



# NORTHSTAR

BUILDERS INCORPORATED

## Jefferson Court - Planned Development Applicant Narrative

PARCEL ID: 1512254029 850 S Jefferson St SLC, UT 84101



2 .....Applicant Narrative

9 ..... Private Infrastructure Costs

10 ..... PD Preliminary Site Plan

11.....Architectural Site Plan/ Elevations/ Floorplans

20 .....Civil Site Plan/ Utilities

31.....Irrigation Site Plan

33.....Landscape Plan



The following is a proposal for a residential planned development that has been designed in a unique effort to not only rehabilitate and reuse the existing residential home, but also to implement building forms that are compatible with the City's vision for an increase in differing building scales throughout the form-based district. This planned development is located in the heart of the Central Ninth neighborhood, just steps away from the 9<sup>th</sup> South Trax station and the 9<sup>th</sup> South Neighborhood Market. It is also located just two lots south of the Jefferson Walkway cottage development and across the alleyway from both the Central 9 Loft townhomes and the nearly completed TAG 200 W townhomes.

Located within FB-UN1 zoning, this wide 0.2-acre parcel is currently an underutilized lot with one single family dwelling in the northeast corner and a dilapidated shed in the northwest corner of the parcel. The southern half of the parcel remains vacant, used as a yard for some chickens. The site plan concept for this planned development consists of building a new two-story urban home (+/- 1,600 SF) alongside the existing (+/- 900 SF) home, and three (+/-1,760 SF) row houses at the rear for a combined total of five dwelling units requested to be grouped on one lot (through a condo plat). A very similar concept, maintained through a HOA, has been successfully implemented at theRose in Salt Lake at 537 S 500 E.

The FB-UN1 urban neighborhood subdistrict includes small scale structures, up to two and one-half (2.5) stories in height, on relatively small lots with up to four (4) dwelling units per lot depending on building type. Therefore, the decision to move forward with a planned development application has been based on initial communications with the city in reference to the fact that the number of dwelling

units per lot in this section is not a density standard and therefore, the Planning Commission is not limited by the provision in City Code section 21A.55.020. D.

There is no minimum parking requirement in the FB-UN1 district, but in order to help alleviate parking impacts on Jefferson Street, we have added four (4) angled spaces that can be accessed from the alleyway. It is similar in design to the parking for the Jefferson Walkway, and would meet the minimum back-out distance needed for 45-degree angle parking spaces. This also accomplishes the FB-UN1 design guidelines to minimize the visual impacts of parking areas, as they would be accessed from the alleyway and not visible from Jefferson Street.



**NEIGHBORHOOD EXHIBITS**

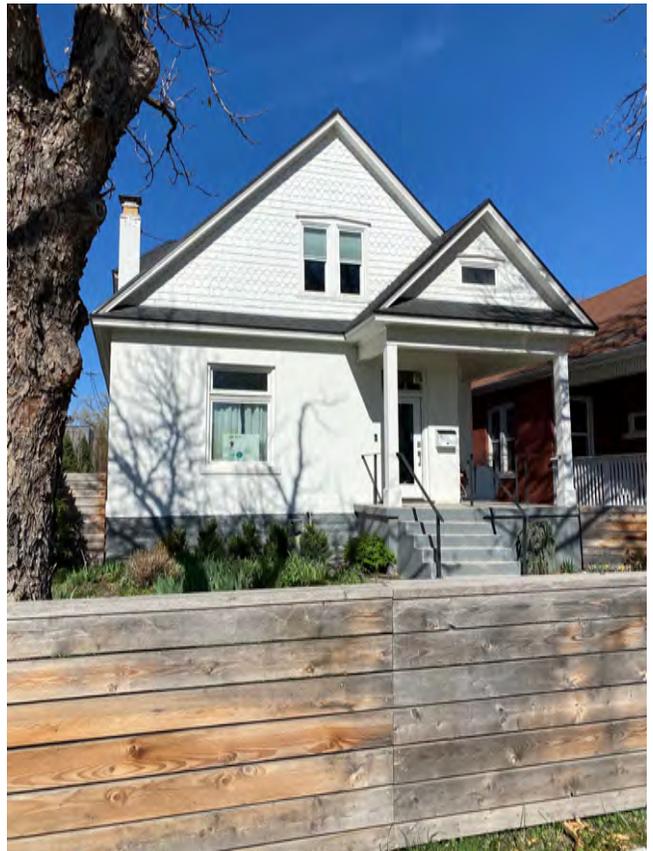
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Existing Home 850 S Jefferson St



TAG 200 W Townhomes: West to east perspective 841 S 200 W

838 S Jefferson St



West perspective: 850 – 830 Jefferson Street



West to east perspective – 200 W Townhomes 841 S 200 W



North perspective – Jefferson St



East perspective: 839 – 855 S Jefferson St



South perspective – Jefferson St



## OBJECTIVES ACHIEVED THROUGH THE PLANNED DEVELOPMENT PROCESS

### B. Historic Preservation

Jefferson Street has a unique blend of historical and contemporary architecture, and the reuse of existing residential structures is strongly encouraged. Therefore, this creative site plan was designed in an effort to keep and renovate the existing home exactly where it currently sits. It would also aid in the elimination of the shed, a blighted structure that is beyond rehabilitation, and the addition on the back of the home that is not structurally sound. Our plan is to completely renovate the interior of the +/- 900 SF residence and to update the exterior without drastic change to its historic charm and appearance. We plan to incorporate cohesive paint colors and new porch/ railing posts, windows, and doors to coordinate with the planned development.

### C. Housing

Jefferson Court would provide much needed for-sale (market rate) housing options to encourage increased home ownership in a mostly built out urban area. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood. Currently underutilized lots will need to be redeveloped to accommodate more units than previously existed on the site in order to absorb the growth of new residents reported to be moving into the city.

### **ARCHITECTURAL & SITE DESIGN**

Our goal is to achieve a combination and coordination of architectural styles, while still preserving neighborhood character. We've incorporated the use of fiber cement siding, brick, and long board siding that would resemble a pine or light oak. The two front homes would be fenced (with a 3' tall wood slat fence around the front yards) and the rowhouses would also have a 3' wood slat fence enclosing the front patios (with a taller divider between units). The gable roofs will also help to break up the massing, helping to distinguish individual residences, rather than the appearance of one large building mass.

Although the FB-UN1 zoning allows for 2.5 stories and 30', we have kept the new home to two stories at 24'4" so that it can also serve as a gradual transition in building scale to the rear of the property (rowhomes) as it nears the transit station and neighboring townhome developments in the FB-UN2 subdistrict. The addition of a newly constructed two-story detached home with a gable roof and average block face setback, alongside the renovated home, is also aimed at continuing the existing character of detached homes lining Jefferson Street, while incorporating more contemporary materials as the neighborhood is evolving.

The site plan also depicts an enclosure next to the parking for trash bins. There is the possibility that a private dumpster hauler could service the alleyway, but we are anticipating that the rowhouse residents may need to roll SLC waste bins along the sidewalk to Jefferson Street for city collection. The current landscaping design should also meet the SLC code for the appropriate caliper inches of trees to replace those being removed.

### **FB-UN1 ZONING MODIFICATION REQUESTS**

1. 2.5 story 30' max height permitted

Requesting: 32' height allowance for the rowhouses as per code 21A.27.030 12. (b) - b. (1) - (2) that structures with a sloped roof may exceed the maximum building height by 5' in the form-based districts in order to create a varied skyline and roof shapes. The additional height does not include any additional living space, only permitted vaulted ceiling space, and is needed in order to maintain enough head clearance in the stairwell leading to the half story.

2. Front setback equal to average of block face

Requesting: 14'9" front block face setback for the new home, as the average block face setback is 18'6" (see graphic AS103) and the existing home is already at 14'9.

### 3. Street frontage

Requesting: Exception to street frontage requirement for the townhomes. The townhomes will still be highly visible from Jefferson St. due to the common area pathway leading directly from Jefferson St. to the front entries. Residents would have the option to either enter their residence from Jefferson St., or directly from their parking stall and into their back entrance off of the public alley way.

### 4. Rear setback: 20% of lot depth up to 25'

Requesting: 23' rear setback from the west lot line to the rear of the townhomes. This is needed in order to maintain 14'11' of aisle width needed to meet the minimum back-out distance into the 16'6" public alley for an 8'3" wide parking space at a 45-degree angle per 21A.44.020. We are not requesting a rear yard setback modification at this point between the rowhouses and the back of the urban homes since this proposal is for building forms to be grouped onto one lot as part of a condo plat.

## **DISCLOSURE OF PRIVATE INFRASTRUCTURE COSTS FOR PLANNED DEVELOPMENTS**

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The common areas, limited common area, and infrastructure of this planned development would be maintained under the creation of a HOA entity. As we can lock down more accurate construction costing, we plan to record on the condo plat a "notice to purchasers" referencing the LF/SF cost estimate for the maintenance and capital improvements necessary for the common area infrastructure and landscaping such as (but not limited to):

- Sidewalk
- Curb and Gutter
- Concrete Pavement
- Fencing
- Concrete Parking Blocks
- 4" PVC SDR 35 Sewer Lateral
- 4" Sewer cleanout
- Water Laterals
- Irrigation Laterals
- Drainage Systems

It will be prepared in 6 increments of 10 years each for a total of 60 years, using GAAP. Upon creation of the Jefferson Court HOA entity, this estimated cost will also be disclosed under the CC&R's to ensure that owners and future owners have received adequate disclosure of potential private infrastructure maintenance and replacement costs. The Jefferson Court HOA entity will also be responsible for preparing yearly maintenance reports of expenditures actually incurred.

It's exciting that we have the ability to simultaneously preserve and innovate in order to make this district more efficient for the growth Salt Lake is experiencing and we look forward to continued collaboration on this proposal.

# JEFFERSON COURT

850 SOUTH JEFFERSON STREET, SALT LAKE CITY,  
SALT LAKE COUNTY, STATE OF UTAH 84101  
BEING A PART OF BLOCK 2, WALKER'S SUBDIVISION OF BLOCK 5, PLAT "A", SALT LAKE CITY SURVEY  
ALSO A PART OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 1 SOUTH,  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

**SURVEYOR CERTIFICATE:**

I, MATTHEW C. STONES DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 7176711 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND HAVE VERIFIED ALL MEASUREMENTS, THAT THE REFERENCE MONUMENTS SHOWN ON THIS PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS PLAT; AND IT SHALL HEREAFTER TO BE KNOWN AS:

## JEFFERSON COURT

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN HEREON.



MATT STONES  
UT PLS #7176711

**LEGAL DESCRIPTION:**

ALL OF LOTS 34 AND 35, BLOCK 2, WALKER'S SUBDIVISION OF BLOCK 5, PLAT "A", SALT LAKE CITY SURVEY, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER, BEING MORE PARTICULARLY DESCRIBED AS:  
BEGINNING AT A POINT 263.16 FEET NORTH 00°01'07" WEST AND 35.12 FEET SOUTH 89°58'53" WEST FROM THE STREET MONUMENT IN THE INTERSECTION OF 900 SOUTH STREET AND JEFFERSON (140 WEST) STREET, SAID POINT ALSO BEING 199.17 FEET NORTHERLY ALONG THE BLOCK LINE FROM THE SOUTH EAST CORNER OF BLOCK 2 OF WALKER'S SUBDIVISION, BLOCK 5, PLAT "A" SALT LAKE CITY SURVEY AND RUNNING THENCE SOUTH 89°40'05" WEST 139.97 FEET (132.00' RECORD); THENCE NORTH 00°02'41" WEST 66.40 FEET (66.00' RECORD); THENCE SOUTH 89°56'04" EAST 132.00 FEET, MORE OR LESS, TO THE EAST BLOCK LINE OF SAID BLOCK 2; THENCE ALONG THE BLOCK LINE SOUTH 00°01'07" EAST 65.48 FEET, TO THE POINT OF BEGINNING.

### OWNER'S DEDICATION:

KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS:

## JEFFERSON COURT

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL ROADS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED ALSO DO HEREBY CONSENT AND GIVE APPROVAL TO THE RECORDING OF THIS PLAT FOR ALL PURPOSES SHOWN HEREON.

IN WITNESS WHEREOF, I, \_\_\_\_\_ THE \_\_\_\_\_ OF 850 SOUTH JEFFERSON STREET, HAVE HEREUNTO SET MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

BY: \_\_\_\_\_ TITLE: \_\_\_\_\_ BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

**ACKNOWLEDGMENT:**

STATE OF UTAH  
COUNTY OF SALT LAKE  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021, BEFORE ME \_\_\_\_\_ A NOTARY PUBLIC,  
PERSONALLY APPEARED \_\_\_\_\_ THE OWNER OF THE HEREOF DESCRIBED PROPERTY,  
PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO IN THE FOREGOING OWNER'S DEDICATION AND CONSENT REGARDING JEFFERSON COURT AND WAS SIGNED BY HIM/HER AND ACKNOWLEDGED THAT HE/SHE/THEY EXECUTED THE SAME.

MY COMMISSION EXPIRES: \_\_\_\_\_ DATE: \_\_\_\_\_ COMMISSION NUMBER: \_\_\_\_\_

PRINT NAME (SIGNED) A NOTARY PUBLIC COMMISSIONED IN UTAH

## JEFFERSON COURT

SALT LAKE CITY, SALT LAKE COUNTY, UTAH 84101  
BEING A PART OF BLOCK 2, WALKER'S SUBDIVISION OF BLOCK 5, PLAT "A", SALT LAKE CITY SURVEY  
ALSO A PART OF THE NORTHEAST QUARTER OF SECTION 12,  
TOWNSHIP 1 SOUTH,  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

**CITY APPROVAL**

PRESENTED TO SALT LAKE CITY THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2021 AND IS HEREBY APPROVED.

SALT LAKE CITY MAYOR

ATTEST: SALT LAKE CITY RECORDER

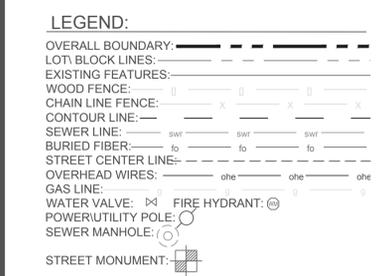
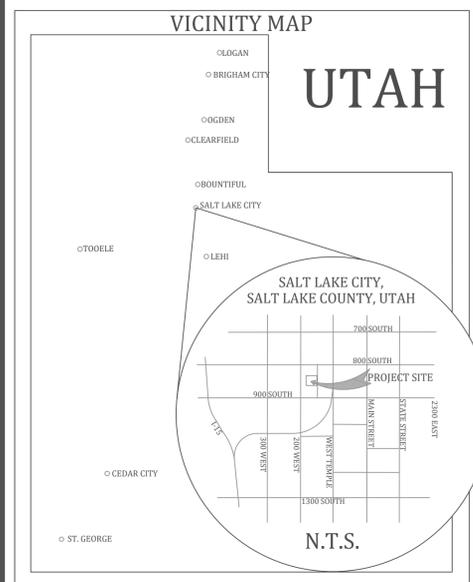
**SALT LAKE COUNTY RECORDER**

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF \_\_\_\_\_

RECORD # \_\_\_\_\_  
DATE \_\_\_\_\_  
TIME \_\_\_\_\_  
IN BOOK \_\_\_\_\_  
AT PAGE \_\_\_\_\_  
FEE \$ \_\_\_\_\_

SALT LAKE COUNTY RECORDER

NUMBER \_\_\_\_\_  
ACCOUNT \_\_\_\_\_  
SHEET \_\_\_\_\_  
OF \_\_\_\_\_ SHEETS



**DEVELOPER/OWNER:**  
**NORTHSTAR BUILDERS**  
1059 E 900 S STE #201  
SALT LAKE CITY 84105

**ENGINEER:**  
**AVAIL ENGINEERS**  
573 EAST 2700 SOUTH  
SALT LAKE CITY, UTAH 84106  
**SURVEYOR:**  
**MATT STONES, PLS.**  
842 SOUTH 1150 WEST  
CLEARFIELD, UTAH 84015  
801-201-5966

**CITY PUBLIC UTILITIES DEPT.**  
APPROVED AS TO SANITARY SEWER AND WATER DETAILS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2021  
SALT LAKE CITY PUBLIC UTILITIES DIRECTOR

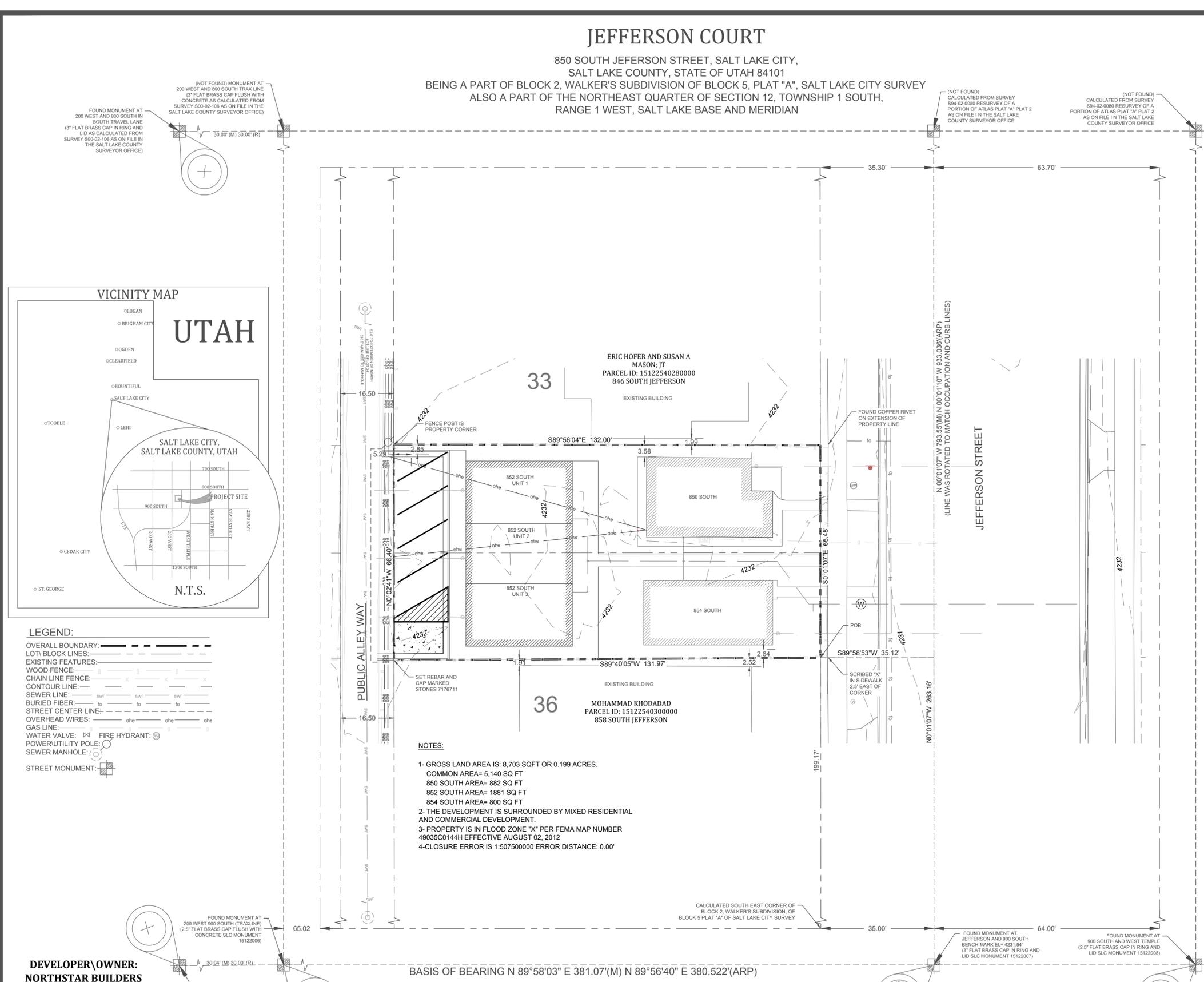
**CITY PLANNING DIRECTOR**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2021 BY THE SALT LAKE CITY PLANNING COMMISSION.  
SALT LAKE CITY PLANNING DIRECTOR DATE

**SALT LAKE COUNTY HEALTH DEPARTMENT**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2021  
SALT LAKE COUNTY HEALTH DEPARTMENT DATE

**CITY ATTORNEY**  
APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2021 BY THE SALT LAKE CITY ATTORNEY  
SALT LAKE CITY ATTORNEY

**CITY ENGINEERING DIVISION**  
I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE.  
CITY ENGINEER DATE  
CITY SURVEYOR DATE

- NOTES:**
- GROSS LAND AREA IS: 8,703 SQFT OR 0.199 ACRES.  
COMMON AREA= 5,140 SQ FT  
850 SOUTH AREA= 882 SQ FT  
852 SOUTH AREA= 1881 SQ FT  
854 SOUTH AREA= 800 SQ FT
  - THE DEVELOPMENT IS SURROUNDED BY MIXED RESIDENTIAL AND COMMERCIAL DEVELOPMENT.
  - PROPERTY IS IN FLOOD ZONE "X" PER FEMA MAP NUMBER 48035C0144H EFFECTIVE AUGUST 02, 2012
  - CLOSURE ERROR IS 1:507500000 ERROR DISTANCE: 0.00'







**FIVE DEGREES DESIGN**

1457 EAST 840 NORTH  
OREM, UTAH 84097  
801.960.9381  
chris@fivedegreesdesign.com

DATE: 04 JUNE 2021  
PROJECT #: 21-016  
DRAWN BY: THM  
CHECKED BY: BOH

REVISIONS



AVERAGE SETBACK = 18'-6"

**D1** JEFFERSON AVE. SETBACKS  
AS103 SCALE: 1" = 30'-0"

PROJECT

**850  
JEFFERSON  
STREET**

ADDRESS:  
850 JEFFERSON STREET  
SALT LAKE CITY, UTAH 84101

**ARCHITECTURAL**

VICINITY MAP &  
SETBACKS

**AS103**

Y:\SD Projects\2021\21-016 850 Jefferson Street\03 Drawings\02 Rev\850 Jefferson Street V3.rvt

