



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Historic Landmark Commission
From: Aiden Lillie, Senior Planner, aiden.lillie@slcgov.com
Date: December 1, 2022
Re: PLNHLC2022-01033 Alterations to a Landmark Site (Joseph Smith Memorial Building)

Minor Alteration

PROPERTY ADDRESS: 15 E South Temple Street
PARCEL ID: 09-31-352-003-0000
MASTER PLAN: Central Community Master Plan
ZONING DISTRICT: H (Historic Preservation Overlay) 21A.34.020 &
D-1 (Central Business District) 21A.30.020

DESIGN GUIDELINES: Commercial Design Guidelines

REQUEST: The applicant, Mandy Martineau of FFKR Architects, representing the property owner, The Church of Jesus Christ of Latter-day Saints, is requesting approval from the City to modify two street-level openings and construct a new roof at the above listed address. Currently the land is used for Commercial Use and the property is zoned D-1, Central Business District. This type of project must be reviewed as a Minor Alteration Application. The subject property is within Council District 3, represented by Council Member Chris Wharton.

RECOMMENDATION: As outlined in the analysis and findings in this Staff Report, it is Planning Staff's opinion that the proposed alterations to the Landmark Site located at 15 E South Temple Street, meets the applicable standards of approval and Staff recommends that the Historic Landmark Commission approve the request.

ATTACHMENTS:

- A. [Context Map](#)
- B. [Current Site Photographs](#)
- C. [National Register of Historic Places Form](#)
- D. [Applicant Information](#)
- E. [Analysis of Standards for D-1](#)
- F. [Analysis of Standards for Minor Alterations](#)
- G. [Applicable Design Guidelines](#)
- H. [Public Process and Comments](#)

EXISTING SITE CONDITIONS

The subject property is located on the east side of South Temple Street between West Temple Street and South Temple Street. The property is approximately 71,438 square feet. This property is listed as a Landmark Site.



Subject property and vicinity



Subject property – 2022



Subject property - 1913



Subject property - 1915

The Joseph Smith Memorial Building, also known as Hotel Utah, was constructed between 1909 and 1911 in the Second Renaissance Revival Style. The structure was designed by Parkinson and Bergstrom, a Los Angeles based architecture firm. Prior to construction of the Hotel Utah, the site was used by the Church of Jesus Christ of Latter-Day Saints for the General Tithing Office, the Bishop's Storehouse, and the Deseret News Building. The Hotel Utah was constructed as an ornate ten-story concrete and steel structure with white terra cotta and brick. There have been multiple alterations to the building since its construction, including an addition on the north elevation and modifications to the roof.

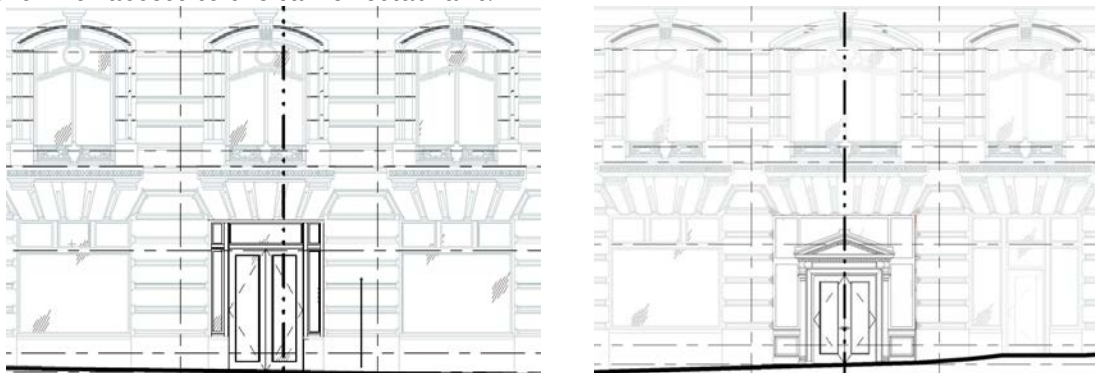
On March 8, 1972, the Governor's Historic and Cultural Site's Review Committee recommended the Hotel Utah be listed on the Utah State Register of Historic Sites. It was listed on the National Registrar of Historic Places on January 3, 1978 and was designated a Salt Lake City Landmark Site on May 23, 1979. The building operated as a hotel until 1987 when the current owner, the Church of Jesus Christ of Latter-day Saints, acquired the property. The building underwent a remodel and restoration and was renamed the Joseph Smith Memorial Building in 1993. Currently, the Joseph Smith Memorial Building has two restaurants, office space for the Church of Jesus Christ of Latter-day Saints, a theater, a chapel, and a genealogy center.

