

SALT LAKE CITY PUBLIC UTILITIES GENERAL NOTES

1. COMPLIANCE:
ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, AND SLC PUBLIC UTILITIES MODIFICATIONS TO APWA STANDARD PLANS AND APPROVED MATERIALS AND SLC PUBLIC UTILITIES APWA SPECIFICATIONS MODIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED IN WRITING BY THE SALT LAKE CITY DIRECTOR OF PUBLIC UTILITIES.

2. COORDINATION:
THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL APPROPRIATE GOVERNMENT AND PRIVATE ENTITIES ASSOCIATED WITH THE PROJECT. THE FOLLOWING MUST BE CONTACTED 48-HOURS PRIOR TO CONSTRUCTION AS APPLICABLE TO THE PROJECT:

PUBLIC UTILITIES:
BACKFLOW PREVENTION - 483-6795
DEVELOPMENT REVIEW ENGINEERING - 483-6781
INSPECTIONS, PERMITS, CONTRACTS & AGREEMENTS - 483-6727
PRETREATMENT - 799-4002
STORM WATER - 483-6751

SLC DEPARTMENTS:
ENGINEERING - PUBLIC WAY PERMITS AND ISSUES - 535-6248
ENGINEERING - SUBDIVISIONS - 535-6159
FIRE DEPARTMENT - 535-6636
PERMITS AND LICENSING (BLDG SERVICES) - 535-7752
PLANNING AND ZONING - 535-7700
TRANSPORTATION - 535-6630

- ALL OTHER POTENTIALLY IMPACTED GOVERNING AGENCIES OR ENTITIES
- ALL WATER USERS INVOLVED IN WATER MAIN SHUTDOWNS
- APPLICABLE SEWER, WATER AND DRAINAGE DISTRICTS
- BLUESTAKES LOCATING SERVICES - 532-5000
- COUNTY FIRE DEPARTMENT - 743-7231
- COUNTY FLOOD CONTROL - 468-2778
- COUNTY HEALTH DEPARTMENT - 385-468-3913
- COUNTY PUBLIC WAY PERMITS - 468-2241
- HOLLADAY CITY - 272-9450
- SALT LAKE COUNTY HIGHWAY DEPARTMENT - 468-3706 OR 468-2156
- THE UTAH TRANSIT AUTHORITY FOR RE-ROUTING SERVICE - 262-5626
- UNION PACIFIC RAILROAD CO., SUPERINTENDENTS OFFICE - 595-3405
- UTAH DEPARTMENT OF TRANSPORTATION, REGION #2 - 975-4800
- UTAH STATE ENGINEER - 538-7240

3. SCHEDULE
PRIOR TO CONSTRUCTION THE CONTRACTOR WILL PROVIDE, AND WILL UPDATE AS CHANGES OCCUR, A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SPECIFICATIONS AND SALT LAKE CITY ENGINEERING OR SALT LAKE COUNTY REGULATIONS AS APPLICABLE FOR WORKING WITHIN THE PUBLIC WAY.

4. PERMITS, FEES AND AGREEMENTS
CONTRACTOR MUST OBTAIN ALL THE NECESSARY PERMITS AND AGREEMENTS AND PAY ALL APPLICABLE FEES PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT SALT LAKE CITY ENGINEERING (535-6248) FOR PERMITS AND INSPECTIONS REQUIRED FOR ANY WORK CONDUCTED WITHIN SALT LAKE CITY'S PUBLIC RIGHT-OF-WAY. APPLICABLE UTILITY PERMITS MAY INCLUDE MAINLINE EXTENSION AGREEMENTS AND SERVICE CONNECTION PERMITS. ALL UTILITY WORK MUST BE BONDED. ALL CONTRACTORS MUST BE LICENSED TO WORK ON CITY UTILITY MAINS.

CONSTRUCTION SITES MUST BE IN COMPLIANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) STORM WATER PERMIT FOR CONSTRUCTION ACTIVITIES (538-6923). A COPY OF THE PERMIT'S STORM WATER POLLUTION PREVENTION PLAN MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADDITIONAL WATER QUALITY AND EROSION CONTROL MEASURES MAY BE REQUIRED. THE CONTRACTOR MUST ALSO COMPLY WITH SALT LAKE CITY'S CLEAN WHEEL ORDINANCE.

5. ASPHALT AND SOIL TESTING
THE CONTRACTOR IS TO PROVIDE MARSHALL AND PROCTOR TEST DATA 24-HOURS PRIOR TO USE. CONTRACTOR IS TO PROVIDE COMPACTION AND DENSITY TESTING AS REQUIRED BY SALT LAKE CITY ENGINEERING, UDOT, SALT LAKE COUNTY OR OTHER GOVERNING ENTITY. TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS, SECTION 30520 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE SLC PROJECT ENGINEER IF NATIVE MATERIALS ARE USED. **NO NATIVE MATERIALS ARE ALLOWED WITHIN THE PIPE ZONE.** THE MAXIMUM LIFTS FOR BACKFILLING EXCAVATIONS IS 8-INCHES. ALL MATERIALS AND COMPACTION TESTING IS TO BE PERFORMED BY A LAB RECOGNIZED AND ACCEPTED BY SALT LAKE COUNTY PUBLIC WORKS AND/OR SALT LAKE CITY ENGINEERING.

6. TRAFFIC CONTROL AND HAUL ROUTES
TRAFFIC CONTROL MUST CONFORM TO THE MOST CURRENT EDITION OF SALT LAKE CITY TRAFFIC CONTROL MANUAL - PART 6 OF 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES' FOR SALT LAKE COUNTY AND STATE ROADS. SLC TRANSPORTATION MUST APPROVE ALL PROJECT HAUL ROUTES (535-7129). THE CONTRACTOR MUST ALSO CONFORM TO UDOT, SALT LAKE COUNTY OR OTHER APPLICABLE GOVERNING ENTITIES REQUIREMENTS FOR TRAFFIC CONTROL.

7. SURVEY CONTROL
CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS APPROVED. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE GRADE OF THE MAIN AND/OR FACILITY AS APPROVED. IN ADDITION, THE CONTRACTOR AND/OR SURVEYOR SHALL PROVIDE TO SALT LAKE CITY PUBLIC UTILITIES CUT SHEETS FILLED OUT COMPLETELY AND CLEARLY SHOWING THE PERTINENT GRADES, ELEVATIONS AND CUT/FILLS ASSOCIATED WITH THE FIELD STAKING OF THE MAIN AND/OR FACILITY. THE CUT SHEET FORM IS AVAILABLE AT THE CONTRACTS AND AGREEMENTS OFFICE AT PUBLIC UTILITIES. ALL MAINS AND LATERALS NOT MEETING MINIMUM GRADE REQUIREMENTS AS SPECIFIED BY ORDINANCE OR AS REQUIRED TO MEET THE MINIMUM REQUIRED FLOWS OR AS APPROVED MUST BE REMOVED AND RECONSTRUCTED TO MEET DESIGN GRADE. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS UNTIL PUBLIC UTILITY SURVEYORS COMPLETE FINAL MEASUREMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE COUNTY SURVEYOR (468-2028) FOR MONUMENT LOCATIONS AND CONSTRUCTION REQUIREMENTS. ALL ELEVATIONS SHALL BE REFERENCED TO SALT LAKE CITY DATUM UNLESS NOTED OTHERWISE ON THE PLANS.

8. ASPHALT GUARANTEE
THE CONTRACTOR SHALL REMOVE, DISPOSE OF, FURNISH AND PLACE PERMANENT ASPHALT PER SALT LAKE CITY ENGINEERING, UDOT, COUNTY, OR OTHER GOVERNMENT STANDARDS AS APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY.

9. TEMPORARY ASPHALT
IF THE CONTRACTOR CHOOSES TO WORK WITHIN THE PUBLIC WAY WHEN HOT MIX ASPHALT IS NOT AVAILABLE, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE APPROPRIATE GOVERNING ENTITY PRIOR TO INSTALLING TEMPORARY ASPHALT SURFACING MATERIAL. WITHIN SALT LAKE CITY, WHEN PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL REMOVE THE TEMPORARY ASPHALT, FURNISH AND INSTALL THE PERMANENT ASPHALT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY FROM THE DATE OF COMPLETION.

10. SAFETY
THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA, STATE, COUNTY AND OTHER GOVERNING ENTITY REQUIREMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS.

11. DUST CONTROL
THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO THE GOVERNING ENTITY STANDARDS. USE OF HYDRANT WATER OR PUMPING FROM CITY-OWNED CANALS OR STORM DRAINAGE FACILITIES IS NOT ALLOWED FOR DUST CONTROL ACTIVITIES WITHOUT WRITTEN APPROVAL OF THE PUBLIC UTILITIES DIRECTOR.

12. DEWATERING
ALL ON-SITE DEWATERING ACTIVITIES MUST BE APPROVED IN WRITING BY PUBLIC UTILITIES. PROPOSED OUTFALL LOCATIONS AND ESTIMATED FLOW VOLUME CALCULATIONS MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADEQUATE MEASURES MUST BE TAKEN TO REMOVE ALL SEDIMENT PRIOR TO DISCHARGE. PUBLIC UTILITIES MAY REQUIRE ADDITIONAL MEASURES FOR SEDIMENT CONTROL AND REMOVAL.

13. PROJECT LIMITS
THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.

14. WATER, FIRE, SANITARY SEWER AND STORM DRAINAGE UTILITIES
A. INSPECTIONS -
IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE ANY WATER, SEWER, BACKFLOW AND DRAINAGE INSPECTION 48-HOURS IN ADVANCE TO WHEN NEEDED. CONTACT 483-6727 TO SCHEDULE INSPECTIONS.

B. DAMAGE TO EXISTING UTILITIES -
THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR, MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE, TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.

C. UTILITY LOCATIONS -
CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL UTILITIES AND SERVICE LATERALS, AND FOR REPAIRING ALL DAMAGE THAT OCCURS TO THE UTILITIES DUE TO THE CONTRACTOR'S ACTIVITIES. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, MATERIAL AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POT-HOLING A MINIMUM OF 300-FEET AHEAD OF SCHEDULED CONSTRUCTION IN ORDER TO IDENTIFY POTENTIAL CONFLICTS AND PROBLEMS WITH FUTURE CONSTRUCTION ACTIVITIES. EXISTING UTILITY INFORMATION OBTAINED FROM SLC PUBLIC UTILITIES' MAPS MUST BE ASSUMED AS APPROXIMATE AND REQUIRING FIELD VERIFICATION. CONTACT BLUE STAKES OR APPROPRIATE OWNER FOR COMMUNICATION LINE LOCATIONS.

D. UTILITY RELOCATIONS -
FOR UTILITY CONFLICTS REQUIRING MAINLINE RELOCATIONS, THE CONTRACTOR MUST NOTIFY THE APPLICABLE UTILITY COMPANY OR USER A MINIMUM OF 2-WEEKS IN ADVANCE. A ONE-WEEK MINIMUM NOTIFICATION IS REQUIRED FOR CONFLICTS REQUIRING THE RELOCATION OF SERVICE LATERALS. ALL RELOCATIONS ARE SUBJECT TO APPROVAL FROM THE APPLICABLE UTILITY COMPANY AND/OR USER.

E. FIELD CHANGES -
NO ROADWAY, UTILITY ALIGNMENT OR GRADE CHANGES ARE ALLOWED FROM THE APPROVED CONSTRUCTION PLANS/DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE SLC PUBLIC UTILITIES DIRECTOR. CHANGES TO HYDRANT LOCATIONS AND/OR FIRE LINES MUST BE REVIEWED AND APPROVED BY THE SALT LAKE CITY OR SALT LAKE COUNTY FIRE DEPARTMENT (AS APPLICABLE TO THE PROJECT) AND PUBLIC UTILITIES.

F. PUBLIC NOTICE TO PROJECTS IN THE PUBLIC WAY -
FOR APPROVED PROJECTS THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND DISTRIBUTE WRITTEN NOTICE TO ALL RESIDENTS LOCATED WITHIN THE PROJECT AREA AT LEAST 72-HOURS PRIOR TO CONSTRUCTION. WORK TO BE CONDUCTED WITHIN COMMERCIAL OR INDUSTRIAL AREAS MAY REQUIRE A LONGER NOTIFICATION PERIOD AND ADDITIONAL CONTRACTOR COORDINATION WITH PROPERTY OWNERS. THE WRITTEN NOTICE IS TO BE APPROVED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER.

G. PUBLIC NOTICE FOR WATER MAIN SHUT DOWNS -
THROUGH THE SLC PUBLIC UTILITIES INSPECTOR AND WITH THE PUBLIC UTILITIES PROJECT ENGINEER APPROVAL, SLC PUBLIC UTILITIES MUST BE CONTACTED AND APPROVE ALL WATER MAIN SHUTDOWNS. ONCE APPROVED THE CONTRACTOR MUST NOTIFY ALL EFFECTED USERS BY WRITTEN NOTICE A MINIMUM OF 48-HOURS (RESIDENTIAL) AND 72-HOURS (COMMERCIAL/INDUSTRIAL) PRIOR TO THE WATER MAIN SHUT DOWN. PUBLIC UTILITIES MAY REQUIRE LONGER NOTICE PERIODS.

H. WATER AND SEWER SEPARATION -
IN ACCORDANCE WITH UTAH'S DEPARTMENT OF HEALTH REGULATIONS, A MINIMUM TEN-FOOT HORIZONTAL AND 1.5-FOOT VERTICAL (WITH WATER ON TOP) SEPARATION IS REQUIRED. IF THESE CONDITIONS CANNOT BE MET, STATE AND SLC PUBLIC UTILITIES APPROVAL IS REQUIRED. ADDITIONAL CONSTRUCTION MEASURES WILL BE REQUIRED FOR THESE CONDITIONS.

I. SALVAGE -
ALL METERS MUST BE RETURNED TO PUBLIC UTILITIES, AND AT PUBLIC UTILITIES REQUEST ALL SALVAGED PIPE AND/OR FITTINGS MUST BE RETURNED TO SLC PUBLIC UTILITIES (483-6727) LOCATED AT 1530 SOUTH WEST TEMPLE.

J. SEWER MAIN AND LATERAL CONSTRUCTION REQUIREMENTS -
SLC PUBLIC UTILITIES MUST APPROVE ALL SEWER CONNECTIONS. ALL SEWER LATERALS 6-INCHES AND SMALLER MUST WYE INTO THE MAINS PER SLC PUBLIC UTILITIES REQUIREMENTS. ALL 8-INCH AND LARGER SEWER CONNECTIONS MUST BE PETITIONED FOR AT PUBLIC UTILITIES (483-6762) AND CONNECTED AT A MANHOLE. **INSIDE DROPS IN MANHOLES ARE NOT ALLOWED.** A MINIMUM 4-FOOT BURY DEPTH IS REQUIRED ON ALL SEWER MAINS AND LATERALS. CONTRACTOR SHALL INSTALL INVERT COVERS IN ALL SEWER MANHOLES WITHIN THE PROJECT AREA.

CONTRACTOR TO PROVIDE AIR PRESSURE TESTING OF SEWER MAINS IN ACCORDANCE WITH PIPE MANUFACTURERS RECOMMENDATIONS AND SALT LAKE CITY PUBLIC UTILITIES REQUIREMENTS. ALL PVC SEWER MAIN AND LATERAL TESTING SHALL BE IN ACCORDANCE WITH UNI-BELL UN-8-6-88 RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE. CONTRACTOR SHALL PROVIDE SEWER LATERAL WATER TESTING AS REQUIRED BY THE SALT LAKE CITY PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. A MINIMUM OF 9-FEET OF HEAD PRESSURE IS REQUIRED AS MEASURED VERTICALLY FROM THE HIGH POINT OF THE PIPELINE AND AT OTHER LOCATIONS ALONG THE PIPELINE AS DETERMINED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. TESTING TIME WILL BE NO LESS THAN AS SPECIFIED FOR THE AIR TEST DURATION IN TABLE ON PAGE 12 OF UNI-8-6-88. ALL PIPES SUBJECT TO WATER TESTING SHALL BE FULLY VISIBLE TO THE INSPECTOR DURING TESTING. TESTING MUST BE PERFORMED IN THE PRESENCE OF A SLC PUBLIC UTILITIES REPRESENTATIVE. ALL VISIBLE LEAKAGE MUST BE REPAIRED TO THE SATISFACTION OF THE SLC PUBLIC UTILITIES ENGINEER OR INSPECTOR.