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**KEYNOTES**

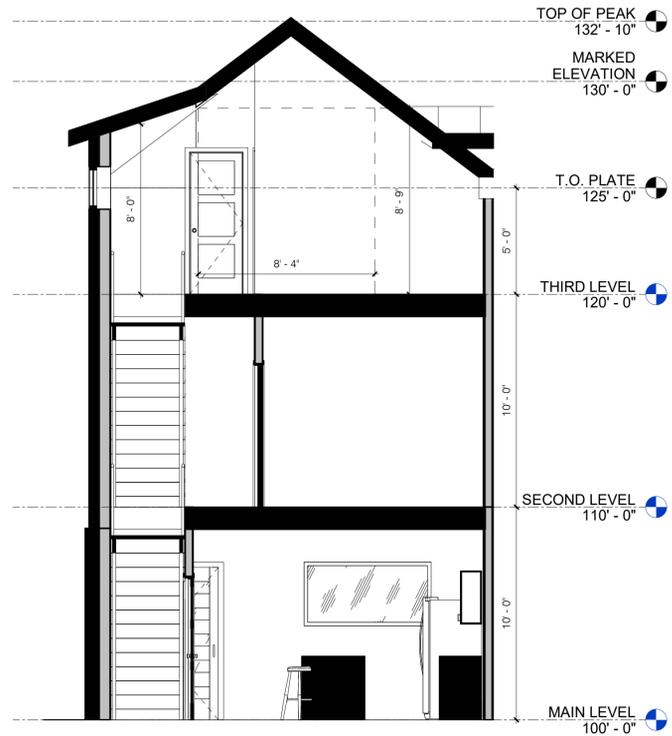


**FIVE DEGREES DESIGN**

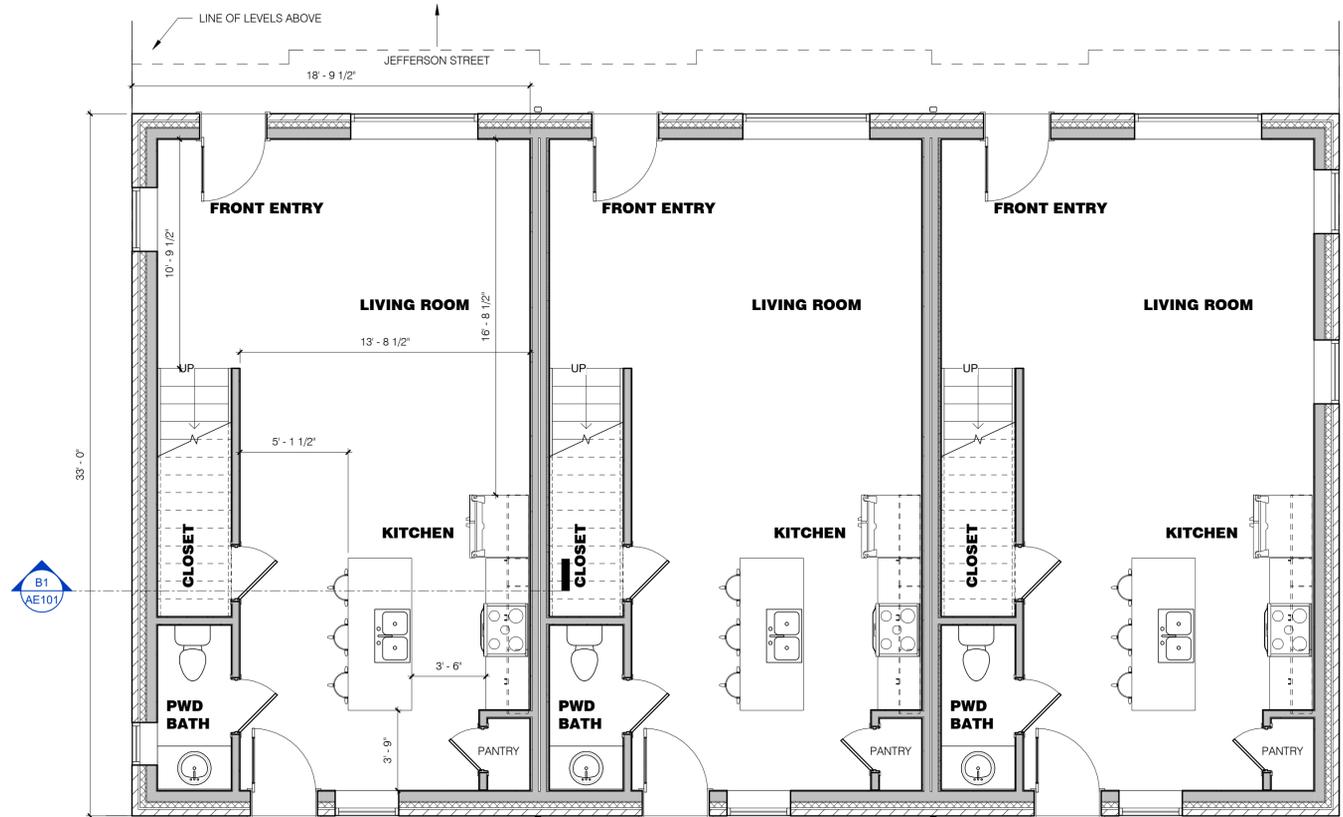
1457 EAST 840 NORTH  
OREM, UTAH 84097  
801.960.9381  
chris@fivedegreesdesign.com

DATE: 04 JUNE 2021  
PROJECT #: 21-016  
DRAWN BY: THM  
CHECKED BY: BCH

REVISIONS



**B1 SECTION**  
SCALE: 1/4" = 1'-0"



**B3 MAIN LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**D1 BACK VIEW**  
SCALE:



**D3 FRONT VIEW**  
SCALE:

PROJECT

**850 JEFFERSON STREET**

ADDRESS:  
850 JEFFERSON STREET  
SALT LAKE CITY, UTAH 84101

**ARCHITECTURAL**

SCHEMATIC FLOOR PLANS

**AE101**

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FIVE DEGREES DESIGN

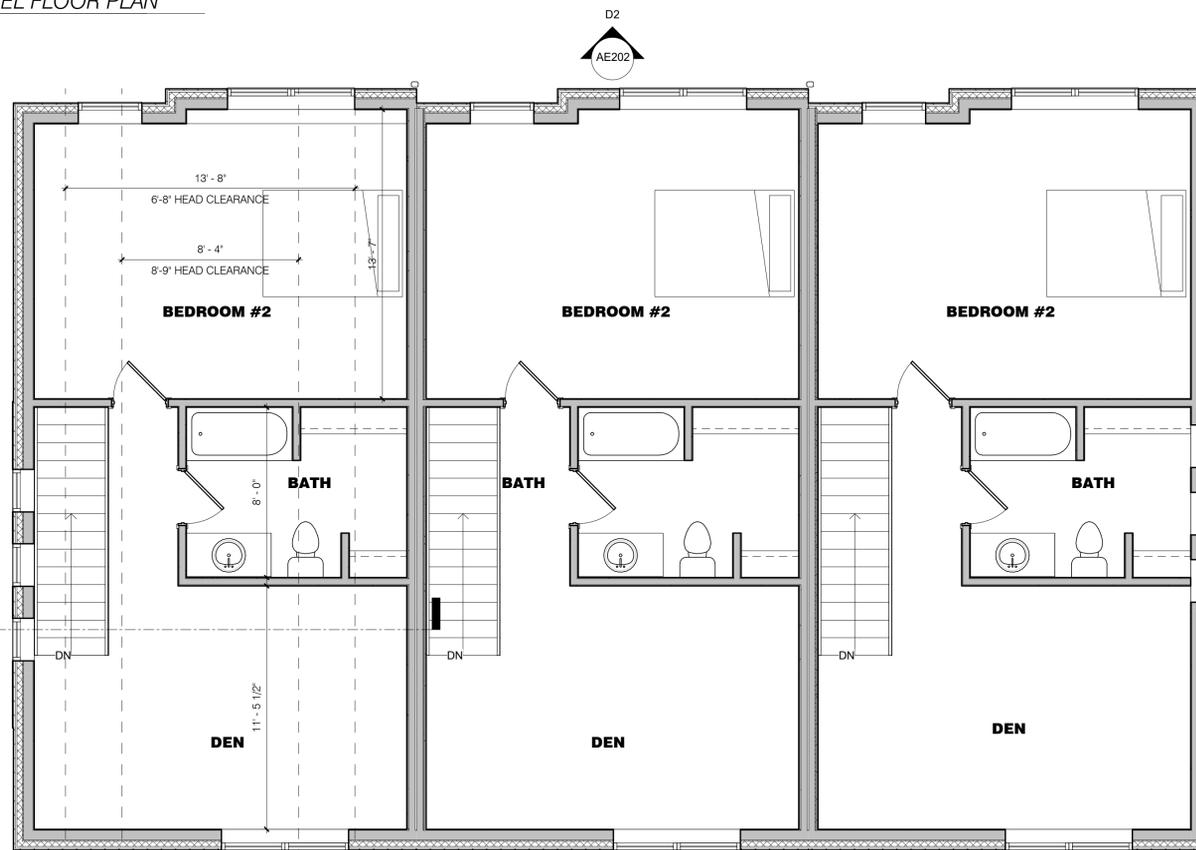
1457 EAST 840 NORTH  
OREM, UTAH 84097  
801.960.9381  
chris@fivedegreesdesign.com

DATE: 04 JUNE 2021  
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CHECKED BY: BCH

REVISIONS



B1 SECOND LEVEL FLOOR PLAN  
AE102 SCALE: 1/4" = 1'-0"



D1 THIRD LEVEL FLOOR PLAN  
AE102 SCALE: 1/4" = 1'-0"

PROJECT

850  
JEFFERSON  
STREET

ADDRESS:  
850 JEFFERSON STREET  
SALT LAKE CITY, UTAH 84101

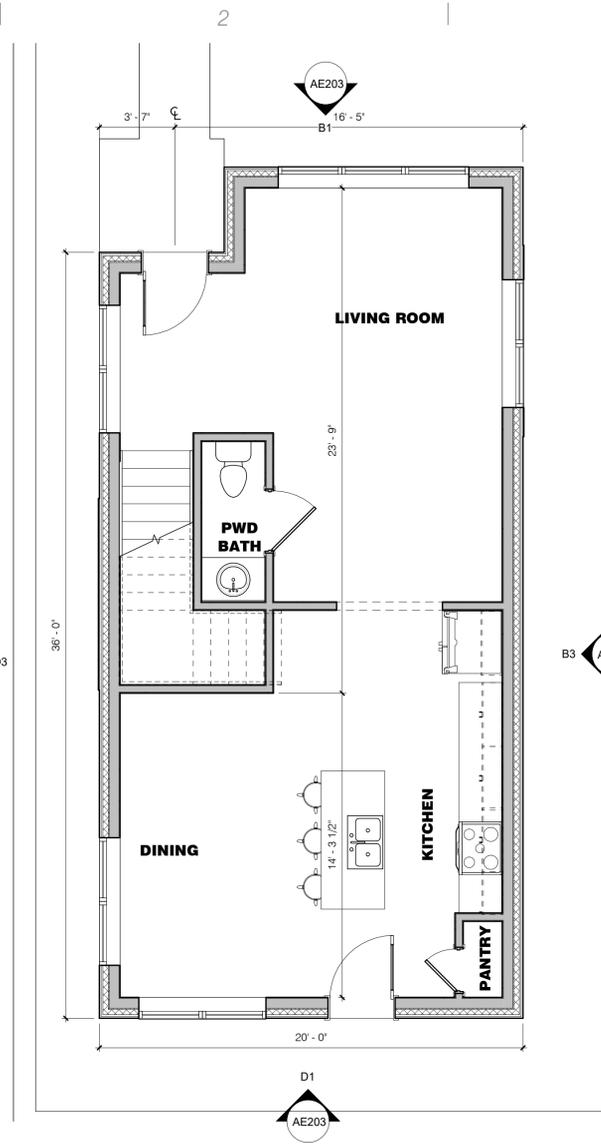
ARCHITECTURAL

SCHEMATIC FLOOR  
PLANS

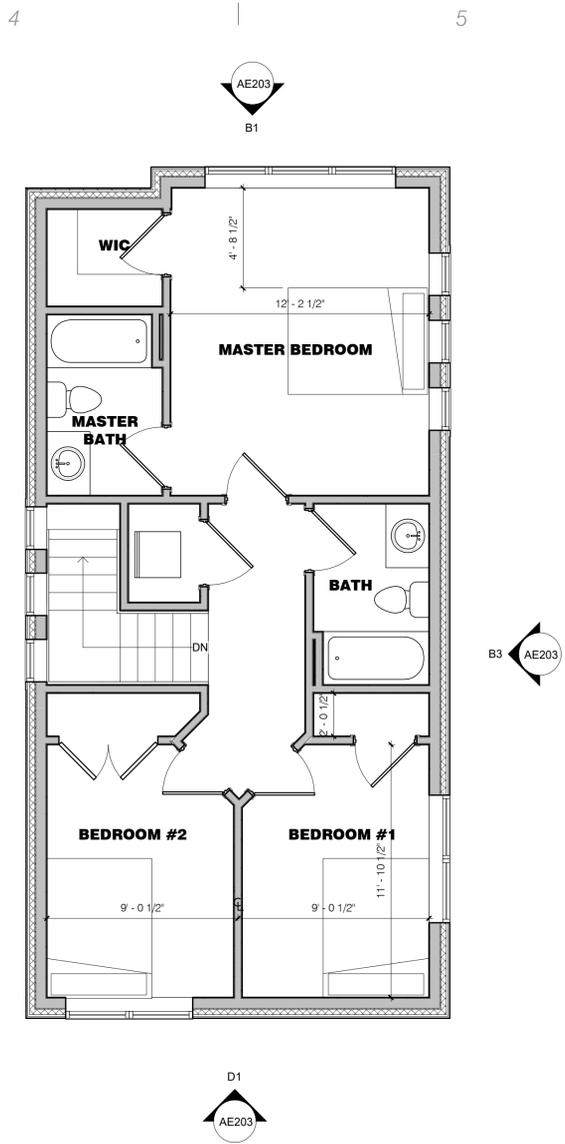
AE102

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C1 MAIN LEVEL FLOOR PLAN NEW SFD  
 AE103 SCALE: 1/4" = 1'-0"



C3 SECOND LEVEL FLOOR PLAN NEW SFD  
 AE103 SCALE: 1/4" = 1'-0"



D1 BACK VIEW - SFD  
 AE103 SCALE:



D3 FRONT VIEW - SFD  
 AE103 SCALE:



**FIVE DEGREES DESIGN**

1457 EAST 840 NORTH  
 OREM, UTAH 84097  
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 chris@fivedegreesdesign.com

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 CHECKED BY: BCH

REVISIONS

PROJECT

**850  
 JEFFERSON  
 STREET**

ADDRESS:  
 850 JEFFERSON STREET  
 SALT LAKE CITY, UTAH 84101

**ARCHITECTURAL**

SCHEMATIC FLOOR  
 PLANS - SFD

**AE103**

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**FIVE DEGREES DESIGN**

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REVISIONS

PROJECT

**850  
JEFFERSON  
STREET**

ADDRESS:  
850 JEFFERSON STREET  
SALT LAKE CITY, UTAH 84101

**ARCHITECTURAL**

EXTERIOR ELEVATIONS

**AE201**



B4  
AE201 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



B1  
AE201 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

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**KEYNOTES**



**FIVE DEGREES DESIGN**

1457 EAST 840 NORTH  
OREM, UTAH 84097  
801.960.9381  
chris@fivedegreesdesign.com

DATE: 04 JUNE 2021  
PROJECT #: 21-016  
DRAWN BY: THM  
CHECKED BY: BCH

REVISIONS



**A2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**D2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

PROJECT

**850 JEFFERSON STREET**

ADDRESS:  
850 JEFFERSON STREET  
SALT LAKE CITY, UTAH 84101

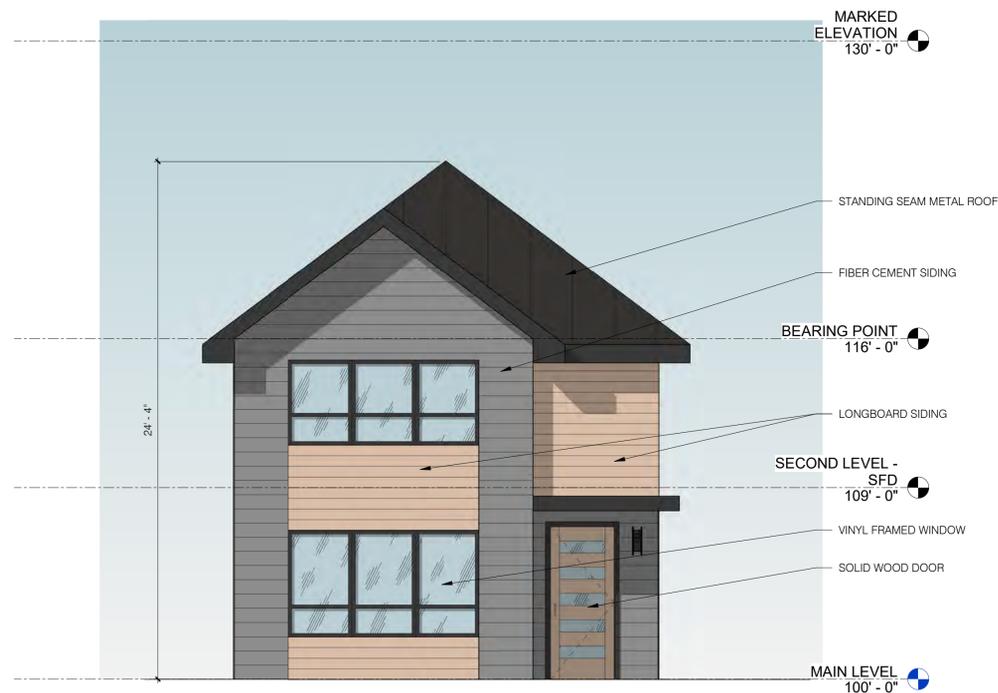
**ARCHITECTURAL**

EXTERIOR ELEVATIONS

**AE202**

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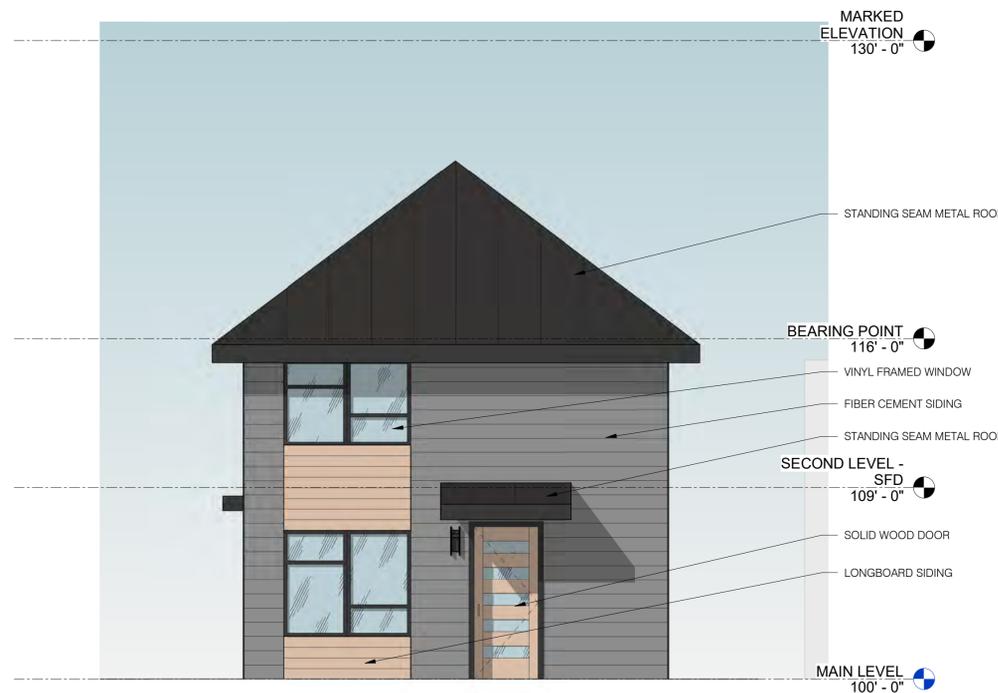
**KEYNOTES**



**B1** EAST ELEVATION SFD  
AE203 SCALE: 1/4" = 1'-0"



**B3** SOUTH ELEVATION SFD  
AE203 SCALE: 1/4" = 1'-0"



**D1** WEST ELEVATION SFD  
AE203 SCALE: 1/4" = 1'-0"



**D3** NORTH ELEVATION SFD  
AE203 SCALE: 1/4" = 1'-0"



**FIVE DEGREES DESIGN**

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REVISIONS

PROJECT

**850  
JEFFERSON  
STREET**

ADDRESS:  
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SALT LAKE CITY, UTAH 84101

