

GENERAL NOTES

- 1. ALL WORK AND CONSTRUCTION OF THIS PROJECT ON PRIVATE PROPERTY SHALL CONFORM TO KUM & GO STANDARD SPECIFICATIONS, DRAPER CITY, UDOT, AND THE SPECIFICATIONS/DETAILS SHOWN ON THESE PLANS.
2. ALL WORK AND CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY AND EASEMENTS SHALL CONFORM TO THE TECHNICAL SPECIFICATIONS, STANDARD DETAILS, AND DESIGN CRITERIA FOR PUBLIC IMPROVEMENT PROJECTS OF THE CITY OF DRAPER, COUNTY OF SALT LAKE, UTAH, AND THE GRANTOR OF THE EASEMENT AS APPLICABLE.
3. IN CASE OF A CONFLICT BETWEEN VARYING SPECIFICATIONS, THE MOST STRINGENT SHALL APPLY.
4. THE CONTRACTOR SHALL OBTAIN A COPY OF THE LATEST STANDARD SPECIFICATIONS AND DETAILS OF ALL AGENCIES EXERCISING JURISDICTION OVER THIS PROJECT, WHICH ARE INCORPORATED BY REFERENCE ON THESE PLANS. A COPY OF THESE SPECIFICATIONS AND DETAILS SHALL BE MAINTAINED ON THE JOBSITE AT ALL TIMES.
5. THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF THE PLANS, STANDARDS, AND SPECIFICATIONS AS APPROVED BY THE APPROPRIATE GOVERNING AGENCY AND OWNER. THE CONTRACTOR SHALL NOT CHANGE OR DEViate FROM THESE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER, ENGINEER, AND GOVERNING AGENCY.
6. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL APPLICABLE LAWS AND REGULATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SITE SAFETY ON THE PROJECT. THIS SHALL INCLUDE THE SAFETY OF HIS OWN PERSONNEL, SUBCONTRACTORS, ALL VISITORS TO THE SITE, AND THE GENERAL PUBLIC. ALL JOB SITE SAFETY SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND CODES, AND ENSURE COMPLIANCE INCLUDING, BUT NOT LIMITED TO, THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
8. THE CONTRACTOR SHALL CONTACT ONE CALL OF UTAH AT #811 A MINIMUM OF 72 HOURS (EXCLUDING WEEKENDS AND HOLIDAYS) IN ADVANCE OF ANY EXCAVATION.
9. THE LOCATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THE PLANS ARE APPROXIMATE AND HAVE BEEN SHOWN FROM AVAILABLE SURVEYS AND/OR RECORDS. THERE MAY BE ADDITIONAL UTILITIES PRESENT, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE, EXACT LOCATIONS/SIZE, ADEQUATELY PROTECT/SUPPORT, AND TO AVOID DAMAGE THERETO. THE CONTRACTOR SHALL INCLUDE, AT NO ADDITIONAL COST, ANY POTHOLES OR EXPLORATORY EXCAVATIONS NECESSARY TO LOCATE EXISTING UTILITIES. UTILITIES SHALL BE LOCATED SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY DUE TO ACTUAL LOCATION OF EXISTING FACILITIES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE GOVERNING AGENCY AND/OR THE UTILITY OWNER.
10. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE INDICATED IN THE PLANS, AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
11. LOCATIONS AND ELEVATIONS OF EXISTING IMPROVEMENTS TO BE MET (OR AVOIDED) BY THE PROPOSED WORK SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE OWNER ANY DISCREPANCIES BETWEEN HIS MEASUREMENTS AND THESE PLANS.
12. THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES SHOWN IN THE PLANS AND/OR SPECIFICATIONS. DO NOT SCALE DRAWINGS - USE ONLY DIMENSIONS PROVIDED ON THESE PLANS.
13. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL QUANTITIES, AND SHALL PROVIDE ALL WORK AND MATERIALS NECESSARY TO CONSTRUCT THE PROJECT IN ITS ENTIRETY.
14. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL AND THOSE IMPROVEMENTS THAT ARE OUTSIDE THE LIMITS OF THE PROPOSED CONSTRUCTION. CONTRACTOR SHALL TAKE CARE TO AVOID DAMAGE THERETO AND SHALL PROVIDE TEMPORARY FENCING, BARRICADES, SUPPORTS, RESTRAINTS, AND/OR BRACING WHERE REQUIRED TO PROTECT EXISTING IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPAIRED AND/OR REPLACED TO EQUAL OR BETTER CONDITION AT THE CONTRACTOR'S EXPENSE.
15. ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL BE CONFINED TO THE OWNER'S PROPERTY, PUBLIC RIGHT-OF-WAY, PERMANENT EASEMENTS, AND TEMPORARY CONSTRUCTION EASEMENTS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER OR OWNER'S REPRESENTATIVES, AND PAY ALL FEES AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE GOVERNING AGENCIES AND LOCAL FIRE DEPARTMENT OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS/FIRE SUPPRESSION TAKEN OUT OF SERVICE AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
18. THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE SECURITY AND SHALL PROPERLY PROTECT AND BARRICADE THE CONSTRUCTION SITE UNTIL CONSTRUCTION IS COMPLETE. STORAGE, LOSS DUE TO THEFT, OR VANDALISM OF MATERIALS AND EQUIPMENT (SECURED OR UNSECURED) WILL BE SOLELY AT THE CONTRACTOR'S EXPENSE.
19. PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL OBTAIN ANY WRITTEN AGREEMENTS FOR INGRESS AND EGRESS TO THE WORK FROM ADJACENT PRIVATE PROPERTY OWNERS. ACCESS TO ANY ADJACENT PRIVATE PROPERTY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD, DURING ALL HOURS OF OPERATION FOR THE BUSINESS LOCATED ON THOSE PARCELS.
20. FOR ANY CHANGES OR DEVIATIONS FROM THESE PLANS PROPOSED BY THE CONTRACTOR, SHOP DRAWINGS AND MATERIAL SPECIFICATIONS SHALL BE SUBMITTED TO OWNER FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF MATERIAL.
21. CONTRACTOR MUST COORDINATE ALL CONSTRUCTION WITH THE DESIGNATED KUM & GO CONSTRUCTION PROJECT MANAGER.
22. CONTRACTOR SHALL PROTECT AND PRESERVE ALL SURVEY CONTROL AND PROPERTY MONUMENTATION. ANY DAMAGED MONUMENTS SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE PROJECT'S STATE AT THE CONTRACTOR'S EXPENSE.
23. PRIOR TO MOVING OFF THE JOB SITE THE CONTRACTOR SHALL NOTIFY THE OWNER OR THE OWNER'S REPRESENTATIVE TO PERFORM THE FINAL WALK-THROUGH OF THE CONSTRUCTION SITE.
24. TEMPORARY POWER, TELEPHONE, AND WATER FOR THE SITE IS THE CONTRACTOR'S RESPONSIBILITY UNLESS OTHERWISE SPECIFIED.
25. CONTRACTOR SHALL REFER TO OTHER DRAWINGS ISSUED BY ARCHITECT, STRUCTURAL, ELECTRICAL, AND MECHANICAL ENGINEERS. ENSURE COORDINATION OF EXACT LOCATION AND DIMENSIONS OF BUILDINGS, EXITS, RAMPS, UTILITY ENTRANCE LOCATIONS AND GRADES AROUND THE BUILDING. IMMEDIATELY NOTIFY OWNER OF ANY DISCREPANCIES.
26. NO BELOW GRADE WORK SHALL BE BACKFILLED (INCLUDING BEDDING MATERIAL ABOVE THE SPRING LINE OF THE PIPE) UNTIL THE CONSTRUCTION HAS BEEN INSPECTED AND APPROVED FOR BACKFILLING BY THE APPROPRIATE GOVERNING AGENCY, OWNER AND/OR OWNER'S REPRESENTATIVE.
27. THE CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL NECESSARY TO COMPLETE THE WORK. ALL TRAFFIC CONTROL DEVICES AND METHODS OF CONTROLLING TRAFFIC THROUGH

CONSTRUCTION ZONES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD, AND ALL REVISIONS THERE TO INCLUDING LOCAL AND STATE SUPPLEMENTS. ADDITIONAL WORK IN THE RIGHT-OF-WAY OR TRAFFIC CONTROL PERMITS MAY BE NECESSARY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
28. IF UNANTICIPATED HAZARDOUS MATERIALS OF ANY KIND ARE ENCOUNTERED IN THE WORK, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL CONSTRUCTION OPERATIONS AND NOTIFY THE OWNER AND/OR OWNER'S REPRESENTATIVE FOR FURTHER DIRECTION.
29. ALL DEBRIS RESULTING FROM CONSTRUCTION AND DEMOLITION SHALL BE HAULED OFF SITE AND DISPOSED OF PROPERLY AND LEGALLY.

SITE PLAN NOTES

- 1. DIMENSIONS SHOWN ON THE SITE PLAN ARE TO FACE OF CURB LINE IN CURBED AREAS AND EXTERIOR FACE OF BUILDING, UNLESS OTHERWISE SPECIFIED.
2. A SEPARATE SIGN APPLICATION TO THE CITY OF DRAPER IS REQUIRED FOR ALL SIGNS.

DEMOLITION PLAN NOTES

- 1. PRIOR TO BIDDING, CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THE PROJECT AREA AND ANTICIPATED DEMOLITION REQUIREMENTS.
2. CONTRACTOR TO PROTECT ALL UTILITY, PAVING, BUILDINGS, ETC. OUTSIDE OF LIMITS OF PROPOSED CONSTRUCTION DURING DEMOLITION OPERATIONS.
3. ALL EXISTING PAVEMENT ONSITE SHALL BE REMOVED UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL REFER TO PAVING PLAN FOR DETAILS ON LIMITS OF PAVING DEMOLITION, AND EROSION CONTROL PLAN FOR PERIMETER CONTROL.
5. ALL DEMOLITION WORK ON THIS CONSTRUCTION SITE SHALL BE IN CONFORMANCE WITH LOCAL STANDARDS AND GUIDELINES.
6. THIS DEMOLITION PLAN DEPICTS THE ANTICIPATED REMOVALS NECESSARY FOR CONSTRUCTION OF THE PROJECT. MISCELLANEOUS AND MINOR REMOVALS MAY NOT BE SHOWN IN DETAIL BUT ARE CONSIDERED OBLIGATORY TO THE PROJECT. ADDITIONAL REMOVALS MAY BE NECESSARY AND THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL EXISTING IMPROVEMENTS THAT ARE IN CONFLICT WITH THE PROPOSED CONSTRUCTION AND AS OTHERWISE DIRECTED BY THE OWNER.
7. CONTRACTOR SHALL COORDINATE DEMOLITION AND/OR RELOCATION OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY OWNER AND IN ACCORDANCE WITH THE UTILITY OWNER'S REQUIREMENTS. INTERRUPTIONS IN SERVICE SHALL BE COORDINATED WITH THE UTILITY OWNER AND PROPERTY OWNER(S) IMPACTED. CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANY FOR PORTIONS OF THE WORK TO BE PERFORMED BY UTILITY COMPANY'S FORCES, AND PROVIDE ADEQUATE NOTICE FOR SCHEDULING. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES, UNLESS OTHERWISE PAID BY KUM & GO PRIOR TO CONSTRUCTION. UTILITY REMOVAL TRENCHES SHALL BE BACKFILLED WITH APPROVED MATERIAL AND MEET COMPACTION REQUIREMENTS PER THE GEOTECHNICAL REPORT.
8. THE SITE MAY CONTAIN EXISTING FOOTINGS OR OTHER UNDERGROUND STRUCTURES THAT ARE NOT DEPICTED ON THIS PLAN. CONTRACTOR SHALL TAKE CARE TO REMOVE ALL NECESSARY STRUCTURES AND BACKFILL IN CONFORMANCE WITH THE GEOTECHNICAL REPORT. BOTTOM OF EXCAVATION SUBGRADE SHALL BE INSPECTED BY THE GEOTECHNICAL TESTING ENGINEER AND APPROVED PRIOR TO ANY BACKFILL.
9. CONTRACTOR TO COMPLETELY REMOVE TREES DESIGNATED TO BE REMOVED, STUMPS, AND ROOT SYSTEMS.
10. PRIOR TO DEMOLITION WORK, EROSION CONTROL DEVICES ARE TO BE INSTALLED. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS DEMOLITION AND CONSTRUCTION SEQUENCING WARRANTS.
11. ALL EXISTING UNUSED SERVICE LINES FOR WATER AND WASTEWATER SHALL BE REMOVED PER LOCAL UTILITY COMPANY STANDARDS. ALL EXISTING UNUSED GAS, TELEPHONE, FIBER OR ELECTRIC LINE/SERVICE SHALL BE COORDINATED FOR REMOVAL WITH UTILITY COMPANY.
12. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSING IN A MANNER APPROVED BY ALL GOVERNING AUTHORITIES FOR ALL STRUCTURES, PADS, WALLS, PANS, FOUNDATIONS, PAVEMENT, UTILITIES, ETC. TO BE DEMOLISHED, SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. DEMOLITION AND DISPOSAL PERMITS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO APPROVED GRADE AND BROUGHT UP TO PROPOSED GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL REPORT.
13. DURING DEMOLITION OPERATIONS, THE CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES USING MEANS OF THEIR CHOICE.
14. CONTRACTOR SHALL PRESERVE ALL LANDSCAPING NOT TO BE REMOVED FOR CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS DISTURBED BY CONSTRUCTION.
15. SAWCUTS SHALL BE TO FULL DEPTH OF EXISTING PAVEMENT. CONCRETE PAVEMENT SHALL BE REMOVED TO NEAREST EXISTING JOINT WHEN LESS THAN 5' FROM PROPOSED SAWCUT.

GRADING PLAN NOTES

- 1. PRIOR TO ANY GRADING OPERATIONS, ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE ADEQUATELY IN PLACE. REFER TO THE EROSION AND SEDIMENT CONTROL PLAN FOR REQUIREMENTS.
2. THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS, TOP OF FLOOR SLABS, ETC. REFER TO TYPICAL SECTIONS FOR MULCH, SOD, PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR SUBGRADE ELEVATIONS.
3. ALL TOP OF CURB AND SIDEWALK ELEVATIONS SHALL BE 0.5' ABOVE GUTTER ELEVATIONS UNLESS OTHERWISE NOTED. IN AREAS WITH SIDEWALK ABUTTING BACK OF CURB, TOP OF CURB ELEVATIONS SHALL BE EQUAL TO SIDEWALK ELEVATIONS.
4. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN ONE FOOT VERTICAL IN THREE FEET HORIZONTAL.
5. CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE. SLOPE SHALL BE A 2% MINIMUM.
6. SITE AND BUILDING PAD PREPARATION, GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY [GSH GEOTECHNICAL CONSULTANTS, INC., JULY 30, 2021, PROJ. NO. 2774-016-21].
7. IN CASE OF ANY DISCREPANCIES REGARDING EARTHWORK BETWEEN THE GEOTECHNICAL REPORT AND THE SPECIFICATIONS SHOWN IN THESE PLANS, NOTIFY THE OWNER IMMEDIATELY.
8. ALL HERBACEOUS VEGETATION AND TOPSOIL SHALL BE STRIPPED TO A MINIMUM DEPTH OF [INSERT SPECIFICATION PER GEOTECHNICAL REPORT] AND REMOVED FROM SITE OR STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.
9. ALL EXISTING PAVEMENT, UTILITIES, BURIED DEBRIS, RUBBLE, AND/OR STRUCTURES/FOUNDATIONS ENCOUNTERED WITHIN AREAS OF DISTURBANCE SHALL BE COMPLETELY REMOVED PRIOR TO OR DURING EARTHWORK OPERATIONS. WASTED MATERIAL SHALL NOT BE BURIED ONSITE WITHOUT THE PRIOR APPROVAL OF THE OWNER.

- 10. THE UPPER 24" OF ALL UTILITY TRENCHES IN UNPAVED AREAS SHALL BE BACKFILLED WITH COMPACTED COHESIVE SOILS. SEE GEOTECHNICAL REPORT FOR COMPACTION AND MOISTURE RECOMMENDATIONS.
11. FINAL PAVEMENT SUBGRADES SHALL BE PROOFROLLED IMMEDIATELY PRIOR TO THE PLACEMENT OF THE PAVEMENT TO DETECT LOCALIZED AREAS OF INSTABILITY. PROOFROLLING IS NOT RECOMMENDED IN THE AREAS OF THE NEW FUEL TANKS OR DELIVERY LINE INSTALLATION.
12. SUITABLE FILL MATERIALS SHALL BE PLACED IN THIN LIFTS OF 4 TO 8 INCHES LOOSE MEASUREMENT, UNLESS OTHERWISE ALLOWED IN THE GEOTECHNICAL REPORT.
13. IF REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS AND AUTHORIZATION TO DISCHARGE FROM DEWATERING ACTIVITIES.
14. THE CONTRACTOR SHALL DEWATER ALL EXCAVATIONS AND TRENCHES AS NEEDED FOR THE CONSTRUCTION OF THE PROJECT USING MEANS/METHODS OF HIS CHOICE. REFER TO THE GEOTECHNICAL REPORT FOR ANTICIPATED LEVELS OF GROUNDWATER AND DEWATERING RECOMMENDATIONS.
15. ALL EXCAVATIONS AND TRENCHES SHALL BE SLOPED/SHORED/BRACED FOR PROTECTION OF PERSONNEL IN ACCORDANCE WITH OSHA REGULATIONS AND AT THE CONTRACTOR'S FULL DISCRETION BASED ON THE SITE CONDITIONS. OPEN EXCAVATIONS SHALL BE ADEQUATELY PROTECTED AND/OR FENCED AS NECESSARY AND FOR THE SAFETY OF THE PUBLIC.