K. WATER AND FIRE MAIN AND SERVICE CONSTRUCTION REQUIREMENTS -
SLC PUBLIC UTILITIES MUST APPROVE ALL FIRE AND WATER SERVICE CONNECTIONS. A MINIMUM 3-FOOT SEPARATION IS REQUIRED BETWEEN ALL WATER AND FIRE SERVICE TAPS INTO THE MAIN. ALL CONNECTIONS MUST BE MADE MEETING SLC PUBLIC UTILITIES REQUIREMENTS. A 5-FOOT MINIMUM BURY DEPTH (FINAL GRADE TO TOP OF PIPE) IS REQUIRED ON ALL WATER/FIRE LINES UNLESS OTHERWISE APPROVED BY PUBLIC UTILITIES. WATER LINE THRUST BLOCK AND RESTRAINTS ARE AS PER SLC APPROVED DETAIL DRAWINGS AND SPECIFICATIONS. ALL EXPOSED NUTS AND BOLTS WILL BE COATED WITH CHEVRON FM1 GREASE PLUS MINIMUM 8 MIL THICKNESS PLASTIC. PROVIDE STAINLESS STEEL NUTS, BOLTS AND WASHERS FOR HIGH GROUNDWATER SATURATED CONDITIONS AT FLANGE FITTINGS, ETC.

ALL WATERLINES INSTALLATIONS AND TESTING TO BE IN ACCORDANCE WITH AWWA SECTIONS C600, C601, C651, C206, C200, C900, C303 AWWA MANUAL M11 AND ALL OTHER APPLICABLE AWWA, UPWS, ASTM AND ANSI SPECIFICATIONS RELEVANT TO THE INSTALLATION AND COMPLETION OF THE PROJECT. AMENDMENT TO SECTION C600 SECTION 4.1.1; DOCUMENT TO READ MINIMUM TEST PRESSURE SHALL NOT BE LESS THAN 200 P.S.I. GAUGED TO A HIGH POINT OF THE PIPELINE BEING TESTED. ALL MATERIALS USED FOR WATERWORKS PROJECTS TO BE RATED FOR 150 P.S.I. MINIMUM OPERATING PRESSURE.

CONTRACTOR IS TO INSTALL WATER SERVICE LINES, METER YOKES AND/OR ASSEMBLIES AND METER BOXES WITH LIDS LOCATED AS APPROVED ON THE PLANS PER APPLICABLE PUBLIC UTILITIES DETAIL DRAWINGS. METER BOXES ARE TO BE PLACED IN THE PARK STRIPS PERPENDICULAR TO THE WATERMAIN SERVICE TAP CONNECTION. ALL WATER METERS, CATCH BASINS, CLEANOUT BOXES, MANHOLES, DOUBLE CHECK VALVE DETECTOR ASSEMBLIES, REDUCED PRESSURE DETECTOR ASSEMBLIES AND BACKFLOW PREVENTION DEVICES MUST BE LOCATED OUTSIDE OF ALL APPROACHES, DRIVEWAYS, PEDESTRIAN WALKWAYS AND OTHER TRAVELED WAYS UNLESS OTHERWISE APPROVED ON PLANS.

BACKFLOW PREVENTORS ARE REQUIRED ON ALL IRRIGATION AND FIRE SPRINKLING TAPS PER PUBLIC UTILITIES AND SLC FIRE DEPARTMENT REQUIREMENTS. CONTRACTORS SHALL INSTALL BACKFLOW PREVENTION DEVICES ON FIRE SPRINKLER CONNECTIONS, DOUBLE CHECK VALVE ASSEMBLIES SHALL BE INSTALLED ON CLASS 1, 2 AND 3 SYSTEMS. REDUCED PRESSURE PRINCIPLE VALVES SHALL BE INSTALLED ON CLASS 4 SYSTEMS. ALL FIRE SPRINKLING BACKFLOW ASSEMBLIES SHALL CONFORM TO ASSE STANDARD 1048, 1013, 1047 AND 1015. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM BACKFLOW PREVENTION TESTS PER SALT LAKE CITY STANDARDS AND SUBMIT RESULTS TO PUBLIC UTILITIES. ALL TESTS MUST BE PERFORMED AND SUBMITTED TO PUBLIC UTILITIES WITHIN 10 DAYS OF INSTALLATION OR WATER TURN-ON. BACKFLOW TEST FORMS ARE AVAILABLE AT PUBLIC UTILITIES' CONTRACTS AND AGREEMENTS OFFICE.

L. GENERAL WATER, SEWER AND STORM DRAIN REQUIREMENTS -
ALL WATER, FIRE AND SEWER SERVICES STUBBED TO A PROPERTY MUST BE USED OR WATER AND FIRE SERVICES MUST BE KILLED AT THE MAIN AND SEWER LATERALS CAPPED AT PROPERTY LINE PER PUBLIC UTILITIES REQUIREMENTS. ALLOWABLE SERVICES TO BE KEPT WILL BE AS DETERMINED BY THE PUBLIC UTILITIES PROJECT ENGINEER. ALL WATER AND FIRE SERVICE KILLS AND SEWER LATERAL CAPS ARE TO BE KILLED AND CAPPED AS DETERMINED AND VISUALLY VERIFIED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

ALL MANHOLES, HYDRANTS, VALVES, CLEAN-OUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER PUBLIC UTILITIES STANDARDS AND REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES. CLEANOUT BOXES, CATCH BASINS AND VALVES PER PUBLIC UTILITIES STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED AS REQUIRED BY THE PUBLIC UTILITIES INSPECTOR. ALL MANHOLE, CLEANOUT BOX OR CATCH BASIN DISCONNECTIONS MUST BE REPAIRED AND GROUTED AS REQUIRED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION. UTILITY TRENCHING, BACKFILL, AND PIPE ZONE AS PER SLC PUBLIC UTILITIES, 'UTILITY INSTALLATION DETAIL.'

M. STREET LIGHTS
ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT SALT LAKE CITY STANDARDS AND N.E.C. (NATIONAL ELECTRICAL CODE). A STREET LIGHTING PLAN SHOWING WIRING LOCATION, WIRING TYPE, VOLTAGE, POWER SOURCE LOCATION, CONDUIT SIZE AND LOCATION SHALL BE SUBMITTED TO SALT LAKE CITY AND BE APPROVED PRIOR TO CONSTRUCTION. NO DEVIATION OF STREETLIGHT, PULL BOXES, CONDUITS, AND ETC. LOCATIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE STREET LIGHTING PROGRAM MANAGER OR HIS/HER REPRESENTATIVE.

STREETLIGHT POLES SHALL NOT BE INSTALLED WITHIN 5 FEET OF A FIRE HYDRANT. THE LOCATION SHALL BE SUCH THAT IT DOES NOT HINDER THE OPERATION OF THE FIRE HYDRANT AND WATER LINE OPERATION VALVES.

STREETLIGHTS AND STREETLIGHT POLES SHALL NOT BE INSTALLED WITHIN 5 FEET FROM ANY TREE, UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE STREET LIGHTING PROGRAM MANAGER. BRANCHES MAY NEED TO BE PRUNED AS DETERMINED BY THE INSPECTOR IN THE FIELD AT THE TIME OF INSTALLATION.

STREETLIGHTS SHALL NOT BE INSTALLED WITHIN 5 FEET FROM THE EDGE OF ANY DRIVEWAY

ANTI-SEIZE LUBRICANT SHALL BE USED ON ALL COVER BOLTS AND GROUND BOX BOLTS.

ALL EXISTING STREET LIGHTING SHALL REMAIN OPERATIONAL DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE STREET LIGHTING PROGRAM MANAGER.

IF APPROVED PLANS REQUIRE REMOVAL OF STREETLIGHT POLES DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POLES WHILE THEY ARE DOWN. THE POLES SHALL BE STORED IN A SECURE LOCATION AND RAIED OFF THE GROUND. PICTURES SHALL BE TAKEN BEFORE THE POLES ARE REMOVED TO DOCUMENT THE CONDITION OF THE POLES BEFORE THEY WERE REMOVED. PICTURES SHALL BE SENT TO THE CITY. CONTRACTOR SHALL ENSURE THE POLES ARE IN SIMILAR CONDITION WHEN RESTORED TO THEIR ORIGINAL LOCATIONS

IF THE APPROVED PLANS REQUIRE PERMANENT REMOVAL OF STREETLIGHT POLES THE CONTRACTOR SHALL COORDINATE SALVAGE AND/OR DISPOSAL OF POLES, FIXTURES, AND LIGHTS WITH THE STREET LIGHTING PROGRAM MANAGER.

ANY STRUCTURE SUCH AS BLOCK WALLS, CHAIN LINK FENCES, RETAINING WALLS, ETC. SHALL LEAVE A MINIMUM OF EIGHTEEN (18) INCHES TO THE FACE OF THE STREETLIGHT POLE ON ALL SIDES.

ALL SERVICE POINTS SHALL BE COORDINATED WITH ROCKY MOUNTAIN POWER AND WHENEVER POSSIBLE BE LOCATED NEAR THE CENTER OF THE CIRCUIT. SERVICE POINTS SHALL BE SHOWN ON THE PLANS WITH A SCHEMATIC FROM ROCKY MOUNTAIN POWER. POLE LOCATIONS AS SHOWN ON THE APPROVED PLANS MUST BE ADJUSTED IN THE FIELD BY THE STRET LIGHTING PROGRAM MANAGER AT THE TIME OF INSTALLATION AT NO ADDITIONAL COST TO THE CITY.

IT SHALL BE REQUIRED THAT IN THE ABSENCE OF AN EXISTING WORKABLE CIRCUIT TO ATTACH TO, THAT ALL INSTALLATIONS SHALL REQUIRE A NEW SERVICE FOR OPERATION OF THE CIRCUITS. IN THIS CASE THE DEVELOPER AND OR HIS ENGINEER SHALL CONTACT ROCKY MOUNTAIN POWER FOR INSTALLATION OF NEW SERVICE.

WHENEVER THERE IS AN OVERHEAD UTILITY THAT MAY CONFLICT WITH THE INSTALLATION FO THE STREETLIGHT CIRCUITS AND/OR STREETLIGHT POLES, THOSE CONFLICTS MUST BE RESOLVED BETWEEN THE DEVELOPER AND THE UTILITIES INVOLVED BEFORE THE STREETLIGHT BASES ARE CONSTRUCTED AT NO EXPENSE TO THE CITY OR ROCKY MOUNTAIN POWER. THE RESOLUTION MUST BE APPROVED BY THE CITY AND ROCKY MOUNTAIN POWER.

FILENAME: O:\Maxfield_Mark\1338 E 700 S SLC\engineering\DesignNotes.dwg

TAB: NT-02 SALT LAKE CITY NOTES

PLOT DATE AND TIME: 4/9/2023 2:48 PM

CALL BEFORE YOU DIG.
IT'S FREE &
IT'S THE LAW
1-800-662-4111
208-2100

MAXFIELD'S THREE
1338 East 700 South, Salt Lake City,
Salt Lake County, UT
SALT LAKE CITY NOTES

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
Planning Engineering Surveying

CLIENT: MARK MAXFIELD
DWG: NOTES.DWG
JOB NO:
DATE: 04/03/2023

DRAWN BY: SK
DESIGN BY: SK
CHECKED BY: AJ
DATE: 04/03/2023

REVISIONS

PROFESSIONAL ENGINEER
7937354-2200
ADELBERT J.
SHAFFER, JR.
STATE OF UTAH

SHEET

NT-02

PH: 801-487-8040

MARK MAXFIELD

BOUNDARY AND TOPOGRAPHIC SURVEY

LOCATED WITHIN THE NORTHWEST QUARTER OF SECTION 9,
TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
1338 EAST 700 SOUTH, SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SURVEYOR'S CERTIFICATE

I, SATTAR N. TABRIZ, A PROFESSIONAL LAND SURVEYOR HOLDING LICENSE NUMBER 155100, IN ACCORDANCE WITH THE LAWS OF THE STATE OF UTAH HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THE HEREON DESCRIBED TRACT OF LAND AND THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF SAID SURVEY.

DRAWN BY: FWH
FIELD CREW: BJM
CHECKED BY: SNT
DATE: 11/18/22

SATTAR N. TABRIZ, PLS.
UTAH LICENSE NO.: 155100

SURVEYOR'S NARRATIVE

THIS SURVEY WAS PREPARED AT THE REQUEST OF THE CLIENT FOR THE PURPOSE OF ESTABLISHING THE BOUNDARY LINES OF THE PROPERTY AND GATHERING TOPOGRAPHIC DATA.

GENERAL NOTES

1. NO TITLE COMMITMENT WAS SUPPLIED TO THE SURVEYOR AT THE TIME OF THE SURVEY.
2. THIS MAP IS NOT PROOF OF OWNERSHIP.
3. THIS MAP MAKES NO ASSUMPTIONS AS TO ANY UNWRITTEN RIGHTS THAT MAY EXIST BY AND BETWEEN THE ADJOINING LAND OWNERS.
4. COURSES AND DISTANCES SHOWN ON THIS MAP ARE MEASURED DIMENSIONS TAKEN FROM ACTUAL FIELD MEASUREMENTS, UNLESS CONTAINED WITHIN PARENTHESIS INDICATING A RECORD COURSE OR DISTANCE. RECORD INFORMATION IS TAKEN FROM MAPS, PLATS, DEEDS OF RECORD, OR OTHER SOURCES OF RECORD INFORMATION.
5. UTILITY LOCATIONS SHOWN HEREON ARE BASED ON ABOVE GROUND FEATURES AND MAPS PROVIDED BY UTILITY LOCATIONS. ACTUAL UTILITY LOCATIONS MAY VARY. BLUE STAKES OF UTAH SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION.

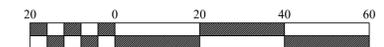
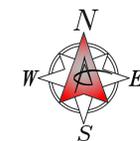
LEGAL DESCRIPTION

ENTRY NO. 13307156
COMMENCING 230 FEET EAST FROM THE NORTHWEST CORNER OF LOT 5, BLOCK 8, PLAT F, SALT LAKE CITY SURVEY; THENCE EAST 100 FEET; THENCE SOUTH 10 RODS; THENCE WEST 100 FEET; THENCE NORTH 10 RODS TO THE POINT OF BEGINNING.

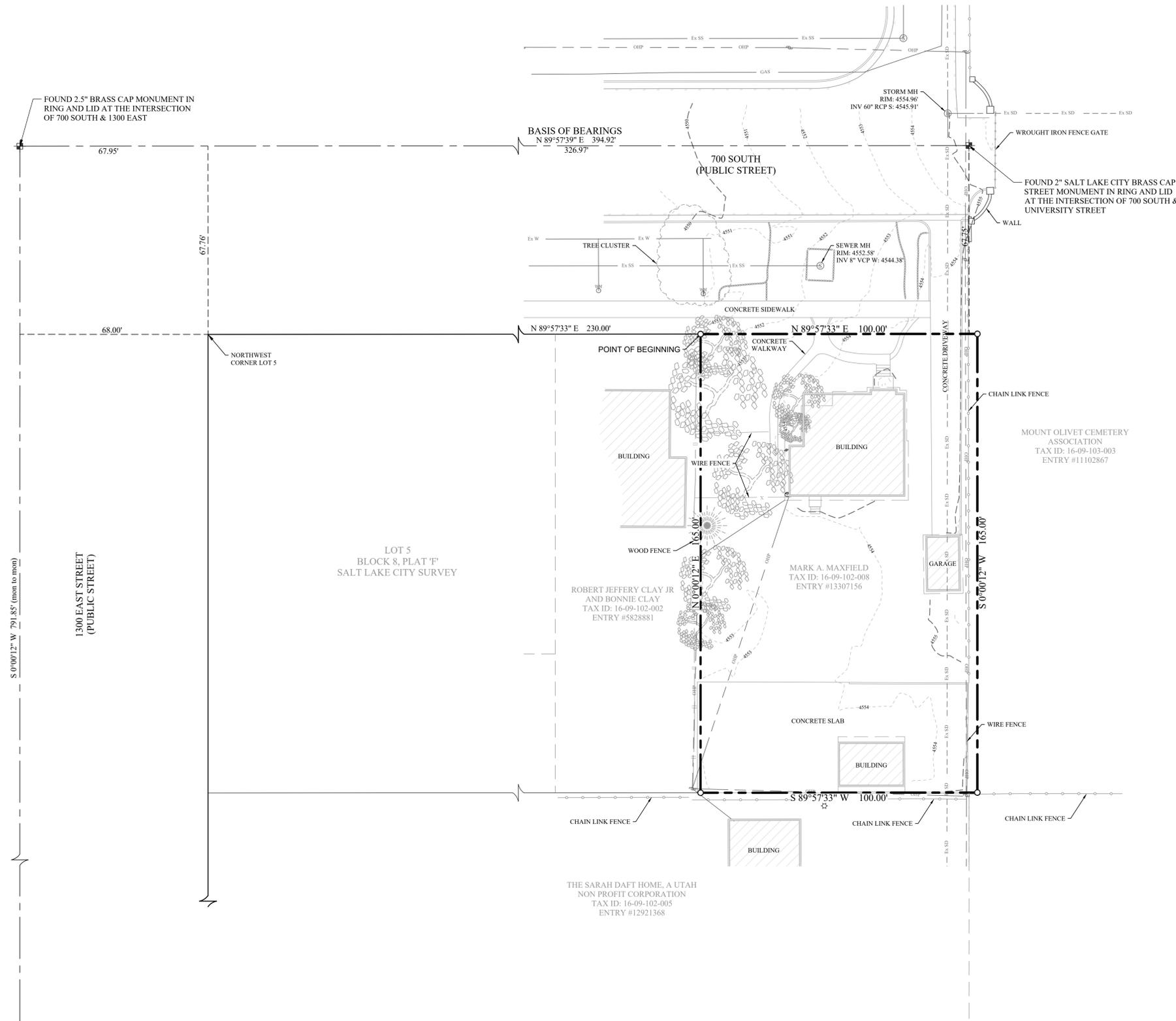
MAP LEGEND

BOUNDARY LINE	
SECTION LINE	
QUARTER SECTION LINE	
CENTERLINE	
RIGHT OF WAY	
LOT LINE	
DEED LINE	
EASEMENT LINE	
RADIAL LINE	
FENCE LINE (CHAINLINK)	
CONCRETE	
ASPHALT	
OVERHEAD POWER LINE	
MONUMENT	
LEAD PLUG	
BOUNDARY CORNER	
POWER POLE	
LIGHT POLE	
FIRE HYDRANT	
WATER VALVE	
WATER METER	
SEWER CLEANOUT	
GAS METER	
POWER METER	
MAJOR CONTOUR	
MINOR CONTOUR	

NOTE:
CONTOURS ARE SHOWN IN 1' INTERVALS



Scale 1" = 20'



BOUNDARY AND TOPOGRAPHIC SURVEY
MARK MAXFIELD
 1338 EAST 700 SOUTH, SALT LAKE CITY, SALT LAKE COUNTY, UTAH
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 1 SOUTH,
 RANGE 1 EAST, SALT LAKE BASE & MERIDIAN.

