



May 28, 2024

SALT LAKE CITY PLANNING DEPARTMENT
Attn: Andy Hulka, Inland Port Principal Planner
451 South State Street
Salt Lake City, Utah 84111
andy.hulka@slcgov.com
(801) 535-6608

RE: Supplemental Zoning Letter for a New Wireless Telecommunications Facility Located @ 851 North 6880 West, Salt Lake City, Utah 84116 / Petition # 24TMP-010030 / Site # UT-001 NWQ Inland Port

Dear Mr. Hulka,

We submit this supplemental zoning letter to our conditional use permit application (**24TMP-010030**) to construct a new wireless telecommunications facility at the address listed above. In this letter we will provide essential background information and address all applicable requirements for conditional uses.

By way of introduction, this application is made on behalf of the SLC-GLC (Salt Lake City Global Logistics Center) owner group. As the city and planning department is very aware, the SLC-GLC group owns or has purchase options across ~ 3,000 acres of the Inland Port district. Enclosed in this application is a brochure from SLC-GLC which shows the footprint and phasing of the overall development. Phase I of the development is largely complete and/or under construction.

As the SLC-GLC group meets with prospective tenants, they repeatedly get asked about the existing cell coverage in the area and what the future looks like. With that in mind, the owner group has taken seriously the need to incorporate wireless infrastructure within the development in order to meet the demands of their tenants. Taking into account the existing telecommunication facilities within the immediate area (approximately 2-mile radius) it is clear that additional infrastructure is needed as soon as possible as the development phasing continues from East to West.

As the greater Inland Port development (and the SLC GLC specifically) continues to grow, the number of wireless telecommunication facilities must increase commensurately. Site spacing for densely populated and/or highly trafficked areas is typically 0.5 to 1 mile. To give you an idea of current site spacing in this area, the closest sites to this proposed new facility (**40.78485°**, - **112.05752°**) are as follows –

- 40.803315°, -112.086556° - 2 miles to the Northwest
- 40.783310°, -112.111038° - 2.8 miles to the West
- 40.777863°, -112.024048° - 1.8 miles to the East
- 40.777702°, -112.022653° - 1.9 miles to the East

PROJECT OVERVIEW

The proposed wireless telecommunications facility consists of a 100' monopole and accessory equipment located within a 50' x 50' fenced compound adjacent to the existing RMP substation parcel to the West. Centrally located in the compound will be a 100' monopole. The tower and compound are designed to, at minimum, accommodate tower and ground equipment for (4) wireless carriers (i.e. Verizon, T-Mobile, AT&T, Dish Network).

PROJECT DETAILS

Location – Detailed information regarding the subject property and proposed lease area is included in the Zoning Drawings submitted with the Conditional Use Permit application.

Subject Property – The subject property of this proposal is located at 851 North 6880 West in Salt Lake City, Utah (the “Property”). The property is owned by SLC Port Phase 1A, LLC. The property is zoned M-1 Light Industrial and is currently under development by SLC GLC.

Lease Area – The proposed 50' x 50' lease area for the proposed facility is located in the NW corner of the Southern part of the parcel adjacent to the existing RMP substation (the “Lease Area”). The lease area will be surrounded by a 6' high chain link fence.

Access and Parking – Access will come from 700 North (PROW) and run along the west side of the property to the compound. There will be one parking space outside of the fenced compound for approximately quarterly site visits by technicians.

Support Structure – Applicant is proposing to build a new 100' monopole on the Property. This will be an unmanned wireless facility.

Antennas and Accessory Equipment

- Wireless carriers will collocate on this tower with multiple panel antennas, RRUs, and other associated equipment.
- Sufficient space will be made available on the tower for up to (4) total co-locators.
- The proposed carrier collocation levels on the tower will be at approximate centerline heights of 96', 86', 76' and 66'.

Ground Equipment

- The tower and ground equipment will be located within the Lease Area.
- Each wireless carrier will have an approximate 10' x 15' concrete pad within the Lease Area for their ground equipment.

- Owner will install (1) new 800-amp meter service that will accommodate up to (4) total co-locators.

In addition to the project information listed above and found within the submitted zoning drawings, the conditional use application requires that the following questions be addressed –