**ARCHITECTURAL**

EXTERIOR ELEVATIONS  
- SFD

**AE203**

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**FIVE DEGREES DESIGN**

1457 EAST 840 NORTH  
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CHECKED BY: BCH

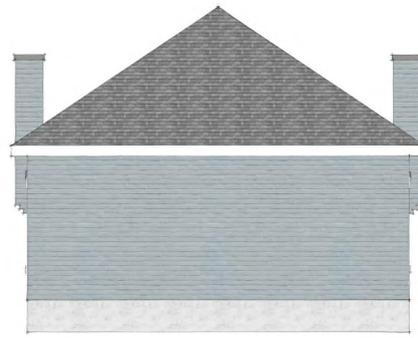
REVISIONS



**A1** OLD FRONT ELEVATION  
AE204 SCALE: 3/16" = 1'-0"



**A2** OLD NORTH ELEVATION  
AE204 SCALE: 3/16" = 1'-0"



**A3** OLD REAR ELEVATION  
AE204 SCALE: 3/16" = 1'-0"



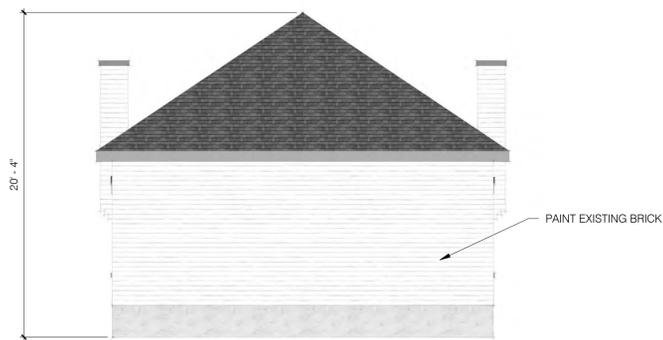
**A4** OLD SOUTH ELEVATION  
AE204 SCALE: 3/16" = 1'-0"



**C2** NEW FRONT ELEVATION  
AE204 SCALE: 3/16" = 1'-0"



**C4** NEW NORTH ELEVATION  
AE204 SCALE: 3/16" = 1'-0"



**D2** NEW REAR ELEVATION  
AE204 SCALE: 3/16" = 1'-0"



**D4** NEW SOUTH ELEVATION  
AE204 SCALE: 3/16" = 1'-0"

PROJECT

**850  
JEFFERSON  
STREET**

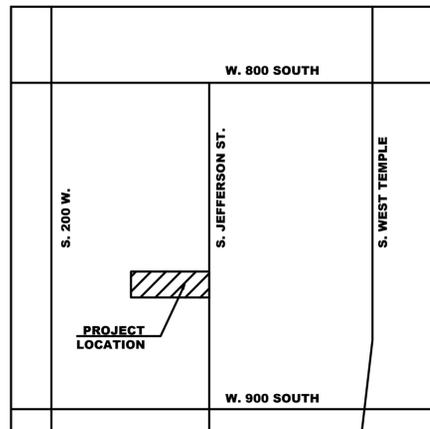
ADDRESS:  
850 JEFFERSON STREET  
SALT LAKE CITY, UTAH 84101

**ARCHITECTURAL**  
EXTERIOR ELEVATIONS  
- EXISTING  
SINGLE-FAMILY  
DWELLING

**AE204**

Y:\SD Projects\2021\21-016 850 Jefferson Street\03 Drawings\02 Rev\850 Jefferson Street V3.rvt

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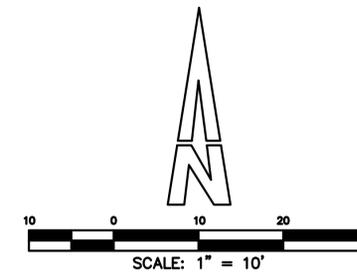
VICINITY MAP N.T.S

# JEFFERSON COURT

## 850 SOUTH JEFFERSON STREET

### SALT LAKE CITY, UTAH

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1S., RANGE 1E.,  
SALT LAKE BASE & MERIDIAN  
SALT LAKE CITY, SALT LAKE COUNTY, UTAH



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- C3-1 EROSION CONTROL DETAILS
- C4-0 UTILITY PLAN
- C4-1 UTILITY DETAILS

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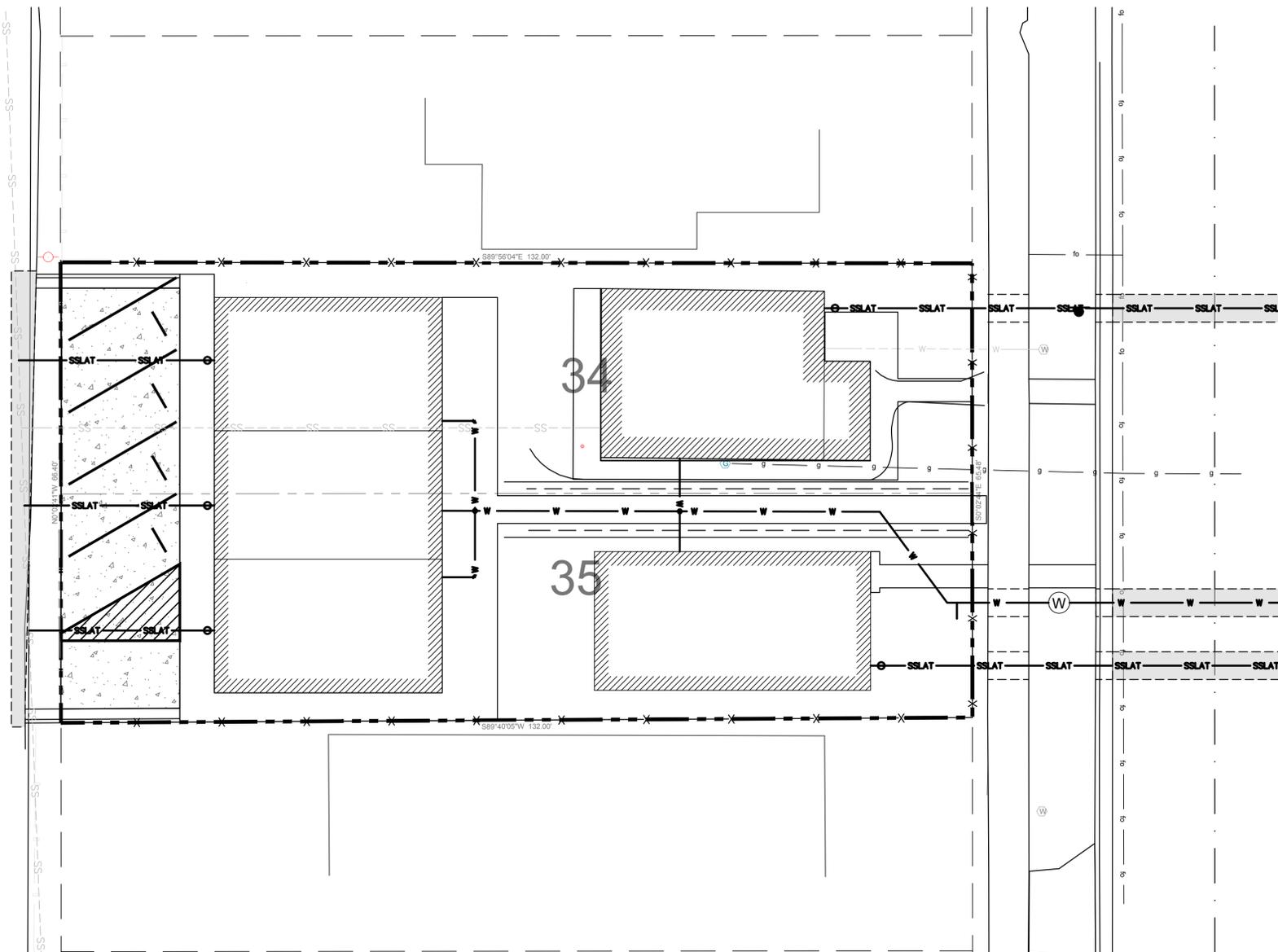
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JEFFERSON COURT  
 850 SOUTH JEFFERSON STREET  
 SALT LAKE CITY, UTAH

REV	DATE	DESCRIPTION
1	4.23.21	PLANNED DEVELOPMENT SUBMITTAL
2	6.9.21	PLANNING COMMENTS

COVER  
**C0-0**

LOCATED IN THE SE 1/4 OF SECTION 28, T.1S., R.1E, S.L.B.&M. SALT LAKE COUNTY

DETAILED BY:	DETAILED BY:	CHECKED BY:	PROJECT #:
TJB 4.23.2021	TJB 4.23.2021	CC 4.23.2021	21-004

# SALT LAKE CITY GENERAL NOTES

## NOTES

## REFERENCES

1. ALL CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, INCLUDING ALL APPLICABLE SECTIONS OF THE MANUAL OF STANDARD SPECIFICATIONS CURRENT EDITION (INCLUDING AMENDMENTS) AND MANUAL OF STANDARD PLANS CURRENT EDITION PUBLISHED BY THE UTAH CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND THE UTAH CHAPTER OF THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA (AGC). THE SPECIFICATIONS AND THE STANDARD PLANS IN THE PROJECT MANUAL TAKE PRECEDENCE OVER THE MANUAL OF STANDARD SPECIFICATIONS AND STANDARD PLANS CURRENT EDITION. REFERENCE SPECIFICATION SECTIONS ARE GIVEN FOR INFORMATION ONLY AND MAY NOT BE INCLUSIVE OF ALL APPLICABLE SECTIONS.
2. COORDINATION:  
CONTRACTOR TO NOTIFY AFFECTED AGENCIES, RESIDENTS, BUSINESSES, SCHOOLS, AND PROPERTY OWNERS 14 DAYS PRIOR TO CONSTRUCTION.
3. SCHEDULE:  
CONTRACTOR WILL PROVIDE AND UPDATE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SPECIFICATIONS AND THE REGULATIONS OF THE GOVERNING AGENCY FOR WORKING IN THE PUBLIC WAY PRIOR TO CONSTRUCTION.
4. SOIL TESTING:  
CONTRACTOR TO PROVIDE MARSHALL AND/OR PROCTOR TEST DATA 24 HOURS PRIOR TO USE, CERTIFIED IN WRITING FROM A LAB RECOGNIZED AND ACCEPTED BY SALT LAKE CITY AND THE RIGHT-OF-WAY GOVERNING AGENCY, AS APPLICABLE.
5. UTILITY LOCATIONS:  
  - ALL UTILITY LOCATIONS ARE APPROXIMATE.
  - CONTRACTOR TO VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF TWO WEEKS TIME OR 300- FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTOR NEGLECTING TO POTHOLE UTILITIES, THE CONTRACTOR IS TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER.
  - CONTRACTOR SHALL POTHOLE CRITICAL LOCATIONS AND OBTAIN ALL EXISTING PIPE O.D. PRIOR TO ORDERING OR OBTAINING MATERIALS REQUIRED FOR CONNECTIONS TO EXISTING PIPING. UTILITY SHUT-DOWNS AND OTHER WORK WILL NOT BE SCHEDULED OR ALLOWED UNTIL THIS IS ACCOMPLISHED AND MATERIALS ARE ON SITE AND APPROVED FOR USE BY THE SALT LAKE CITY PUBLIC UTILITIES REPRESENTATIVE.
  - IRRIGATION PIPELINES MAY NOT BE LOCATED THROUGH THE NORMAL BLUE STAKE PROCESS. CONTACT IRRIGATION COMPANIES AS DETAILED IN SECTION 01 31 13 PRIOR TO CONSTRUCTION.
6. CHANGES:  
NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
7. SURVEY CONTROL:  
  - CONTRACTOR TO PROVIDE ALL CONSTRUCTION SURVEY REQUIRED FOR THE PROJECT.
  - CONTRACTOR SHALL PRESERVE AND PROTECT ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. IF A MONUMENT MUST BE DISTURBED DURING CONSTRUCTION, CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF SECTIONS 00 72 00, 00 71 34 AND 31 05 10.
  - THE CONTRACTOR SHALL NOT BURY ANY FITTINGS, BENDS, CONNECTIONS, OR COUPLINGS UNTIL THE SALT LAKE CITY PUBLIC UTILITIES SURVEYOR HAS COMPLETED THE RECORD SURVEY OF THE PIPELINE INSTALLATION TO HIS SATISFACTION. THE CONTRACTOR SHALL BE REQUIRED TO EXCAVATE AND EXPOSE ALL MATERIALS BURIED WITHOUT PRIOR AUTHORIZATION OF THE PROJECT ENGINEER OR SURVEYOR, AT HIS OWN COST. ALL COST OF RESTORATION OF EXCAVATED AREAS SHALL BE BORNE BY THE CONTRACTOR.
8. ASPHALT GUARANTEE:  
THE CONTRACTOR SHALL FURNISH AND PLACE PERMANENT ASPHALT, PER APWA STANDARDS, EQUAL TO THE THICKNESS REQUIREMENTS OF THE GOVERNING AGENCY. THE CONTRACTOR SHALL GUARANTEE ALL ASPHALT INSTALLATIONS FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF THE SUBSTANTIAL COMPLETION OR WHAT IS REQUIRED BY THE PERMIT.
9. TEMPORARY ASPHALT:  
IF THE CONTRACTOR CHOOSES TO WORK ON THE PROJECT IN COLD WEATHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL FURNISH AND INSTALL TEMPORARY ASPHALT, WHEN WEATHER PERMITS, THE CONTRACTOR SHALL REMOVE THE TEMPORARY ASPHALT, FURNISH AND INSTALL THE PERMANENT ASPHALT AT NO ADDITIONAL COST TO THE OWNER.
10. CONTRACTOR RESPONSIBILITIES:  
  - CONTRACTOR SHALL NOT ALLOW GROUNDWATER OR DEBRIS TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES TO BE COVERED AND SEALED AT THE END OF EACH DAY.
  - CONTRACTOR TO INSTALL INVERT COVERS IN ALL SANITARY SEWER AND STORM DRAIN MANHOLES AFFECTED BY THE PROJECT PRIOR TO STARTING CONSTRUCTION.
  - CONTRACTOR WILL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS: WET DOWN DRY MATERIALS AND RUBBISH TO CONTAIN ALL LOOSE MATERIALS.
  - ALTHOUGH SOME SURFACE FEATURES (FENCES, RETAINING WALLS, TREES, ETC.) HAVE BEEN CALLED OUT ON THE DRAWINGS FOR THE CONTRACTOR'S CONVENIENCE, NOT ALL ARE SHOWN OR IDENTIFIED. CONTRACTOR SHALL WALK THROUGH CONSTRUCTION AREA PRIOR TO BIDDING TO IDENTIFY SURFACE FEATURES THAT MUST BE PROTECTED OR REPLACED AS PART OF THE WORK.
  - CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS. ALL IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED AT THE EXPENSE OF THE CONTRACTOR TO ORIGINAL OR BETTER CONDITION TO THE SATISFACTION OF THE OWNER.
  - THE CONTRACTOR SHALL BE REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN ESTABLISHED PUBLIC RIGHT-OF-WAYS, AND TEMPORARY CONSTRUCTION EASEMENTS AS SHOWN, IF ANY. THIS SHALL INCLUDE BUT NOT LIMITED TO VEHICLES AND EQUIPMENT, LIMITS OF TRENCH EXCAVATION, EXCAVATED MATERIAL AND BACKFILL STORAGE. IF THE CONTRACTOR REQUIRES ADDITIONAL CONSTRUCTION EASEMENTS, IT SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THESE EASEMENTS.

01 31 13

01 32 17

01 45 00  
31 05 13  
31 23 26  
32 11 23  
33 05 20

01 31 13  
00 72 00 4.3

01 31 13 1.2C  
00 72 00 10.1

00 72 00 6.2A  
01 71 23  
00 72 00 4.4  
01 71 34

00 72 00 13.5

33 05 25

01 57 00  
01 74 23

34 41 13

## NOTES

## REFERENCES

11. STORM WATER MANAGEMENT PLAN:  
CONTRACTOR TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) OR EROSION SEDIMENT CONTROL PLAN TO GREG ARCHULETA @ (801) 483-6821 FOR REVIEW BEFORE CONSTRUCTION BEGINS.
12. WATER AND SANITARY SEWER SEPARATION:  
FOLLOW REQUIREMENTS OF THE DIVISION OF DRINKING WATER OF THE UTAH DEPARTMENT OF ENVIRONMENTAL QUALITY. THE HORIZONTAL DISTANCE BETWEEN PRESSURE WATER MAINS AND SANITARY SEWER LINES SHALL BE AT LEAST TEN FEET. WHERE WATER MAINS AND SEWER LINES CROSS, THE OUTSIDE EDGES OF WATER MAIN SHALL BE AT LEAST 18-INCHES ABOVE THE OUTSIDE EDGES OF SEWER LINE. WATER LINES AND SEWER LINES SHALL NOT BE INSTALLED IN THE SAME TRENCH. EXCEPTIONS TO THESE REQUIREMENTS MUST BE APPROVED BY THE CHIEF ENGINEER.
13. WATER SERVICES:  
  - METER BOX IS TO BE PLACED IN THE PARK STRIP WHERE APPLICABLE OR WITHIN THE PUBLIC RIGHT-OF-WAY OUTSIDE ANY HARD SURFACE AREA. THE SERVICE LINE IS TO EXTEND PERPENDICULAR TO THE MAIN.
  - LANDSCAPING, PLANTINGS, CONCRETE, AND/OR ASPHALT TO BE REPLACED THE SAME OR BETTER. ALL SOD TO MATCH EXISTING GRADE AND NOT OVERLAP EXISTING GROUND. CONTRACTORS TO SATURATE SOD AND KEEP MOIST.
  - EXISTING SPRINKLER SYSTEMS AND STOP & WASTE VALVES TO BE PROTECTED. ALL REPAIRS TO BE INSPECTED.
14. SANITARY SEWER LATERALS:  
SANITARY SEWER LATERALS SHALL BE PROTECTED IN PLACE OR REMOVED AND REPLACED AS PER SALT LAKE CITY DEPARTMENT OF PUBLIC UTILITIES STANDARD PLANS AND SPECIFICATIONS. IF A SANITARY SEWER IS TUNNELED UNDER AND NOT REPLACED, CONTRACTOR TO PROVIDE VIDEO INSPECTION TO VERIFY THAT THE GRADE AND CONDITION OF PIPE HAS NOT BEEN COMPROMISED.
15. THRUST RESTRAINTS:  
  - ALL THRUST BLOCKS SHALL BE PLACED AS DESCRIBED IN THE SPECIFICATIONS AND SHOWN ON THE STANDARD DRAWINGS.
  - ALL MATERIALS USED FOR WATER PROJECTS SHALL BE RATED FOR A MINIMUM 200 PSI WORKING PRESSURE.
16. CORROSION PROTECTION:  
  - ALL EXPOSED NUTS AND BOLTS WILL BE COATED WITH CHEVRON FM #1 NON-OXIDE GREASE AND WRAPPED IN 8-MIL POLYETHYLENE WRAP.
  - ALL STEEL, CAST IRON, OR DUCTILE IRON VALVES, FITTINGS, ETC., SHALL BE EPOXY COATED AND TAPE WRAPPED IN ACCORDANCE WITH AWWA C214.
17. PIPELINE STATIONING:  
  - STATIONS AND LENGTHS SHOWN ON THE DRAWINGS ARE CENTERLINE OF PIPE FROM CENTER OF FITTING TO CENTER OF FITTING. PROFILE DRAWINGS ARE HORIZONTAL PROJECTIONS OF THE PIPE CENTERLINE, UNLESS OTHERWISE NOTED.
  - WHERE CLEARANCES BETWEEN PIPELINES ARE DESIGNATED IN THE DRAWINGS, THE SPECIFIED DISTANCE SHALL REFER TO THE DISTANCE BETWEEN THE OUTSIDE EDGES OF THE PIPE.
18. WATER LINE COVER:  
UNLESS OTHERWISE NOTED, CONTRACTOR TO PROVIDE A MINIMUM COVER OF 4.5 FEET FROM THE TOP OF THE WATER MAIN TO FINISHED GRADE. PIPING THAT CAN NOT BE PROVIDED THIS MINIMUM COVER WILL REQUIRE A SPECIAL DESIGN BY THE CONTRACTOR FOR REVIEW AND APPROVAL BY SALT LAKE CITY DEPARTMENT OF PUBLIC UTILITIES.
19. WATER SHUT-DOWNS:  
  - OPERATION OF ALL EXISTING MAIN LINE VALVES TO BE COORDINATED THROUGH SALT LAKE CITY DEPARTMENT OF PUBLIC UTILITIES 48-72 HOURS IN ADVANCE OF SHUTDOWN. CONNECTIONS TO SOME WATERLINES SERVING COMMERCIAL AREAS MAY REQUIRE NIGHT OR WEEKEND SHUTDOWNS. CONTRACTOR TO PERFORM NIGHT OR WEEKEND WORK IN THESE AREAS AT NO ADDITIONAL COST TO OWNER.
  - SALT LAKE CITY DOES NOT GUARANTEE WATER SHUT-DOWNS. CONTRACTOR TO DEVISE PLANS TO AVOID WORK STOPPAGES IN THE EVENT A SHUT-DOWN DOES NOT GO AS PLANNED.
  - CONTRACTOR SHALL SUBMIT FOR REVIEW A SEQUENTIAL PLAN FOR CONNECTION, TESTING, AND FLUSHING OF ALL NEW WATER MAINS.
20. SALVAGE:  
ALL SALVAGED HYDRANTS, VALVES OR OTHER MATERIALS TO BE RETURNED TO THE SALT LAKE CITY DEPARTMENT OF PUBLIC UTILITIES SHOP AT 4500 WEST 700 SOUTH, UNLESS NOTED OTHERWISE.
- TREES:  
THE CONSTRUCTION AREA MAY CONTAIN SOME LARGE TREES THAT MAY AFFECT CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL PRESERVE AND PROTECT TREES AND COORDINATE WITH CITY FORESTER.
22. TRAFFIC DETECTOR LOOPS:  
FOR TRAFFIC DETECTOR LOOP REPAIR OR REPLACEMENT REFER TO THE CURRENT UDOT STANDARD DRAWINGS TRAFFIC SIGNAL LOOP DETECTOR DETAILS (STD. DWG. NO. SL 9) AND TRAFFIC COUNTING LOOP DETECTOR DETAILS (STD. DWG. NO. SL 10)
23. AERIAL PHOTOS IN DRAWINGS:  
THE AERIAL PHOTOS PROVIDED AS BACKGROUND IN THESE DRAWINGS ARE PROVIDED TO HELP CLARIFY THE WORK SITE. HOWEVER, THE PHOTOS DEPICT CONDITIONS AS THEY EXISTED IN 2010. PRESENT DAY CONDITIONS MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. BID SHALL INCLUDE ALL WORK REQUIRED TO COMPLETE THE PROJECT.
24. BLUESTAKES DOES NOT LOCATE ANY UNDERGROUND INFRASTRUCTURE ASSOCIATED WITH STREET LIGHTING. CONTRACTORS SHALL CALL BLACK AND MCDONALD TO GET UNDERGROUND CITY OPERATED STREET LIGHTING INFRASTRUCTURE LOCATED.  
CONTACT WADE LONG (801)-381-9654 OR RUSS COLBY (801)-381-9645.