STORMWATER MANAGEMENT AND EROSION/SEDIMENT CONTROL NOTES

- 1. THIS PROJECT REQUIRES A PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE STATE'S GOVERNING AUTHORITY. CONTRACTOR TO COMMENCE WORK ON THIS SITE ONLY AFTER AN ACTIVE PERMIT NUMBER HAS BEEN OBTAINED FROM THE STATE'S GOVERNING AUTHORITY. A LOCAL CONSTRUCTION STORMWATER PERMIT IS ALSO REQUIRED BY THE CITY OF DRAPER.
2. THE CONTRACTOR SHALL CONTINUOUSLY PROVIDE ADEQUATE STORMWATER MANAGEMENT IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREETS, ACCESS ROUTES, AND WATERWAYS IN THE VICINITY OF THE JOB SITE CLEAN AND FREE OF ROCKS, SOIL AND DEBRIS.
4. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROL "BEST MANAGEMENT PRACTICES" (BMPs) PRIOR TO ANY SITE PREPARATION WORK (E.G., CLEARING, GRUBBING, DEMOLITION, OR EXCAVATION).
5. THE PLACEMENT OF EROSION AND SEDIMENT BMPs SHALL BE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN PREPARED FOR THE PROJECT. CONTRACTOR TO ADJUST QUANTITY, LOCATION, AND TYPE OF EROSION AND SEDIMENT CONTROL BMPs AS NECESSARY FOR THE VARIOUS PHASES OF THE WORK AND AS ACTUAL CONDITIONS WARRANT. CONTRACTOR SHALL CONTINUOUSLY MODIFY THE EROSION AND SEDIMENT CONTROL PLAN WITH CURRENT BMPs IN ACCORDANCE WITH THE CONSTRUCTION STORMWATER PERMIT REQUIREMENTS. ADDITIONAL EROSION AND SEDIMENT CONTROL BMPs EMPLOYED BY THE CONTRACTOR AT HIS DISCRETION WILL NOT BE MEASURED OR PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK.
6. A GROUNDWATER DISCHARGE PERMIT MAY BE REQUIRED FROM THE STATE GOVERNING AUTHORITY PRIOR TO DISCHARGE.
7. GROUNDWATER SHALL BE SAMPLED AND SENT TO AN APPROVED LABORATORY FOR TESTING PRIOR TO BEING DISCHARGED. TESTING SHALL BE IN ACCORDANCE WITH THE PERMIT FOR STORMWATER DISCHARGE.
8. APPROVED EROSION AND SEDIMENT CONTROL BMPs SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. UNLESS OTHERWISE REQUIRED BY THE STATE'S CONSTRUCTION STORMWATER PERMIT, AT A MINIMUM THE CONTRACTOR SHALL INSPECT ALL BMPs EVERY 14 DAYS, AND AFTER ALL SIGNIFICANT PRECIPITATION EVENTS I.E. RAINFALL, SNOWMELT. ALL NECESSARY MAINTENANCE AND REPAIR ACTIVITIES SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS AFTER DIRECTION BY THE INSPECTOR. ACCUMULATED SEDIMENT AND CONSTRUCTION DEBRIS SHALL BE REMOVED WEEKLY FROM ALL BMPs, OR AT ANY TIME THAT SEDIMENT OR CONSTRUCTION DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMPs.
9. TOPSOIL AND SUITABLE EARTHEN MATERIALS SHALL BE SEGREGATED AND STOCKPILED WITHIN THE LIMITS OF CONSTRUCTION FOR USE ON AREAS TO BE FILLED AND RE-VEGETATED. ANY AND ALL STOCKPILES SHALL BE PLACED IN AN APPROVED LOCATION AND PROTECTED FROM EROSION ELEMENTS USING MEASURES SPECIFIED IN THE EROSION/SEDIMENT CONTROL PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
10. SOILS THAT WILL BE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE MULCHED AND SEEDED WITH A TEMPORARY OR PERMANENT GRASS COVER WITHIN FOURTEEN (14) DAYS OF STOCKPILE CONSTRUCTION.
11. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE LIMITS OF CONSTRUCTION DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, PROPERTIES, ETC. RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
12. A WATER SOURCE MUST BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
13. THE CONTRACTOR MUST KEEP ALL POLLUTANTS, INCLUDING SEDIMENT, CONSTRUCTION DEBRIS, AND TRENCH BACKFILL MATERIALS FROM ENTERING THE STORM SEWER SYSTEM.
14. ALL SPILLS INCLUDING, BUT NOT LIMITED TO, PETROLEUM PRODUCTS, SOLVENTS, AND CEMENT SHALL BE CLEANED UP IMMEDIATELY. THE LOCAL CITY/COUNTY AND STATE'S GOVERNING AUTHORITY SHALL BE NOTIFIED IMMEDIATELY.
15. THE CONTRACTOR SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THE SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL EXPORTED FROM THE SITE SHALL BE DISPOSED OF AT A SITE PERMITTED TO ACCEPT SUCH MATERIAL.
16. THE USE OF REBAR, STEEL STAKES OR STEEL FENCE POSTS FOR STAKING DOWN STRAW OR HAY BALES, OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE, IS PROHIBITED.
17. THE CLEANING OF CONCRETE DELIVERY TRUCK CHUTES IS RESTRICTED TO APPROVED LOCATIONS ON THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED. ALL CONCRETE WASTE SHALL BE PROPERLY CLEANED UP AND DISPOSED OF AT AN APPROPRIATE LOCATION.
18. CONTRACTOR SHALL PROVIDE A COMPLETED "NOTICE OF TERMINATION" TO OWNER, FOR OWNERS SUBMITTAL TO THE STATE'S GOVERNING AUTHORITY ONCE THE PROJECT IS COMPLETE, ALL DISTURBED AREAS HAVE BEEN STABILIZED AND TEMPORARY BMPs HAVE BEEN REMOVED.
19. THE CONTRACTOR SHALL CLEAN OUT ALL EXISTING AND PROPOSED INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENTATION AT COMPLETION OF SITEWORK. THIS WORK SHALL BE DONE TO THE SATISFACTION OF THE OWNER AND LOCAL AUTHORITIES. ANY CONSTRUCTION DEBRIS OR MUD DROPPED INTO MANHOLES, INLETS, PIPES OR TRACKED ONTO EXISTING ROADWAYS SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY EXCAVATIONS OR PAVEMENT FAILURES CAUSED BY HIS CONSTRUCTION.

PAVING NOTES

- 1. ALL PAVING WORK AND SUBGRADE PREPARATION/STABILIZATION SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT, PREPARED BY [GSH GEOTECHNICAL CONSULTANTS, INC., JULY 30, 2021, PROJ. NO. 2774-016-21]. IN CASE OF ANY CONFLICT WITH

- THESE PLANS, NOTIFY OWNER IMMEDIATELY.
2. UNLESS PROVIDED FOR IN THE PLANS, CONTRACTOR SHALL DEVELOP A CONCRETE PAVEMENT JOINTING PLAN USING THE PROPOSED PAVING PLAN AND SITE CONDITIONS. JOINT LAYOUT SHALL BE IN ACCORDANCE WITH ACI 330R "GUIDE FOR THE DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS," AND STANDARD CONSTRUCTION PRACTICES. JOINT DETAILS SHALL BE IN ACCORDANCE WITH CITY OF DRAPER STANDARD DETAILS. LOCAL UDOT STANDARD DETAILS. CONTRACTOR SHALL PROVIDE A PAVEMENT JOINTING PLAN FOR OWNER APPROVAL.
3. ALL CONCRETE PAVEMENT AND CONSTRUCTION SHALL MEET CITY OF DRAPER, UDOT SPECIFICATIONS. CONCRETE PAVEMENT SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI, TYPE III PORTLAND CEMENT (UNLESS OTHERWISE SPECIFIED IN THE GEOTECHNICAL REPORT FOR HIGHER SULFATE RESISTANCE), A SLUMP OF 4 INCHES +/- 1 INCH, AND AN AIR CONTENT OF 6% +/- 1%.
4. PAVEMENT MUST HAVE A SOLAR REFLECTANCE INDEX (SRI) OF 29 OR HIGHER.
5. ALL RADIUS DIMENSIONS SHOWN ON THE PAVING PLAN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
6. ALL PAVEMENT MARKINGS FOR PARKING STALLS SHALL BE 4" WIDE YELLOW MARKINGS, CONFORMING TO AASHTO M248 READY MIXED YELLOW TRAFFIC PAINT.
7. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ACCESSIBLE AREAS AND ROUTES ARE BUILT IN ACCORDANCE WITH THE PLANS AND THE "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN". THE SITE MAY BE INSPECTED BY CITY PERSONNEL FOR COMPLIANCE WITH THE STANDARDS.
8. ADA ACCESSIBLE PARKING STALLS AND AISLES SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION. ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00% (UNLESS RAMPS AND LANDINGS ARE PROVIDED PER ADA STANDARDS). CURB RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 8.33% (12:1). ACCESSIBLE MANEUVERING AREAS AT DOORS SHALL BE CONSTRUCTED WITH A MAXIMUM 2.00% IN ANY DIRECTION. CONTRACTOR SHALL FIELD VERIFY ADA GRADES AND FORMWORK PRIOR TO PLACING ANY CONCRETE. OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY SHOWN ON THE PLANS.

UTILITY NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AT PROPOSED POINTS OF CONNECTION AND CONFIRM EXACT LOCATIONS/SIZES OF ALL UTILITY SERVICE LINE HOOKUPS TO THE BUILDING (PER MEP PLANS) PRIOR TO UTILITIES CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING ONSITE MEETINGS WITH THE CITY, GOVERNING AGENCIES, AND UTILITY OWNERS PRIOR TO THE START OF ANY CONSTRUCTION OR INSTALLATION OF UTILITIES.
3. THE CONTRACTOR SHALL CONSTRUCT ALL WATER AND SANITARY SEWER SERVICE LINES AND CONNECTIONS IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OR LOCAL UTILITY PROVIDER.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY SERVICE CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANY/OWNER, AND TO OBTAIN ALL PERMITS AND PAY ALL FEES AS REQUIRED FOR SERVICE CONNECTIONS TO UTILITY MAINS.
5. UTILITY TRENCHES AND STRUCTURE EXCAVATIONS ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
6. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PROVIDE TRENCHING FOR ALL UTILITY SERVICE LINES.
7. CONTRACTOR TO SET AND ADJUST ALL PROPOSED UTILITY STRUCTURES, CLEANOUTS, VALVES, METER PITS, ETC. TO FINISH GRADE. EXISTING ITEMS AFFECTED BY THE WORK SHALL BE ADJUSTED AS REQUIRED TO MATCH FINISH GRADE.
8. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPARTMENT TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND ADJACENT PROPERTIES. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.

STORM SEWER NOTES

- 1. STORM SEWER PIPE MATERIALS SHALL MEET THE KUM & GO STANDARD SPECIFICATIONS, UNLESS OTHERWISE SPECIFIED IN THE PLANS. THEY SHALL BE HDPE DOUBLE-WALL, SMOOTH INTERIOR PIPE (ADS N-12 OR APPROVED EQUAL) UNLESS OTHERWISE SPECIFIED IN THE PLANS. ALL JOINTS AND STRUCTURE CONNECTIONS SHALL BE SOIL-TIGHT (MINIMUM).
2. STORM SEWER PIPE SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH THE DETAILS INCLUDED IN THE PLANS, MANUFACTURER'S INSTALLATION REQUIREMENTS, AND/OR STANDARD DETAILS INCLUDED BY REFERENCE.
3. ALL CAST-IN-PLACE CONCRETE DRAINAGE STRUCTURES SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI, TYPE II CEMENT (UNLESS OTHERWISE SPECIFIED) WITH AIR ENTRAINING ADMIXTURES AND SHALL CONFORM TO THE LOCAL CITY'S SPECIFICATIONS.
4. SMALL DIAMETER STORM SEWER CONNECTIONS (12 INCH DIAMETER AND LESS) SHALL BE MADE WITH REDUCING WYES, 45 DEGREE BENDS, AND REDUCING COUPLERS, UNLESS OTHERWISE INDICATED. REFER TO PLAN AND DETAILS FOR SYSTEM LAYOUT.
5. ALL CAST-IN-PLACE AND PRE-FABRICATED DRAINAGE STRUCTURES WITHIN PAVED AREAS MUST BE INSTALLED TO MEET (AT A MINIMUM) AASHTO H-20/HS-20 LOAD RATING. THE GENERAL CONTRACTOR SHALL CONSULT WITH THE MANUFACTURER OF ANY PRE-FABRICATED STRUCTURE TO CONFIRM INSTALLATION MEASURES REQUIRED TO ENSURE THE AFOREMENTIONED LOAD RATING IS ACHIEVED. FOR ALL PRE-FABRICATED NYLOPLAST® DRAIN BASINS, THE GENERAL CONTRACTOR SHALL POUR A CONCRETE COLLAR UNDER THE FRAME/GRATE/HOOD ASSEMBLY IN THE MINIMUM DIMENSIONS SPECIFIED ON THE MANUFACTURER'S STANDARD DETAIL DRAWINGS TO ACHIEVE H-20/HS-20 LOAD RATING. THE GENERAL CONTRACTOR SHALL CONTACT OWNER FOR ADDITIONAL DIRECTION IF H-20/HS-20 INSTALLATION GUIDELINES CANNOT BE OBTAINED FROM THE MANUFACTURER OF ANY PROPOSED PRE-FABRICATED STRUCTURE.

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Know what's below. Call before you dig.



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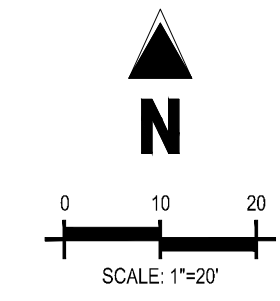
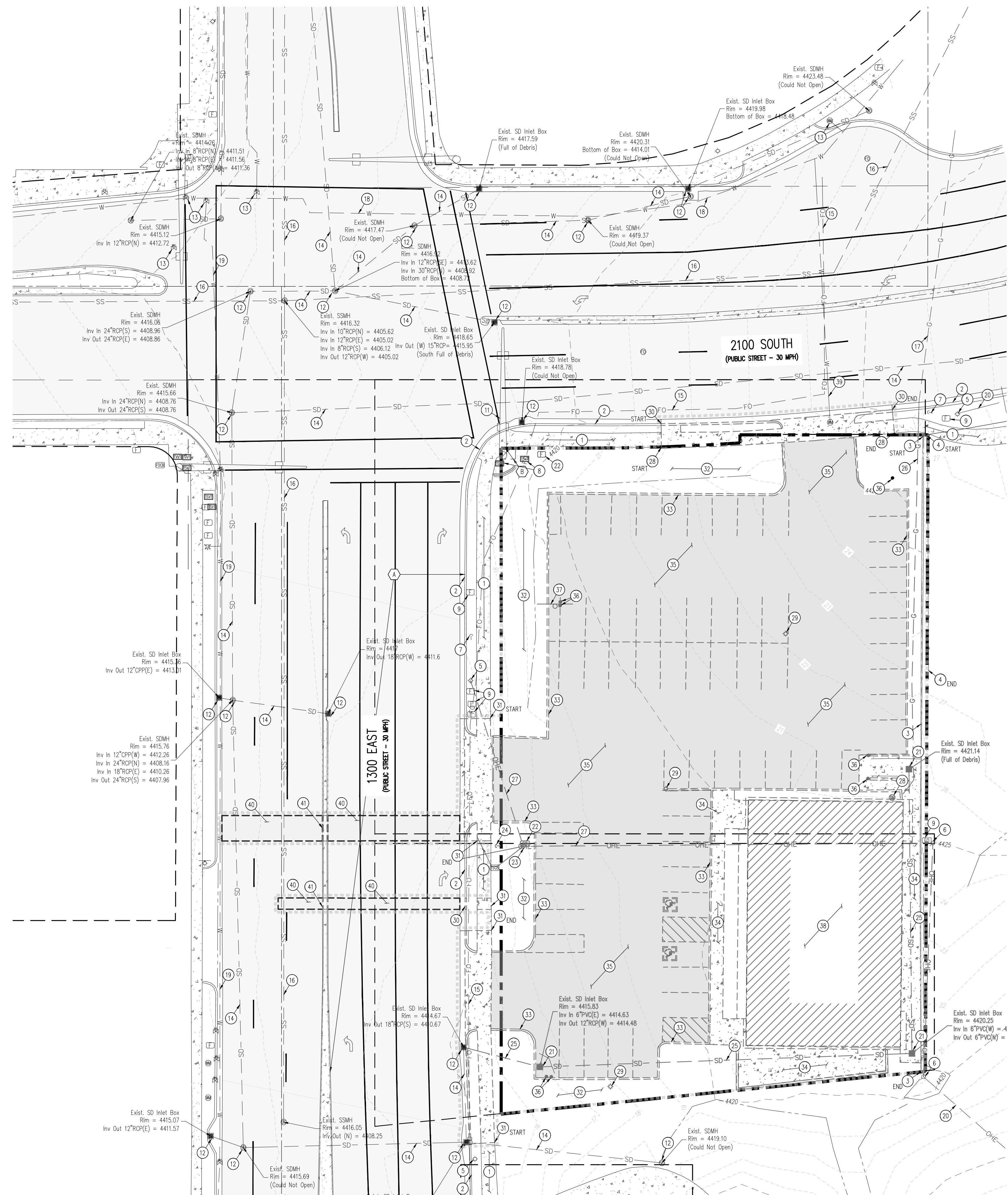
#2506 - SALT LAKE CITY, UTAH 1300 EAST & 2100 SOUTH GENERAL NOTES

KG PROJECT TEAM: RDM: SCOTT BARCOCK SDM: RYAN HALDER CPM: SCOTT NEWBURY

Table with 2 columns: REVISION DESCRIPTION, DATE. Includes a triangle icon in the first row.

DATE: 02.04.2022

SHEET NUMBER: C0.1 2 OF 15



FLAG NOTES

- 1 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 2 EXISTING 30" CURB AND GUTTER TO REMAIN.
- 3 EXISTING CONCRETE RETAINING WALL TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- 4 EXISTING CHAIN LINK FENCE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- 5 EXISTING LIGHT POLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- 6 EXISTING UTILITY POLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- 7 EXISTING GUY WIRES TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- 8 EXISTING TELECOM VAULT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- 9 EXISTING ELECTRICAL VAULT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- 10 EXISTING FIBEROPTIC BOX TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- 11 EXISTING TRAFFIC POLE & SIGNAL TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- 12 EXISTING STORM DRAIN STRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- 13 EXISTING WATER STRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- 14 EXISTING STORM DRAIN LINE TO REMAIN.
- 15 EXISTING FIBEROPTIC LINE TO REMAIN.
- 16 EXISTING SANITARY SEWER LINE TO REMAIN.
- 17 EXISTING GAS LINE TO REMAIN.
- 18 EXISTING 6" C.I.P. WATER LINE TO REMAIN.
- 19 EXISTING 12" D.I.P. WATER LINE TO REMAIN.
- 20 EXISTING OVERHEAD ELECTRIC LINE TO REMAIN.
- 21 EXISTING STORM DRAIN STRUCTURE TO BE REMOVED.
- 22 EXISTING FIBEROPTIC BOX TO BE REMOVED AND RELOCATED.
- 23 EXISTING POWER POLE TO BE REMOVED. CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER.
- 24 EXISTING GUY WIRE TO BE REMOVED. CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER.
- 25 EXISTING STORM DRAIN LINE TO BE REMOVED.
- 26 EXISTING GAS LINE TO BE REMOVED.
- 27 EXISTING OVERHEAD ELECTRIC LINE TO BE REMOVED.
- 28 EXISTING GAS METER TO BE REMOVED.
- 29 EXISTING LIGHT POLE TO BE REMOVED.
- 30 EXISTING 30" CURB AND GUTTER TO BE REMOVED.
- 31 EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- 32 CLEAR AND GRUB EXISTING LANDSCAPE.
- 33 EXISTING 24" CONCRETE CURB & GUTTER TO BE REMOVED.
- 34 EXISTING CONCRETE SIDEWALK AND THICKENED EDGE WALK TO BE REMOVED.
- 35 EXISTING ASPHALT PAVEMENT TO BE REMOVED.
- 36 EXISTING BOLLARD TO BE REMOVED.
- 37 EXISTING SIGN TO BE REMOVED.
- 38 EXISTING 4,722 S.F. BUILDING TO BE REMOVED.
- 39 EXISTING WATER LINE TO BE ABANDONED IN PLACE.
- 40 EXISTING ASPHALT TO BE REMOVED AND REPLACED FOR UTILITY CUT.
- 41 EXISTING CONCRETE MEDIAN TO BE REMOVED AND REPLACED FOR UTILITY CUT.

DEMOLITION LEGEND

- DEMOLITION LIMIT LINE
- 4310 ----- EXISTING MAJOR CONTOUR
- 11 ----- EXISTING MINOR CONTOUR
- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- X ----- EXISTING FENCE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- SAWCUT LINE
- ===== EXISTING CURB AND GUTTER
- EXISTING BOLLARD
- ▽ EXISTING SIGN
- EXISTING ASPHALT TO REMAIN
- EXISTING ASPHALT TO BE REMOVED
- EXISTING SIDEWALK TO REMAIN
- EXISTING SIDEWALK TO BE REMOVED
- W ----- EXISTING WATER
- SD ----- EXISTING STORM DRAIN
- SS ----- EXISTING SANITARY SEWER
- G ----- EXISTING GAS
- UT ----- EXISTING TELEPHONE
- OHE ----- EXISTING OVERHEAD POWER
- FO ----- EXISTING FIBER OPTIC LINE
- EXISTING ELECTRICAL SWITCH BOX
- EM EXISTING ELECTRICAL METER
- ⊕ EXISTING ELECTRICAL MANHOLE
- TR EXISTING ELECTRICAL TRANSFORMER
- E EXISTING ELECTRICAL BOX
- F EXISTING FIBER OPTICS BOX
- TL EXISTING COMMUNICATION BOX
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING IRRIGATION VALVE
- EXISTING WATER METER
- EXISTING STORM DRAIN MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN BOX
- EXISTING GAS METER

EASEMENT SCHEDULE

- (A) EASEMENT IN FAVOR OF THE STATE ROAD COMMISSION OF UTAH FOR THE PURPOSE OF CONSTRUCTING CUT AND/OR FILL SLOPES MADE NECESSARY BY THE GRADING FOR SIDEWALKS AS RESERVED IN THAT CERTAIN WARRANTY DEED RECORDED MAY 2, 1963 AS ENTRY NO. 1916498 IN BOOK 2046 AT PAGE 121 OF OFFICIAL RECORDS.
- (B) EASEMENT IN FAVOR OF THE UTAH DEPARTMENT OF TRANSPORTATION FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING A SIGNAL POLE AND APPURTENANCES, RECORDED JANUARY 2, 1981 AS ENTRY NO. 3520184 IN BOOK 5197 AT PAGE 445 OF OFFICIAL RECORDS.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

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SOIL PREPARATION & PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED PUBLIC STORAGE FACILITY

GEOTECHNICAL ENGINEER: GSH GEOTECHNICAL CONSULTANTS, INC.