- **What are the anticipated hours of operation?** N/A – This will be an unmanned facility without any kind of normal business hours.
- **What are the anticipated peak hours for the proposed use? Peak hours refer to the hours of the day with the highest number of customers, employees, deliveries, or activities.** N/A – This will be an unmanned facility without customers, employees, deliveries, or other activities.
- **Is there any anticipated outdoor activity associated with the use?** Wireless carrier tenants will install outdoor equipment at the base of the monopole within the fenced compound. But again, this will be an unmanned facility without any regular activity.
- **Is there enough space on the site to provide adequate movement, queueing, and storing of vehicles? The space should be based on the anticipated trip generation of similar uses in a similar environment either in Salt Lake City or in similar cities.** N/A – as an unmanned facility, the proposed use does not require movement, queueing, or storage of vehicles.
- **How will the waste generated by the use be stored and handled on site? How will it be removed from the site?** N/A – There will not be any waste generated by the proposed use.
- **What is the anticipated amount of water consumption of the proposed use?** N/A – Water is not needed for the proposed use.
- **What is the anticipated level of emissions generated by the proposed use?** Wireless carrier tenants will install small backup diesel generators in the event of power outages. Those are the only emissions that could be generated by the proposed use.
- **Are there trees with a trunk circumference greater than 6 inches on the property that will be removed?** No
- **What is the anticipated amount of grading required for the proposed development? Does it include the moving or removing of any pollutant or contaminant in the soil from the site?** N/A – The parcel is flat and the proposed 50' x 50' compound area will not require any grading.
- **Will the proposed use produce any dust, odor, smoke, noise, vibrations, or use any chemicals, toxins, heat, or radiation? If so, how will the impact be addressed? Has the applicant been in contact with the regulatory agency that regulates the specific impact?** The proposed use will not produce dust, odor, smoke, noise, vibrations or any chemicals, toxins, heat, or radiation.
- **Are the locations of all utility needs identified on the site plan and located to avoid creating a hazardous situation? Have utility providers been made aware of the proposed use and is there any information about utility needs?** The utility requirements of the proposed use will be commercial power and fiber optic connections. The proposed utility locations are noted in the plans and will run from the public right of way through utility easements to the 50' x 50' compound. There is nothing hazardous about our proposed utility plans.

- **What are the land uses adjacent to the property (abutting and across-the-street properties)?** The surrounding zoning on all sides is M-1 Light Industrial. The surrounding land uses are all manufacturing, distribution, and commercial uses.
- **Are exterior lights located and shielded to direct light away from adjacent uses and downwards (not directed to the sky)?** The proposed facility will not have any exterior lights.
- **Are there access conflicts caused by the location or proximity of walkways, sidewalks, driveways, public streets or public spaces? Are there access conflicts caused by the any proposed or existing structure on the property or adjacent to the property?** There are no access conflicts with the proposed location. Access to the facility will come from 700 North. There are no conflicts with existing or future development on the subject parcel or adjacent parcels.
- **How will the proposed use be separated from adjacent land uses? What screening or buffering features will be provided to reduce any impact identified in these questions?** For starters, the location we have chosen for the 50' x 50' is set back from the closest streets, over 400' to the East and 400' to the South. The compound for the monopole and associated equipment will be screened by a chain link fence. From a blending and aesthetics standpoint, we have also selected this location because of its proximity to the existing RMP substation immediately to the West which already has tall power poles and other electrical infrastructure.

Thank you for your time and please reach out with any questions. We look forward to working closely with the Salt Lake City Planning Department on this application.

Sincerely,

Rockwell D. Schutjer

Rocky Schutjer

rocky@ragedevelopment.com

801.860.0086

±3,000-ACRE
INDUSTRIAL
DEVELOPMENT

MANUFACTURING /
DISTRIBUTION / FLEX
BUILD-TO-SUIT



SLC-GLC
SALT LAKE CITY
GLOBAL LOGISTICS CENTER

SLC GLOBAL LOGISTICS CENTER

SALT LAKE CITY, UTAH



CBRE

 WWW.SLC-GLC.COM





SLC GLOBAL LOGISTICS CENTER is strategically located off I-80 a few minutes west of Salt Lake City International Airport. Upon completion, Phase I will include 12 buildings totaling nearly 5.5 million square feet.

- Approximately 3,000 acre development
- Approximately 50 million square feet of future entitled development
- Phase 1: ±5.5 million square feet
- M-1 Light Industrial Global Trade Zoning
- Flat Topography
- Future Foreign Trade Zone Designation
- Rocky Mountain Power 138 kVA substation (expandable)
- Two (2) 21" forced sewer lines
- Redundant 24" steel water lines
- Partially Rail Served

UTAH INLAND PORT JURISDICTION

The project lies within the current UTAH INLAND PORT jurisdictional area, which consists of a total of approximately 16,000 acres in Salt Lake County. The creation of the Utah Inland Port has opened the way for Utah to not be just the Crossroads of the West, but the "Crossroads of the World".

More information can be found at: inlandportauthority.utah.gov

LOCATION AERIAL



LOCAL DRIVE TIMES

- Direct access to I-80
- 5 minutes to newly renovated Salt Lake International Airport
- 10 minutes to Salt Lake City's Central Business District (CBD)
- 10 minutes to I-15
- 2 miles from 16 hotels

SUSTAINABLE FEATURES IN THE SLC GLOBAL LOGISTICS CENTER



WHITE TPO ROOF (60 MIL).
SOLAR REFLECTIVE INDEX 98/83
(AFTER 3 YEARS)



ROOF INSULATION SYSTEM
R-30



SKYLIGHTS
OVER INTERIOR BAYS FOR DAYLIGHTING



SANDWICH PANEL WALLS
(12.25" THICK) WITH TOTAL R VALUE OF 25.7
(USING ASHREA 90.1 MASS WALL CREDIT)