SURROUNDING CONTEXT

The surrounding context includes Zion's Bank Head Office to the south, the Salt Lake City Temple to the west, the Church of Jesus Christ of Latter-day Saints Administration Building to the east, and the Relief Society building to the North. The subject property, 15 E South Temple Street, is located in Temple Square. None of the directly adjacent sites are located in a Local Historic District or are listed Landmark Sites.

PROJECT DESCRIPTION

The Applicant proposes to modify two street level openings from existing windows to doors, remove two 1993 cooling towers, and construct roofing in place of the cooling towers. The alteration of the two openings will accommodate street level access to the restaurant. The early 1990's renovation project on the structure included the removal of street level access on Main Street, replacement of original terracotta siding, and a redesign of the windows along the entire elevation at the west corner. The proposed opening on South Temple would return an original door opening that was lost during the 1990's renovation. The door proposal is similar in design and materials to that of the original 1911 door. The proposed opening on Main Street is a modification of the original design. The new opening will allow street level access from Main Street that was removed in the 1990's renovation. The proposed Main Street door is proposed to be consistent in design and materials with the primary entrance on South Temple. Both doors will allow for access to the same restaurant.



Proposed Main Street Door



1915 Photograph of Main Street and South Temple

Proposed South Temple Door



Existing Conditions - South Temple



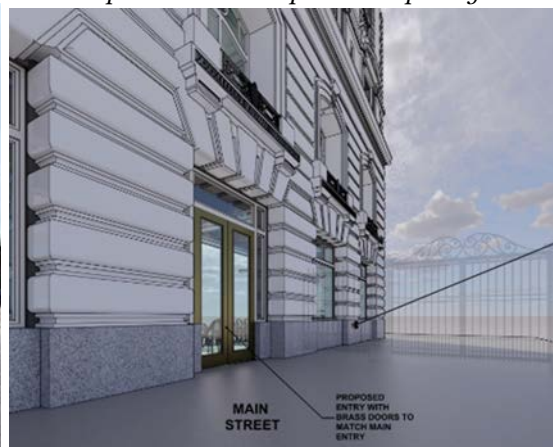
South Temple Door Opening – 1913 Photograph



