

EDISON STREET

S EDISON STREET AND 300 S
SALT LAKE CITY, UTAH 84111

SCHEMATIC DESIGN - 7/14/23

TEAM MEMBERS

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PVE MECH/ ELEC ENGINEERS
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(801) 259-3158

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DENVER, COLORADO 80204
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PROJECT INFORMATION

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE CODES OR STATUS WHETHER OR NOT SPECIFICALLY REFERENCED IN THE CONSTRUCTION DOCUMENTS

- 2021 EDITION OF THE INTERNATIONAL BUILDING CODE, INCLUDING APPENDICES C AND J
- 2021 EDITION OF THE INTERNATIONAL PLUMBING CODE, ISSUED BY THE INTERNATIONAL CODE COUNCIL
- 2021 EDITION OF THE INTERNATIONAL MECHANICAL CODE, ISSUED BY THE INTERNATIONAL CODE COUNCIL
- 2021 EDITION OF THE INTERNATIONAL FUEL GAS CODE, ISSUED BY THE INTERNATIONAL CODE COUNCIL
- 2020 EDITION OF THE NATIONAL ELECTRICAL CODE, ISSUED BY THE NATIONAL FIRE PROTECTION ASSOCIATION
- COMMERCIAL PROVISIONS OF THE 2021 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE, ISSUED BY THE INTERNATIONAL CODE COUNCIL

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PROJECT RENDERING



VICINITY MAP



SITE LOCATION

EDISON STREET
S EDISON STREET AND 300 S
SALT LAKE CITY, UTAH 84111

**J. FISHER
COMPANIES**

ISSUE	DATE	DESCRIPTION	NO.
07/14/23	07/14/23	SCHEMATIC DESIGN	X

REVISION	DATE	DESCRIPTION	BY
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COVER SHEET

JOB NUMBER: 2249901

DRAWN BY: AG
CHECKED BY: GK

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ISSUE	DATE	DESCRIPTION	NO.
	07/14/23	SCHEMATIC DESIGN	X

REVISION	DATE	DESCRIPTION	REV
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SCALE

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SCALE AS SHOWN ON THE DRAWING ARE USED BY THE DRAWING. DIMENSIONS ONLY IN THE DIMENSIONS OF WHICH ARE IN 1/4" = 1'-0".

SHEET NAME

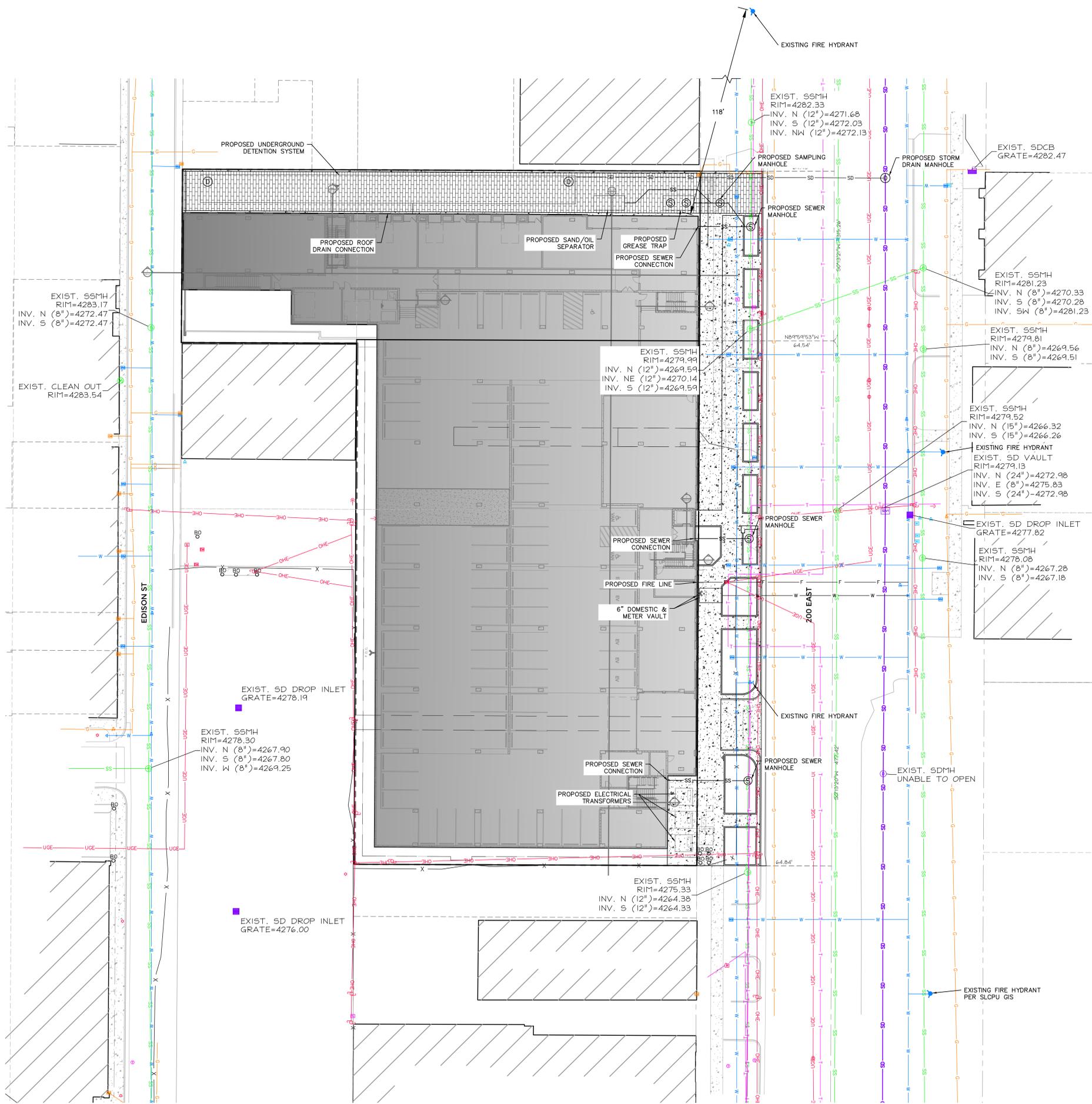
SHEET INDEX

JOB NUMBER: 2249901

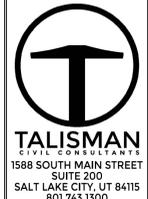
DRAWN BY: AG
CHECKED BY: GK

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SHEET INDEX		
SHEET NUMBER	SHEET NAME	SCHEMATIC DESIGN - 7/14/23
GENERAL		
A00.00	COVER SHEET	X
A00.01	SHEET INDEX	X
CIVIL		
C200	SITE PLAN	X
C300	GRADING PLAN	X
C400	UTILITY PLAN	X
LANDSCAPE		
L3-01	SITE PLAN	X
ARCHITECTURAL		
A00.06	GENERAL NOTES	X
A00.07	SUBMITTAL LIST	X
A00.10	ARCHITECTURAL SITE PLAN	X
A00.12	SITE DATA PLAN	X
A00.60	CODE DATA SHEET	X
A00.70	WALL PARTITION DETAILS	X
A00.71	WALL PARTITION DETAILS	X
A00.72	WALL PARTITION DETAILS	X
A00.80	FLOOR / CEILING ASSEMBLY DETAILS	X
A02.00	OVERALL PLAN - BASEMENT	X
A02.10	OVERALL PLAN - LEVEL 1	X
A02.20	OVERALL PLAN - LEVEL 2	X
A02.30	OVERALL PLAN - LEVEL 3	X
A02.40	OVERALL PLAN - LEVEL 4	X
A02.50	OVERALL PLAN - LEVEL 5	X
A02.60	OVERALL PLAN - LEVEL 6	X
A02.70	OVERALL PLAN - LEVEL 7	X
A02.80	OVERALL PLAN - ROOF	X
A04.00	UNIT NOTES	X
A04.01	UNIT S1	X
A04.02	UNIT S2	X
A04.03	UNIT A1	X
A04.04	UNIT A2	X
A04.05	UNIT A3	X
A04.06	UNIT B1	X
A04.07	UNIT B2	X
A04.08	UNIT B3	X
A04.09	UNIT B4	X
A04.10	UNIT B5	X
A04.11	UNIT B6 - LVL 1	X
A04.12	UNIT B6 - LVL 2	X
A04.13	UNIT B7 - LVL 1	X
A04.14	UNIT B7 - LVL 2	X
A05.01	3D EXTERIOR VIEWS	X
A05.02	OVERALL ELEVATIONS	X
A05.03	OVERALL ELEVATIONS	X
A06.01	OVERALL BUILDING SECTIONS	X
A06.10	TYPICAL WALL SECTIONS	X
ELECTRICAL		
E107	LEVEL 3 SECTION A LIGHTING PLAN	X
E108	LEVEL 3 SECTION B LIGHTING PLAN	X
E207	LEVEL 3 SECTION A POWER PLAN	X
E208	LEVEL 3 SECTION B POWER PLAN	X
E301	TYPICAL UNIT LIGHTING PLAN	X
E304	TYPICAL UNIT POWER PLAN	X
E305	TYPICAL UNIT POWER PLAN	X



PRELIMINARY
NOT FOR CONSTRUCTION



NO.	BY	DATE	REVISIONS

DATE SUBMITTED: 07/14/2023

EDISON
UTILITY PLAN
SCHEMATIC DESIGN

TCC JOB NUMBER: 23-022



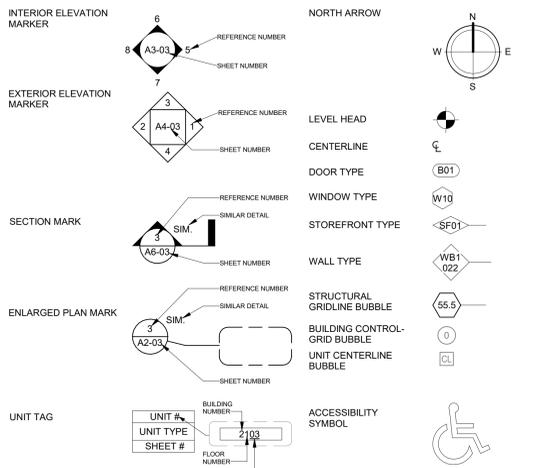
SCALE
HORIZONTAL: 1" = 20'
0 5 10 20 30

SHEET NUMBER
C400
4 OF 3

ABBREVIATIONS

Table of abbreviations for construction terms, including AB. ANCHOR BOLT, ACT. ABOVE, ADH. ACOUSTICAL TILE, etc.

SYMBOLS



OWNER

- 1. THE OWNER SHALL OBTAIN AND PAY FOR THE GENERAL BUILDING PERMITS AND IMPACT FEES. THESE PERMITS SHALL BE PROVIDED TO THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.

CONTRACTOR

- 1. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER, IN WRITING, AND SHALL HAVE RESOLVED AND DOCUMENTED, IN WRITING, PRIOR TO CONTINUING WITH THE WORK IN QUESTION IF THERE ARE:
A. ANY ERRORS, OMISSIONS, DISCREPANCIES, CONFLICTS, OR INCONSISTENCIES ON THESE CONTRACT DOCUMENTS.

STRUCTURAL / FRAMING

- 1. DIMENSIONS:
A. ALL DIMENSIONS ON PLANS ARE TO FACE OF STRUCTURE/STUD UNLESS OTHERWISE NOTED.
B. ALL ANGLED WALLS ARE 45 DEGREES UNLESS NOTED OTHERWISE.

MECHANICAL, ELECTRICAL, AND PLUMBING

- 1. ALL PLUMBING CHASES ARE TO THE UNDERSIDE OF STRUCTURE ABOVE, UNLESS NOTED OTHERWISE.
2. WHERE ELECTRICAL, MECHANICAL, AND/OR OTHER WALL MOUNTED DEVICES OCCUR AT THE SAME LOCATION BUT DIFFERENT HEIGHTS, THEY SHALL BE CENTERED ABOVE EACH OTHER.

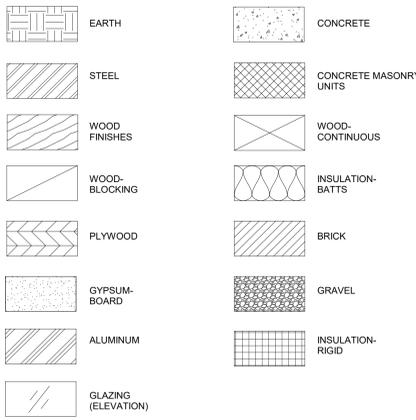
CODE

- 1. THE CONTRACTOR SHALL MEET:
A. ALL REQUIREMENTS OF THE BUILDING CODE AND FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND REQUIREMENTS, EVEN IF IT REQUIRES LABOR AND/OR MATERIALS NOT INDICATED ON PLANS.

GENERAL

- 1. THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, ARCHITECT, AND/OR ENGINEER.
2. REQUIREMENTS INDICATED ON THE PLANS ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT.

GRAPHIC REPRESENTATION



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dwelldesignstudio.com

EDISON STREET
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SALT LAKE CITY, UTAH 84111

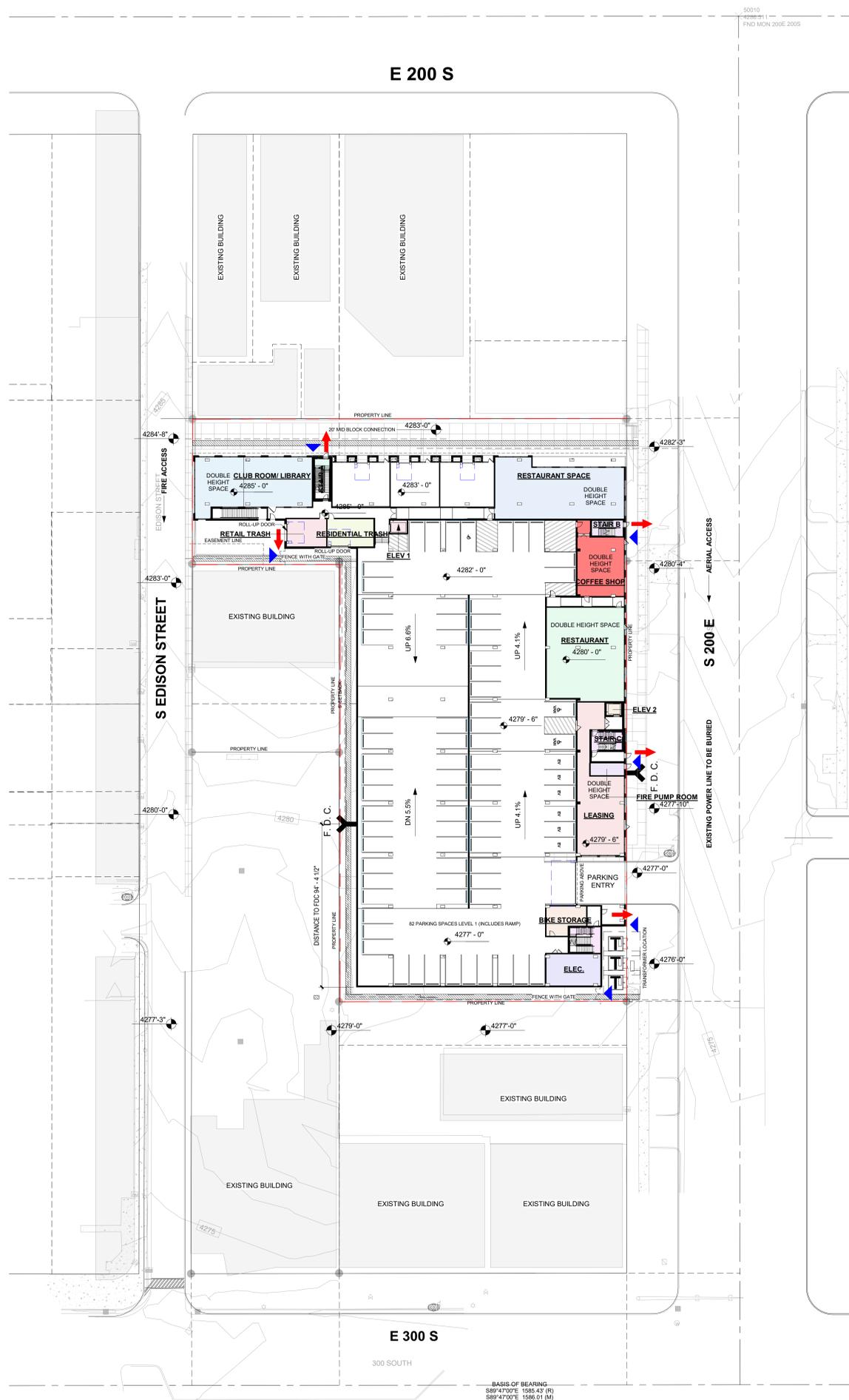
Table with columns: ISSUE, DATE, DESCRIPTION, RESOLUTION. Includes entry for 07/14/2023 SCHEMATIC DESIGN.

Table with columns: REVISION, DATE, DESCRIPTION, REV. Includes entry for 001.

GENERAL NOTES
1. ALL SITEWORK AND LANDSCAPING SHALL BE ESTABLISHED AND DESIGNED BY OTHERS (THAN THE ARCHITECT).

JOB NUMBER: 2249901
DRAWN BY: AG
CHECKED BY: GK

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FIRE APPARATUS LEGEND	
	ELECTRICAL TRANSFORMER ON CONCRETE SLAB. PROVIDE UNDERGROUND SERVICE TO BUILDING FROM TRANSFORMER.
	FIRE HYDRANT
	F. D. C.
	BUILDING MOUNTED FIRE DEPARTMENT CONNECTION
	ARROW INDICATES EGRESS POINT FROM BUILDING
	ARROW INDICATES ACCESS POINT FOR FIRE PERSONNEL
	STANDPIPE
	FIRE ALARM CONTROL PANEL
	HATCH REPRESENTS FIRE DEPARTMENT PEDESTRIAN ROUTE
	HATCH REPRESENTS FIRE DEPARTMENT ACCESS LANE

ISSUE	DATE	DESCRIPTION	NO.	STATUS
01/14/2023	01/14/2023	SCHEMATIC DESIGN	1	X

REVISION	DATE	DESCRIPTION	BY
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ARCHITECTURAL SITE PLAN

JOB NUMBER: 2249901

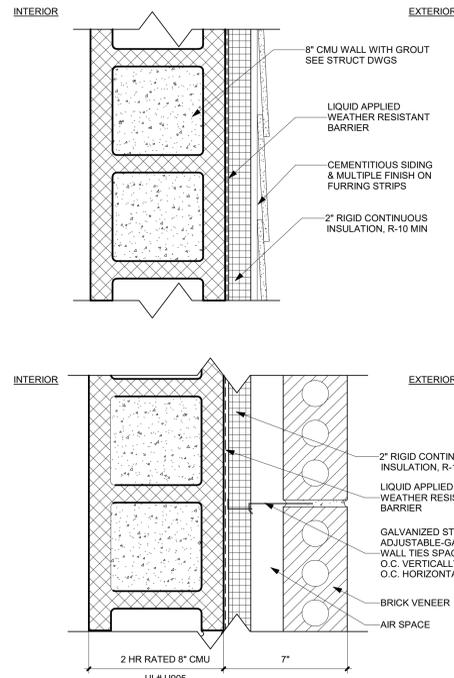
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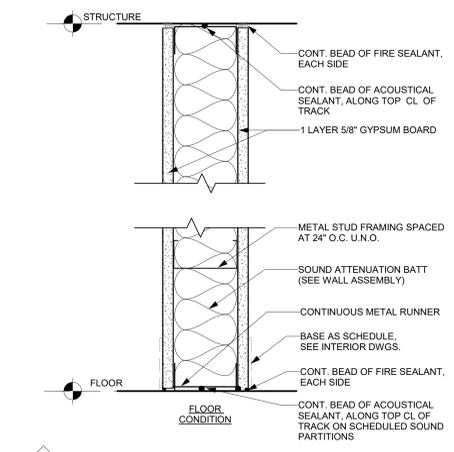
1 ARCHITECTURAL SITE PLAN
 1" = 30'-0"