CLERESTORY WINDOWS
AROUND WAREHOUSE PERIMETER FOR
ADDITIONAL DAYLIGHTING



ALL OVERHEAD DOORS
INSULATED R-7.35



ALL GLASS SOLARBAN 60 TINTED
(U-VALUE 0.29, SHGC 0.25)



ALL INTERIOR, EXTERIOR & SITE
LIGHT FIXTURES ARE LED



EQUIPPED FOR INSTALLATION
OF ELECTRIC VEHICLE CHARGING STATIONS



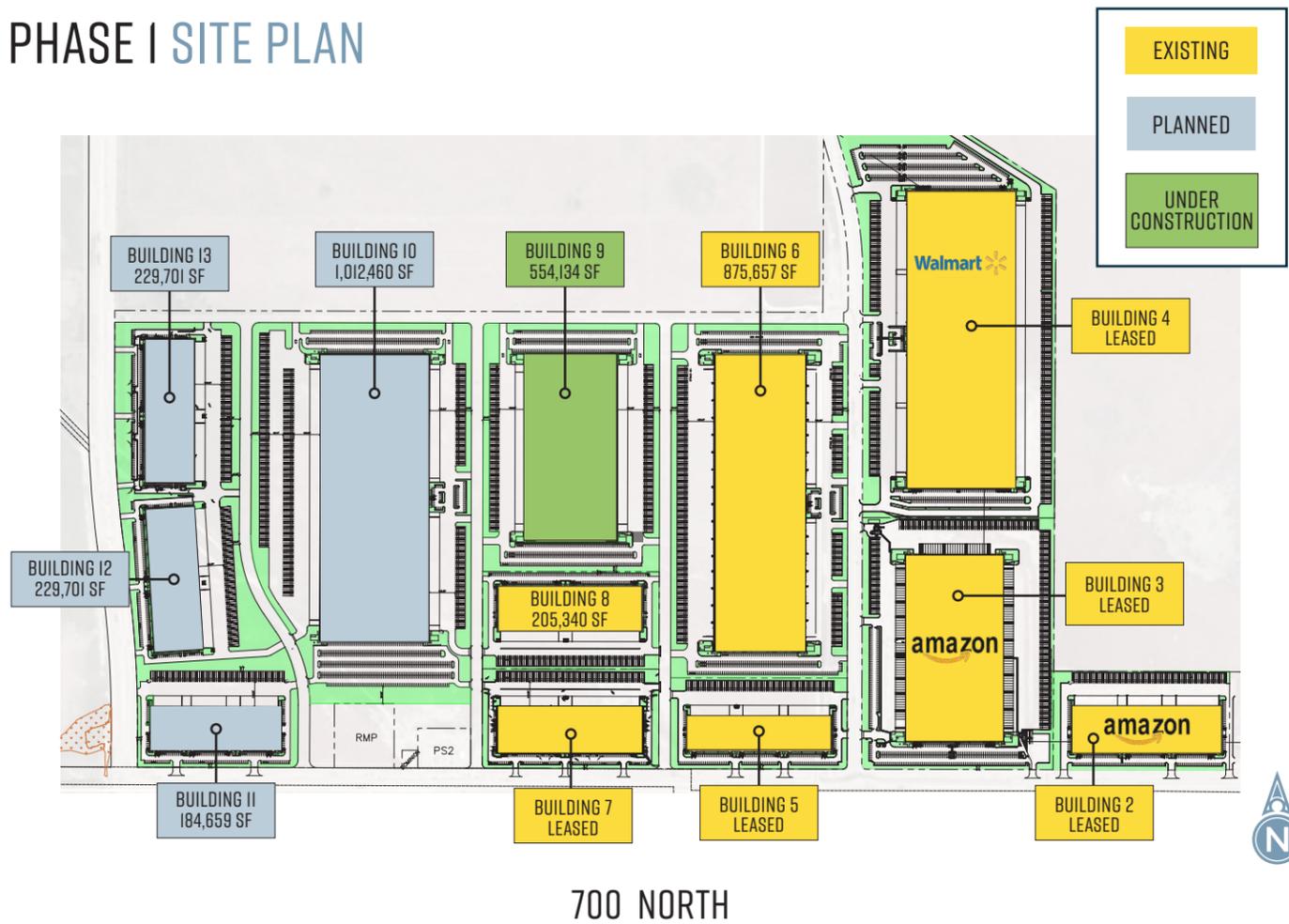
ROOF STRUCTURE AND ELECTRICAL GEAR
& CONDUIT DESIGNED TO INTEGRATE FULL
SOLAR ROOFTOP ARRAY



