

9th & 9th Townhomes

PRELIMINARY PLAT 'NOT TO BE RECORDED'

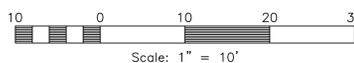
PART OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 1 EAST, S.L.B.&M., U.S. SURVEY
SALT LAKE CITY, SALT LAKE COUNTY, UTAH
MAY, 2023



VICINITY MAP
SCALE: NONE

LEGEND

- = STREET MONUMENT
- = BOUNDARY LINE
- = LOT LINE
- = ADJOINING PROPERTY
- = EASEMENTS
- = SECTION TIE LINE
- = PROPOSED FENCE LINE
- = CROSS ACCESS EASEMENT



NARRATIVE

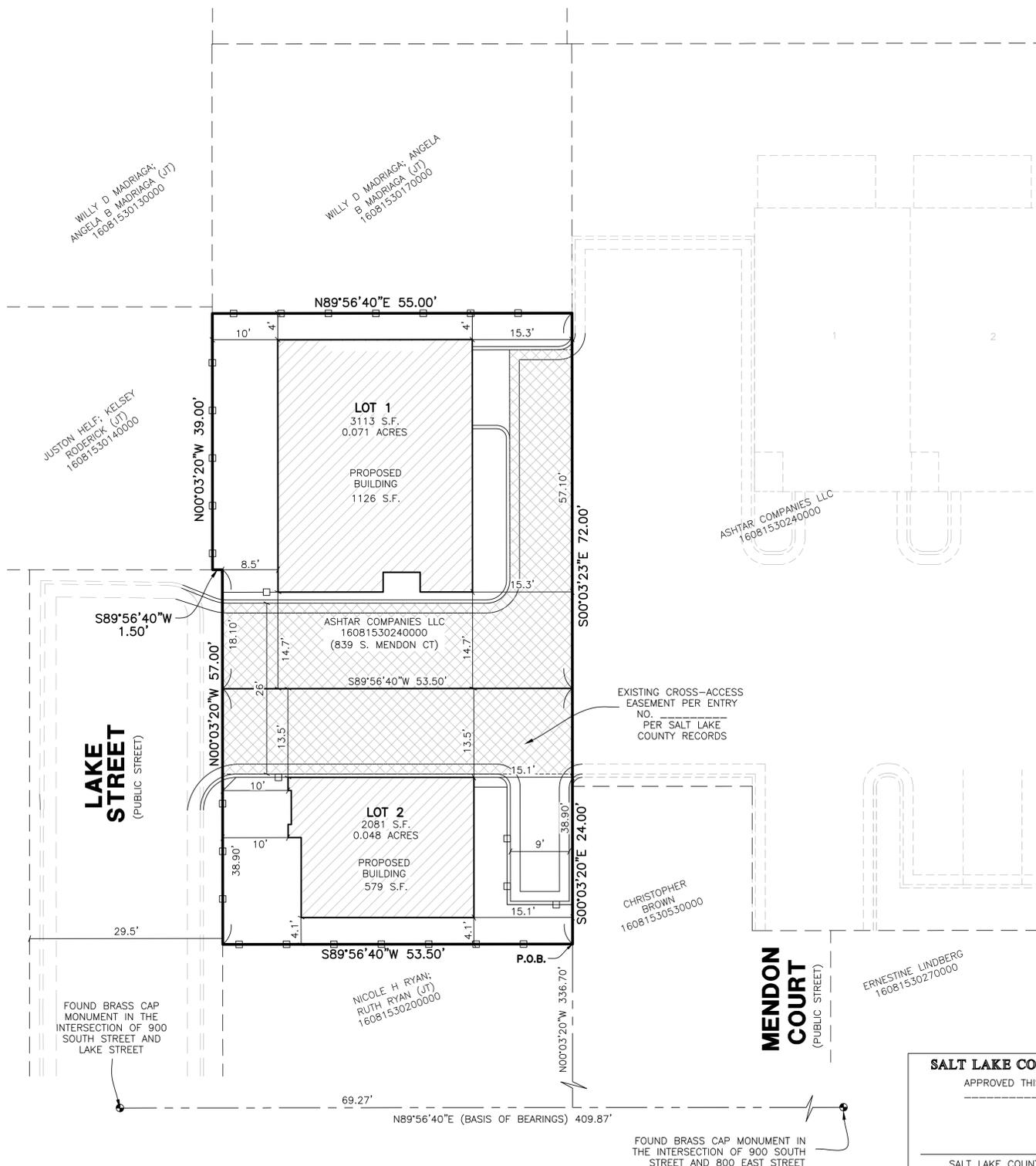
THE PURPOSE OF THIS PLAT IS TO ESTABLISH THE PROPERTY BOUNDARY ON THE GROUND FOR FUTURE DEVELOPMENT. THE BOUNDARY WAS DETERMINED BY DEED USING THE ATLAS PLAT AND THE FOUND MONUMENTS SHOWN HEREON. ALL BOUNDARY AND LOT CORNERS TO BE SET WITH A 5/8" X 24" REBAR AND RED PLASTIC CAP STAMPED "REEVE & ASSOCIATES".

ARCHITECT

JZW Architects
Gary Knapp
45 E. Center St.
Ste. 202
N. Salt Lake, Ut. 84054
(801) 801-936-1343

DEVELOPER

Aspen Contracting, LLC
Michael Colligan
5306 W. Woodsmere Lane
Herriman, Ut. 84054
(801) 573-2170



SALT LAKE COUNTY HEALTH DEPT.
APPROVED THIS _____ DAY OF _____, 20____.
SALT LAKE COUNTY HEALTH DEPARTMENT

CITY ENGINEERING DIVISION
I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE.
CITY ENGINEER _____ DATE _____
CITY SURVEYOR _____ DATE _____

CITY PLANNING DIRECTOR
APPROVED THIS _____ DAY OF _____, 20____ BY SALT LAKE CITY PLANNING COMMISSION.
PLANNING DIRECTOR _____ DATE _____

CITY PUBLIC UTILITIES DEPT.
APPROVED AS TO SANITARY SEWER AND WATER DETAILS THIS _____ DAY OF _____, 20____.
SALT LAKE CITY PUBLIC UTILITIES DIRECTOR _____

CITY ATTORNEY
APPROVED THIS _____ DAY OF _____, 20____ BY SALT LAKE CITY ATTORNEY.
SALT LAKE CITY ATTORNEY _____

CITY APPROVAL
PRESENTED TO THE MAYOR OF SALT LAKE CITY, THIS _____ DAY OF _____, 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.
ATTEST: CLERK _____ MAYOR _____

SURVEYOR'S CERTIFICATE
I, **TREVOR J. HATCH**, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **9TH & 9TH TOWNHOMES** IN **SALT LAKE CITY, SALT LAKE COUNTY, UTAH**, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **SALT LAKE COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **SALT LAKE CITY, SALT LAKE COUNTY** CONCERNING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.
SIGNED THIS _____ DAY OF _____, 20____.

9031945
UTAH LICENSE NUMBER **TREVOR J. HATCH**

OWNERS DEDICATION AND CERTIFICATION
KNOWN TO ALL MEN BY THESE PRESENTS THAT I/WE, THE UNDERSIGNED OWNER(S) OF ALL THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED, HEREAFTER KNOWN AS THE **9TH & 9TH TOWNHOMES**, DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. OWNER(S) HEREBY CONSENT(S) AND GIVES APPROVAL TO RECORDING OF THIS PLAT FOR ALL PURPOSES SHOWN HEREIN.
IN WITNESS WHEREOF I/WE HAVE HEREUNTO SET OUR HAND(S) THIS _____ DAY OF _____, 20____.