INSULATION VALUES	
2021 IECC CLIMATE ZONE 5 REQUIREMENTS GROUP R	
ROOFS	R-VALUE
INSULATION ENTIRELY ABOVE DECK ATTIC AND OTHER	R-30ci R-49
WALLS, ABOVE GRADE	
MASS: METAL FRAMED WOOD FRAMED AND OTHER	R-11.4ci R-13 + R-10ci R-20 + R-3.8ci
WALLS, BELOW GRADE	
BELOW GRADE WALL	R-10ci
FLOORS	
MASS JOIST / FRAMING	R-16.7ci R-30
SLAB ON GRADE FLOORS	
UNHEATED SLABS HEATED SLABS	R-20, 24" BELOW R-15 + R-5 full slab, 36" BELOW
OPAQUE DOORS	
NONSWINGING SWINGING	U-0.31 U-0.37
FENESTRATION VALUES	
U-FACTOR	
FIXED FENESTRATION OPERABLE FENESTRATION ENTRANCE DOORS	U-0.36 U-0.45 U-0.63
SHGC	SEW N
PF < 0.2	0.33 0.38
0.2 < PF < 0.5	0.40 0.46
0.5 < PF	0.53 0.61

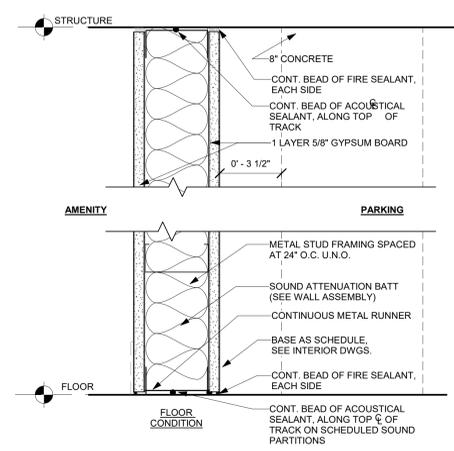
*VERIFY ALL INSULATION VALUES WITH PROVIDED COMCHECK BUILDING ENVELOPE COMPLIANCE REPORT AND PROVIDED ENERGY MODEL



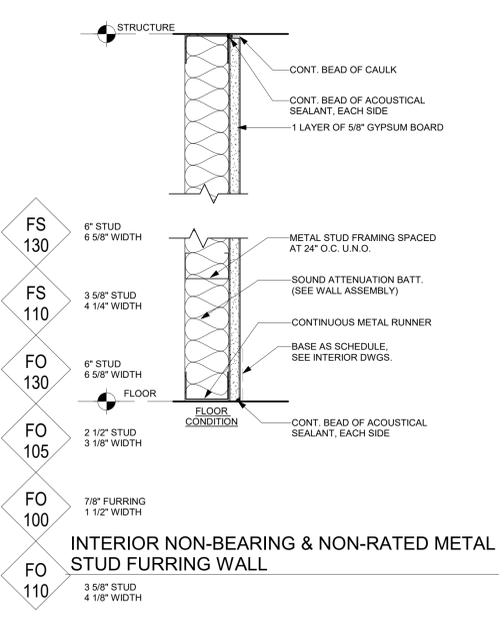
UL# U905 2-HR CMU W/ MULTIPLE FINISH CONDITIONS



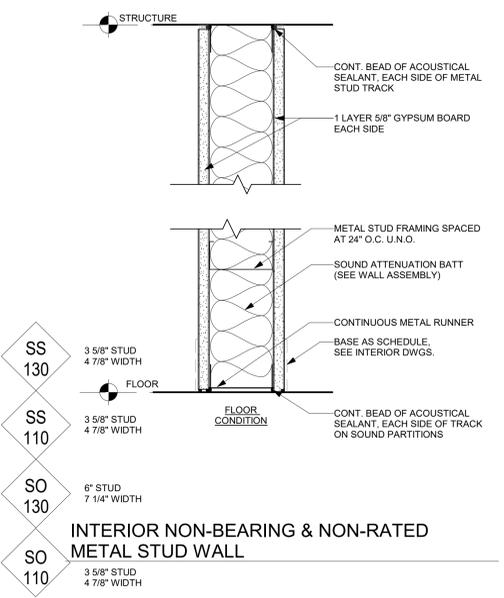
UL# U465 1-HR RATED INTERIOR NON-BEARING METAL STUD WALL



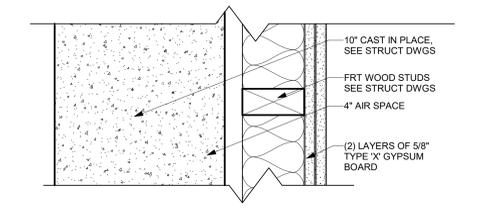
UL# U465 1-HR RATED INTERIOR NON-BEARING METAL STUD WALL AT AMENITY/PARKING



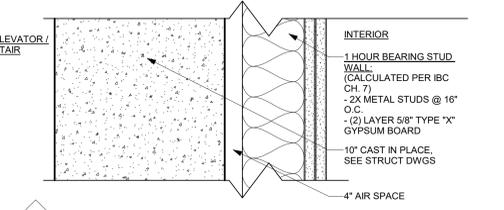
INTERIOR NON-BEARING & NON-RATED METAL STUD FURRING WALL



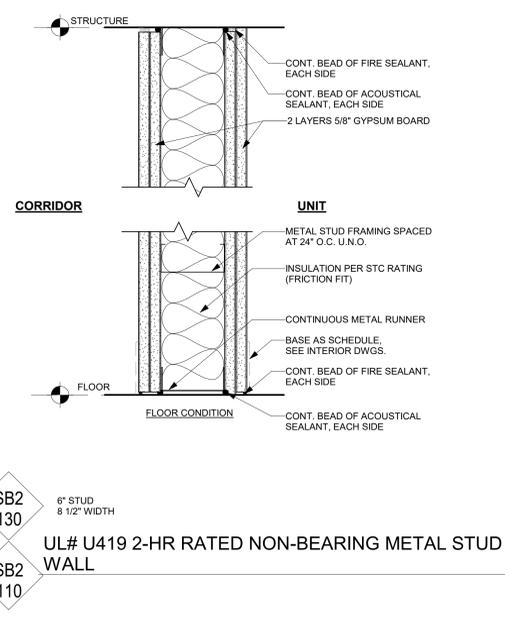
INTERIOR NON-BEARING & NON-RATED METAL STUD WALL



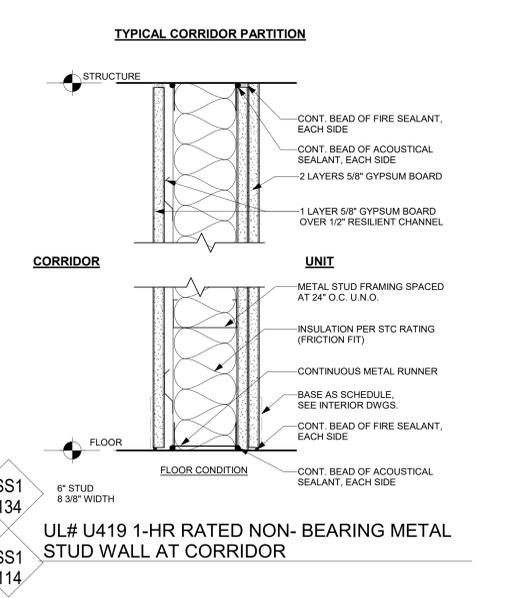
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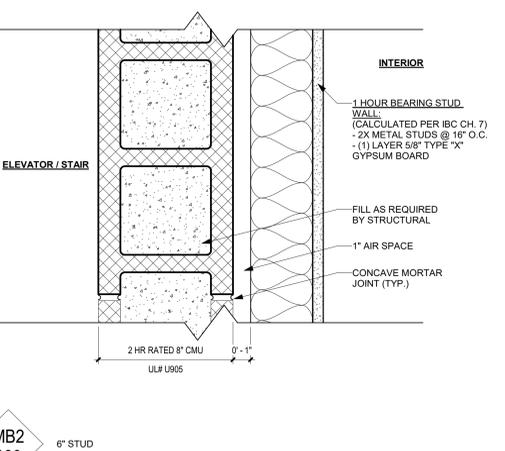
10\"/>



UL# U419 2-HR RATED NON-BEARING METAL STUD WALL



UL# U419 1-HR RATED NON-BEARING METAL STUD WALL AT CORRIDOR



UL# 905 2-HR 8\"/>

PARTITION NOTES

- DO NOT SCALE DRAWINGS
- ALL DIMENSION ARE FROM FACE OF STUD WALL TO FACE OF STUD WALL OR FROM CENTERLINE OF COLUMN TO FACE OF STUD WALL UNLESS NOTED OTHERWISE
- REFER TO PARTITION LEGEND AND PARTITION TAG FOR GRAPHIC SYMBOLS CLARIFICATION
- THE CENTERLINE OF THE PARTITION SHOULD BE ALIGNED WITH THE CENTERLINE OF AN EXTERIOR WINDOW MULLION UNLESS NOTED OTHERWISE IN THE ARCHITECTURAL PLANS. PROVIDE NEOPRENE GASKET CLOSURE BETWEEN PARTITION AND MULLION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PARTITION AND INSTALLATION.
- SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
- ALL RATED WALLS MUST MEET REQUIREMENT OF THE INDICATED TEST NUMBER.
- METAL STUD MUST BE SIZED AND SPACED SO AS NOT TO EXCEED U240 DESIGN CRITERIA. MIN. STUD GAUGE = 25. PARTITIONS SHALL BE LIMITED IN HEIGHT IN ACCORDANCE WITH STM C754.
- REFER TO THE REFLECTED CEILING PLANS AND ARCHITECTURAL DRAWINGS FOR INDICATION OF WHICH NON-RATED PARTITIONS EXTEND TO CEILING HEIGHT OR TO UNDERSIDE OF STRUCTURE. IF DISCREPANCY EXIST, G.C. TO CONTACT ARCHITECT
- WHERE NON-RATED PARTITIONS DO NOT EXTEND TO STRUCTURE, STOP GWB 6\"/>
- PROVIDE MAX. 16\"/>
- PROVIDE UL APPROVED FIRE RESISTANT GWB WHERE REQUIRED BY RATING.
- APPLY ACOUSTICAL SEALANT ALONG CENTERLINE OF STUD TRACKS TO ENTIRE PERIMETER OF ALL DEMISING AND CORRIDOR WALLS
- PROVIDE FIRE RATED SEALANT TO BOTH SIDES OF ENTIRE PERIMETER OF FIRE RATED WALLS AND AROUND ALL PENETRATIONS TO APPLICABLE U.L. LISTING REQUIREMENT OF WALL BEING PENETRATED
- CONTRACTOR TO STAGGER ALL ELECTRICAL, COMMUNICATIONS, TELEPHONE AND OTHER SIMILAR OUTLET BOXES AT A MIN. OF 12\"/>
- G.C. TO PROVIDE PUTTY PADS ON ALL ELECTRICAL OUTLET BOXES ON FIRE AND SOUND RATED WALLS.
- REFER TO I.D. DRAWINGS FOR LOCATION OF ALL INTERIOR FINISHES.
- PROVIDE WATER RESISTANT GWB AT ALL SHOWER AND BATH TUB WALL SURROUNDS (DENS-SHIELD OR APPROVED EQUAL)
- INSTALL IN-WALL BLOCKING FOR ALL CABINETS, TOILET ACCESSORIES, CLOSET SHELVING, MILLWORK, WALLSTOPS, ARTWORK, WALL BUMPERS/GUARDS, DRAPERY LOCATIONS, STONETOP, GRAB BARS, MODULAR OFFICE WALLS, AND OTHER SIMILAR CONDITIONS.
- THE U.L. NUMBER INDICATED REFERENCE VOLUME 1, 2 AND 28 OF THE MOST RECENT FIRE RESISTANCE DIRECTORY PUBLISHED BY UNDERWRITERS LABORATORIES INC. - SEE SHEET CD-80 TO CD-86 FOR MORE INFORMATION.
- ALL THROUGH WALL PENETRATIONS OF FIRE RATED WALLS/PARTITIONS MUST BE SEALED WITH FIRESTOP SYSTEM APPROVED BY U.L. FOR PENETRATIONS IN APPLICABLE WALL OR AS NOTED BY ARCHITECT. SEE ARCHMEP DRAWINGS FOR ADDITIONAL INFORMATION
- DEFLECTION TRACKS TO BE PROVIDED AT TOP RUNNERS OF ALL METAL STUDS PARTITIONS THAT EXTEND TO UNDERSIDE OF STRUCTURAL DECK. TRACK MUST BE DESIGNED TO ALLOW UP TO 1/2\"/>
- ALL SMOKE AND FIRE RATED PARTITIONS MUST BE IDENTIFIED WITH PAINTED STENCILS ABOVE CEILING.
- WALLS THAT EXTEND "TO STRUCTURE" SHALL EXTEND TO UNDERSIDE OF C.I.P CONCRETE SLAB METAL DECK OR PRECAST.
- PROVIDE FIRE TREATED WOOD BLOCKING OR PLYWOOD INSIDE WALLS AND OTHER CONCEALED SPACES.
- CONTRACTOR TO COORDINATE PARTITION LAYOUT WITH M.E.P. WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION OF METAL/PLUMBING SLEEVES AT TIME OF CONCRETE PLACEMENT.
- CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL EQUIPMENT.
- COORDINATE LOCATIONS OF FIRE PULL STATIONS, FIRE STROBES/SPEAKERS AND FIREMAN'S TELEPHONE JACK WITH INTERIOR DESIGN ELEMENTS.
- VERIFY ALL THERMOSTAT LOCATIONS WITH INTERIOR DESIGNER FOR COORDINATION WITH DESIGN ELEMENTS PRIOR TO INSTALLATION.
- REFER TO ELECTRICAL DRAWINGS FOR POWER, TELEPHONE, AND DATA OUTLET LOCATIONS.
- SEAL ALL SOUND PARTITIONS WITH ACOUSTICAL SEALANT AT BASE, HEAD, AND ALL PENETRATIONS.
- ALL EXPOSED TOP EDGES OF WALLS OR WHERE WALL ABUTS COLUMN OR OTHER CONCRETE STRUCTURE TO HAVE A ZIP BEAD FINISH.
- G.C. TO PROVIDE A ZIP BEAD FINISH ALONG THE TOP EDGE OF ALL WALL WHERE WALL ABUTS AN EXPOSED OR SKIM COAT FINISH COLUMN AND OR CONCRETE STRUCTURE.
- SOME WALL INDICATED MAY REQUIRE AN EXTERIOR FINISH SYSTEM NOT INDICATED ON PARTITION SCHEDULE. SEE ARCHITECTURAL DRAWING ADDITIONAL INFORMATION.
- IN TYPICAL TOWER RESIDENTIAL UNITS, GWB ON WALL TO STOP AT GWB CEILING (STUDS TO CONTINUE TO STRUCTURE) EXCEPT AT CEILING BATHROOMS AND MECHANICAL CLOSETS, BOTH STUDS AND GWB WILL EXTEND TO STRUCTURE.
- WALL TYPE IS BASED ON USG CRITERIA.
- CAVITIES OF ALL CMU INTERIOR AND/OR EXTERIOR WALL ADJACENT TO HEATED SPACES TO RECEIVE MIN. R19 SPRAY FOAM INSULATION, TYP.

SSMA METAL STUD SIZES		
1 5/8"	=	162 S 125 -xx
2 1/2"	=	250 S 125 -xx
3 5/8"	=	362 S 125 -xx
4"	=	400 S 125 -xx
6"	=	600 S 125 -xx
8"	=	800 S 125 -xx

MEMBER SIZE
MEMBER DEPTH
S = STUD

MATERIAL THICKNESS
FLANGE WITH IN 1/100 INCHES

WALL TYPE LEGEND:

1ST LETTER INDICATES STRUCTURAL MATERIAL

- C POURED IN PLACE CONCRETE
- F METAL FURRING / WOOD FURRING
- M MASONRY
- P PRECAST CONCRETE
- S METAL STUD / CHANNEL
- W WOOD

2ND LETTER INDICATES INSULATION

- O NONE
- B BATT INSULATION
- C CELLULOSE
- D BATT + BOARD INSULATION
- S BOARD INSULATION
- S SOUND

FIRE RATING

- 1 1 HOUR
- 2 2 HOUR
- 3 3 HOUR
- 4 4 HOUR

NUMBER INDICATES VARIATIONS

Material	Designation	Non-Stud if Applicable	Stud if Applicable
C.M.P	00-09	MATERIAL	< 2x4 WOOD STUD
C.F.M.P.S.W	10-19	MATERIAL	2x4 WOOD STUD
	20-29	MATERIAL	2x6 WOOD STUD
	40-59	MATERIAL	2x6 WOOD STUD
	60-69	MATERIAL	> 2x6 WOOD STUD
C.M.P.S.W	70-79	MATERIAL	2x4 WOOD STUD EACH SIDE
	80-89	MATERIAL	2x6 WOOD STUD EACH SIDE
	90-99	MATERIAL	VARYING DOUBLE STUD CONDITIONS
C.F.M.P.S.W	100-109	MATERIAL	< 3 5/8" METAL STUD
	110-119	MATERIAL	3 5/8" = 6" METAL STUD
	130-149	MATERIAL	> 6" METAL STUD
	150-159	MATERIAL	3 5/8" = 6" METAL STUD EACH SIDE
	160-169	MATERIAL	> 6" METAL STUD EACH SIDE
C.M.P.S.W	170-179	MATERIAL	VARYING DOUBLE STUD CONDITIONS
M	180-189	OTHER MASONRY	

*FIRE AND SOUND TEST NUMBERS BASED ON THE FOLLOWING:
- FIRE RESISTANCE DIRECTORY 2019 EDITION BY U.L. UNDERWRITERS LAB INC.)
- FIRE RESISTANCE AND SOUND CONTROL DESIGN MANUAL 22ND EDITION
2019 BY GYPSUM ASSOCIATIONS.