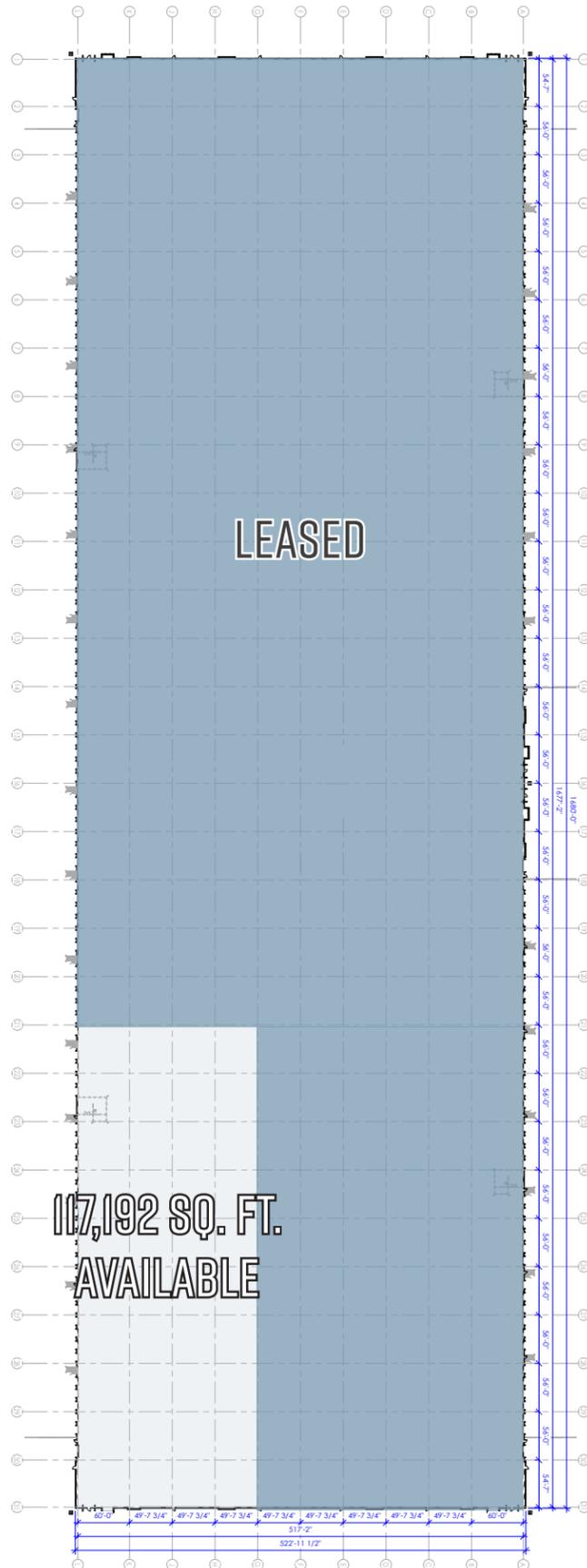
WATER WISE LANDSCAPING
UTILIZING ONLY NATIVE PLANTINGS IN
STRICT COMPLIANCE WITH SALT LAKE
CITY'S NATIVE PLANT DATA BASE



PHASE I SITE PLAN



BUILDING 6 FLOOR PLAN



BUILDING 6 821 NORTH 6550 WEST SPECIFICATIONS

FRONT LOAD AVAILABLE	
BUILDING SIZE:	874,657 SQ. FT.
AVAILABLE:	117,192 SQ. FT.
DIVISIBLE TO:	NONE
DIMENSIONS:	517'2" DEEP X 1677'2" WIDE
TYPICAL COLUMN SPACING:	56' X 49'7-3/4"
TRUCK COURT:	150'
CEILING CLEARANCE:	40'
POWER:	277/480 VOLT, 3 PHASE (AMPS TBD)
CONSTRUCTION TYPE:	CONCRETE TILT
FIRE SUPPRESSION:	ESFR
FLOOR SLAB:	7" REINFORCED
DOCK HIGH DOORS:	28
GRADE LEVEL DOORS:	1
TRAILER PARKING:	39 STALLS
EMPLOYEE PARKING:	118 STALLS