PROJECT NO: TBD DATE: MONTH DD, YYYY

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BENCHMARK

BENCHMARK: STREET MONUMENT AT 2100 SOUTH AND DOUGLAS AVENUE. NAVD88 ELEVATION = 4401.32'

BASIS OF BEARING

ALL BEARINGS ARE GRID BEARINGS OF THE UTAH STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE MONUMENTED CENTERLINE OF 2100 SOUTH STREET BEARS S 89°58'51" E MONUMENTED AS SHOWN HEREON.

LEGAL DESCRIPTION

A PART OF BLOCK 46, 10-ACRE PLAT "A", BIG FIELD SURVEY, SALT LAKE CITY, UTAH, FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST RIGHT OF WAY LINE OF 1300 EAST STREET WHICH IS 66.00 FEET EAST AND 264.00 FEET SOUTH AND 45.05 FEET NORTH 84°15'00" EAST FROM THE NORTHEAST CORNER OF LOT 10 OF SAID BLOCK 46; RUNNING THENCE NORTH 0°07'00" WEST 235.41 FEET ALONG SAID EAST RIGHT OF WAY TO THE SOUTH RIGHT OF WAY LINE OF 2100 SOUTH STREET; THENCE ALONG SAID SOUTH RIGHT OF WAY LINE (4) FOUR COURSES AS FOLLOWS: NORTH 89°51'00" EAST 33.31 FEET TO A POINT OF CURVATURE, EASTERLY ALONG THE ARC OF A 766.20 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 51.16 FEET (CENTRAL ANGLE EQUALS 2°49'33" AND LONG CHORD BEARS NORTH 87°56'14" EAST 51.15 FEET, NORTH 2.84 FEET AND EAST 66.58 FEET TO A POINT ON THE EAST SECTION LINE OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SLB8M; THENCE SOUTH 0°13'44" WEST 225.07 FEET ALONG SAID SECTION LINE; THENCE SOUTH 84°15'00" WEST 150.80 FEET TO THE POINT OF BEGINNING.

CONTAINS: 34,648 SQ. FT. OR 0.795 ACRES.

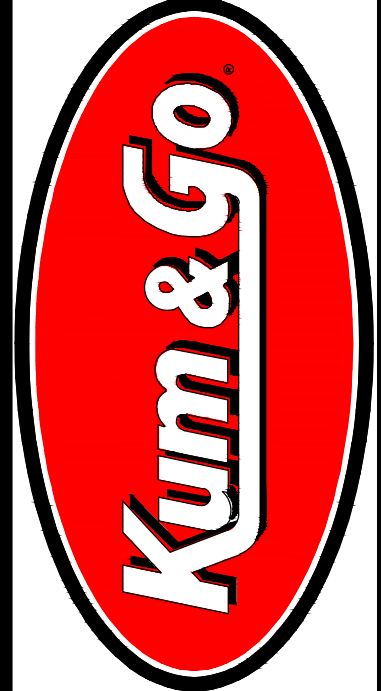
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#2506 - SALT LAKE CITY, UTAH
 1300 EAST & 2100 SOUTH
DEMOLITION PLAN

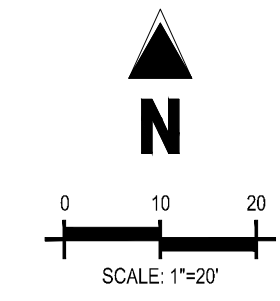
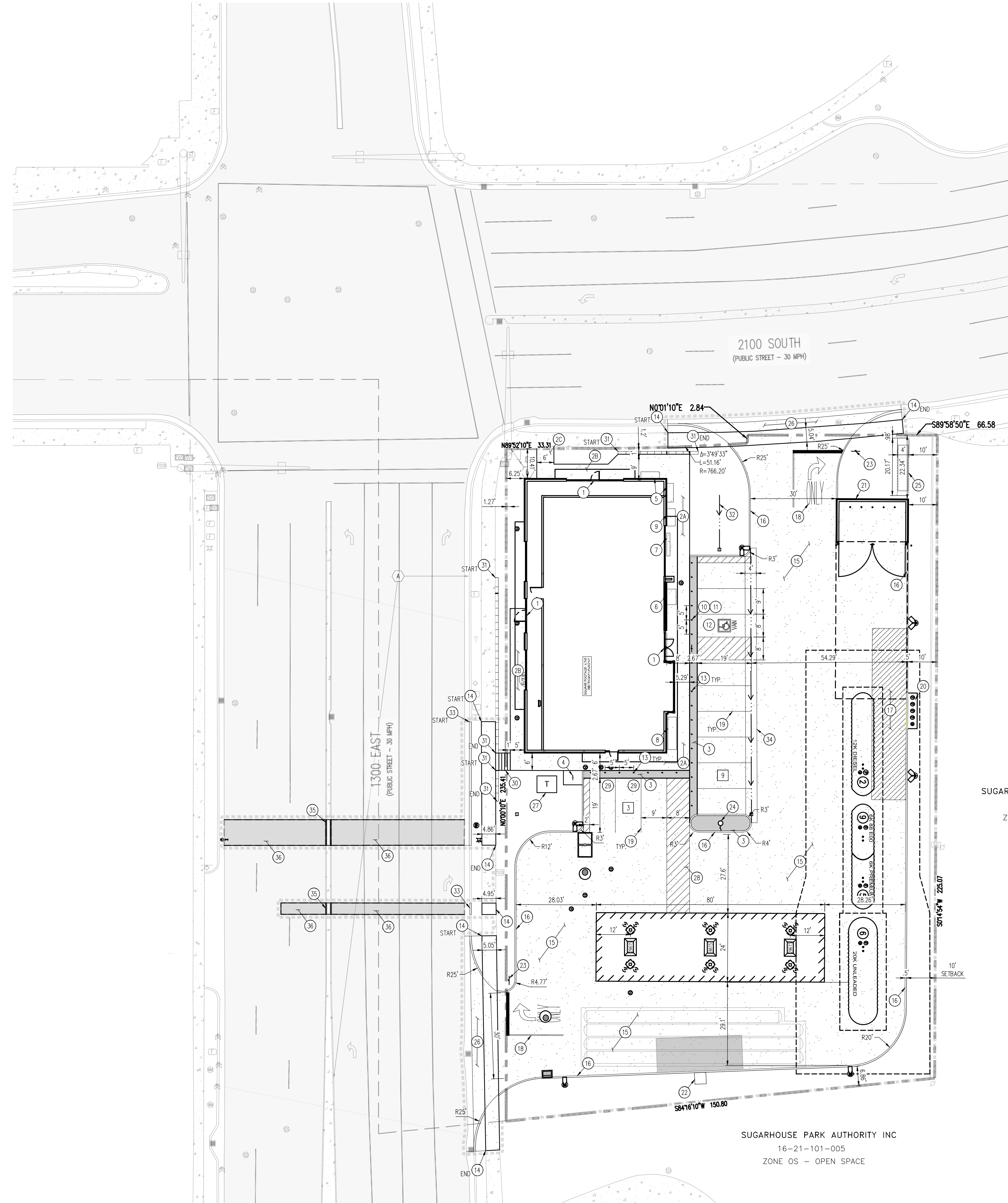
KG PROJECT TEAM:
 RDM: SCOTT BABCOCK
 SDM: RYAN HALDER
 CPM: SCOTT NEWBURY

REVISION DESCRIPTION	DATE

DATE: 02.04.2022

SHEET NUMBER: C0.2

3 OF 15



FLAG NOTES

- 1 PROPOSED BUILDING ENTRY, REFER TO ARCHITECTURAL PLANS
- 2A PROPOSED BUILDING CONCRETE SIDEWALK, 1.5% MAX. CROSS SLOPE.
- 2B PROPOSED BUILDING CONCRETE SIDEWALK ADJACENT TO LANDSCAPE, 1.5% MAX. CROSS SLOPE.
- 2C PROPOSED SIDEWALK AT LANDSCAPE.
- 3 PROPOSED INTEGRAL-COLORED CONCRETE - 6" MINIMUM PAVEMENT THICKNESS.
- 4 PROPOSED BOLLARD BIKE RACK ON 5.0' X 6.5' X 4" THICK CONCRETE PAD, REF. DETAIL 1.
- 5 PROPOSED PROPANE CAGE (9' X 9', 4" CONCRETE PAD, 1.5% SLOPE AWAY FROM SIDE WALL OF BUILDING).
- 6 PROPOSED FIREWOOD LOCATION.
- 7 PROPOSED MISCELLANEOUS MERCHANDISE LOCATION.
- 8 PROPOSED RED BOX(ES) LOCATION.
- 9 PROPOSED ICE MERCHANDISER LOCATION.
- 10 PROPOSED BOLLARD MOUNTED ADA VAN PARKING SIGN.
- 11 PROPOSED BOLLARD MOUNTED ADA PARKING SIGN.
- 12 PROPOSED ACCESSIBLE PARKING SPACE.
- 13 PROPOSED 4" DIAMETER BOLLARDS.
- 14 PROPOSED 4" CONCRETE SITE SIDEWALK, 1.5% MAX. CROSS SLOPE.
- 15 PROPOSED STANDARD DUTY CONCRETE PAVEMENT.
- 16 PROPOSED INTEGRAL CONCRETE CURB.
- 17 PROPOSED 12'X60' LOADING ZONE, 45° CROSS HATCH, 2" O.C. STRIPING.
- 18 PROPOSED DRIVEWAY ENTRANCE MARKINGS.
- 19 PROPOSED 4" WIDE YELLOW PAVEMENT MARKINGS, TYP.
- 20 PROPOSED UNDERGROUND FUEL STORAGE TANKS WITH CONCRETE PAD, PAINT CURB IN FRONT OF TANKS AND CONCRETE PAD YELLOW. ALL LIDS SHALL BE 1" ABOVE FINISHED GRADE.
- 21 PROPOSED 14'-8" X 24'-8" TRASH ENCLOSURE WITH NICHHA (REF. ARCHITECTURAL PLANS)
- 22 PROPOSED AIR MACHINE LOCATION, 4'x4' CONCRETE PAD, KEEP AT LEAST #20' AWAY FROM DISPENSERS AND TANK FILL PORTS.
- 23 PROPOSED STOP SIGN AT PUBLIC RIGHT OF WAY.
- 24 PROPOSED 60' FLAGPOLE, MAINTAIN #24' CLEAR SPACE ABOVE GRADE.
- 25 PROPOSED 6' MONUMENT SIGN.
- 26 PROPOSED RADIUS DRIVE APPROACH.
- 27 PROPOSED TRANSFORMER LOCATION.
- 28 PROPOSED ADA STRIPING, 45° CROSS HATCH, 2" O.C. STRIPING.
- 29 PROPOSED DESIGNATED FUTURE EV STALLS.
- 30 PROPOSED (4) CONCRETE STAIRS.
- 31 PROPOSED SEGMENTAL RETAINING WALL.
- 32 PROPOSED LANDSCAPED SWALE.
- 33 PROPOSED 30" CURB & GUTTER.
- 34 PROPOSED 4" CONCRETE WATER WAY.
- 35 REPAIR AND REPLACE EXISTING CONCRETE MEDIAN BARRIER.
- 36 PROPOSED ASPHALT PATCH.

SITE LEGEND

- CONSTRUCTION LIMIT LINE
- EXISTING BOUNDARY LINE
- - - - - PROPOSED PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY BOUNDARY LINE
- CENTER LINE OF ROAD
- EXISTING EASEMENT LINE
- - - - - ADA PATH
- ○ ○ EXISTING / PROPOSED LIGHT POLE
- ○ ○ EXISTING / PROPOSED BOLLARD
- ○ ○ EXISTING / PROPOSED SIGN
- 5 PROPOSED STALL COUNT
- ===== PROPOSED CURB AND GUTTER
- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED CONCRETE PAVEMENT
- ===== EXISTING CONCRETE SIDEWALK
- ===== PROPOSED SITE CONCRETE PAVEMENT
- ===== EXISTING ASPHALT PAVEMENT
- ===== PROPOSED ASPHALT PAVEMENT

SUGARHOUSE PARK AUTHORITY INC
16-21-101-005
ZONE OS - OPEN SPACE

SUGARHOUSE PARK AUTHORITY INC
16-21-101-005
ZONE OS - OPEN SPACE

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GEOTECHNICAL ENGINEER: GSH GEOTECHNICAL CONSULTANTS, INC.

PROJECT NO: TBD DATE: MONTH DD, YYYY

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BENCHMARK

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BASIS OF BEARING

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#2506 - SALT LAKE CITY, UTAH
1300 EAST & 2100 SOUTH
SITE PLAN

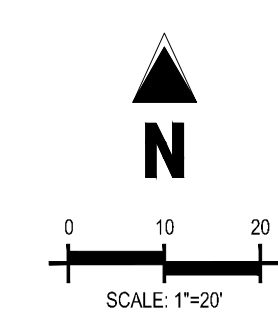
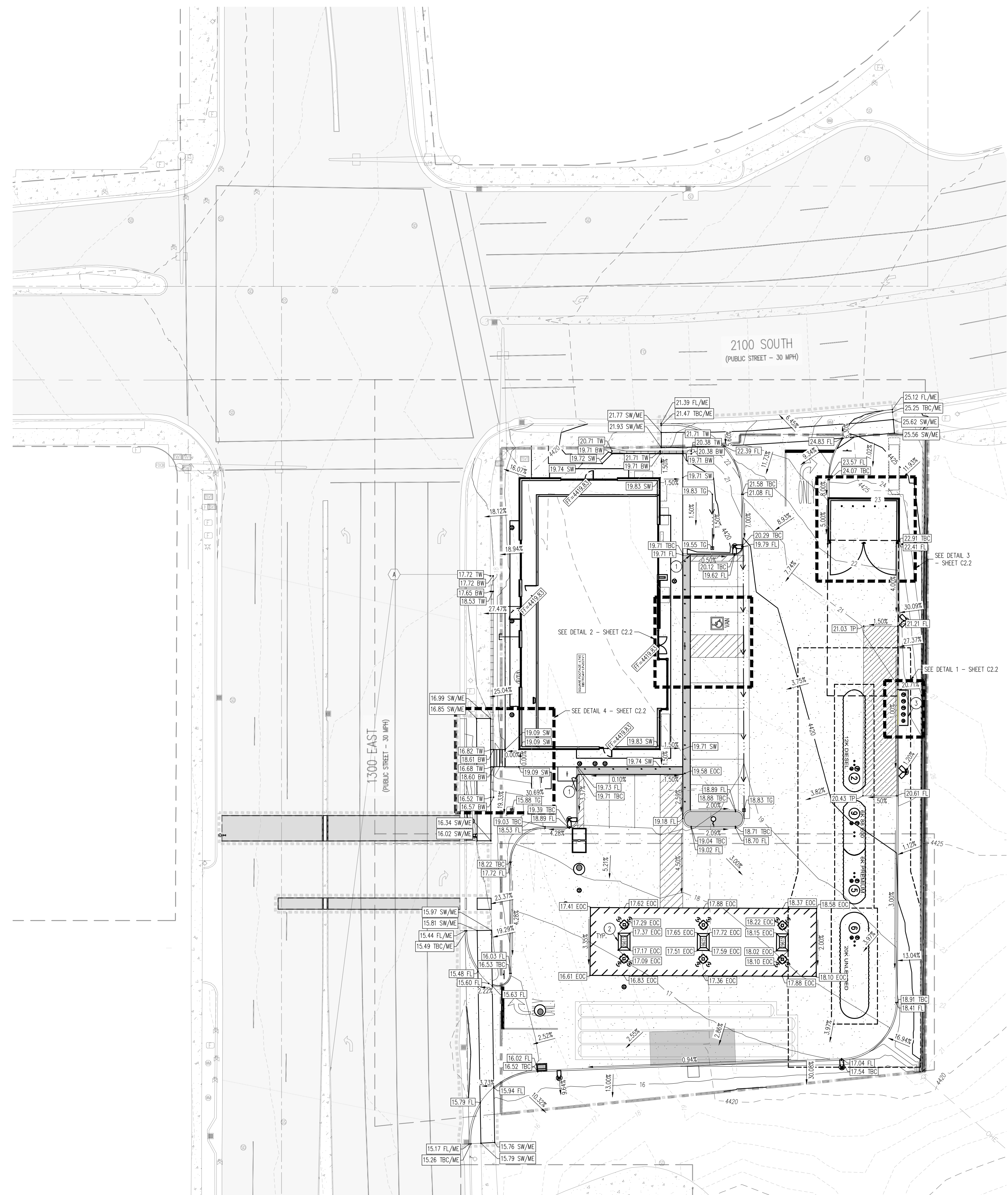
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4 OF 15

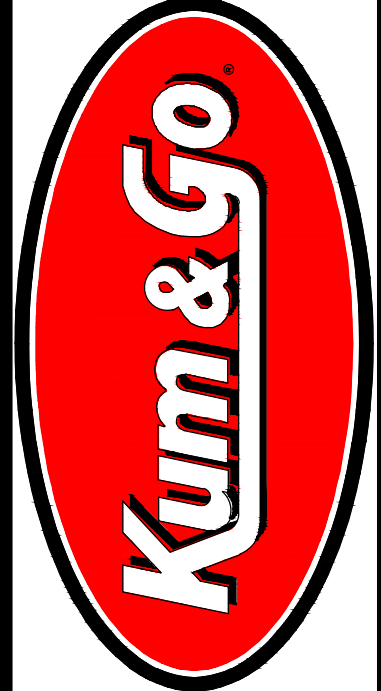


GRADING LEGEND

---	4.310	EXISTING MAJOR CONTOUR
---	11	EXISTING MINOR CONTOUR
---	---	PROPOSED MAJOR CONTOUR
---	---	PROPOSED MINOR CONTOUR
---	---	PROPOSED GRADE BREAK
---	---	PROPOSED SWALE FLOW LINE
---	15.00	PROPOSED SPOT ELEVATION
---	BR	BOTTOM OF RAMP
---	TR	TOP OF RAMP
---	FF	FINISHED FLOOR
---	FG	FINISHED GRADE
---	FL	FLOWLINE
---	GB	GRADE BREAK
---	ME	MATCH EXISTING
---	TBC	TOP BACK OF CURB
---	EOC	EDGE OF CONCRETE
---	TG	TOP OF GRATE
---	RM	RM
---	1.50%	EXISTING SLOPE ARROW
---	1.50%	PROPOSED SLOPE ARROW

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#2506 - SALT LAKE CITY, UTAH
 1300 EAST & 2100 SOUTH
GRADING PLAN

FLAG NOTES

- PROPOSED 3' TRANSITION TO ZERO FACE CURB
- ALL CONCRETE FUELING ISLANDS SHALL BE 2" ABOVE FINISH GRADE.
- ALL FUEL FILL LIDS SHALL BE 1" ABOVE FINISH GRADE.

BENCHMARK

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LEGAL DESCRIPTION

A PART OF BLOCK 46, 10-ACRE PLAT "A", BIG FIELD SURVEY, SALT LAKE CITY, UTAH, FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST RIGHT OF WAY LINE OF 1300 EAST STREET WHICH IS 66.00 FEET EAST AND 264.00 FEET SOUTH AND 45.05 FEET NORTH 84°15'00" EAST FROM THE NORTHEAST CORNER OF LOT 10 OF SAID BLOCK 46; RUNNING THENCE NORTH 0°01'00" WEST 235.41 FEET ALONG SAID EAST RIGHT OF WAY TO THE SOUTH RIGHT OF WAY LINE OF 2100 SOUTH STREET; THENCE ALONG SAID SOUTH RIGHT OF WAY LINE (4) FOUR COURSES AS FOLLOWS: NORTH 89°51'00" EAST 33.31 FEET TO A POINT OF CURVATURE, EASTERLY ALONG THE ARC OF A 766.20 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 51.16 FEET (CENTRAL ANGLE EQUALS 3°49'33" AND LONG CHORD BEARS NORTH 87°56'14" EAST 51.15 FEET), NORTH 2.84 FEET AND EAST 66.58 FEET TO A POINT ON THE EAST SECTION LINE OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SLB&M; THENCE SOUTH 01°34'44" WEST 225.07 FEET ALONG SAID SECTION LINE; THENCE SOUTH 84°15'00" WEST 150.80 FEET TO THE POINT OF BEGINNING.
 CONTAINS: 34,648 SQ. FT. OR 0.795 ACRES

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

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GEOTECHNICAL ENGINEER: GSH GEOTECHNICAL CONSULTANTS, INC.