ACKNOWLEDGMENT
STATE OF UTAH)ss.
COUNTY OF _____)
ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND) _____ SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME _____ SIGNED IT FREELY, VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.
COMMISSION EXPIRES _____ NOTARY PUBLIC _____

ACKNOWLEDGMENT
STATE OF UTAH)ss.
COUNTY OF _____)
ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND) _____ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ AND _____ OF SAID CORPORATION AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.
COMMISSION EXPIRES _____ NOTARY PUBLIC _____

BOUNDARY DESCRIPTION
BEING PART OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT, SAID POINT BEING 69.27 FEET NORTH 89°56'40" EAST AND 336.70 FEET N00°03'20"W 336.70 FEET FROM FOUND BRASS CAP CENTERLINE MONUMENT IN THE INTERSECTION OF 900 SOUTH STREET AND LAKE STREET (SAID MONUMENT BEING N89°56'40"E 409.87 FEET FROM A FOUND BRASS CAP MONUMENT IN THE INTERSECTION OF 900 SOUTH STREET AND 800 EAST STREET); THENCE SOUTH 89°56'40" WEST 53.50 FEET; THENCE NORTH 00°03'20" WEST 57.00 FEET; THENCE SOUTH 89°56'40" WEST 1.50 FEET; THENCE NORTH 00°03'20" WEST 39.00 FEET; THENCE NORTH 89°56'40" EAST 55.00 FEET; THENCE SOUTH 00°03'23" EAST 72.00 FEET; THENCE SOUTH 00°03'20" EAST 24.00 FEET TO THE POINT OF BEGINNING.
CONTAINING 5,194 SQUARE FEET OR 0.119 ACRES.

Project Info.
Surveyor: T. HATCH
Designer: E. ROCHE
Begin Date: 4-3-23
Name: 9TH & 9TH TOWNHOMES
Number: 6676-63
Revision: _____
Scale: 1"=10'

5160 S 1500 W, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-associates.com

Salt Lake County Recorder
RECORDED _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____
DATE _____ TIME _____ BOOK _____ PAGE _____
FEE _____
SALT LAKE COUNTY RECORDER

KEYED NOTES	
1	WOOD FENCE AROUND PROPERTY
2	THIS AREA HAS BEEN APPROVED AS PARKING STALLS IN THE FRONT LANDSCAPE BUFFER AS PER CONDITION 'S' OF THE PLNPCM2021-01078.
3	THIS AREA HAS BEEN APPROVED AS HARD SURFACE IN THE LANDSCAPE BUFFER AS PER PLNPCM2021-01078. THE NON-HARD SURFACE AREA IN THE LANDSCAPE BUFFER MUST MEET THE LANDSCAPING REQUIREMENTS OF 21A.48.080.
4	GLASS WINDOW WELL COVER
5	LOCATION OF AIR CONDITIONER.

GENERAL NOTES - SITE PLAN	
A	SEE GENERAL PROJECT NOTES, ROOF PLAN AND/OR FRAMING PLAN FOR ROOF PITCHES, ROOF BEARING AND STRUCTURAL REQUIREMENTS.
B	ALL ROOF DRAINAGE SHALL BE DETAINED ON SITE OR ROUTED THROUGH ON-SITE DRAINAGE FACILITIES.
C	INDIVIDUAL RECYCLE AND TRASH BINS WILL BE COLLECTED FROM EACH UNIT ON A WEEKLY BASIS FROM ACE RECYCLING AND DISPOSAL.

ZONE: SR-3 (843 S LAKE ST) - MAINLY FOR SINGLE FAMILY - SEE TABLE. 21A.24.100: SR-3 SPECIAL DEVELOPMENT PATTERN RESIDENTIAL DISTRICT:

- MINIMUM LOT SIZE = 2,000 SF
- MINIMUM LOT WIDTH = 40'
- MAX BUILDING HEIGHT WITH PITCHED ROOFS = 28'-0" MEASURED TO THE RIDGE OF THE ROOF. OR THE AVERAGE HEIGHT OF OTHER PRINCIPAL BUILDINGS ON THE BLOCK FACE.
- MAX BUILDING HEIGHT OF A FLAT ROOF DESIGN = 20'-0"
- FRONT YARD - 10'-0"
- INTERIOR SIDE YARD - 4'-0"
- REAR YARD - 15'-0"
- LANDSCAPE PLAN IS REQUIRED

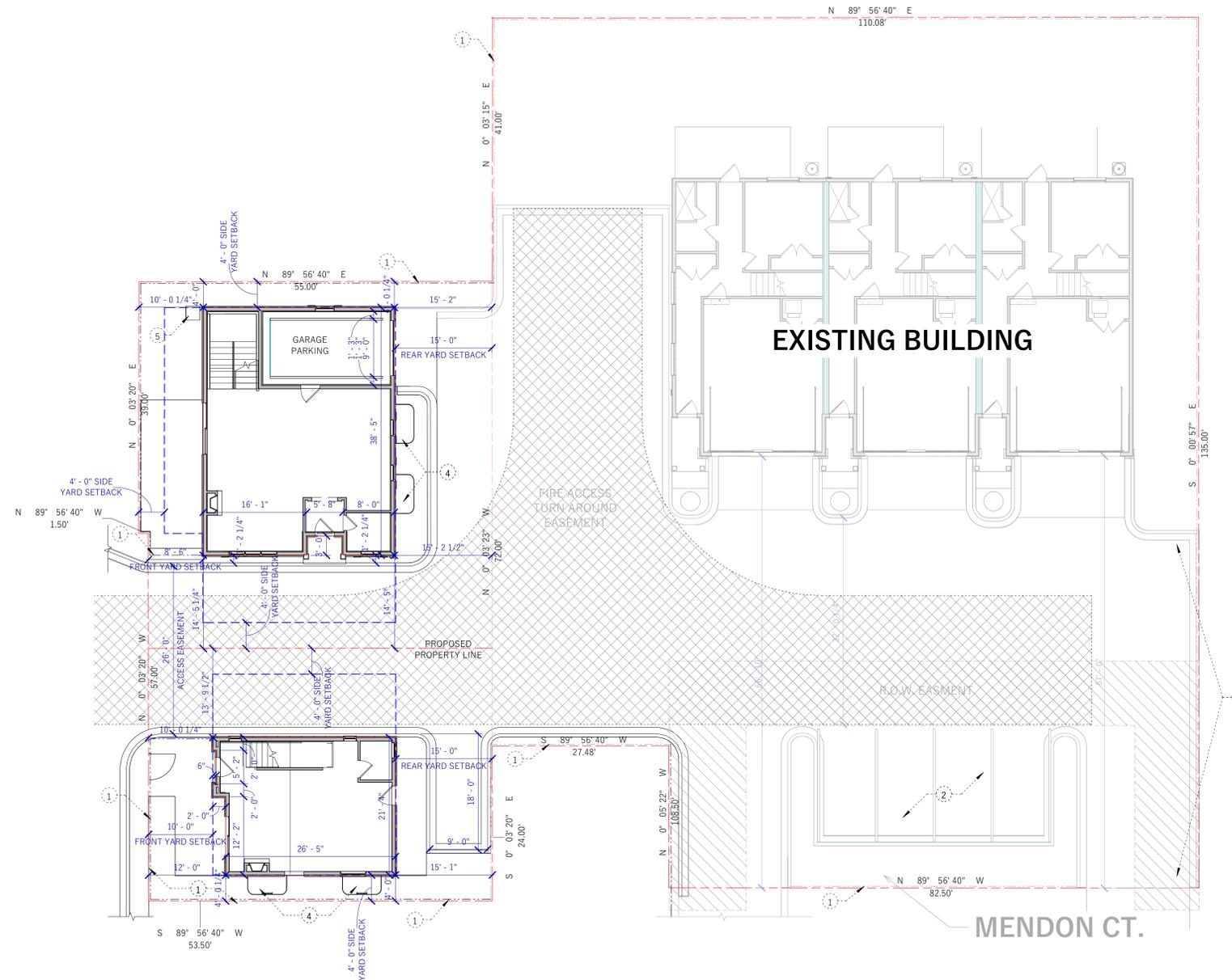
PROJECT BREAKDOWN:

SOUTH RESIDENCE
 SITE AREA: 2,093 SF (0.048 ACRES)
 BUILDING COVERAGE: 533 SF (25% OF SITE)
 OPEN AREA: 1,560 SF (75% OF TOTAL SF)

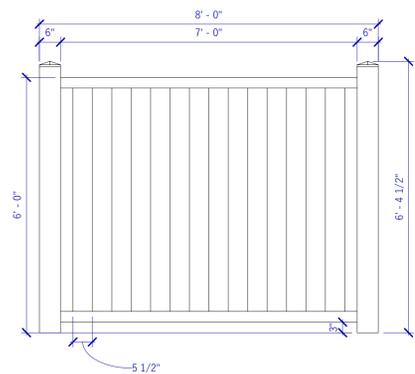
NORTH RESIDENCE
 SITE AREA: 3,098 SF (0.048 ACRES)
 BUILDING COVERAGE: 1,126 SF (36% OF SITE)
 OPEN AREA: 1,972 SF (64% OF TOTAL SF)

PARKING CALCULATIONS

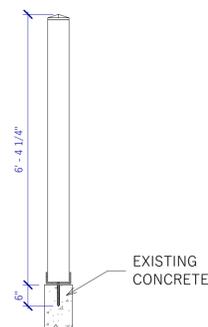
TOTAL PARKING REQUIRED 2 STALLS
 TOTAL PARKING PROVIDED 2 STALLS



1 SITE PLAN
3/32" = 1'-0"



2 WOOD FENCE DETAIL
1/2" = 1'-0"

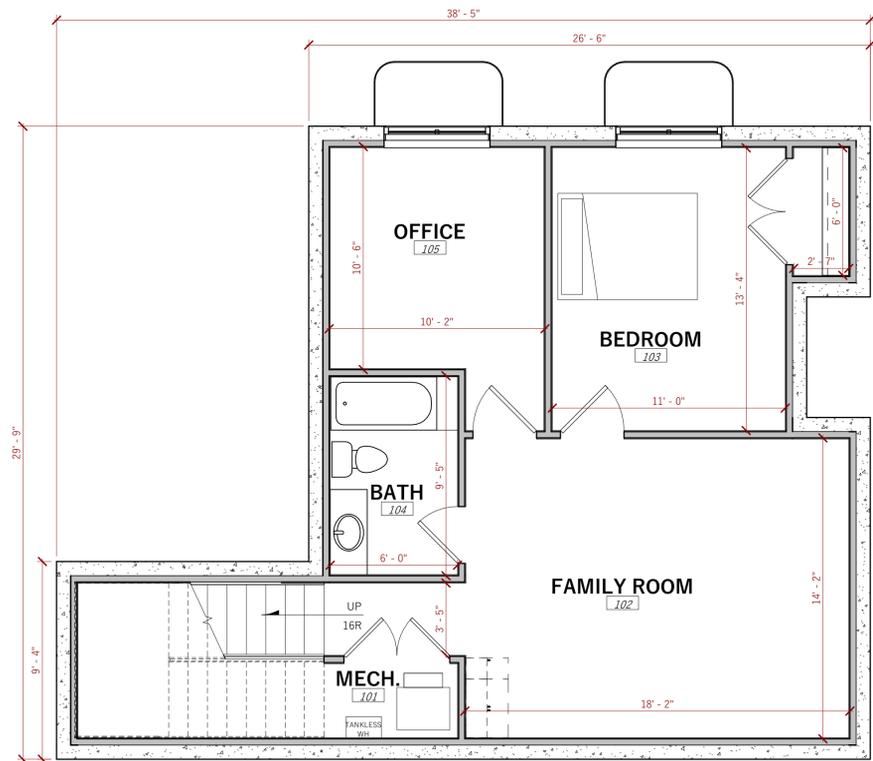


3 FENCE POST CONNECTION DETAIL
1/2" = 1'-0"

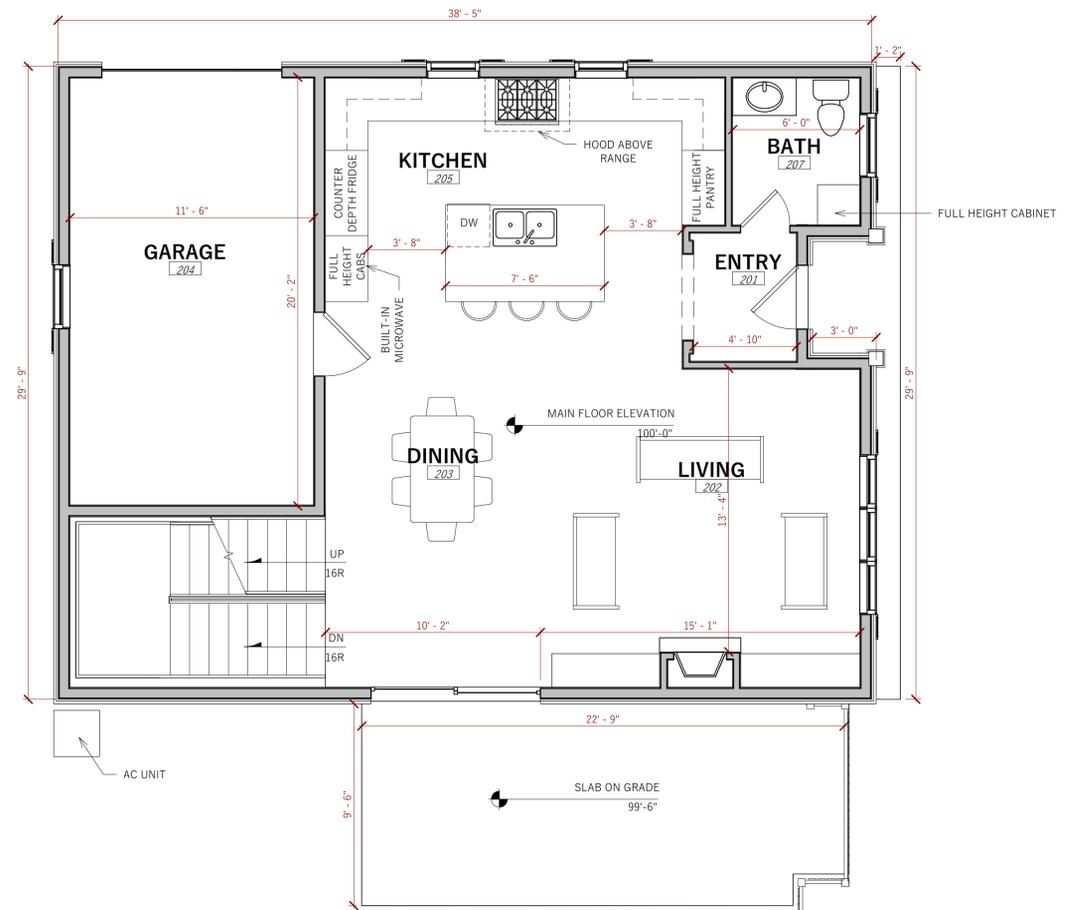
LINETYPE LEGEND

- PROPERTY LINE
- - - SITE SETBACK/EASEMENT LINES
- SITE FEATURES
- ROOF FEATURES

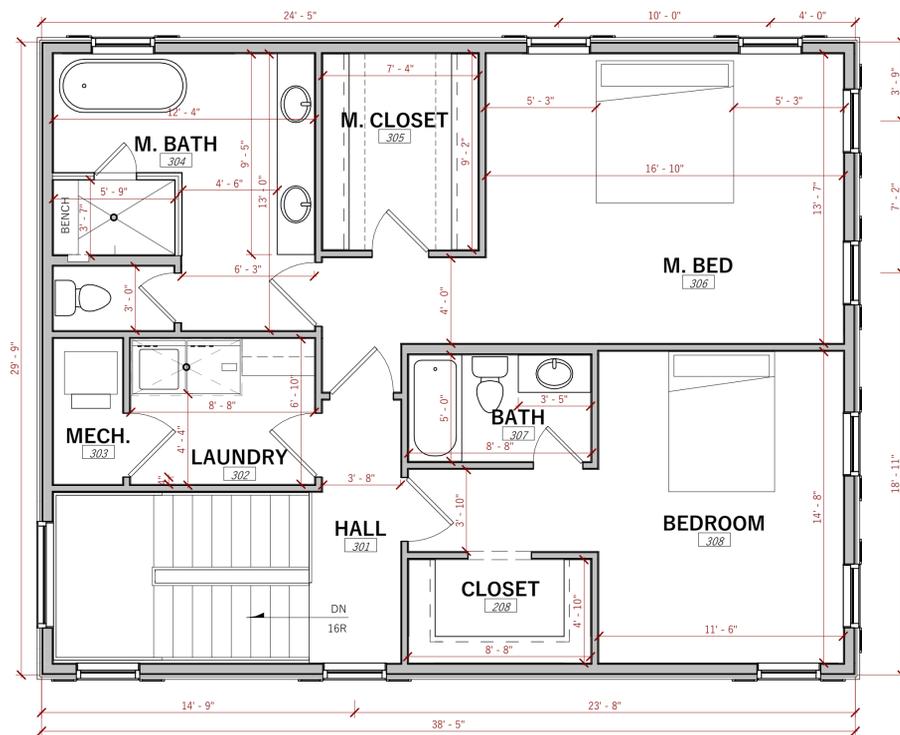




1
A1.1
BASEMENT FLOOR PLAN
1/4" = 1'-0"



2
A1.1
MAIN FLOOR PLAN
1/4" = 1'-0"



3
A1.1
2ND FLOOR PLAN
1/4" = 1'-0"

TYPE OF CONSTRUCTION:
RESIDENTIAL

PRIMARY EXTERIOR MATERIALS:
- BRICK
- CONTRASTING SHAKE SIDING
- METAL (ROOF)

TOTAL SQUARE FOOTAGE:
2,862 SF

PROJECT NUMBER
21043

ISSUE DATE:
MAY 12, 2023

REVISIONS:

No.	Date	Description

CONSULTANT

LAKE STREET NORTH RESIDENCE
839 S MENDON CR AND 843 S LAKE ST
SALT LAKE CITY, UT 84105

ELEVATIONS

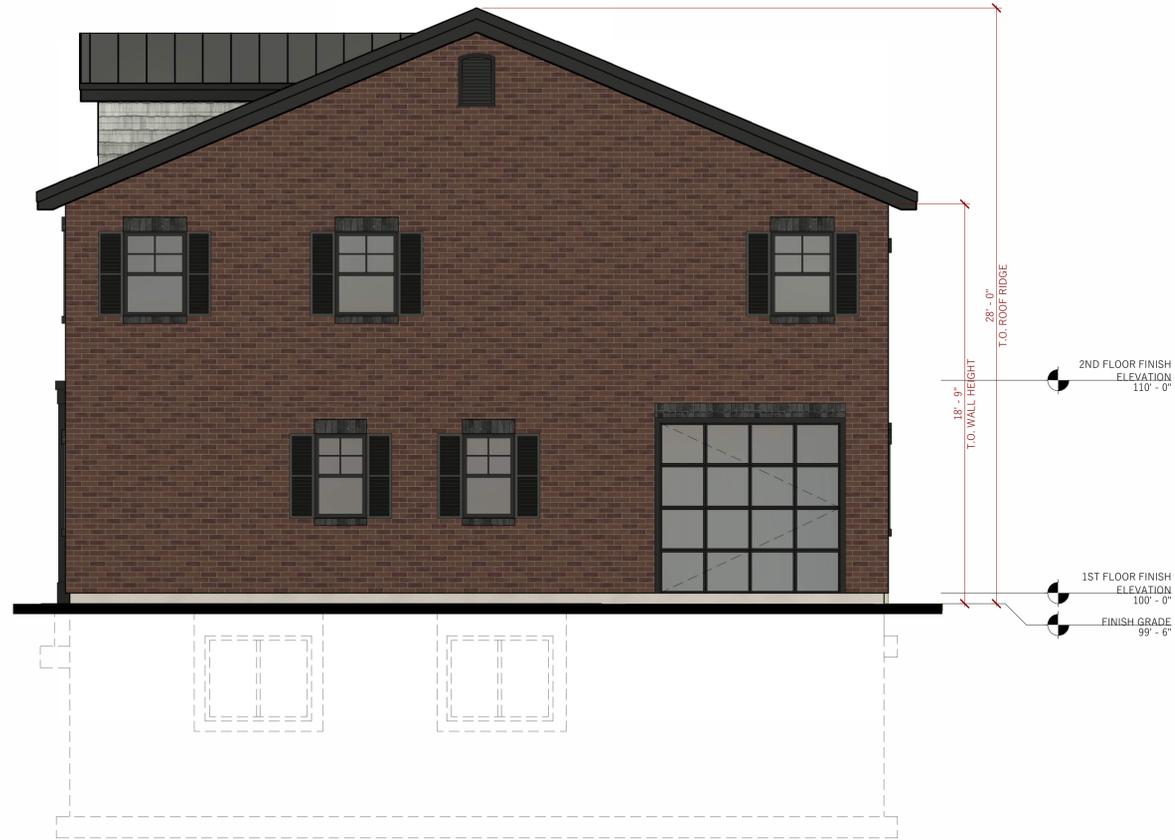
A2.1



2
A2.1 FRONT PERSPECTIVE

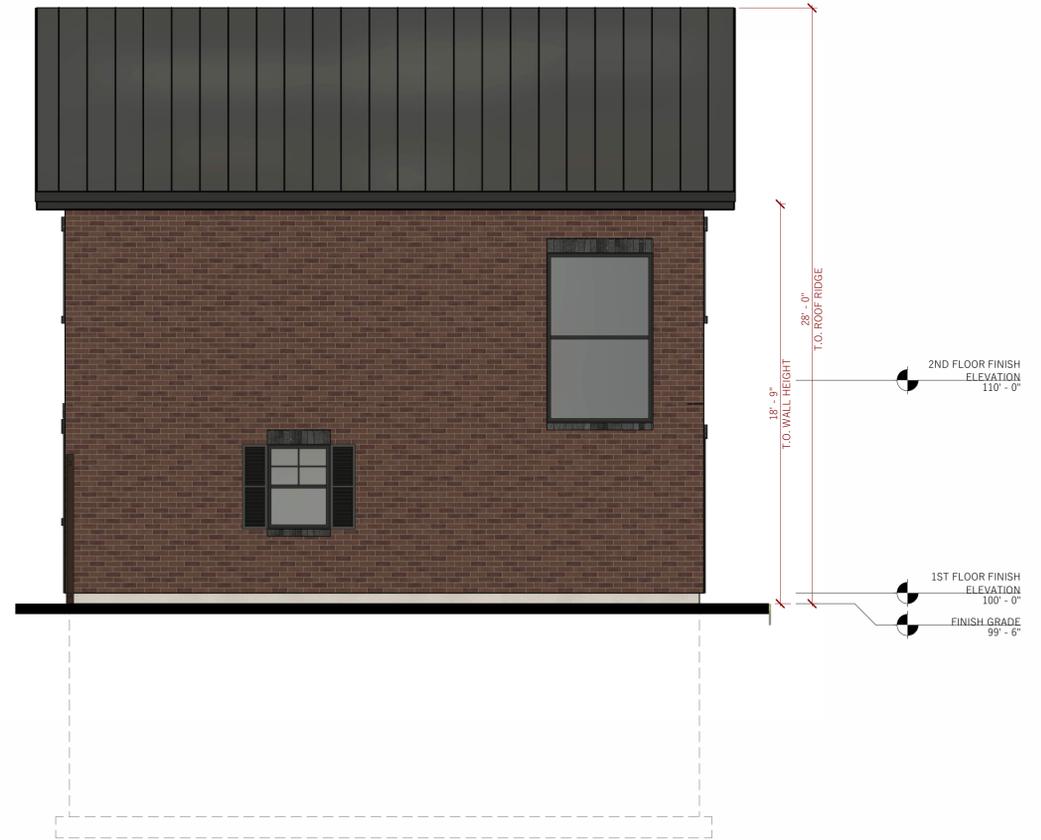


1
A2.1 SOUTH ELEVATION
1/4" = 1'-0"



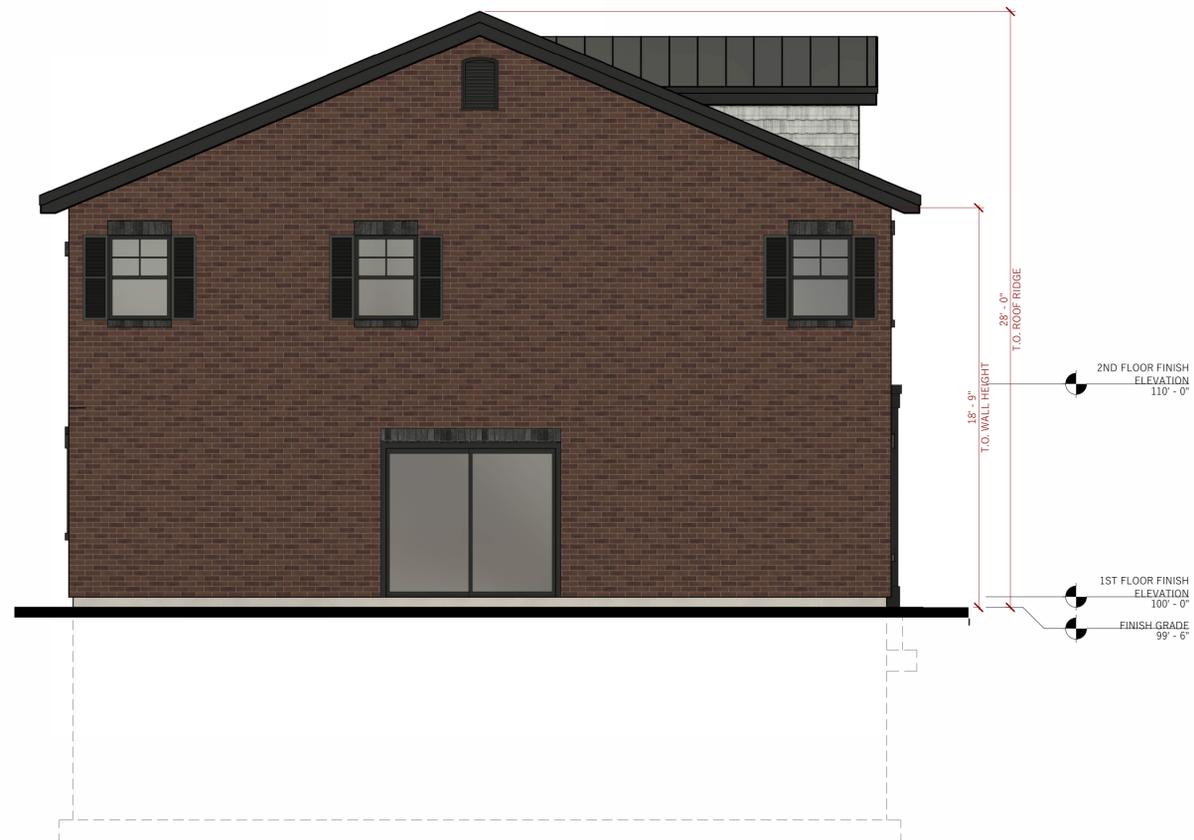
1
A2.2

EAST ELEVATION
1/4" = 1'-0"



2
A2.2

NORTH ELEVATION
1/4" = 1'-0"



3
A2.2

WEST ELEVATION
1/4" = 1'-0"

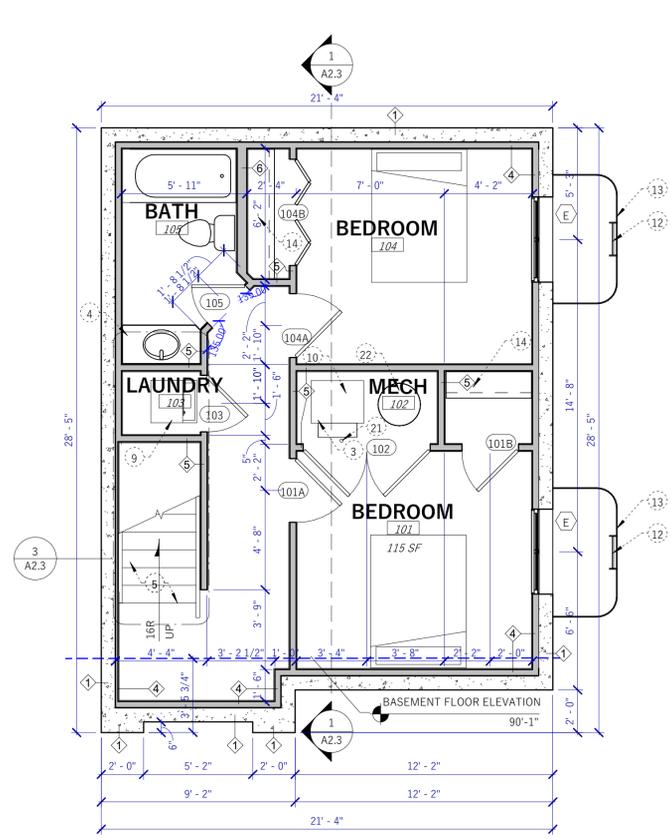
No.	Date	Description

KEYED NOTES	
1	DASHED LINES REPRESENT BEAMS FOR STICK FRAME ROOF ABOVE
2	HIDDEN DOOR IN PANELING
3	PROVIDE GAS HOOKUPS FOR MECHANICAL EQUIPMENT AS PER MANUFACTURERS SPECIFICATIONS
4	BUILT-IN MILLWORK AS INDICATED
5	FRAMED STAIRS WITH (3) 2X12 D.F. #2 STRINGERS. STAIR SYSTEM TO HAVE 10" MIN TREAD AND 7-1/2" MAX RISER
6	FULL HEIGHT CABINETRY
7	BUILT IN KITCHEN ISLAND
8	FULL WEATHERSTRIPPED EXTERIOR DOOR UNIT; SEE DOOR SCHEDULE
9	PROVIDE HOOKUPS AND FLOOR DRAIN FOR WASHER/DRYER LOCATION. PROVIDE MANUFACTURED CURB & DRAIN PAN