Proposed South Temple Door Opening

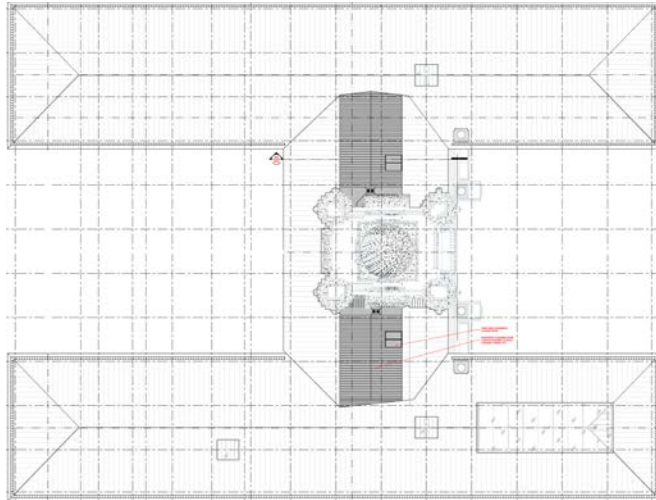


Existing Conditions - Main Street

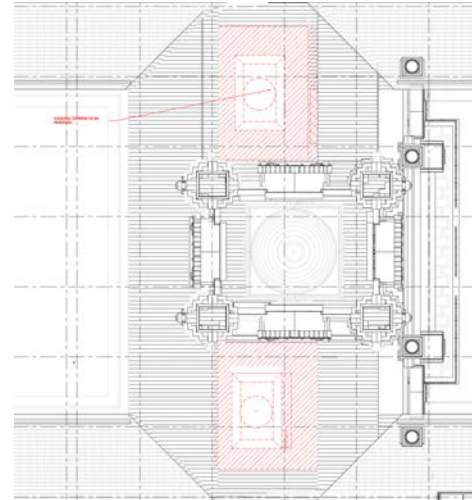


Proposed Main Street Door Opening

Additionally, the Applicant proposes to remove existing cooling towers that were added in the 1990's renovation project and are no longer in use. The proposed work will extend the adjacent roof slopes to create a gabled roof over the void created by the removal of the cooling towers. The existing roof is a copper standing seam roof, and the Applicant proposes a new copper standing seam roof to match.



Proposed Roof



Cooling Towers to be removed

KEY CONSIDERATIONS:

The key issues listed below have been identified through the analysis of the project.

Alteration

The removal of the non-contributing cooling towers, construction of a new roof element, restoration of a historic opening on the South Temple elevation, and alteration of a window to a door on the Main Street elevation are not significant alterations to the property. Planning staff considers the proposal a Minor Alteration but due to its significance and status as a Landmark Site, it's being forwarded to the Historic Landmark Commission for review and a decision.

As detailed in the project description, the proposed alterations to the roof have a gabled roof form and the proposed material is copper standing seam. The existing roof material is copper standing seam that has been pain tined brown. The proposed roof addition will fill in the void left by the removal of the 1993 cooling towers that are no longer in use. The removal of the cooling towers and construction of a new roof form will not be visible from the public right-of-way.

The proposed doors on Main Street and South Temple will match the existing brass doors in design and material. Staff has found the proposal to be compatible with the Historic Preservation Overlay, D-1 Zoning District, and Design Guidelines for Historic Commercial Properties. The Landmark Site had street level access on Main Street originally and the proposal will restore this access that has since been removed. Additionally, the proposed door on South Temple will be restoring an original entryway that was replaced with the existing window.

Each of these changes are compatible with the standards outlined in [Attachment F](#), Analysis of Standards for Minor Alterations in a Historic District. Staff has found that the Minor Alteration proposal is compatible with H (Historic Preservation Overlay) 21A.34.020, D-1 (Central Business District) 21A.30.020, and the Design Guidelines for Commercial Historic Properties.

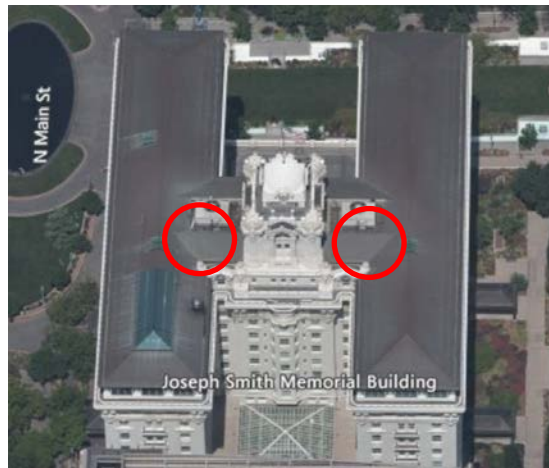
PROPOSED SOUTH CAFE ENTRY DOOR WILL MATCH THE EXISTING METAL FINISH.
THIS DOOR WILL BE PAINTED TO MATCH THE WHITE WINDOW FRAMES ON THIS FACADE.