PROJECT NO: TBD DATE: MONTH DD, YYYY

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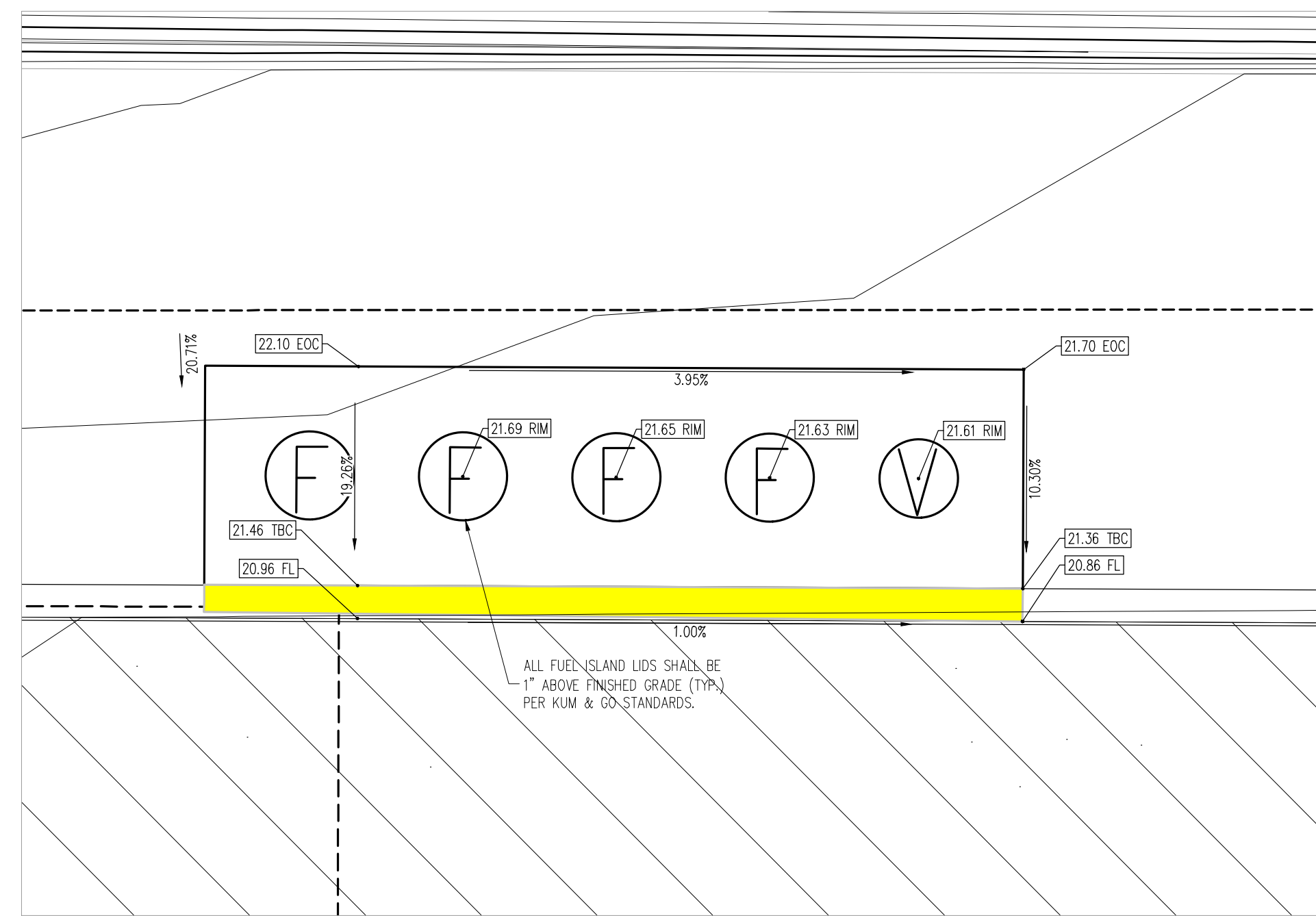
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REVISION DESCRIPTION	DATE	REVISIONS

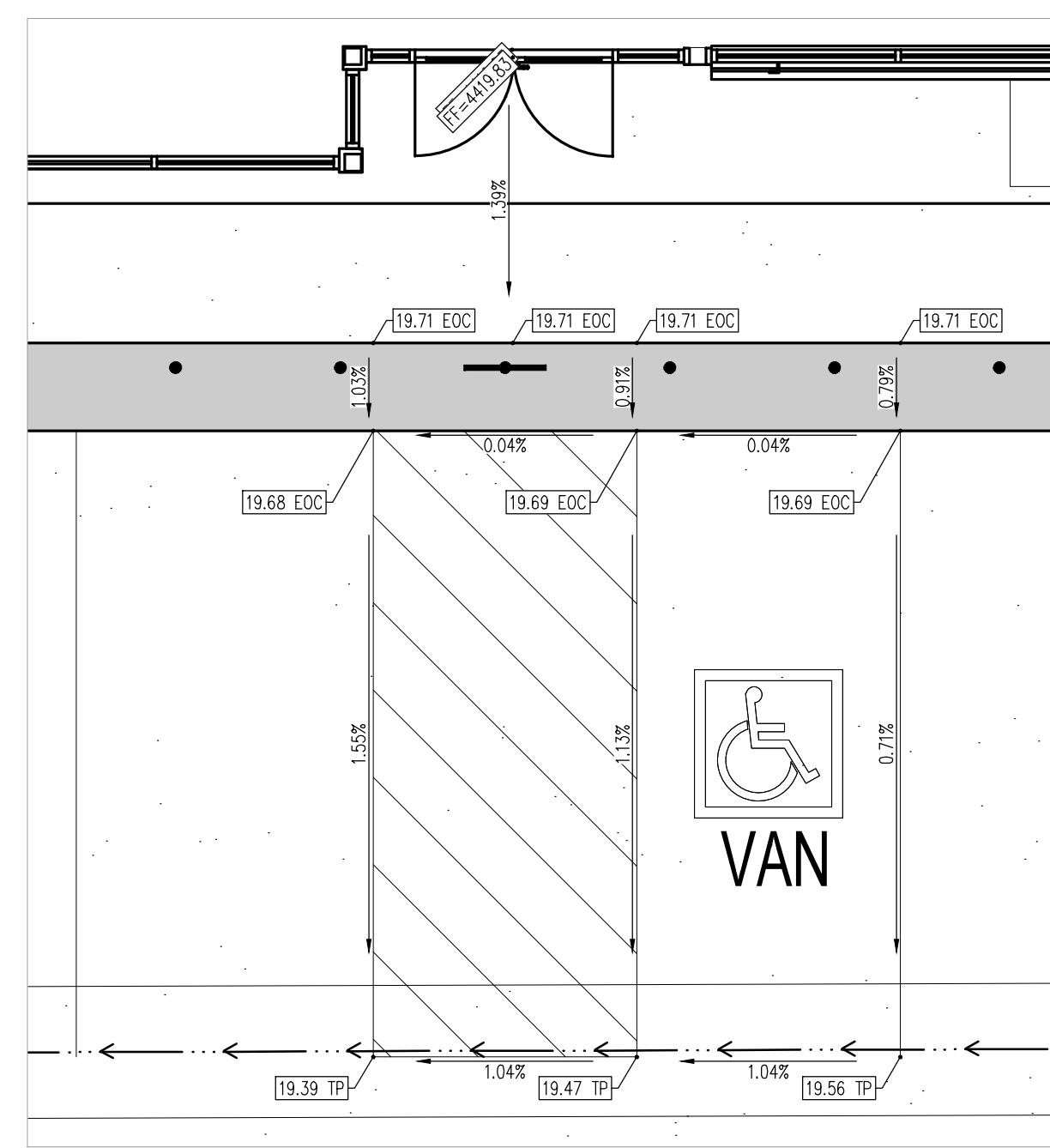
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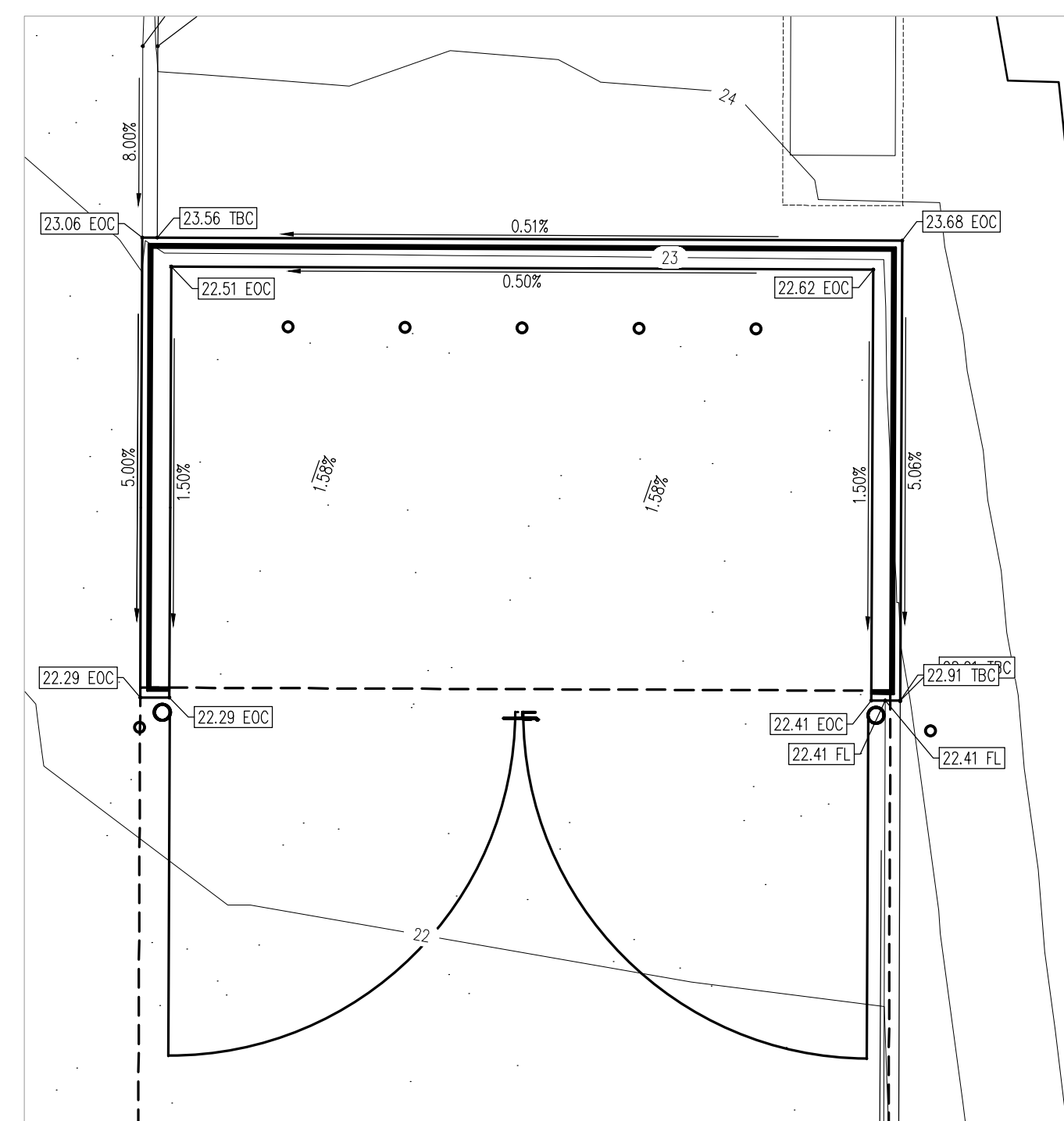
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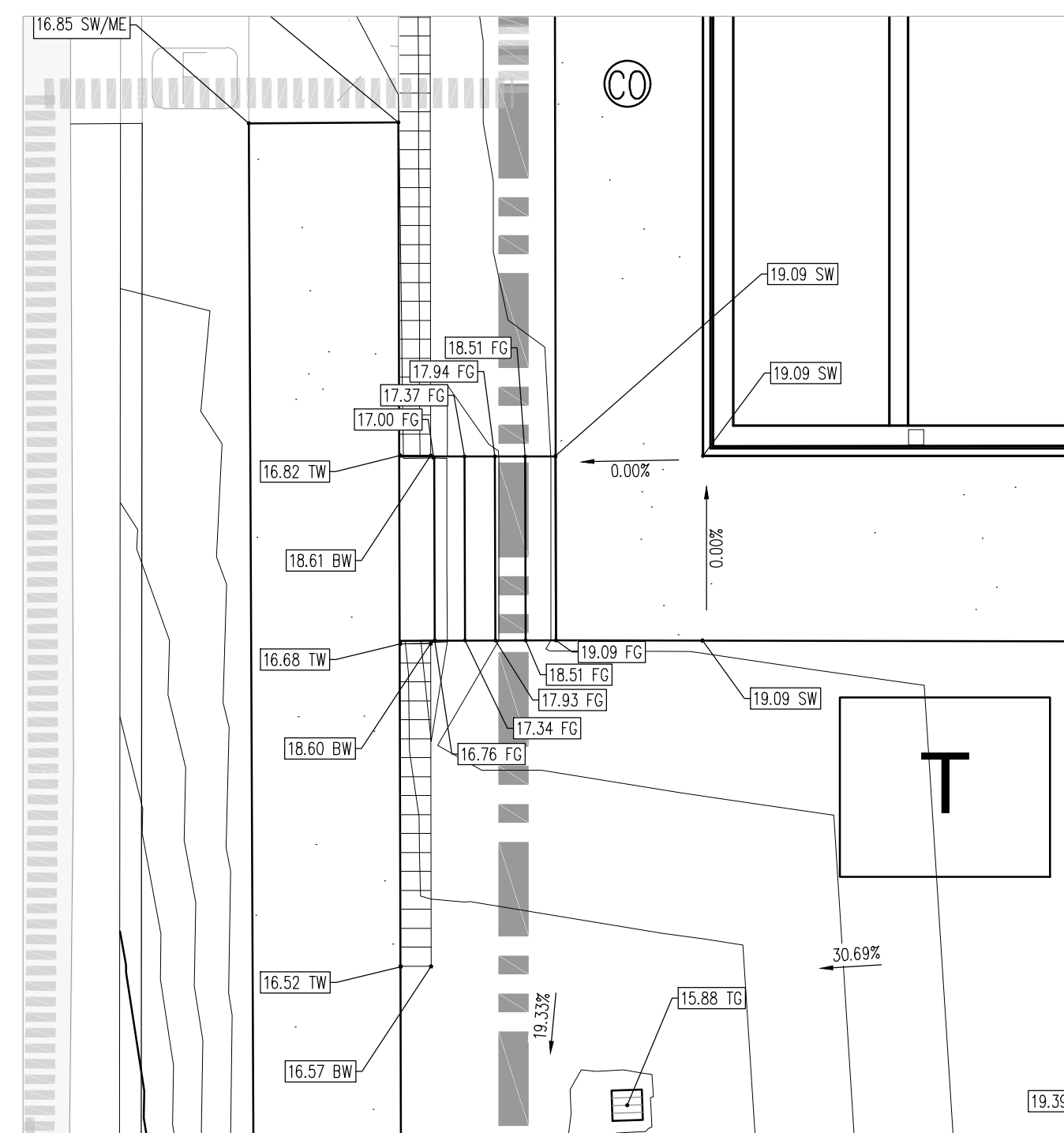
DETAIL 1
1"=2'



DETAIL 2
1"=5'



DETAIL 3
1"=5'



DETAIL 4
1"=5'

GRADING LEGEND

- 4310 --- EXISTING MAJOR CONTOUR
- 11 --- EXISTING MINOR CONTOUR
- 11 --- PROPOSED MAJOR CONTOUR
- 11 --- PROPOSED MINOR CONTOUR
- 11 --- PROPOSED GRADE BREAK
- 11 --- PROPOSED SWALE FLOW LINE
- 15.00 PROPOSED SPOT ELEVATION
- BR BOTTOM OF RAMP
- TR TOP OF RAMP
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOWLINE
- GB GRADE BREAK
- ME MATCH EXISTING
- TBC TOP BACK OF CURB
- EOC EDGE OF CONCRETE
- TG TOP OF GRATE
- RM RM
- 1.50% EXISTING SLOPE ARROW
- 1.50% PROPOSED SLOPE ARROW

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BENCHMARK

BENCHMARK: STREET MONUMENT AT 2100 SOUTH AND DOUGLAS AVENUE. NAVD83 ELEVATION = 4401.32'

BASIS OF BEARING

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Galloway
172 N. East Promontory, Suite 274
Farmington, UT 84025
801.953.1357
GallowayUS.com

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1459 Grand Ave
Des Moines, IA 50309
P: 888-458-6646

#2506 - SALT LAKE CITY, UTAH
1300 EAST & 2100 SOUTH
DETAILED GRADING PLAN

KG PROJECT TEAM:
RDM: SCOTT BARCOCK
SDM: RYAN HALDER
CPM: SCOTT NEWBURY

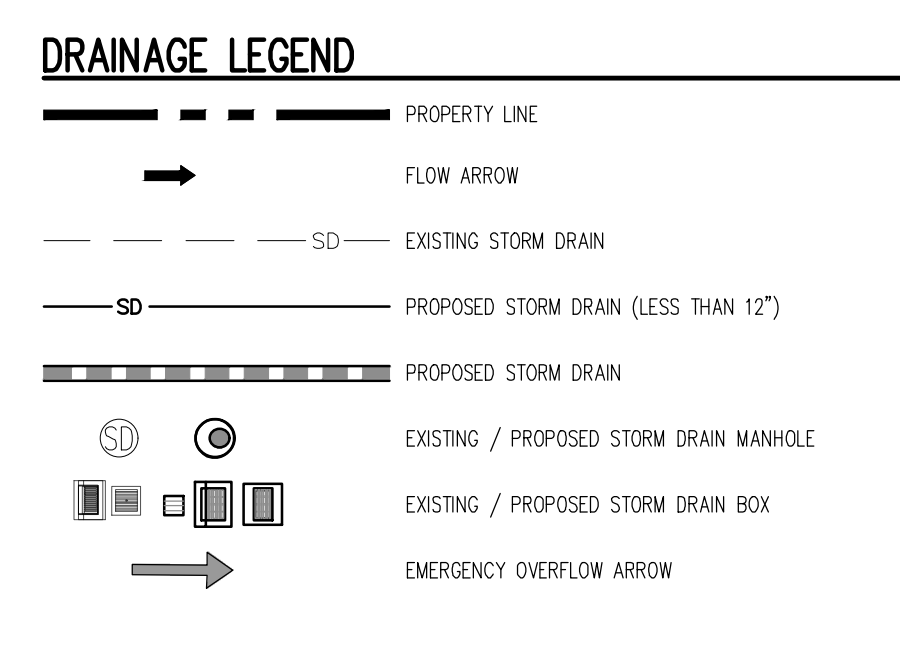
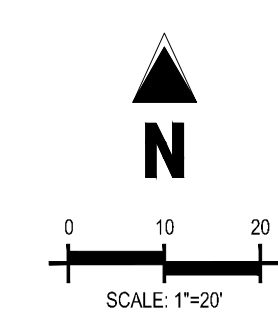
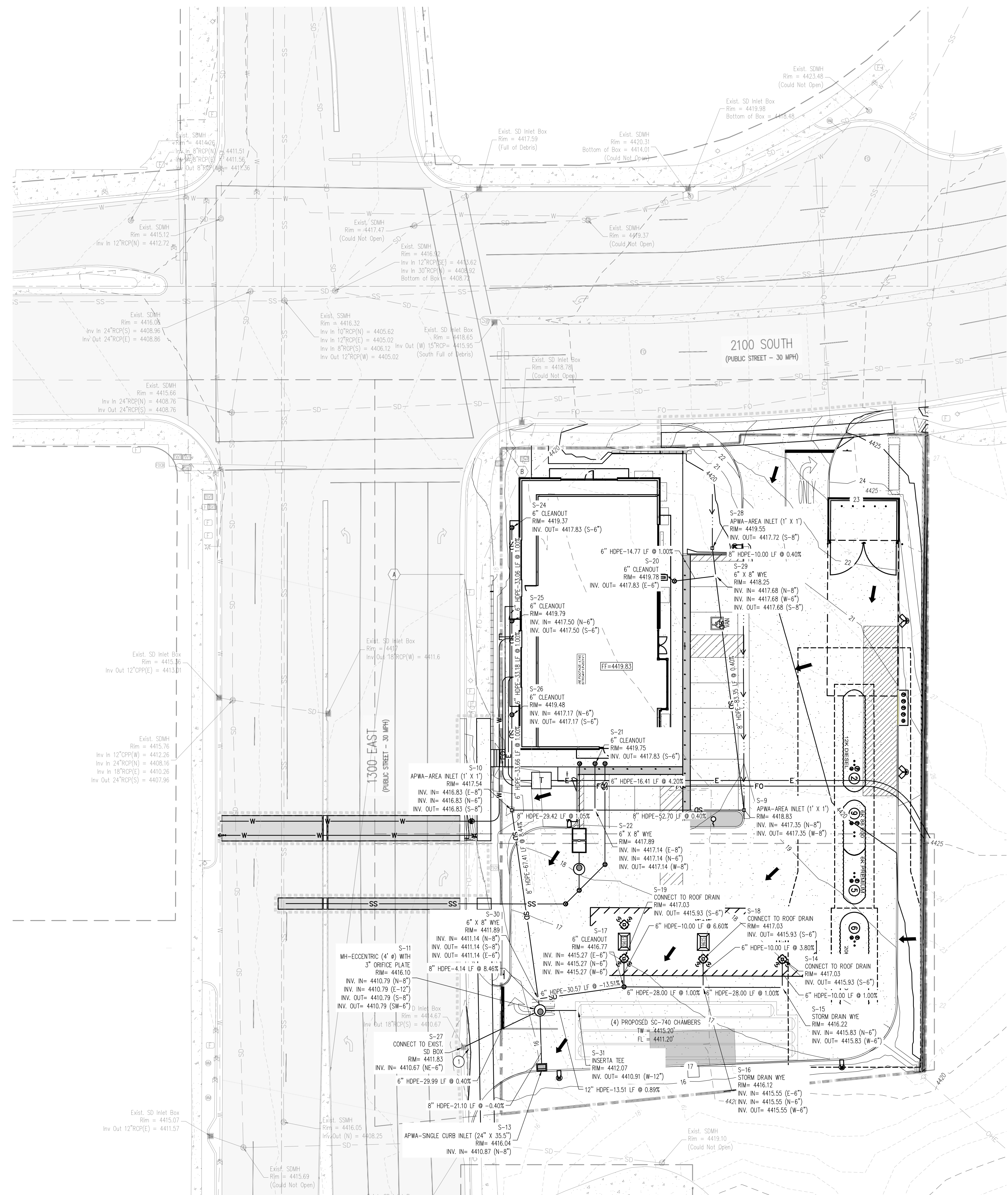
REVISION DESCRIPTION	DATE