UTAH DEQ  
REGULATION  
R309-550-2

33 31 00

APWA STD. PLAN NO. 561  
APWA STD. PLAN NO. 562

33 08 00

33 11 00 1.3

32 01 91

32 01 93

## LEGEND

- W --- EXISTING WATER LINE
- W --- PROPOSED WATER LINE
- ⊙ WATER METER
- ⊕ FIRE HYDRANT
- SS --- EXISTING SEWER LINE
- SS --- PROPOSED SEWER LATERAL
- ⊙⊙ SEWER MANHOLE
- SD --- EXISTING STORM DRAIN
- SD --- PROPOSED STORM DRAIN
- ⊙⊙ STORM DRAIN MANHOLE
- ⊕ CATCH BASIN / CLEANOUT
- ⊕ CURB INLET
- FO --- EXISTING FIBER OPTIC
- FO --- PROPOSED FIBER OPTIC
- GAS --- EXISTING NATURAL GAS
- GAS --- PROPOSED NATURAL GAS
- P --- EXISTING POWER
- P --- PROPOSED POWER
- OHP --- EXISTING OVERHEAD POWER
- OHP --- PROPOSED OVERHEAD POWER
- UGP --- EXISTING UNDERGROUND POWER
- UGP --- PROPOSED UNDERGROUND POWER
- TEL --- EXISTING TELEPHONE
- TEL --- PROPOSED TELEPHONE
- ◆ SECTION CORNER
- ⊙ MONUMENT
- ⊕ 30.82 ⊕ 30.82 EXISTING SPOT ELEVATION
- ⊕ 30.82 ⊕ 30.82 PROPOSED SPOT ELEVATION
- GRADE --- DOWNWARD GRADE
- (4258) --- EXISTING INDEX CONTOUR
- (4258) --- EXISTING MINOR CONTOUR
- (4258) --- PROPOSED CONTOUR
- PROPOSED MINOR CONTOUR
- LOT OR BOUNDARY LINE
- PUBLIC UTILITY EASEMENT
- BUILDABLE AREA SETBACK
- CENTER LINE OF ROAD
- X --- EXISTING FENCE
- X --- PROPOSED FENCE
- === EXISTING CURB & GUTTER
- === PROPOSED CURB & GUTTER
- ♿ ADA PARKING
- ☀ STREET LIGHT
- ☀ LIGHT LIGHT POLE
- ⊕ PWR ⊕ PWR POWER POLE
- ⊕ TEL ⊕ TEL TELEPHONE POLE
- ⊕ UTIL ⊕ UTIL UTILITY POLE
- ⊕ + ⊕ + STREET SIGN

## ABBREVIATIONS

- ⊙ DIAMETER
- Δ DELTA
- ° DEGREES
- ' MINUTES, FEET
- " SECONDS, INCHES
- AD ALGEBRAIC DIFFERENCE
- ADA AMERICAN DISABILITIES ACT
- ADS CORRUGATED BLACK PLASTIC PIPE
- ARCH ARCHITECT, ARCHITECTURAL
- B&C BAR & CAP
- BLA BOUNDARY LINE AGREEMENT
- BLDG BUILDING
- BM BENCHMARK
- BND BOUNDARY
- BOW BACK OF WALK
- BRG BEARING
- BV BUTTERFLY VALVE
- BVC BEGIN VERTICAL CURVE
- BVCE BEGIN VERTICAL CURVE ELEVATION
- BVCS BEGIN VERTICAL CURVE STATION
- C&G CURB AND GUTTER
- CB CATCH BASIN
- CHD CHORD
- CHB CHORD BEARING
- CI CAST IRON
- CIP CAST IN PLACE
- CL CENTERLINE
- CMP CORRUGATED METAL PIPE
- CO CLEANOUT
- COMM COMMUNICATIONS
- CONC CONCRETE
- CONST CONSTRUCTION
- CUL CULINARY
- CW CULINARY WATER
- CWL CULINARY WATERLINE
- DEMO DEMOLITION
- DI DUCTILE IRON
- DIST DISTANCE
- E EAST, ELECTRICITY, ELECTRICAL
- EASE EASEMENT
- EG EXISTING GRADE
- EL ELBOW
- ELEC ELECTRICAL
- ELEV ELEVATION
- EOA EDGE OF ASPHALT
- EOV END VERTICAL CURVE
- EVCE END VERTICAL CURVE ELEVATION
- EVCS END VERTICAL CURVE STATION
- EX EXISTING
- FF FINISH FLOOR ELEVATION
- FO FINISH GRADE
- FH FIRE HYDRANT
- FL FLOWLINE
- FND FOUNDATION
- FP FIRE PROTECTION
- FG FOOTING
- G GAS, NATURAL GAS
- GB GRADE BREAK
- GV GATE VALVE
- HDPE HIGH-DENSITY POLYETHYLENE PIPE
- HP HIGH POINT
- HPE HIGH POINT ELEVATION
- HPS HIGH POINT STATION
- ID INSIDE DIAMETER
- IE INVERT ELEVATION
- INV INVERT
- IRR IRRIGATION
- IRRM IRRIGATION MANHOLE
- K RADIUS OF CURVATURE
- L LENGTH
- LAT LATERAL SERVICE
- LD LAND DRAIN
- LDHM LAND DRAIN MANHOLE
- LF LINEAL FEET
- LG LIP OF GUTTER
- LP LOW POINT
- LPE LOW POINT ELEVATION
- LPS LOW POINT STATION
- MD MEASURE DOWN
- MECH MECHANICAL
- MH MANHOLE
- MN MONUMENT
- N NORTH
- NE NORTHEAST
- NG NATURAL GRADE
- NR NON-RADIAL
- NW NORTHWEST
- OC ON CENTER
- OD OUTSIDE DIAMETER
- OHP OVERHEAD POWER
- OP POINT OF CURVATURE
- PCC PORTLAND CONCRETE CEMENT
- PI POINT OF INFLECTION
- PL PROPERTY LINE
- PROP PROPERTY
- PT POINT OF TANGENCY
- PUE PUBLIC UTILITY EASEMENT
- PUE&DE PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT
- PVI POINT OF VERTICAL INFLECTION
- R RADIUS
- RC REBAR & CAP
- RCL ROADWAY CENTERLINE
- RCP REINFORCED CONCRETE PIPE
- ROW RIGHT OF WAY
- S SOUTH
- SD STORM DRAIN
- SDCB STORM DRAIN CATCH BASIN
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- SE SOUTHEAST
- SEC SECONDARY
- SEC SECTION
- SLB&M SALT LAKE BASE & MERIDIAN
- SPEC SPECIFICATION
- SPECS SPECIFICATIONS
- SPF STEEL PIPE
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- STD STANDARD
- STDS STANDARDS
- SW SECONDARY WATER
- SW SWATHWEST
- SWL SECONDARY WATERLINE
- TAN TANGENT
- TB THRUST BLOCK
- TBC TOP BACK OF CURB
- TBW TOP BACK OF WALK
- TEL TELEPHONE
- TCW TOP OF CURB/WALL
- TOA TOP OF ASPHALT
- TOC TOP OF CONCRETE
- TOE TOE OF SLOPE OR WALL
- TOG TOP OF GRATE
- TOW TOP OF WALL
- UTIL UTILITY
- UD UNDERDRAIN
- UGP UNDERGROUND POWER
- VC VERTICAL CURVE
- W WEST, WATER
- WL WATERLINE
- WM WATER METER
- WP WORK POINT

AVAIL ENGINEERS  
 573 EAST 2700 SOUTH  
 SALT LAKE CITY, UT. 84106



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### GENERAL NOTES

# C0-1

LOCATED IN THE SE 1/4 OF SECTION 28, T.1S., R.1E, S.L.B.&M. SALT LAKE COUNTY

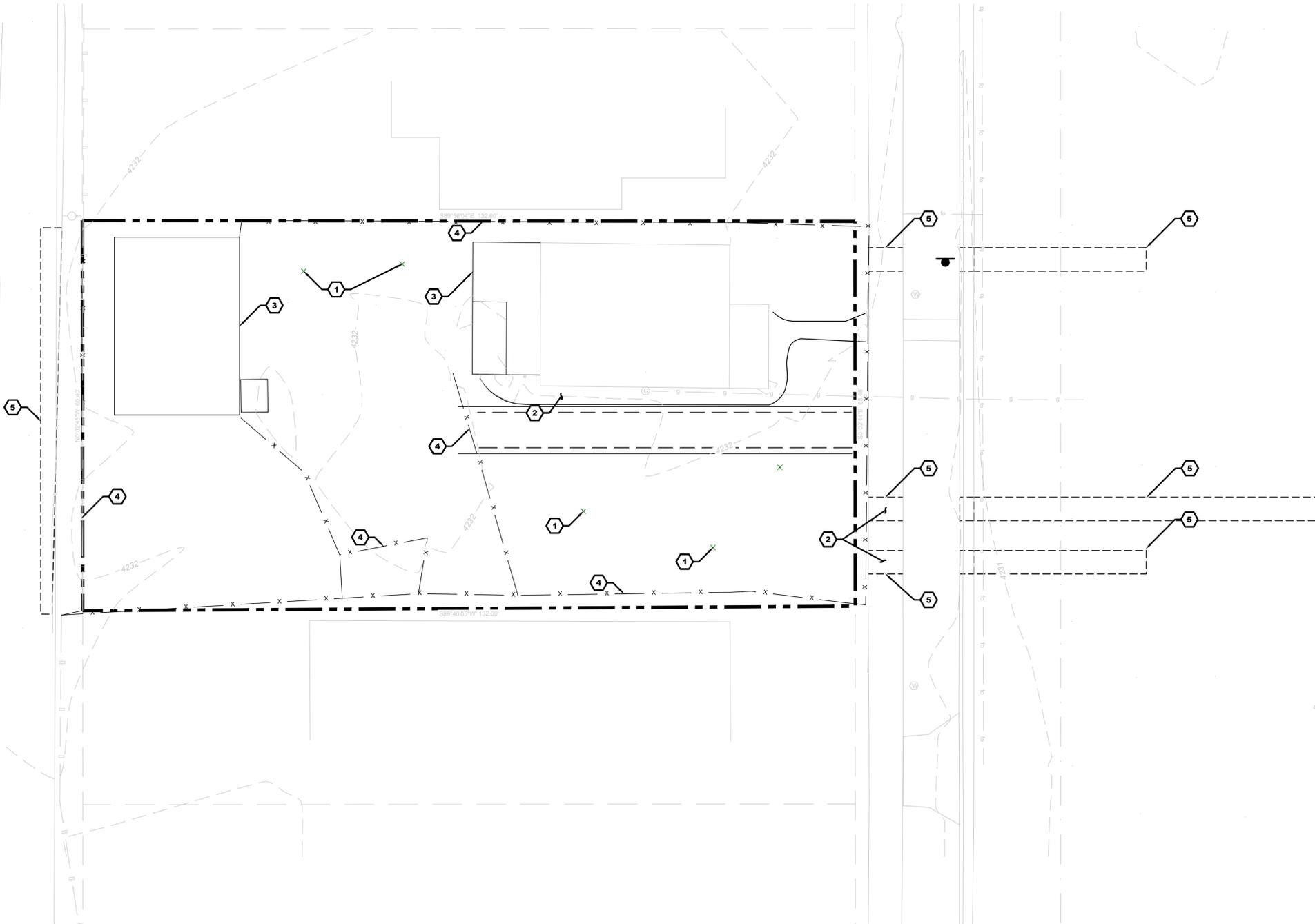
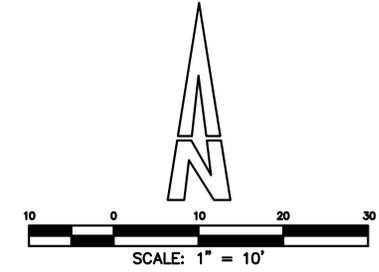
DETAILED BY:	DETAILED BY:	CHECKED BY:	PROJECT #:
TJB 4.23.2021	TJB 4.23.2021	CC 4.23.2021	21-004

**DEMO PLAN KEY NOTES**

- 1 DEMOLISH AND LEGALLY DISPOSE OF EXISTING TREE
- 2 DEMOLISH AND LEGALLY DISPOSE OF EXISTING CONCRETE
- 3 DEMOLISH AND LEGALLY DISPOSE OF STRUCTURE, REFERENCE ARCHITECTURE PLANS FOR DETAILS.
- 4 DEMOLISH AND LEGALLY DISPOSE OF EXISTING FENCE.
- 5 SAWCUT AND LEGALLY DISPOSE OF EXISTING ASPHALT/ CONCRETE.

**DEMO PLAN GENERAL NOTES:**

- 1. ALL EXISTING SITE FEATURES ARE TO BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED ON THIS SHEET.
- 2. REFERENCE SHEET C4-0 FOR EXISTING UTILITY ABANDONMENT.



R:\Projects\2021\12-1-004 Northstar Jefferson Street\100\_CAD\4\_Site Design\21-004\_C0-2\_Demo Plan.dwg 4/23/2021 2:09 PM

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 SALT LAKE CITY, UT. 84106



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 850 SOUTH JEFFERSON STREET  
 SALT LAKE CITY, UTAH

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DEMO PLAN

**C0-2**

LOCATED IN THE SE 1/4 OF SECTION 28, T.1S., R.1E, S.L.B.&M. SALT LAKE COUNTY

DETAILED BY:  
 TJB 4.23.2021

DETAILED BY:  
 TJB 4.23.2021

CHECKED BY:  
 CC 4.23.2021

PROJECT #:  
 21-004

**SITE PLAN KEY NOTES**

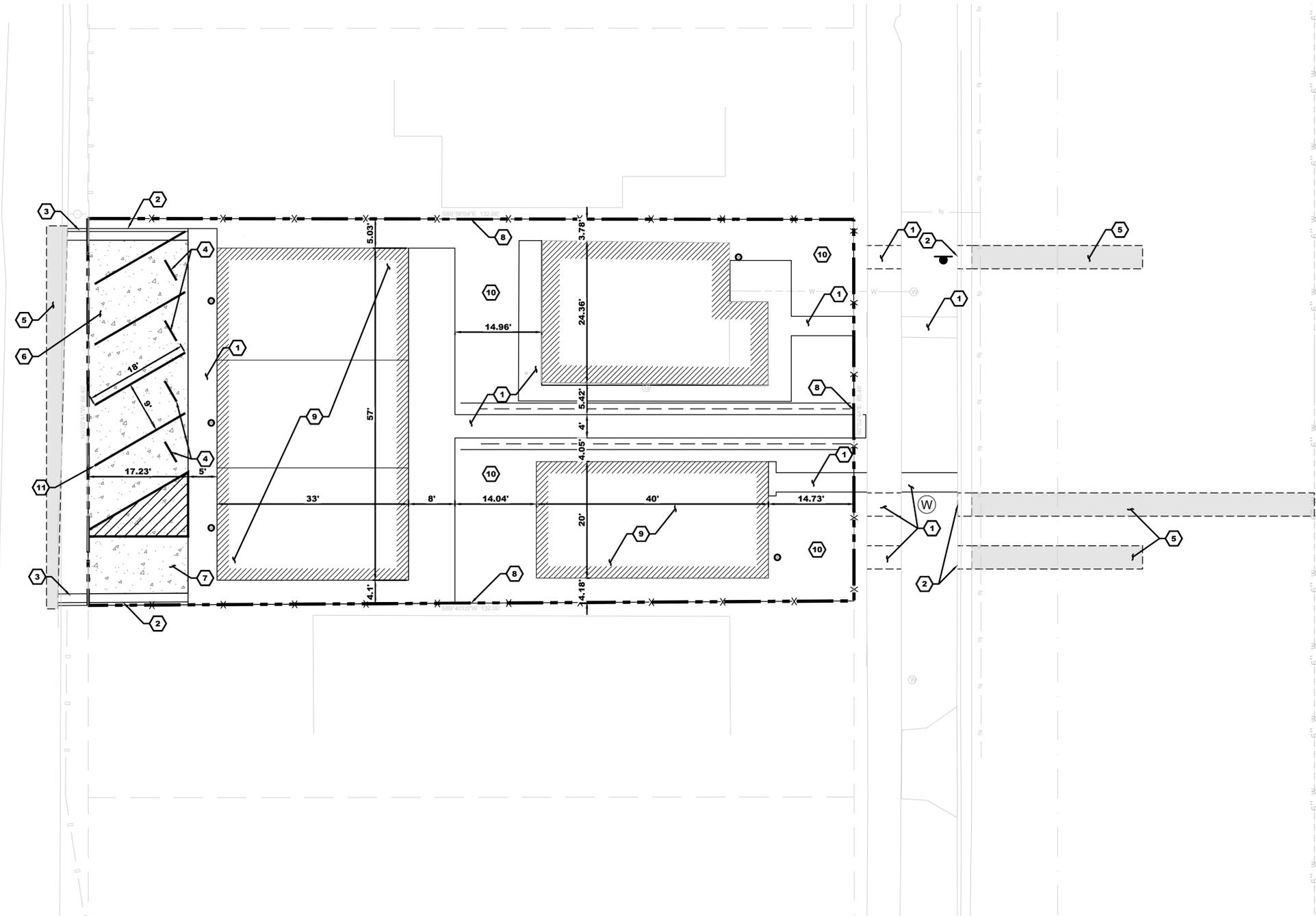
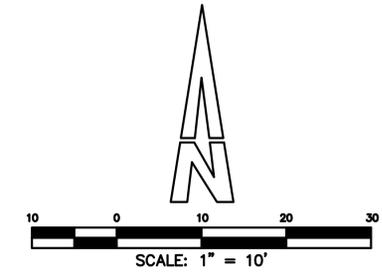
- 1 FURNISH AND INSTALL SIDEWALK PER APWA STANDARD PLAN 231. SEE SHEET C1-1.
- 2 FURNISH AND INSTALL TYPE E CURB AND GUTTER PER APWA STANDARD PLAN 205.2. SEE SHEET C1-1.
- 3 FURNISH AND INSTALL CURB AND GUTTER TAPER, REFERENCE SHEET C1-1 FOR DETAILS.
- 4 FURNISH AND INSTALL PARKING BLOCK PER APPROVED MANUFACTURER STANDARDS AND SPECIFICATIONS.
- 5 FURNISH AND INSTALL ASPHALT PAVEMENT & BASE PER SALT LAKE CITY STANDARDS, SEE C1-1 FOR CROSS SECTION.
- 6 FURNISH AND INSTALL CONCRETE PAVEMENT & BASE PER SALT LAKE CITY STANDARDS.
- 7 PROPOSED TRASH BIN STORAGE LOCATION.
- 8 FURNISH AND INSTALL FENCE; DETAILS BY OTHERS.
- 9 PROPOSED BUILDING LOCATION, REFERENCE ARCHITECTURAL PLANS FOR DETAILS.
- 10 PROPOSED LANDSCAPING, REFERENCE LANDSCAPE & IRRIGATION PLANS FOR DETAILS.

- 11 FURNISH AND INSTALL PAVEMENT MARKING PAINT PER MUTCD STANDARDS AND SPECIFICATIONS.