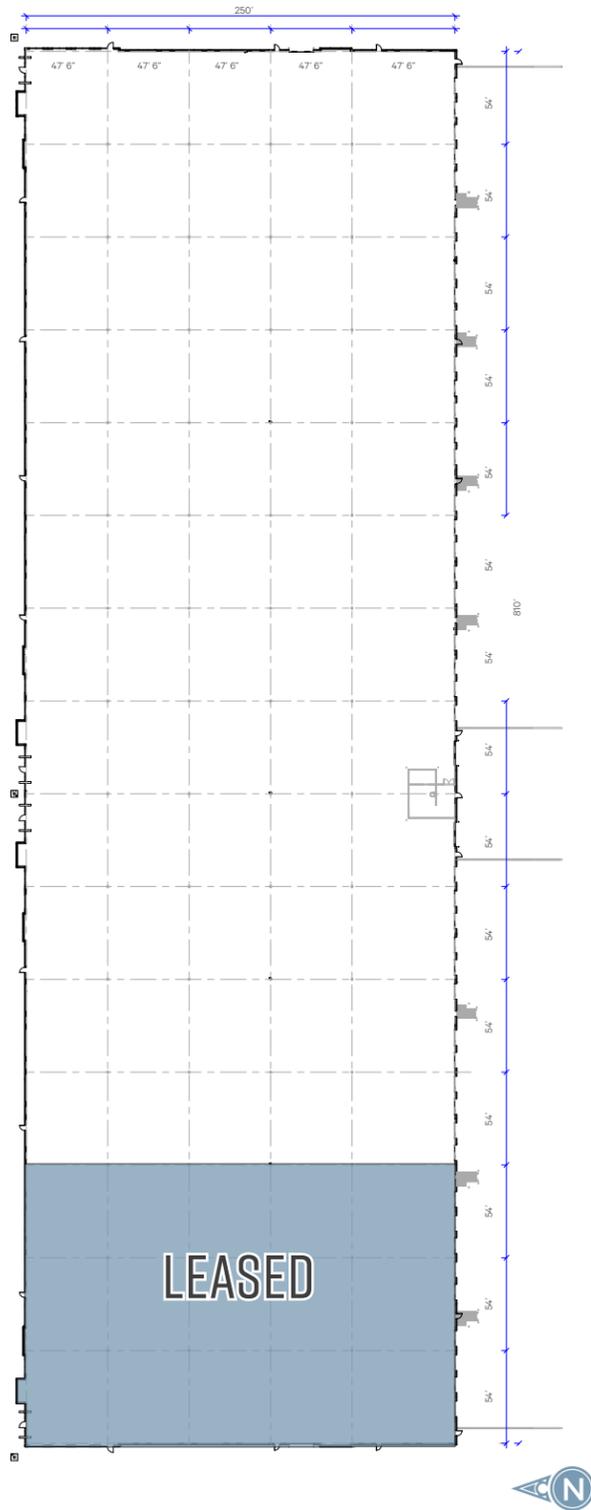
BUILDING 7 6680 WEST 700 NORTH SPECIFICATIONS

REAR LOAD CONFIGURATION	
BUILDING SIZE:	205,340 SQ. FT.
AVAILABLE:	0
DIVISIBLE TO:	N/A
DIMENSIONS:	250' DEEP X 810' WIDE
TYPICAL COLUMN SPACING:	54' X 47'6"
TRUCK COURT:	200' (INCLUDES TRAILER PARKING)
CEILING CLEARANCE:	32'
POWER:	2500 AMPS, 277/480 VOLT, 3 PHASE
CONSTRUCTION TYPE:	CONCRETE TILT
FIRE SUPPRESSION:	ESFR
FLOOR SLAB:	6" REINFORCED
DOCK HIGH DOORS:	36
GRADE LEVEL DOORS:	3
TRAILER PARKING:	+/-55 STALLS
EMPLOYEE PARKING:	+/-82 STALLS

BUILDING 7 FLOOR PLAN



BUILDING 8 FLOOR PLAN



BUILDING 8 781 NORTH 6715 WEST SPECIFICATIONS

REAR LOAD CONFIGURATION

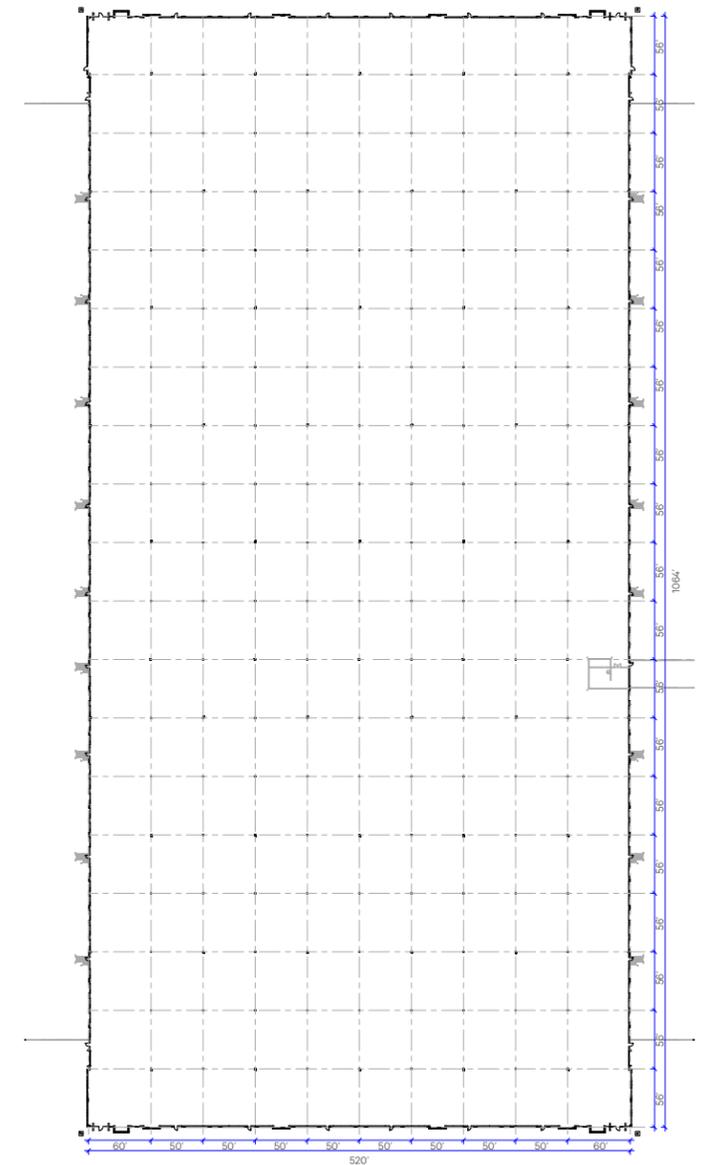
BUILDING SIZE:	205,340 SQ. FT.
AVAILABLE:	163,912 SQ. FT.
DIVISIBLE TO:	+/-41,428 SQ. FT.
DIMENSIONS:	250' DEEP X 810' WIDE
TYPICAL COLUMN SPACING:	54' X 47'6"
TRUCK COURT:	200' (INCLUDES TRAILER PARKING)
CEILING CLEARANCE:	32'
POWER:	2500 AMPS, 277/480 VOLT, 3 PHASE
CONSTRUCTION TYPE:	CONCRETE TILT
FIRE SUPPRESSION:	ESFR
FLOOR SLAB:	6" REINFORCED
DOCK HIGH DOORS:	35
GRADE LEVEL DOORS:	3
TRAILER PARKING:	55 STALLS
EMPLOYEE PARKING:	161 STALLS