7/14/2023 2:14:51 PM C:\Users\jhell\Documents\Revit\Tehu Company_Edison-St.-SI-C-UT-R22-SD-01\116330M.rvt

1280 HIGHTOWER TRAIL
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PHONE: 770.864.1035
dwelldesignstudio.com

EDISON STREET

S EDISON STREET AND 300 S
SALT LAKE CITY, UTAH 84111

ISSUE	DESCRIPTION	REVISED
001	SCHEMATIC DESIGN	X

REVISION	DESCRIPTION	REV

WALL PARTITION DETAILS

JOB NUMBER: 2249901

DRAWN BY: Author CHECKED BY: GK

A00.70

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ISSUE	DATE	DESCRIPTION	BY
01/14/2023	03/20/2019	SCHEMATIC DESIGN	X

REVISION	DATE	DESCRIPTION	BY

SCALE

DATE

WALL PARTITION DETAILS

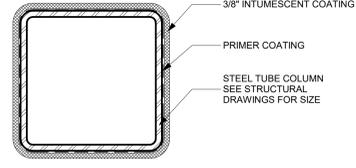
JOB NUMBER: 2249901

DRAWN BY: Author
CHECKED BY: GK

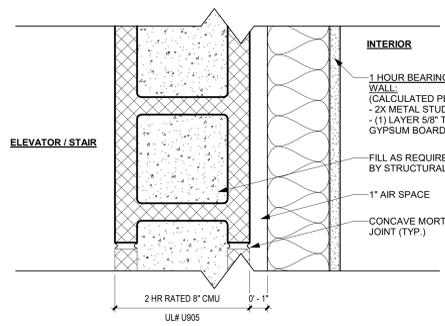
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PARTITION NOTES

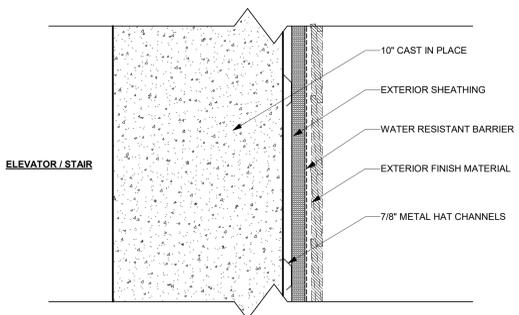
- DO NOT SCALE DRAWINGS
- ALL DIMENSION ARE FROM FACE OF STUD WALL TO FACE OF STUD WALL OR FROM CENTERLINE OF COLUMN TO FACE OF STUD WALL UNLESS NOTED OTHERWISE.
- REFER TO PARTITION LEGEND AND PARTITION TAG FOR GRAPHIC SYMBOLS CLARIFICATION
- THE CENTERLINE OF THE PARTITION SHOULD BE ALIGNED WITH THE CENTERLINE OF AN EXTERIOR WINDOW MULLION UNLESS NOTED OTHERWISE IN THE ARCHITECTURAL PLANS. PROVIDE NEOPRENE GASKET CLOSURE BETWEEN PARTITION AND MULLION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PARTITION AND INSTALLATION.
- SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
- ALL RATED WALLS MUST MEET REQUIREMENT OF THE INDICATED TEST NUMBER.
- METAL STUD MUST SIZED AND SPACED SO AS NOT TO EXCEED L240 DESIGN CRITERIA. MIN. STUD GAUGE = 25. PARTITIONS SHALL BE LIMITED IN HEIGHT IN ACCORDANCE WITH STM C754.
- REFER TO THE REFLECTED CEILING PLANS AND ARCHITECTURAL DRAWINGS FOR INDICATION OF WHICH NON-RATED PARTITIONS EXTEND TO CEILING HEIGHT OR TO UNDERSIDE OF STRUCTURE. IF DISCREPANCY EXIST, G.C. TO CONTACT ARCHITECT
- WHERE NON-RATED PARTITIONS DO NOT EXTEND TO STRUCTURE, STOP GWB 6" ABOVE CEILING AND EXTEND OR BRACE METAL STUDS TO STRUCTURE.
- PROVIDE MAX. 16" O.C. STUD SPACING BEHIND ALL CERAMIC TILE OR STONE VENEER WALLS.
- PROVIDE UL APPROVED FIRE RESISTANT GWB WHERE REQUIRED BY RATING.
- APPLY ACOUSTICAL SEALANT ALONG CENTERLINE OF STUD TRACKS TO ENTIRE PERIMETER OF ALL DEMISING AND CORRIDOR WALLS.
- PROVIDE FIRE RATED SEALANT TO BOTH SIDES OF ENTIRE PERIMETER OF FIRE RATED WALLS AND AROUND ALL PENETRATIONS TO APPLICABLE U.L. LISTING REQUIREMENT OF WALL BEING PENETRATED
- CONTRACTOR TO STAGGER ALL ELECTRICAL, COMMUNICATIONS, TELEPHONE AND OTHER SIMILAR OUTLET BOXES AT A MIN. OF 12" O.C. IN FIRE RATED AND SOUND RATED WALLS.
- G.C. TO PROVIDE PUTTY PADS ON ALL ELECTRICAL OUTLET BOXES ON FIRE AND SOUND RATED WALLS.
- REFER TO I.D. DRAWINGS FOR LOCATION OF ALL INTERIOR FINISHES.
- PROVIDE WATER RESISTANT GWB AT ALL SHOWER AND BATH TUB WALL SURROUNDS (DENS-SHIELD OR APPROVED EQUAL).
- PROVIDE IN-WALL BLOCKING FOR ALL CABINETS, TOILET ACCESSORIES, CLOSET SHELVING, MILLWORK, WALLSTOPS, ARTWORK, WALL BUMPERS/GUARDS, DRAPERY LOCATIONS, STONERWORK, GRAB BARS, MODULAR OFFICE WALLS, AND OTHER SIMILAR CONDITIONS.
- THE U.L. NUMBER INDICATED REFERENCE VOLUME 1, 2 AND 2B OF THE MOST RECENT FIRE RESISTANCE DIRECTORY PUBLISHED BY UNDERWRITERS LABORATORIES INC. - SEE SHEET CD-80 TO CD-86 FOR MORE INFORMATION.
- ALL THROUGH WALL PENETRATIONS OF FIRE RATED WALLS/PARTITIONS MUST BE SEALED WITH FIRESTOP SYSTEM APPROVED BY U.L. FOR PENETRATIONS IN APPLICABLE WALL OR AS NOTED BY ARCHITECT. SEE ARCH/MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- DEFLECTION TRACKS TO BE PROVIDED AT TOP RUNNERS OF ALL METAL STUDS PARTITIONS THAT EXTEND TO UNDERSIDE OF STRUCTURAL DECK. TRACK MUST BE DESIGNED TO ALLOW UP TO 1/2" DEFLECTION.
- ALL SMOKE AND FIRE RATED PARTITIONS MUST BE IDENTIFIED WITH PAINTED STENCILS ABOVE CEILINGS.
- WALLS THAT EXTEND "TO STRUCTURE" SHALL EXTEND TO UNDERSIDE OF C.I.P CONCRETE SLAB METAL DECK OR PRECAST.
- PROVIDE FIRE TREATED WOOD BLOCKING OR PLYWOOD INSIDE WALLS AND OTHER CONCEALED SPACES.
- CONTRACTOR TO COORDINATE PARTITION LAYOUT WITH M.E.P. WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION OF METAL/PLUMBING SLEEVES AT TIME OF CONCRETE PLACEMENT.
- CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL EQUIPMENT.
- COORDINATE LOCATIONS OF FIRE PULL STATIONS, FIRE STROBES/SPEAKERS AND FIREMAN'S TELEPHONE JACK WITH INTERIOR DESIGN ELEMENTS.
- VERIFY ALL THERMOSTAT LOCATIONS WITH INTERIOR DESIGNER FOR COORDINATION WITH DESIGN ELEMENTS PRIOR TO INSTALLATION.
- REFER TO ELECTRICAL DRAWINGS FOR POWER, TELEPHONE, AND DATA OUTLET LOCATIONS.
- SEAL ALL SOUND PARTITIONS WITH ACOUSTICAL SEALANT AT BASE, HEAD, AND ALL PENETRATIONS.
- ALL EXPOSED TOP EDGES OF WALLS OR WHERE WALL ABUTS COLUMN OR OTHER CONCRETE STRUCTURE TO HAVE A ZIP BEAD FINISH.
- G.C. TO PROVIDE A ZIP BEAD FINISH ALONG THE TOP EDGE OF ALL WALL WHERE WALL ABUTS AN EXPOSED OR SKIM COAT FINISH COLUMN AND OR CONCRETE STRUCTURE.
- SOME WALL INDICATED MAY REQUIRE AN EXTERIOR FINISH SYSTEM NOT INDICATED ON PARTITION SCHEDULE. SEE ARCHITECTURAL DRAWING ADDITIONAL INFORMATION.
- IN TYPICAL TOWER RESIDENTIAL UNITS, GWB ON WALL TO STOP AT GWB CEILINGS (STUDS TO CONTINUE TO STRUCTURE) EXCEPT AT CEILING BATHROOMS AND MECHANICAL CLOSETS, BOTH STUDS AND GWB WILL EXTEND TO STRUCTURE.
- WALL TYPE IS BASED ON USG CRITERIA.
- CAVITIES OF ALL CMU INTERIOR AND/OR EXTERIOR WALL ADJACENT TO HEATED SPACES TO RECEIVE MIN. R19 SPRAY FOAM INSULATION, TYP.



UL# X650 1-HR RATED TUBE STEEL COLUMN



MB2 130 6" STUD
UL# 905 2-HR 8" CMU - ADJACENT TO INTERIOR METAL STUD
MB2 110



CB2 131 6" STUD
10" CIP - ELEVATOR AND STAIRS ADJACENT TO INTERIOR METAL STUD
CB2 121

SSMA METAL STUD SIZES

1 5/8"	= 162 S 125 -xx
2 1/2"	= 250 S 125 -xx
3 5/8"	= 362 S 125 -xx
4"	= 400 S 125 -xx
6"	= 600 S 125 -xx
8"	= 800 S 125 -xx

MEMBER SIZE
MEMBER DEPTH
S = STUD

MATERIAL THICKNESS
FLANGE WITH IN 1/100 INCHES

WALL TYPE LEGEND:

1ST LETTER INDICATES STRUCTURAL MATERIAL

C POURED IN PLACE CONCRETE
F METAL FURRING / WOOD FURRING
M MASONRY
P PRECAST CONCRETE
S METAL STUD / CHANNEL
W WOOD

2ND LETTER INDICATES INSULATION

O NONE
B BATT INSULATION
C CELLULOSE
D BATT + BOARD INSULATION
R BOARD INSULATION
S SOUND

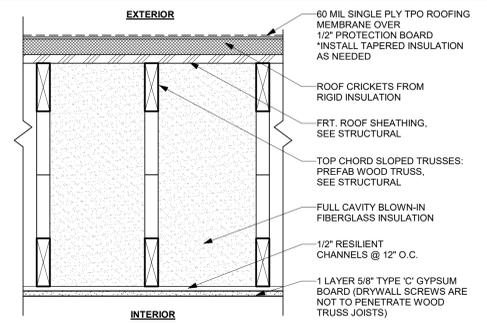
FIRE RATING

1 1 HOUR
2 2 HOUR
3 3 HOUR
4 4 HOUR

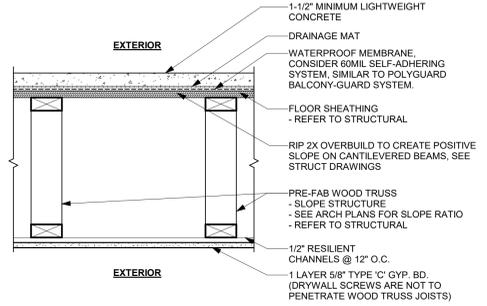
NUMBER INDICATES VARIATIONS

Structural Material	Number	Designation	Non-Stud if # Applicable	Stud if Applicable	Component Size & Composition
C.M.P.	00-09	MATERIAL			< 2x4 WOOD STUD
C.F.M.P.S.W	10-19	MATERIAL			2x4 WOOD STUD
	20-39	MATERIAL			2x6 WOOD STUD
	40-59	MATERIAL			> 2x6 WOOD STUD
C.M.P.S.W	70-79	MATERIAL			2x4 WOOD STUD EACH SIDE
	80-89	MATERIAL			2x6 WOOD STUD EACH SIDE
	90-99	MATERIAL			VARYING DOUBLE STUD CONDITIONS
C.F.M.P.S.W	100-109	MATERIAL			< 3 5/8" METAL STUD
	110-129	MATERIAL			3 5/8" = 6" METAL STUD
	130-149	MATERIAL			> 6" METAL STUD
	150-159	MATERIAL			3 5/8" = 6" METAL STUD EACH SIDE
	160-169	MATERIAL			> 6" METAL STUD EACH SIDE
C.M.P.S.W	170-179	MATERIAL			VARYING DOUBLE STUD CONDITIONS
M	180-189	OTHER MASONRY			

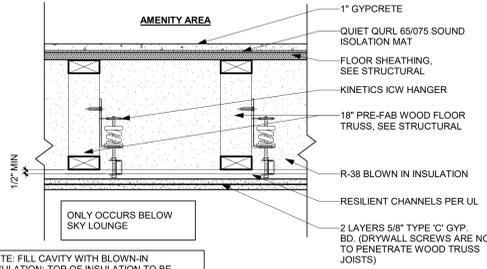
*FIRE AND SOUND TEST NUMBERS BASED ON THE FOLLOWING:
- FIRE RESISTANCE DIRECTORY 2019 EDITION BY U.L. UNDERWRITERS LAB INC.)
- FIRE RESISTANCE AND SOUND CONTROL DESIGN MANUAL 22ND EDITION 2019 BY GYPSUM ASSOCIATIONS.



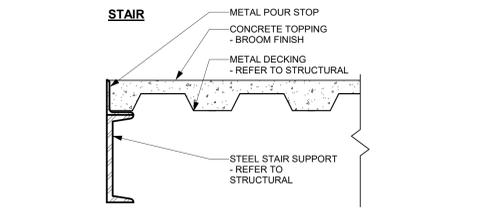
FCA 5 UL# P580 1-HR ROOF / CEILING ASSEMBLY AT UNIT



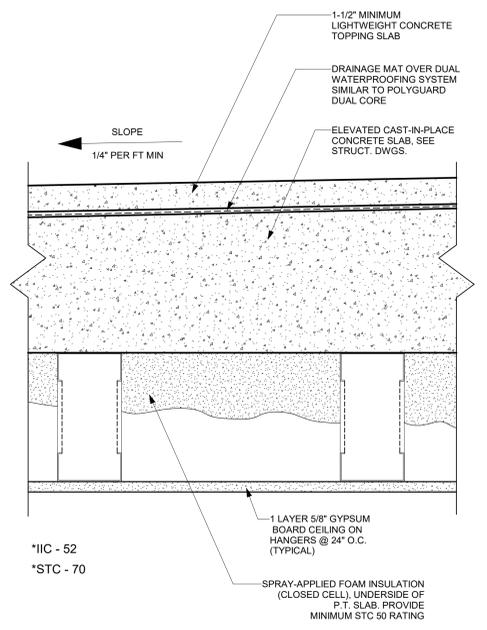
FCA 4 FLOOR / CEILING ASSEMBLY AT BALCONY



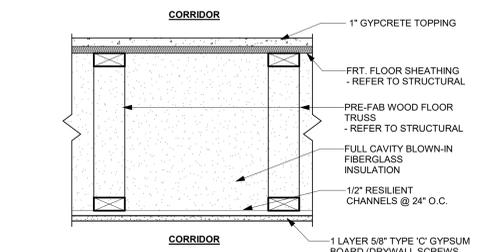
FCA 8 UL# L521 / STC 76 - 1-HR FLOOR / CEILING ASSEMBLY BELOW 5TH FLOOR AMENITY



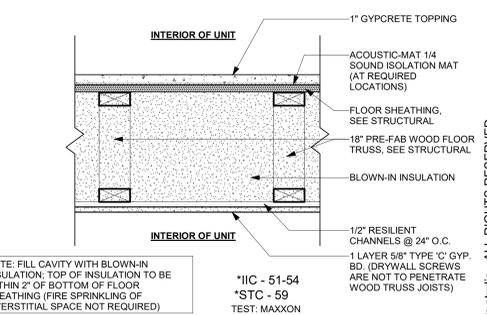
FCA 3 FLOOR / CEILING ASSEMBLY AT STAIR



FCA 7 IBC CHAPTER 7, CALCULATED 3-HR RATED FLOOR / CEILING ASSEMBLY B



FCA 2 UL# L512 1-HR FLOOR / CEILING ASSEMBLY



FCA 1 UL# L528, 1-HR FLOOR / CEILING ASSEMBLY @ UNIT

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FLOOR / CEILING ASSEMBLY DETAILS

JOB NUMBER: 2249901

DRAWN BY: Author
CHECKED BY: GK

A00.80

EDISON STREET

S EDISON STREET AND 300 S
SALT LAKE CITY, UTAH 84111

A DEVELOPMENT FOR

ISSUE	DATE	DESCRIPTION	NO.
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SCALE

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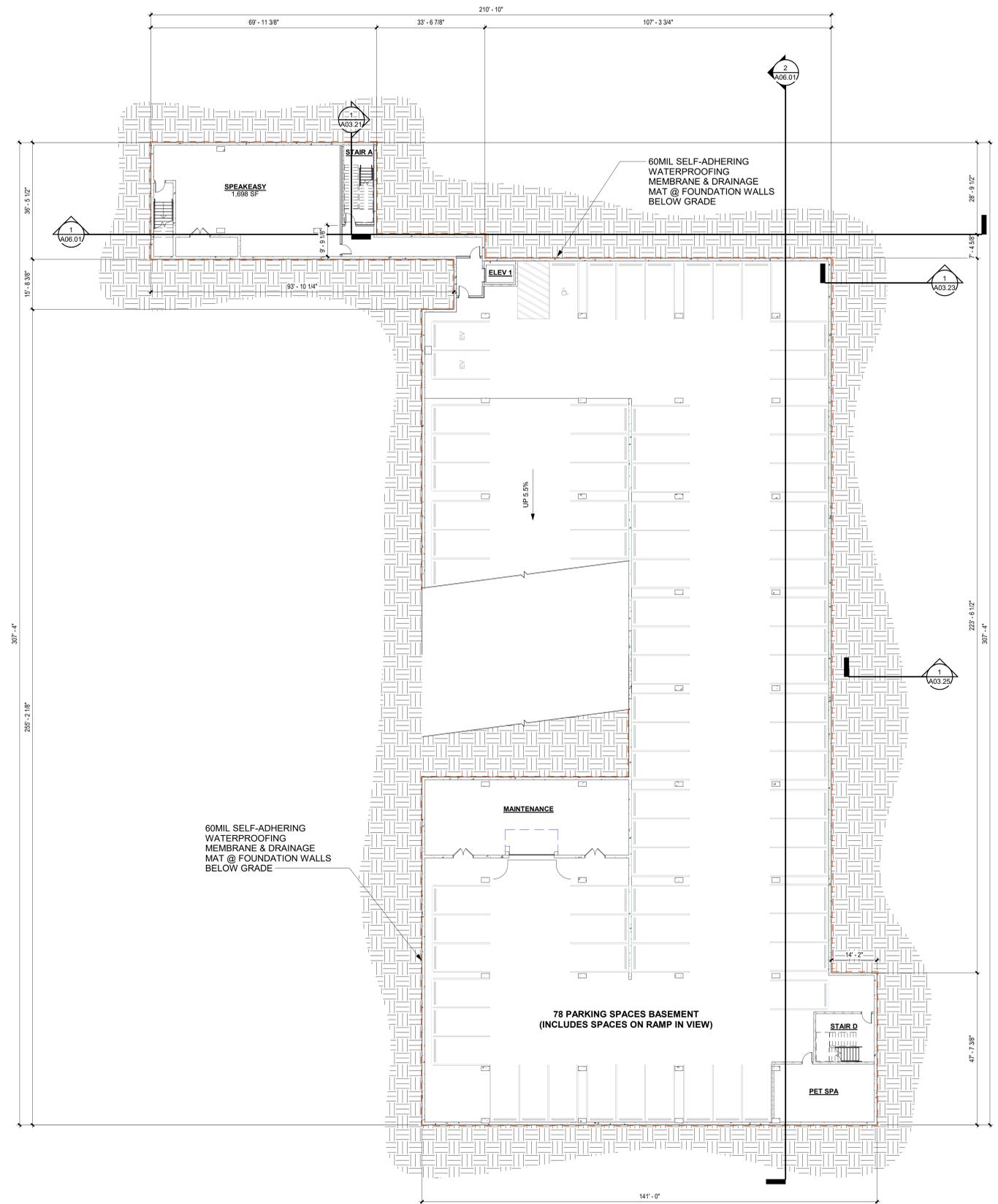
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OVERALL PLAN - BASEMENT