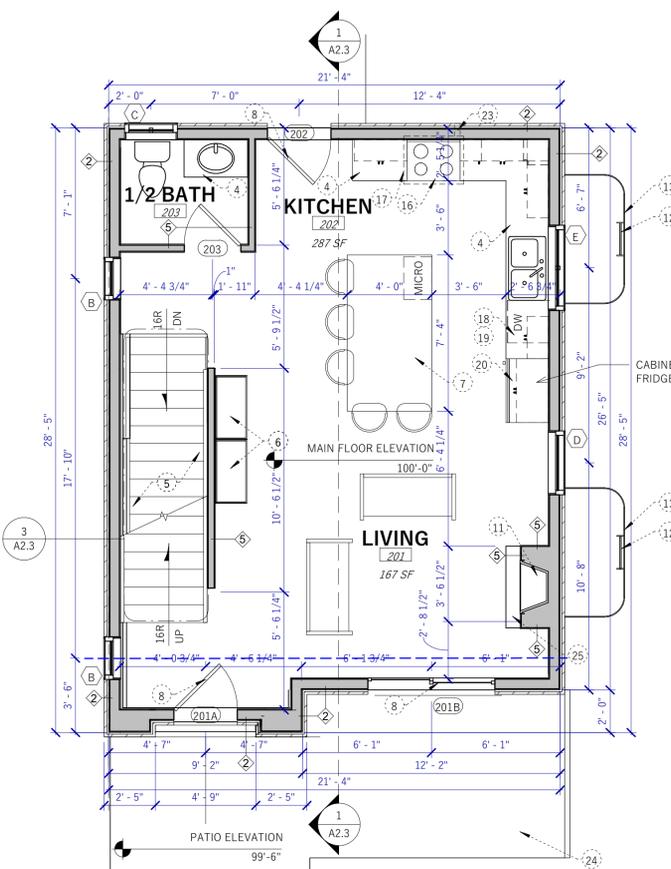
KEYED NOTES	
10	FURNACE TO BE 90% EFFICIENCY OR HIGHER SO THAT THE FURNACE DOES NOT NEED A FLUE THROUGH THE ROOF AND CAN BE VENTED OUT THE SIDE OF THE BUILDING.
11	FIRE PLACE EXHAUST TO VENT THROUGH THE ROOF. SEE ROOF PLAN FOR EXHAUST LOCATION.
12	WINDOW WELL LADDER AS PER MANUFACTURER SPECIFICATION.
13	WINDOW WELLS AS PER BASEMENT FLOOR PLAN AND GENERAL NOTES. WELL TO COMPLY WITH ALL I.R.C. REQUIREMENTS. WELL SYSTEM AND FINISH TO BE SELECTED BY OWNER. PROVIDE GRATE OR OTHER APPROVED WINDOW WELL COVER OVER ALL WINDOW WELLS.
14	INSTALL ROD AND SHELF AT CLOSET
15	SHOWER WITH GLASS ENCLOSURE. GLASS TO BE TEMPERED PER I.R.C.
16	4 BURNER STOVE WITH MARCHING HOOD ABOVE.

KEYED NOTES	
17	PROVIDE MAKE-UP AIR FOR RANGE HOODS EXHAUSTING IN EXCESS OF 400 CFM.
18	BUILT-IN DISHWASHER; MODEL AS PER OWNER
19	WATER HAMMER ARRESTORS ARE REQUIRED AT QUICK-CLOSING VALVES AS PER IRC R2903.5. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
20	CABINET DEPTH REFRIGERATOR/FREEZER; MODEL AS PER OWNER.
21	PROVIDE CONDENSATE DRAIN FOR FURNACE AS INDICATED. DRAIN WILL TERMINATE AT FLOOR DRAIN AS PER IRC M1411.3
22	HIGH-EFFICIENCY WATER HEATER WITH PAN AND DRAIN TO ALLOW EXHAUST VENT TO VENT OUR THE SIDE WALL
23	DASHED LINES REPRESENT HOOD EXHAUST TO EXTERIOR WALL AS INDICATED AS PER IRC M1503
24	SLAB ON GRADE
25	TV ABOVE FIRE PLACE

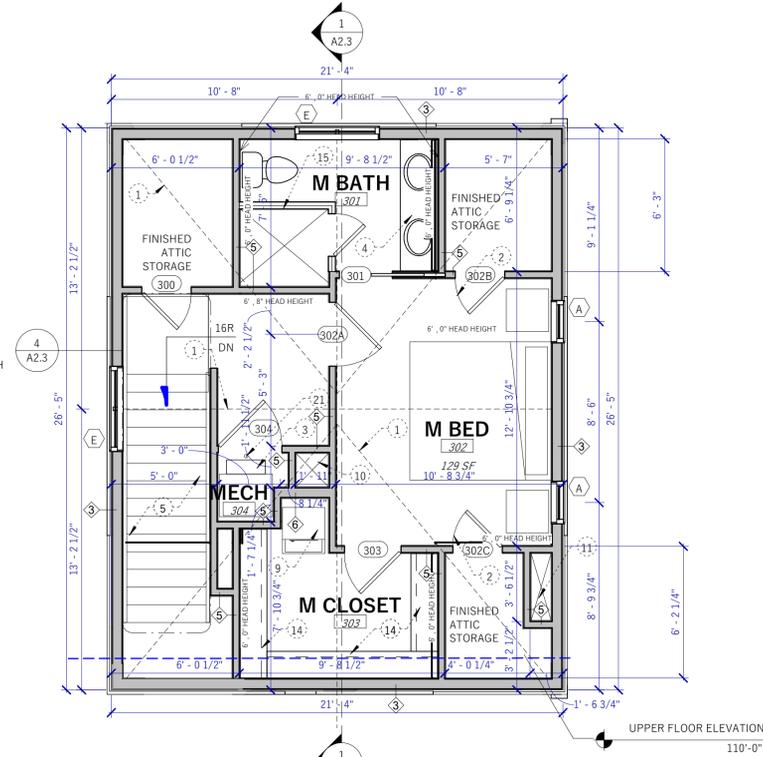
GENERAL NOTES - PLAN	
A	SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS.
B	DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTER OF FRAMED OPENING UNLESS NOTED OTHERWISE.
C	SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.
D	PROVIDE SOUND INSULATION IN ALL WALLS AROUND BATHROOMS.
E	COORDINATE ALL WINDOW HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND WINDOW SCHEDULE.
F	ALL FOUNDATION WALLS TO BE 6" MIN. ABOVE FINISH GRADE



SINGLE UNIT BASEMENT FLOOR PLAN
1/4" = 1'-0"



SINGLE UNIT 1ST FLOOR PLAN
1/4" = 1'-0"



SINGLE UNIT 2ND FLOOR PLAN
1/4" = 1'-0"

WALL TYPE SCHEDULE

- 1 SEE DETAIL 1/A4.1
- 2 SEE DETAIL 2/A4.1
- 3 SEE DETAIL 3/A4.1
- 4 SEE DETAIL 4/A4.1
- 5 SEE DETAIL 5/A4.1
- 6 SEE DETAIL 6/A4.1