SITE STATISTICS TABLE			
PROVIDED PARKING	4		
AREAS			
AREAS	SQ. FT.	ACRES	%
BUILDING	3825.05	0.088	44%
LANDSCAPE	2218.21	0.051	25%
HARDSCAPE	2660.56	0.061	31%
TOTAL AREA	8703.82	0.200	100%

OPEN SPACE / COMMON AREA (EVERYTHING BUT THE BUILDINGS)			
COMMON AREA	4878.77	0.112	56%



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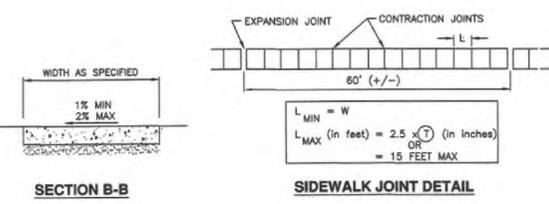
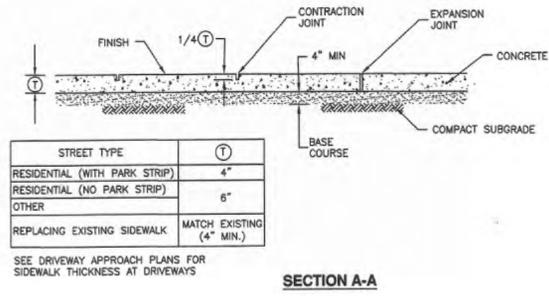
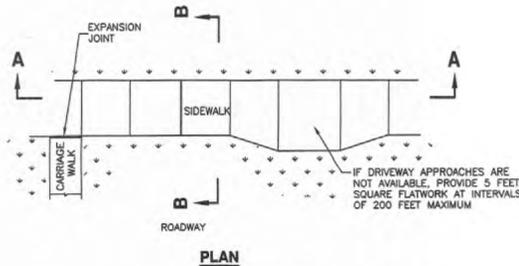
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1	4.23.21	PLANNED DEVELOPMENT SUBMITTAL
2	6.9.21	PLANNING COMMENTS

**SITE PLAN**

**C1-0**

LOCATED IN THE SE 1/4 OF SECTION 28, T.1S., R.1E, S.L.B.&M. SALT LAKE COUNTY

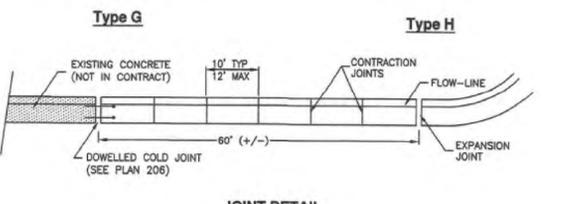
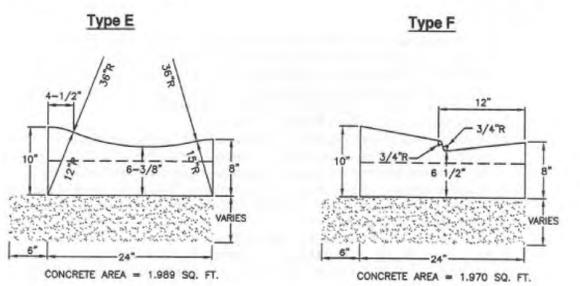
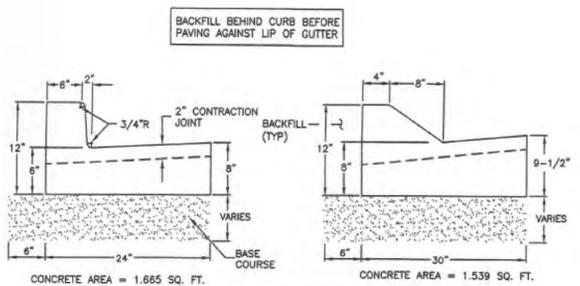
DETAILED BY:	DETAILED BY:	CHECKED BY:	PROJECT #:
TJB 4.23.2021	TJB 4.23.2021	CC 4.23.2021	21-004



**APWA** Utah Chapter

**Sidewalk**

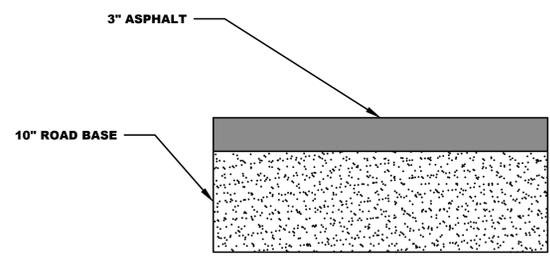
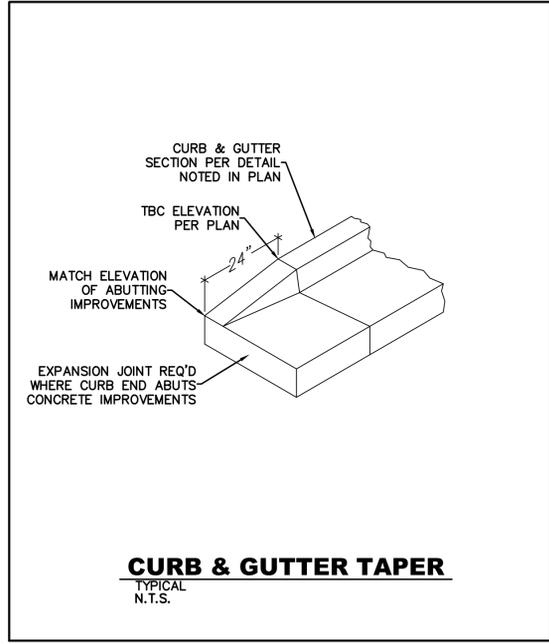
Plan **231**  
March 2009



**APWA** Utah Chapter

**Curb and gutter**

Plan **205.2**  
April 2011



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**UTILITY LOCATIONS**

- POWER
- TELEPHONE
- GAS
- SEWER
- WATER
- IRRIGATION

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**SITE DETAILS**

**C1-1**

LOCATED IN THE SE 1/4 OF SECTION 28, T.1S., R.1E, S.L.B.&M. SALT LAKE COUNTY

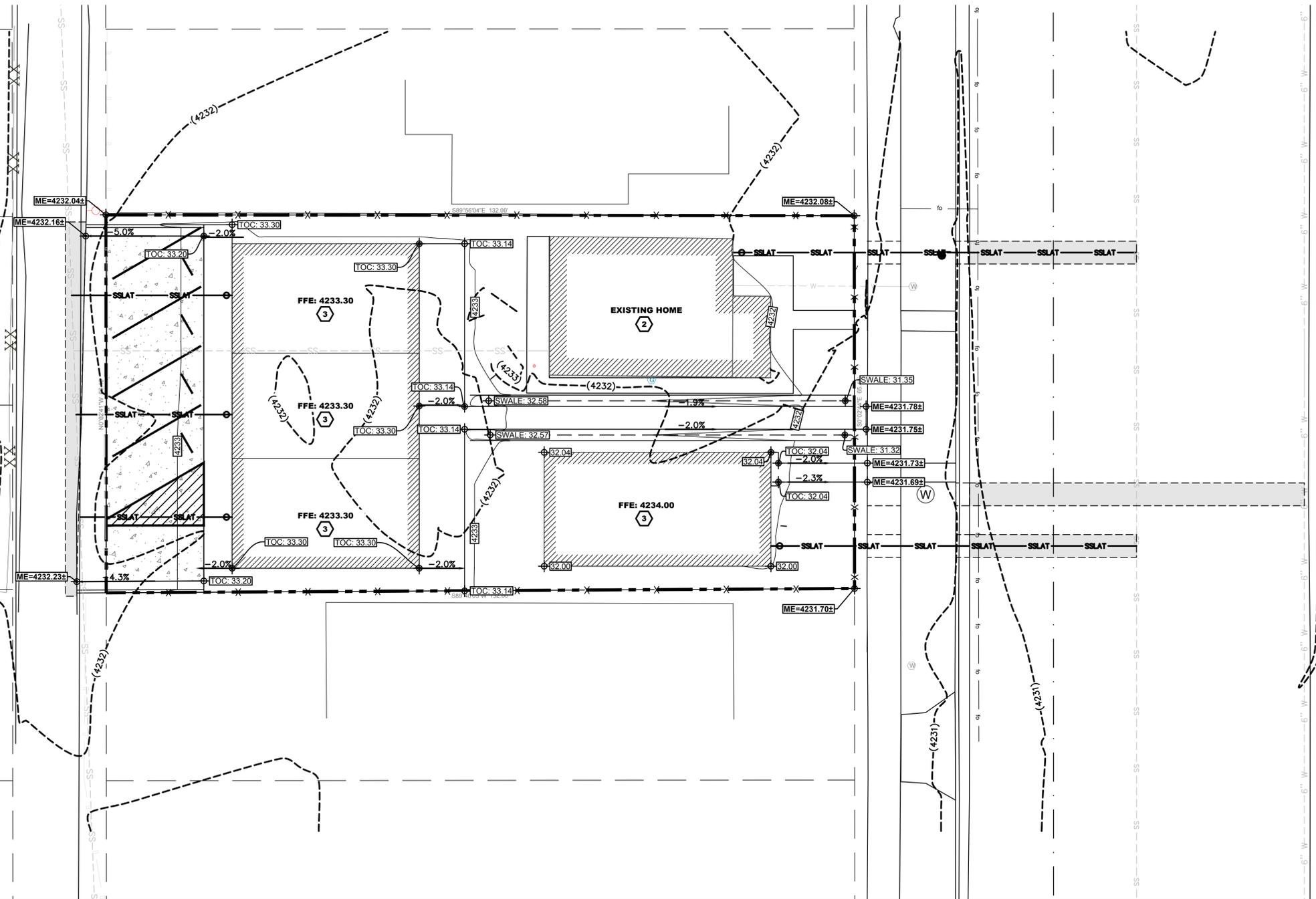
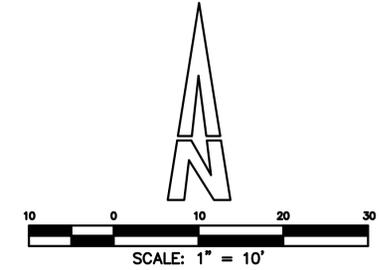
DETAILED BY:	DETAILED BY:	CHECKED BY:	PROJECT #:
TJB 4.23.2021	TJB 4.23.2021	CC 4.23.2021	21-004

**GRADING AND DRAINAGE PLAN KEY NOTES**

- 1 FURNISH AND INSTALL 2' WIDE BY 6" DEEP DRAINAGE SWALE PER DETAIL SD-1 SHEET C2-1
- 2 EXISTING STRUCTURE TO REMAIN
- 3 PROPOSED STRUCTURE.

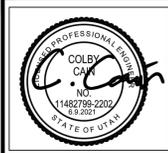
PROPOSED CONTOUR 4232  
 EXISTING CONTOUR LABEL (4232)

GRADING NOTES  
 1. ALL SPOT ELEVATIONS HAVE BEEN TRUNCATED ALL ELEVATIONS ARE 4200 + THE TRUNCATED ELEVATION SHOWN



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GRADING AND DRAINAGE PLAN

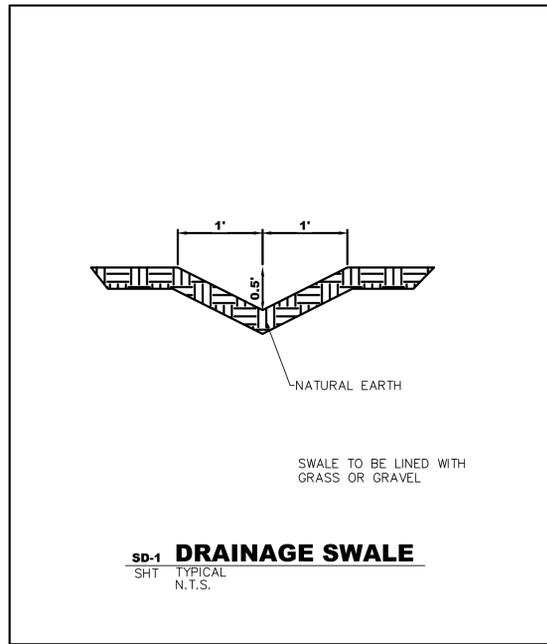
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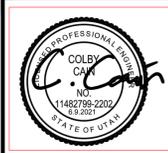
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REV	DATE	DESCRIPTION
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GRADING AND DRAINAGE DETAILS

**C2-0**

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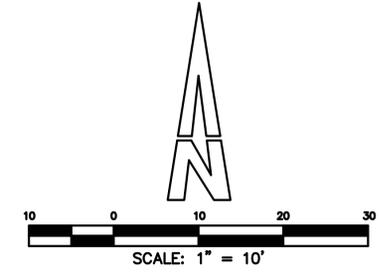
DETAILED BY: TJB	DETAILED BY: TJB	CHECKED BY: CC	PROJECT #: 21-004
4.23.2021	4.23.2021	4.23.2021	

**EROSION CONTROL PLAN KEY NOTES**

- 1 PROPOSED SILT FENCE PER SLC<sub>0</sub> STANDARDS AND SPECIFICATIONS.
- 2 PROPOSED CONCRETE WASHOUT PER SLC<sub>0</sub> STANDARDS AND SPECIFICATIONS.
- 3 PROPOSED MATERIAL STORAGE PER SLC<sub>0</sub> STANDARDS AND SPECIFICATIONS.
- 4 PROPOSED PORTABLE TOILET PER SLC<sub>0</sub> STANDARDS AND SPECIFICATIONS.
- 5 PROPOSED STABILIZED CONSTRUCTION ENTRANCE PER SLC<sub>0</sub> STANDARDS AND SPECIFICATIONS.

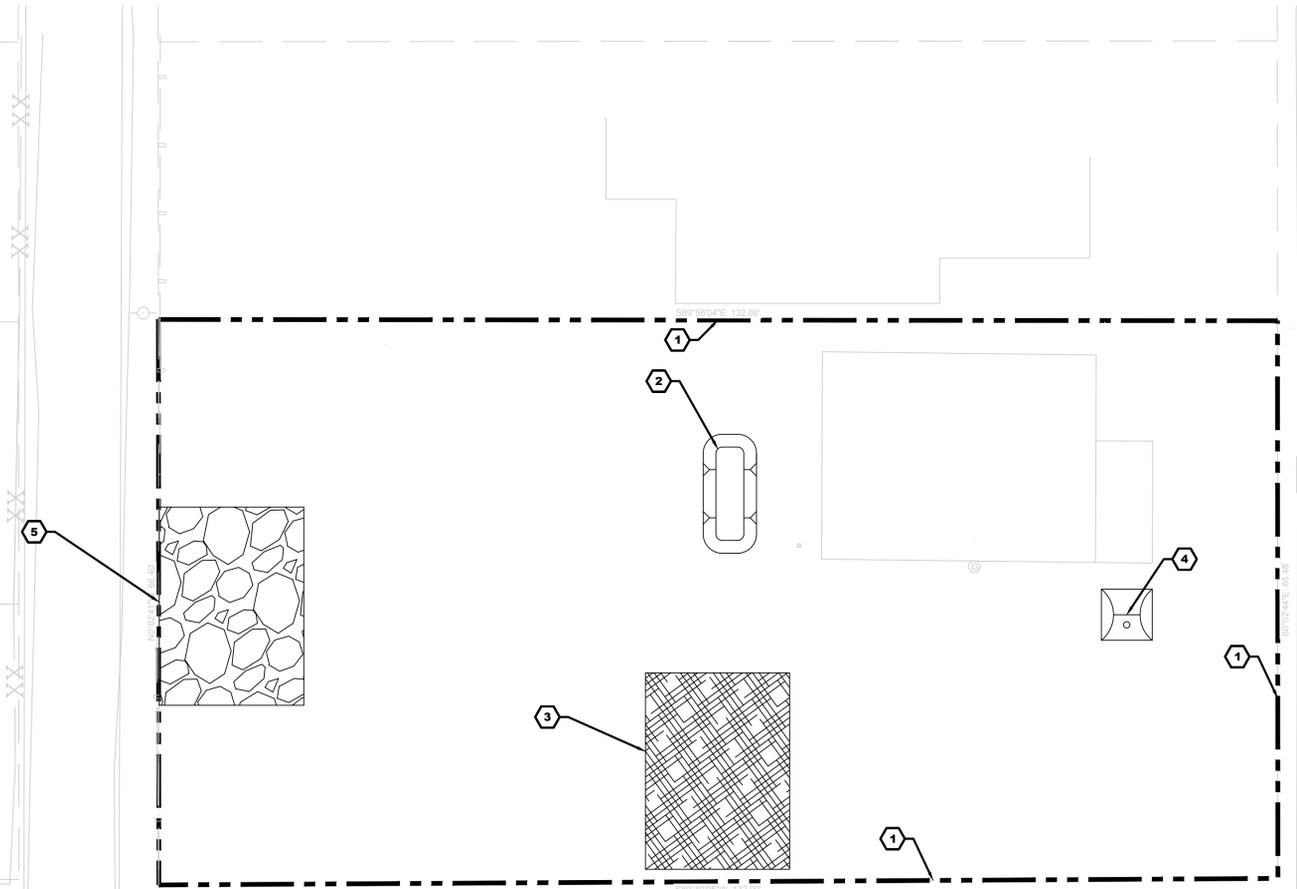
**NOTES:**

- 1. CONTRACTOR TO INSTALL ALL BMPs PER SALT LAKE COUNTY STANDARD DETAILS. REFERENCE SHEET C3-1 FOR DETAILS.

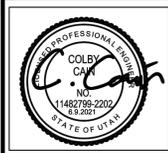


R:\Projects\2021\12-004 Northstar Jefferson Street\100\_CAD\4\_Site Design\21-004\_C3-0 EROSION CONTROL PLAN.dwg

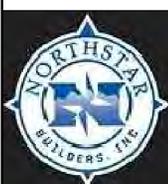
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**EROSION CONTROL PLAN**

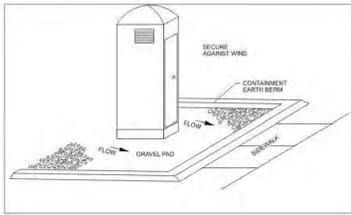
**C3-0**

LOCATED IN THE SE 1/4 OF SECTION 28, T.1S., R.1E, S.L.B.&M. SALT LAKE COUNTY

DETAILED BY: TJB 4.23.2021	DETAILED BY: TJB 4.23.2021	CHECKED BY: CC 4.23.2021	PROJECT #: 21-004
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**BMP: Portable Toilets**

**PT**  
Construction



**DESCRIPTION:**  
Temporary on-site sanitary facilities for construction personnel.

**APPLICATION:**  
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

**INSTALLATION/APPLICATION CRITERIA:**

- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (6" tall by 6" wide), control for spill/protection leak.

**LIMITATIONS:**

- No limitations.

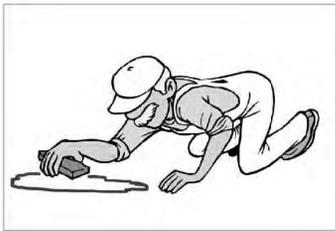
**MAINTENANCE:**

- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

35

**BMP: Spill Clean-Up**

**SCU**  
Construction



**DESCRIPTION:**  
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

**APPLICATION:**  
All sites

**GENERAL:**

- Store controlled materials within a storage area.
- Educate personnel on prevention and clean-up techniques.
- Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

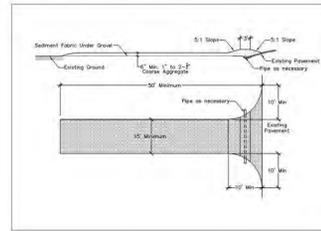
**METHODS:**

- Clean-up spills/leaks immediately and remediate cause.
- Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
- Use rags or absorbent material for clean-up. Excavate contaminated soils. Dispose of clean-up material and soil as hazardous waste.
- Document all spills with date, location, substance, volume, actions taken and other pertinent data.
- Contact the Salt Lake County Health Department (313-6700) for any spill of reportable quantity.

42

**BMP: Stabilized Construction Entrance**

**SCE**  
Construction



**DESCRIPTION:**  
A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface.

**APPLICATION:**  
At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

**INSTALLATION/APPLICATION CRITERIA:**

- Clear and grub area and grade to provide maximum slope of 2%.
- Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months).
- Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.

**LIMITATIONS:**

- Requires periodic top dressing with additional stones.
- Should be used in conjunction with street sweeping on adjacent public right-of-way.

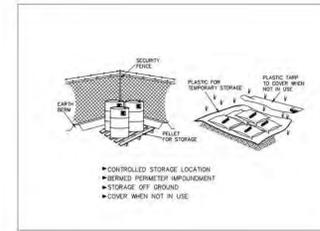
**MAINTENANCE:**

- Inspect daily for loss of gravel or sediment buildup.
- Inspect adjacent roadway for sediment deposit and clean by sweeping or shoveling.
- Repair entrance and replace gravel as required to maintain control in good working condition.
- Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.

43

**BMP: Material Storage**

**MS**  
Construction



**DESCRIPTION:**  
Controlled storage of on-site materials.

**APPLICATION:**

- Storage of hazardous, toxic, and all chemical substances.
- Any construction site with outside storage of materials.

**INSTALLATION/APPLICATION CRITERIA:**

- Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby.
- Construct compacted earthen berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills.
- Ensure all on-site personnel utilize designated storage area. Do not store excessive amounts of material that will not be utilized on site.
- For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use.

**LIMITATIONS:**

- Does not prevent contamination due to mishandling of products.
- Spill Prevention and Response Plan still required.
- Only effective if materials are actively stored in controlled location.

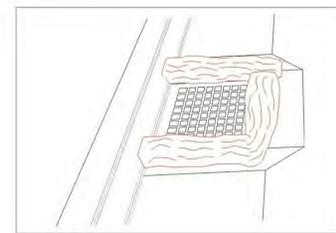
**MAINTENANCE:**

- Inspect daily and repair any damage to perimeter impoundment or security fencing.
- Check materials are being correctly stored (i.e. standing upright, in labeled containers, tightly capped) and that no materials are being stored away from the designated location.

30

**BMP: Inlet Protection – Wattle**

**IP-W**  
CONSTRUCTION



**DESCRIPTION:**  
Sediment barrier erected around storm drain inlet.

**APPLICATION:**  
Construct at storm drainage inlets located down-gradient of areas to be disturbed by construction.

**INSTALLATION/APPLICATION CRITERIA:**

- Provide up-gradient sediment controls, such as silt fence during construction of inlet
- When construction of curb and gutter and roadways is complete, install gravel filled wattles around perimeter of inlet

**LIMITATIONS:**

- Recommended maximum contributing drainage area of one acre
- Requires shallow slopes adjacent to inlet

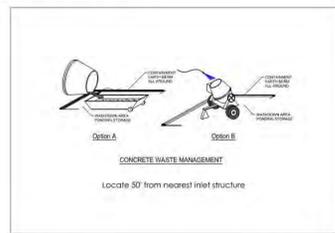
**MAINTENANCE:**

- Inspect inlet protection following storm event and at a minimum of once every 14 days.
- Remove accumulated sediment when it reaches 4 inches in depth.
- Look for bypassing or undercutting and repair or realign as needed.

27

**BMP: Concrete Waste Management**

**CWM**  
Construction



**DESCRIPTION:**  
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

**APPLICATION:**  
This technique is applicable to all types of sites.

**INSTALLATION/APPLICATION CRITERIA:**

- Store dry materials under cover, away from drainage areas.
- Minimize excess mixing of fresh concrete, mortar or cement on-site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (6" tall by 6" wide).
- Train employees and subcontractors in proper concrete waste management.

**LIMITATIONS:**

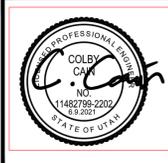
- Off-site washout of concrete wastes may not always be possible.