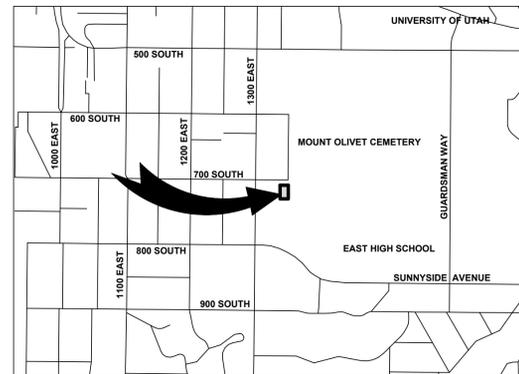
REVISIONS	
No.	DATE BY REVISION

tel (801) 487-8040 231 West 800 South
 fax (801) 487-8668 Salt Lake City, UT 84119
 www.wardeng.com
Ward Engineering Group
 Planning • Engineering • Surveying
 Since 1961

UNIVERSITY MEADOWS SUBDIVISION

A PRELIMINARY 2 LOT SUBDIVISION, SALT LAKE CITY

LOCATED WITHIN THE NORTHWEST QUARTER OF SECTION 9,
TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.
MAY 2022



SALT LAKE CITY
VICINITY MAP



SURVEYOR'S CERTIFICATE

I, SATTAR N. TABRIZ WITH WARD ENGINEERING GROUP, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 155100, IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS SUBDIVISION PLAT IN ACCORDANCE WITH SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, HEREAFTER TO BE KNOWN AS:

UNIVERSITY MEADOWS SUBDIVISION

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND FILED AS S _____ IN THE OFFICE OF THE SALT LAKE COUNTY SURVEYOR AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.

SATTAR N. TABRIZ
UTAH PROFESSIONAL LAND SURVEYOR
LICENSE NO. 155100

MAY 20, 2022
DATE:

BOUNDARY DESCRIPTION

ENTRY NUMBER: 13307156

COMMENCING 230 FEET EAST FROM THE NORTHWEST CORNER OF LOT 5, BLOCK 8, PLAT F, SALT LAKE CITY SURVEY; THENCE EAST 100 FEET; THENCE SOUTH 10 RODS; THENCE WEST 100 FEET; THENCE NORTH 10 RODS TO THE POINT OF BEGINNING

CONTAINS: XXXX SQUARE FEET OR X.XXXX ACRE

OWNER'S DEDICATION AND CONSENT TO RECORD

MARK A. MAXFIELD, THE OWNER OF THE DESCRIBED TRACT OF LAND TO BE HEREAFTER KNOWN AS:

UNIVERSITY MEADOWS SUBDIVISION

DOES HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PROPERTY AS REFLECTED AND SHOWN ON THIS PLAT TO BE DEDICATED FOR PUBLIC USE. MARK A. MAXFIELD HEREBY CONSENT(S) AND GIVE(S) APPROVAL TO THE RECORDING OF THIS PLAT FOR ALL PURPOSES SHOWN HEREIN.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF _____, 20__ A.D.

MARK A. MAXFIELD _____ DATE _____

ACKNOWLEDGMENT

STATE OF _____ }
COUNTY OF _____ } S.S.

ON THIS ____ DAY OF _____, 20__, BEFORE ME, _____

A NOTARY PUBLIC, PERSONALLY APPEARED MAX A. MAXFIELD, PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO IN THE FOREGOING OWNER'S DEDICATION AND CONSENT TO RECORD REGARDING THE UNIVERSITY MEADOWS SUBDIVISION ACKNOWLEDGED HE/SHE/THEY EXECUTED THE SAME.

COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____

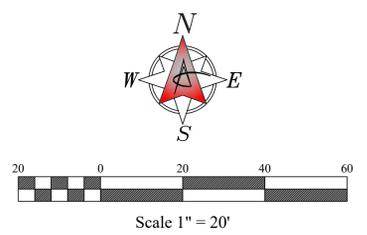
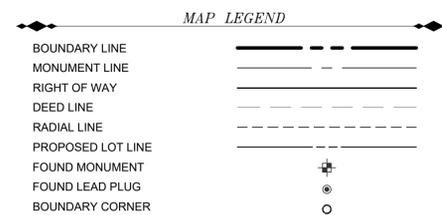
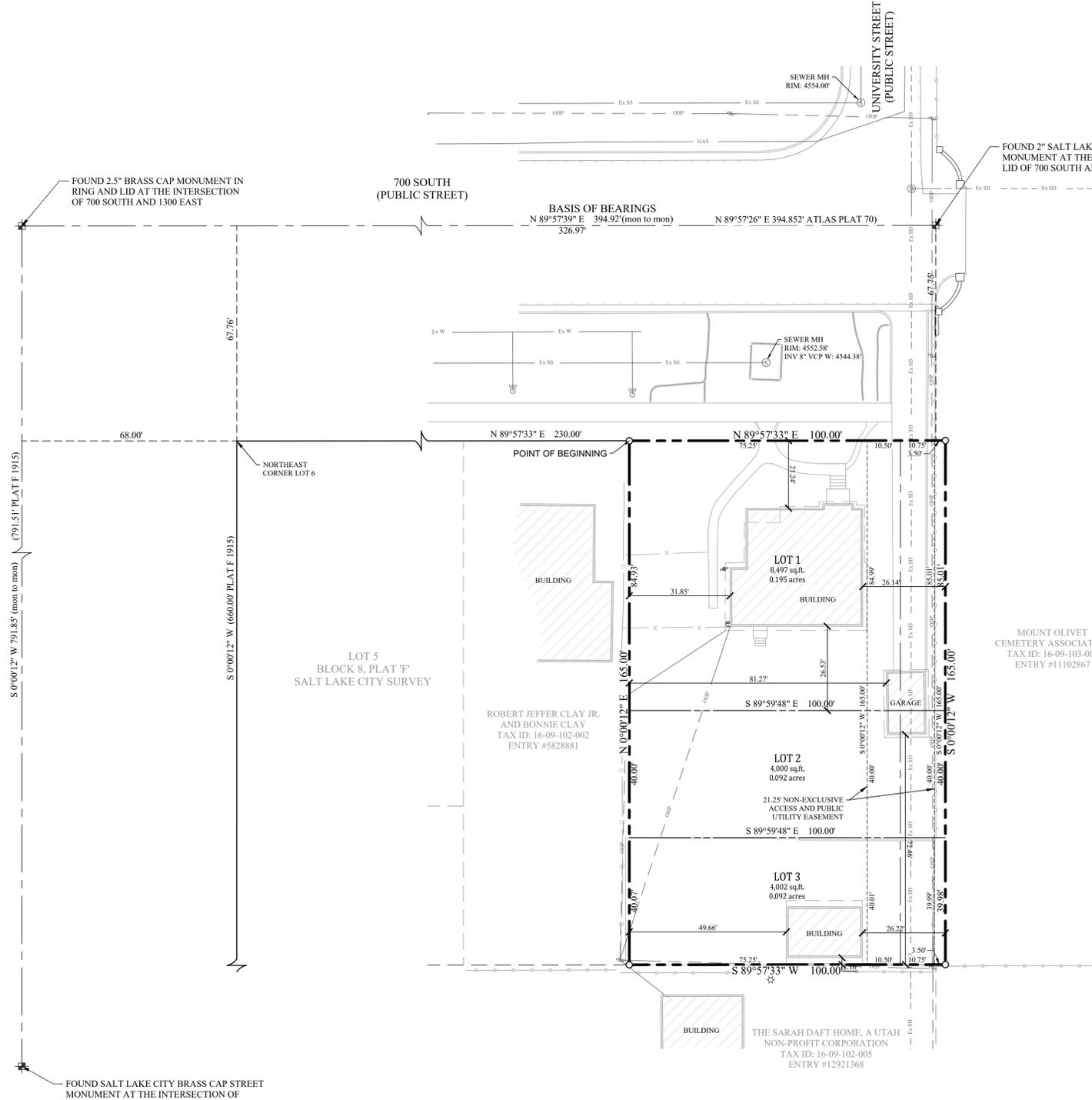
NOTARY PUBLIC SIGNATURE: _____
PRINTED NAME OF NOTARY PUBLIC _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTES:

- THE BASIS OF BEARING FOR THIS PLAT IS N 89°57'39" E 394.92 FEET ALONG THE MONUMENT LINE, FROM THE FOUND 2.5" BRASS CAP IN RING AND LID AT THE INTERSECTION OF 700 SOUTH AND 1300 EAST, TO THE FOUND 2" BRASS CAP IN RING AND LID AT THE INTERSECTION OF 700 SOUTH AND UNIVERSITY DRIVE. (AS SHOWN HEREON)
- COURSES AND DISTANCES SHOWN ON THIS MAP ARE MEASURED DIMENSIONS TAKEN FROM ACTUAL FIELD MEASUREMENTS, UNLESS CONTAINED WITHIN PARENTHESIS INDICATING A RECORD COURSE OR DISTANCE. RECORD INFORMATION IS TAKEN FROM MAPS, PLATS, DEEDS OF RECORD, OR OTHER SOURCES OF RECORD INFORMATION.
- THIS MAP WAS PREPARED AT THE REQUEST OF THE MARK A. MAXFIELD FOR THE PURPOSE OF SUBDIVIDING THE HEREON DESCRIBED PARCEL OF LAND INTO 3 LOTS.
- PER SALT LAKE CITY SURVEY DEPARTMENT, THE SURVEY MEETS THE MINIMUM LINEAR CLOSURE OF 1:15,000.
- SURVEY MONUMENTS SET AT THE PROPERTY CORNERS WITH A 5/8" X 24" REBAR & CAP WITH NYLON CAP STAMPED WARDEG OR A NAIL & WASHER.
- PURSUANT TO UTAH CODE SECTION 54-3-27(5), THE SUBDIVIDER HAS NOTIFIED ALL RELEVANT PUBLIC UTILITIES THAT ARE ANTICIPATED TO PROVIDE SERVICE TO THIS SUBDIVISION REGARDING THE FILING OF THIS PLAT.

UNIVERSITY MEADOWS SUBDIVISION

LOCATED WITHIN THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.



OWNER AND DEVELOPER

MARK A. MAXFIELD
1338 EAST 700 SOUTH
SALT LAKE CITY, UTAH

tel (801) 487-8040 231 West 800 South
fax (801) 487-8668 Salt Lake City, Utah 84101
www.wardeg.com

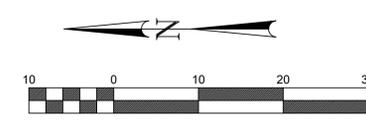
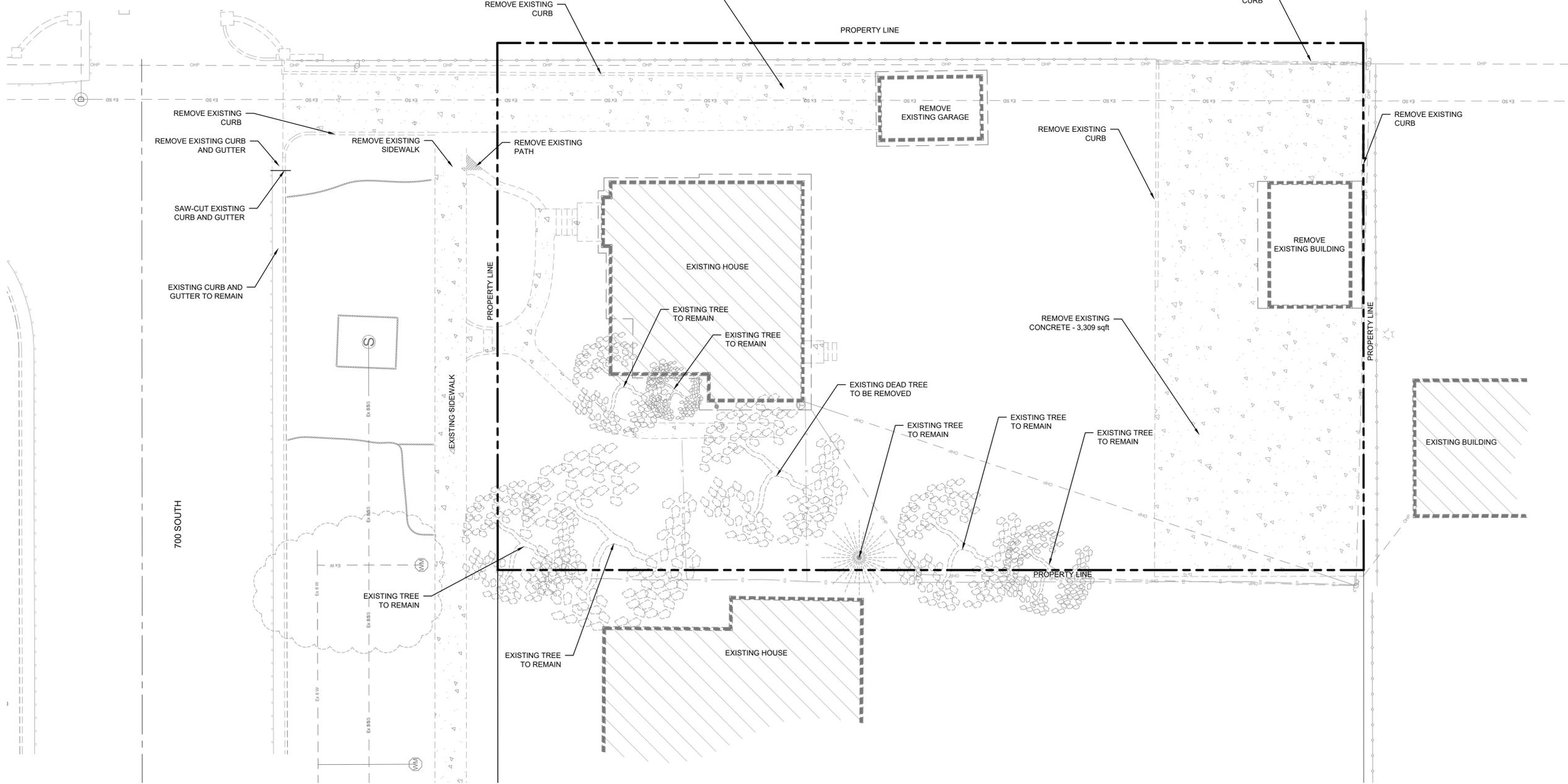
Ward Engineering Group
Planning • Engineering • Surveying
Since 1981

C:\Maxfield_Mark\1338 E 700 S SLC County\ACAD\Plat.dwg, Apr 03, 2023 - 2:46pm

NUMBER _____ ACCOUNT _____ SHEET _____ OF _____ SHEETS	CITY PUBLIC UTILITIES DEPARTMENT APPROVED AS TO SANITARY SEWER AND WATER DETAILS THIS _____ DAY OF _____, 20__. SALT LAKE CITY PUBLIC UTILITIES DIRECTOR	SALT LAKE COUNTY HEALTH DEPARTMENT APPROVED THIS _____ DAY OF _____, 20__. S. L. COUNTY HEALTH DEPARTMENT	CITY ENGINEERING DIVISION I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE. CITY ENGINEER _____ DATE _____ CITY SURVEYOR _____ DATE _____	CITY PLANNING DIRECTOR APPROVED THIS _____ DAY OF _____, 20__, BY THE SALT LAKE CITY PLANNING COMMISSION. PLANNING DIRECTOR _____ DATE _____	CITY ATTORNEY APPROVED AS TO FORM THIS _____ DAY OF _____, 20__. SALT LAKE CITY ATTORNEY _____	CITY APPROVAL PRESENTED TO SALT LAKE CITY THIS _____ DAY OF _____, 20__ AND IT IS HEREBY APPROVED. SALT LAKE CITY MAYOR _____ SALT LAKE CITY RECORDER _____	SALT LAKE COUNTY RECORDER RECORD NO. _____ STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: _____ DATE _____ TIME _____ BOOK _____ PAGE _____ FEES _____ SALT LAKE COUNTY RECORDER _____	NUMBER _____ ACCOUNT _____ SHEET _____ OF _____ SHEETS
---	---	--	--	---	---	---	---	---



1-800-662-4111
208-2100
800 S. STATE ST.
SALT LAKE CITY, UT 84143



Scale 1" = 10'

MAXFIELD'S THREE
1338 East 700 South, Salt Lake City,
Salt Lake County, UT
DEMOLITION PLAN

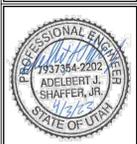
231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
Planning Engineering Surveying



CLIENT: MARK MAXFIELD
DWG: DEMO.DWG
JOB NO:
DATE: 04/03/2023
PLEASE SCALE THE DRAWING. DIMENSIONS SHOWN ON P.L.S. TAKE PRECEDENCE OVER DIMENSIONS AND NOTES TAKE PRECEDENCE.