BUILDING 9 905 NORTH 6715 WEST SPECIFICATIONS

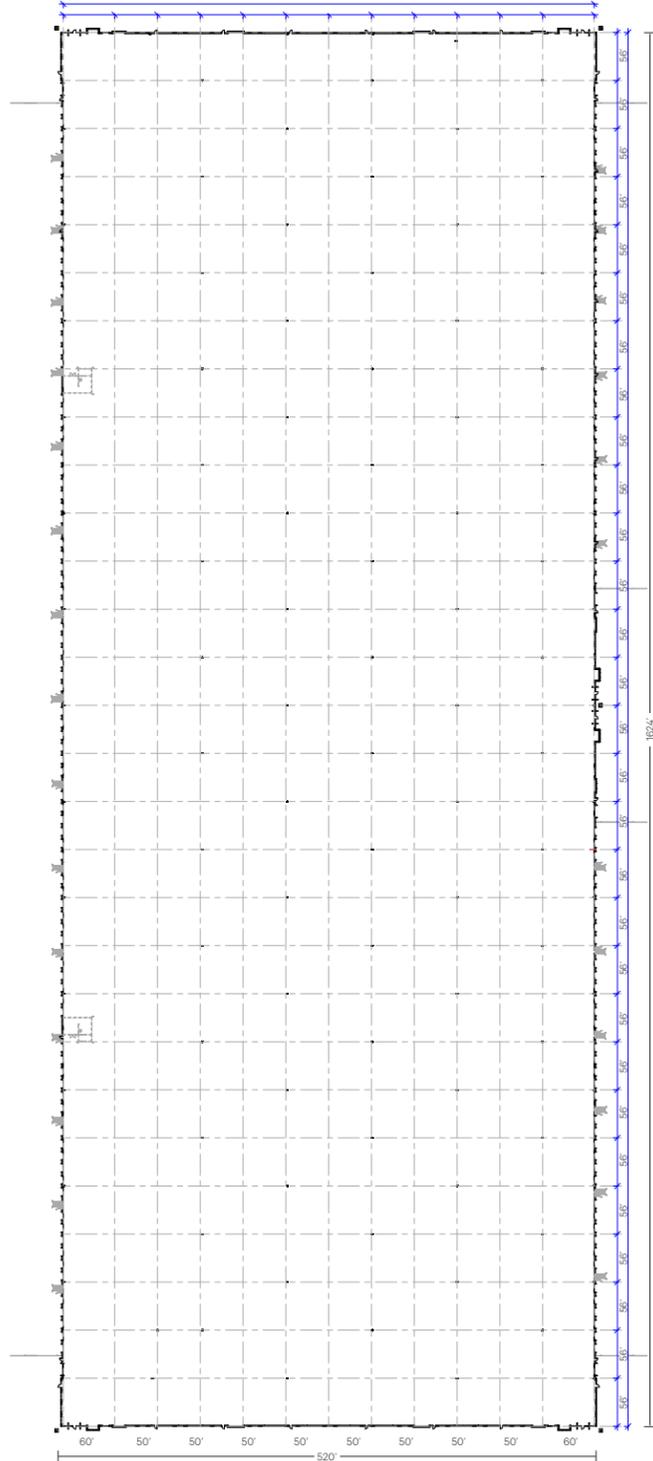
CROSS LOAD CONFIGURATION

BUILDING SIZE:	554,130 SQ. FT.
AVAILABLE:	554,130 SQ. FT.
DIVISIBLE TO:	+/-145,000 SQ. FT.
DIMENSIONS:	1064' WIDE X 520' DEEP
TYPICAL COLUMN SPACING:	56' X 50' (60' END CAPS)
TRUCK COURT:	150'
CEILING CLEARANCE:	40'
POWER:	4 SERVICES OF 1000 AMP, 277/480 VOLT, 3 PHASE
CONSTRUCTION TYPE:	CONCRETE TILT
FIRE SUPPRESSION:	ESFR
FLOOR SLAB:	7" REINFORCED
DOCK HIGH DOORS:	109
GRADE LEVEL DOORS:	4
TRAILER PARKING:	70 STALLS
EMPLOYEE PARKING:	613 STALLS