**MAINTENANCE:**

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

8

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EROSION CONTROL DETAILS

**C3-1**

LOCATED IN THE SE 1/4 OF SECTION 28, T.1S., R.1E, S.L.B.&M. SALT LAKE COUNTY

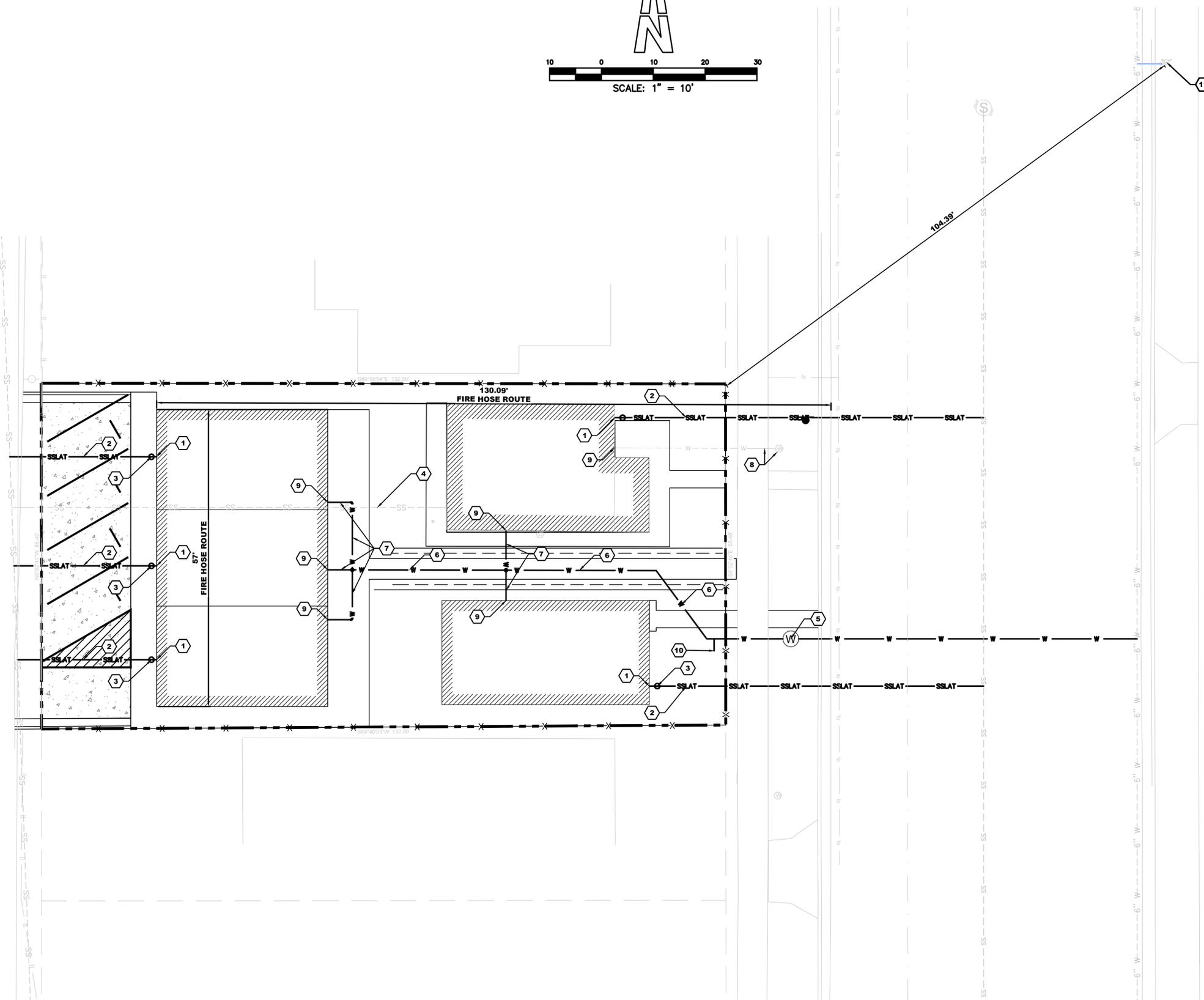
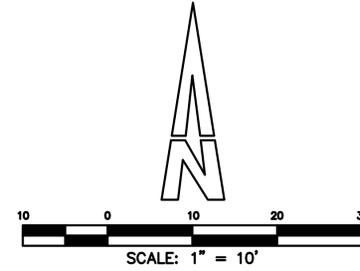
DETAILED BY:	DETAILED BY:	CHECKED BY:	PROJECT #:
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**UTILITY PLAN KEY NOTES**

- 1 PROPOSED SANITARY SEWER CONNECTION AT BUILDING. REFERENCE MEP AND ARCHITECTURAL PLANS FOR DETAILS.
- 2 FURNISH AND INSTALL 4" PVC SDR 35 SANITARY SEWER SERVICE LATERAL @ 2% MIN. SLOPE PER SALT LAKE PUBLIC UTILITIES (SLCPU) STANDARDS.
- 3 FURNISH AND INSTALL 4" SANITARY SEWER CLEANOUT PER SLCPU STANDARDS AND SPECIFICATIONS.
- 4 EXISTING SEWER LATERAL, ABANDON AND CAP AT MAIN PER SLCPU STANDARDS AND SPECIFICATIONS.
- 5 FURNISH AND INSTALL 1.5" WATER METER PER SALT LAKE PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS.
- 6 FURNISH AND INSTALL 1.5" POLY WATER SERVICE LATERAL PER SLCPU STANDARDS AND SPECIFICATIONS.
- 7 FURNISH AND INSTALL 3/4" POLY WATER SERVICE LATERAL PER SLCPU STANDARDS AND SPECIFICATIONS.
- 8 EXISTING WATER LATER/ METER, ABANDON PER SLCPU STANDARDS AND SPECIFICATIONS.
- 9 PROPOSED CULINARY WATER SERVICE CONNECTION AT BUILDING, REFERENCE MEP PLANS FOR DETAILS.
- 10 FURNISH AND INSTALL 1" IRRIGATION LATERAL, REFERENCE LANDSCAPE & IRRIGATION PLANS FOR DETAILS.
- 11 EXISTING FIRE HYDRANT.
- 12 INTENTIONALLY LEFT BLANK

**GENERAL UTILITY PLAN NOTES:**

- 1. ALL UTILITY INSTALLATION SHALL BE TO SALT LAKE CITY PUBLIC UTILITIES & APWA STANDARDS AND SPECIFICATIONS. APPLICABLE SALT LAKE CITY PUBLIC UTILITIES & APWA DETAILS CAN BE FOUND ON SHEET C4-1; HOWEVER, CONTRACTOR RESPONSIBLE FOR ACQUIRING LATEST DETAILS AND SPECIFICATIONS FROM SALT LAKE CITY PUBLIC UTILITIES OR APWA.
- 2. OWNER/CONTRACTOR TO COORDINATE WITH POWER, GAS AND COMMUNICATION UTILITY PROVIDERS FOR LOCATION AND CONNECTION DETAILS.
- 3. EXISTING UTILITY LOCATIONS ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION; NOTIFY ENGINEER IF EXISTING CONDITIONS ARE DIFFERENT THAN SHOWN ON PLANS.



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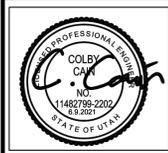
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DETAILED BY:  
TJB 4.23.2021

DETAILED BY:  
TJB 4.23.2021

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CC 4.23.2021

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**SEWER**  
**WATER**  
**IRRIGATION**

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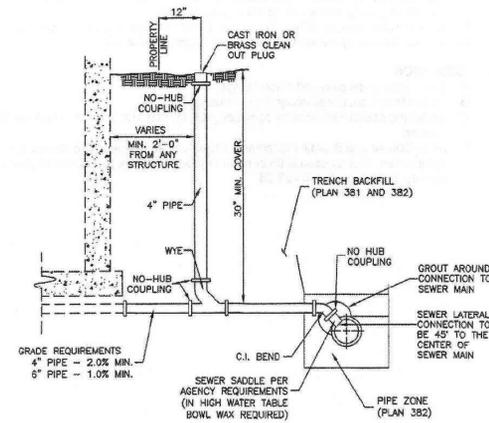
REV	DATE	DESCRIPTION
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UTILITY PLAN

**C4-0**

**Sewer lateral connection**

1. **GENERAL**
  - A. Before installation, secure acceptance by ENGINEER for all pipe, fittings, and couplings to be used.
  - B. Before backfilling, secure inspection of installation by ENGINEER. Give at least 24 hours notice.
  - C. Verify if CONTRACTOR or agency is to install the wye.
2. **PRODUCTS**
  - A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
  - B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
  - C. Provide agency approved wye or tee with appropriate donut.
  - D. Stainless steel straps required.
3. **EXECUTION**
  - A. Tape wrap pipe as required by soil conditions.
  - B. Remove core plug from sewer main. Do not break into sewer main to make connection.
  - C. Base Course and Backfill Placement: Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

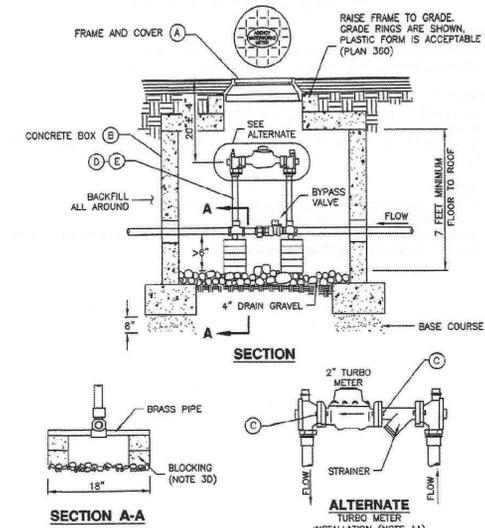


**APWA** Utah Chapter **Sewer lateral connection** Plan **431** January 2011

431

**1 1/2" and 2" meter**

1. **GENERAL**
  - A. Turbine meters are required on all systems used exclusively for irrigation or fire protection.
  - B. Where domestic use is applicable, use a standard meter.
  - C. Before backfilling, secure inspection of installation by ENGINEER.
2. **PRODUCTS**
  - A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
  - B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
  - C. Castings: Grey iron class 35 minimum per ASTM A48, coated with asphalt based paint or better.
3. **EXECUTION**
  - A. Meter Placement:
    - 1) All meters are to be installed in the park strip or within 7 feet of the property line (street side).
    - 2) Do not install meters under driveway approaches, sidewalks, or curb and gutter.
    - 3) In new construction, install meter at center of lot or per agency requirements.
  - B. Meter Box: Set box so grade of the frame and cover matches the grade of the surrounding surface.
  - C. Bypass Valve: Lock in off position.
  - D. Blocking: Use clay brick or concrete block.
  - E. Concrete Box:
    - 1) Center frame and cover over water meter.
    - 2) Allow 1-inch clearance around waterline where water line passes through concrete box wall. Seal opening with compressible seal.
  - F. Pipe Outside of Right-of-Way: Coordinate with utility agency or adjacent property owner for type of pipe to be used outside of right-of-way.
  - G. Base Course and Backfill Placement: Maximum lift thickness before compaction is 8-inches. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.



LEGEND		
No.	ITEM	DESCRIPTION
(A)	27" FRAME AND COVER	PLAN 502
(B)	CONCRETE BOX	PLAN 505
(C)	STAINLESS STEEL METER BOLTS	5/8" x 2 3/4" BRASS
(D)	1 1/2" CUSTOM SETTER WITH BYPASS	
(E)	2" CUSTOM SETTER WITH BYPASS	

**APWA** Utah Chapter **1 1/2" and 2" meter** Plan **522** August 2001

522

R:\Projects\2021\12-004 Northstar Jefferson Street\100\_CAD\4\_Site Design\21-004\_C4-0 UTILITY PLAN.dwg 4/22/2021 10:44 PM

**AVAIL ENGINEERS**  
573 EAST 2700 SOUTH  
SALT LAKE CITY, UT. 84106



■ POWER  
■ TELEPHONE  
■ GAS  
■ SEWER  
■ WATER  
■ IRRIGATION  
 TWO WORKING DAYS BEFORE YOU DIG CALL  
**1-800-662-4111**  
 UTAH TOLL FREE, OR  
**801-208-2100**  
 SALT LAKE CITY, UT  
 IT'S THE LAW TO CALL



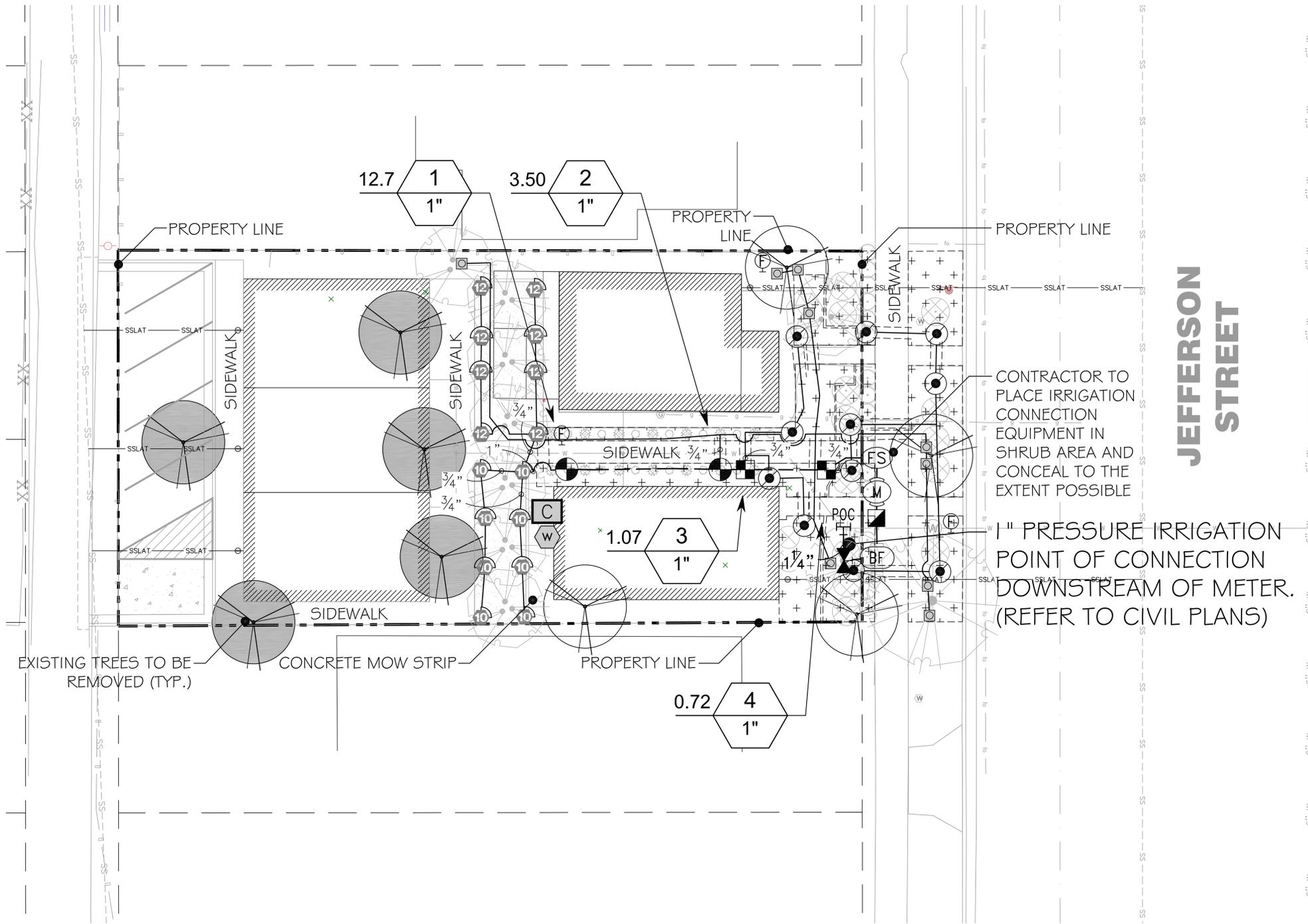
**JEFFERSON COURT**  
850 SOUTH JEFFERSON STREET  
SALT LAKE CITY, UTAH

REV	DATE	DESCRIPTION
1	4.23.21	PLANNED DEVELOPMENT SUBMITTAL
2	6.9.21	PLANNING COMMENTS

UTILITY PLAN DETAILS

**C4-1**

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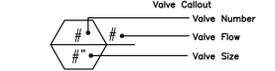


**IRRIGATION SCHEDULE TOTAL PROJECT**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Rain Bird 1804-U-PRS U10 Series Turf Spray 4.0' Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	8	30
	Rain Bird 1804-U-PRS U12 Series Turf Spray 4.0' Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	8	30
	Rain Bird 1804-PRS-1400 Flood 1401 Flood Bubbler 4.0' popup with pressure regulating device.	9	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XCZ-LF-100-PRF Low Flow Dnp Control Kit, 1" Low Flow Valve, 3/4" Pressure Regulating RBY Filter, and 30psi Pressure Regulator. 0.2gpm-5gpm.	2
	Pipe Transition Point in Dnp Box Pipe transition point from PVC lateral to dnp tubing with nser in 6" (150mm) dnp box.	11
	Rain Bird MDCFCAP Dnpline Flush Valve cap in compression fitting coupler.	3
	Area to Receive Dnp Emitters Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet. Emitter Notes: 0.5 GPH emitters (2 assigned to each 1 gal plant) 1.0 GPH emitters (2 assigned to each 2 gal plant) 1.0 GPH emitters (2 assigned to each 5 gal plant)	1,649 s.f. 34 28 62

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird PEB-PRS-D 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module.	2
	Rain Bird 44-LRC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.	1
	Stop and Waste Valve Drain to Stop and Waste Valve	1
	Rain Bird EFB-CP-PRS-D 1" 1", 1-1/4", 1-1/2", 2" Brass Master Valve, that is Contamination Proof w/Self-Flushing Filter Screen. Globe Configuration, Reclaimed Water Compatible, and Purple Handle Cover Designates Non-Potable Water Use. With Pressure Regulator.	1
	Pressure Reducing Valve	1
	Zurn 975XL 1" Reduced Pressure Backflow device	1
	Rain Bird ESP4ME3 4 Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Use. LNK/WFI Module and Flow Sensor Ready. Contractor to coordinate with owner's representative regarding location.	1
	Rain Bird WR2-RFC Wireless Rain and Freeze Sensor Combo, includes 1 receiver and 1 rain/freeze sensor transmitter. Contractor to coordinate with owner's representative regarding location.	1
	Rain Bird FS-100-B 1" Flow Sensor for use with Rain Bird Maxicom, SiteControl, and ESP-LXD Central Control Systems. Brass Model. Suggested Operating Range of 2.0 GPM to 40.0 GPM. Sensors should be sized for flow rather than pipe size.	1
	Irrigation Lateral Line: PVC Schedule 40	504.7 l.f.
	Irrigation Mainline: PVC Schedule 40	85.2 l.f.
	Pipe Sleeve: PVC Schedule 40	78.9 l.f.

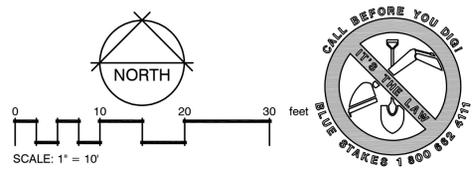


- IRRIGATION NOTES:**
- SEE SHEET IR-2 FOR NOTES AND DETAILS.
  - IRRIGATION SYSTEM IS EQUIPPED WITH A SMART ET BASED CONTROLLER AND RAIN SENSOR AS PART OF THE SPRINKLER SYSTEM.
  - PLANS ARE DIAGRAMMATIC DUE TO SCALE, THEREFORE, IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY QUANTITIES.
  - SPRINKLER AUDITS ARE TO BE CONDUCTED AND REPORTS SUBMITTED TO THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - BACKFLOW PREVENTION DEVICE NEEDS TO BE TESTED AND SUBMITTED TO THE CITY.
  - PLANT MATERIALS ARE GROUPED ON INDIVIDUAL IRRIGATION VALVE CIRCUITS CONSISTING OF PLANTS DESIGNATED AS FOLLOWS:  
HYDRO ZONE 1, HYDRO ZONE 2 AND HYDRO ZONE 3
  - IF PLANTS OF DIFFERENT HYDRO ZONE CLASSIFICATIONS ARE PLACED ON THE SAME IRRIGATION VALVE, ONLY PLANTS OF TWO HYDRO ZONE CLASSIFICATIONS CAN BE GROUPED TOGETHER, I.E. HYDRO ZONE 1 WITH HYDRO ZONE 2 OR HYDRO ZONE 2 WITH HYDRO ZONE 3 PLANT MATERIAL. THEN, EACH PLANT MATERIAL WITH THE HIGHER HYDRO ZONE VALUE IS TO RECEIVE ONE ADDITIONAL DRIP EMITTER THAN THE LOWER HYDRO ZONE PLANT MATERIAL OR THE LOWER HYDRO ZONE PLANT MATERIAL ONE LESS DRIP EMITTER.