JOB NUMBER: 2249901

DRAWN BY: AG
CHECKED BY: GK

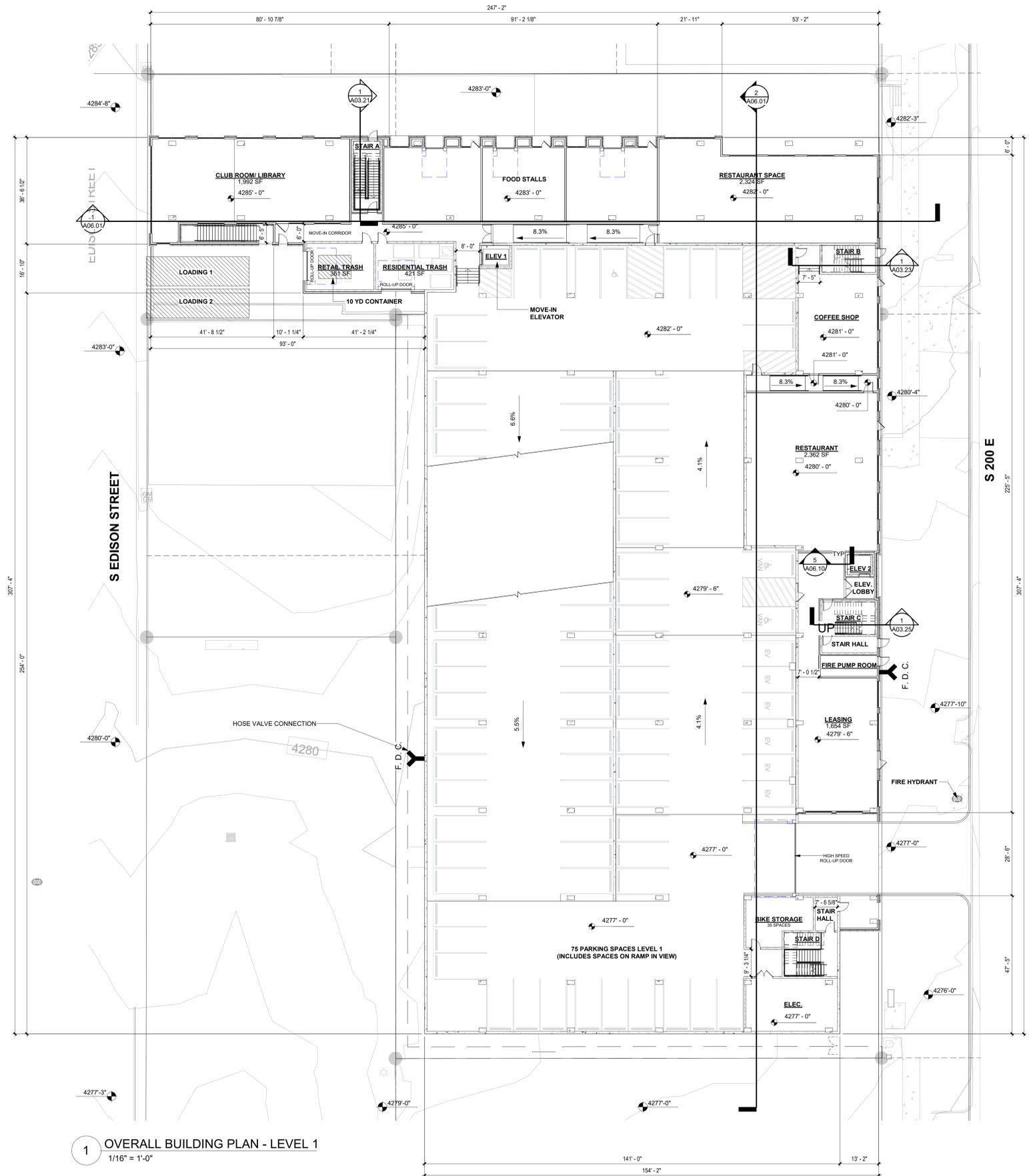
A02.00



1 OVERALL BUILDING PLAN - BASEMENT LEVEL
1/16" = 1'-0"

PARKING NOTES / CALCS D-1

- RESIDENTIAL PARKING:**
- NO MINIMUM**
STUDIOS & 1 BEDS: 2 SP / DU MAX
 - 447 MAX
 - 225 PROVIDED
 - 2 & 3 BEDS: 3 SP / DU MAX
 - 447 MAX
 - 225 PROVIDED
- COMMERCIAL PARKING:**
- RESTAURANT: 2 SP / 1000 SF MAX
 - 6 REQUIRED
 - 6 PROVIDED
 - TAVERN: 2 SP / 1000 SF MAX
 - 6 REQUIRED
 - 6 PROVIDED
 - OUTDOOR SEATING: 4 SP / 1000 SF MAX
 - 6 REQUIRED
 - 6 PROVIDED
 - RETAIL: NO MINIMUM, 2 SP / 1000 SF MAX
 - 3 REQUIRED
 - 3 PROVIDED
- EV SPACES:**
- 1 SPACE PER EVERY 25 SPACES MIN.
 - 10 REQUIRED
 - 13 PROVIDED
- ACCESSIBLE PARKING SPACES:**
- 101-500: 1 PER 50 MIN.
 - 5 REQUIRED
 - 7 PROVIDED
- BICYCLE PARKING:**
- 1 PER 2 UNITS MINIMUM
 - 99 REQUIRED
 - 101 PROVIDED



1 OVERALL BUILDING PLAN - LEVEL 1
1/16" = 1'-0"

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OVERALL PLAN - LEVEL 1

JOB NUMBER: 2249901

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A02.10

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SCALE: AS SHOWN
UNLESS OTHERWISE NOTED, THE DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS OF WALLS ARE TO FACE UNLESS OTHERWISE NOTED.

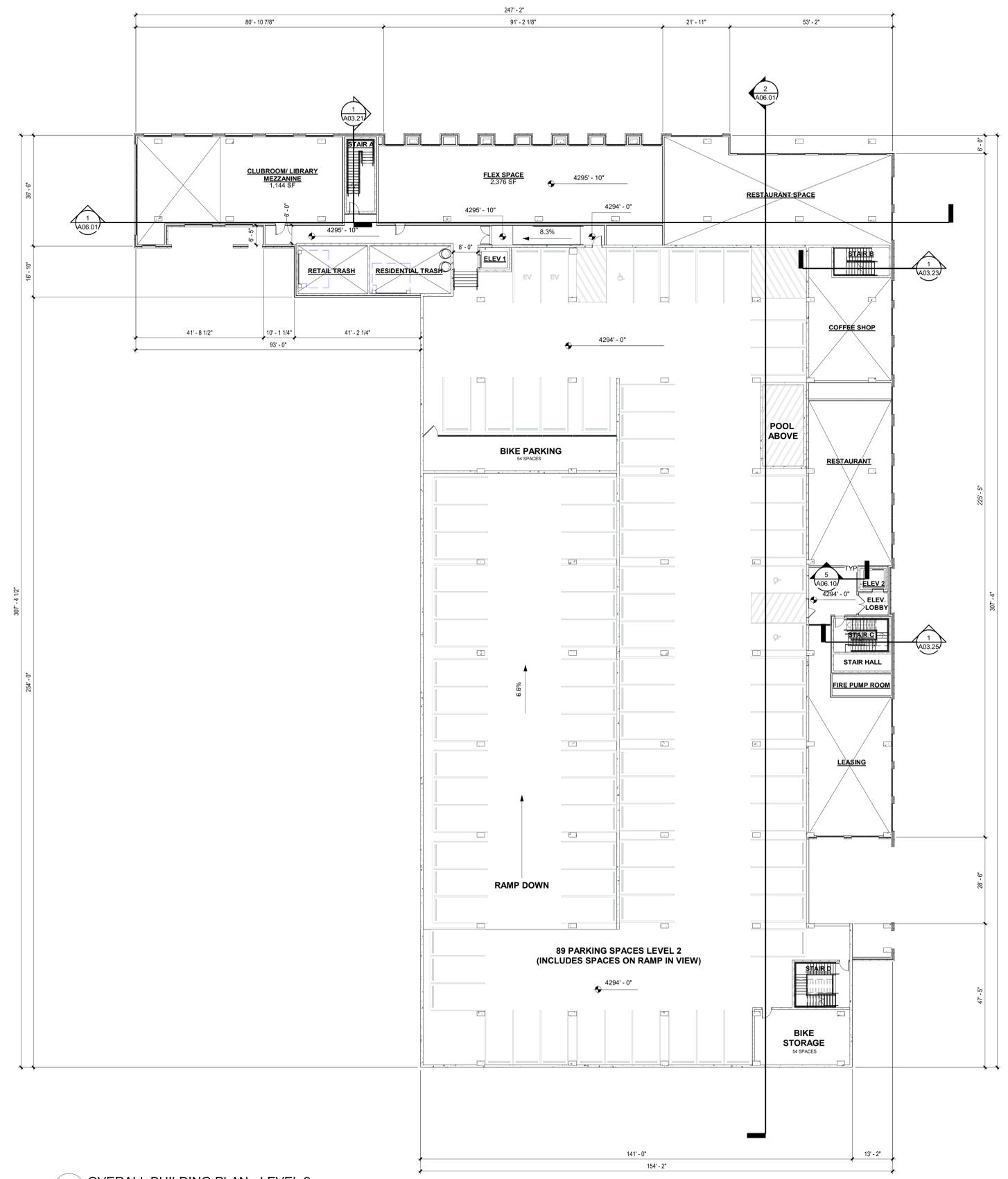
DATE: 01/14/2023
PROJECT: EDISON STREET AND 300 S
SHEET: A02.20

OVERALL PLAN
- LEVEL 2

JOB NUMBER: 2249901

DRAWN BY: AG
CHECKED BY: GK

A02.20



1 OVERALL BUILDING PLAN - LEVEL 2
1/16" = 1'-0"

EDISON STREET
S EDISON STREET AND 300 S
SALT LAKE CITY, UTAH 84111

A DEVELOPMENT PLAN

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REVISION	DATE	DESCRIPTION	REV
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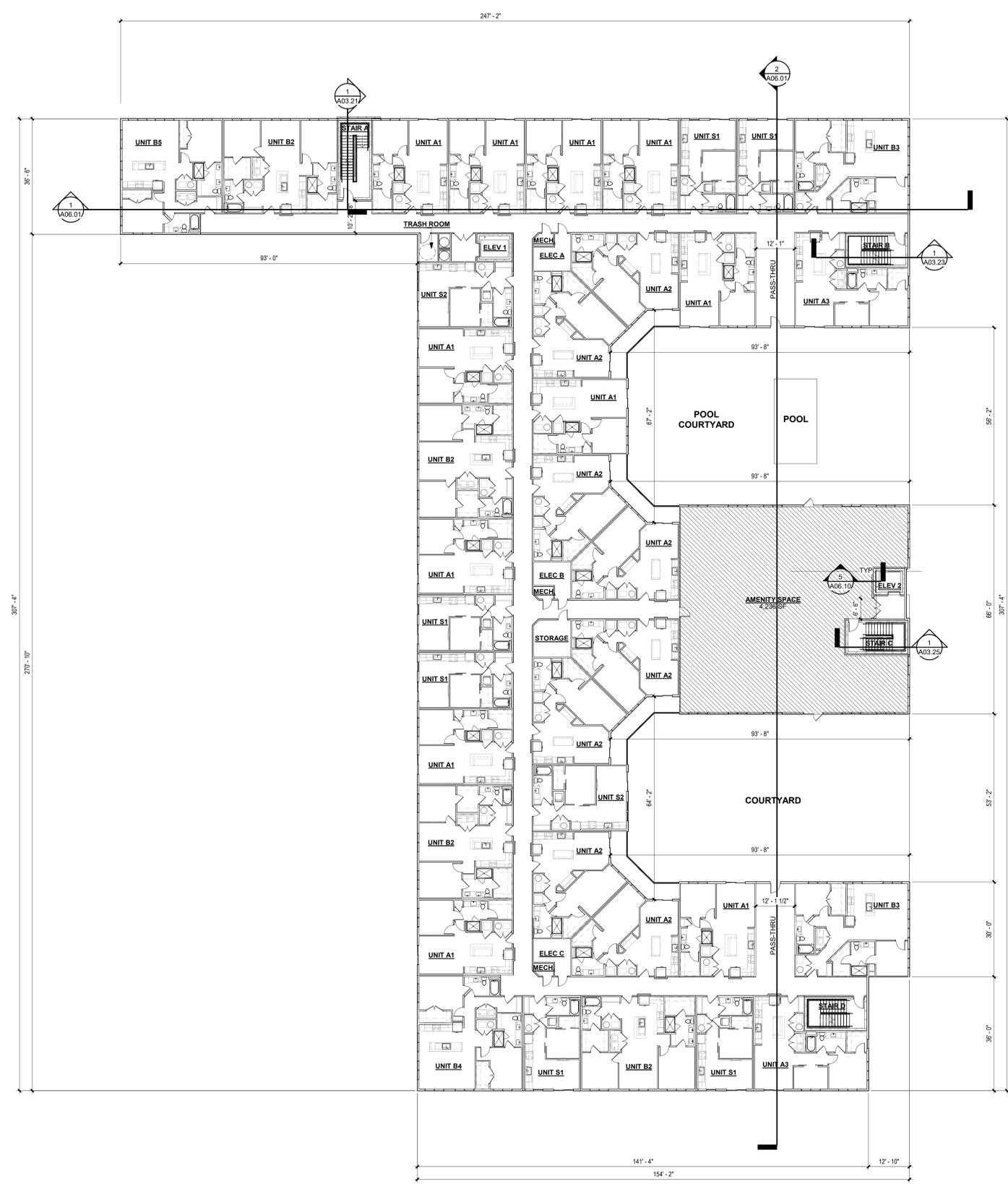
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**OVERALL PLAN
- LEVEL 3**

JOB NUMBER: 2249901

DRAWN BY: AG
CHECKED BY: GK

A02.30



1 OVERALL BUILDING PLAN - LEVEL 3
1/16" = 1'-0"

EDISON STREET

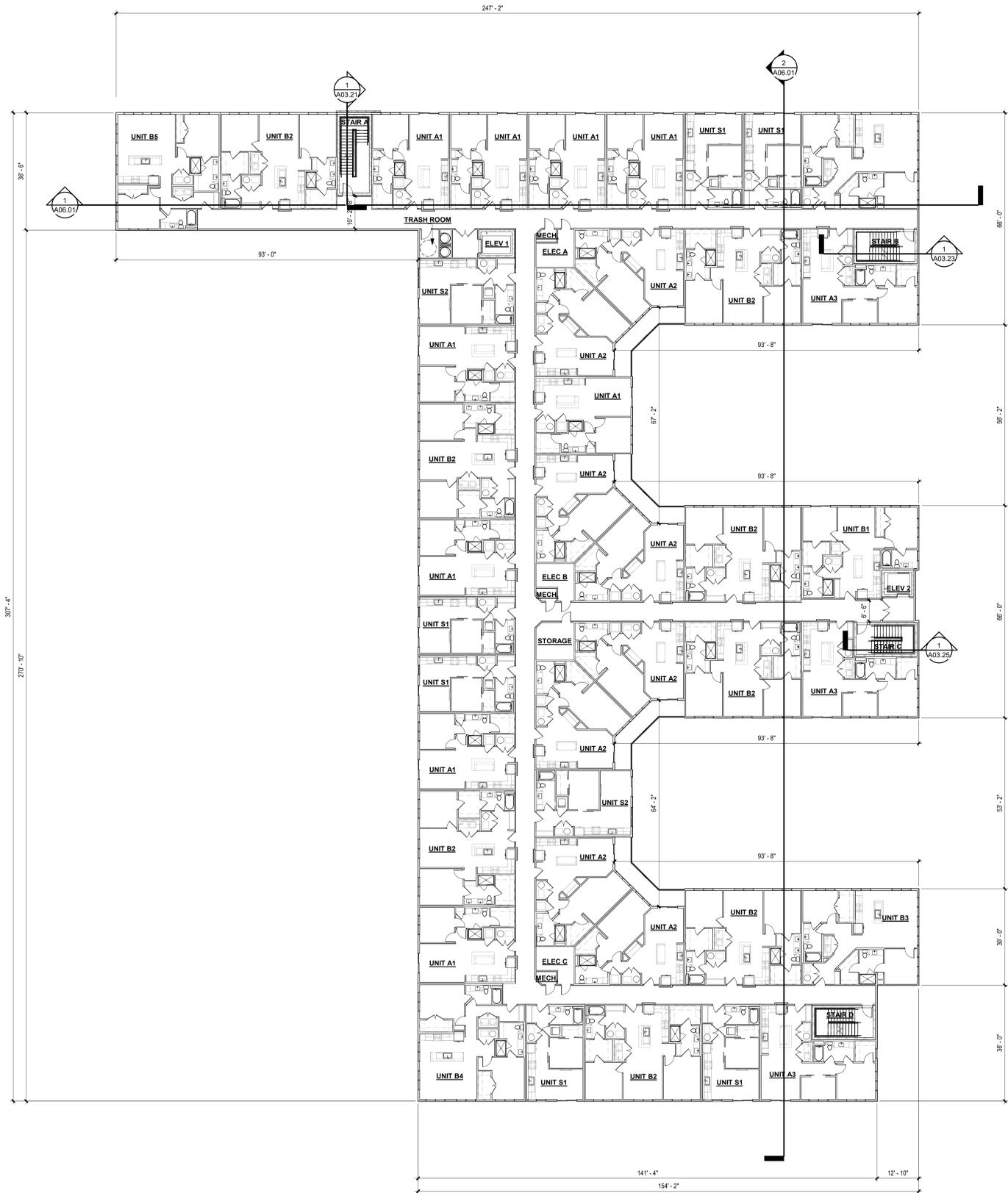
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SALT LAKE CITY, UTAH 84111

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REVISION	DATE	DESCRIPTION	BY
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DATE: 01/14/2023
DESCRIPTION: SCHEMATIC DESIGN
NO.: X



1 OVERALL BUILDING PLAN - LEVEL 4
1/16" = 1'-0"

EDISON STREET

S EDISON STREET AND 300 S
SALT LAKE CITY, UTAH 84111

A DEVELOPMENT PLAN

ISSUE	DATE	DESCRIPTION	NO.
01/14/2023	SCHEMATIC DESIGN		X

REVISION	DATE	DESCRIPTION	BY
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NO.	DATE	DESCRIPTION
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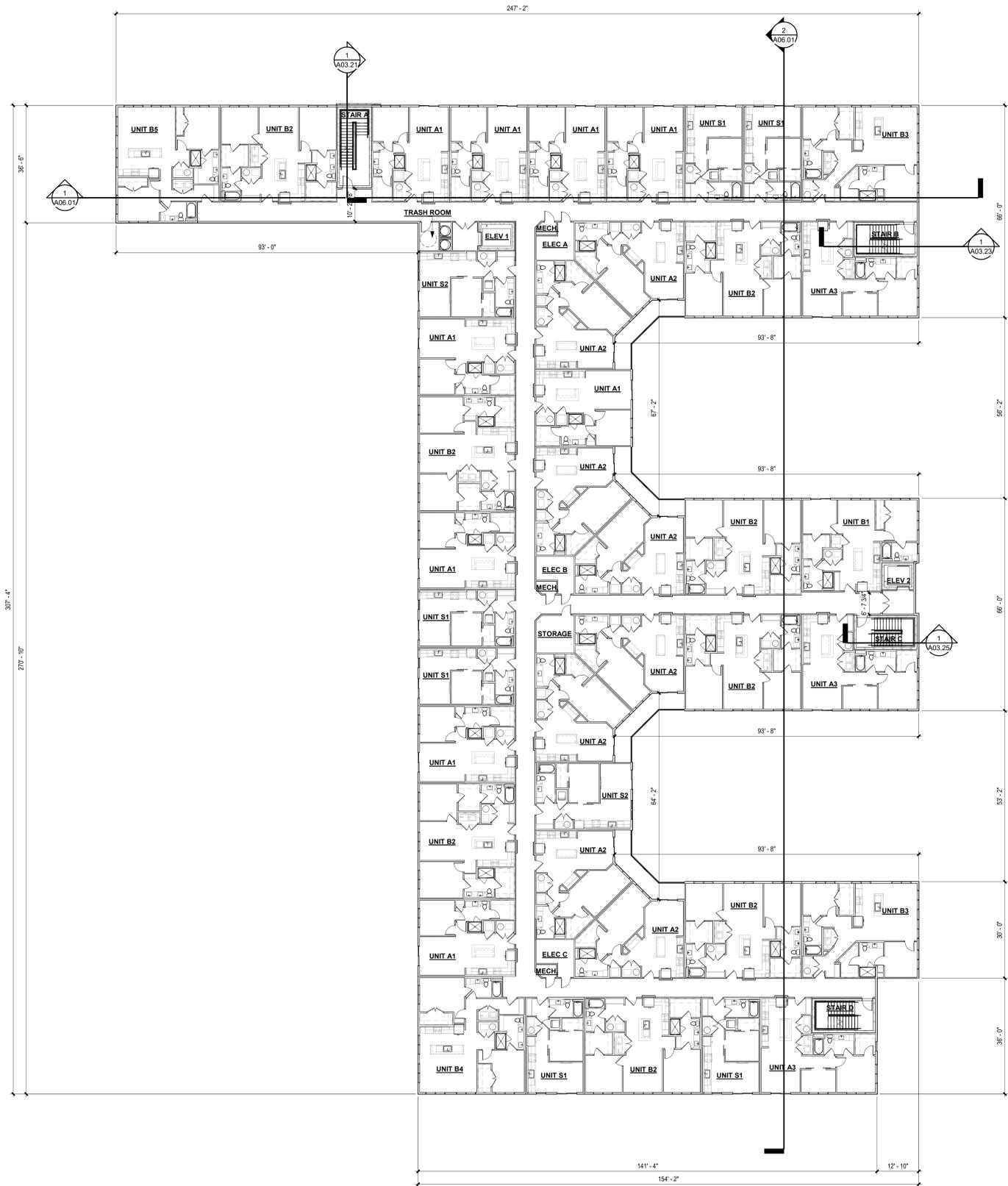
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**OVERALL PLAN
- LEVEL 5**