REVISIONS

DATE: 02.04.2022

SHEET NUMBER:

C2.2
6 OF 15



- ### FLAG NOTES
- UTILITY CROSSING (CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF EXISTING UTILITY AND NOTIFY ENGINEER OF CONFLICTS, PRIOR TO CONSTRUCTION.)
 - PROPOSED ROOF DRAIN OR CANOPY DRAIN CONNECTION TO BUILDING. REFERENCE PLUMBING PLANS FOR CONTINUATION.

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FEMA FLOOD ZONE

PER FIRMETTE 49035C030H, EFFECTIVE 11/19/2021.

THIS PROPERTY RESIDES IN FEMA FLOOD ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

BENCHMARK

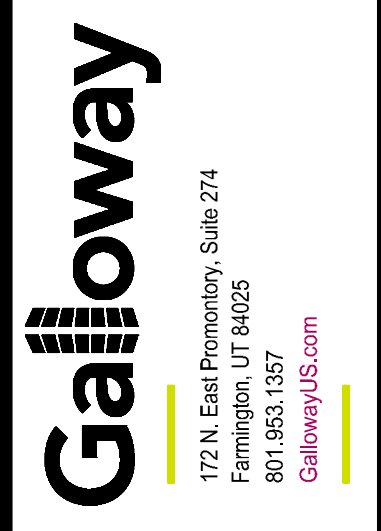
BENCHMARK: STREET MONUMENT AT 2100 SOUTH AND DOUGLAS AVENUE. NAVD88 ELEVATION = 4401.32'

BASIS OF BEARING

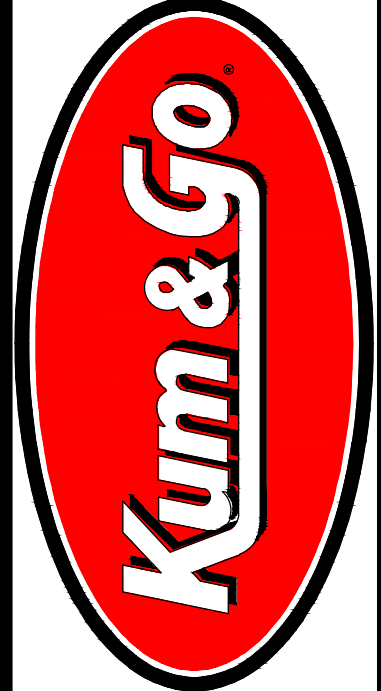
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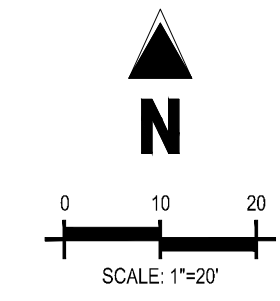
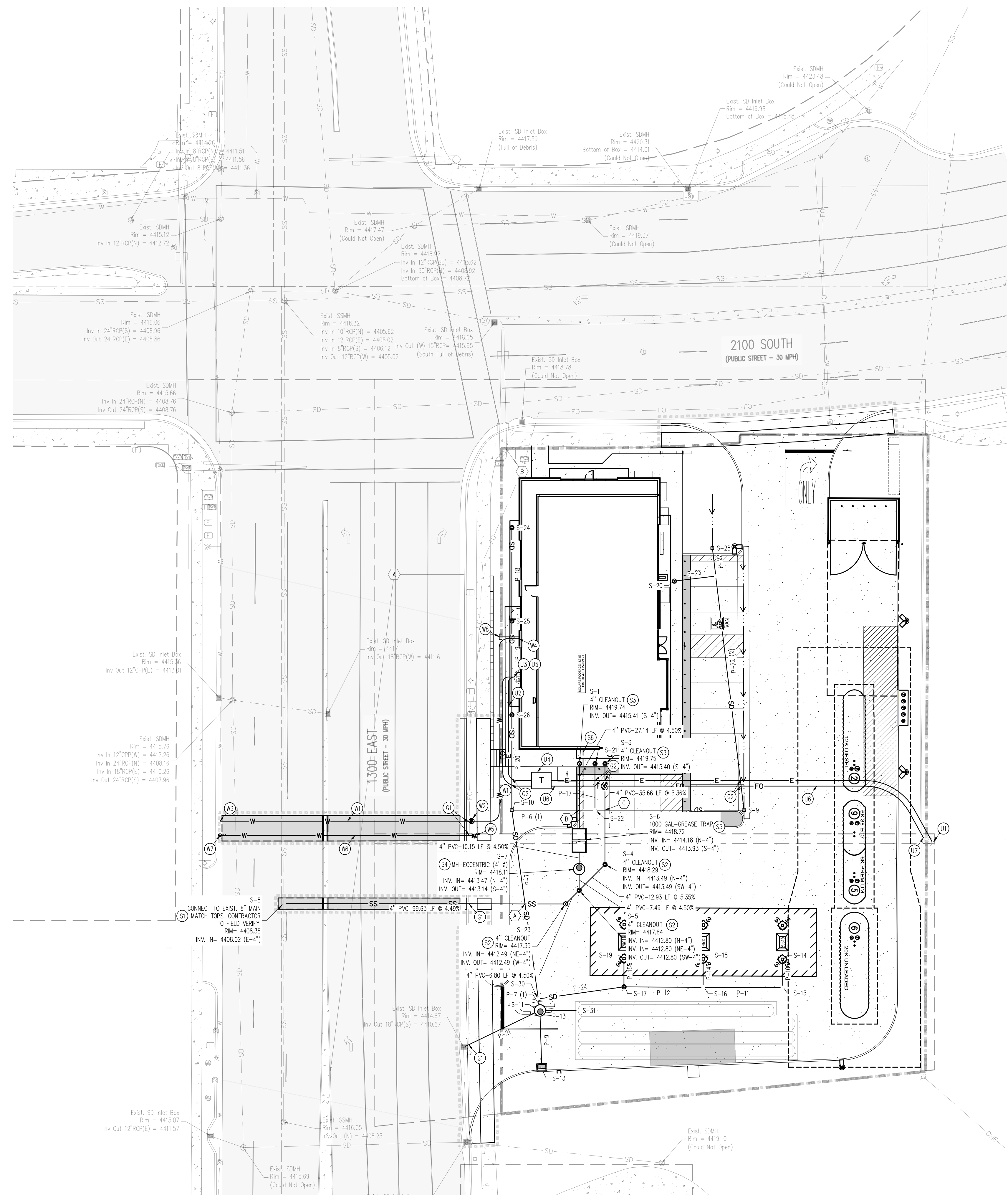
1459 Grand Ave
Des Moines, IA 50309
P: 888-458-6646

#2506 - SALT LAKE CITY, UTAH
1300 EAST & 2100 SOUTH
DRAINAGE PLAN

KG PROJECT TEAM:
RDM: SCOTT BARCOCK
SDM: RYAN HALDER
CPM: SCOTT NEWBURY

REVISION DESCRIPTION	DATE

DATE: 02.04.2022
SHEET NUMBER: C2.3
7 OF 15



GENERAL FLAG NOTES

- (G1) UTILITY CROSSING (CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF EXISTING UTILITY AND NOTIFY ENGINEER OF CONFLICTS, PRIOR TO CONSTRUCTION.)
 - (G2) UTILITY CROSSING, CONTRACTOR TO MAINTAIN MINIMUM 1' CLEAR SPACE BETWEEN UTILITIES FROM OUTER EDGE TO OUTER EDGE.
- DRY UTILITY FLAG NOTES**
- (U1) PROPOSED CONNECTION TO ROCKY MOUNTAIN POWER, CONTRACTOR TO VERIFY EXACT LOCATION WITH UTILITY PROVIDER.
 - (U2) PROPOSED ELECTRICAL PRIMARY ROUTING FROM P.O.C. TO TRANSFORMER. COORDINATE WITH ROCKY MOUNTAIN POWER FOR FINAL ROUTING.
 - (U3) PROPOSED BUILDING ELECTRICAL POINT OF SERVICE. REFERENCE ARCHITECTURAL PLANS FOR FINAL LOCATION.
 - (U4) PROPOSED TRANSFORMER LOCATION.
 - (U5) PROPOSED BUILDING POINT OF SERVICE FOR TELEPHONE AND INTERNET. REFERENCE ARCHITECTURAL PLANS FOR FINAL LOCATION.
 - (U6) PROPOSED FIBEROPTIC LINE.
 - (U7) COORDINATE CONNECTION TO EXISTING WITH COMMUNICATIONS UTILITY PROVIDER.

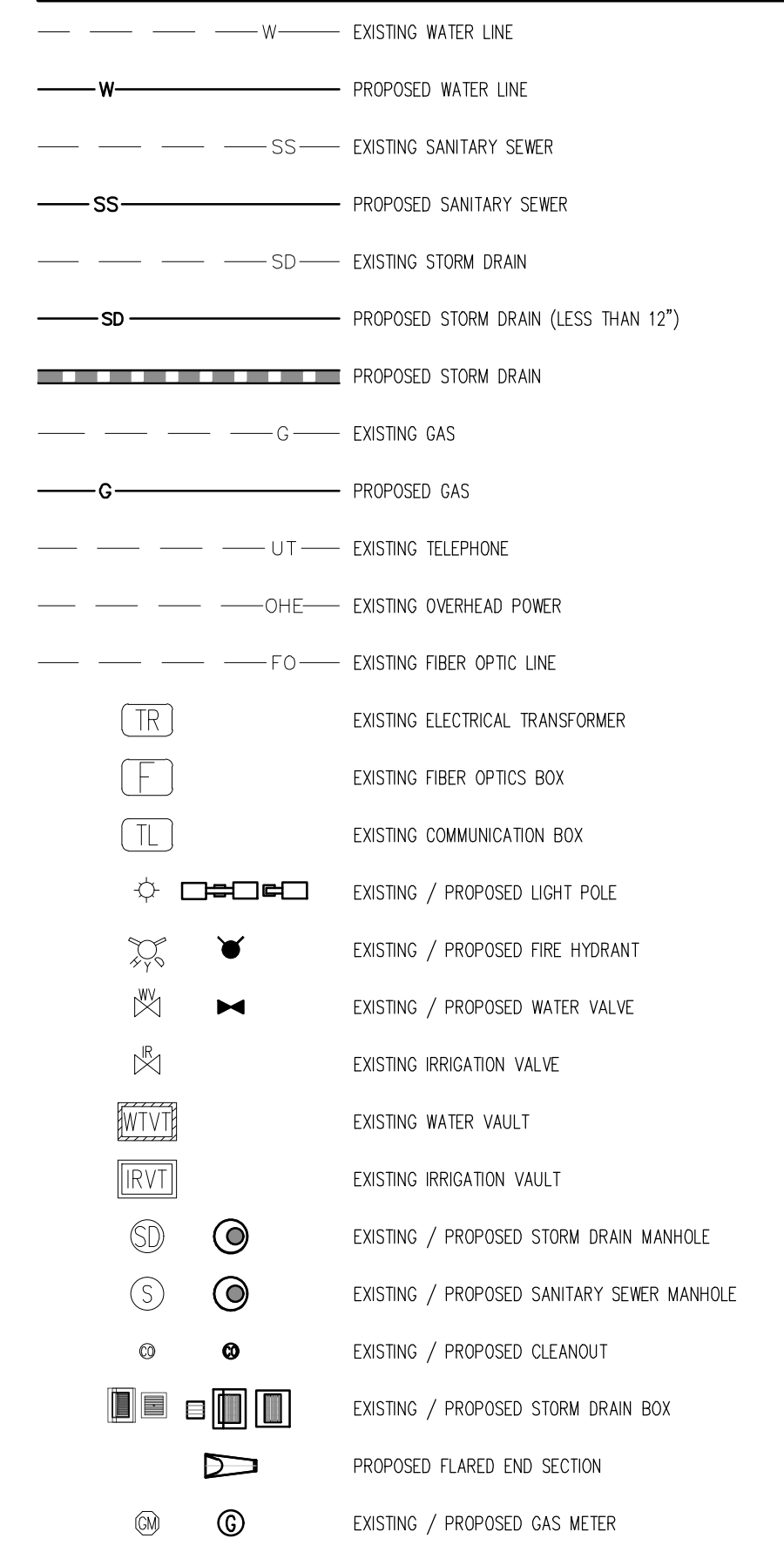
WATER FLAG NOTES

- (W1) PROPOSED 2" TYPE K CULINARY WATER LINE.
- (W2) PROPOSED 2" WATER METER BOX AND SETTER.
- (W3) PROPOSED 1/2" IN TO EXISTING 12" WATER MAIN LINE WITH DOUBLE STRAP SERVICE SADDLE AND COORDINATE STOP.
- (W4) PROPOSED DOMESTIC WATER POINT OF SERVICE TO BUILDING. REFERENCE PLUMBING PLANS FOR CONTINUATION.
- (W5) PROPOSED FIRE HYDRANT ASSEMBLY.
- (W6) PROPOSED 6" DUCTILE IRON PIPE FIRE LINE.
- (W7) PROPOSED TIE IN TO EXISTING 12" WATER MAIN LINE WITH GATE VALVE AND CONCRETE THRUST BLOCK.
- (W8) PROPOSED IRRIGATION POINT OF CONNECTION.

SANITARY SEWER FLAG NOTES

- (S1) PROPOSED 4" SEWER LATERAL CONNECTION WITH W/E TO EXISTING 8" SEWER MAIN. MATCH EXISTING TOP OF PIPE ELEVATION. FIELD VERIFY SIZE, LOCATION, AND DEPTH PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF RESULTS.
- (S2) PROPOSED SANITARY SEWER CLEANOUT.
- (S3) PROPOSED SANITARY SEWER CLEANOUT FOR POINT OF SERVICE TO BUILDING. REFERENCE PLUMBING PLANS FOR CONTINUATION.
- (S4) PROPOSED #4" SANITARY SEWER SAMPLING MANHOLE.
- (S5) PROPOSED 1000 GALLON GREASE INTERCEPTOR.
- (S6) PROPOSED 2" VENT LINE FROM GREASE TRAP TO BUILDING. REFERENCE MECHANICAL AND PLUMBING PLANS FOR VTR COORDINATION.

UTILITY LEGEND



UTILITY CROSSING					
	TOP	INVERT ELEVATION	BOTTOM	CLEARANCE	
(A)	8" STM	4414.00'	4" SAN	4412.18'	1.82'
(B)	8" STM	4417.11'	4" SAN	4415.00'	2.11'
(C)	8" STM	4417.15'	4" SAN	4414.85'	2.30'

SOUTH VALLEY SEWER DISTRICT NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTION ANY NEW SEWER LINES.
- FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.
- THE NOSE-ON FOR THE SEWER LATERAL SHALL BE PERFORMED BY SOUTH VALLEY SEWER DISTRICT (SVSD) PERSONNEL. CONTACT SVSD AT LEAST 24 HOURS PRIOR TO CONSTRUCTION.

