2015 3:56:01 PM

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Ms. Pickering,

I writing to you to voice my concern about the proposal of a new twinhome subdivision at 690 N. West Capitol Street.

My girlfriend and I chose this neighborhood because of its quiet and charming nature. As this is a historic neighborhood with historic homes, the idea of new condominium construction in our neighborhood does not go over well with us or our neighbors. In addition, we chose the home because it was a dead end and had easy access to some of our favorite trails. As we hope to have a child sometime in the near future, the idea of a through street on a road with already too much traffic concerns me.

A subdivision, accessible through our small and quiet street, while putting in an exclusive gate, is not in our best interest. There is already too much traffic coming from West Capitol Street; and if the city decides to grant access to the subdivision through our street it will only be exacerbated that much more.

Lastly, our neighborhood was built before the invention of the automobile. Most of these homes (including ours) do not have a driveway. If our street was ripped up as proposed, this would cause a lot of additional problems.

I would not have invested in this charming historic area if I would have known this subdivision was going to be placed here. Worst, is the idea of our road to be used as one of its primary access points.

Regards,

Andres

--

Andres Hermosillo  
Staff Attorney  
Utah State Courts  
450 South State  
SLC UT 84111  
[andresh@utcourts.gov](mailto:andresh@utcourts.gov)  
(801) 238-7582

DATE: August 2, 2015  
TO: Eric Jorgensen  
FROM: LaVonne Garrison  
631 N. West Capitol St  
RE: Subdivision Plat Approval  
West Capitol and Clinton Streets

I have been thinking about the subdivision proposal presented at the July 29, 2015, Capitol Hill Neighborhood Council meeting and have a few questions and concerns.

1. TRAFFIC

At my location, traffic is a major concern with the addition of 14 new homes. The asphalt in front of my house is 12.5 feet wide. If you add a parked car that is as high on the curb and possible while still being legal, the asphalt is reduced to 7.5 feet which does not include additional space for car mirrors. On trash days, the garbage cans cut down the available passing space to even more. This street is little more than the width of an alley with no way to widen it. Any additional traffic on this tiny road will be a burden on the residents of the block and destructive for the asphalt.

The proposal loads all the traffic to the new units onto West Capitol and Clinton. I think a quick tour of the blocks around this area will confirm that the roads in this area are one-car passage at a time. On Wall Street to the west of the development, one car must pull over for another to pass if there are cars parked on the roadway. Most of the roads in this neighborhood have this same issue. Additional traffic will cause delays for health and safety vehicles to service the residents in the area. This block has many older, retired residents, who may need emergency services sometime. In addition, the problem of heavy traffic will cause additional deterioration of the surface and the utilities beneath it. Already this summer there have been numerous utility problems, road closures, and patched sections of our streets.

Traffic that would be necessary during any construction activities would have no good access from any direction to conduct their activities. From West Capitol, traffic is going from a 12.5 foot driving surface to a 20 foot driving service which doesn't seem to make sense. The beating West Capitol would suffer from this excessive use would totally degrade the street, such as it is. This would be an additional cost to the city to maintain the roadway in a passable state. There is also the issue of young drivers who might not be as respectful of the speed limits (which should be set at no more than 20 mph, in my opinion) colliding with locals.

2. PARKING

There are many residents on this block who either do not have garages and must park on the street or need to park there in inclement weather due to the slope on the driveways making them unusable. The local residents need the on-street parking for their own vehicles leaving very few spaces for any additional cars. The proposal does not adequately address additional parking for visitors and more than two cars for the new unit. The proposal anticipates putting in new sidewalk/curbs with no parking. This will also not leave a parkway for locals walking pets or just walking along a natural path.

3. NEW ROAD

The proponents said there would be no trees removed, but there is a tree along the new West Capitol roadway that would surely have to be cut down. It's not a beautiful tree, but it is a natural tree that has been there for a very long time and the neighborhood should not have to lose it. We did not discuss the slope of the new road into the subdivision at the meeting. Has drainage from that road onto West Capitol been adequately vetted? Is it passable in snowy, winter conditions or will residents be parking on West Capitol and walking to their residences? The proposal now calls to move from our 12.5 foot roadway to a 20 foot roadway across the intersection. Does that really make sense?