JOB NUMBER: 2249901

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A02.50



1 OVERALL BUILDING PLAN - LEVEL 5
1/16" = 1'-0"

EDISON STREET
S EDISON STREET AND 300 S
SALT LAKE CITY, UTAH 84111

A DEVELOPMENT PLAN

ISSUE	DATE	DESCRIPTION	NO.
01/14/2023	SCHEMATIC DESIGN		X

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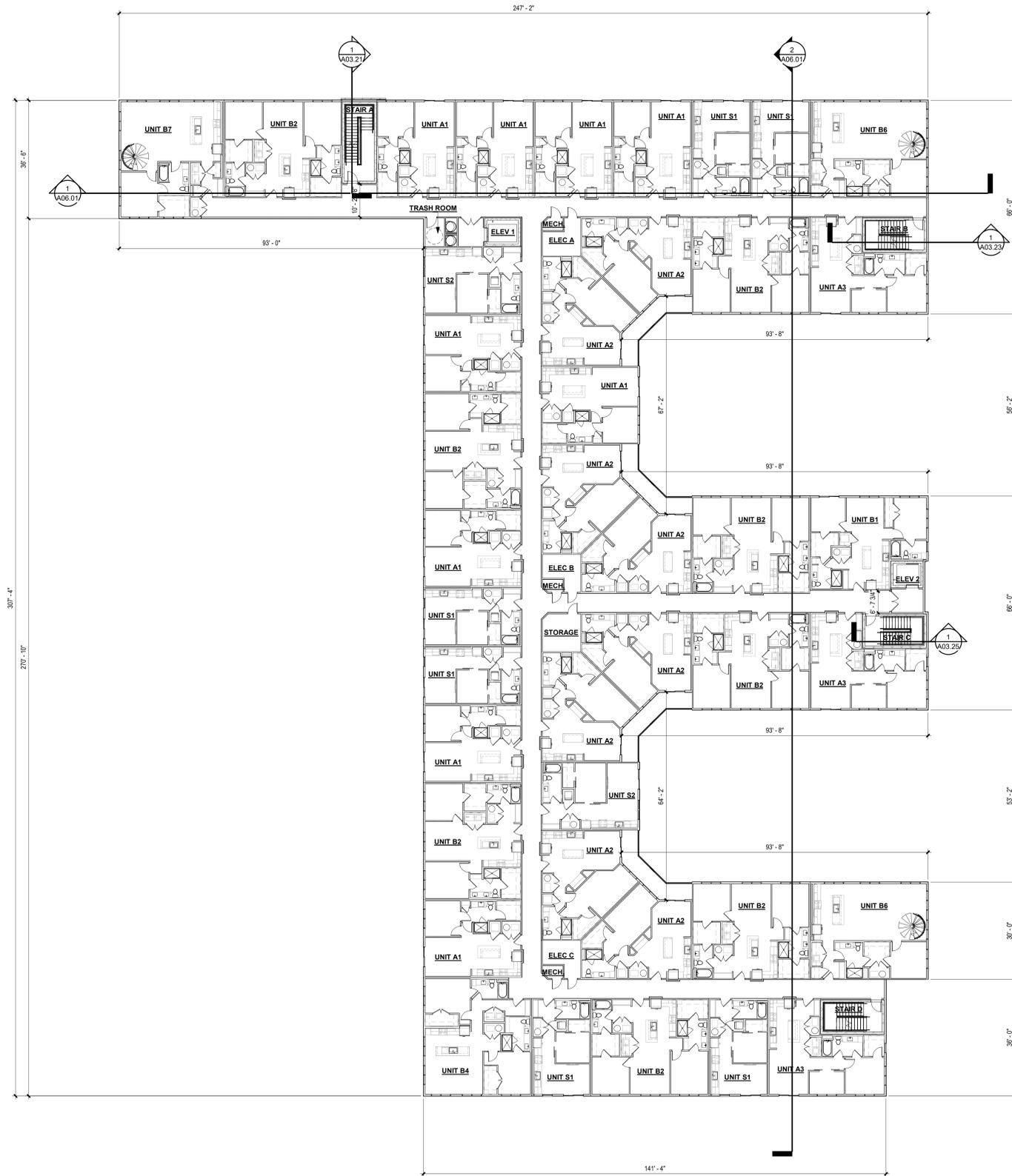
DATE

**OVERALL PLAN
- LEVEL 6**

JOB NUMBER: 2249901

DRAWN BY: AG
CHECKED BY: GK

A02.60



1 OVERALL BUILDING PLAN - LEVEL 6
1/16" = 1'-0"

EDISON STREET

S EDISON STREET AND 300 S
SALT LAKE CITY, UTAH 84111

ISSUE	DATE	DESCRIPTION	APPROVED
01/14/2023		SCHEMATIC DESIGN	X

REVISION	DATE	DESCRIPTION	REV
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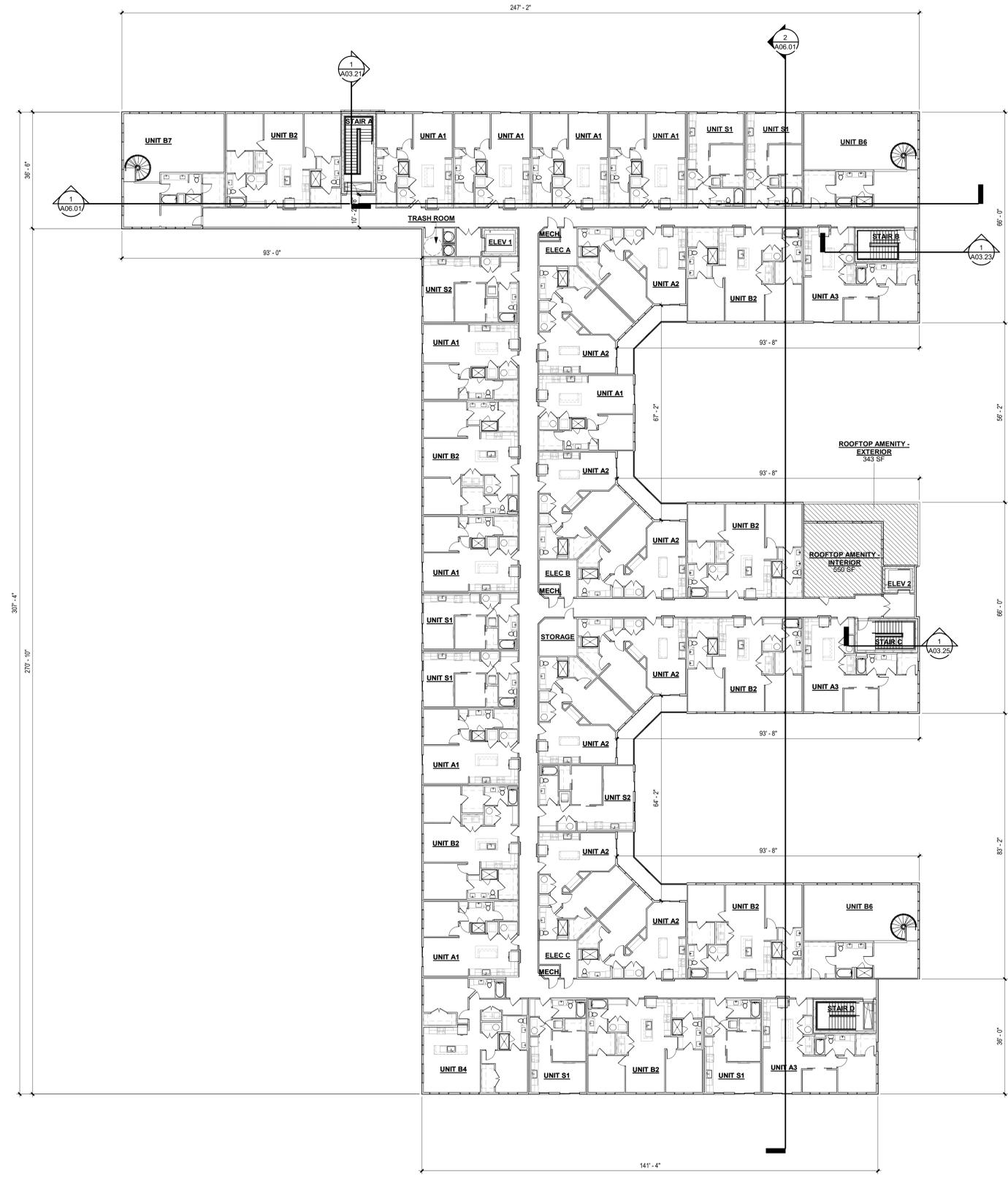
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**OVERALL PLAN
- LEVEL 7**

JOB NUMBER: 2249901

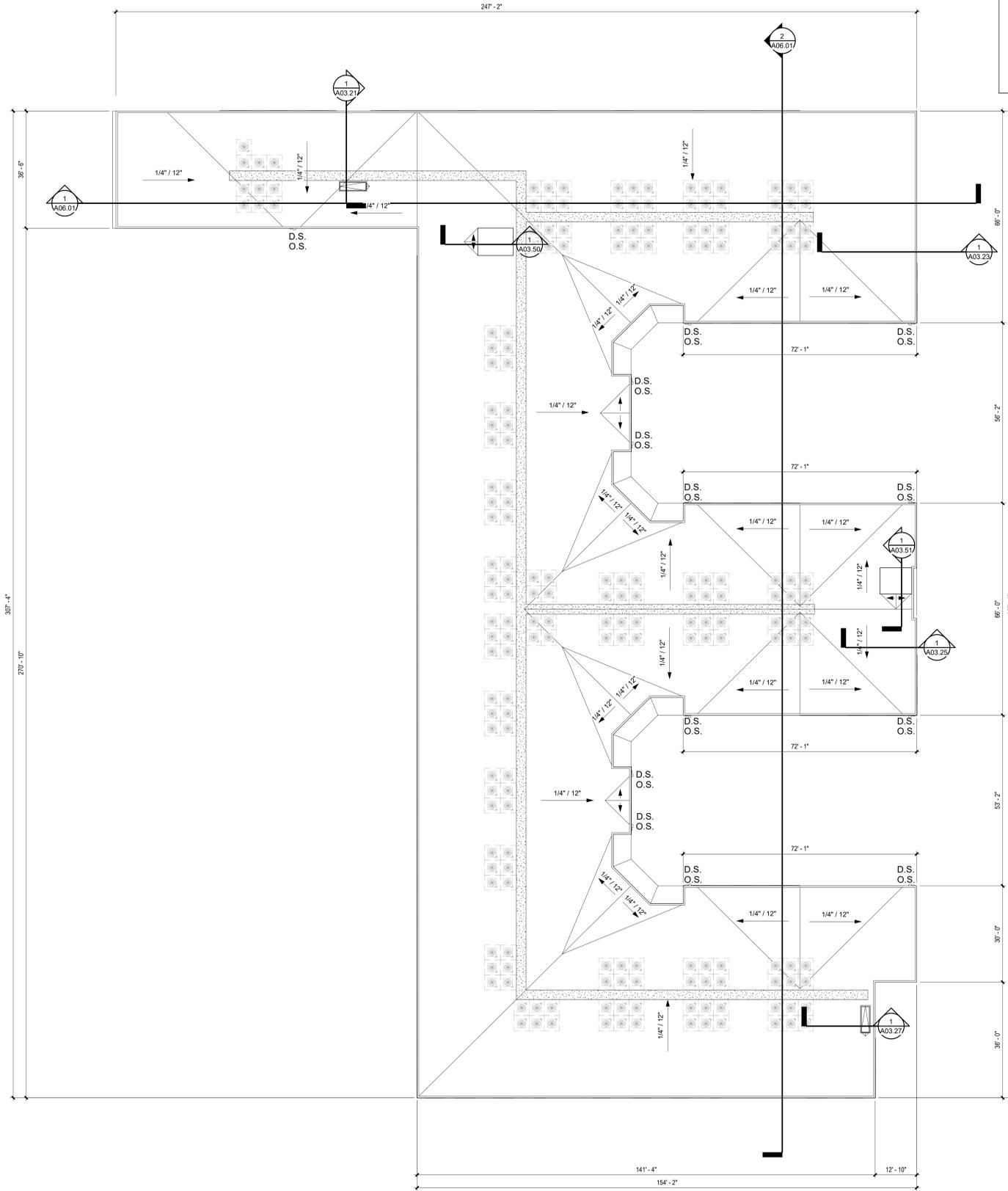
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CHECKED BY: GK

A02.70



1 OVERALL BUILDING PLAN - LEVEL 7
1/16" = 1'-0"

ROOF LEGEND	
	ROOF SLOPE ARROW
	CONDENSING UNIT
	SERVICE WALK PATHS
	FIRE RATED SHEATHING OVER FIRE SEPARATION WALL NO PENETRATIONS
	PARAPET KICKER LOCATIONS
	D.S. O.S. DOWNSPOUT AND OVERFLOW THRU-WALL SCUPPER
	ELEVATOR/TRASH EXHAUST VENT
	LINESET HOOD



1 OVERALL BUILDING PLAN - TRUSS BEARING
1/16" = 1'-0"

DATE	DESCRIPTION	REVISED
07/14/2023	SCHEMATIC DESIGN	X

DATE	DESCRIPTION	REV
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DATE	DESCRIPTION	REV
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DATE	DESCRIPTION	REV
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DRAWN BY: AG

CHECKED BY: GK

OVERALL PLAN
- ROOF

JOB NUMBER: 2249901

DRAWN BY: AG
CHECKED BY: GK

A02.80



1 - 3D EXTERIOR VIEW

EDISON STREET

S EDISON STREET AND 300 S
SALT LAKE CITY, UTAH 84111

A DEVELOPMENT FOR

ISSUE	DATE	DESCRIPTION	INCL
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PROJECT NAME:
3D EXTERIOR VIEWS

JOB NUMBER: 2249901
DRAWN BY: Author
CHECKED BY: Checker

A05.01

EXTERIOR MATERIAL LEGEND

M-01	BRICK COLOR:CHIPPEWA	M-03	BRICK COLOR:BLACK ICE	CPL-02	CEMENTITIOUS PANEL COLOR:SPECIAL GREY	CTB	CEMENTITIOUS TRIM BOARD COLOR:SUMMER WHEAT	SF	STOREFRONT COLOR:DARK BRONZE	MM	MISCELLANEOUS METAL COLOR:DARK BRONZE		
M-02	BRICK COLOR:COUNTRY MANOR	CPL-01	CEMENTITIOUS PANEL COLOR:DARK GREY	CPL-03	CEMENTITIOUS PANEL COLOR:PERLE NOIR	CB01	CEMENTITIOUS BOARD AND BATTEN COLOR:WHITE	RA-01	ALUMINIUM RAILING COLOR:DARK BRONZE				

RETURN ALL MATERIALS
AND COLORS TO INSIDE
CORNERS.



1280 HIGHTOWER TRAIL
ATLANTA, GA 30350
PHONE: 770.864.1035
dwelldesignstudio.com



2 - NORTH ELEVATION

1/16" = 1'-0"



4 - SOUTH ELEVATION

1/16" = 1'-0"

SEE OVERALL SECTIONS FOR FLOOR TO FLOOR HEIGHTS AND LEVELS

EDISON STREET
S EDISON STREET AND 300 S
SALT LAKE CITY, UTAH 84111

A DEVELOPMENT PLAN

ISSUE	DATE	DESCRIPTION	NO.
01/14/2023		SCHEMATIC DESIGN	X

REVISION	DATE	DESCRIPTION	REV

SCALE

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OVERALL ELEVATIONS

JOB NUMBER: 2249901

DRAWN BY: EL
CHECKED BY: GK

A05.02

EXTERIOR MATERIAL LEGEND

M-01	BRICK COLOR:CHIPPEWA	M-03	BRICK COLOR:BLACK ICE	CPL-02	CEMENTITIOUS PANEL COLOR:SPECIAL GREY	CTB	CEMENTITIOUS TRIM BOARD COLOR:SUMMER WHEAT	SF	STOREFRONT COLOR:DARK BRONZE	MM	MISCELLANEOUS METAL COLOR:DARK BRONZE	
M-02	BRICK COLOR:COUNTRY MANOR	CPL-01	CEMENTITIOUS PANEL COLOR:DARK GREY	CPL-03	CEMENTITIOUS PANEL COLOR:PERLE NOIR	CB01	CEMENTITIOUS BOARD AND BATTEN COLOR:WHITE	RA-01	ALUMINIUM RAILING COLOR:DARK BRONZE			

RETURN ALL MATERIALS AND COLORS TO INSIDE CORNERS.



1 - EAST ELEVATION
 1/16" = 1'-0"



3 - WEST ELEVATION
 1/16" = 1'-0"

SEE OVERALL SECTIONS FOR FLOOR TO FLOOR HEIGHTS AND LEVELS

EDISON STREET
 S EDISON STREET AND 300 S
 SALT LAKE CITY, UTAH 84111

ISSUE	DATE	DESCRIPTION	NO.
	07/14/2023	SCHEMATIC DESIGN	X

REVISION	DATE	DESCRIPTION	REV

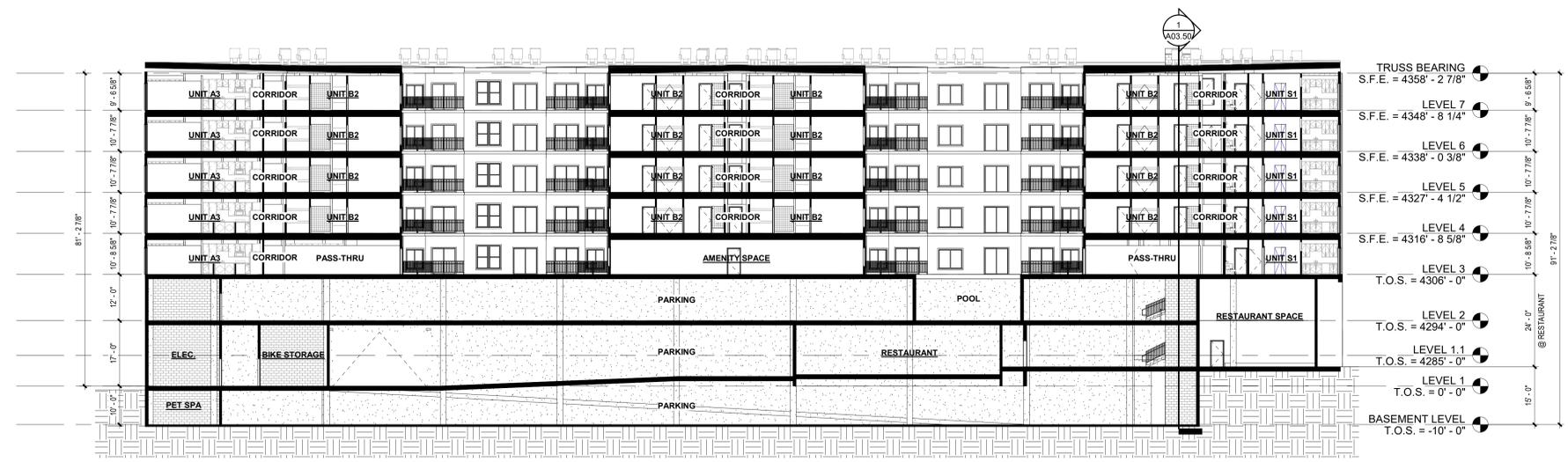
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OVERALL ELEVATIONS