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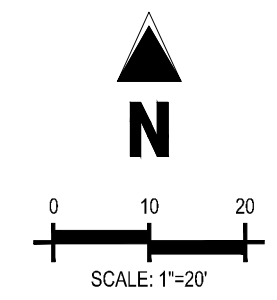
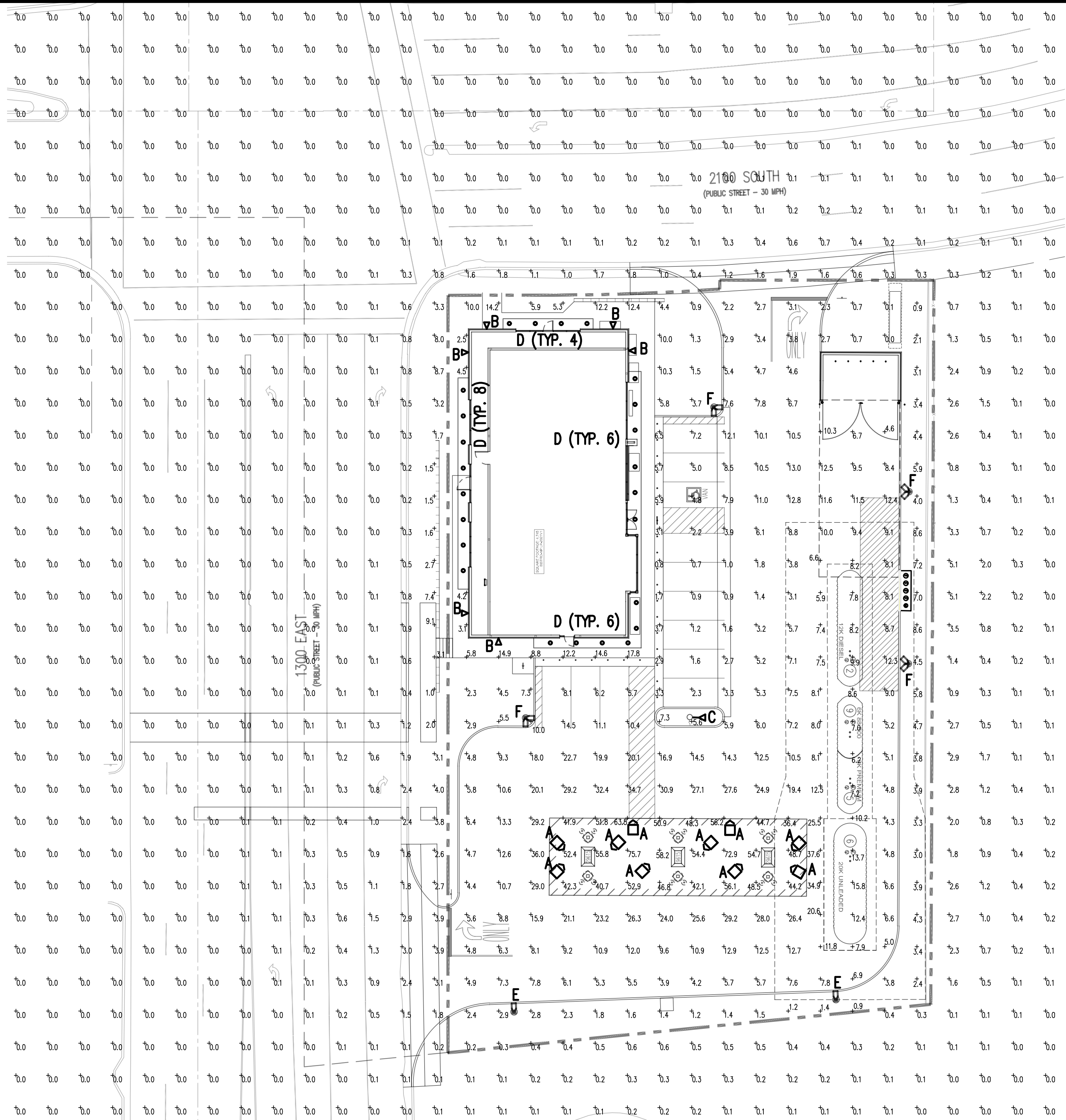
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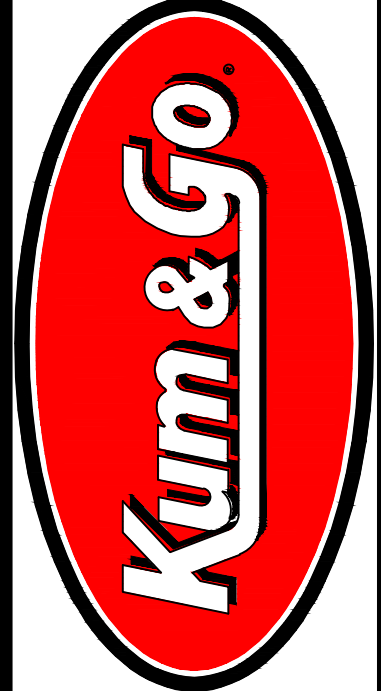
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 Des Moines, IA 50309
 P: 888-458-6646

#2506 - SALT LAKE CITY, UTAH
 1300 EAST & 2100 SOUTH
PHOTOMETRIC PLAN

KG PROJECT TEAM:
 RDM: SCOTT BARCOCK
 SDM: RYAN HALDER
 CPM: SCOTT NEWBURY

REVISION DESCRIPTION	DATE

DATE: 02.04.2022
 SHEET NUMBER:
PP1.0
9 OF 15

LUMINAIRE SCHEDULE

LABEL	SYMBOL	QTY	ARRANGEMENT	MODEL NUMBER	DESCRIPTION	LUMENS	TOTAL WATTS
A		10	SINGLE	SCV-LED-23L-SCFT-50-WHT	LSI LIGHTING, SCOTTSDALE VERTEX SERIES, 23L LUMEN PACKAGE, SYMMETRIC AND FORWARD THROW DISTRIBUTION, 5000K, WHITE, LED CANOPY FIXTURE, MOUNTED AT 15'-6"	23101	188
B		6	SINGLE	WST-LED-P2-40K-VW-MVOLT	LITHONIA LIGHTING, WST LED SERIES, 3,000 LUMEN PACKAGE, 4000K, VISUAL COMFORT WIDE DISTRIBUTION, LED DECORATIVE WALL SCONCE, MOUNTED AT 11'-0"	3512	25
C		1	SINGLE	TLFL LED-20L-UNV-DIM-40-BLK	LSI LIGHTING, TLFL SERIES, 20L LUMEN PACKAGE, 4000K, BLACK COLOR, LED FLOODLIGHT, MOUNTED AT 4'-0", AIMED TO ILLUMINATE FLAG	19790	188
D		24	SINGLE	DNR-52609 LED6-40K	ATLANTIC LIGHTING, RECESSED 6" LENSED LED DOWNLIGHT, 4000K, FROSTED LENS, SPECULAR CLEAR FINISH MOUNTED AT 9'-0"	1579	23.8
E		2	SINGLE	SLM-18L-SIL-FT-UNV-50-70-BRZ-IL-S	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K, 70 CRI, SINGLE HEAD FLAT LENS FIXTURE WITH INTEGRAL LOUVER SHIELD, FORWARD THROW MOUNTED ON 16" POLE WITH 2'-6" CONCRETE BASE	12568	149
F		4	2 @ 90 DEGREES	SLM-18L-SIL-FT-UNV-50-70-BRZ-IL-D90	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K, 70 CRI, DOUBLE HEAD FLAT LENS FIXTURE WITH INTEGRAL LOUVER SHIELD, FORWARD THROW MOUNTED ON 16" POLE WITH 2'-6" CONCRETE BASE	12568	298

NOTES: REFER TO MEP PLANS FOR SITE LIGHTING ELECTRICAL AND POLE BASE DETAIL.
 DISTANCE FROM CENTER OF POLE TO BACK OF CURB = 4'-0" UNLESS NOTED OTHERWISE.

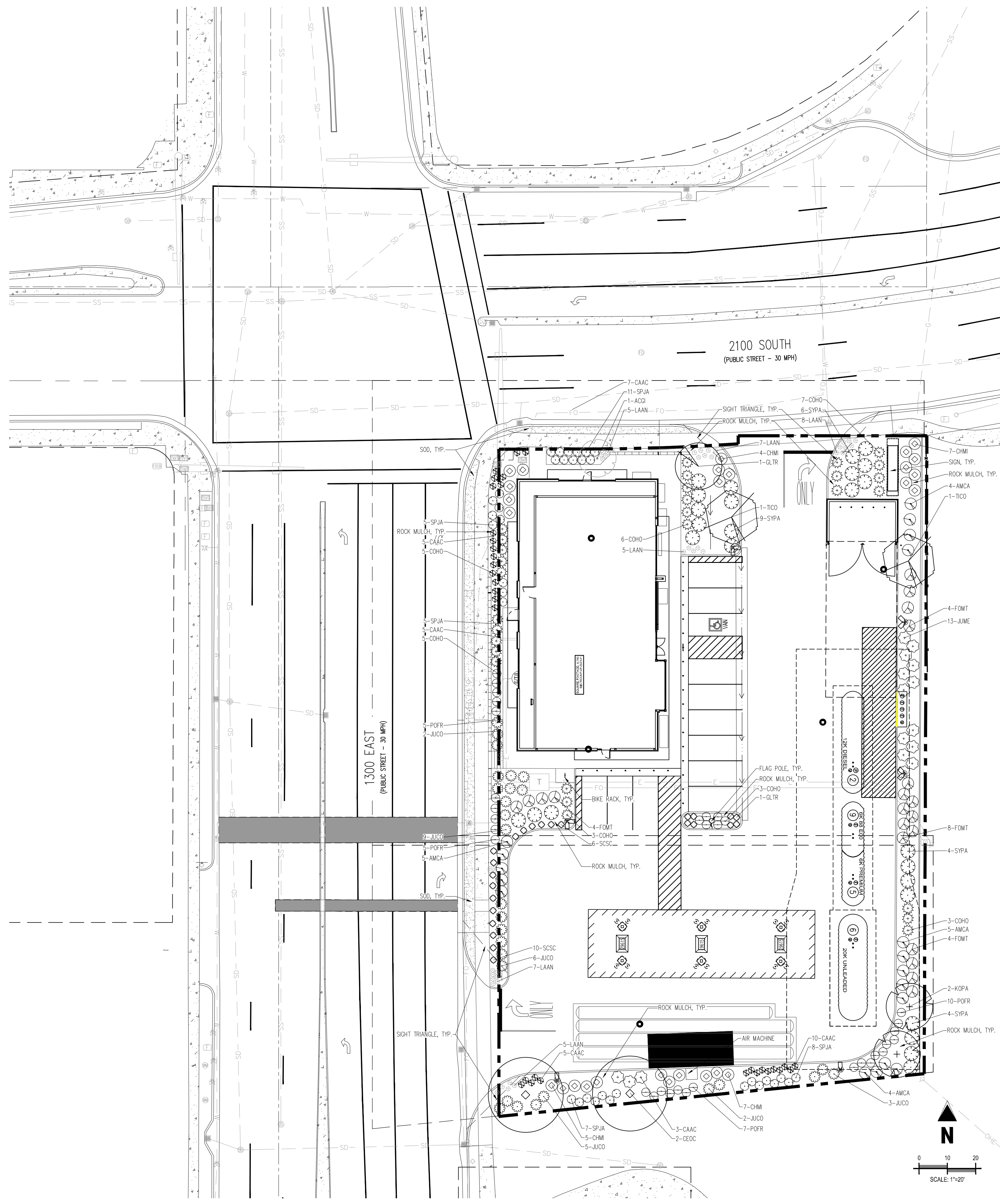
CALCULATION SUMMARY

LABEL	UNITS	AVG	MAX	UNIFORMITY RATIOS	
				AVG/MIN	MAX/MIN
CANOPY AREA	FC	47.74	75.7	25.5	1.87 to 1
PARKING AREAS	FC	4.15	12.1	0.7	5.93 to 1
DRIVE AREAS	FC	10.25	34.7	1.4	7.32 to 1

CAUTION - NOTICE TO CONTRACTOR
 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION. **Call before you dig.**

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



PLANTING LEGEND

QTY	LEGEND ABBREV.	BOTANIC NAME	COMMON NAME	PLANTING SIZE (MINIMUM)	MATURE SIZE (V.L.L.M.H)	WATER USE	SUN/SHADE	PLANT S.F. AT MATURITY
DECIDUOUS TREES								
2	CEOC	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2" CAL. B&B	60'X40'	L	SUN/PART SHADE	
1	GLTR	GLEDTISIA TRIACANTHOS INERMIS 'IMPERIAL'	IMPERIAL HONEYLOCUST	2" CAL. B&B	35'X25'	L	SUN	
2	KOPA	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	2" CAL. B&B	30'X25'	L	SUN	
2	TICO	TILIA CORDATA	LITTLELEAF LINDEN	2" CAL. B&B	40'X30'	M	SUN/PART SHADE	
ORNAMENTAL TREES								
1	ACGI	ACER GINNALA 'FLAME'	FLAME GINNALA MAPLE	1.5" CAL. B&B	20'X20'	L/M	SUN/PART SHADE	
DECIDUOUS SHRUBS								
18	AMCA	AMORPHA CANESCENS	LEADPLANT	#5 CONT. 18-24"	4'X4'	VL	SUN	226.26
27	CHMI	CHAMAEBATIARA MILLEFOLIUM	FERNBUSH	#5 CONT. 18-24"	4'X4'	VL	SUN	339.39
20	FOMT	FOTHERGILLA 'MT. AIRY'	DWARF FOTHERGILLA	#5 CONT. 18-24"	5'X4'	M	SUN/PART SHADE	251.4
33	POFR	POTENTILLA FRUTICOSA 'TANGERINE'	TANGERINE POTENTILLA	#5 CONT. 18-24"	2'X3'	L/M	SUN/PART SHADE	232.98
35	SPJA	SPIREA JAPONICA 'NEON FLASH'	NEON FLASH SPIREA	#5 CONT. 18-24"	3'X3'	L/M	SUN	247.1
26	SYPA	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	#5 CONT. 18-24"	5'X5'	VL	SUN/PART SHADE	510.38
EVERGREEN SHRUBS								
29	COHO	COTONEASTER HORIZONTALIS	ROCK COTONEASTER	#5 CONT. 18-24"	2'X4'	M	SUN/PART SHADE	364.53
28	JUCO	JUNIPERUS COMMUNIS 'MONDAP'	ALPINE CARPET JUNIPER	#5 CONT. 18-24"	8'X4'	L	SUN/PART SHADE	351.96
16	JUME	JUNIPERUS X MEDIA 'OLD GOLD'	OLD GOLD JUNIPER	#5 CONT. 18-24"	3'X4'	VL	SUN/PART SHADE	201.12
ORNAMENTAL GRASSES								
32	CAAC	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 CONT.	5'X2'	L	SUN	100.48
24	SCSC	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#1 CONT.	3'X2'	VL	SUN	75.36
PERENNIALS								
37	LAAN	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER	#1 CONT.	18"X18"	VL	SUN	65.49

TOTAL AREA SHRUB AND GRASSES COVERAGE = 2,967 S.F.

SOD	QUANTITY	DESCRIPTION	REMARKS	UNIT	PROVIDED
780 SF	FESCUE SOD	RTF (RHIZOMATOUS TALL FESCUE)		M	
5,340 SF	ROCK COBBLE MULCH	2"-4" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS.		N/A	
AS NEEDED	WOOD MULCH	DARK BROWN SHREDDED HARDWOOD MULCH		N/A	

LANDSCAPE CALCULATIONS

AREAS OF REQUIRED LANDSCAPING	AREA	FORMULA	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
TOTAL REQUIRED LANDSCAPE AREA	34,649 SF	15% OF TOTAL SITE AREA (34,649 SF TOTAL SITE)	4,898 SF REQUIRED	6,485 SF PROVIDED
REQUIRED INTERIOR TREES	4,898 SF	1 TREE PER 2000 SF OF REQUIRED INTERIOR LANDSCAPING	3 TREES	4 TREES
REQUIRED PARKING LOT TREES	4,898 SF	1 TREE PER 7' PARKING STALLS OF INTERIOR PARKING	2 TREES	3 TREES
			TOTAL TREES REQUIRED: 5	TOTAL TREES PROVIDED: 7

LANDSCAPE COVERAGE CALCULATIONS

AREAS OF REQUIRED LANDSCAPING	AREA	FORMULA	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
LANDSCAPE AREA COVERAGE ON-SITE	4,898 SF	50% OF LANDSCAPE AREA	2,449 SF REQUIRED	2,967 SF PROVIDED (60.5%)
LANDSCAPE AREA OFF-SITE	780 SF	50% OF LANDSCAPE AREA	390 SF REQUIRED	780 SF PROVIDED (100% SODDED)

CAUTION
 UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

UTILITY NOTES

- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HEREIN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

PRELIMINARY
 NOT FOR BIDDING
 NOT FOR CONSTRUCTION



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PLANTING NOTES

GENERAL

- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
- LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
- THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
- LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
- FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
- WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS OF THE STATE OF UTAH.
- LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.

FINISH GRADING AND SOIL PREPARATION

- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
- AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12

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FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

PLANTING

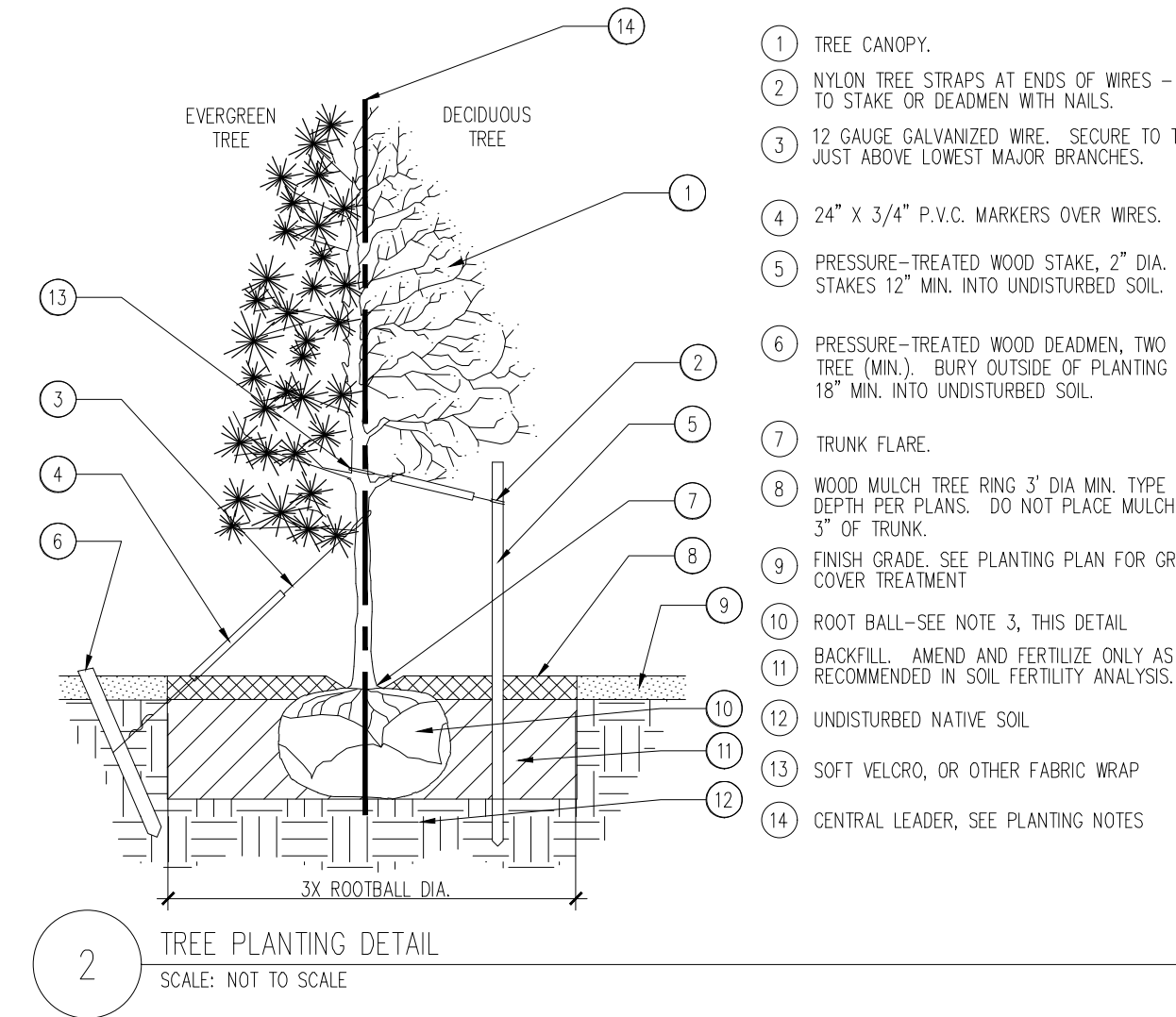
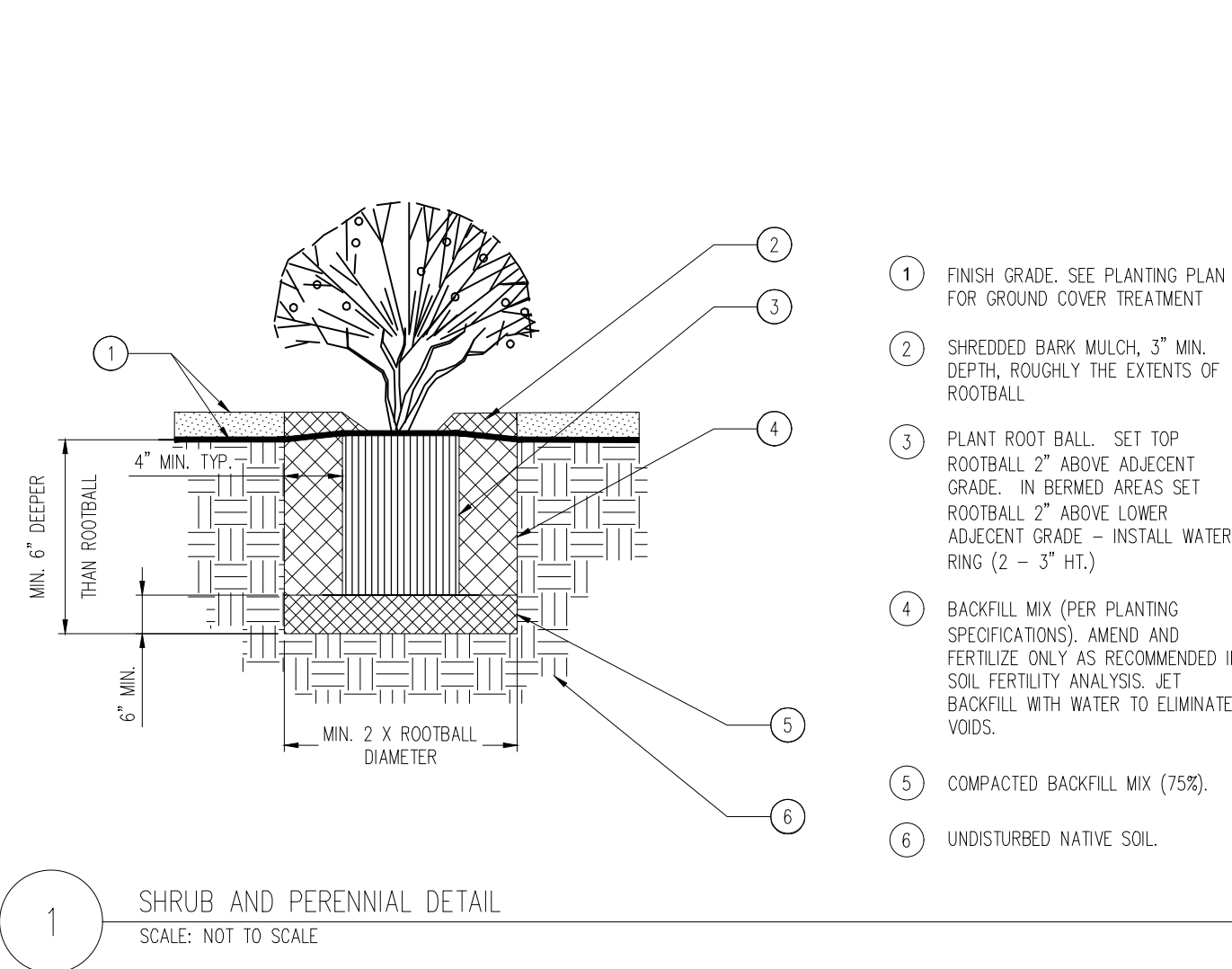
- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE CUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
 - ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
 - ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
 - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
 - ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH TO FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: BLACK.
 - THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
 - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
 - LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E.: MULCH, EDGER, LANDSCAPE FABRIC, ETC.
- MULCHING**
- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE INDICATED IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
 - ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
 - INSTALL BENTMIT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
 - ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #0T-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOO/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

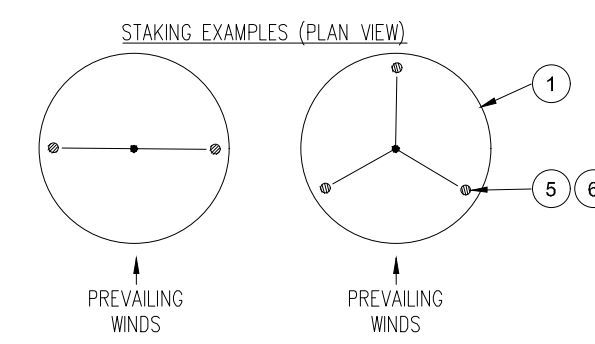
LANDSCAPE GUARANTEE AND MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOO, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.