EXISTING EXIT DOOR



EXISTING REVOLVING DOOR



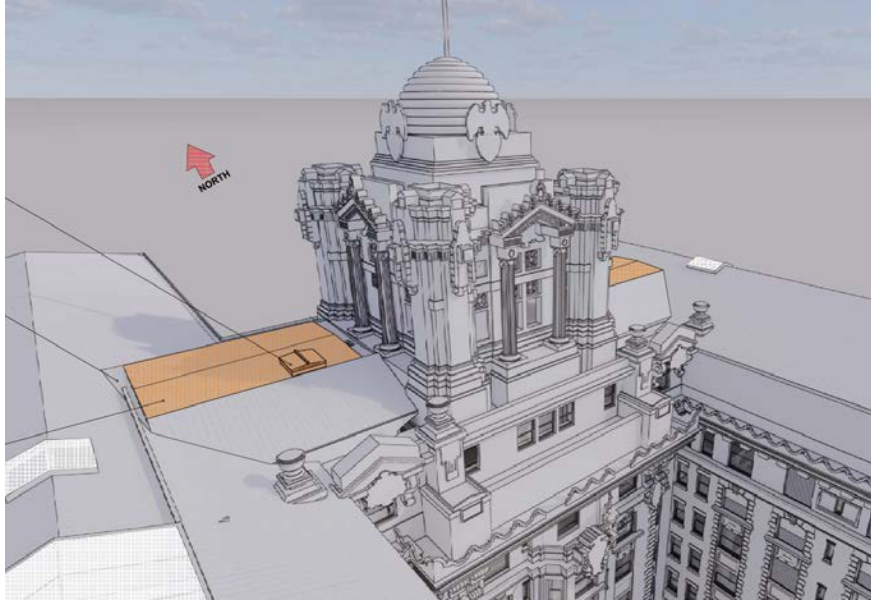
Cooling towers to be removed



Original windows on street level- 1937 Photograph



Replacement windows- added in 1993



Proposed Roof

Further evaluation of this alteration based on the standards in 21A.34.020 is detailed in [Attachment F](#).

DISCUSSION

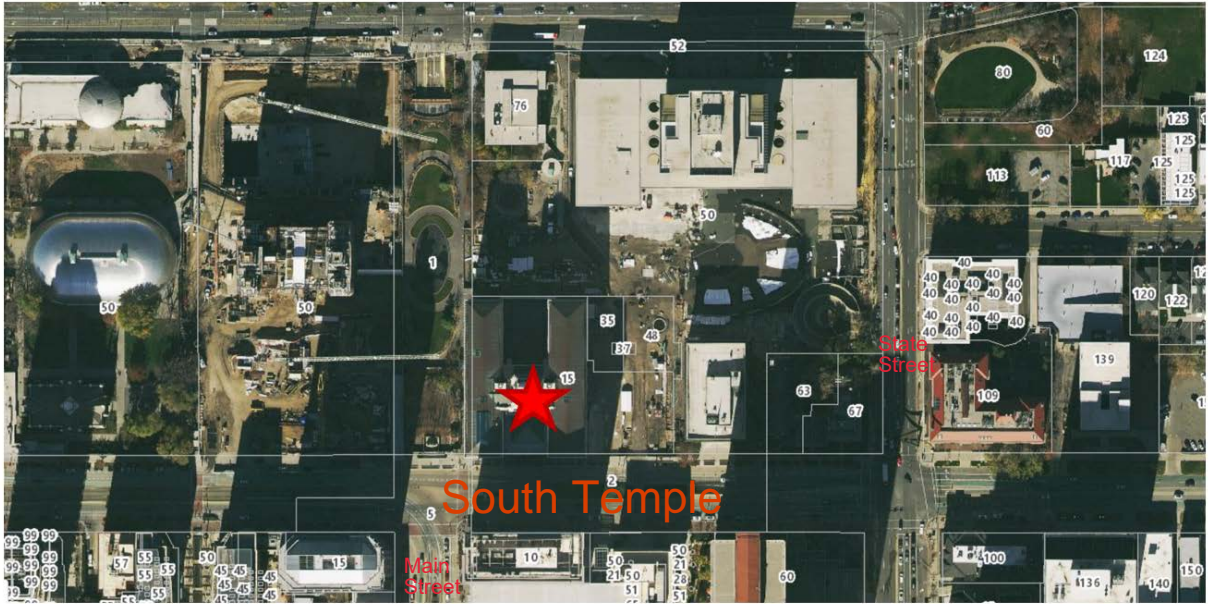
The Historic Landmark Commission is to review the proposed alterations as a minor alteration. The standards in Chapter 21A.34.020.G, Standards For Certificate Of Appropriateness For Alteration Of A Landmark Site Or Contributing Structure Including New Construction Of An Accessory Structure and Commercial Design Guidelines are applicable to the proposal. For the full analysis of the standards for altering a Landmark Site, please refer to [Attachment F](#).