4. RETAINING WALL

This is also concerning. The planners have indicated they would propose some sort of 6-7 foot retaining wall. That will not even remotely begin to hold back the hillside which is much taller by tens of feet from sloughing off to the west. It would take major cuts to level the area for building and will de-stabilize the hillside. The best engineering cannot predict nor stop the hillside from moving. What attempts would be made to mitigate the hillside from wanting to move toward the basin? I think the residents across the street should have some assurances that their residences are protected. As seen in North Salt Lake just last year, there is significant movement in these sandy hills when taxed with new housing, watering, traffic, etc. It will not be too many years before this inadequate wall is bulging toward the street and threatening the residents below. Soil samples from several locations should be taken to understand the geology of the hillside and its stability.

Also, the planners should describe what the wall would look like. The hillside now is natural. The wall would need to be something that would enhance the neighborhood and fit in with the quaintness of the area. The city needs open space for its residents and not every hillside lends itself to development. Currently, one can walk along West Capitol, look up and see a natural hillside and the sky above. Building on the hill, one can look up and see a retaining wall and houses lording over them. Long setbacks from West Capitol should be considered in the plan to change the existing character of the neighborhood as little as possible.

5. AGING INFRASTRUCTURE

This is a quiet, eclectic neighborhood. The water and sewer lines are old and may not accommodate the additional burden of 14 new residences. The city should consider the burden on it to maintain the utilities that could occur with heavy, additional use.

6. NOTICE

I believe the residents along West Capitol and Clinton have not been adequately noticed of the application for this plat. It affects more people than just a few feet from the boundaries. While I am sure the planners would like to move under the radar, there are many people who need to be involved in this issue. Once the plat is approved, the dye is cast and the result determined. The city should consider ample notice to residences to allow for more input.

This section of Marmalade dates back to the 1920s and has remained a haven for artists and professional people since then. A sudden increase of new housing does not complement the area but degrades it. There is little that could be done to mitigate the looming look of townhouses overshadowing the quiet, cohesive neighborhood and forever interfering with the peaceful enjoyment the residents now have of their properties.

I hope the city will consider what is happening here. I'm not sure this piece of land is suitable for multiple housing units and has many obstacles in the road ahead.

## Capitol Hill Neighborhood Council

53 East 200 North  
Salt Lake City, Utah 84103

Maryann Pickering  
451 South State Street, 4<sup>th</sup> Floor  
Salt Lake City, Utah 84111

**Re: West Capitol Closure Request**

Dear Maryann,

We held a Special Meeting of our Council on July 29, 2015 to address the above topic. The Council posed a number of questions and provided comments to Sean Neves, representing the developer, and to Anthony Riederer, representing SLC Planning. Notes on those questions and comments are attached hereto. We are also posting the comments to our website blog so that neighbors can continue the dialogue as this petition proceeds forward.

We have met as a Board to review the neighbor's comments and concerns. The developer explained that they were still in the process of meeting with the City in an effort to finalize their proposal. He has agreed to provide additional information as well as to address the concerns articulated by the neighborhood.

Because the developer indicated that their proposal was still in a preliminary state, the neighborhood did not have enough definitive information available for the neighborhood to make a recommendation at this time. The Board will continue to meet with the developer and work through the neighborhood questions and concerns.

If hope you will keep our Council in the loop as the developer continues to provide additional details on their petition. We will also try to keep in touch with the developer independently.

Once we have sufficient, final information on which to base a reasoned decision, we will contact you with our final recommendation.

Thanks.



Eric Jergensen  
Chairperson

Neighborhood Questions and Comments regarding West Capitol Street Closure Petition:

- Why do you need to close this portion of West Capitol? If it is to allow the land owner to more effectively utilize the existing property, how does closing a portion of the street accomplish the developer's goal?
- How does closing the street affect/benefit the current residents that live on West Capitol and Clinton?
- What City policy would be applied to demonstrate that closing a portion of the street is of benefit to the City/current residents?
- What does the developer intend to do with the land if the City closes a portion of the street, as proposed?
- What effect would the denial of the partial street closure have on the proposed development?
- Will the street closure be part of a development agreement between SLC and the developers so that if the development does not occur, street closure will not occur?