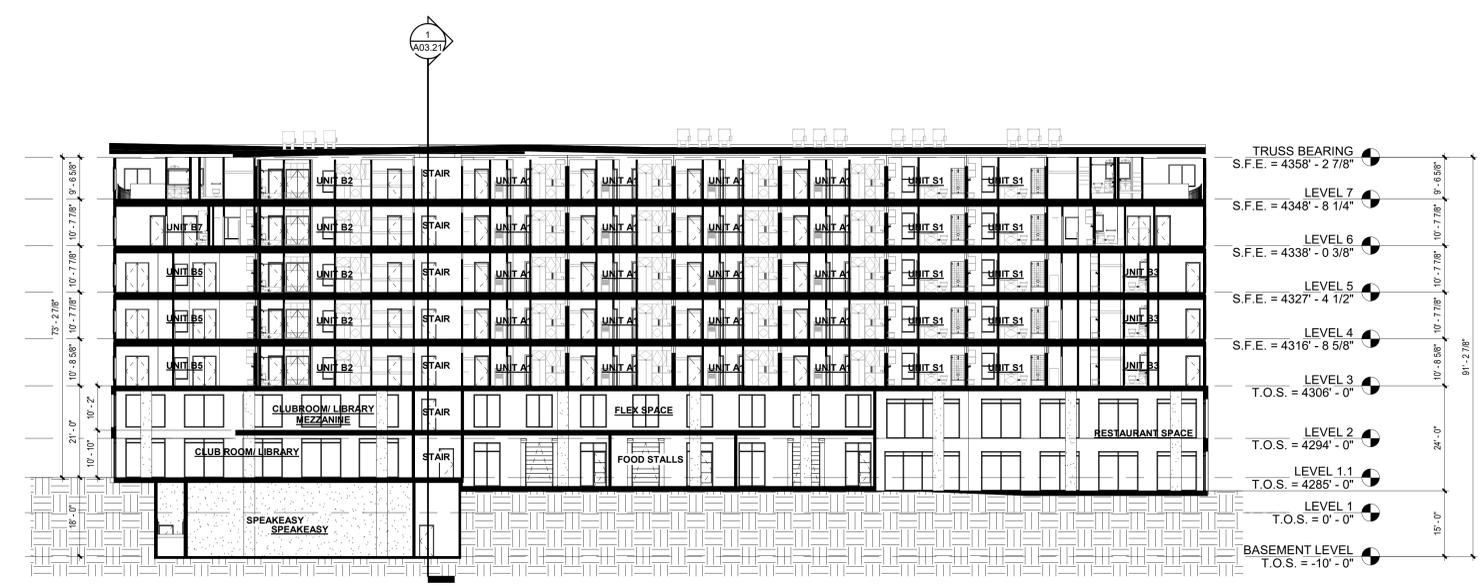
JOB NUMBER: 2249901

DRAWN BY: EL CHECKED BY: GK

A05.03



2 OVERALL BUILDING SECTION 2
1/16" = 1'-0"



1 OVERALL BUILDING SECTION 1
1/16" = 1'-0"

ISSUE	DATE	DESCRIPTION	APPROVED
01/14/2023		SCHEMATIC DESIGN	X

REVISION	DATE	DESCRIPTION	REV
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OVERALL BUILDING SECTIONS

JOB NUMBER: 2249901

DRAWN BY: EL
CHECKED BY: GK

A06.01

ISSUE	DESCRIPTION	NO.
DATE		
07/14/2023	SCHEMATIC DESIGN	X

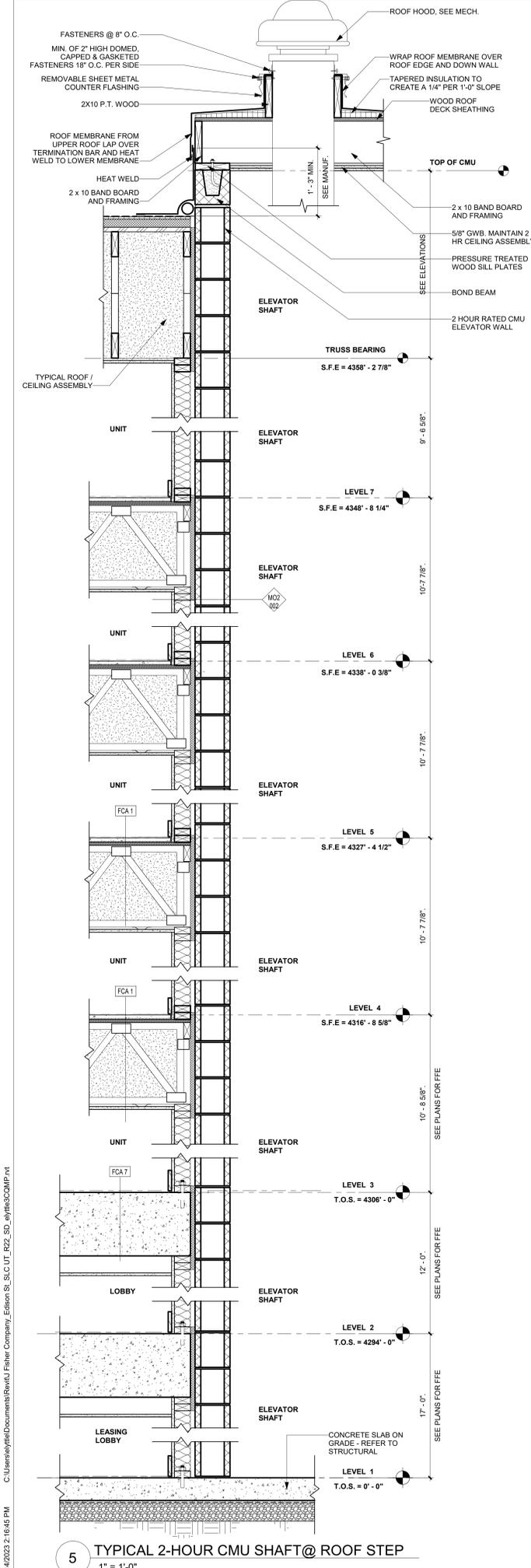
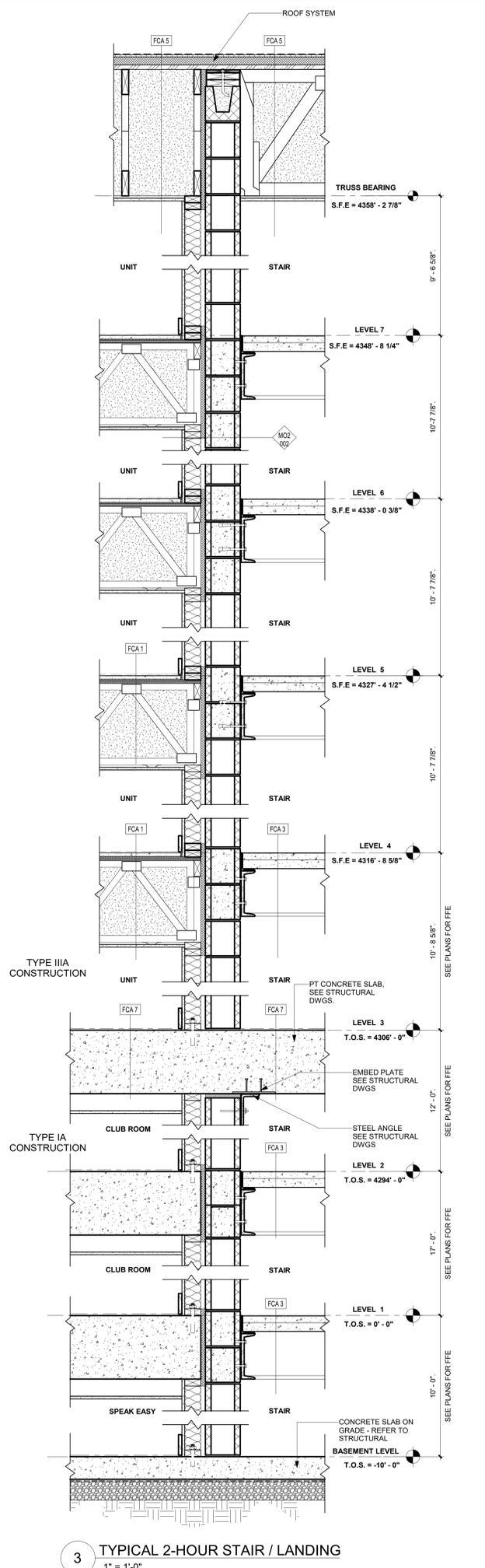
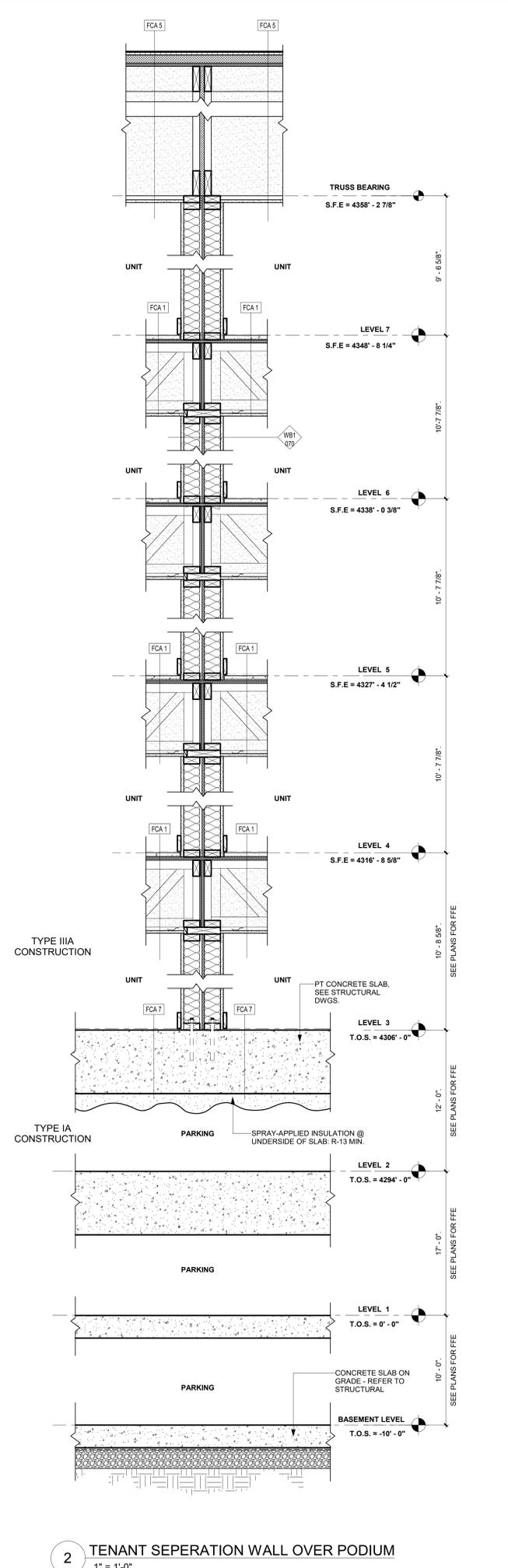
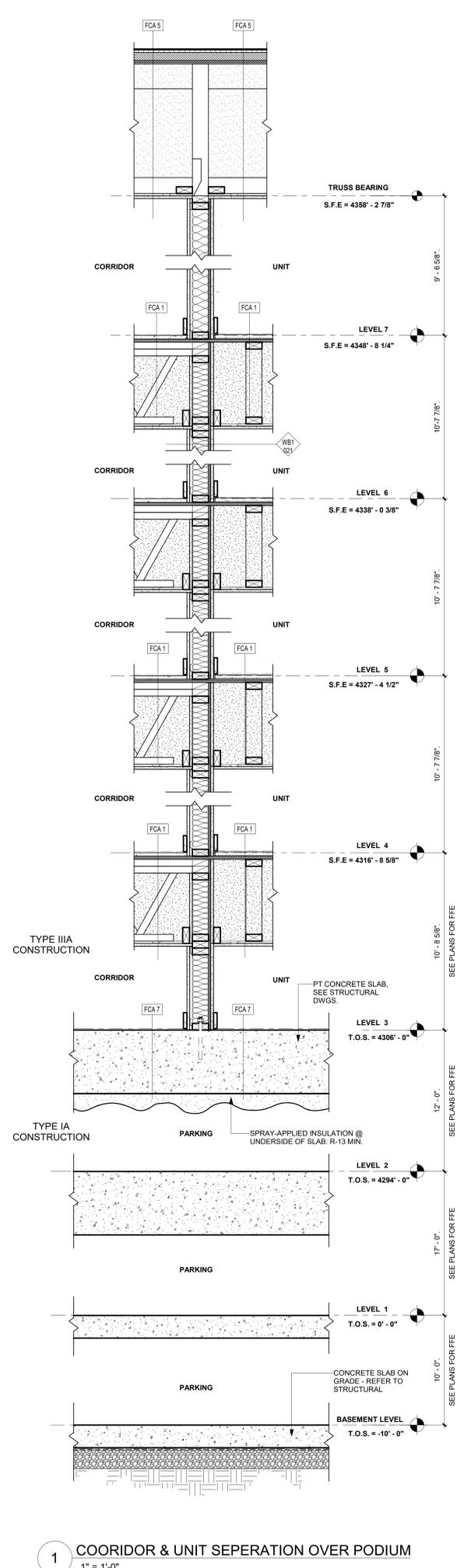
REVISION	DESCRIPTION	REV
DATE		

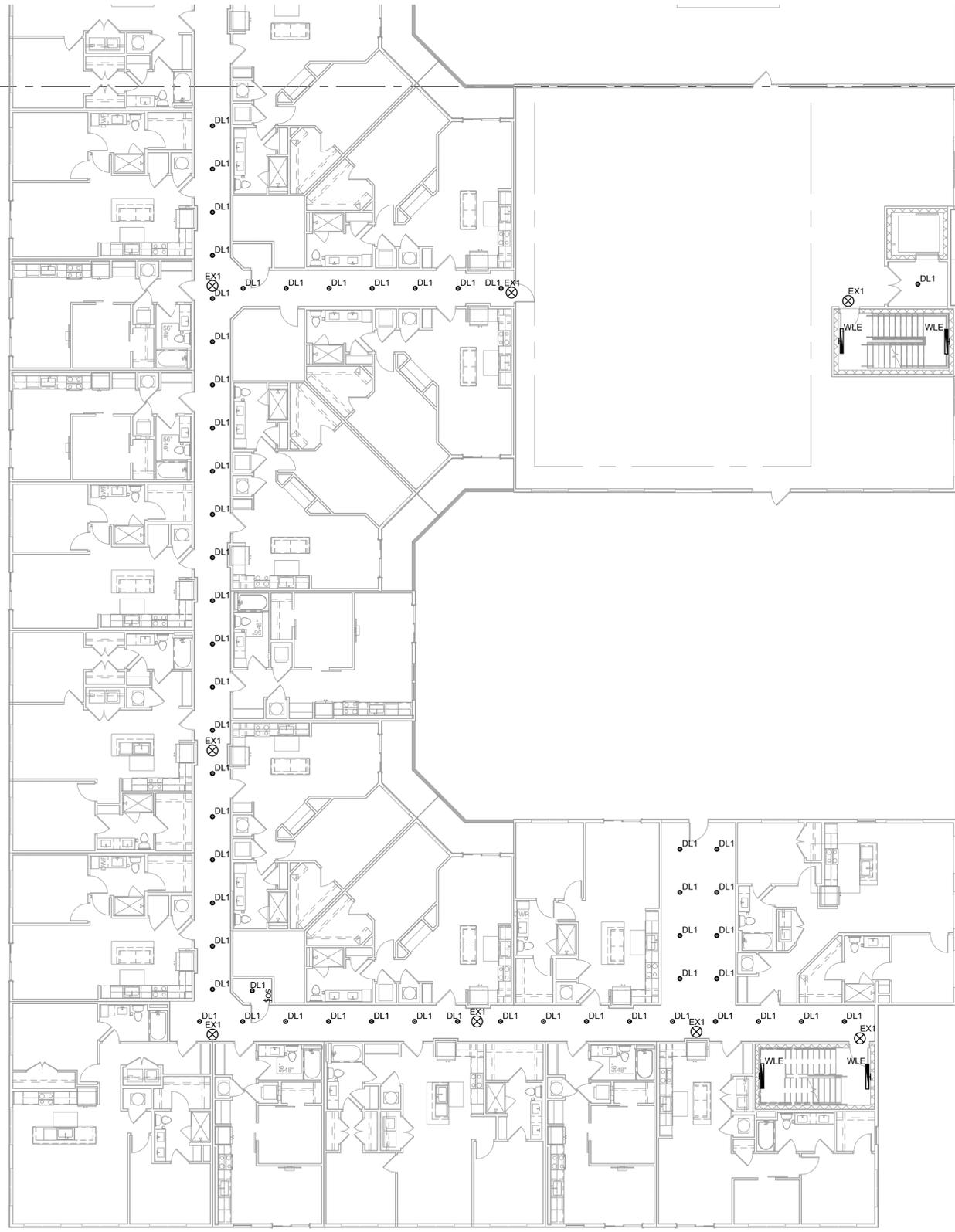
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TYPICAL WALL SECTIONS

JOB NUMBER: 2249901

DRAWN BY: EL CHECKED BY: GK





KEYED NOTES

- PROVIDE A WALL MOUNT DUAL TECH TWO POLE OCC. SENSOR FOR RESTROOM LIGHT AND FAN CONTROL. (SENSOR SWITCH #WSX PDT 2P OR EQUIVALENT).
- WALL MOUNT OCC. SENSOR SHALL BE DUAL TECH DIMMABLE (SENSOR SWITCH WSX PDT D) OR EQUIVALENT.
- PROVIDE A LOW VOLTAGE OVERRIDE SWITCH FOR LIGHTING CONTROL PANEL. 2 BUTTON (ON/OFF).

GENERAL NOTES

- CONNECT ALL EMERGENCY AND EXIT LIGHT FIXTURES TO THE UNSWITCHED SIDE OF THE LIGHTING BRANCH CIRCUIT. LIGHT FIXTURES WITH EMERGENCY DRIVERS SHALL BE NORMALLY SWITCHED WITH THE AREA LIGHTING, BUT HAVE THEIR EMERGENCY DRIVERS CONNECTED AHEAD OF THE LIGHT SWITCH OR LIGHTING CONTROL PANEL RELAY. FIXTURES WILL REMAIN ON FOR NOT LESS THAN 90 MINUTES IN CASE OF POWER LOSS.
- IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS THAT CONDUIT IS TO BE INSTALLED WITHIN WALLS AND ABOVE CEILINGS CONCEALED WHERE POSSIBLE.
- COORDINATE MOUNTING HEIGHTS OF ALL PENDANT AND WALL MOUNTED LIGHT FIXTURES WITH ARCHITECTURAL ELEVATIONS.
- VERIFY FIXTURE DIMMING CONTROLS AND PROVIDE NECESSARY WIRING AND DEVICES REQUIRED FOR DIMMING OPERATION.
- CONCEAL ALL FIXTURE DRIVERS IN ACCESSIBLE CEILING SPACE OUT OF DIRECT VIEW.

LTG CTRL SEQUENCE OF OPERATION

LIGHTING AND CONTROLS ARE DESIGNED TO MEET IECC 2018.

LIGHTING CONTROL PANEL WILL BE PROGRAMMED TO TURN LIGHTS ON AND OFF FOR HOURS OF OPERATION.

LOW VOLTAGE SWITCHES WILL ACT AS OVERRIDES TO TIME SCHEDULING.

PHOTOCELLS WILL AUTOMATICALLY DIM LIGHTS WHEN DAYLIGHTING IS AVAILABLE.

OCCUPANCY SENSORS WILL CONTROL LIGHTING IN RESTROOMS, UTILITY ROOMS, AND BREAK ROOMS.

OCCUPANCY SENSORS IN OPEN OFFICES WILL CONTROL AREAS NOT GREATER THAN 600 SQUARE FEET AND TURN OFF WITHIN 20 MINUTES AFTER OCCUPANTS HAVE LEFT THE SPACE (C405.2.1.3).

WALL MOUNTED DIMMABLE OCC. SENSORS WILL BE PROVIDED IN PRIVATE OFFICES AND CONFERENCE ROOMS. OCCUPANCY SENSORS SHALL BE MANUAL ON OR CONTROLLED TO AUTOMATICALLY TURN ON TO NOT MORE THAN 50 PERCENT (C405.2.1.1).

MAIN LEVEL LIGHTING EXEMPT FROM DAYLIGHTING REQUIREMENTS PER IECC 2018 C405.2.3 EXEMPTIONS - 3 (A2 AND GROUP 'M' OCCUPANCY).

CORRIDOR AND STAIRWELL LIGHTING ARE EXEMPT FROM LIGHTING CONTROLS PER IECC 2018 C405.2.

DAYLIGHT ZONES EXEMPT FROM AUTOMATIC CONTROL REQUIREMENTS PER IECC 2018 405.2.3 (1) (LESS THAN 150 W)

DAYLIGHT ZONES EXEMPT FROM AUTOMATIC CONTROL REQUIREMENTS PER IECC 2018 405.2.3 EXEMPTIONS - 1 (HEALTH CARE FACILITIES WHERE PATIENT CARE IS DIRECTLY PROVIDED).