NEXT STEPS:

If the request for a COA for Minor Alteration is granted by the Historic Landmark Commission, the applicant may proceed with the project as represented in this Staff Report and will be required to obtain all necessary approvals and permits for the proposed addition.

If the Historic Landmark Commission disagrees with Staff's recommendation and the project is denied, the applicant would not be issued a COA for the request and any new proposal would require submittal of a new application.

ATTACHMENT A: CONTEXT MAP



★ *Approximate Project Location*

ATTACHMENT B: CURRENT SITE PHOTOGRAPHS



Existing East Elevation



Existing North Elevation



Existing West Elevation



Existing Roof Conditions

**ATTACHMENT C: NATIONAL REGISTER OF HISTORIC
PLACES FORM**

PH0508977

DATA SHEET

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

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RECEIVED NOV 7 1977
DATE ENTERED JAN 8 1978

NATIONAL REGISTER OF HISTORIC PLACES INVENTORY -- NOMINATION FORM

SEE INSTRUCTIONS IN *HOW TO COMPLETE NATIONAL REGISTER FORMS*
TYPE ALL ENTRIES -- COMPLETE APPLICABLE SECTIONS

1 NAME

HISTORIC The Hotel Utah

AND/OR COMMON

2 LOCATION

STREET & NUMBER

South Temple and Main Street

__ NOT FOR PUBLICATION

CITY, TOWN

Salt Lake City

__ VICINITY OF

02

CONGRESSIONAL DISTRICT

STATE

Utah

CODE

049

COUNTY

Salt Lake

CODE

035

3 CLASSIFICATION

CATEGORY

- DISTRICT
- BUILDING(S)
- STRUCTURE
- SITE
- OBJECT

OWNERSHIP

- PUBLIC
- PRIVATE
- BOTH

PUBLIC ACQUISITION

- IN PROCESS
- BEING CONSIDERED

STATUS

- OCCUPIED
- UNOCCUPIED
- WORK IN PROGRESS

ACCESSIBLE

- YES: RESTRICTED
- YES: UNRESTRICTED
- NO

PRESENT USE

- AGRICULTURE
- COMMERCIAL
- EDUCATIONAL
- ENTERTAINMENT
- GOVERNMENT
- INDUSTRIAL
- MILITARY
- MUSEUM
- PARK
- PRIVATE RESIDENCE
- RELIGIOUS
- SCIENTIFIC
- TRANSPORTATION
- OTHER:

4 OWNER OF PROPERTY

NAME

Utah Hotel Company

STREET & NUMBER

South Temple and Main Street

CITY, TOWN

Salt Lake City

__ VICINITY OF

STATE

Utah

5 LOCATION OF LEGAL DESCRIPTION

COURTHOUSE,
REGISTRY OF DEEDS, ETC.

Salt Lake County Recorder's Office

STREET & NUMBER

Salt Lake City & County Building

450 South State Street

CITY, TOWN

Salt Lake City

STATE

Utah

6 REPRESENTATION IN EXISTING SURVEYS

TITLE

Utah Historic Sites Survey

DATE

March 1972

__ FEDERAL STATE __ COUNTY __ LOCAL

DEPOSITORY FOR
SURVEY RECORDS

Utah State Historical Society

CITY, TOWN

Salt Lake City

STATE

Utah

7 DESCRIPTION

CONDITION		CHECK ONE	CHECK ONE
<input checked="" type="checkbox"/> EXCELLENT	<input type="checkbox"/> DETERIORATED	<input type="checkbox"/> UNALTERED	<input checked="" type="checkbox"/> ORIGINAL SITE
<input type="checkbox"/> GOOD	<input type="checkbox"/> RUINS	<input checked="" type="checkbox"/> ALTERED	<input type="checkbox"/> MOVED DATE _____
<input type="checkbox"/> FAIR	<input type="checkbox"/> UNEXPOSED		

DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

The Hotel Utah is distinguished as a monumentally scaled example of Neo-Classical Revival, or a subtype described as "modern Italian Renaissance" by the 1911 architects. Designed by Parkinson and Bergstrom of Los Angeles, the demanding design required the artistry of hundreds of the best contractors and craftsmen in the region for two years. Upon opening, a description of the building filled ten full pages in the Deseret Evening News, a major local newspaper.

The ten-story landmark utilized the most contemporary concrete and steel skeletal structural system, while being sheathed in white matte glazed enameled brick and decorative white matte glazed enameled terra cotta.

The windows of the Hotel Utah are glazed generally with plate glass, although art glass is used in some principal rooms, the original roof was of concrete and arranged as a roof garden with a serving pantry so that during the summer parties could be given and food served.

In the basement are located a large kitchen, fifteen cold storage rooms lined with tile, a Turkish bath, barber shop, and general storage. Originally the grill in the basement was tiled in a design giving the effect of sky and foliage.

The sub-basement contained an ice plant with a daily capacity of 50 tons. The ice plant and the heating plant were operated by an engine located at the power house in the middle of the block at Temple Square. Connections between the power house and the hotel were made through a 1500 foot tunnel under Temple Square into the sub-cellar.

The first floor of the building contains the large lobby, which is 87 ft. by 87 ft. in addition to the side corridors, offices, and the side entrance corridor. An eighteen foot balcony surrounds the lobby at the mezzanine level. The mezzanine floor contains the Ball Room, elaborately treated in stucco with white maple flooring.

The building above is supported by immense steel girders which weigh about 52 tons each. The girders over the ballroom were designed to sustain eight stories, with a clear span of 52 feet. The dining room girders were arranged to carry nine stories with a span of 52 feet to the center of the columns.

The entrance lobby is wainscoted in marble ten feet high, and there are twelve columns supporting the roof and designed in a composite order. These are about 30 feet high with a marble base and are finished in scaglia to match in Irish green marble. The bays between each column are treated elaborately in stucco.

The third mezzanine contains a print shop where hotel menus and other materials are drawn up. Penthouse apartments, containing a reception hall, living room, master study, all-electric kitchen and bath occupy the corners of the east wing of the tenth floor. The penthouses are surmounted by the hotel tower which rises four stories above the roof garden and is topped by a massive beehive set on a pedestal. On each of the four pedestal panels are an eagle and shield, all of which is lit by 6,400 lights at night.

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

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CONTINUATION SHEET

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In addition to the public rooms, there are 315 guest rooms, approximately forty per floor. Each floor had three sample rooms in connection with the bedrooms, and these were provided for storage and presentation of the goods of traveling salesmen stopping at the hotel. All principal rooms were connected with baths, numbering 210 with hot and cold water. Telephones were installed in every room, connected with three exchanges in the lobby, where a telegraph office is also located.

The lighting fixtures are finished in bronze and are elaborately designed to match the interior design of the various rooms.

Several additions and modifications have been made over the years. In 1948, the hotel management drilled a well which provided the 13,000,000 gallons of water used monthly. The ninth and tenth floors have been divided into suites.

In 1961, the Sky Room was created on the tenth floor, replacing the old roof garden. A \$3.1 million modernization took place in 1967. The garage was enlarged, the ballroom, convention areas, dining rooms and coffee shop were redecorated. The guest rooms were renovated and refurnished, and lighting and plumbing were modernized.

In 1975, the granite facing around the base of another addition was quarried at the original quarry at Cold Springs, Minnesota. The decorative terra cotta glazing on the outside of this last addition was made by the same company that made the original glazing, using molds cast from the original molds. The complicated filigree is composed of lion's heads, egg-and-dart, and lamb's tongue motifs. This annex added 160 guest rooms, a 15,000 sq.ft. ballroom, an 11,000 sq.ft. exhibit hall, several smaller meeting rooms and a new Sky Room restaurant.