## Capitol Hill Neighborhood Council

53 East 200 North  
Salt Lake City, Utah 84103

Maryann Pickering  
451 South State Street, 4<sup>th</sup> Floor  
Salt Lake City, Utah 84111

**Re: West Capitol Subdivision Plat Petition**

Dear Maryann,

We held a Special Meeting of our Council on July 29, 2015 to address the above topic. The Council posed a number of questions and provided comments to Sean Neves, representing the developer, and to Anthony Riederer, representing SLC Planning. Notes on those questions and comments are attached hereto. We are also posting the comments to our website blog so that neighbors can continue the dialogue as this petition proceeds forward.

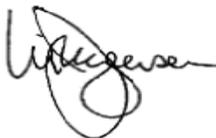
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Thanks.



Eric Jergensen  
Chairperson

## Neighborhood Questions and Comments regarding West Capitol Subdivision Plat Approval:

- What is the planned width of the expanded West Capitol street and sidewalk proposed by the developers?
- How will the developers address the slope of the hill ... since an increased road width and sidewalk would cut into the hillside on the east side of the road?
- If a retaining wall is the proposed solution, what will the retaining wall look like?
- If a retaining wall is the proposed solution to managing the cut into the hillside, will the size of the equipment brought in for excavation affect the ingress/egress on Clinton/West Capitol?
- What about potential runoff from the expanded street and sidewalk? What about runoff from the new development?
- What impact will the development have on existing utilities ... water, sewer, etc.
- Will West Capitol north of Clinton, once widened, be a two way or a one way road? West Capitol, south of Clinton, is one way.
- What type of curb and gutter will be used on both sides of the widened West Capitol? If it's a rolling curb, will parking be allowed on the curb and sidewalk?
- Private street or public street on the interior of the development?
- Has SLC Transportation studied the effects or made any recommendations as to the potential impacts of the new development on both Clinton and West Capitol? If not, can someone from Transportation and Engineering address the potential impacts on both these narrow and heavily used streets with the neighborhood group? Comments were made that these streets currently only allow through traffic one car at a time because of on street parking (minimal, if any, off street parking is available) and the narrowness of the streets.
- Will the new traffic signal at 500 North and the change in access to Darwin street affect traffic patterns in and around West Capitol and Clinton?
- Does the HLC weigh in on the subdivision proposal given this is in an historic area? Will the affects of increased traffic and livability impacts on the surrounding historic buildings/neighborhood have any influence on an HLC discussion/decision?
- Slope characteristics – what grading of existing land is allowed if the slope is in excess of 30%? Is the slope of the property or areas of the property too steep to allow for proposed development?
- Have any geotechnical studies been done?
- Where is the closest fault in relation to this property?
- How much of the hillside will be excavated to allow for development?
- Will the development affect, in any way, the rock outcropping on the property?
- What would be the responsibility of the developer relating to damage done to surrounding homes during excavation or as a result of building, etc.?
- What density of housing units and type does the zoning in this area allow?
- What is the proposed City parking requirement for the development as a whole? Will it be 2 parking stalls or 3 parking stalls per unit? How will the developer address visitor parking? Will the developer be allowed to count parking, if available, on the widened West Capitol contiguous to the development?

- What is the estimated period for development of the project?
- What will the developer do if the construction of the development starts and stops for economic or any other reasons? What mitigation will be provided in the event half completed foundations or buildings are left?
- What will the units look like? Will the units have yards?
- What is the target market for these units?
- Will there be a development agreement between SLC and the developer relating to this development?

What criteria for approval/rejection will the Planning Commission consider in reviewing the Subdivision Plat proposal?

**From:** [Lewis Downey](#)  
**To:** [Pickering, Maryann](#)  
**Subject:** Case # PLNPCM2015-00438  
**Date:** Saturday, November 28, 2015 11:43:08 AM

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In response to this notice it would contribute to informed input by the residents to have a copy of the map view of the proposed subdivision plan prior to the meeting on December 5. Can this be made available on a website? A substantial amount of time was consumed at the last meeting simply listening to and digesting the intent of the developer and the city planning staff. Basically if the developer is coming to us with a map of their proposal then we the residents deserve the right to respond in kind.