BUILDING 9 FLOOR PLAN



BUILDING 10 FLOOR PLAN



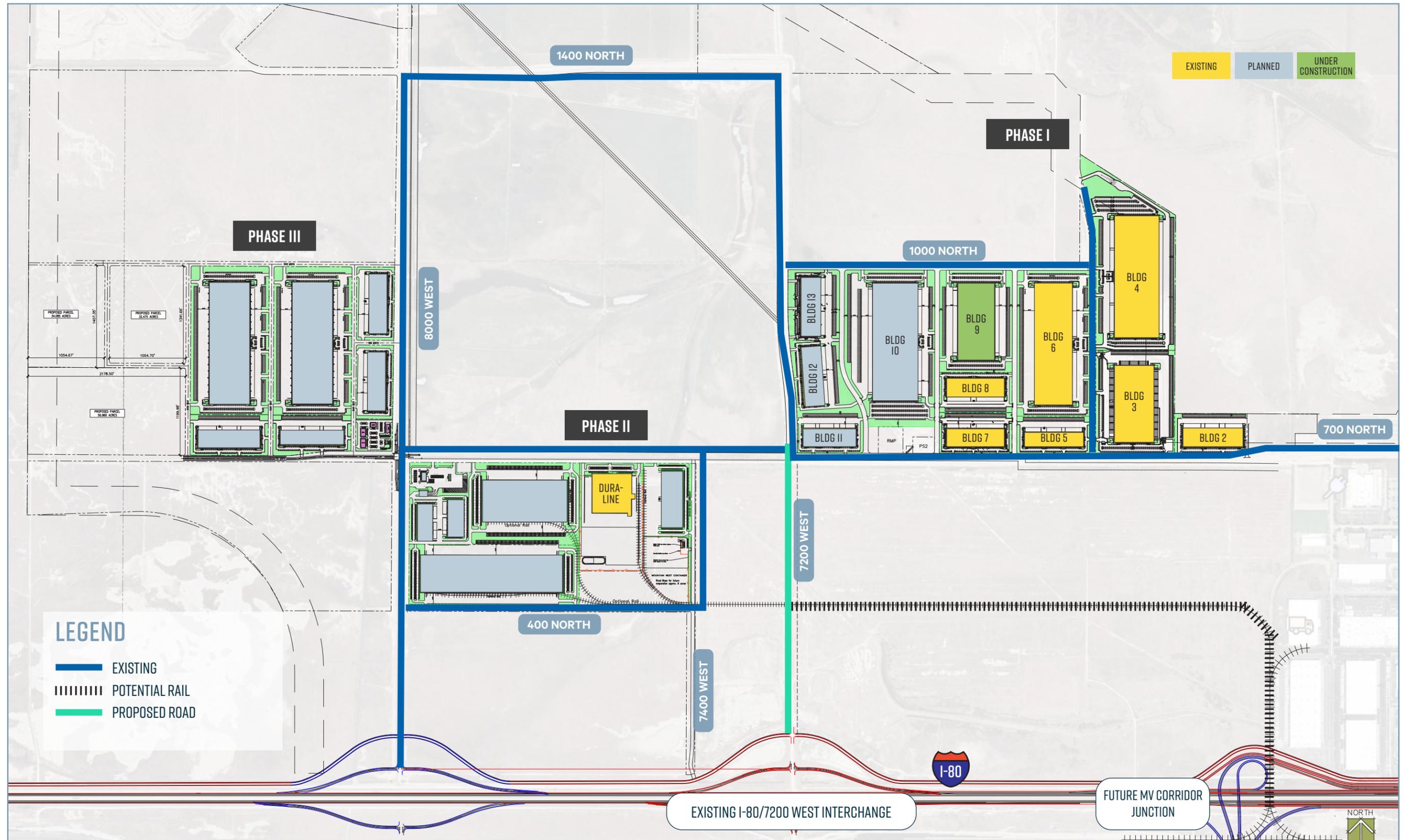
BUILDING 10 SPECIFICATIONS

CROSS DOCK CONFIGURATION

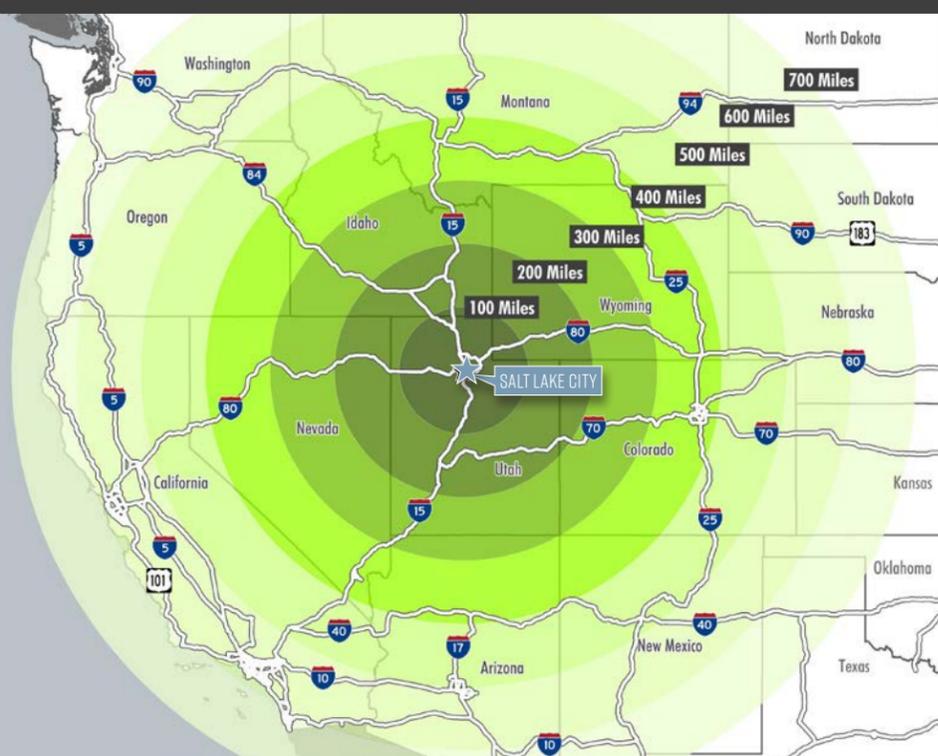
BUILDING SIZE:	1,012,460 SQ. FT.
AVAILABLE:	1,012,460 SQ. FT.
DIVISIBLE TO:	+/-253,115 SQ. FT.
DIMENSIONS:	1624' WIDE X 620' DEEP
TYPICAL COLUMN SPACING:	56 X 50'
TRUCK COURT:	150'
CEILING CLEARANCE:	40'
POWER:	6 SERVICES OF 1200 AMP, 277/480 VOLT, 3 PHASE
CONSTRUCTION TYPE:	CONCRETE TILT
FIRE SUPPRESSION:	ESFR
FLOOR SLAB:	7" REINFORCED
DOCK HIGH DOORS:	159
GRADE LEVEL DOORS:	6
TRAILER PARKING:	296 STALLS
EMPLOYEE PARKING:	847 STALLS



SLC GLOBAL LOGISTICS CENTER MASTER PLAN



UNION PACIFIC & BNSF INTERMODAL CONNECTIVITY - PORTS



REGIONAL RADIAL MAP

	2020 POPULATION	2025 POPULATION
100 MILES	2,970,467	3,236,637
200 MILES	3,709,965	4,012,165
300 MILES	5,059,972	5,457,931
400 MILES	13,773,898	14,840,350
500 MILES	20,523,678	21,923,724
600 MILES	60,354,690	63,167,183
700 MILES	76,704,211	80,198,382

#1

ANNUAL JOB GROWTH
AT 3.0% ANNUALLY
(STATISTA, 2019)

#2

BEST ECONOMY
(US NEWS, 2019)

REGIONAL WORKFORCE
DEVELOPMENT RANKING
IN MOUNTAIN REGION