GENERAL NOTES - ELEVATION

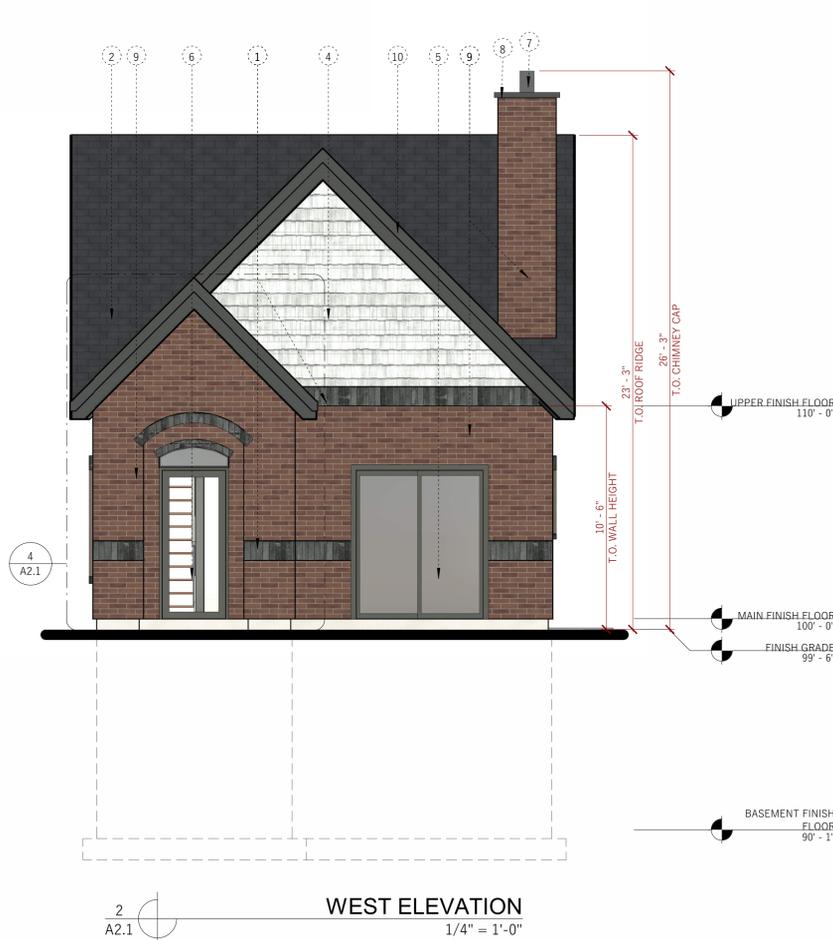
- A SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS.
- B COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
- C OWNER TO SELECT SIDING COLOR AND TEXTURE. INSTALL AS PER ELEVATIONS.
- D FINISH ROOF TO BE ASPHALT SHINGLES. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
- E PROVIDE RAIN GUTTERS AND DOWN SPOUTS AS REQUIRED.
- F COORDINATE ALL BEARING ELEVATIONS WITH ROOF PLAN. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL FRAMING REQUIREMENTS.
- G OWNER TO SELECT BRICK FOR BRICK VENEER. INSTALL AS PER ELEVATIONS, AND AS PER I.B.C. SEE GENERAL MASONRY NOTES.
- H SEE ROOF PLAN FOR ALL ROOF SLOPES.

KEYED NOTES

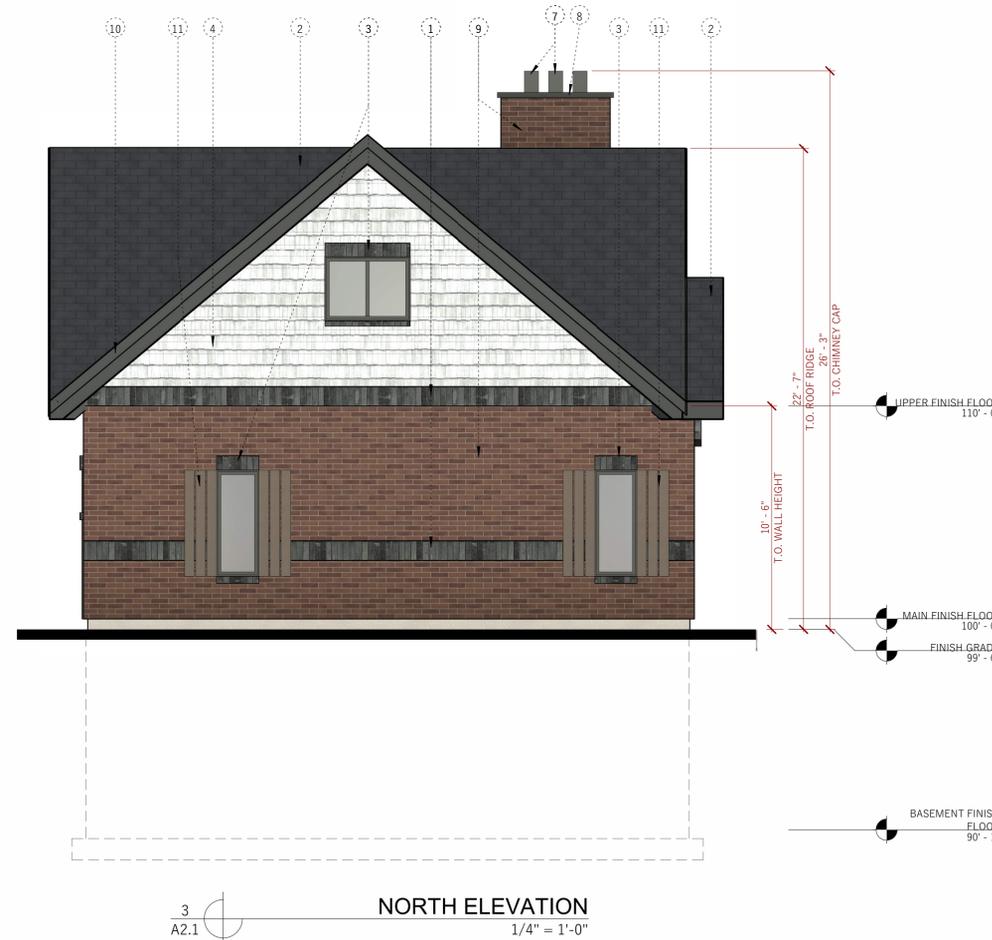
- 1 BRICK SOLDIER COURSE; OWNER TO SELECT FINISH
- 2 ASPHALT SHINGLES; OWNER TO SELECT FINISH
- 3 BRICK SOLDIER COURSE WINDOW TRIM; OWNER TO SELECT FINISH
- 4 WOODEN SHAKES; OWNER TO SELECT FINISH
- 5 FULL WEATHERSTRIPPED EXTERIOR DOOR UNIT; SEE DOOR SCHEDULE
- 6 FRONT ENTRY DOOR UNIT AS PER OWNER; SEE DOOR SCHEDULE ON A3.1
- 7 FIRE PLACE EXHAUST VENT TO VENT THROUGH ROOF AS INDICATED
- 8 CHIMNEY CAP, COORDINATE WITH OWNER.
- 9 RUNNING BOND BRICK; OWNER TO SELECT COLOR
- 10 FASCIA BOARD; OWNER TO SELECT FINISH
- 11 WOOD SHUTTERS; OWNER TO SELECT FINISH