It sounds like the proposal has not changed substantially since the last meeting. It provoked lively discussion and opposition. My opinions and those of many of my neighbors are summarized here:

1. The city proposed to install curb and gutter only on the east side of West Capitol Street north of Clinton St. This suggests that the city doesn't really care about the residents elsewhere on the street.
2. The developer proposed to build their project focused on the new street to be installed in the center of the property with the fronts of the new homes facing the new street. This places the backsides of the homes, and back fences on the west side of the new street, facing West Capitol St. This effectively turns West Capitol Street into an alley for the new development and is downright rude. It says that the developer doesn't care about the impact on the rest of the neighborhood. If the city approves this it implies that the city values the new development above the rest of the neighborhood, one of the oldest historic neighborhoods in the city.
3. Issues of the capacity and condition of the sewer pipes and increased traffic during construction and by subsequent residents remain not addressed.
4. Traffic during construction would have significant negative impact on the entire area between 300 West and Darwin because of the narrow streets. All the the streets east of 300 West are narrow enough to require existing residents to pull over to allow traffic from the other direction to get through. The traffic down the one way portion of West Capitol in front of our home increased substantially during the construction of the traffic light at the intersection of Columbus St. & 500 North & the street repair and upgrades that were happening around the same time. People commuting through the neighborhood often drive way too fast for our narrow streets. These streets should have 15 mph limits

West Capitol is a neighborhood. People here get to know one another and talk with one another. We walk our dogs around the block and say hello to one another. The proposed development would create an island of structures out of character with the existing neighborhood and by placing the backyards and back fences facing West Capitol Street it creates a social isolation.

I suggest that the developer and the city consider something to the effect of a public space, a park, in the wedge of ground between West Capitol and the subdivision street, and place the new homes on the east side of the subdivision street. I have

voiced this to some of my neighbors and find agreement. When will this proposed development appear before the Landmarks Commission?

Thank you

Lewis Downey  
Maureen Mooney  
634 N. West Capitol St.  
SLC, UT 84103  
801-364-0122

**From:** [Eric Jergensen](#)  
**To:** [Pickering, Maryann](#)  
**Subject:** Re: Proposed subdivision on West Capitol  
**Date:** Tuesday, December 01, 2015 9:09:09 AM

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Maryann,

Thank you for getting back. Lewis sent me another email saying he had misread the card ... it really does say December 9th. So, I think everything is okay there.

If you'd be so kind to forward the Staff Report, I'll get it posted so that people can review prior to the PC meeting.

Thanks!

Eric J.

Sent from my iPhone

On Dec 1, 2015, at 8:47 AM, Pickering, Maryann <[Maryann.Pickering@slcgov.com](mailto:Maryann.Pickering@slcgov.com)> wrote:

Hi Eric.

I'm trying to solve the December 5 issue. Do you have a copy of the notice you got you could send me? I have not gotten mine in the mail yet and expect it today. Our copy on the computer shows December 9. I'd like to try and figure it out before I respond to some residents.

Thanks,  
Maryann

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**From:** Eric Jergensen [<mailto:ericjergensen@gmail.com>]  
**Sent:** Saturday, November 28, 2015 9:33 PM  
**To:** Pickering, Maryann  
**Subject:** Fwd: Proposed subdivision on West Capitol

Maryann,

Hope you've had an enjoyable holiday.

Would you please send to Lewis and me the most updated proposal? I've not seen anything new since we reported last.

And the meeting couldn't be on December 5th. Unless I'm totally befuddled, I believe that's a Saturday.

Thanks!

Eric J.

Sent from my iPhone

Begin forwarded message:

**From:** Lewis Downey <[lewis.downey@krcl.org](mailto:lewis.downey@krcl.org)>  
**Date:** November 28, 2015 at 6:10:28 PM MST  
**To:** [ericjergensen@gmail.com](mailto:ericjergensen@gmail.com)  
**Subject:** Proposed subdivision on West Capitol

Hello Eric

It looks like the proposed subdivision on the remaining wedge of open space on West Capitol St. is rearing it's head again. I have sent a note to Maryann Pickering with the city requesting access to the map of the proposed project, some specific points of objection, and a suggestion. Her auto reply says that she will be back on Dec 1. The meeting is Dec 5. As I recall you said that the plan view drawing that was displayed at the last meeting could be made available on the web. Is that still an option?