(SITE SELECTION, 2019)

BEST STATE
FOR LABOR SUPPLY
(FORBES, 2017)

TOP ECONOMIC OUTLOOK
(ALEC, 2020)

BEST STATES
FOR BUSINESS
(USA TODAY, 2019)

#3

BEST STATE FOR
BUSINESS (FORBES, 2019)
ONLY STATE TO MAINTAIN #3 OR
HIGHER SINCE 2007.

#3

TOP ECONOMY
(CNBC, 2019)

#3

BEST
INFRASTRUCTURE
(US NEWS)

#4

TOP STATES
FOR BUSINESS
(CNBC, 2019)

#4

BEST STATES TO LIVE
(WORLD POPULATION, 2020)

#9

STATE BUSINESS
TAX CLIMATE
(WORLD POPULATION, 2020)

TOP 10

NORTH AMERICAN
SKI RESORTS

· #4 ALTA & SNOWBIRD
· #10 PARK CITY (USA TODAY)

6.34

¢/KWH

ROCKY MOUNTAIN POWER RATES
AMONG NATION'S LOWEST
(EDISON ELECTRIC INSTITUTE, 2016)



LOCATED IN EQUAL DISTANCES
FROM ALL MAJOR
WESTERN MARKETS



WITHIN 2.5 HOUR FLIGHT
OF MORE THAN HALF OF
THE U.S. POPULATION



RANKED ONE OF THE
MOST "OUTDOORSY"
STATES IN THE U.S.



PROVO & SLC - BEST U.S. CITIES
TO LIVE IN IF YOU LIKE
THE OUTDOORS



TOP MOUNTAIN BIKE
DESTINATIONS NORTH AMERICA
(SINGLETRACKS, NAT'L GEOGRAPHIC)

WHY UTAH?





SLC GLC

SALT LAKE CITY
GLOBAL LOGISTICS CENTER

A Quality Development By:



STOKES STEVENSON

CBRE

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