DRAWN BY: SK
DESIGN BY: SK
CHECKED BY: AJ
DATE: 04/03/2023

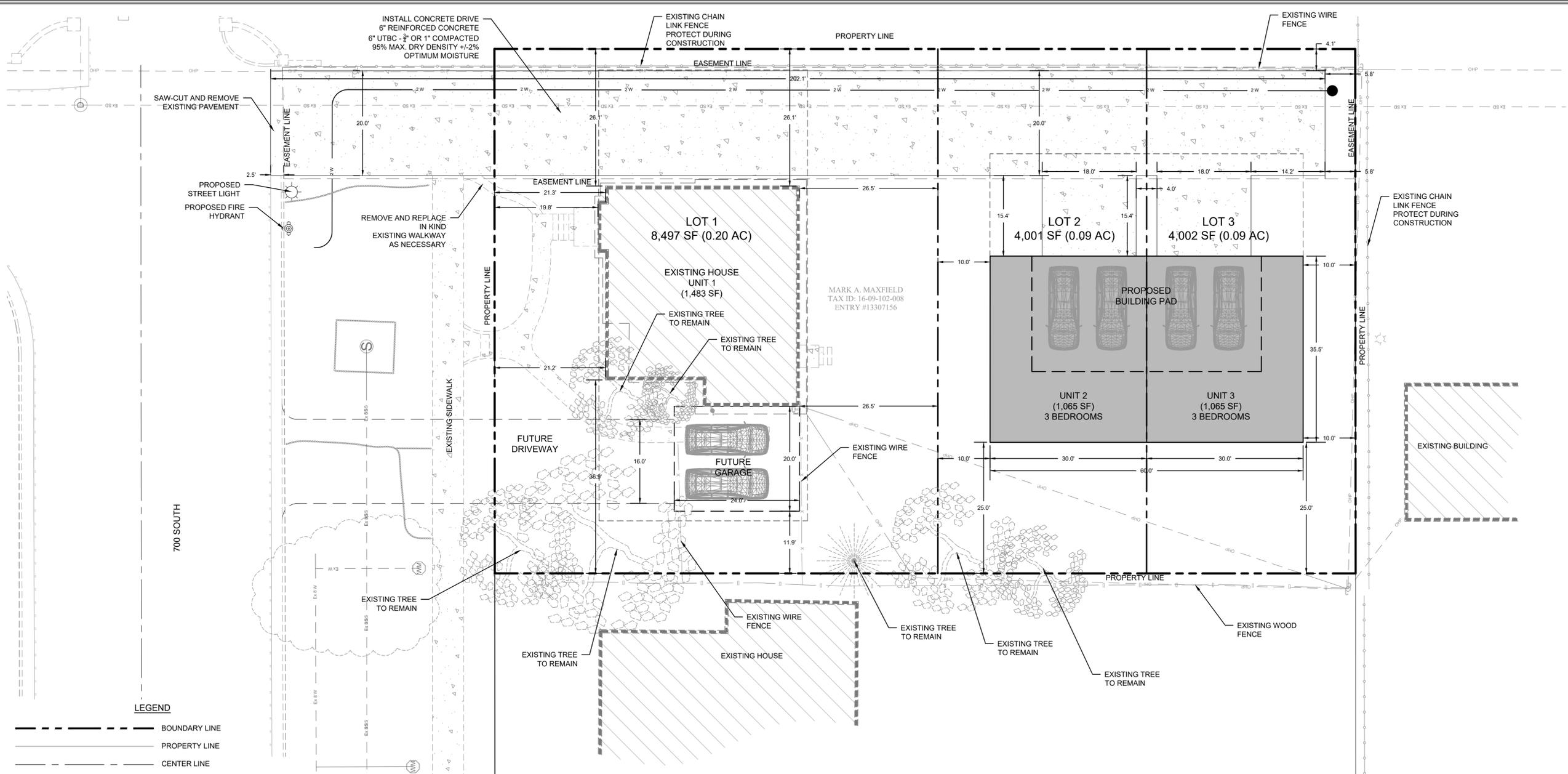
NO.	REVISIONS



SHEET

DP-01

FILENAME: O:\Maxfield_Mark\1338 E 700 S_SLC\Engineering\Design\Site.dwg
 TAB: Site
 PLOT DATE AND TIME: 4/3/2023 2:49 PM



- LEGEND**
- BOUNDARY LINE
 - PROPERTY LINE
 - CENTER LINE
 - 8 W PROPOSED WATER MAIN (SIZED AS INDICATED)
 - 15 SD PROPOSED STORM DRAIN (SIZED AS INDICATED)
 - 8 SS PROPOSED SANITARY SEWER (SIZED AS INDICATED)
 - 8 IRR PROPOSED IRRIGATION (SIZED AS INDICATED)
 - Ex W EXISTING WATER MAIN (SIZED AS INDICATED)
 - Ex 15 SD EXISTING STORM DRAIN (SIZED AS INDICATED)
 - Ex 8 SS EXISTING SANITARY SEWER (SIZED AS INDICATED)
 - Ex 8 IRR EXISTING IRRIGATION (SIZED AS INDICATED)
 - OHP EXISTING OVERHEAD POWER
 - Ex ELEC EXISTING BURIED ELECTRIC
 - PROPOSED PUE
 - SETBACK LINE
 - ⊙ PROPOSED MANHOLE
 - ⊞ PROPOSED CATCH BASIN
 - ⊕ PROPOSED FIRE HYDRANT
 - ⊙ PROPOSED WATER METER
 - ⊕ PROPOSED WATER VALVE
 - ⊙ PROPOSED STREET LIGHT

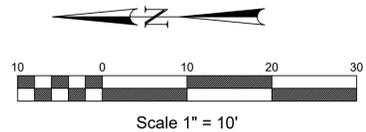
PROPOSED PARKING CALCULATION TABLE

UNIT NUMBER	HOUSEHOLD TYPE	NUMBER OF BEDROOMS	NUMBER OF SPACES REQUIRED	NUMBER OF SPACES PROVIDED
UNIT 1	SINGLE-FAMILY	4	2	2
UNIT 2	MULTI-FAMILY	3	2	2
UNIT 3	MULTI-FAMILY	3	2	2
TOTAL		10	6	6

TAX ID NUMBER
16-09-102-008

LAND USE TABLE

	LOT SIZE SF	LOT SIZE AC	NUMBER OF UNITS	BUILDING SIZE	BUILDING COVERAGE	UNITS PER ACRE	OPEN SPACE	OPEN SPACE COVERAGE
LOT 1	8,497	0.20	1	1,483 SF	17%	0.05	7,014 SF	83%
LOT 2	4,001	0.09	1	1,065 SF	27%	11.1	2,936 SF	73%
LOT 3	4,002	0.09	1	1,065 SF	27%	11.1	2,937 SF	73%
TOTAL	16,500	0.38	3	-	22%	7.9	12,887 SF	78%



MAXFIELD'S THREE
 1338 East 700 South, Salt Lake City,
 Salt Lake County, UT
SITE PLAN

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
 Planning Engineering Surveying

CLIENT: MARK MAXFIELD
 DWG: SITE DWG
 JOB NO:
 DRAWN BY: SK
 DESIGN BY: AJ
 CHECKED BY: AJ
 DATE: 04/03/2023

REVISIONS

NO.	DESCRIPTION

PROFESSIONAL ENGINEER
 7937364-2300
 ADELBERT J. SHAFER, JR.
 STATE OF UTAH

SHEET

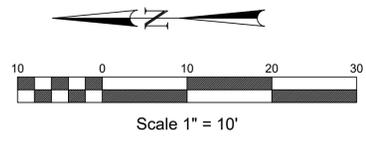
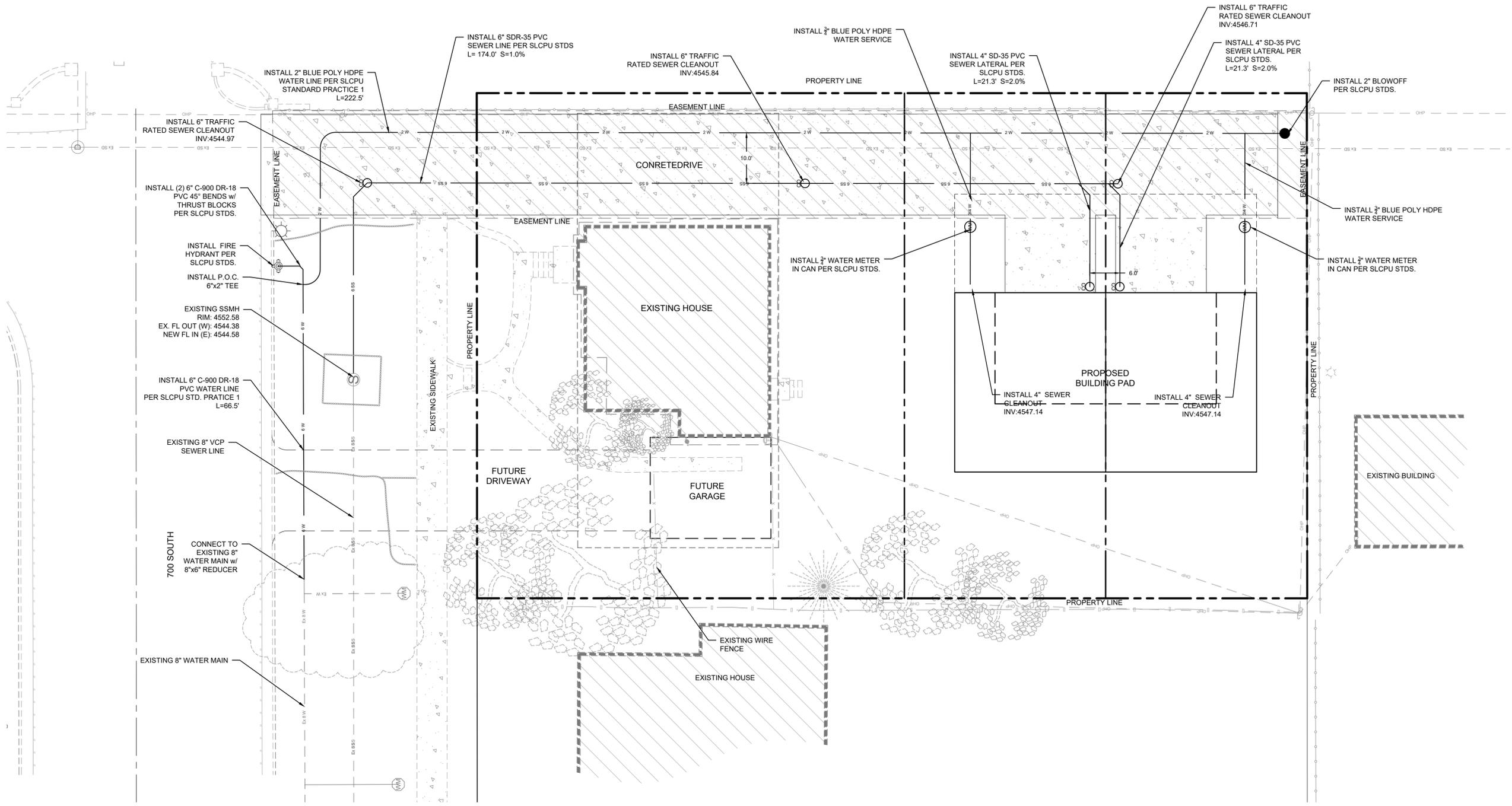
SP-01

PH: 801-487-8040

FILENAME: O:\Maxfield_Mark\1338 E 700 S_SLC\Engineering\Design\Site.dwg TAB: util PLOT DATE AND TIME: 4/9/2023 2:50 PM



1-800-662-4111
208-2100
SLC CIVIL ENGINEERING
1000 W. 1000 S.
SALT LAKE CITY, UT 84119



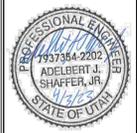
MAXFIELD'S THREE
1338 East 700 South, Salt Lake City,
Salt Lake County, UT
UTILITY PLAN

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
Planning Engineering Surveying
PH: 801-487-8040

CLIENT: MARK MAXFIELD
DWG: SITE DWG
JOB NO:
DATE: 04/03/2023
PLEASE SCALE THE DRAWING, PRINTING IS RECOMMENDED. PLEASE SCALE THE DRAWING, PRINTING IS RECOMMENDED. AND NOTES TAKE PRECEDENCE.

DRAWN BY: SK
DESIGN BY: SK
CHECKED BY: AJ
DATE: 04/03/2023

NO.	REVISIONS

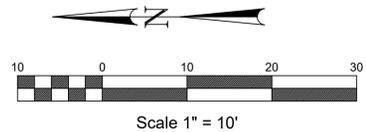
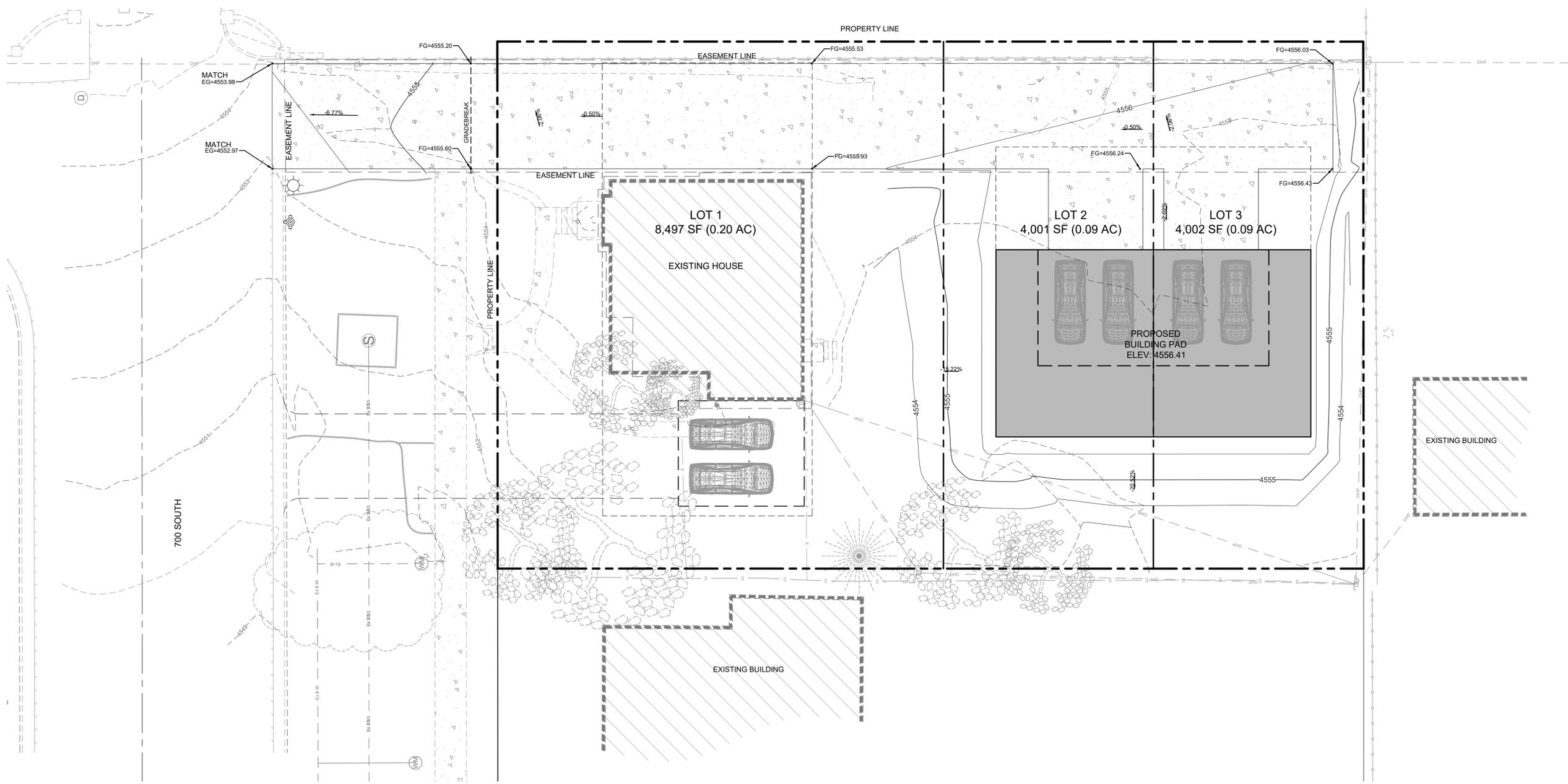


SHEET
UT-01



CALL BEFORE YOU DIG.
IT'S FREE &
IT'S THE LAW
1-800-662-4111
208-2100

1338 E 700 S SOUTH, SALT LAKE CITY, UT 84101
WARD ENGINEERING GROUP
PLANNING ENGINEERING SURVEYING



MAXFIELD'S THREE
1338 East 700 South, Salt Lake City,
Salt Lake County, UT
GRADING PLAN

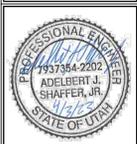
231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
Planning Engineering Surveying
PH: 801-487-8040



CLIENT: MARK MAXFIELD
DWG: GRADING.DWG
JOB NO:
DATE: 04/02/2023

DRAWN BY: SK
DESIGN BY: SK
CHECKED BY: AJ

NO.	DATE	DESCRIPTION



SHEET
GP-01



① EXISTING- NORTH ELEVATION
1/4" = 1'-0"

REFERENCE NOTES

- ◇ EXISTING BRICK SIDING

GENERAL NOTES

- TYPE OF BUILDING CONSTRUCTION: V-B
- FINAL MATERIAL SELECTION BY OWNER AT TIME OF CONSTRUCTION.
- MODIFICATIONS TO EXTERIOR BUILDING MATERIALS IS CONSIDERED A MAJOR MODIFICATION UNDER ZONING 21A.55.100 AND WOULD REQUIRE PLANNING COMMISSION APPROVAL.