The city case numbers are PLNPCM2015-00438 for the street closure and PLNPCM2015-00473 for the preliminary subdivision.

Thanks, Lewis

Lewis Downey  
634 N. West Capitol St.  
SLC, UT 84103  
801-364-0122

**From:** [Jerry Rapier](#)  
**To:** [Pickering, Maryann](#)  
**Subject:** Re: West Capitol Street Information Request  
**Date:** Tuesday, December 01, 2015 1:51:11 PM

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Thank you!

Jerry Rapier  
Artistic Director  
Plan-B Theatre  
801.297.4200  
[planbtheatre.org](http://planbtheatre.org)

On Dec 1, 2015, at 1:25 PM, Pickering, Maryann <[Maryann.Pickering@slcgov.com](mailto:Maryann.Pickering@slcgov.com)> wrote:

Hi Jerry.

Like I said, if you have more questions, please contact me. I know these plans can be a little hard to read on the screen.

Click on: <https://aca.slcgov.com/citizen/>

You do not need to register to use this site. Scroll down on the left to Planning and click on 'Check/Research Petitions'. In the first box under 'General Search', enter the petition number in the box. That number is PLNSUB2015. Click on the arrow next to 'Attachments' and you will be able to see all associated documents for the project. The most recent plans are called 'VICTORY ROAD 2015.08.24 (Revised Plat)'. This document is located on page 3 of all the attachments. You will be able to view the pdf of the plan.

The staff report will be available on Thursday. It can be found on this page:

<http://www.slcgov.com/planning/planning-2015-planning-commission-meetings#>.

The title of name of the item will turn blue when it is posted. You will be able to click on the link to see the report.

Thanks,  
Maryann

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**From:** Jerry Rapier | Plan-B [<mailto:jerry@planbtheatre.org>]  
**Sent:** Tuesday, December 01, 2015 12:55 PM  
**To:** Pickering, Maryann  
**Subject:** West Capitol Street Information Request

Jerry Rapier  
Artistic Director  
Plan-B Theatre

# **ATTACHMENT J: DEPARTMENT REVIEW COMMENTS**



# Work Flow History Report

## 641 N VICTORY Rd

### PLNPCM2015-00438 (Street Closure)

Date	Task/Inspection	Status/Result	Action By	Comments
6/25/2015	Sustainability Review	Complete	Pickering, Maryann	No comments received.
6/26/2015	Engineering Review	Complete	Weiler, Scott	Engineering does not object to the closing (selling) of this portion of West Capitol Street provided it does not land lock the abutting properties. That seems to be what would happen if a different entity is applying for the closure than the current property owners.
7/7/2015	Building Review	Complete	Pickering, Maryann	See Zoning Review comments.
7/7/2015	Fire Code Review	Complete	Pickering, Maryann	No comments received.
7/7/2015	Police Review	Complete	Pickering, Maryann	No comments received.
7/7/2015	Public Utility Review	Additional Information	Pickering, Maryann	Comment from Jason Draper on June 25, 2015:  One thing that isn't clear is what the width of West Capitol after this closure. We need to keep enough to maintain the existing waterline and any future utilities (storm drain or sewer). I would like to see the dimensions for west capital along with the site plan. There is also a public storm drain that will need to have a permanent easement or moved out of the closed area.
7/7/2015	Transportation Review	Complete	Pickering, Maryann	No comments received.
7/7/2015	Zoning Review	Additional Information	Pickering, Maryann	Comment from Greg Mikolash on June 24, 2015:  <ul style="list-style-type: none"> <li>• It appears that the property located 694 N. West Capitol is served (in part) by a driveway that is located in the area to be vacated. How will perpetual access be maintained for this property, and will the driveway remain in its current location?</li> </ul>
7/15/2015	Planning Dept Review	Complete	Pickering, Maryann	No comments
8/6/2015	Community Council Review	Complete	Pickering, Maryann	Neighborhood Questions and Comments regarding West Capitol Street Closure Petition: <ul style="list-style-type: none"> <li>• Why do you need to close this portion of West Capitol? If it is to allow the landowner to more effectively utilize the existing property, how does closing a portion of the street accomplish the developer's goal?</li> <li>• How does closing the street affect/benefit the current residents that live on West Capitol and Clinton?</li> <li>• What City policy would be applied to demonstrate that closing a portion of the street is of benefit to the City/current residents?</li> <li>• What does the developer intend to do with the land if the City closes a portion of the street, as proposed?</li> <li>• What effect would the denial of the partial street closure have on the proposed development?</li> <li>• Will the street closure be part of a development agreement between SLC and the developers so that if the development does not occur, street closure will not occur?</li> </ul>
8/9/2015	Public Utility Review	Complete	Pickering, Maryann	All issues have been addressed with Public Utilities.
10/13/2015	Transportation Review	Complete	Pickering, Maryann	No traffic study is required.