**JEFFERSON STREET**

CONTRACTOR TO PLACE IRRIGATION CONNECTION EQUIPMENT IN SHRUB AREA AND CONCEAL TO THE EXTENT POSSIBLE

1" PRESSURE IRRIGATION POINT OF CONNECTION DOWNSTREAM OF METER. (REFER TO CIVIL PLANS)

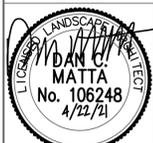


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**JEFFERSON COURT**  
**IRRIGATION PLAN**  
 850 SOUTH JEFFERSON STREET SALT LAKE CITY, UTAH

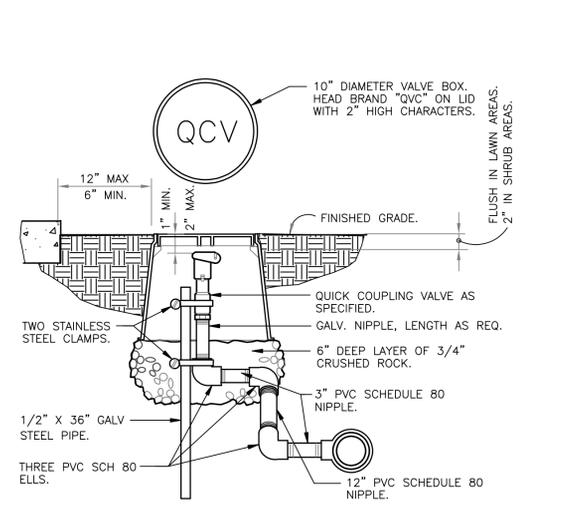
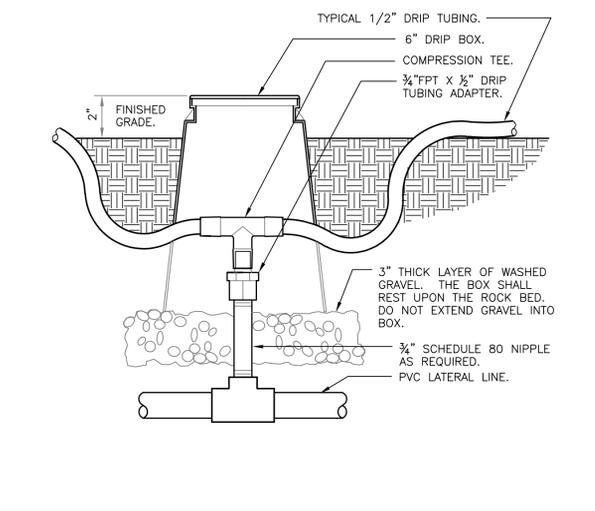
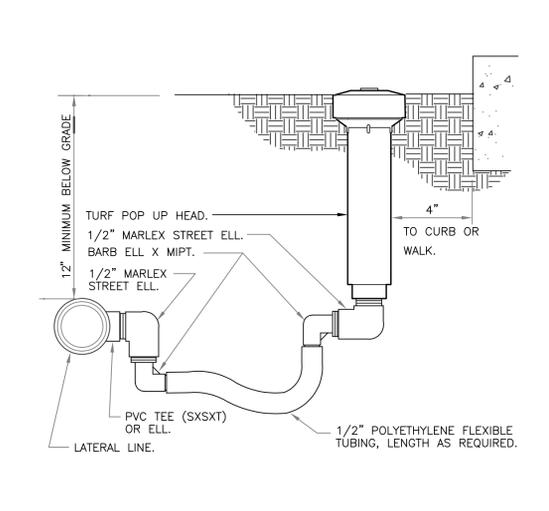
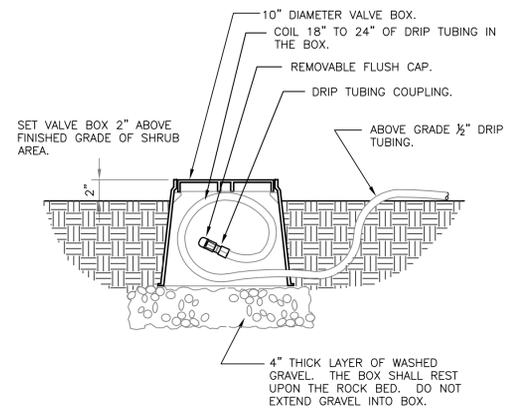
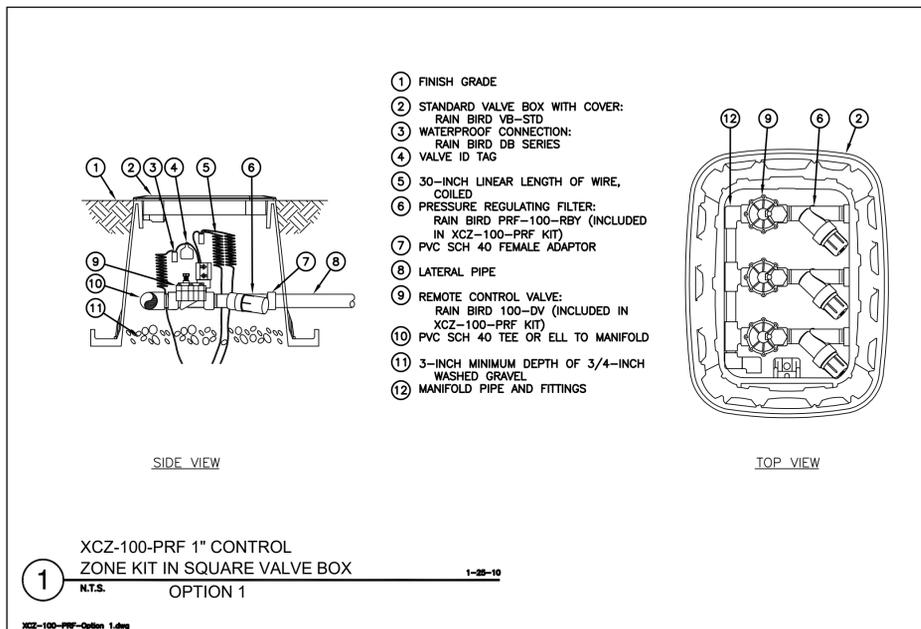


SHEET:  
**IR-1**  
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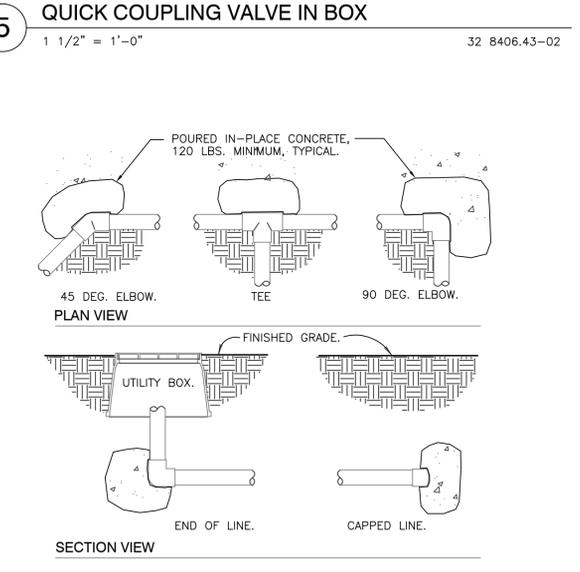
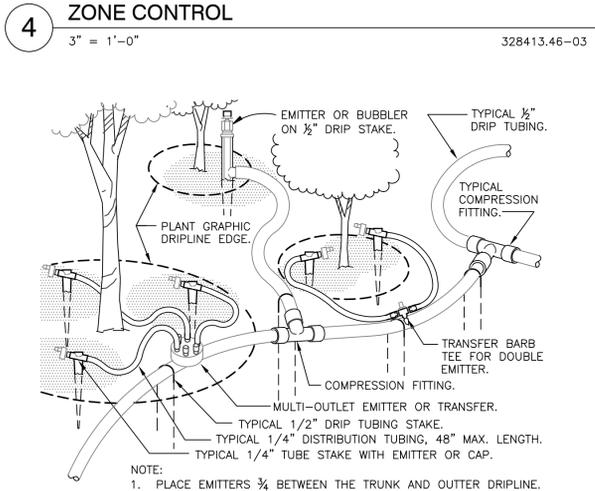
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**IRRIGATION NOTES**

1. THE LANDSCAPE CONTRACTOR SHALL PROVIDE IRRIGATION AS-BUILT DRAWINGS OF THE IRRIGATION SYSTEM TO THE OWNERS CONSTRUCTION REPRESENTATIVE. ALL IRRIGATION COMPONENTS ADDED, DELETED, OR MODIFIED IN THE FIELD SHALL BE NOTED ON THE PLAN. NOTE TAP SIZE, LINE SIZE, AND STATIC PRESSURE AT POINT OF CONNECTION.
2. IRRIGATION SYSTEM COMPONENTS MUST BE PREMIUM QUALITY ONLY AND INSTALLED TO MANUFACTURERS REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING STATE AND LOCAL LAWS FOR ALL SPECIFIED MATERIALS AND WORKMANSHIP. SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT. PROVIDE OWNER AND MAINTENANCE PERSONNEL WITH INSTRUCTION MANUAL AND ALL PRODUCTS DATA TO OPERATE, CHECK, WINTERIZE, REPAIR, AND ADJUST SYSTEM. ANY CHANGES MUST BE DOCUMENTED AND SUBMITTED TO LANDSCAPE ARCHITECT IN AN AS BUILT PLAN FORMAT.
3. IRRIGATION SYSTEM GUARANTEE FOR ALL MATERIALS AND WORKMANSHIP SHALL BE ONE YEAR FROM THE TIME OF PROJECT ACCEPTANCE. GUARANTEE WILL INCLUDE, BUT IS NOT LIMITED TO WINTERIZING, SPRING ACTIVATION, REPAIR, TRENCH SETTING, BACKFILLING DEPRESSIONS, AND REPAIRING FREEZE DAMAGE. CONTRACTOR MUST CONTACT OWNERS REPRESENTATIVE TO SCHEDULE PRE AND POST GUARANTEE INSPECTION MEETINGS. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.
4. IRRIGATION SYSTEM STATIC PRESSURE MUST BE CHECKED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS. CONTACT LANDSCAPE ARCHITECT IF MEASURED STATIC PRESSURE IS UNDER 70 P.S.I. OR OVER 100 P.S.I.
5. IRRIGATION SYSTEM CHECK MUST BE DONE BEFORE THE SYSTEM IS BACKFILLED. IRRIGATION MAINLINE AND EACH CONTROL VALVE SECTION MUST BE FLUSHED AND PRESSURE CHECKED. ASSURE THE COMPLETE SYSTEM HAS NO DOCUMENTED PROBLEMS AND FULL HEAD TO HEAD COVERAGE WITH ADEQUATE PRESSURE FOR SYSTEM OPERATION. ADJUST SYSTEM TO AVOID SPRAY ON BUILDING, HARDSCAPE, AND ADJACENT PROPERTY. ANY PROBLEMS OR PLAN DISCREPANCIES MUST BE REPORTED TO THE LANDSCAPE ARCHITECT.
6. FIELD VERIFICATION OF ALL IRRIGATION PIPING AND EQUIPMENT NECESSARY TO COMPLETE CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
7. IRRIGATION LATERALS AND FITTINGS MUST BE SCHEDULE 40 P.V.C. THREE QUARTER (3/4) INCH MINIMUM SIZE. SOLVENT WELD ALL JOINTS AS PER MANUFACTURERS SPECIFICATIONS FOR MEASURED STATIC P.S.I. TEFLON TAPE ALL THREADED FITTINGS. THE MINIMUM DEPTH OF LINES SHALL BE TWELVE (12) INCHES. FLOWS IN G.P.M. FOR UN-SIZED LINES OR CHANGES SHALL BE (3/4 INCH-1-8 G.P.M.), (1 INCH-9-12 G.P.M.), (1 1/4 INCH-13-22 G.P.M.), (1-1/2 INCH-23-30 G.P.M.), (2 INCH-31-50 G.P.M.). INSTALL KING DRAINS AT ALL LOW POINTS AND ADAPT SYSTEM TO MANUAL COMPRESSION AIR BLOWOUT. THE OWNER MUST BE INFORMED ON WINTERIZING SCHEDULE FOR BLOWING OUT SYSTEM.
8. IRRIGATION MAIN LINE 3" AND SMALLER SHALL BE SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 FITTINGS. SOLVENT WELD ALL JOINTS AS PER MANUFACTURERS SPECIFICATIONS FOR MEASURED STATIC PRESSURE. USE TEFLON TAPE ON ALL THREADED JOINTS. LINE DEPTH MUST BE TWENTY FOUR (24) INCHES MINIMUM.
9. THRUST BLOCKS FOR MAINLINES 2" OR GREATER SHALL BE INSTALLED WITH A MINIMUM OF THREE AND A HALF (3 1/2) CUBIC FOOT OF CONCRETE WHEREVER A CHANGE IN DIRECTION OR A "T" OCCURS.
10. CONTROL WIRE MUST BE UF-UL LISTED, COLOR CODED, COPPER CONDUCTOR, DIRECT BURIAL. USE 14 GAUGE MINIMUM WIRING WITH ALL CONNECTIONS MADE WITH WATERTIGHT RAINBIRD SPLICE-1 WATERPROOF CONNECTORS AND CONTAINED IN VALVE BOXES. PROVIDE 24" OF SLACK WIRE AT EACH REMOTE CONTROL VALVE IN VALVE BOXES AND SLACK AT ALL CHANGES IN DIRECTION. TAPE WIRE TO THE UNDERSIDE OF THE MAINLINE EVERY TWENTY (20) FEET. WIRING SHALL HAVE SEPARATE COLORS FOR COMMON, CONTROL, AND SPARE. PROVIDE ONE SPARE WIRE FOR EVERY 5 REMOTE CONTROL VALVES, WITH SPARE AVAILABLE AT ALL VALVE MANIFOLDS OR CLUSTERS. ALL SPARE WIRE SHALL BE "HOME RUN" TO THE CONTROLLER AND COMMON SHALL BE END RUN.
11. HEAD RISERS FOR SPRAY HEADS MUST BE A "FUNNY PIPE SYSTEM". RISERS FOR GEAR DRIVEN AND IMPACT HEADS MUST BE RAINBIRD TSJ SERIES SWING JOINTS (SIZE TO MATCH INLET SIZE OF HEAD) OR APPROVED EQUAL.
12. SIZE VALVE BOXES ACCORDING TO VALVE NUMBERS FOR EASE OF MAINTENANCE AND REPAIR. INSTALL FOUR (4) CUBIC FEET OF PEA GRAVEL FOR SUMP IN BASE OF BOXES.
13. QUICK COUPLERS SHALL BE A RAINBIRD 44LRC WITH A LASCO 1" UNITIZED SWING JOINT ASSEMBLY AND 1" BRASS INSERT 90° ELL OUTLET. SUPPORT WITH REBAR IN EACH RETAINER LUG. INSTALL WHERE SHOWN ON THE PLANS.
14. IRRIGATION SYSTEM BACKFILL MUST OCCUR ONLY AFTER SYSTEM CHECK IS COMPLETED AS SPECIFIED. USE ONLY ROCK FREE CLEAN FILL AROUND PIPES, VALVES, DRAINS, OR ANY IRRIGATION SYSTEM COMPONENTS. WATER SETTLE ALL TRENCHES AND EXCAVATIONS.
15. ALL IRRIGATION PIPE RUNNING THROUGH WALLS, UNDER SIDEWALK, ASPHALT, OR OTHER HARD SURFACE SHALL BE SLEEVED PRIOR TO PAVING. IT IS THE IRRIGATION CONTRACTORS RESPONSIBILITY TO COORDINATE SLEEVING WITH CONCRETE AND PAVEMENT CONTRACTORS. THE DEPTH FOR MAIN LINE SLEEVES SHALL BE TWENTY FOUR (24) INCHES MINIMUM. DEPTH FOR LATERAL SLEEVES SHALL BE TWELVE (12) INCHES MINIMUM. SLEEVES SHALL BE A MINIMUM OF TWO SIZES LARGER THAN THE PIPE TO BE SLEEVED. ALL VALVE WIRING SHALL BE CONTAINED IN SEPARATE SLEEVING.
16. PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO SCALE. WHERE POSSIBLE, ALL PIPING IS TO BE INSTALLED WITHIN THE PLANTING AREAS. NO TEES, ELLS, OR CHANGES IN DIRECTION SHALL OCCUR UNDER HARDSCAPE.
17. SPRAY HEADS ADJACENT TO HARDSCAPE PAVING SHALL BE SPACED AWAY 1'-4". SPRAY HEADS ADJACENT TO WALLS, BUILDINGS, FENCES OR STRUCTURES SHALL BE SPACED AWAY A MINIMUM OF 6".
18. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL QUANTITIES BASED UPON THE PLAN PRIOR TO COMPLETION OF A CONSTRUCTION COST ESTIMATE.
19. UPON COMPLETION OF IRRIGATION MODIFICATIONS, THE CONTRACTOR SHALL VISUALLY INSPECT THE IRRIGATION SYSTEM AND VERIFY THAT ALL IRRIGATION ZONES OPERATE PROPERLY. ANY UNDER IRRIGATED OR UNIRRIGATED AREAS SHALL BE IDENTIFIED, AND THE CONTRACTOR SHALL MAKE ADJUSTMENTS OR ADDITIONS TO THE SYSTEM TO CORRECT IRRIGATION DEFICIENCIES.
20. DRIP SYSTEM PIPING SHALL CONSIST OF A RIGID SCHEDULE 40 PVC PIPE DISTRIBUTION SYSTEM CONNECTING DRIP IRRIGATED PLANTER AREAS. POLYTUBING SHALL BE RUN OFF THE RIGID PVC IN EACH PLANTING AREA OR ISLAND WITH A PVC TO POLYTUBING ADAPTER. NO POLYTUBING SHALL RUN UNDER PAVEMENT.



**NOTE:**  
 1. SEE SHEET IR-2 & IR-3 FOR ENLARGED PLANS.  
 2. PLANS ARE DIAGRAMMATIC DUE TO SCALE, THEREFORE, IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY QUANTITIES.



NO.	REVISIONS	BY	DATE

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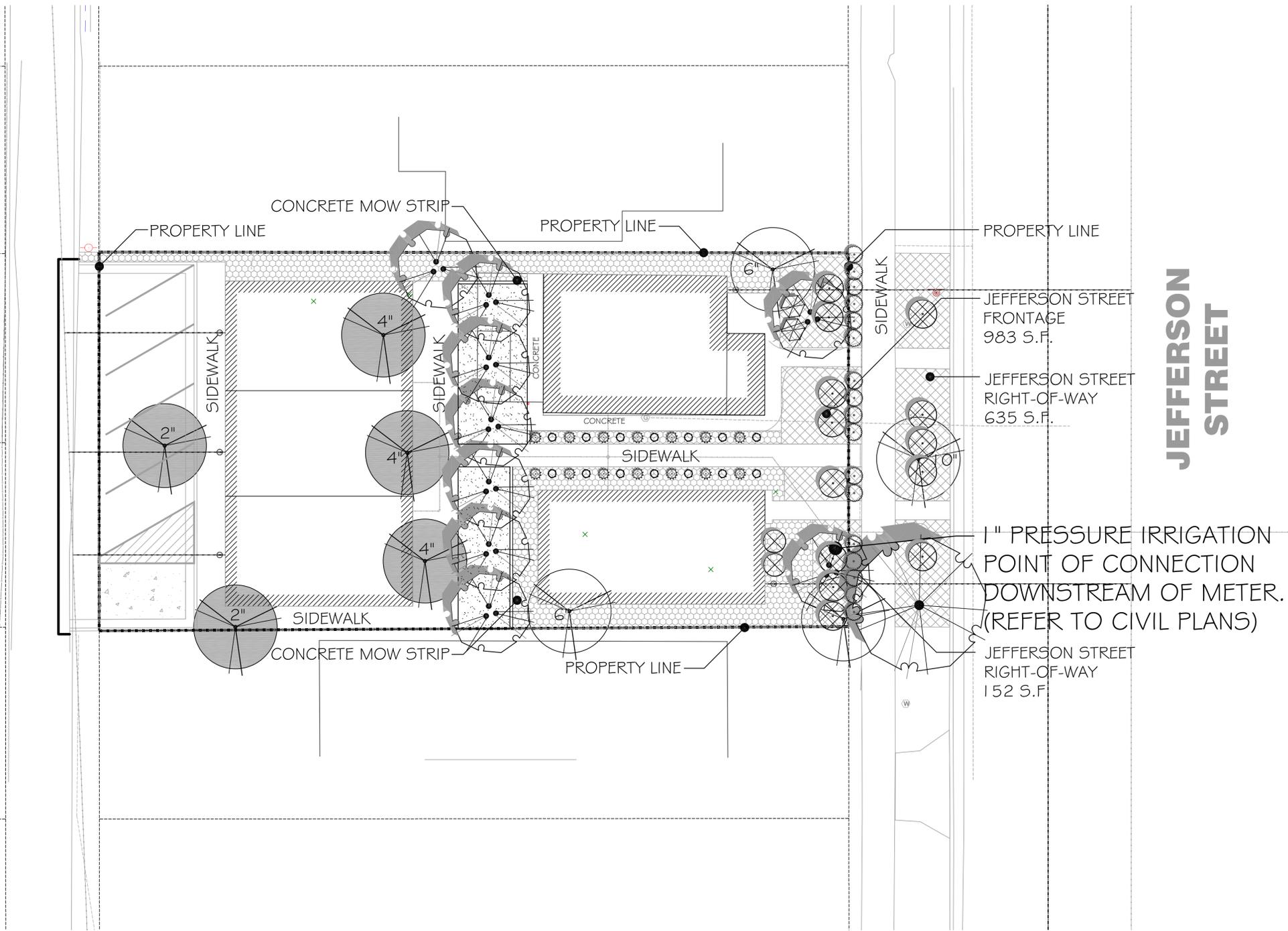
**JEFFERSON COURT**  
**IRRIGATION NOTES AND DETAILS**  
**850 SOUTH JEFFERSON STREET SALT LAKE CITY, UTAH**

PROJECT PROFESSIONAL: DCM  
 DESIGNER: DCM

L.C. LANDSCAPE ARCHITECT DAN C. MATTIA No. 106248 4/22/21

**SHEET: IR-2**  
 FILE NAME: SCALE: FDG-257 N.A.

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PLANT SCHEDULE PROJECT TOTAL

TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	Acer tatanum / Tatanan Maple Hydro Zone Td3	B 4 B	2'Cal	9
	Gleditsia triacanthos inermis 'Shademaster'™ / Shademaster Locust SLC Hydro Zone I	B 4 B	2'Cal	1
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY	
	Berberis thunbergii 'Bagatelle' / Bagatelle Red Barberry Hydro Zone Sd3	2 gal	14	
	Berberis thunbergii 'Orange Rocket' / Orange Rocket Barberry Hydro Zone Sd3	5 gal	14	
	Melicotrichon sempervirens / Blue Oat Grass Hydro Zone Tw1	1 gal	17	
	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper Hydro Zone GV1 - Evergreen	5 gal	13	
	Spiraea japonica 'Neon Flash' / Neon Flash Spirea Hydro Zone Sd3	5 gal	2	
	Spiraea x bumalda 'Goldmound' / Gold Mound Spirea Hydro Zone Sd3	5 gal	2	

MULCHES / ROCK

	TURF GRASS BLEND - REFER TO NOTES AND DETAILS SHEET	600 S.F.
	4" DEPTH OF BROWN BARK CHIP MULCH. MULCH SAMPLES TO PROVIDED TO OWNERS REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY.	1,201 S.F.
	4" DEPTH OF 1" TO 2-1/2" OF COLORED CRUSHED ROCK (BROWNS, REDS & GRAYS) OVER DEWITT PRO 5 WEED BARRIER.	1,203 S.F.