② EXISTING- EAST ELEVATION
1/4" = 1'-0"

MAXFIELD'S THREE
1338 East 700 South, Salt Lake City,
Salt Lake County, UT
EXISTING BUILDING ELEVATIONS

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
Planning Engineering Surveying

PH: 801-487-8040



CLIENT: MARK MAXFIELD
DWG: EXISTING BUILDING ELEVATIONS.DWG
JOB NO.:
DATE: 4/3/2023

DRAWN BY: SK
DESIGNED BY: SK
CHECKED BY: AJ
DATE: 4/3/2023

NO.	DESCRIPTION	DATE



SHEET

A100



CALL BEFORE YOU DIG.
IT'S FREE &
IT'S THE LAW
1-800-662-4111
208-2100

FILENAME: O:\Maxfield, Mark\1338 E 700 S SL\Architectural\Design\Existing Building Elevations.dwg TAB: A101 PLOT DATE AND TIME: 4/3/2023 2:51 PM



3 EXISTING- SOUTH ELEVATION
1/4" = 1'-0"

REFERENCE NOTES

1 EXISTING BRICK SIDING

GENERAL NOTES

1. TYPE OF BUILDING CONSTRUCTION: V-B
2. FINAL MATERIAL SELECTION BY OWNER AT TIME OF CONSTRUCTION.
3. MODIFICATIONS TO EXTERIOR BUILDING MATERIALS IS CONSIDERED A MAJOR MODIFICATION UNDER ZONING 21A.55.100 AND WOULD REQUIRE PLANNING COMMISSION APPROVAL.



4 EXISTING- WEST ELEVATION
1/4" = 1'-0"

MAXFIELD'S THREE
1338 East 700 South, Salt Lake City,
Salt Lake County, UT
EXISTING BUILDING ELEVATIONS

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
Planning Engineering Surveying

PH: 801-487-8040



CLIENT: MARK MAXFIELD
DWG: EXISTING BUILDING ELEVATIONS.DWG
JOB No. _____
DATE: 4/3/2023

DRAWN BY: SK
DESIGN BY: SK
CHECKED BY: AJ
DATE: 4/3/2023

NO.	DESCRIPTION	DATE



SHEET
A101

CALL BEFORE YOU DIG.
IT'S FREE &
IT'S THE LAW
1-800-662-4111
208-2100



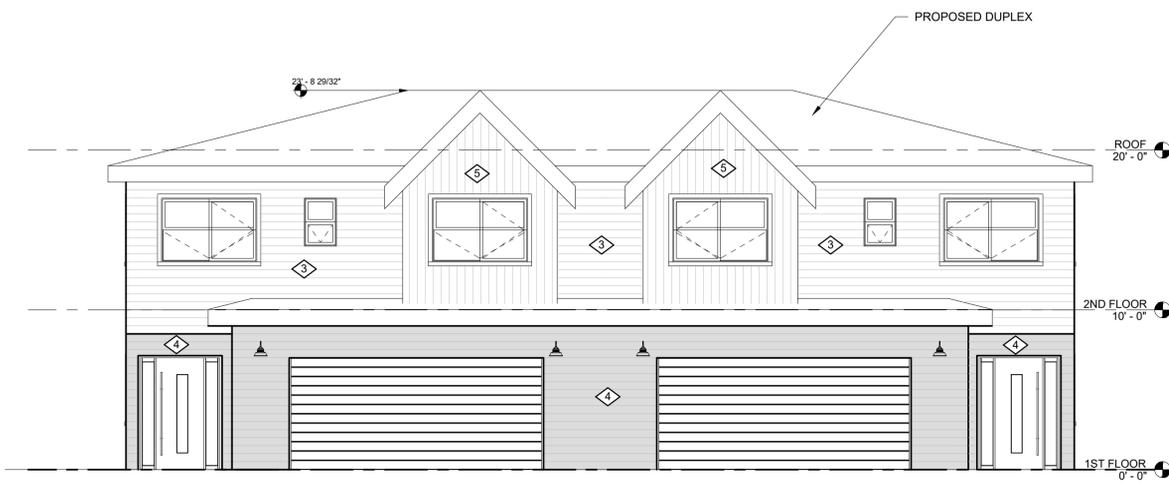
1 PROPOSED- NORTH ELEVATION
3/16" = 1'-0"

REFERENCE NOTES

- 1 EXISTING BRICK SIDING
- 2 PROPOSED BRICK SIDING TO MATCH EXISTING
- 3 HORIZONTAL HARDIE BOARD SIDING- WHITE
- 4 HORIZONTAL HARDIE BOARD SIDING- GRAY
- 5 VERTICAL HARDIE BOARD SIDING- WHITE

GENERAL NOTES

1. TYPE OF BUILDING CONSTRUCTION: V-B
2. FINAL MATERIAL SELECTION BY OWNER AT TIME OF CONSTRUCTION.
3. MODIFICATIONS TO EXTERIOR BUILDING MATERIALS IS CONSIDERED A MAJOR MODIFICATION UNDER ZONING 21A.55.100 AND WOULD REQUIRE PLANNING COMMISSION APPROVAL.



2 PROPOSED- EAST ELEVATION
3/16" = 1'-0"



MAXFIELD'S THREE
1338 East 700 South, Salt Lake City,
Salt Lake County, UT
PROPOSED BUILDING ELEVATIONS

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
Planning Engineering Surveying

PH: 801-487-8040



CLIENT: MARK MAXFIELD
DWG: PROPOSED BUILDING ELEVATIONS.DWG
JOB No.:
DATE: 4/3/2023

DRAWN BY: SK
DESIGNED BY: SK
CHECKED BY: AJ
DATE: 4/3/2023

NO.	REVISIONS

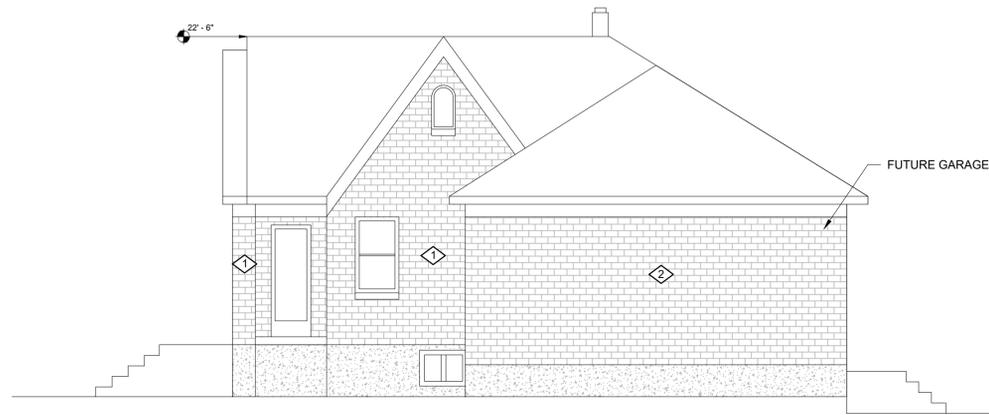


SHEET

A102



③ PROPOSED- SOUTH ELEVATION
3/16" = 1'-0"



④ PROPOSED- WEST ELEVATION
3/16" = 1'-0"



REFERENCE NOTES

- ① EXISTING BRICK SIDING
- ② PROPOSED BRICK SIDING TO MATCH EXISTING
- ③ HORIZONTAL HARDIE BOARD SIDING- WHITE
- ④ HORIZONTAL HARDIE BOARD SIDING- GRAY
- ⑤ VERTICAL HARDIE BOARD SIDING- WHITE

GENERAL NOTES

1. TYPE OF BUILDING CONSTRUCTION: V-B
2. FINAL MATERIAL SELECTION BY OWNER AT TIME OF CONSTRUCTION.
3. MODIFICATIONS TO EXTERIOR BUILDING MATERIALS IS CONSIDERED A MAJOR MODIFICATION UNDER ZONING 21A.55.100 AND WOULD REQUIRE PLANNING COMMISSION APPROVAL.

MAXFIELD'S THREE
1338 East 700 South, Salt Lake City,
Salt Lake County, UT
PROPOSED BUILDING ELEVATIONS

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
Planning Engineering Surveying

PH: 801-487-8040



CLIENT: MARK MAXFIELD
DWG: PROPOSED BUILDING ELEVATIONS.DWG
JOB No.:
DATE: 4/3/2023

DRAWN BY: SK
DESIGNED BY: SK
CHECKED BY: AJ

NO.	DATE	DESCRIPTION



SHEET
A103



CALL BEFORE YOU DIG.
IT'S FREE &
IT'S THE LAW
1-800-662-4111
208-2100



① DUPLEX- EAST ELEVATION
1/4" = 1'-0"



② DUPLEX- SOUTH ELEVATION
1/4" = 1'-0"

REFERENCE NOTES

- ① HORIZONTAL HARDIE BOARD SIDING- WHITE
- ② HORIZONTAL HARDIE BOARD SIDING- GRAY
- ③ VERTICAL HARDIE BOARD SIDING- WHITE
- ④ EXTERIOR LIGHTING

GENERAL NOTES

1. TYPE OF BUILDING CONSTRUCTION: V-B
2. FINAL MATERIAL SELECTION BY OWNER AT TIME OF CONSTRUCTION.
3. MODIFICATIONS TO EXTERIOR BUILDING MATERIALS IS CONSIDERED A MAJOR MODIFICATION UNDER ZONING 21A.55.100 AND WOULD REQUIRE PLANNING COMMISSION APPROVAL.

MAXFIELD'S THREE
1338 East 700 South
Salt Lake City, UT
DUPLEX BUILDING ELEVATIONS

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
 Planning Engineering Surveying
 PH: 801-487-8040



CLIENT: MARK MAXFIELD
 DWG:
 JOB No:
 DO NOT SCALE THIS DRAWING. DRAWING IS REDUCED FILES
 FROM 24" x 36" DIMENSIONS AND NOTE TAKE PRECEDENCE

DRAWN BY: SK
 DESIGN BY: SK
 CHECKED BY: AJS
 DATE: 04/03/2023

#	DATE	REVISIONS	CITY COMMENTS



SHEET
A104



① DUPLEX- WEST ELEVATION
1/4" = 1'-0"



② DUPLEX- NORTH ELEVATION
1/4" = 1'-0"

REFERENCE NOTES

- ① HORIZONTAL HARDIE BOARD SIDING- WHITE
- ② HORIZONTAL HARDIE BOARD SIDING- GRAY
- ③ VERTICAL HARDIE BOARD SIDING- WHITE
- ④ EXTERIOR LIGHTING

GENERAL NOTES

1. TYPE OF BUILDING CONSTRUCTION: V-B
2. FINAL MATERIAL SELECTION BY OWNER AT TIME OF CONSTRUCTION.
3. MODIFICATIONS TO EXTERIOR BUILDING MATERIALS IS CONSIDERED A MAJOR MODIFICATION UNDER ZONING 21A.55.100 AND WOULD REQUIRE PLANNING COMMISSION APPROVAL.

MAXFIELD'S THREE
1338 East 700 South
Salt Lake City, UT
DUPLEX BUILDING ELEVATIONS

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
Planning Engineering Surveying
PH: 801 . 487 . 8040



CLIENT: MARK MAXFIELD
DWG:
JOB No:
DO NOT SCALE THIS DRAWING. DRAWING IS REDUCED FILES
PRINT 28in x 34in. DIMENSIONS AND NOTES TAKE PRECEDENCE

DRAWN BY: SK
DESIGN BY: SK
CHECKED BY: AJS
DATE: 04/03/2023

#	DATE	REVISIONS	CITY COMMENTS



SHEET
A105

GENERAL CONSTRUCTION NOTES:

- PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES, IF ANY. NO CLAIM SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR LANDSCAPE DESIGNER FOR EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
- THE LANDSCAPE DESIGNER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES OF PROCEDURES OR FOR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- QUANTITIES SHOWN ARE THE BEST ESTIMATE OF THE LANDSCAPE DESIGNER. THE CONTRACTOR SHALL MAKE HIS OWN INDEPENDENT ESTIMATE OF QUANTITIES AND BASE HIS BID THEREON.
- THE CONTRACTOR SHALL MAKE NO CLAIM AGAINST THE OWNER OR THE LANDSCAPE DESIGNER REGARDING ALLEGED INACCURACY OF CONSTRUCTION STAKES. REMEDIAL WORK REQUIRED TO CORRECT ANY ITEMS OR IMPROPER CONSTRUCTION WORK SHALL BE PERFORMED AT THE SOLE EXPENSE OF THE RESPONSIBLE CONTRACTOR OR SUBCONTRACTOR.
- NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP BETWEEN THE LANDSCAPE DESIGNER AND THE CONTRACTOR OR SUBCONTRACTOR.
- IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO VERIFY QUANTITIES INCLUDING EXCAVATION, BORROW, EMBANKMENT, SHRINK, OR SWELL, GROUND COMPACTION, HAUL AND OTHER ITEMS AFFECTING HIS BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THE PLANS AND TO BASE HIS BID SOLELY UPON HIS OWN VERIFIED QUANTITIES. IT SHALL BE THE BIDDER'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE DESIGNER OF MAJOR DISCREPANCIES PRIOR TO CONSTRUCTION.