# Work Flow History Report

## 690 N WEST CAPITOL St

### PLNSUB2015-00473 (Subdivision)

Date	Task/Inspection	Status/Result	Action By	Comments
6/26/2015	Fire Code Review	Additional Information	Itchon, Edward	<p>The road shall be provided with an additional turn around. Note:</p> <p>503.2.5 Dead ends. Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus.</p> <p>503.2.7 Grade. The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus. The limit is 10% measured in the middle of the street.</p>
6/30/2015	Zoning Review	Additional Information	Pickering, Maryann	<p>Building Services zoning comments for this preliminary subdivision application in an SR-1A zoning district are as follows:</p> <ul style="list-style-type: none"> <li>• The Sheet 1 of 1 indicates that this proposal is to create 16 lots and a public street. 8 of the lots will front on West Capitol Street and the new Victory Point Lane, while 6 of the lots will front on Victory Point Lane and Victory Road. Lot 116 fronts on all three roads, but it is not clear how access will be provided, or even if it is developable. Lot 109 only fronts on Victory Road, but it is not clear how access will be provided, or even if it is developable.</li> <li>• Some of the elements of this proposal do not seem to be consistent with 20.12.010 General Regulations and Standards, 20.12.020 Lot Design Standards, 20.12.030 Street Design Standards.</li> <li>• Table 21A.44.030 Schedule of Minimum Off Street Parking Requirements indicates that each twin home dwelling shall have 2 car parking. Due to the size of the lots and the width of the twin homes being proposed, it is assumed that parking will be provided in a garage at the lower level, and this garage would likely exceed the 50% front façade maximum allowance of 21A.24.080 H.</li> <li>• Initial development of each lot will need submittal of the final subdivision grading plan for use in determining compliance to building height regulations.</li> </ul>
7/2/2015	Transportation Review	Additional Information	Pickering, Maryann	<p>Victory Road Twin Homes PLNSUB2015-00473 Transportation Comments July 2, 2015 Prepared by Mike Barry, PE</p> <p>1. The right-of-way width shown for the new public street, Victory Point Lane, is thirty five feet (35') which is below the minimum standard per SLC Transportation Division's standard for "Typical Street and Right Of Way Cross Sections" (diagram E1.a1). Transportation recommends that the right-of-way be widened to thirty eight feet (38') which would widen the roadway by one foot and add an additional one foot of right-of-way behind the sidewalk and curb. The recommended cross section is a modification of the standard cross section for a Single Family Cul-de-Sac which eliminates the</p>