LIGHTING IN AISLEWAY AND OPEN AREAS OF WAREHOUSE SPACES SHALL BE CONTROLLED WITH OCC SENSORS THAT AUTOMATICALLY REDUCE LIGHTING POWER BY NO LESS THAN 50% WHEN AREAS ARE UNOCCUPIED. OCC SENSORS SHALL CONTROL LIGHTING IN EACH AISLEWAY INDEPENDENTLY AND SHALL NOT CONTROL LIGHTING BEYOND THE AISLEWAY BEING CONTROLLED BY THE SENSOR (C405.2.1.2).

KITCHEN AUTOMATIC LIGHTING CONTROLS NOT REQUIRED PER (C405.2.2 - EXCEPTION 2 - SPACES WHERE AUTOMATIC SHUTOFF WOULD ENDANGER OCCUPANT SAFETY). MANUAL DIMMER SWITCHES PROVIDED.

EXTERIOR LIGHTING SHALL BE PROGRAMMED TO TURN ON AT 6 A.M. AND OFF AT MIDNIGHT. PHOTOCELL WILL AUTOMATICALLY TURN LIGHTS OFF WHEN DAYLIGHTING IS PRESENT AND SATISFIES THE LIGHTING NEEDS (C405.2.6.1 - C405.2.6.3).

BUILDING FACADE AND LANDSCAPE LIGHTING SHALL BE PROGRAMMED TO SHUT OFF NOT LATER THAN 1 HOUR AFTER BUSINESS CLOSING TO NOT EARLIER THAN 1 HOUR BEFORE BUSINESS OPENS (C405.2.6.2).

EDISON STREET APARTMENTS
ADDRESS
CITY, STATE

STAMP
NOT FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION

ROCKY MOUNTAIN CONSULTING ENGINEERS, INC.
2332 West 12600 South, Suite F | Riverton, UT 84065
(801) 566-0553 www.rmcbeu.com

PROJECT #:	23245
DRAWN BY:	MM / NF
CHECKED BY:	ENG
DATE:	01/01/2023

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SHEET TITLE:
LEVEL 3 SECTION A LIGHTING PLAN

E107

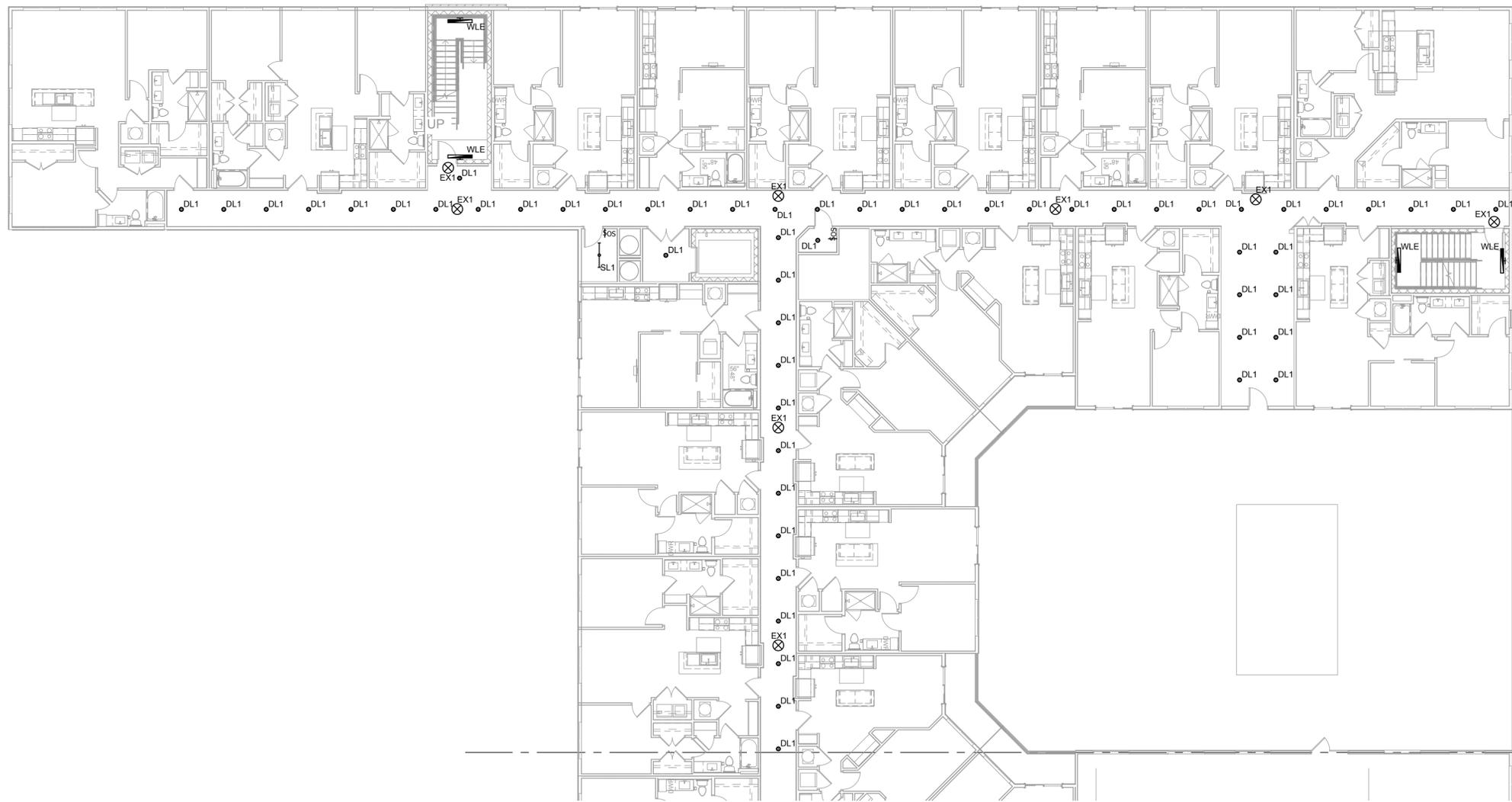
1 LEVEL 3 SECTION A LIGHTING PLAN
E107 SCALE: 3/32" = 1'-0"

D

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B

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KEYED NOTES

- PROVIDE A WALL MOUNT DUAL TECH TWO POLE OCC. SENSOR FOR RESTROOM LIGHT AND FAN CONTROL. (SENSOR SWITCH #WSX PDT 2P OR EQUIVALENT).
- WALL MOUNT OCC. SENSOR SHALL BE DUAL TECH DIMMABLE (SENSOR SWITCH WSX PDT D) OR EQUIVALENT.
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GENERAL NOTES

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LTG CTRL SEQUENCE OF OPERATION

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BUILDING FACADE AND LANDSCAPE LIGHTING SHALL BE PROGRAMMED TO SHUT OFF NOT LATER THAN 1 HOUR AFTER BUSINESS CLOSING TO NOT EARLIER THAN 1 HOUR BEFORE BUSINESS OPENS (C405.2.6.2).

EDISON STREET APARTMENTS

ADDRESS
CITY, STATE

STAMP

NOT FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION

ROCKY MOUNTAIN CONSULTING ENGINEERS, INC.
2332 West 12600 South, Suite F | Riverton, UT 84065
(801) 366-0555 www.rmcbeu.com

PROJECT #:	23245
DRAWN BY:	MM / NF
CHECKED BY:	ENG
DATE:	01/01/2023

(C) ROCKY MOUNTAIN CONSULTING ENGINEERS, INC. - 2023

SHEET TITLE:

LEVEL 3 SECTION B LIGHTING PLAN

E108

1 LEVEL 3 SECTION B LIGHTING PLAN
E108 SCALE: 3/32" = 1'-0"

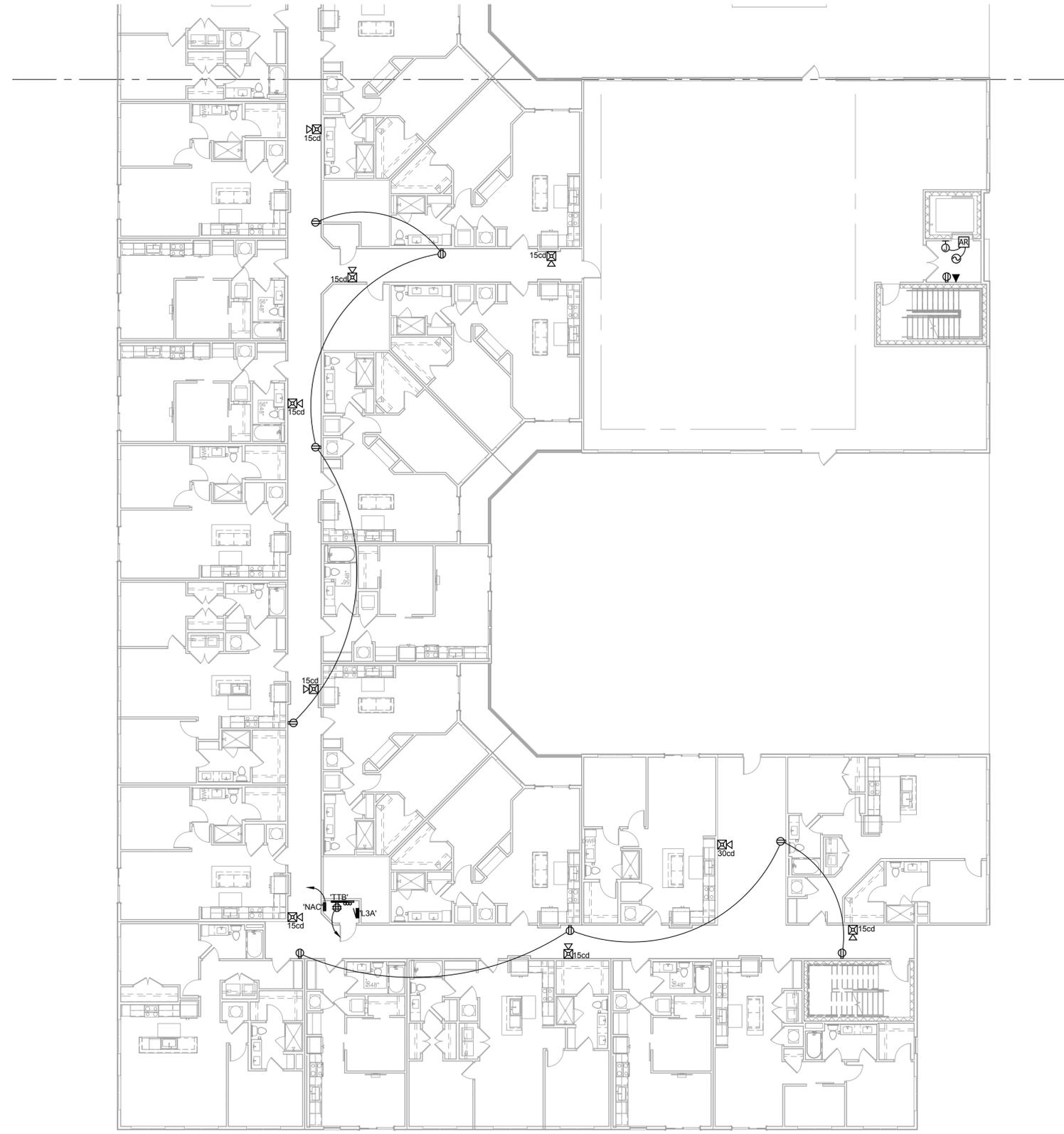
1 2 3 4 5

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KEYED NOTES	
1.	-

GENERAL NOTES	
A.	COORDINATE MOUNTING HEIGHTS OF ALL EQUIPMENT WITH ARCHITECTURAL DRAWINGS AND MILL WORK CONTRACTOR PRIOR TO ROUGH IN.
B.	VERIFY AND COORDINATE EXACT ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF EQUIPMENT.

EDISON STREET APARTMENTS
 ADDRESS
 CITY, STATE

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NO.	DESCRIPTION

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 (801) 366-0555 www.rmcenr.com

PROJECT #:	23245
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DATE:	01/01/2023

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SHEET TITLE:
LEVEL 3 SECTION A POWER PLAN

E207

1
 LEVEL 3 SECTION A POWER PLAN
 SCALE: 3/32" = 1'-0"

1 2 3 4 5

1 2 3 4 5

D

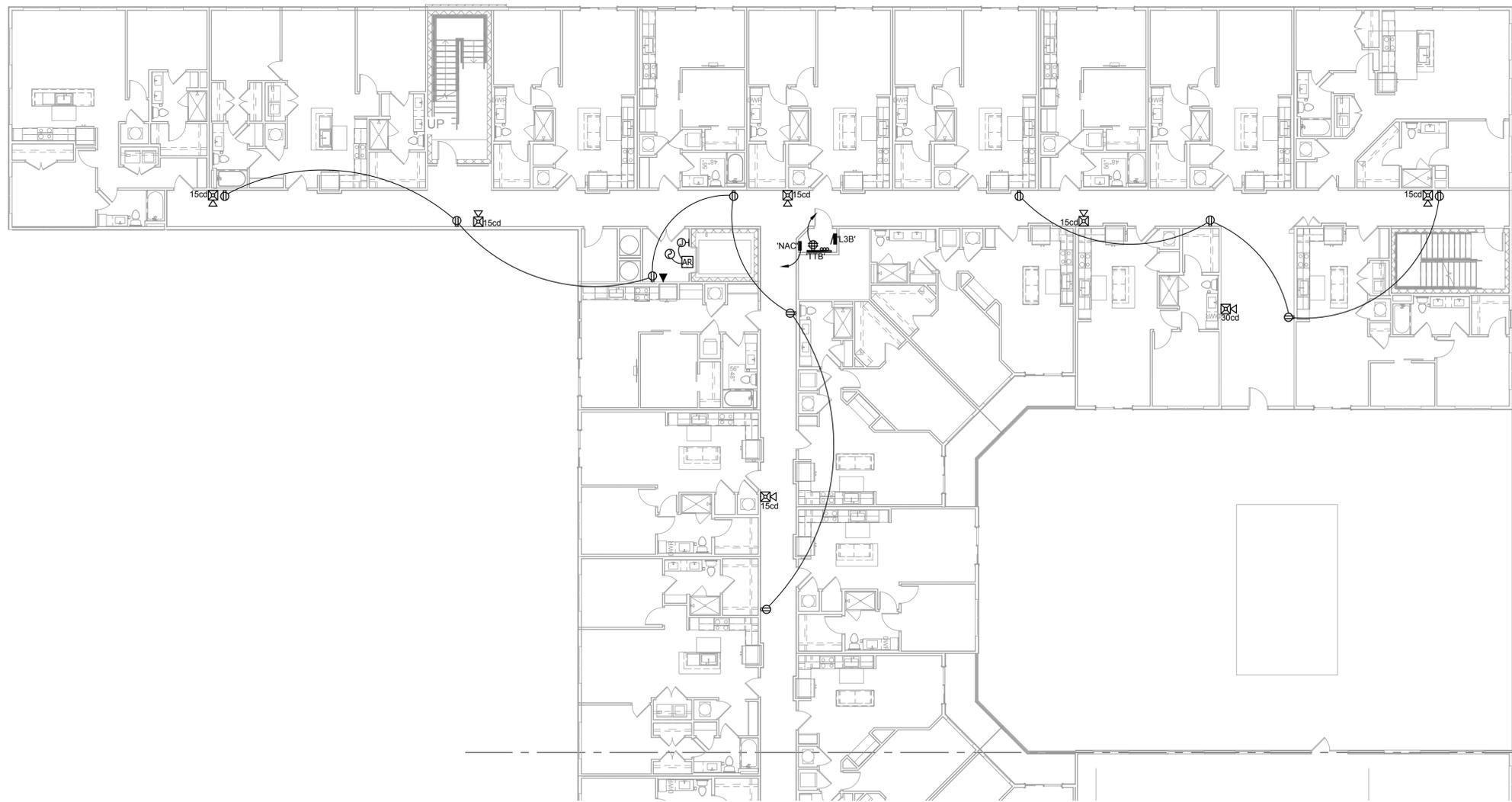
C

B

A

# KEYED NOTES	
1.	-
GENERAL NOTES	
A.	COORDINATE MOUNTING HEIGHTS OF ALL EQUIPMENT WITH ARCHITECTURAL DRAWINGS AND MILL WORK CONTRACTOR PRIOR TO ROUGH IN.
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 (801) 366-0555 www.rmcei.com

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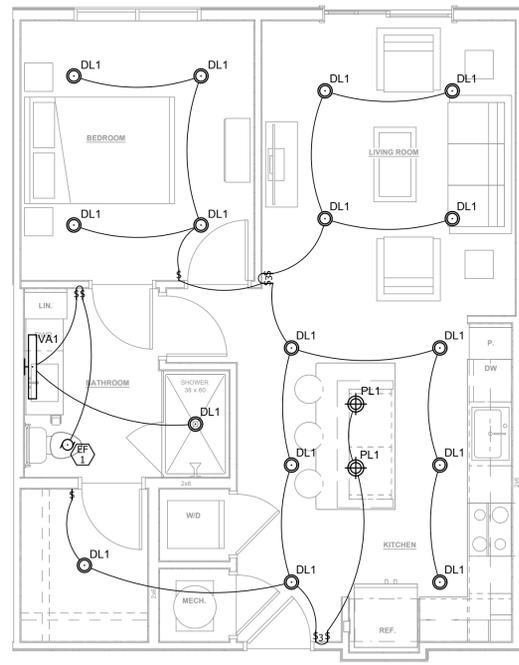
(C) ROCKY MOUNTAIN CONSULTING ENGINEERS, INC. - 2023

SHEET TITLE:
LEVEL 3 SECTION B POWER PLAN

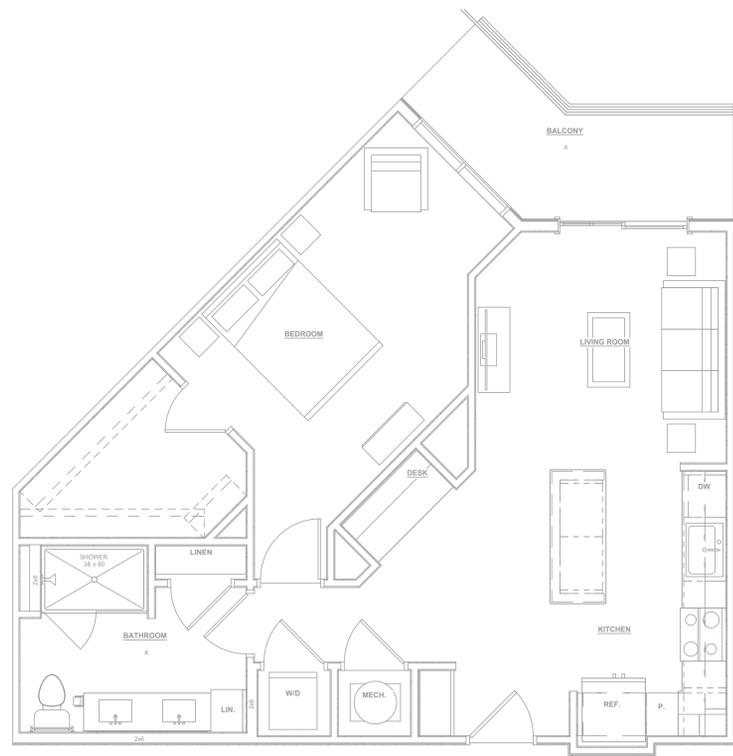
E208

LEVEL 3 SECTION B POWER PLAN
 SCALE: 3/32" = 1'-0"

1 2 3 4 5



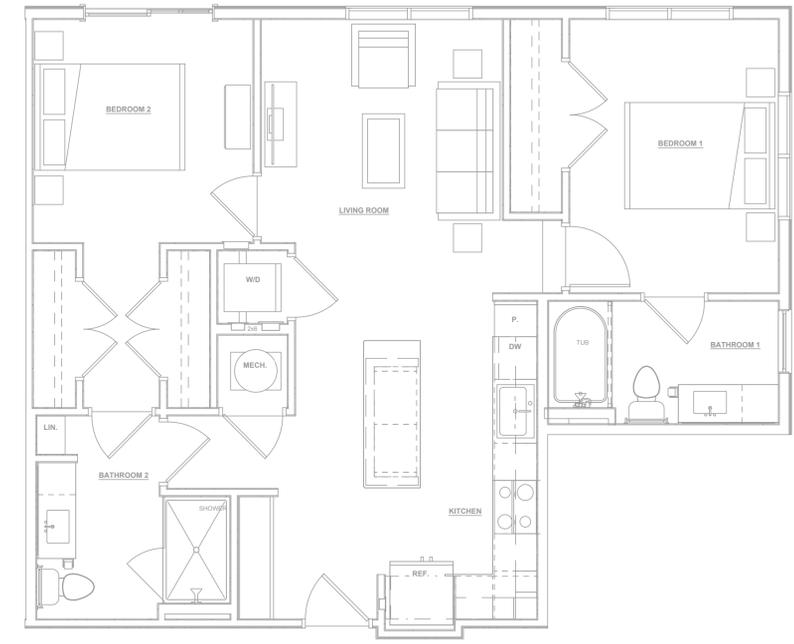
1 UNIT A1 LIGHTING PLAN
E301 SCALE: 1/4" = 1'-0"