PLANTING NOTES:

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING TREES, GROUNDCOVERS, MULCH AND OTHER ITEMS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER'S REPRESENTATIVE OF MAJOR DISCREPANCIES PRIOR TO CONSTRUCTION. SOME ADJUSTMENT IN THE FIELD MAY BE REQUIRED PER OWNER DISCRETION.
- THE CONTRACTOR SHALL STAKE THE LOCATION OF PLANT MATERIAL AND SHALL HAVE LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- GROUNDCOVERS SHALL BE PLANTED A MINIMUM OF 3' FROM EDGE OF WALKS, WALLS, BUILDINGS, AND CURBS UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.
- BARK MULCH - AREAS NOT OTHERWISE COVERED BY TURF, PAVING, GROUNDCOVER OR BUILDINGS SHALL RECEIVE A MINIMUM OF 3" THICKNESS OF BARK MULCH AND SHALL BE COVERED WITH DEWITTS PRO-5 WEED BARRIER FABRIC OR APPROVED EQUAL. OVERLAP SEAMS 6 INCHES AND STAPLE AT 5 FEET ON CENTER EACH WAY WITH 2 AT EACH CORNER. A MULCH SAMPLE SHALL BE SUBMITTED TO LANDSCAPE DESIGNER OR OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- STONE MULCH - AREAS NOTED ON PLANS FOR STONE MULCH SHALL RECEIVE A MINIMUM OF 4" THICKNESS OF MULCH. A STONE MULCH SAMPLE SHALL BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- AREAS TO RECEIVE STONE MULCH TO BE SPRAYED WITH A CONTACT HERBICIDE AND SHALL BE COVERED WITH DEWITTS PRO-5 WEED BARRIER FABRIC OR APPROVED EQUAL. OVERLAP SEAMS 6 INCHES AND STAPLE AT 5 FEET ON CENTER EACH WAY WITH 2 AT EACH CORNER. CONTRACTOR SHALL ALSO APPLY A PRE-EMERGENT HERBICIDE PER MANUFACTURERS RECOMMENDATIONS.
- ALL PLANT MATERIALS SHALL MEET ANLA & ANSI STANDARD SPECIFICATIONS. PLANT MATERIALS SHALL BE ORDERED BY BOTANICAL NAME. SUBSTITUTIONS SHALL NOT BE ALLOWED UNLESS AUTHORIZED IN WRITING AND IN ADVANCE, BY THE OWNER'S REPRESENTATIVE.
- OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNACCEPTABLE. PLANT MATERIAL SHALL BE WARRANTIED BY THE CONTRACTOR FOR 1 YEAR AFTER INSTALLATION HAS BEEN ACCEPTED AS COMPLETE.
- PRIOR TO COMMENCENT OF WORK, THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITY INSTALLATIONS THAT MAY BE AFFECTED BY HIS WORK AND SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH INSTALLATIONS CAUSED AS A RESULT OF LANDSCAPE INSTALLATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN SODDED AREAS AND ALL PLANT MATERIALS FOR A PERIOD OF 90 DAYS AND 120 DAYS FOR SEEDED AREAS. UPON COMPLETION OF THE MAINTENANCE PERIOD, THE OWNER WILL ASSUME MAINTENANCE RESPONSIBILITIES.

- ACCEPTABLE TOPSOIL, WHETHER IMPORTED OR FROM SITE, SHALL BE FERTILE, LOOSE, FRIABLE SOIL MEETING THE FOLLOWING REQUIREMENTS:
 CHEMICAL CHARACTERISTICS
 1) pH: 5.5-8.0
 2) EC (ELECTRICAL CONDUCTIVITY): < 3.0 MMHOS/CM
 3) SAR (SODIUM ADSORPTION RATIO): < 6.0

- PHYSICAL CHARACTERISTICS
- SAND: 15 TO 60%
 - SILT: 10 TO 60%
 - CLAY: 5 TO 30%
 - ORGANIC MATTER: > 1%
 - CLEAN AND FREE FROM TOXIC MINERALS AND CHEMICALS, NOXIOUS WEEDS, ROCKS LARGER THAN 1 1/2 INCH 38 MM IN ANY DIMENSION, AND OTHER OBJECTIONABLE MATERIALS.
 - SOIL SHALL NOT CONTAIN MORE THAN 2% BY VOLUME OF ROCKS MEASURING OVER 3/32 INCH 2 MM IN LARGEST SIZE.

TOPSOIL SHOULD BE NATURAL, FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FREE OF SUBSOIL, ROOTS, GRASS, AN EXCESSIVE AMOUNT OF WEEDS, STONE AND FOREIGN MATTER. OBTAIN ADDITIONAL TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE. IF EXISTING TOPSOIL IS TO BE USED OBTAIN TOPSOIL ONLY FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN FOUR (4) INCHES. TOPSOIL SHALL CONFORM TO QUALITY CONTROL STANDARDS STATED ABOVE.

IRRIGATION NOTES:

- THE IRRIGATION SYSTEM SHOWN IS SCHEMATIC AND APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY AS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE WITHOUT EXCESSIVE SPRAYING ONTO SIDEWALKS, FENCES, ETC. LOCATE LINES IN NON-PAVED AREAS WHERE POSSIBLE. NO TEES, ELS, OR OTHER CONNECTIONS SHALL BE PLACED UNDER A PAVED AREA IF POSSIBLE. SPECIFIC EMITTERS AND LOCATIONS ARE NOT SHOWN ON THE PLAN AND ARE SUBJECT TO FIELD ADJUSTMENT. THE ENDS OF ALL LATERALS SHALL HAVE AN AUTOMATIC DRAIN.
- IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE ON-SITE PRIOR TO BEGINNING WORK. IF DISCREPANCY EXISTS BETWEEN WATER PRESSURE TESTED ON-SITE AND THAT NOTED ON PLAN, CONTRACTOR SHALL IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT. SYSTEM IS DESIGNED BASED UPON 40PSI STATIC PRESSURE AT ALL P.O.C. (POINT OF CONNECTION) LOCATIONS. THE DESIGN OPERATING PRESSURE FOR EACH VALVE IS 35 PSI.
- CONTRACTOR SHALL FURNISH AND INSTALL MATERIAL AND EQUIPMENT PERTAINING TO THE IRRIGATION SYSTEM HEREIN SPECIFIED OR SHOWN ON THE DRAWINGS. THIS SHALL INCLUDE ALL ITEMS OF A MINOR NATURE NECESSARY TO COMPLETE INSTALLATION.
- THE CONTRACTOR SHALL MAKE NECESSARY IN-FIELD ADJUSTMENTS TO AVOID OBSTRUCTIONS OR COMPENSATE FOR DIFFERENCES BETWEEN THE SITE AND PLAN. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR REVISION OF MAJOR DEPARTURES FROM THE PLAN WITHOUT WRITTEN APPROVAL FROM THE OWNER. CONTRACTOR TO PROVIDE THE APPROPRIATE DEGREE OF ARC IN EACH HEAD THAT PROVIDES HEAD-TO-HEAD COVERAGE WITHOUT EXCESSIVE OVERSPRAY ONTO WALKS, BUILDINGS, ROADS, ETC.
- IRRIGATION CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO RELOCATING OR ALTERING SPRINKLER HEADS, VALVES, PIPING, ETC. DUE TO A CHANGE IN OR UNKNOWN SITE CONDITIONS.
- IRRIGATION CONTRACTOR TO CAP ALL FLUSH CAP ENDS HAND TIGHT BEFORE BACKFILL.
- ALL VALVE AND FLUSH BOX COVERS SHALL MATCH GROUND COVER. GREEN COVERS TO BE IN TURF AND TAN COVERS IN PLANTING BEDS.
- EACH REMOTE CONTROL VALVE SHALL BE CONNECTED TO AN AUTOMATIC CONTROLLER WITH #14 PILOT WIRE AND #14 COMMON WIRE - TYPE U.F., COPPER, U.L. APPROVED, SOLID STRAND.
- ALL AUTOMATIC CONTROLLERS, RISERS, BACKFLOW PREVENTERS AND HOSE BIBS SHALL BE SET PLUMB. SPRINKLER HEAD RISERS, QUICK COUPLER VALVES AND ALL VALVES WITH STEMS SHALL BE SET PERPENDICULAR TO FINISH GRADE.
- IRRIGATION CONTRACTOR SHALL COORDINATE WORK W/ PLANTING PLANS TO AVOID CONFLICTING LOCATIONS BETWEEN PIPING AND PLANT PITS.
- ALL MATERIALS SHALL BE INSTALLED AS DETAILED IN THE PLANS. IF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS DO NOT THOROUGHLY DESCRIBE THE METHOD OR TECHNIQUES TO BE USED, THEN THE CONTRACTOR SHALL INSTALL PER MANUFACTURERS SPECIFICATIONS. IF A CONTRADICTION OCCURS, NOTIFY THE OWNER IMMEDIATELY.
- ADJUST HEADS AND BUBBLERS (IF APPLICABLE) FOR PROPER HEAD TO HEAD COVERAGE.
- USE SCH 40 PVC PIPE FROM WATER OR SHUT OFF VALVE TO BACKFLOW PREVENTER.
- IRRIGATION CONTRACTOR TO USE TEFLON TAPE ON ALL THREADED JOINTS.
- EACH DRIPLINE ZONE IS REQUIRED TO HAVE AN AIR RELIEF VALVE AND FLUSH VALVE. THE FLUSH VALVE IS TO BE INSTALLED AT THE LOWEST POINT OF THE ZONE.
- BRAND EACH VALVE BOX W/ 2" LETTERING SHOWING ZONE NUMBER (EX. Z1) THIS STAMP IS TO MATCH THE ZONE AND CONTROLLER ASSOCIATED WITH THE VALVE'S OPERATION.
- EXTEND ALL SLEEVES 1'-0" INTO EACH PLANTING AREA.
- NO PIPES SHALL BE INSTALLED PARALLEL AND DIRECTLY OVER ANOTHER LINE. MINIMUM HORIZONTAL CLEARANCE FOR SLEEVES FOR THIS PROJECT SHALL BE 3 INCHES. CLEARANCE FROM LINE OF OTHER TRADES SHALL BE 6 INCHES.
- CONTROL WIRING SHALL HAVE A 1" MINIMUM CONDUIT WITHIN THE SLEEVE.
- SLEEVE LOCATIONS SHALL BE SHOWN ON THE RECORD DRAWINGS.
- ALL SLEEVES SHALL BE CAPPED AND KEPT CLEAR OF DIRT AND DEBRIS.

- INSTALL A 36" LENGTH OF #4 REBAR ADJACENT TO EACH END OF THE SLEEVE. TOP OF ROD SHALL BE THREE INCHES BELOW FINISH GRADE. A SECTION OF SURVEYOR'S VINYL TAPE SHALL BE TIED TO THE END OF THE ROD AND BROUGHT TO THE SURFACE. THE TAPE SHALL BE VISIBLE UNTIL ALL WORK IS COMPLETED.
- ALL SLEEVES TO BE SCHEDULE 40 PVC. USE FULL LENGTHS WHERE POSSIBLE. SOLVENT WELD ALL FITTINGS WITH APPROPRIATE PRIMER AND SOLVENT. ANY REQUIRED ADDITIONAL FITTINGS TO BE SCHEDULE 40.
- VALVES W/ LESS THAN 3 GPM SHALL RECEIVE A RAINBIRD RBY SERIES Y-STRAINER OR EQUAL UPSTREAM.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL IRRIGATION SLEEVING. COORDINATE INSTALLATION WITH GENERAL CONTRACTOR. VERIFY ANY EXISTING SLEEVES INSTALLED BY OTHER CONTRACTORS.
- PRIOR TO OWNERS APPROVAL, AN IRRIGATION "TUNE-UP" SHALL BE PERFORMED AS FOLLOWS:
 - ALL IRRIGATION EQUIPMENT (INCLUDING ALL PIPELINES AND SLEEVES) TO BE DOCUMENTED FROM TWO STATIONARY POINTS.
 - ALL DRIP SYSTEMS TO BE FLUSHED BEGINNING WITH THE Y-STRAINER, AND WORKING AWAY FROM PRESSURE REGULATOR.
 - IRRIGATION VALVES STATION NUMBER, CONTROLLER DESIGNATION, AND LOCATION ARE TO BE DOCUMENTED ON A SHEET OF PAPER. THIS SHEET TO BE PLACED IN A PLASTIC POUCH AND ATTACHED TO THE INSIDE OF CONTROLLER, AN ADDITIONAL COPY SHALL BE PROVIDED TO OWNER.
- CONTRACTOR SHALL PERFORM THE FOLLOWING:
 - VISIT SITE AND VERIFY EXISTING GRADES, CONSTRUCTION AND CONDITIONS.
 - VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE ANY NOTIFICATIONS REQUIRED.
 - NOTIFY OWNER OF DISCREPANCIES BETWEEN PLAN AND FIELD.
 - RESTORE DAMAGED AREAS CAUSED BY CONTRACTOR TO THE SATISFACTION OF THE OWNER.
 - BE SATISFIED THAT THE PLAN CAN BE CONSTRUCTED, FUNCTIONAL AND COMPLETE.
- CONTRACTOR SHALL DETERMINE BIDDING QUANTITIES. ALL QUANTITIES SHOWN IN THESE PLANS ARE TO GIVE THE CONTRACTOR A COMPARISON COUNT ONLY.
- ALL MATERIALS AND WORKMANSHIP SHALL BE TRUE TO TYPE, FORM, FINISH AND OF THE HIGHEST STANDARDS OF THE TRADE. DAMAGED OR INFERIOR MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT DELAY.
- THE IRRIGATION CONTRACTOR SHALL COORDINATE ALL IRRIGATION WORK WITH OTHER CONTRACTORS AND OR SUBCONTRACTORS.
- ALL EQUIPMENT SHALL BE MAINTAINED WHILE UNDER CONSTRUCTION. MAINTENANCE INCLUDES: WATER SCHEDULING, REPLACEMENT OF DEFECTIVE OR DAMAGED EQUIPMENT, ADJUSTMENT AND READJUSTMENT OF HEADS AND OTHER EQUIPMENT.
- CONTRACTOR TO INSURE THE FOLLOWING:
 - LINES AND VALVES ARE TO BE PLACED WITHIN PLANTING BEDS & PROJECT LIMITS. THESE PLANS ARE SCHEMATIC. CONTRACTOR SHALL SIZE PIPE, PLAN SIZES ARE MINIMUMS.
 - 100% COVERAGE OF IRRIGATION SYSTEM (HEAD TO HEAD COVERAGE FOR TURF) TO ALL PLANTS REGARDLESS OF SIZE OR TYPE.
- CONTRACTOR TO PROVIDE IRRIGATION MAINTENANCE AS DESCRIBED IN ITEM 31 AFTER ACCEPTANCE FOR THE PERIOD INDICATED IN THE LANDSCAPE SPECIFICATIONS OR 90 DAYS WHICHEVER IS GREATER.
- CONTROLLER SHALL BE GROUNDED AND PROTECTED FROM LIGHTNING AND SURGE PROTECTION PER MANUFACTURER'S RECOMMENDATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING VALVES, HEADS, SLEEVES, GATE VALVES AND OTHER ITEMS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER PRIOR TO CONSTRUCTION OF MAJOR DISCREPANCIES. IN CASE OF A DISCREPANCY BETWEEN THE NUMBER OF IRRIGATION PARTS INDICATED ON THE DRAWINGS AND THE TOTAL NUMBER INDICATED ON THE IRRIGATION LEGEND, THE DRAWINGS SHALL BE ACCEPTED AS CORRECT. SOME ADJUSTMENTS IN THE FIELD MAY BE REQUIRED PER OWNER DIRECTION.

PLOT DATE AND TIME: 8/11/2022 10:59 AM

TAB: specs

FILENAME: C:\Projects\ward\Maxfield 3.Lot - s\ic\Design\Submittals\Spec&Details.dwg



MAXFIELD'S THREE
 1338 East 700 South, Salt Lake City,
 Salt Lake County, UT

SPECIFICATIONS AND NOTES

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
 Planning Engineering Surveying

PH: 801-487-8040



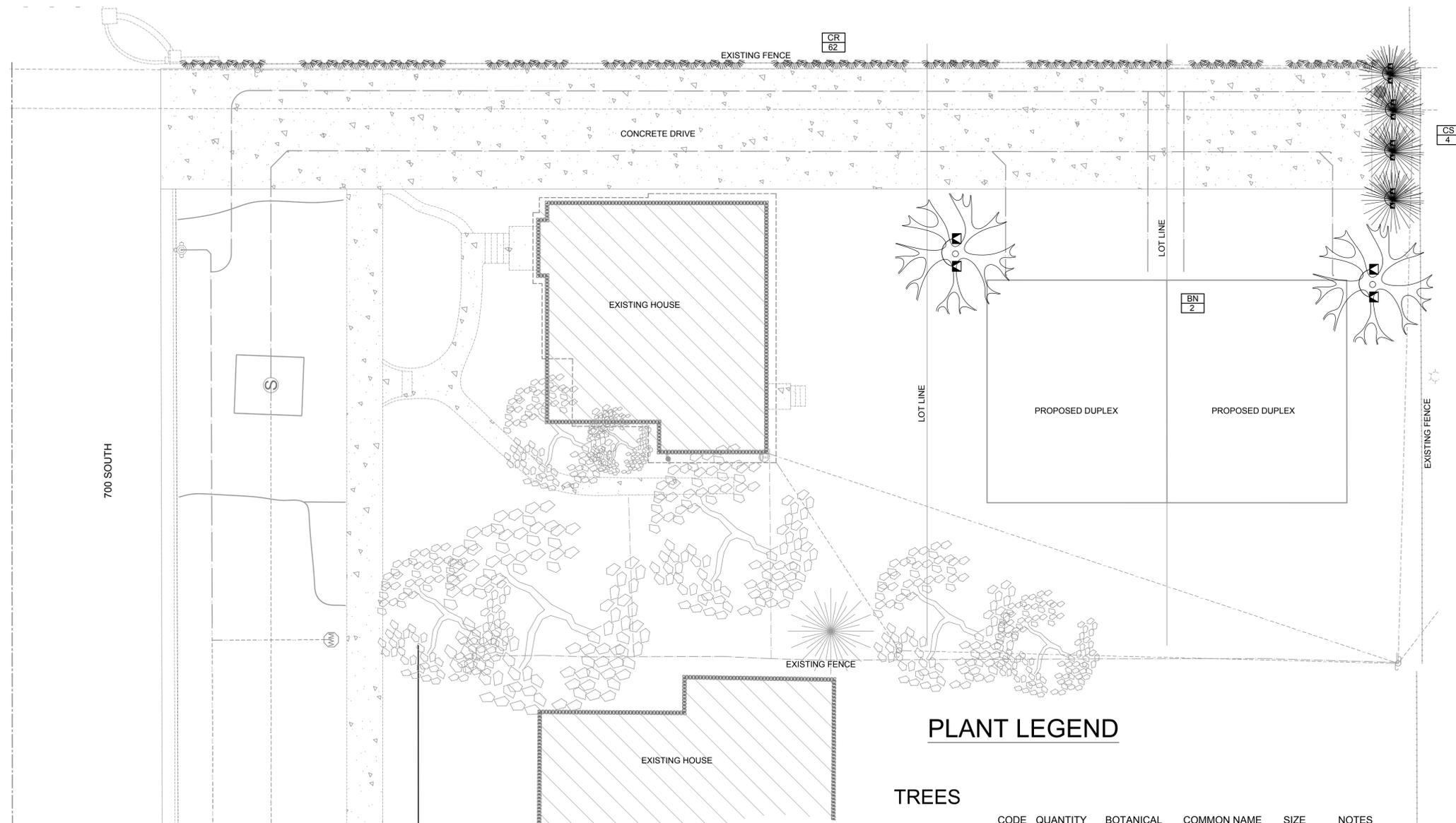
CLIENT: MARK MAXFIELD
 DWG: SPEC&DETAILS.DWG
 JOB NO:
 DATE: 8/10/2022
DO NOT SCALE THIS DRAWING. DRAWING IS REDUCED 1/8" PER 1" UNLESS OTHERWISE NOTED ON THE DRAWING.