				<p>park strips on both sides, sidewalk on one side and widens the other sidewalk from 4 feet to 5 feet, as is typical when no park strip is provided. A diagram of the recommended cross section is attached for clarification.</p> <p>2. The 4% centerline slope shown (sheet PP-1) on Victory Point Lane as it connects to West Capitol Street exceeds the maximum slope per 20.12.030.D which specifies a 2% maximum slope for a distance of 35 feet (see Figure 1 of section).</p>
7/7/2015	Building Review	Complete	Pickering, Maryann	See zoning review comments provided by Ken Brown.
7/7/2015	Police Review	Complete	Pickering, Maryann	No comments received.
7/7/2015	Public Utility Review	Additional Information	Pickering, Maryann	<p>1. There is no sewer service to this property. The plan and profile of the sewer onsite is included, but the plan and profile of offsite sewer improvements is not included. This must be included in the preliminary plans.</p> <p>2. The 6" water line in west capitol street may be insufficient to provide fire flow and maintain adequate pressure. This may need to be upsized to an 8" main.</p> <p>3. There is a significant offsite drainage that enters the property. This drainage needs to be maintained. A full analysis of velocities, flows, and protection of downstream properties will need to be provided.</p> <p>4. A public utility maintenance easement will be required along the south property line next to the large transmission lines. This may coincide with any zoning setback requirements.</p> <p>5. Public Utilities has identified the need for a culinary water pump station in this vicinity. The South East area of this property may be a candidate for this pump station.</p> <p>Items 1-4 will need to be addressed before we can approve the preliminary plat. The owner can contact Public Utilities Contracts to discuss #5.</p>
7/7/2015	Sustainability Review	Complete	Pickering, Maryann	No comments received.
7/8/2015	Engineering Review	Additional Information	Pickering, Maryann	<p>City Engineering review comments are as follows:</p> <p>1. Based on the submitted preliminary plat, this project proposes to create 16 lots on 2.8 acres between Victory Road and West Capitol Street, north of Clinton Avenue. The street that will be created by this plat, Victory Point Lane, is proposed to be a public street.</p> <p>2. For the plat to be recorded, the subdivider must enter into a Subdivision Improvement Construction Agreement. This agreement requires the subdivider to provide a security device, such as a Payment &amp; Performance Bond, to guarantee acceptable completion of the public way improvements. The agreement also requires insurance from the subdivider and the contractor and the payment of a fee based on the estimated cost of constructing the proposed street improvements in West Capitol Street and Victory Point Lane (not including sewer, water, storm drain or street light improvements). The fee is calculated as 5% of the first \$100,000 of street improvements and 2% of the amount over \$100,000. A copy of the agreement can be sent to you via email, if requested. The developer should contact Karen Laird (535-6355) to discuss insurance requirements for the project.</p> <p>3. SLC Transportation and SLC Fire Department will determine the acceptability of the street geometrics and fire turnaround. SLC Transportation will determine sidewalk requirements.</p> <p>4. Improvement plans for the proposed street</p>

				<p>construction must comply with the Salt Lake City Engineering design standards. Some of the significant requirements are as follows:</p> <ul style="list-style-type: none"> <li>- The engineering drawings must show the profile view for top back of curb grade on both sides and centerline grade of the proposed Victory Point Lane street, with stationing increasing from left to right.</li> <li>- Minimum curb design grade is 0.50%. Type A Curb &amp; Gutter should be specified not modified Type F. The gutter pan on the high side of the street can be reversed to allow drainage to flow across the road at 4% cross slope.</li> <li>- The minimum size lettering is 1/10" and capital letters shall be used.</li> <li>- The text shall be readable from one of two directions on a given sheet.</li> <li>- The north arrow shall be towards the top or left of the sheet.</li> <li>- A cover sheet, with approval signatures from SLC Planning, SLC Public Utilities, SLC Fire Department and SLC Engineering must accompany the improvement plans.</li> </ul> <p>5. A geotechnical investigation report containing a pavement section design for the proposed Victory Point Lane street construction must be submitted for review.</p> <p>6. The preliminary plat has been reviewed and redlined by the SLC Surveyor and accompanies this memo.</p> <p>7. The developer must enter into agreements required by the SLC Public Utility Department and pay the required fees.</p> <p>8. At least one member of the concrete finishing crew must be ACI certified. The name of the ACI certified finisher must be provided at the pre-construction meeting for the subdivision.</p> <p>9. The construction contractor must file a Notice of Intent with the State of Utah, Department of Environmental Quality, Division of Water Quality, to comply with the NPDES permitting process. A copy of the pollution prevention plan must also be submitted to SLC Public Utilities.</p>
8/15/2015	Zoning Review	Complete	Pickering, Maryann	No comments.
8/28/2015	Zoning Review	Additional Information	Mikolash, Gregory	<ul style="list-style-type: none"> <li>- Will the subdivision process determine buildable area for each lot so that it is clear where the front yard and rear yards are for the double and triple frontage lots? The DRT notes from June 2015 note: Proposal to subdivide into 14 planned development twin home lots. Each lot will need to meet the minimum lot area and lot width requirements of 21A.24.080 C.</li> <li>- How does this proposal affect access to the existing lot to the north (694 West Capitol)? This existing driveway will either need shown on the plat or relocated. If it relocated, will it make grade?</li> <li>-With the grades being substantially steep, will the proposed elevations to all the units meet the minimum height requirements?</li> <li>-Is it realistic that the property owners of Lot 114 are going to maintain (in perpetuity) the stem portion of their lot?</li> <li>- Doesn't the proposed Victory Point Ln. need to end in a cul-de-sac. Per 20.12.010 K.3? If the dead-ending turn-a-rounds are allowed to stay, these inevitably end-up being parking stalls for rv's and vehicles; defeating their purpose as an emergency vehicle turn-a-round.</li> </ul>
9/9/2015	Engineering Review	In Progress	Weiler, Scott	Review comments for the 2nd submittal were sent to Maryann.