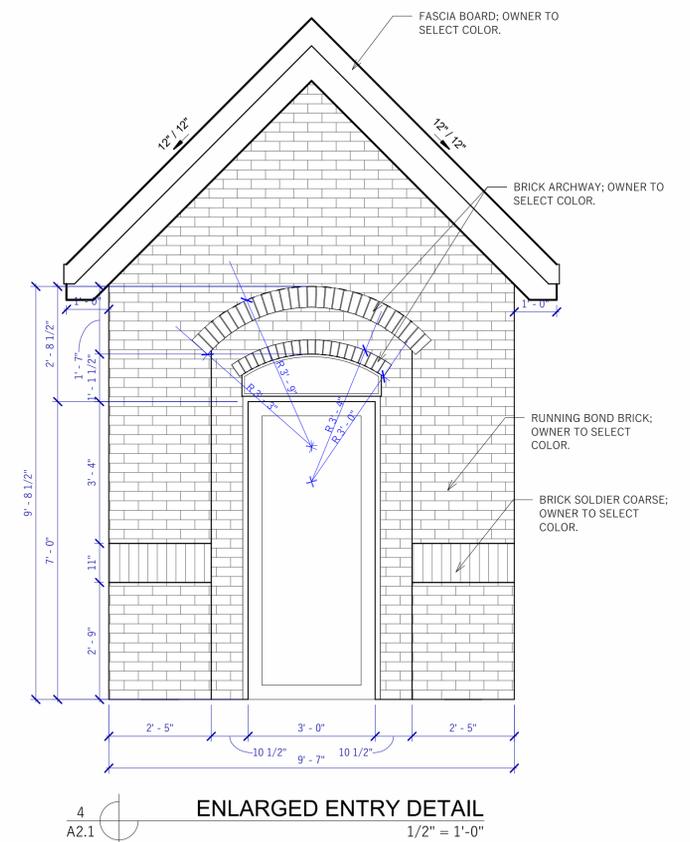
1
A2.1 FRONT PERSPECTIVE



2
A2.1 WEST ELEVATION
1/4" = 1'-0"



3
A2.1 NORTH ELEVATION
1/4" = 1'-0"



4
A2.1 ENLARGED ENTRY DETAIL
1/2" = 1'-0"

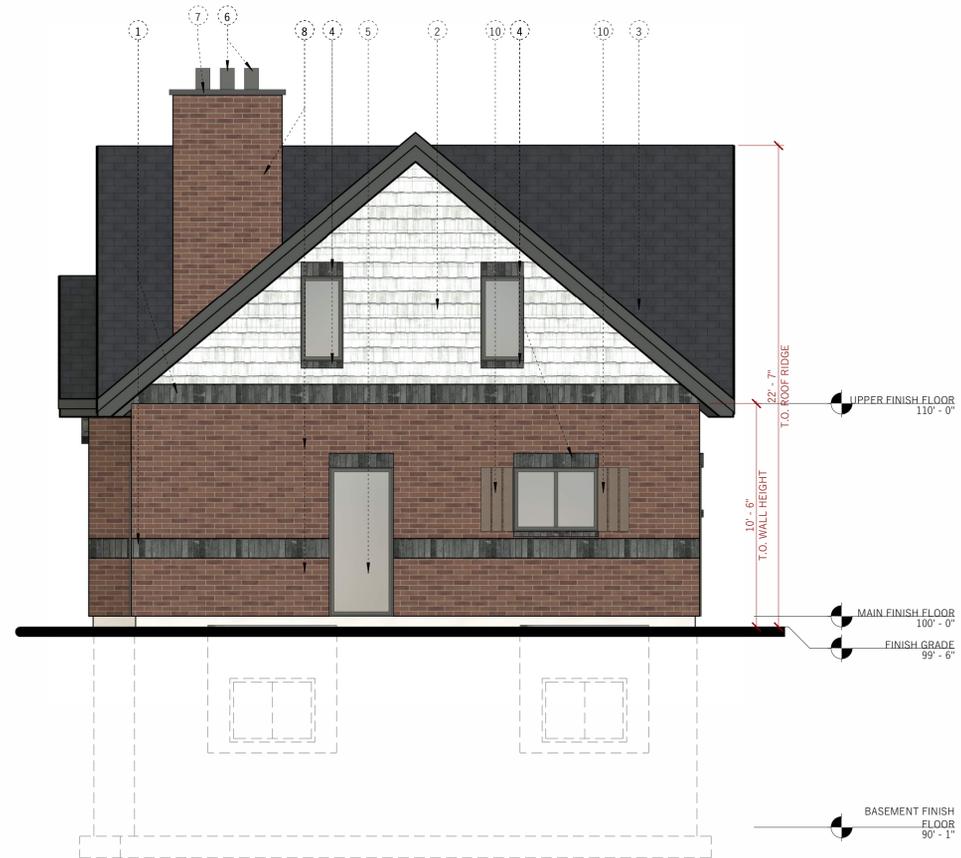
No.	Date	Description

GENERAL NOTES - ELEVATION

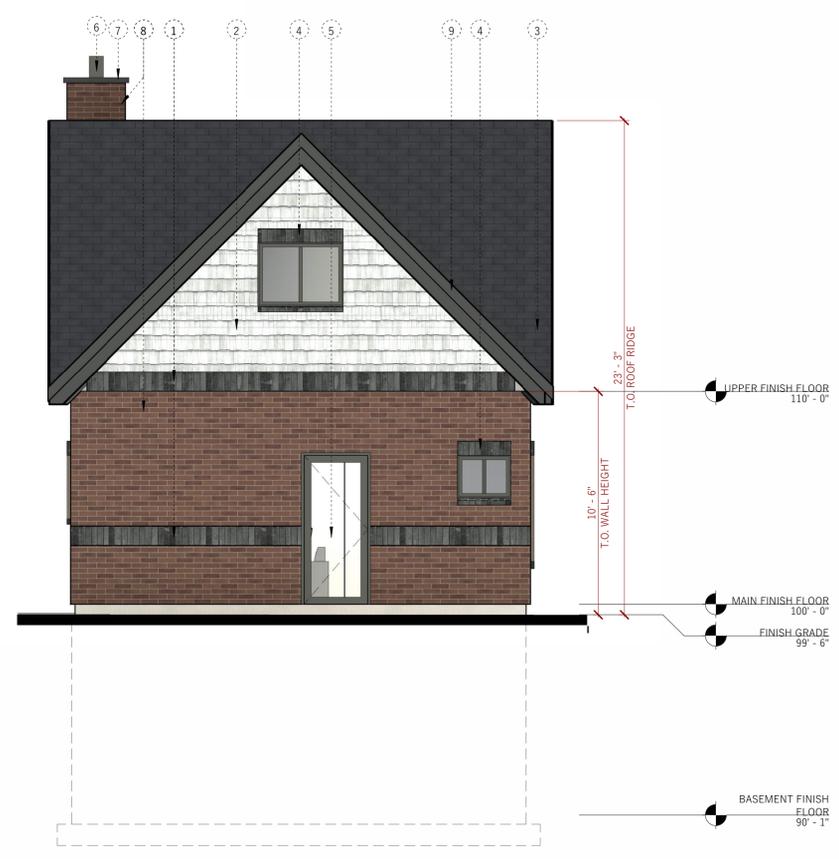
- A SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS.
- B COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
- C OWNER TO SELECT SIDING COLOR AND TEXTURE. INSTALL AS PER ELEVATIONS.
- D FINISH ROOF TO BE ASPHALT SHINGLES. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
- E PROVIDE RAIN GUTTERS AND DOWN SPOUTS AS REQUIRED.
- F COORDINATE ALL BEARING ELEVATIONS WITH ROOF PLAN. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL FRAMING REQUIREMENTS.
- G OWNER TO SELECT BRICK FOR BRICK VENEER. INSTALL AS PER ELEVATIONS, AND AS PER I.B.C. SEE GENERAL MASONRY NOTES.
- H SEE ROOF PLAN FOR ALL ROOF SLOPES.

KEYED NOTES

- 1 BRICK SOLDIER COURSE; OWNER TO SELECT FINISH
- 2 WOODEN SHAKES; OWNER TO SELECT FINISH
- 3 ASPHALT SHINGLES; OWNER TO SELECT FINISH
- 4 BRICK SOLDIER COURSE WINDOW TRIM; OWNER TO SELECT FINISH
- 5 FULL WEATHERSTRIPPED EXTERIOR DOOR UNIT; SEE DOOR SCHEDULE
- 6 FIRE PLACE EXHAUST VENT TO VENT THROUGH ROOF AS INDICATED
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- 8 RUNNING BOND BRICK; OWNER TO SELECT COLOR
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- 10 WOOD SHUTTERS; OWNER TO SELECT FINISH



1 SOUTH ELEVATION
A2.2 1/4" = 1'-0"



2 EAST ELEVATION
A2.2 1/4" = 1'-0"

LAKE STREET SOUTH RESIDENCE
 843 S LAKE STREET
 SALT LAKE CITY, UT 84105

ELEVATIONS

A2.2