NOTES:

- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
- REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 3"-5" ABOVE FINISH GRADE.
- CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE ALL BURLAP FROM AROUND ROOTBALL.
- TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT. WHEN WRAPPING TREE, WRAP FROM TRUNK FLARE TO LOWEST MAJOR BRANCH.
- REMOVE ALL NURSERY STAKES AFTER PLANTING.
- FOR TREES OVER 3" CALIPER, USE THREE STAKES OR DEADEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.



Galloway
172 N. East Promontory, Suite 274
Farmington, UT 84025
801.953.1357
GallowayUS.com

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION



1459 Grand Ave
Des Moines, IA 50309
P: 888-458-6646

#2506 - SALT LAKE CITY, UTAH
1300 EAST & 2100 SOUTH

KG PROJECT TEAM:
RDM: SCOTT BARCOCK
SDM: RYAN HALDER
CPM: SCOTT NEWBURY

REVISION DESCRIPTION	DATE	BY	REVISIONS

DATE: 02.04.2022

SHEET NUMBER:
L1.1
12 OF 15

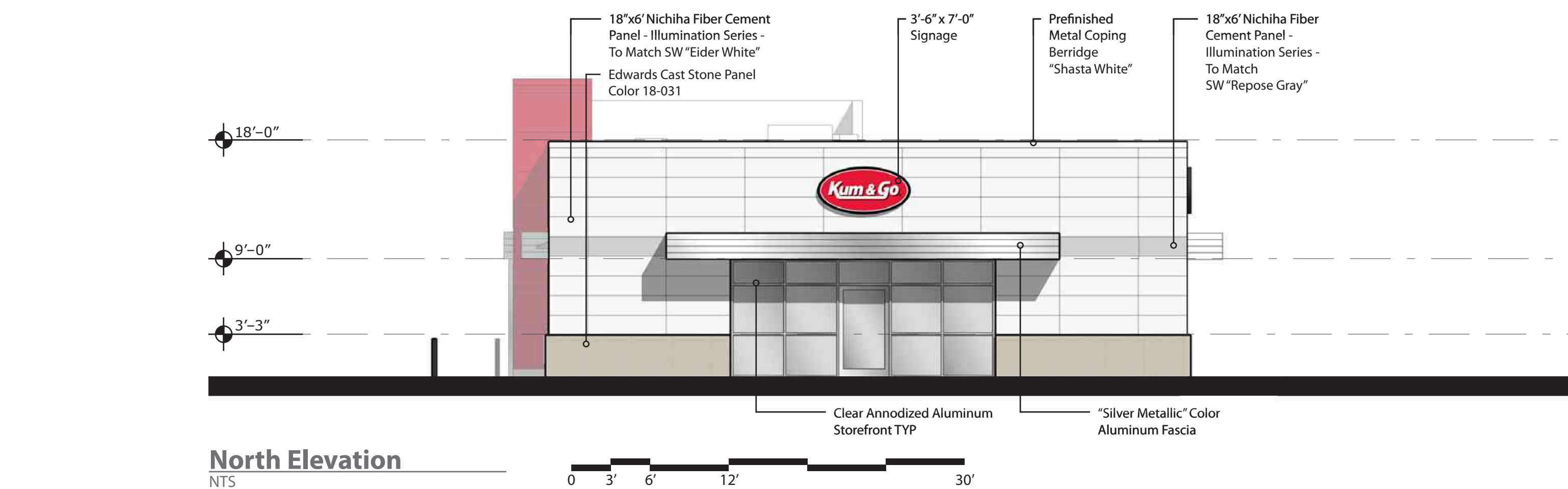
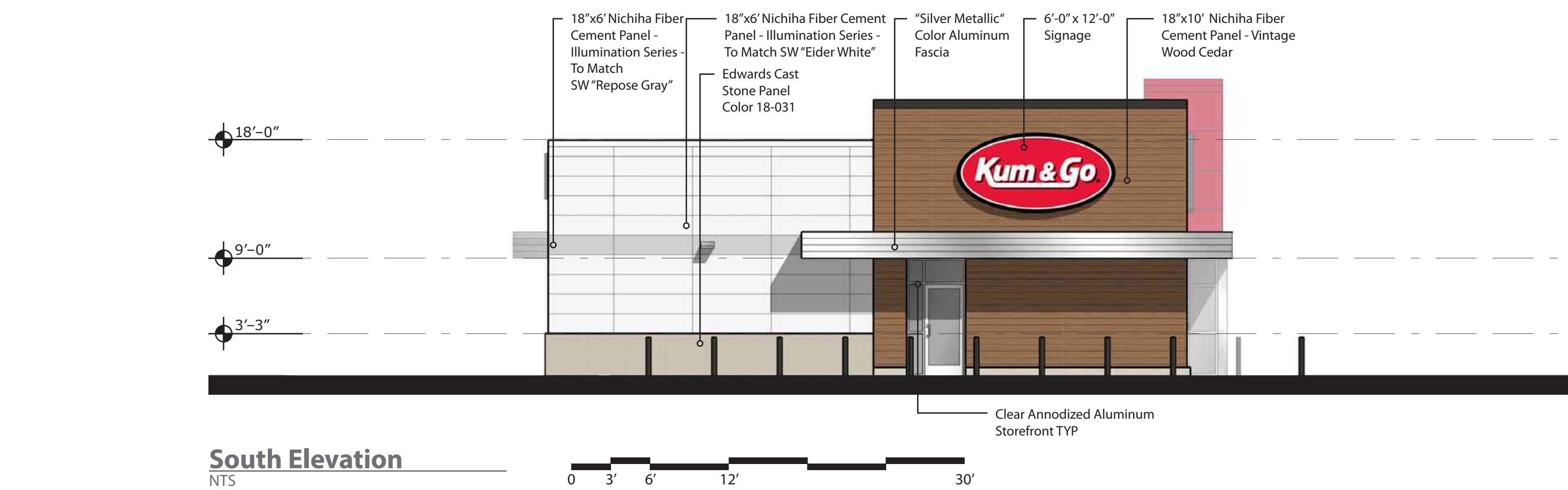
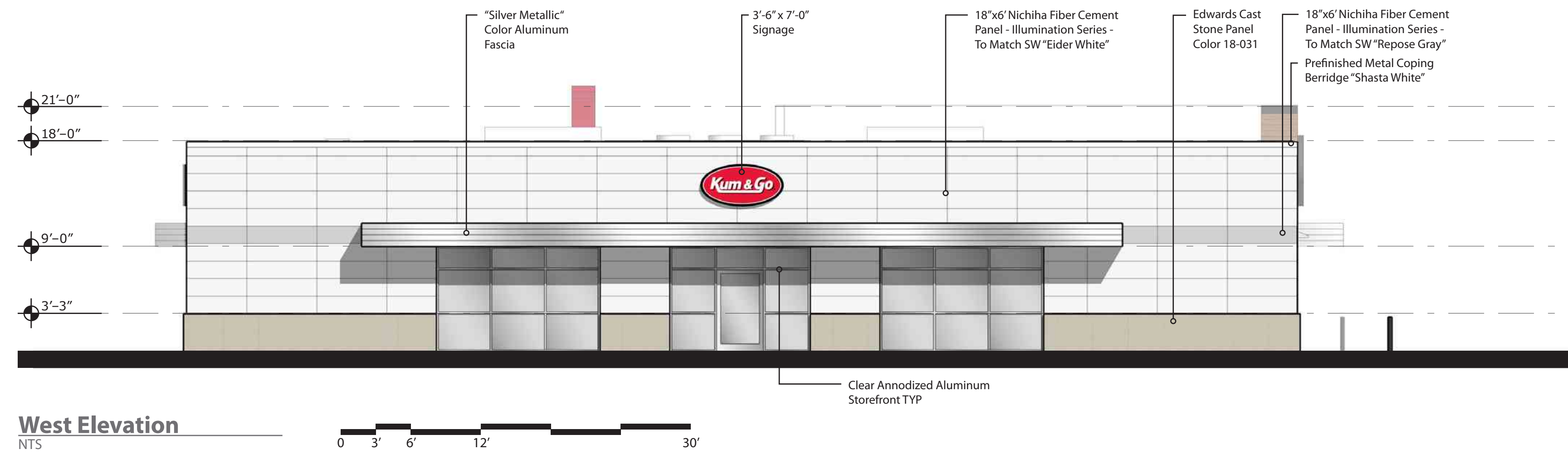
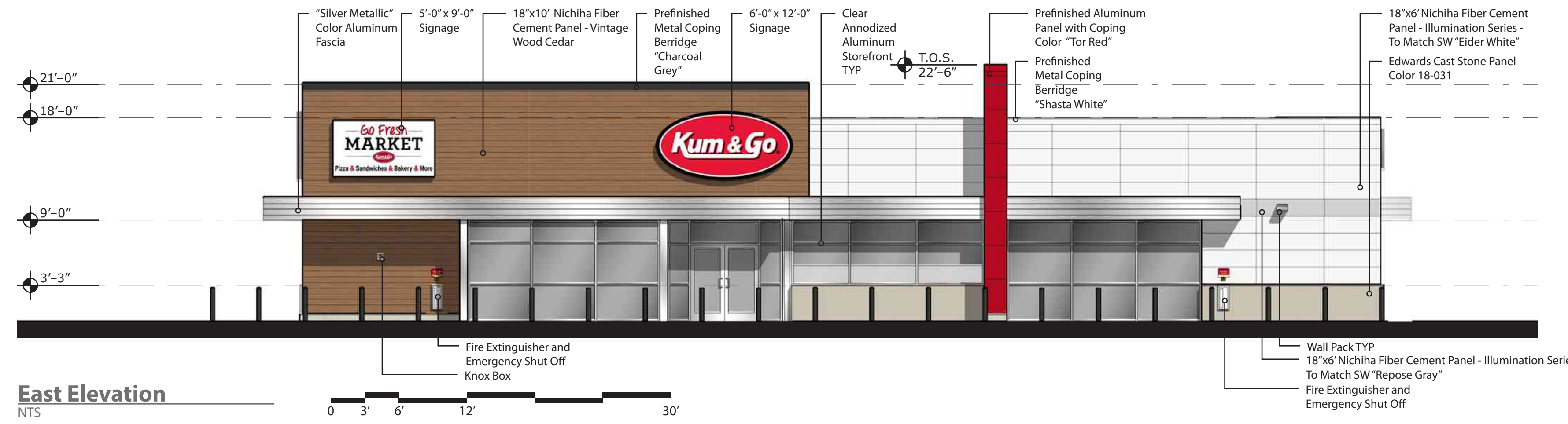
Proposed Building Signage

Location	Sign	Size	Area
North Elevation	"Kum & Go" Sign	6' x 12'	72 SF
	"Go Fresh Market" Sign	5' x 9'	45 SF
West Elevation	"Kum & Go" Sign	3'-6" x 7'	19 SF
South Elevation	"Kum & Go" Sign	6' x 12'	72 SF
East Elevation	"Kum & Go" Sign	3'-6" x 7'	19 SF
Total			227 SF

Glazing Calculations

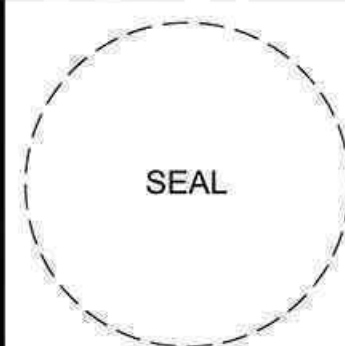
West Elevation			
	Square Feet	% of Glazing	
Glazing	200	42%	
Total	480.8		

North Elevation			
	Square Feet	% of Glazing	
Glazing	100	41%	
Total	243.75		



brr

ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC
813 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204
www.brrarch.com
TEL: 913-262-9055
FAX: 913-262-9044



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50309
P:515-457-6247

2506 - SALT LAKE CITY, UT
2100 S & 1300 E
EXTERIOR ELEVATIONS

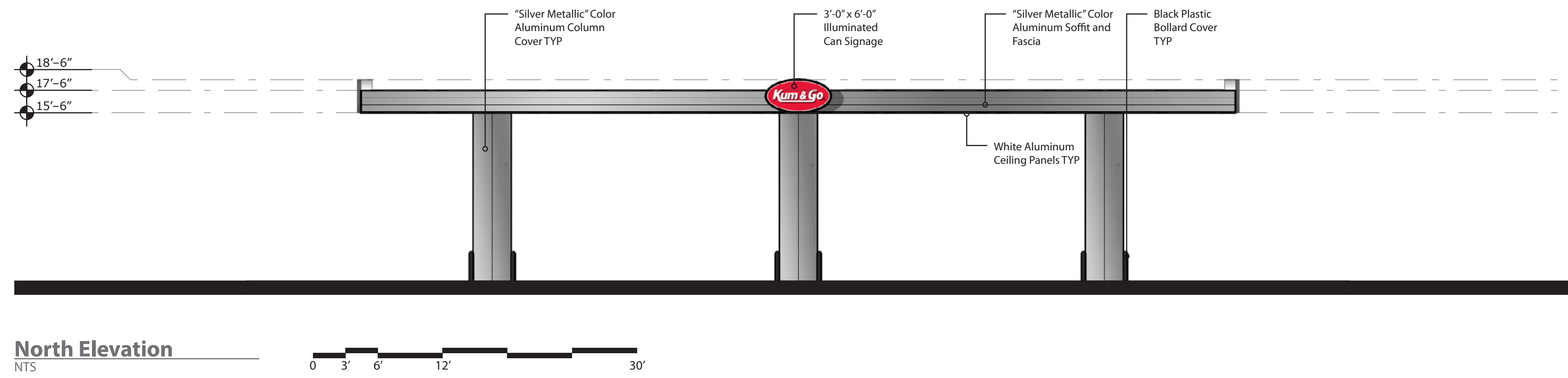
KG PROJECT TEAM:
RDM:
SDM:
CPM:

REVISION DESCRIPTION	DATE

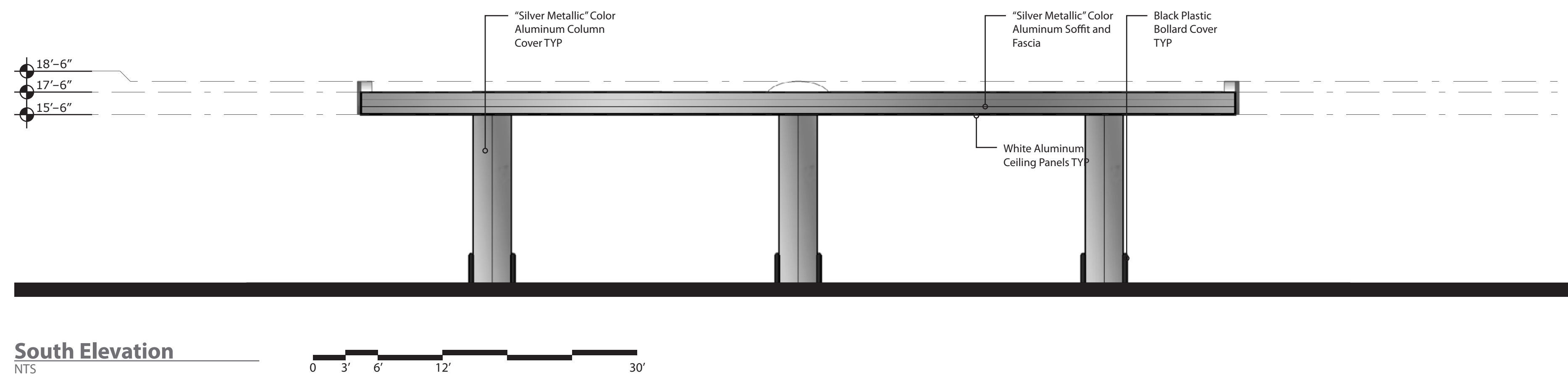
DATE: 02/04/2022
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Proposed Canopy Signage