9/9/2015	Transportation Review	Complete	Barry, Michael	Transportation Review 2 memos uploaded in Documents. All comments have been addressed.
9/11/2015	Fire Code Review	Complete	Itchon, Edward	
10/1/2015	Planning Dept Review	Complete	Pickering, Maryann	
10/14/2015	Engineering Review	Complete	Weiler, Scott	Plat has been reviewed. Engineering has no objection to scheduling it for Planning Commission. Improvement plans are in progress.
10/14/2015	Public Utility Review	Complete	Pickering, Maryann	All preliminary comments have been addressed.

## **ATTACHMENT K: MOTIONS**

Based on the criteria for street closures along with the standards and findings for preliminary plats listed in the staff report, it is the Planning Staff's opinion that the project meets the applicable criteria for street closures and the standards and findings for preliminary subdivisions.

### **Consistent with Staff Recommendation:**

I move that based on the criteria along with the standards and findings in this staff report, that the Planning Commission forwards a positive recommendation on PLNPCM2015-00438 (Partial Closure of West Capitol Street) and approves PLNSUB2015-00473 (Victory Road Twin Homes Subdivision) subject to complying with all applicable regulations. Due to the potential for detrimental impacts created by the proposal identified in this report, staff recommends the Planning Commission applies the following conditions to the project:

1. The proposed subdivision shall only be valid if the street closure request is approved by the City Council. In the event the City Council does not approve the street closure, the subdivision will be null and void.
2. The proposed method of disposition of the street property shall be consistent with the method of disposition expressed in Chapter 2.58 – City Owned Real Property of the Salt Lake City Code.
3. The street closure shall comply with departmental or division comments.
4. The applicant shall file a final subdivision plat for approval by the City.
5. The final plat application must be submitted within 18 months of the approval of the preliminary plat per Section 21A.16.190. If no final plat is submitted, the preliminary plat approval will be considered as expired.
6. A landscape plan shall be required and reviewed prior to the issuance of any building permit.
7. The applicant shall comply with all other Department/Division conditions attached to this staff report.
8. Fencing located adjacent to any public street shall comply with the sight distance requirements of 21A.40.120.E.
9. Final approval authority shall be delegated to the Planning Director based on the applicant's compliance with the standards and conditions of approval noted in this staff report.
10. The property is located within the Capitol Hill Local Historic District. Any new construction of homes or structures will require approval by the Historic Landmark Commission.

### **Not Consistent with Staff Recommendation:**

Based on the testimony and the proposal presented, I move that the Planning Commission forward a negative recommendation for street closure petition PLNPCM2015-00438 and deny the preliminary subdivision request for petition PLNSUB2015-00473, for the property located at approximately 690 N. West Capitol Street based on the following criteria and findings (Commissioner then states criteria and findings based on the standards to support the motion for denial).