DRAWN BY: WARD
 DESIGN BY: WARD
 CHECKED BY: AJ
 DATE: 8/10/2022

NO.	REVISIONS

SHEET

LA-001



- NOTE:**
1. ALL PLANTING AREAS TO RECEIVE PERMEABLE WEED FABRIC (NO PLASTIC) AND BARK MULCH 3" DEEP, UNLESS NOTED ON PLAN. SEE PLANTING NOTE 6 SHEET LA-001
 2. ALL PLANTS TO BE INSTALLED IN CLUMPS AS SHOWN. DO NOT PLANT EVENLY SPACED.
 3. ALL PLANTING AREAS TO RECEIVE TOP SOIL PER SPEC. SEE PLANTING NOTE 11 SHEET LA-001

PLANT LEGEND

TREES

	CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (mature)	NOTES
	BN	2	Betula nigra	Western River Birch	1 1/2"-CAL (30Hx20W)	Multi-Trunk
	CS	4	Curpessus sempervirens	Italian Cypress	7' - 8' Tall (60Hx8W)	D/R

VINES

	CR	62	Campsis radicans	Trumpet Vine	1 GAL	D/R
--	----	----	------------------	--------------	-------	-----

D/R: Drought Tolerant

GENERAL NOTES

- 1 ALL QUANTITIES ARE SHOWN AS AN AID ONLY - PLANS TAKE PRECEDENCE. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR ALL ACTUAL QUANTITY CALCULATIONS.
- 2 PLANT COMMON NAMES ARE SHOWN AS AN AID ONLY. USE BOTANICAL NAME WHEN PURCHASING ALL PLANT MATERIAL.
- 3 ALL PLANTING TO BE DONE PER DETAILS SHEET LA-200, AND COMMON INDUSTRY BEST PRACTICES



Scale 1" = 10'



MAXFIELD'S THREE
 1338 East 700 South, Salt Lake City,
 Salt Lake County, UT
LANDSCAPE PLAN

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
 Planning Engineering Surveying
 PH: 801-487-8040

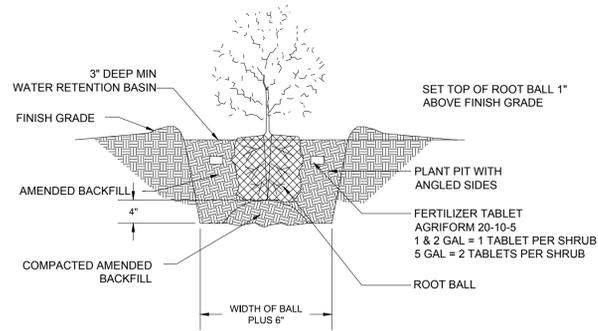
CLIENT: MARK MAXFIELD
 DWG: LANDSCAPE PLAN.DWG
 JOB No:
 DO NOT SCALE THIS DRAWING. DRAWING IS REDUCED IF LESS THAN 28" x 34" DIMENSIONS AND NOTES TAKE PRECEDENCE

DRAWN BY: WARD
 DESIGN BY: WARD
 CHECKED BY: AJ
 DATE: 08/04/2022

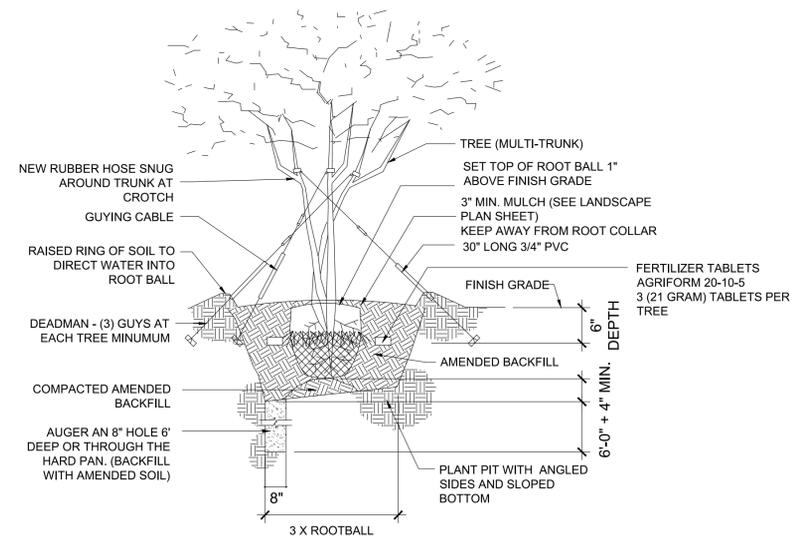
REVISIONS

SHEET

LA-100

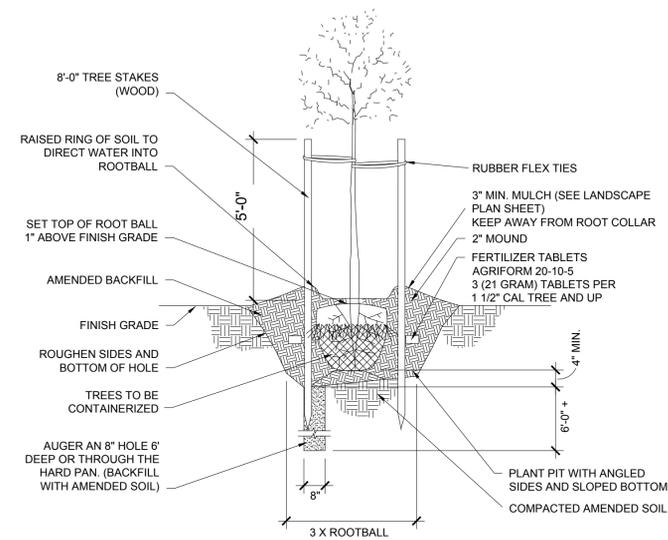


1 SHRUB PLANTING DETAIL



2 MULTI-TRUNK TREE PLANTING

N.T.S.



3 SINGLE TRUNK TREE PLANTING

N.T.S.

MAXFIELD'S THREE
 1338 East 700 South, Salt Lake City,
 Salt Lake County, UT
LANDSCAPE DETAILS

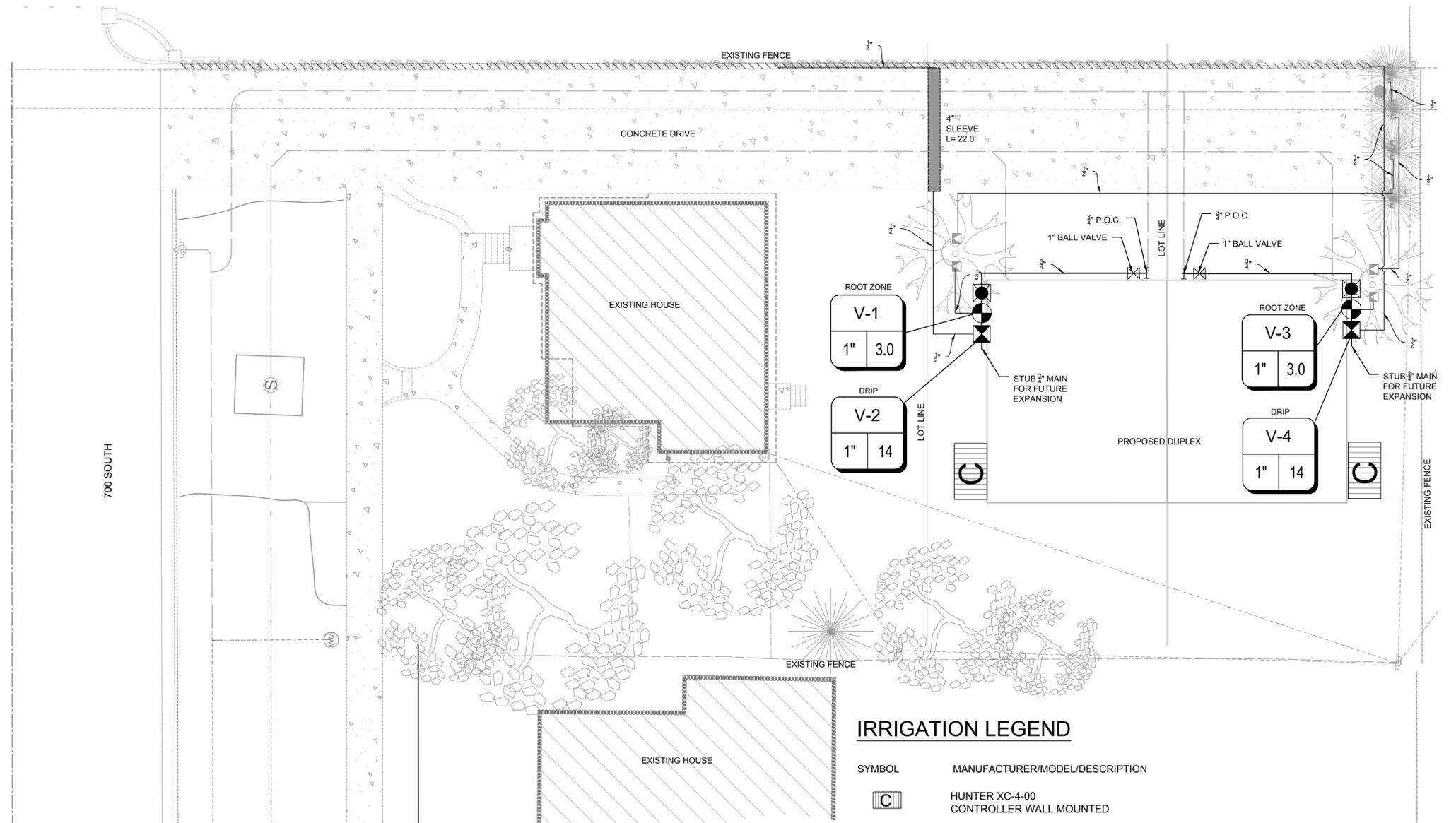
231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
 Planning Engineering Surveying

CLIENT: MARK MAXFIELD
 DWG: SPEC&DETAILS.DWG
 JOB No:
 DATE: 08/02/2022

DESIGN BY: WARD
 CHECKED BY: AJ

NO.	REVISIONS

SHEET
LA-200



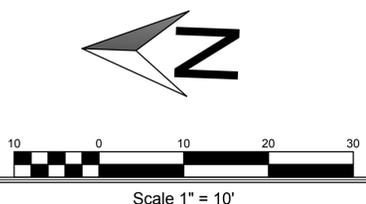
NOTE:
 1. ALL SLEEVING IS SCH. 40 PVC SIZED PER PLAN. INSTALL PER DETAILS SHEET IR-300 SLEEVING IS FOR PIPE AND WIRE RUNS.
 2. ALL LENGTHS AND LOCATIONS ARE APPROXIMATE. SLEEVING IS SIZED IN ANTICIPATION OF POTENTIAL FUTURE EXPANSIONS.
 3. IRRIGATION CONTRACTOR SHALL COORDINATE WITH ALL UTILITY CONTRACTORS FOR INSTALLATION AND LOCATION OF IRRIGATION SLEEVING

ATTENTION:
 ALL IRRIGATION PIPING UNDER PAVEMENT, SIDEWALKS, OR TRAILS SHALL BE SLEEVED W/ SCH. 40 PVC - SEE DETAILS SHEET IR-300 AND SPECIFICATIONS SHEET LA-001. IRRIGATION CONTRACTOR SHALL COORDINATE WITH ALL UTILITY CONTRACTORS FOR INSTALLATION OF SLEEVING. SIZE SLEEVING FOR ALL LATERALS AND WIRING TO PASS UNDER PAVEMENT TOGETHER

NOTE:
 IRRIGATION PIPING AND SYMBOLS ARE SHOWN FOR GRAPHIC CLARITY ONLY. LOCATE ALL PIPES AND FIXTURES IN LANDSCAPE AREAS WHEN POSSIBLE. PIPES SHALL RUN BACK OF WALK, BACK OF CURB, BACK OR FRONT OF WALL WITHIN TWO (2) FEET UNLESS CONFLICTED WITH POWER OR GAS LINES. IF CONFLICT OCCURS, RUN PIPING 18" CLEAR OF UTILITIES TO THE OUTSIDE. ALL PIPING SHALL MAINTAIN 3.0' COVER. PIPING UNDER PAVEMENT SHALL BE SLEEVED - USE TRENCH SHARING BETWEEN SPRAY LATERALS, DRIP LATERALS, AND DEEP ROOT ZONE LATERALS WHEN POSSIBLE.

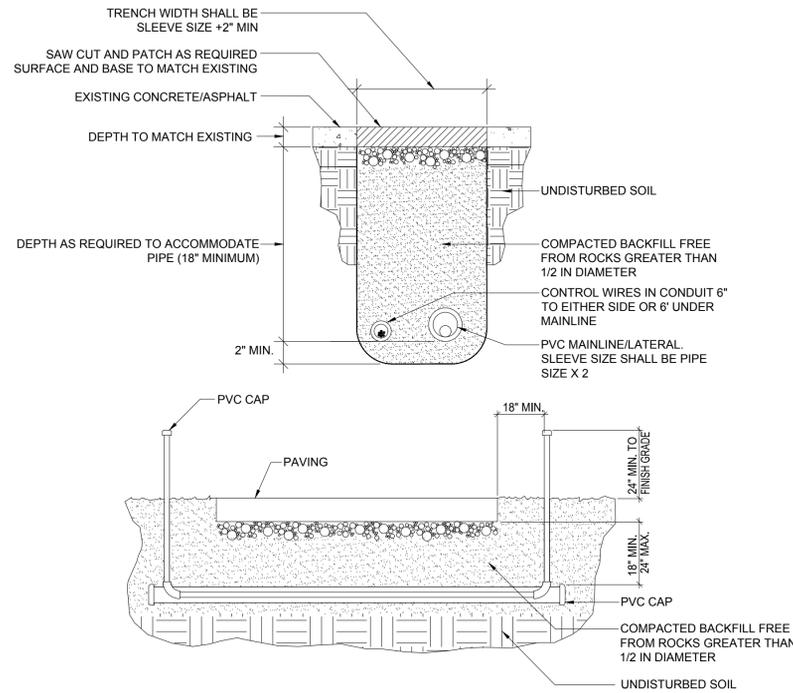
IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER XC-4-00 CONTROLLER WALL MOUNTED
	P.O.C. POINT OF CONNECTION TO WATER SOURCE
	BALL VALVE - SIZE PER PLAN
	WILKINS 375A 3/8" REDUCED PRESSURE BACKFLOW PREVENTER SET TO 40 PSI
	1" BLOW OFF / DRAINAGE VALVE
	HUNTER ICV-G PLASTIC REMOTE CONTROL VALVE GLOBE CONFIGURATION, W/ NPT THREADED INLET/OUTLET, FOR COMMERCIAL USE
	HUNTER RZWS-SLEEVE-18-50 18" LONG ROOT ZONE WATERING SYSTEM W/ FILTER FABRIC SLEEVE, 0.50 GPM BUBBLER, 1/2" SWING JOINT FOR CONNECTION TO LATERAL
	HUNTER ICZ-101-25 DRIP CONTROL ZONE KIT. ICV GLOBE VALVE W/ HY100 FILTER SYSTEM. PRESSURE REGULATION - 25 PSI. 150 MESH STAINLESS STEEL SCREEN
	DRIP ZONE HUNTER PLD-04-18 INLINE PRESSURE COMPENSATING LANDSCAPE DRIP LINE W/ BUILT IN CHECK VALVE, 0.4 GPH EMITTERS AT 18" O.C. DRIP LINES SPACED AT 18" APART W/ EMITTERS OFFSET FOR TRIANGULAR PATTERN INCLUDE BLOW OFF/SYSTEM DRAIN (NO 1/2" SPAGHETTI TUBING). UV RESISTANT PER HUNTER INDUSTRIES STDS. AND DETAILS PDF
	TREES BY ROOTZONE IRRIGATION SEE DETAILS SHEET IR-310
	VALVE CALLOUT ZONE/VALVE NUMBER: # VALVE SIZE: X" XX" GALLONS PER MINUTE (GPM)
	PVC SLEEVE - SIZE PER PLAN