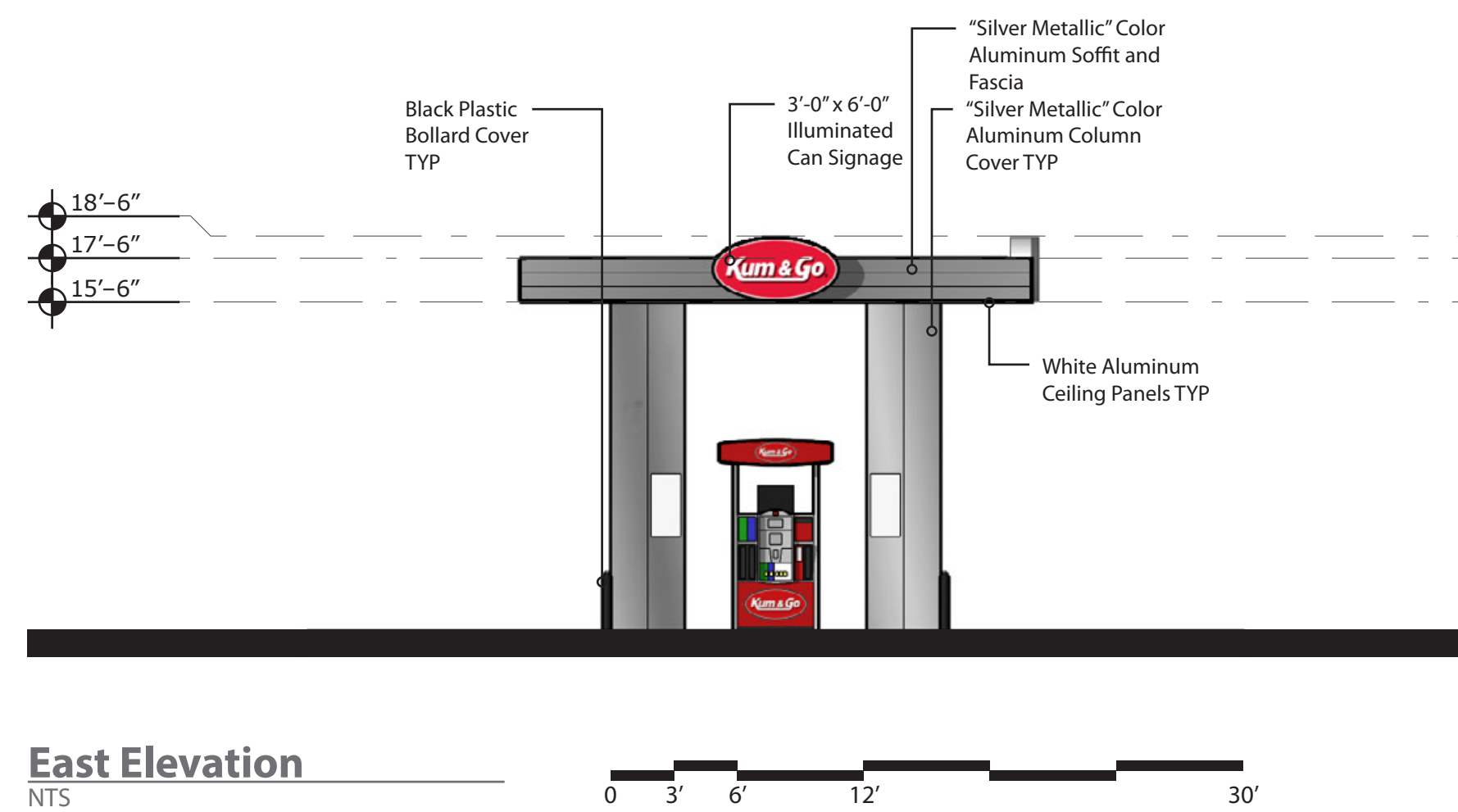
Location	Sign	Size	Area
North Elevation	No Signage	---	0 SF
South Elevation	"Kum & Go" Sign	3' x 6'	18 SF
East Elevation	No Signage	---	0 SF
West Elevation	"Kum & Go" Sign	3' x 6'	18 SF
Total			54 SF



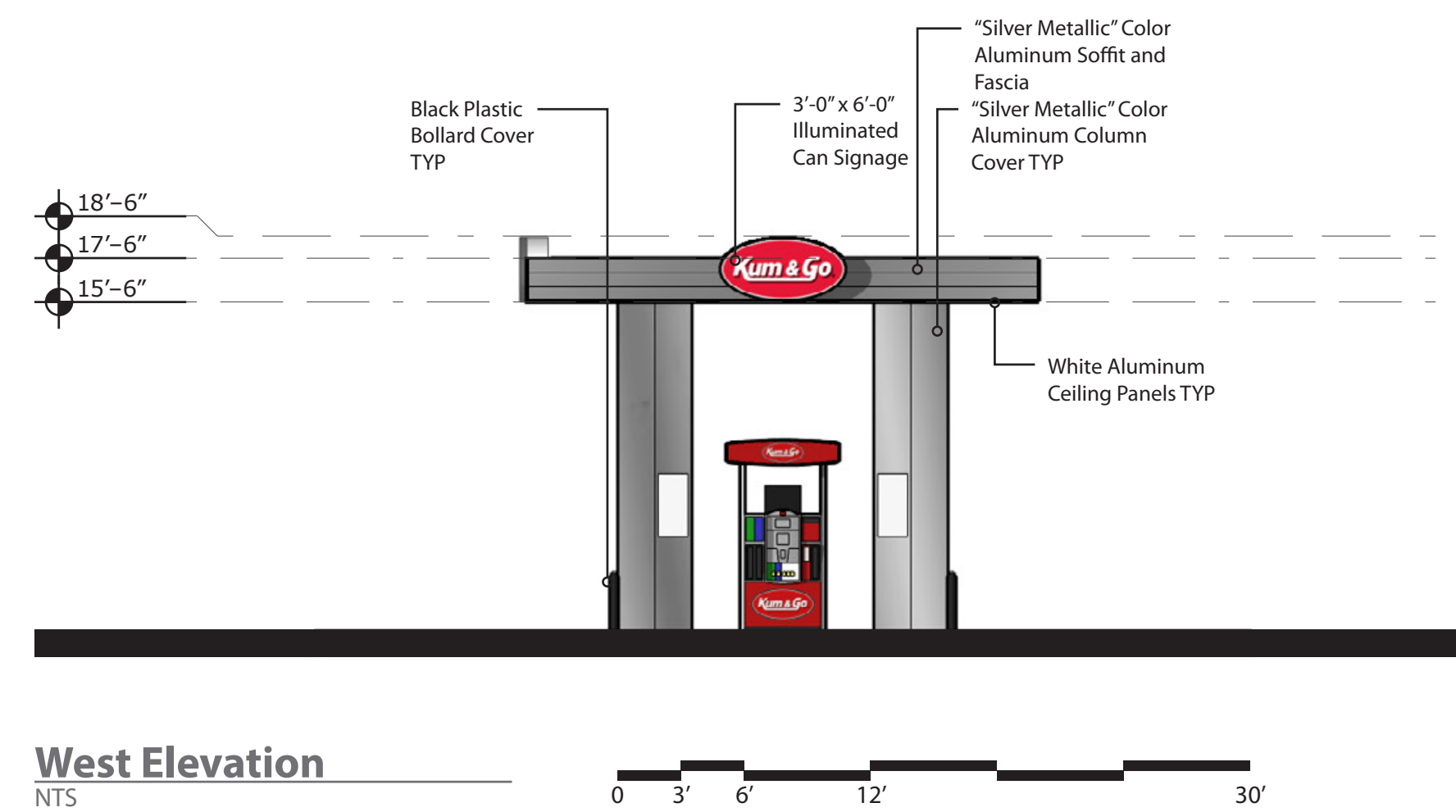
North Elevation
NTS



South Elevation
NTS



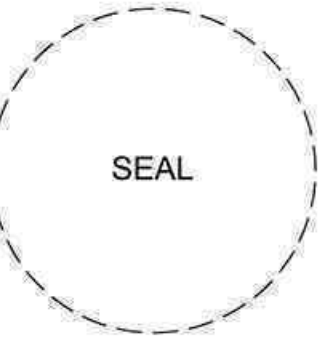
East Elevation
NTS



West Elevation
NTS

brr

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2506 - SALT LAKE CITY, UT
2100 S & 1300 E

CANOPY ELEVATIONS

KG PROJECT TEAM:
RDM:
SDM:
CPM:

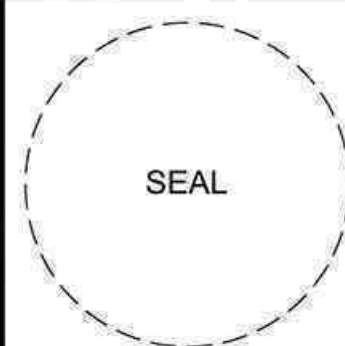
REVISION DESCRIPTION	DATE

DATE: 02/04/2022

SHEET NUMBER:



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 BRR ARCHITECTURE, INC
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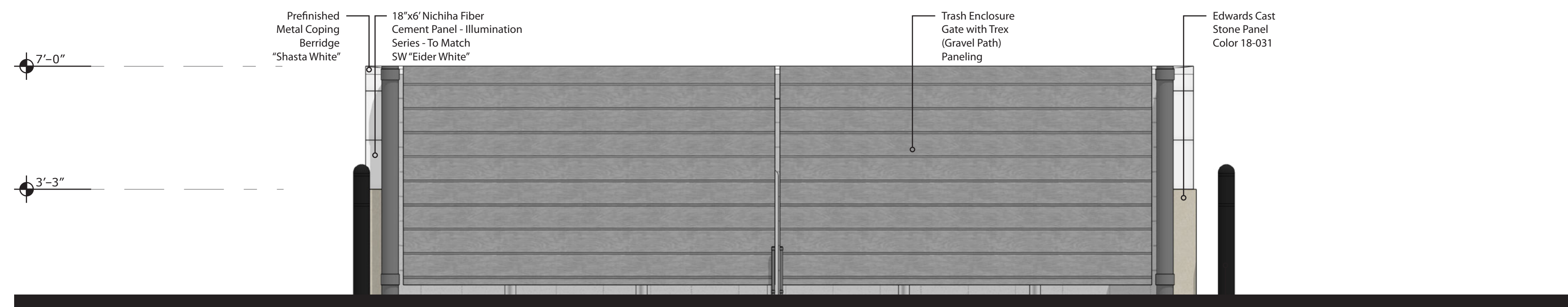
2506 - SALT LAKE CITY, UT
 2100 S & 1300 E
 TRASH ENCLOSURE ELEVATIONS

KG PROJECT TEAM:
 RDM:
 SDM:
 CPM:

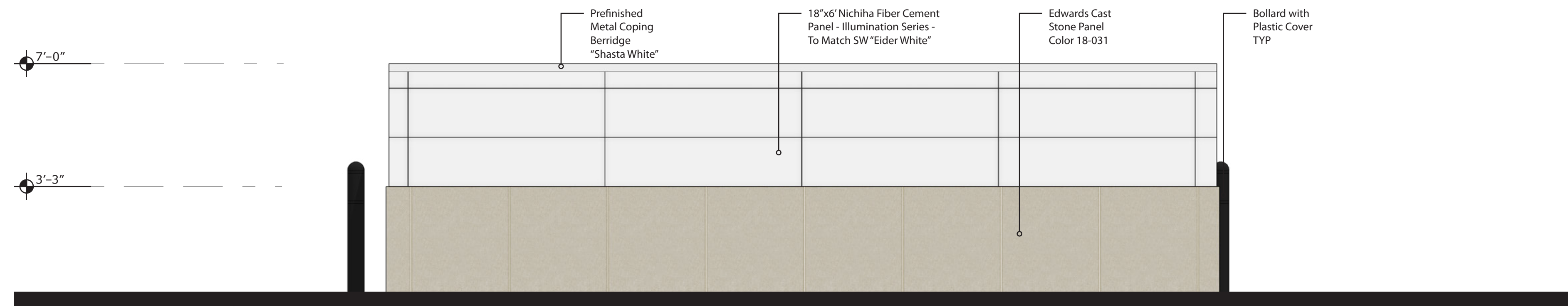
REVISION DESCRIPTION	DATE

DATE: 02/04/2022

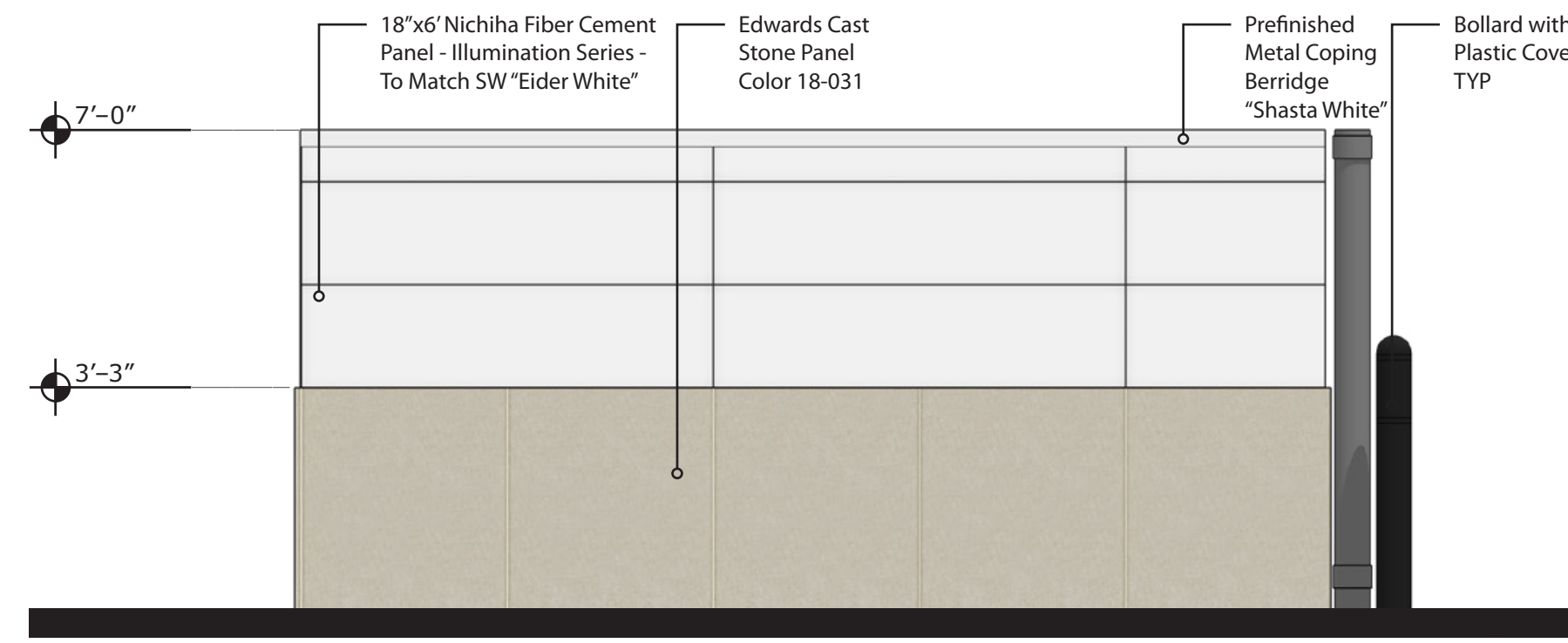
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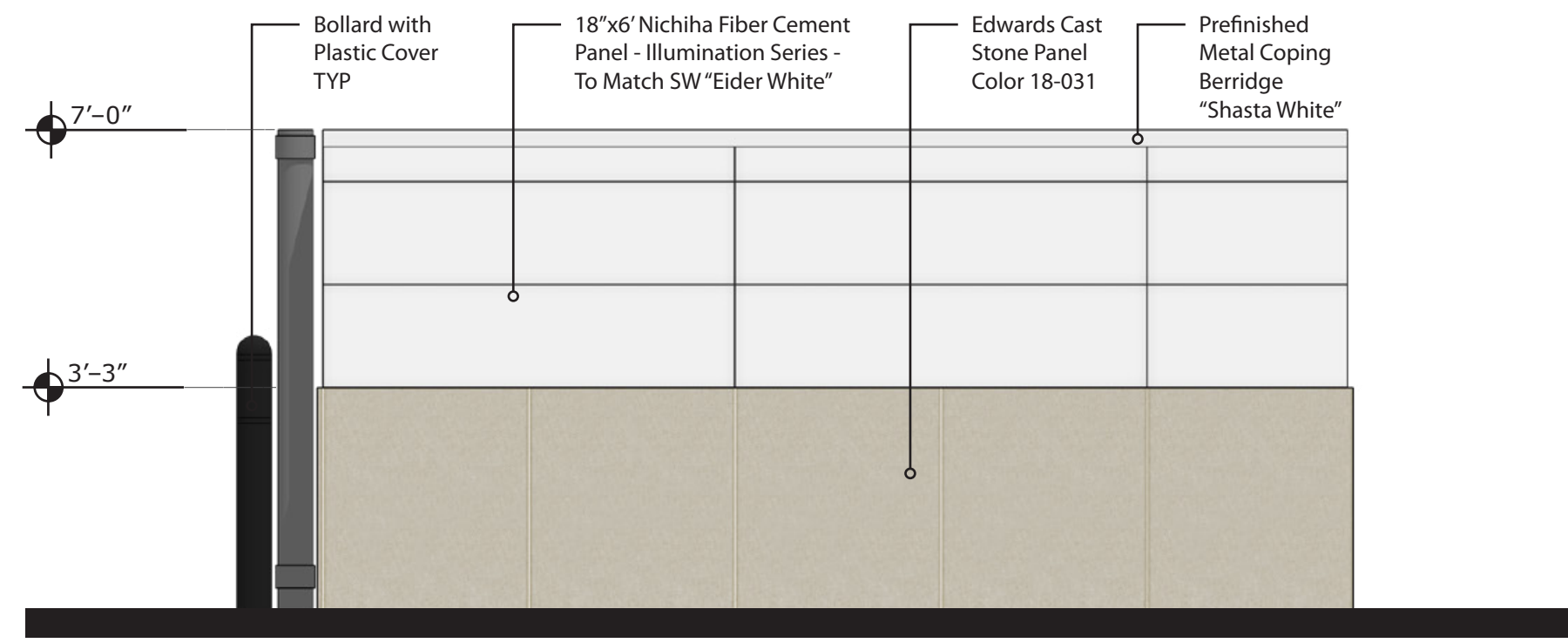
South Elevation
 NTS
 0 3' 6' 12'



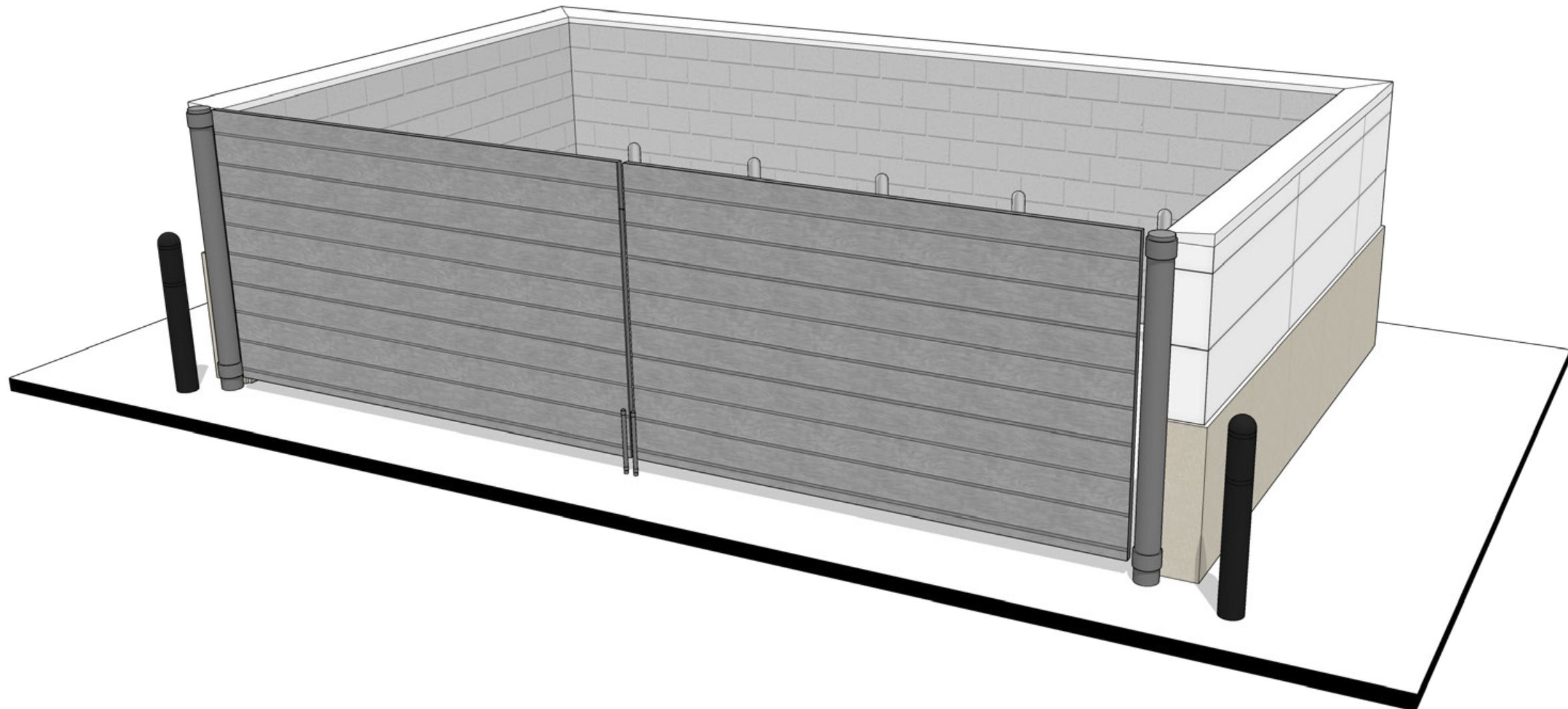
North Elevation
 NTS
 0 3' 6' 12'



West Elevation
 NTS
 0 3' 6' 12'



East Elevation
 NTS
 0 3' 6' 12'



Perspective
 NTS