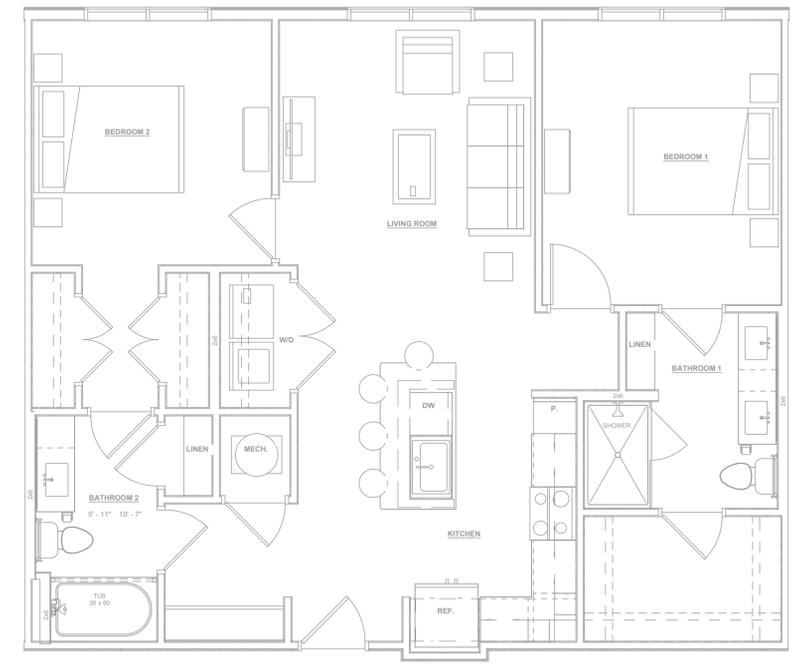
2 UNIT A2 LIGHTING PLAN
E301 SCALE: 1/4" = 1'-0"



3 UNIT A3 LIGHTING PLAN
E301 SCALE: 1/4" = 1'-0"



4 UNIT B1 LIGHTING PLAN
E301 SCALE: 1/4" = 1'-0"



5 UNIT B2 LIGHTING PLAN
E301 SCALE: 1/4" = 1'-0"

EDISON STREET APARTMENTS

ADDRESS
CITY, STATE

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CONSULTING ENGINEERS, INC.
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(801) 566-0555 www.rmcenr.com

PROJECT #:	23245
DRAWN BY:	MM / NF
CHECKED BY:	ENG
DATE:	01/01/2023

SHEET TITLE:

TYPICAL UNIT LIGHTING PLAN

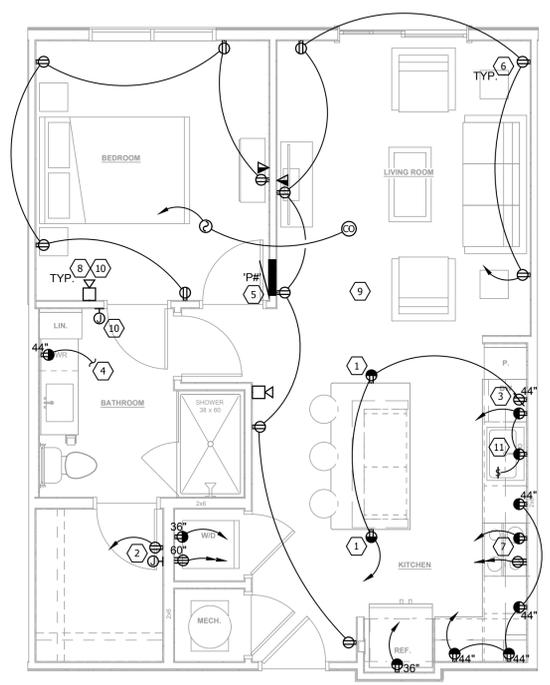
E301

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KEYED NOTES	
1.	MOUNT RECEPTACLE HORIZONTALLY IN CABINET WALL JUST BELOW COUNTER TOP. COORDINATE INSTALLATION WITH MILLWORK INSTALLER.
2.	PROVIDE A STANDARD PLASTIC 14"X20" COMM BOX MOUNTED AT 60" AFF WITH COVER AND A DUPLEX RECEPTACLE LOCATED INSIDE. ALL TELECOM CABLING WITHIN APARTMENT UNIT SHALL BE ROUTED TO THIS BOX. PROVIDE A 1" ENT FROM THIS BOX TO THE BUILDING TELECOMMUNICATION BOARD. SEE TELECOM RISER FOR MORE INFORMATION.
3.	USB RECEPTACLE TO BE SLAVED FROM GFCI RECEPTACLE IN SAME CIRCUIT.
4.	CIRCUIT BATHROOM RECEPTACLE WITH LIGHTS AND FAN. IN TYPE A AND B ADA UNITS, INSTALL THE UNIT PANEL SO THAT TOP OF THE UPPERMOST BREAKER IS 48" AFF. PROVIDE ARC FAULT BREAKERS AS REQUIRED PER NEC ARTICLE 210.12.
5.	MOUNT RECEPTACLES IN TYPE A AND B UNITS AT 24" AFF UNO.
6.	COORDINATE LOCATION AND MOUNTING HEIGHT OF MICROWAVE / HOOD RECEPTACLE WITH MILLWORK INSTALLER.
7.	HORN / STROBE TO BE CONNECTED TO BUILDING FIRE ALARM SYSTEM. HORN STROBES TO BE MOUNTED AT 84" AFF.
8.	SEE PANEL SCHEDULE FOR A/C UNIT CIRCUITING.
9.	PROVIDE FUTURE CONNECTIONS TO THE BUILDING STROBE LOOP FOR FUTURE AUDIO / VISUAL NOTIFICATION DEVICE. PROVIDE ROUGH IN ONLY FOR FUTURE STROBE DEVICES IN BEDROOM AND RESTROOMS OF TYPE B ADA UNITS.
10.	MOUNT SWITCH FOR DISPOSAL CONTROL IN THE CABINET JUST UNDER THE SINK. SWITCH SHALL BE MOUNTED WITHIN 6" OF THE CABINET OPENING WHERE EASILY ACCESSIBLE AND NOT EXPOSED TO PHYSICAL DAMAGE. COORDINATE DISHWASHER AND DISPOSAL RECEPTACLE MOUNTING HEIGHT WITH PLUMBING CONTRACTOR.
GENERAL NOTES	
A.	COORDINATE MOUNTING HEIGHTS OF ALL EQUIPMENT WITH ARCHITECTURAL DRAWINGS AND MILL WORK CONTRACTOR PRIOR TO ROUGH IN.
B.	VERIFY AND COORDINATE EXACT ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF EQUIPMENT.

1 UNIT A1 POWER PLAN
E304 SCALE: 1/4" = 1'-0"

2 UNIT A2 POWER PLAN
E304 SCALE: 1/4" = 1'-0"

EDISON STREET APARTMENTS
ADDRESS
CITY, STATE

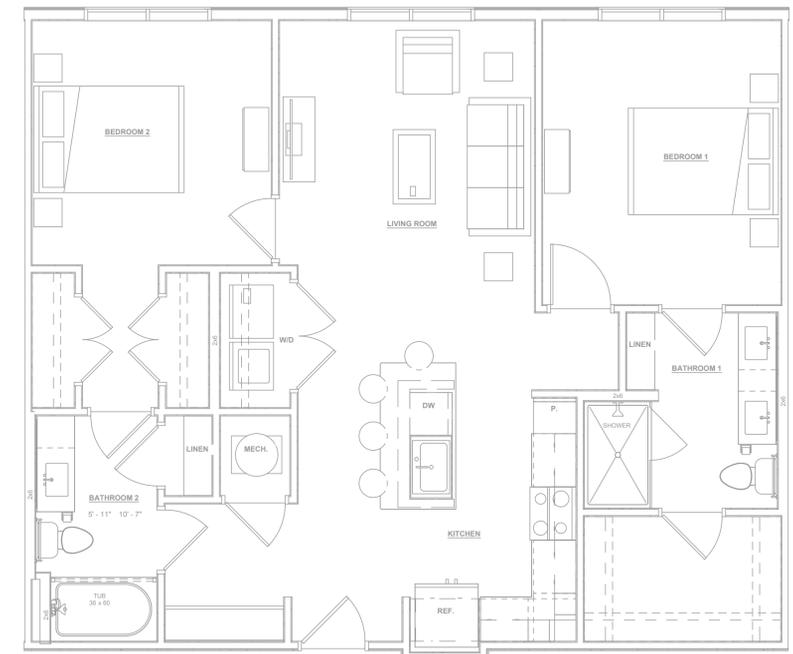
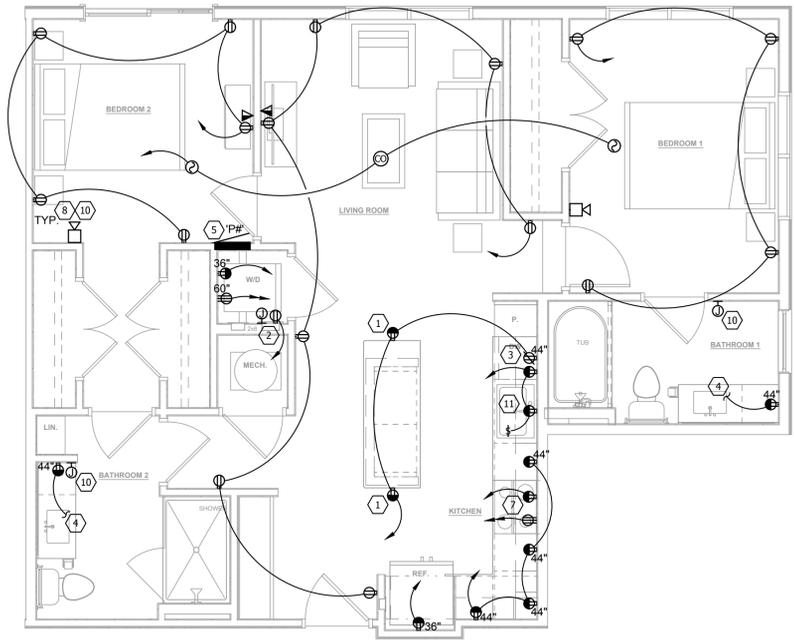
STAMP
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REVISIONS

ROCKY MOUNTAIN CONSULTING ENGINEERS, INC. 2332 West 12600 South, Suite F Riverton, UT 84065 (801) 366-0555 www.rmcbeu.com	
PROJECT #:	23245
DRAWN BY:	MM / NF
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DATE:	01/01/2023
(C) ROCKY MOUNTAIN CONSULTING ENGINEERS, INC. - 2023	

SHEET TITLE:
TYPICAL UNIT POWER PLAN

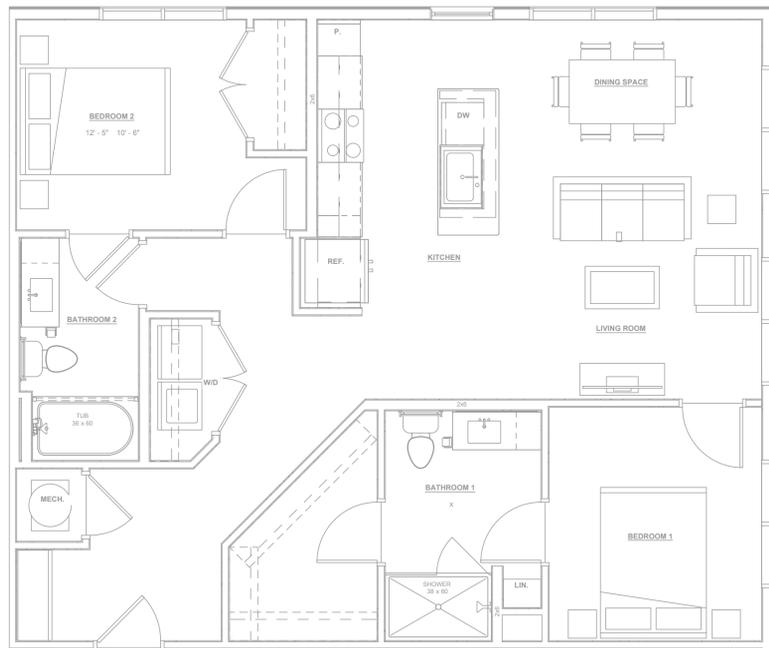
E304



3 UNIT A3 POWER PLAN
E304 SCALE: 1/4" = 1'-0"

4 UNIT B1 POWER PLAN
E304 SCALE: 1/4" = 1'-0"

5 UNIT B2 POWER PLAN
E304 SCALE: 1/4" = 1'-0"



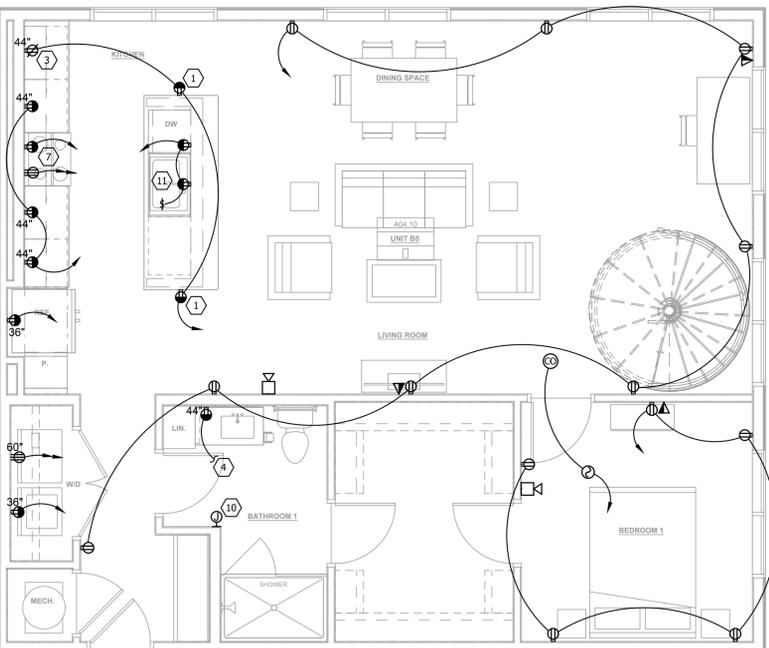
1 UNIT B3 POWER PLAN
E305 SCALE: 1/4" = 1'-0"



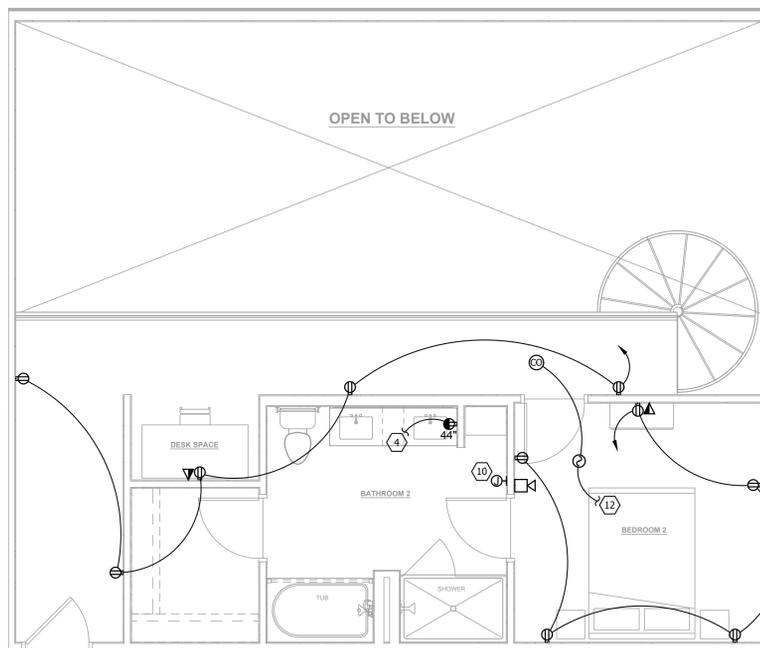
2 UNIT B4 POWER PLAN
E305 SCALE: 1/4" = 1'-0"

KEYED NOTES	
1.	MOUNT RECEPTACLE HORIZONTALLY IN CABINET WALL JUST BELOW COUNTER TOP. COORDINATE INSTALLATION WITH MILLWORK INSTALLER.
2.	PROVIDE A STANDARD PLASTIC 14"x20" COMM BOX MOUNTED AT 60" AFF WITH COVER AND A DUPLEX RECEPTACLE LOCATED INSIDE. ALL TELECOM CABLING WITHIN APARTMENT UNIT SHALL BE ROUTED TO THIS BOX. PROVIDE A 1" ENT FROM THIS BOX TO THE BUILDING TELECOMMUNICATION BOARD. SEE TELECOM RISER FOR MORE INFORMATION.
3.	USB RECEPTACLE TO BE SLAVED FROM GFCI RECEPTACLE IN SAME CIRCUIT.
4.	CIRCUIT BATHROOM RECEPTACLE WITH LIGHTS AND FAN.
5.	IN TYPE A AND B ADA UNITS, INSTALL THE UNIT PANEL SO THAT TOP OF THE UPPERMOST BREAKER IS 48" AFF. PROVIDE ARC FAULT BREAKERS AS REQUIRED PER NEC ARTICLE 210.12.
6.	MOUNT RECEPTACLES IN TYPE A AND B UNITS AT 24" AFF UNO.
7.	COORDINATE LOCATION AND MOUNTING HEIGHT OF MICROWAVE / HOOD RECEPTACLE WITH MILLWORK INSTALLER.
8.	HORN / STROBE TO BE CONNECTED TO BUILDING FIRE ALARM SYSTEM. HORN STROBES TO BE MOUNTED AT 84" AFF.
9.	SEE PANEL SCHEDULE FOR A/C UNIT CIRCUITING.
10.	PROVIDE FUTURE CONNECTIONS TO THE BUILDING STROBE LOOP FOR FUTURE AUDIO / VISUAL NOTIFICATION DEVICE. PROVIDE ROUGH IN ONLY FOR FUTURE STROBE DEVICES IN BEDROOM AND RESTROOMS OF TYPE B ADA UNITS.
11.	MOUNT SWITCH FOR DISPOSAL CONTROL IN THE CABINET JUST UNDER THE SINK. SWITCH SHALL BE MOUNTED WITHIN 6" OF THE CABINET OPENING WHERE EASILY ACCESSIBLE AND NOT EXPOSED TO PHYSICAL DAMAGE. COORDINATE DISHWASHER AND DISPOSAL RECEPTACLE MOUNTING HEIGHT WITH PLUMBING CONTRACTOR.
12.	CIRCUIT TO LOWER LEVEL FIRE ALARM SYSTEM.

GENERAL NOTES	
A.	COORDINATE MOUNTING HEIGHTS OF ALL EQUIPMENT WITH ARCHITECTURAL DRAWINGS AND MILL WORK CONTRACTOR PRIOR TO ROUGH IN.
B.	VERIFY AND COORDINATE EXACT ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF EQUIPMENT.



3 UNIT B5 LEVEL 1 POWER PLAN
E305 SCALE: 1/4" = 1'-0"



4 UNIT B5 LEVEL 2 POWER PLAN
E305 SCALE: 1/4" = 1'-0"

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REVISIONS

ROCKY MOUNTAIN CONSULTING ENGINEERS, INC. 2332 West 12600 South, Suite F Riverton, UT 84065 (801) 366-0353 www.rmcbeut.com	
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CHECKED BY:	ENG
DATE:	01/01/2023
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SHEET TITLE:
TYPICAL UNIT POWER PLAN

E305