- NOTES:
- SEE SHEET L-2 FOR LANDSCAPE NOTES AND DETAILS.
  - LANDSCAPE MATERIAL SQUARE FOOTAGES INCLUDE AREAS WITHIN THE PUBLIC RIGHT-OF-WAY.
  - CLEAR VIEW AREA AT STREET INTERSECTIONS IS TO BE MEASURED AS NOTED ON PLAN.
  - TREE REMOVAL OR TREE PLANTING IN THE PUBLIC RIGHT-OF-WAY REQUIRES APPROVAL FROM JULIE FRATTO, SALT LAKE CITY URBAN FORESTRY (801-972-7818) OR SUBMIT PLANS CONTAINING AN URBAN FORESTER APPROVAL SIGNATURE.
  - ALL WORK DONE WITHIN THE PUBLIC WAY SHALL BE DONE BY A LICENSED, BONDED AND INSURED CONTRACTOR WHO SHALL FIRST OBTAIN A PUBLIC WAY PERMIT.
  - IRRIGATION SYSTEM IS EQUIPPED WITH A SMART ET BASED CONTROLLER AND RAIN SENSOR AS PART OF THE SPRINKLER SYSTEM.
  - PLANS ARE DIAGRAMMATIC DUE TO SCALE, THEREFORE, IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY QUANTITIES.
  - SPRINKLER AUDITS ARE TO BE CONDUCTED AND REPORTS SUBMITTED TO THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - BACKFLOW PREVENTION DEVICE NEEDS TO BE TESTED AND SUBMITTED TO THE CITY.
  - PLANT MATERIALS ARE GROUPED ON INDIVIDUAL IRRIGATION VALVE CIRCUITS BASED ON THEIR HYDRO ZONE CLASSIFICATION.
  - IF PLANTS OF DIFFERENT HYDRO ZONE CLASSIFICATIONS ARE PLACED ON THE SAME IRRIGATION VALVE, ONLY PLANTS OF TWO HYDRO ZONE CLASSIFICATIONS CAN BE GROUPED TOGETHER, I.E. HYDRO ZONE 1 WITH HYDRO ZONE 2 OR HYDRO ZONE 2 WITH HYDRO ZONE 3 PLANT MATERIAL. THEN, EACH PLANT MATERIAL WITH THE HIGHER HYDRO ZONE VALUE IS TO RECEIVE ONE ADDITIONAL DRIP EMITTER THAN THE LOWER HYDRO ZONE PLANT MATERIAL.
  - ROCK MULCHES AND BOULDERS TO COMPLIMENT & BLEND WITH ARCHITECTURAL MATERIALS AND COLORS. CONTRACTOR TO SUBMIT SAMPLES TO OWNERS REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY.
  - CONTRACTOR TO REFER TO CIVIL PLANS FOR GRADING DESIGN. IF SITE GRADING & CONSTRUCTION GENERATE SLOPES STEEPER THAN 2 FT. HORIZONTAL TO 1 FT VERTICAL (2H:1V) NOTIFY LANDSCAPE ARCHITECT.

LANDSCAPE CALCULATIONS SUMMARY

ON SITE LANDSCAPE PROVIDED (REFER TO SITE PLANS OR CIVIL PLANS)

2,307 S.F.

TOTAL PROJECT LANDSCAPING (INCLUDING AREAS IN ROAD R.O.W.)

3,000 S.F.

TOTAL LANDSCAPE AREA IN TURF GRASS - EXISTING TO REMAIN (INCLUDING ROAD R.O.W.)

600 S.F. 20.00% OF LANDSCAPE

TOTAL AREA IN DROUGHT TOLERANT LANDSCAPE (INCLUDING R.O.W)

2,400 S.F. 80.00% OF LANDSCAPE

PERCENT OF LANDSCAPE PLANT MATERIAL AREA VALUE COVERAGE (EXCLUDES TURF GRASS)

153.27% BASED ON "WATER-WISE PLANTS FOR SLC", WITH TREES CALC.

76.93% BASED ON "WATER-WISE PLANTS FOR SLC", WITHOUT TREES CALC.

PERCENT OF DROUGHT TOLERANT PLANTS (EXCLUDES TURF GRASS)

100.00% BASED ON CITY WATER CONSERVING PLANT LIST

PERCENT OF LANDSCAPE AREA OF LIVE PLANT COVERAGE (INCLUDES ANY TURF GRASS)

173.27% WITH TREES CALCULATED

96.93% WITHOUT TREES CALCULATED

REQUIRED JEFFERSON STREET STREET TREES

2.2 TREES 66 FT DIV.BY 30

PROVIDED JEFFERSON STREET STREET TREES

2 TREES (INCLUDES 1 EXISTING TREE TO REMAIN)

JEFFERSON STREET ROAD R.O.W. LANDSCAPE AREA 1

635 S.F. & 39.37% PLANT COVERAGE (33% REQUIRED)

JEFFERSON STREET ROAD R.O.W. LANDSCAPE AREA 2

152 S.F. & 33.55% PLANT COVERAGE (33% REQUIRED)

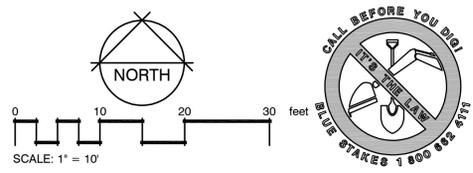
JEFFERSON STREET ROAD TOTAL ROAD R.O.W.

787 S.F. & 38.25% PLANT COVERAGE (33% REQUIRED)

JEFFERSON STREET FRONTAGE LANDSCAPE

983 S.F. & 52.09% PLANT COVERAGE (33% REQUIRED)

4/22/21



NO.	REVISIONS	BY	DATE

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JEFFERSON COURT  
 LANDSCAPE PLAN  
 850 SOUTH JEFFERSON STREET SALT LAKE CITY, UTAH

PROJECT PROFESSIONAL: DCM  
 DESIGNER: DCM

LUKE M. MATTIA  
 LANDSCAPE ARCHITECT  
 No. 106248  
 4/22/21

SHEET:  
**L-1**  
 FILE NAME: SCALE:  
 FDG-257 1"=10'

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**PLANTING NOTES:**

1. LANDSCAPE BIDS MUST BE IN A DETAILED UNIT PRICE FORMAT SHOWING COST BREAKDOWN OF ALL LANDSCAPE ELEMENTS. ANY ELEMENT MAY BE ADDED OR DELETED BY THE LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR COMPENSATION WILL BE ADJUSTED ACCORDING TO THE UNIT PRICE BIDS. ANY SUBSTITUTION MUST BE BY LANDSCAPE ARCHITECT APPROVAL. LANDSCAPE ARCHITECT OR OWNER WITHOUT JUSTIFICATION MAY DISALLOW BIDS AND SELECT CONTRACTOR REGARDLESS OF BID FIGURES. THE SELECTED CONTRACTOR MUST CONTACT THE OWNER'S CONSTRUCTION REPRESENTATIVE BEFORE BEGINNING CONSTRUCTION TO SCHEDULE A PRE CONSTRUCTION MEETING. CONTRACTOR OR SUBCONTRACTORS PARTICIPATION IN CONSTRUCTION OF THIS PLAN MUST BE LICENSED BY THE STATE OF UTAH FOR THE TYPE OF WORK BEING PERFORMED.

2. CODES, LAWS, REGULATIONS, AND PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR AND SECURE ANY PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.

3. CONSTRUCTION SAFETY AND CLEANUP MUST MEET OSHA STANDARDS AT ALL TIMES. ALL CONTRACTORS MUST HAVE ADEQUATE LIABILITY, PERSONNEL INJURY AND PROPERTY DAMAGE INSURANCE. CLEAN UP MUST BE PERFORMED DAILY. AND ALL HARDCAPE ELEMENTS MUST BE WASHED FREE OF DIRT AND MUD ON FINAL CLEAN UP. CONSTRUCTION MUST OCCUR IN A TIMELY MANNER.

4. LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY. DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST.

5. PLANT MATERIAL EXCAVATION. CALL BLUE STAKE AND MAKE REFERENCE TO DRAINAGE AND CIVIL PLANS BEFORE EXCAVATION FOR PLANT MATERIAL. ALL HOLES MUST ALLOW FOR A MINIMUM OF TWELVE (12) INCHES OF SPECIFIED PLANTING MIX BACKFILL MATERIAL ON ALL SIDES OF ROOT BALL FOR SHRUBS, AND 3X BALL DIAMETER FOR TREES.

6. EXCEPT FOR TREES, PLANT MATERIAL BACKFILL MUST BE A WELL MIXED COMBINATION OF 1/3 NATIVE SOIL TAKEN FROM EXCAVATED PLANT PIT, 1/3 TOPSOIL, AND 1/3 ORGANIC COMPOSTED MATERIAL. DEEP WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. ADD BACKFILL MATERIAL TO DEPRESSIONS AS NECESSARY.

7. SOIL AMENDING SHALL INCLUDE COMPOSTED ORGANIC MATERIAL TO BE ADDED AT A RATE OF THREE CUBIC YARDS PER 1000 SQUARE FEET. TILL INTO THE SUBGRADE SOIL PRIOR TO PLACING TOPSOIL. TILL AMENDMENTS IN TO A DEPTH OF 6". ALL SOD AREAS SHALL HAVE THE SOIL AMENDED.

8. TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LOAM, FREE OF ROCKS, CLODS, ROOTS, AND PLANT MATTER. THE TOPSOIL SHALL BE EVENLY SPREAD AND SMOOTH GRADED ON A CAREFULLY PREPARED AMENDED SUBGRADE. TOPSOIL SHALL BE SPREAD TO A DEPTH OF FIVE INCHES (5") IN ALL SOD AND SHRUB AREAS.

9. SOD MUST BE PREMIUM QUALITY, ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND LAID IMMEDIATELY AFTER CUTTING. SOD MUST BE LAID WITH NO GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAID SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPLACEMENT. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITHOUT WATER WASTE. TURF GRASS TO BE "CHANSHARE FARMS IMPERIAL BLUE" (OR EQUIVALENT) WHICH IS A "WATER-WISE TURF". INSTALL AND MAINTAIN PER GROWER'S SPECIFICATIONS.

10. MULCH OVER DEWITT PRO 5 WEED BARRIER WILL BE REQUIRED IN ALL LANDSCAPE BEDS FOR SHRUBS, PERENNIALS, AND ANNUALS. SEE PLANS FOR MULCH TYPES. MULCH SHALL BE EVENLY SPREAD ON A CAREFULLY PREPARED GRADE TO THE MINIMUM NOTED DEPTH. THE TOP OF ALL AREAS OF MULCH SHALL BE AT THE GRADE OF THE ADJACENT CURB, WALK, OR EDGE OF PAVEMENT.

11. FERTILIZER FOR SOD AREAS SHALL BE PELLETIZED, N-P-K AS APPROVED BY LANDSCAPE ARCHITECT FOR SEASONAL ADJUSTMENT. USE 20 LBS PER 5,000 SQUARE FEET OR AS PER MANUFACTURER'S SPECIFICATIONS. SPREAD EVENLY ON A CAREFULLY PREPARED TOPSOIL LAYER JUST PRIOR TO LAYING SOD.

12. TREE STAKING AND GUYING SHALL BE ON AN AS NEEDED BASIS AND ONLY IF THE ROOT BALL IS UNSTABLE. THE CONTRACTOR SHALL DETERMINE STAKING NEEDS DEPENDENT ON THE SITE CONDITIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE GUYING AND STAKING IN A TIMELY MANNER ONCE STAKED TREES HAVE TAKEN ROOT. NO STAKING SHALL REMAIN BEYOND A REASONABLE TIME FOR ROOT PENETRATION AND STABILIZATION.

13. TREE WRAPPING MAY BE USED TO PROTECT YOUNG TREES FROM WINTER DAMAGE. TREE WRAPS SHALL ONLY BE INSTALLED IN THE FALL. IF THE CONTRACTOR INSTALLS WRAPS FOR TREE PROTECTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROMPTLY REMOVE WRAPS THE FOLLOWING SPRING.

14. LANDSCAPE MAINTENANCE MUST BE PERFORMED BY THE LANDSCAPE CONTRACTOR DURING ESTABLISHMENT (30 DAYS AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT). RESPONSIBILITIES INCLUDE WEED CONTROL AND MOWING. NOTIFY OWNER AND CONSTRUCTION REPRESENTATIVE WHEN ESTABLISHMENT PERIOD HAS ENDED TO INSURE ONGOING MAINTENANCE. THE OWNER IS RESPONSIBLE FOR LANDSCAPE MAINTENANCE AND UPKEEP ONCE ESTABLISHMENT PERIOD HAS EXPIRED.

15. ALL PLANT MATERIAL AND LANDSCAPE ELEMENTS WILL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE. ANY ITEMS THAT ARE NOT FIRST CLASS PREMIUM QUALITY WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. ANY PLANT MATERIAL THAT IS NOT PREMIUM QUALITY OR APPEARS STRESSED IN ANY WAY DURING THE GUARANTEE PERIOD MAY REQUIRE REPLACEMENT. THE CONTRACTOR MUST SCHEDULE A PRE AND POST GUARANTEE MEETING WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.

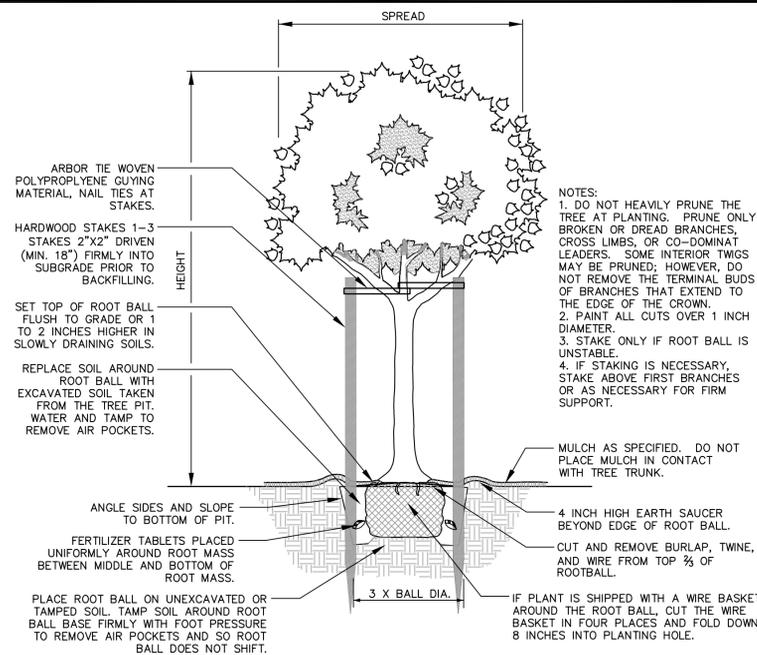
16. SUBMITTALS OF ALL LANDSCAPE MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK. PROVIDER INFORMATION AND SAMPLES SHALL BE SUBMITTED OF ANY GRAVEL OR WOOD MULCHES. NURSERY STOCK SUBMITTAL SHALL INCLUDE PROVIDER INFORMATION WITH A LIST OF PLANT MATERIALS BEING PROVIDED BY THE NURSERY.

17. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL QUANTITIES LISTED ON THE PLANS AND THE AVAILABILITY OF ALL PLANT MATERIALS IN THEIR SPECIFIC SIZES PRIOR TO SUBMITTING A BID. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID IF THE CONTRACTOR DETERMINES A QUANTITY DEFICIENCY OR AVAILABILITY PROBLEM WITH SPECIFIED MATERIAL.

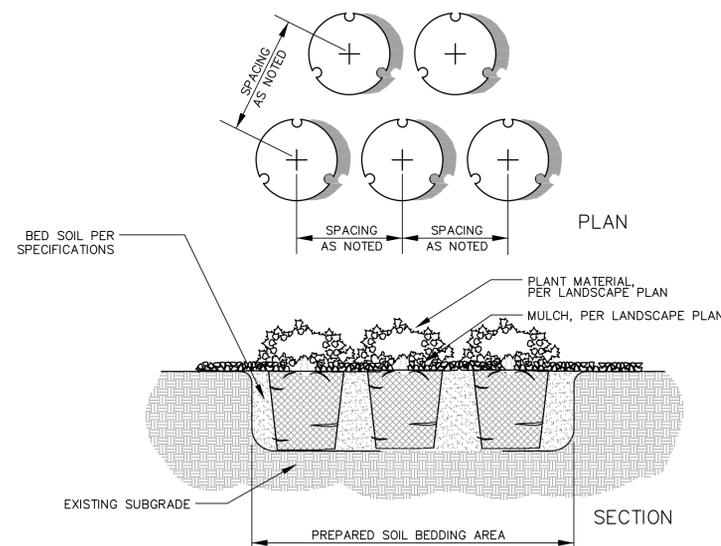
18. SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION CONSTRUCTION SHALL BE THE 2012 APWA "MANUAL OF STANDARD SPECIFICATIONS".

19. ALL LANDSCAPE MATERIAL SHALL BE FULLY IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM (DESIGN BUILD). IRRIGATION DESIGN SHALL BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

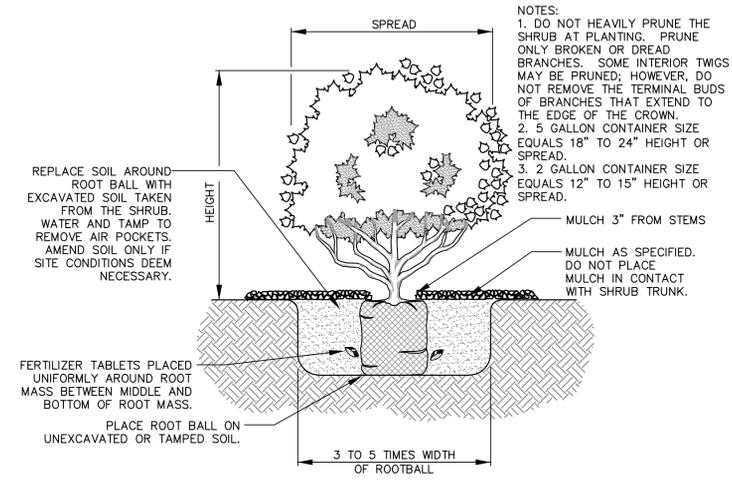
20. TREE REMOVAL OR TREE PLANTING IN THE PUBLIC RIGHT-OF-WAY REQUIRES APPROVAL FROM JULIE FRATTO, SLC URBAN FORESTER (801-972-7818) OR SUBMIT PLANS CONTAINING AN URBAN FORESTER APPROVAL.



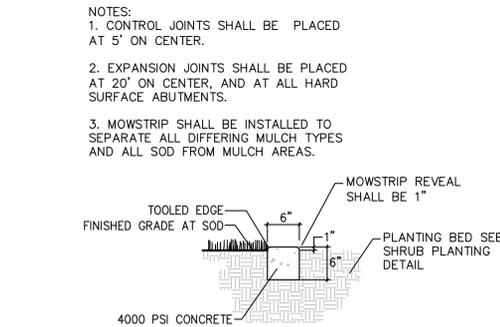
**1 TREE PLANTING AND STAKING**  
N.T.S.



**3 GROUNDCOVER, ANNUAL, AND/OR PERENNIAL PLANTINGS**  
N.T.S.



**2 SHRUB AND ORNAMENTAL GRASS PLANTING**  
N.T.S.



**4 CONCRETE MOWSTRIP**  
N.T.S.

**TOPSOIL QUALITY GUIDELINES**

Category	Soluble salts (dS/m or mmho/cm)	pH	Sand (%)	Silt (%)	Clay (%)	Texture class*	Organic Matter (%)	% Coarse fragments (> 2 mm in diameter)**	Sodium Adsorption Ratio (SAR)
Ideal	< 2	5.5 to 7.5	< 70	< 70	< 30	L, SL	≥ 2.0	≤ 2	< 3 for any texture
Acceptable	< 4	5.0 to 8.2	< 70	< 70	< 30	SCL, SL, CL, SIL, CL	≥ 1.0	2.1 to 5.0	3 to 7 (SIL, SCL, CL) 3 to 10 (SCL, SL, L)
Unacceptable	> 4	< 5.0 or > 8.2	> 70	> 70	> 30	LS, SC, SC, S, SIL, C	< 1.0	> 5.0	> 10 for any texture

\*L = loam; SL = silt loam; SCL = sandy clay loam; SL = sandy loam; CL = clay loam; SIL = silty clay loam; LS = loamy sand; SC = sandy clay; SIL = silty clay; S = sand; SL = silt; C = clay.  
\*\*This guideline also includes no fragments larger than 1 1/2 inch in diameter.

Category	Nitrate-nitrogen (ppm or mg N/kg soil)	Phosphorus (ppm or mg P/kg soil)	Potassium (ppm or mg K/kg soil)	Iron (ppm or mg Fe/kg soil)
Acceptable	> 20	> 15	> 150	> 10

Source: Utah State University, "Topsoil Quality Guidelines for Landscaping", December 2010.

NO.	REVISIONS	BY	DATE

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SHEET:  
**L-2**  
FILE NAME: SCALE:  
FDG-257 N.A.

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