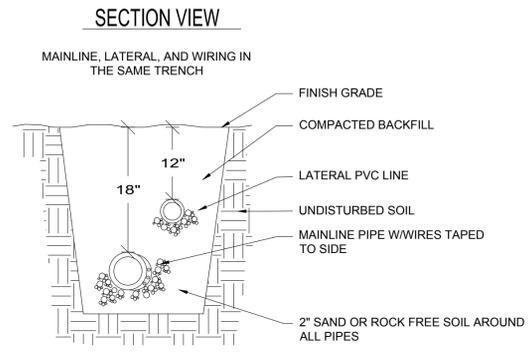
REVISIONS

NO.	DESCRIPTION

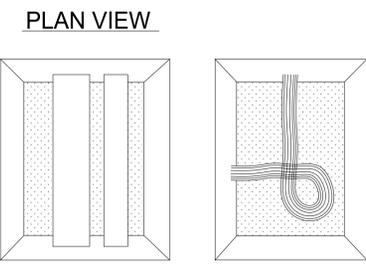


- NOTES:
1. ALL PVC IRRIGATION SLEEVING TO BE SCHEDULE 40
 2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
 3. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND SMALLER SLEEVE TO 24\"/>

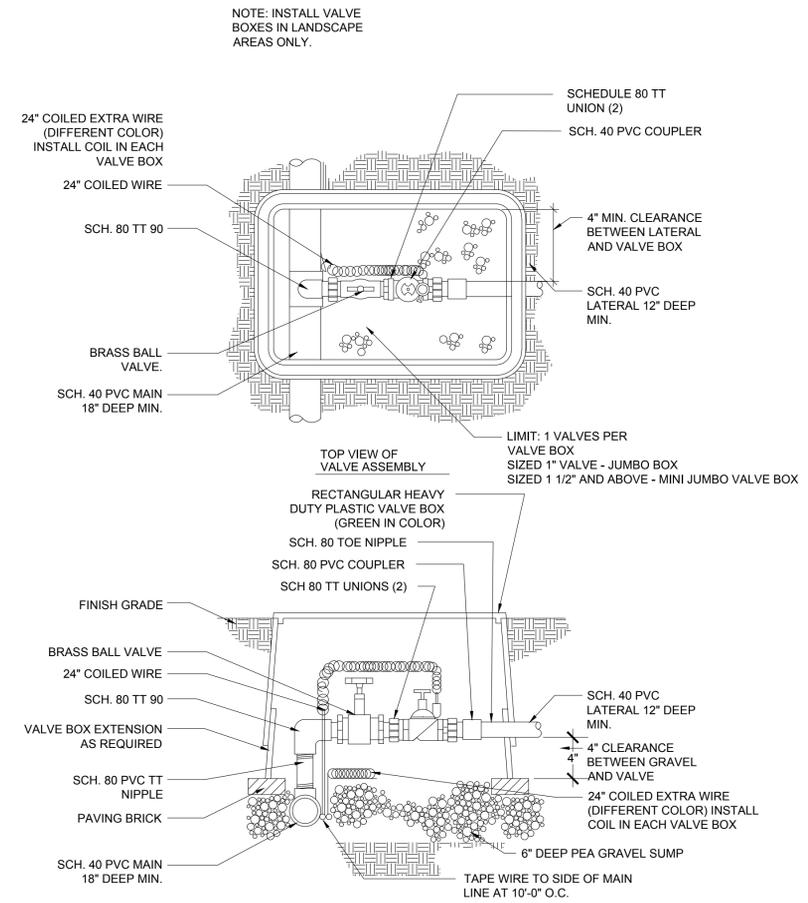
1 IRRIGATION SLEEVING N.T.S.



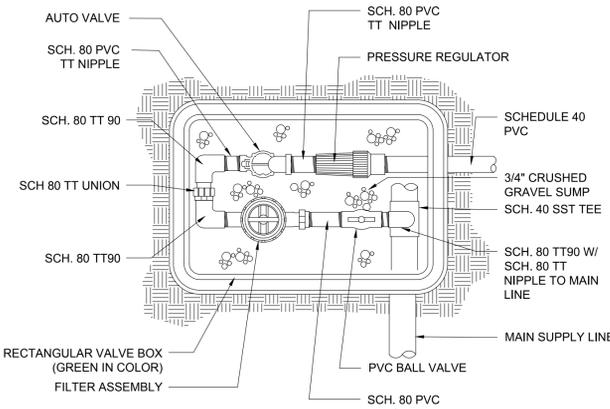
NOTE: SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCHEDULE 40 PVC 2 TIMES THE DIAMETER OF THE PIPE WITHIN. LATERAL LINE NOT TO BE PLACED DIRECTLY OVER MAINLINE.



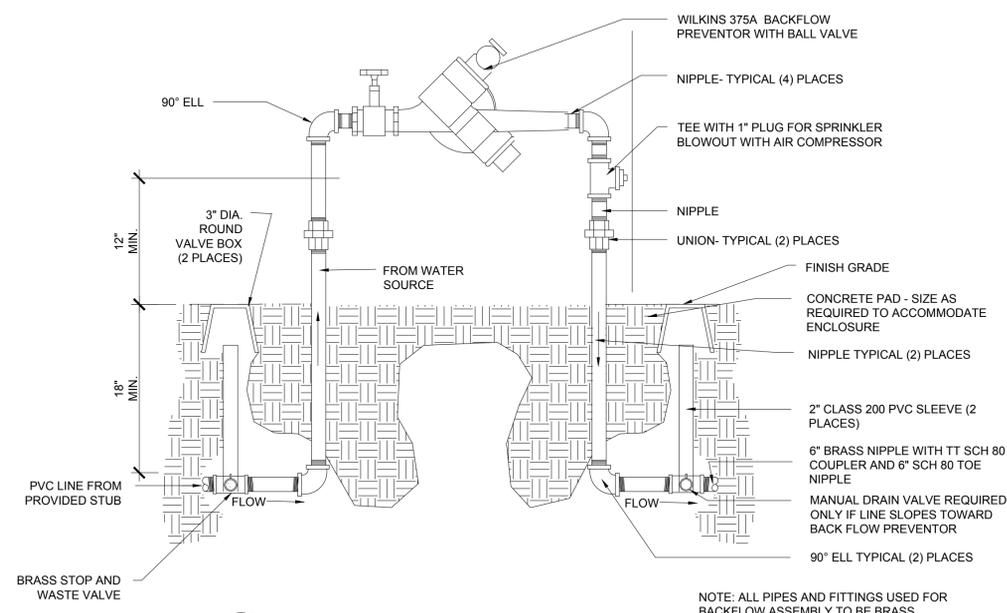
2 PIPE AND WIRE TRENCH N.T.S.



3 LAWN & ROOT ZONE VALVE ASSEMBLY N.T.S.



4 DRIP VALVE ASSEMBLY N.T.S.



5 BACKFLOW PREVENTOR N.T.S.

NOTE: ALL PIPES AND FITTINGS USED FOR BACKFLOW ASSEMBLY TO BE BRASS

FILENAME: C:\Projects\ward\Maxfield 3 Lot - s\ic\Design\Submittals\Spec&Details.dwg TAB: ir det PLOT DATE AND TIME: 8/11/2022 11:03 AM



MAXFIELD'S THREE
1338 East 700 South, Salt Lake City,
Salt Lake County, UT
IRRIGATION DETAILS

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
Planning Engineering Surveying

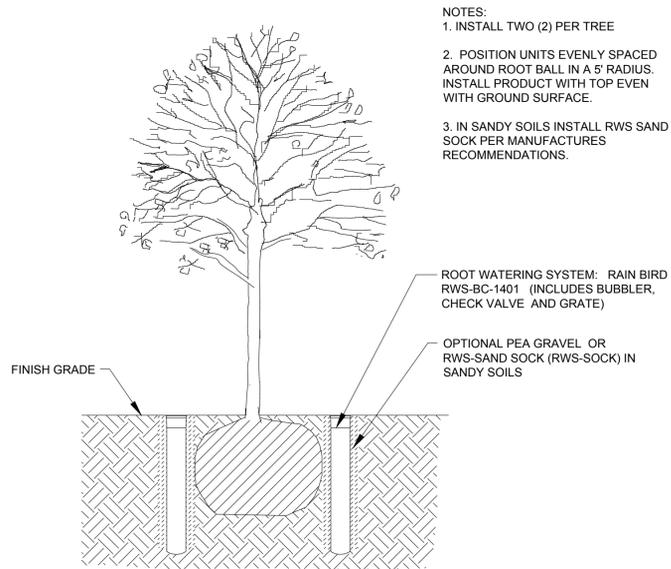


CLIENT: MARK MAXFIELD
DWG: SPEC&DETAILS.DWG
JOB No:
DATE: 8/10/2022
DO NOT SCALE THIS DRAWING. DIMENSIONS AND NOTES TAKE PRECEDENCE.
PRINT 20" x 34" (DIMENSIONS AND NOTES TAKE PRECEDENCE)

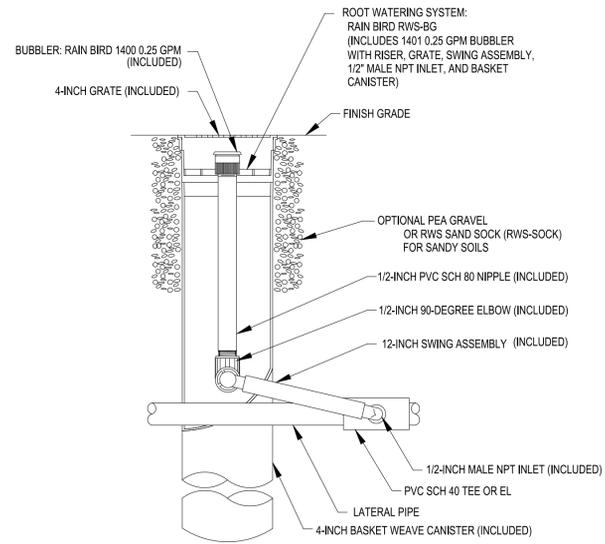
DRAWN BY: WARD
DESIGN BY: WARD
CHECKED BY: AJ
DATE: 8/10/2022

NO.	REVISIONS

SHEET
IR-200



- NOTES:
1. INSTALL TWO (2) PER TREE
 2. POSITION UNITS EVENLY SPACED AROUND ROOT BALL IN A 5' RADIUS. INSTALL PRODUCT WITH TOP EVEN WITH GROUND SURFACE.
 3. IN SANDY SOILS INSTALL RWS SAND SOCK PER MANUFACTURES RECOMMENDATIONS.



1 TREE ROOT ZONE SYSTEM

N.T.S.

MAXFIELD'S THREE
 1338 East 700 South, Salt Lake City,
 Salt Lake County, UT
DEEP ROOT ZONE DETAILS

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
 Planning Engineering Surveying
 PH: 801-487-8040



CLIENT: MARK MAXFIELD
 DWG: SPEC&DETAILS.DWG
 JOB No:
 DATE: 08/04/2022
DO NOT SCALE THIS DRAWING. DRAWING IS REDUCED IF LESS THAN 24" x 34" DIMENSIONS AND NOTES TAKE PRECEDENCE.

DRAWN BY: WARD
 DESIGN BY: WARD
 CHECKED BY: AJ
 DATE: 08/04/2022

REVISIONS

SHEET
IR-210

Improvements

Date: February 10, 2023

Description	Total
ROW Improvements	
Utility Connections	\$ 9,000.00
Utility (W/I Prop Boundary)	\$ 30,030.00
Infrastructure (W/I Prop Boundary)	\$ 40,420.00
Total Cost =	\$ 79,450.00

Utility Connections	Qty	Unit	Price/Unit	Total
*Sewer Line Connection	1	EA	5,000.00	\$ 5,000.00
*Water Line Connection	1	EA	\$ 4,000.00	\$ 4,000.00
Total =				\$ 9,000.00

Utility (W/I Prop Boundary)	Qty	Unit	Price/Unit	Total
6" Sewer Line	213	LF	\$ 60.00	\$ 12,780.00
2" Water Line	290	LF	\$ 25.00	\$ 7,250.00
Hydrant Assembly	1	EA	\$ 3,000.00	\$ 3,000.00
Water Lateral Connection w/ Meter	2	EA	\$ 3,500.00	\$ 7,000.00
Total =				\$ 30,030.00

Infrastructure (W/I Prop Boundary)	Qty	Unit	Price/Unit	Total
Concrete Drive	4,042	SF	\$ 10.00	\$ 40,420.00
Total =				\$ 40,420.00

Project Description

This project includes the subdividing of an existing lot located at 1338 East 700 South in Salt Lake City. This subdivision would maintain the existing home but would add the additional lots to the rear of the existing home. These new lots would receive access through an easement along the east side of the existing home from 700 South.

How does this meet the requirements of Section 21A.55.010 of the Planned Development Ordinance?

The Planned Development Ordinance asks that one or more of the following objectives be met.

- A. Open Space and Natural Lands
- B. Historic Preservation
- C. Housing
- D. Mobility
- E. Sustainability
- F. Master Plan Implementation.

Of these objectives the Historic Preservation Objective is the most applicable to the project. This project sits within the Salt Lake City East Bench Area Master Plan. One of the items in this Master Plan is the preservation of neighborhoods along the East Bench. Plan Salt Lake emphasizes the important role of these neighborhoods have on the City. This neighborhood sits also within the Bennion-Douglas National Historic District. The houses along 700 South are a good representation of the homes construction in the early to mid 1900's. With the project's intent to maintain the existing home (see image below) and implement design characteristics for the new structures that would coordinate with the existing structures within the area. It is also the intent of the project to maintain the historic views of the cemetery.



Picture 1: Existing Home at 1338 East 700 South (Tudor Style)



Picture 2: View of Cemetery Property East of Project

How does your project meet the requirements of Section 21A.55.050 Standards of Planned Development?

This Planned Development Ordinance requires compliance to each of the following:

- A. Planned Development Objectives
- B. Master Planned Compatibility
- C. Design and Compatibility
- D. Landscaping
- E. Mobility
- F. Existing Site Features
- G. Utilities

A description of how these are being met is below.

Planned Development Objectives

As discussed in the section above addressing the requirements of 21A.55.010, this project meets requirements for Historic Preservation. It sits within Bennion-Douglass National Historic District, the home is being maintained, and architectural features will be added to the new homes to coordinate with the surrounding residences .

Master Planned Compatibility

The East Bench Area Master Plan emphasizes Community Preservation in both historic preservation and community character. The intent of this project is to maintain both. With the preservation of the existing home the views from the street will remain unchanged. The East Bench Master Plan has multiple initiatives. Initiative N1.1 is “Preserve and Enhance Neighborhood Identity”. This Project would meet the goals of this Initiative because the Existing Residential Structure would remain.

Design and Compatibility

This project includes a proposed duplex to be constructed on the new lots to be created at the rear of the property, providing more of a single family feel rather than that of a townhome or apartment project. This coincides with the Single Family nature of the neighborhood. The property is currently zoned as R2 Single and Two-Family Residential District. There is no intent to change the overlying zoning of the property. This will help ensure the nature of the neighborhood is maintained. The zoning covers massing, setbacks, heights, etc.

Submitted with this application is a site plan that shows the building envelope for the new lots, the utilities, lighting, and landscape design.

Landscaping

This project is maintaining the existing mature tree along periphery and the interior of the site. It is also removing the dead tree on the property. A landscape plan has been prepared that takes into account the scale and nature of the development while following the applicable SLC Landscape requirements.

Mobility

This project introduces 2 additional lots to the existing lot at 1338 East 700 South. These lots will be accessed by means of a shared driveway from 700 South with a shared access agreement. The addition of 2 lots onto 700 South will have a minimal impact to the safety purpose or character of the street. The driveway is designed according to emergency access requirements. The furthest point from the public street is less than 150 feet.

Existing Site Features

This project will maintain the existing site feature on the site. This is the existing home that will sit on the front lot of the proposed development.

Utilities

There is an existing 60-inch storm drain line that runs under the existing garage and the existing driveway. This line will be maintained. A new water service and sewer service will be provided to new proposed lots within this development. The addition of the proposed lots will have minimal effect on the overall capacities within the system.

Long Term Maintenance:

All properties have access to and split the maintenance costs of the easement.