To date, no other hotel built in the Inter-mountain west has achieved the prominence and reputation afforded the Hotel Utah, much of which has come as a result of its inherent architectural character.

8 SIGNIFICANCE

PERIOD	AREAS OF SIGNIFICANCE -- CHECK AND JUSTIFY BELOW			
<input type="checkbox"/> PREHISTORIC	<input type="checkbox"/> ARCHEOLOGY-PREHISTORIC	<input type="checkbox"/> COMMUNITY PLANNING	<input type="checkbox"/> LANDSCAPE ARCHITECTURE	<input type="checkbox"/> RELIGION
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> ARCHEOLOGY-HISTORIC	<input type="checkbox"/> CONSERVATION	<input type="checkbox"/> LAW	<input type="checkbox"/> SCIENCE
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> AGRICULTURE	<input type="checkbox"/> ECONOMICS	<input type="checkbox"/> LITERATURE	<input type="checkbox"/> SCULPTURE
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> ARCHITECTURE	<input type="checkbox"/> EDUCATION	<input type="checkbox"/> MILITARY	<input checked="" type="checkbox"/> SOCIAL/HUMANITARIAN
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> ART	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> MUSIC	<input type="checkbox"/> THEATER
<input type="checkbox"/> 1800-1899	<input type="checkbox"/> COMMERCE	<input type="checkbox"/> EXPLORATION/SETTLEMENT	<input type="checkbox"/> PHILOSOPHY	<input type="checkbox"/> TRANSPORTATION
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> COMMUNICATIONS	<input type="checkbox"/> INDUSTRY	<input type="checkbox"/> POLITICS/GOVERNMENT	<input type="checkbox"/> OTHER (SPECIFY)
		<input type="checkbox"/> INVENTION		

SPECIFIC DATES 1909-1911

BUILDER/ARCHITECT Parkinson and Bergstrom

STATEMENT OF SIGNIFICANCE

The corner of South Temple and Main Street has long been an important site in Utah History. Located across the street east of the Temple Block, a "string" of one-story buildings were constructed in 1850 for use as a general tithing office and bishop's storehouse. The buildings were used for their original purpose and served as offices for the Presiding Bishopric of the Church of Jesus Christ of Latter-day Saints until their demolition in June, 1909, to make way for the Hotel Utah. Because of the currency shortage, tithing contributions were generally made in i.e., wheat and other farm products, animals, or hand-made items. Concerned with the temporal welfare of church members, the Presiding Bishopric distributed the goods to the needy of the church. At times settlement efforts in the surrounding valleys were supported by goods supplied from the tithing office. The office served as a center in carrying out the cooperative philosophy instituted by the church founder, Joseph Smith.

Upon completion of the one-story buildings, a larger two-story structure was added to the south end for the purpose of housing a merchandise store. The store and general tithing office served as the center of commerce in early Utah. In addition to collecting and distributing tithing goods, the tithing office served as a market where tithing goods could be purchased or traded. One contemporary observed penned the following description of the General Tithing Office--

"Here are piles of rawhide, both cow and mustang, or even pig-skin; bins of shelled corn, and cribs full of corn in the ear; wheat and rye, oats and barley; casks of salt provisions; wool, homespun, yarn, and home-woven cloth in hanks and bales; indigo; cocoons and raw silk; butter, cheese, and all manner of farm produce; even the most destructible of vegetable growths,--not only potatoes, turnips, and other root crops, but green peas (sic) and beans; fruit, and young cabbages; hay, carpenters' work, boys' caps, slop-shop overalls; hemp-rope, preserves, tinware, stogies, confectionery, adobe bricks and tiles, moss and gramma mattresses; buckskin leggins, gloves, moccasins, hunting-shirts, and complete suits...These are but a minute fraction of the contents of the Church Tithing Stores."¹

In addition to its importance in Utah's early commercial history, the corner is of significance as the site of the territory's first newspaper office. Established in 1850, the Deseret News was first printed in a one-story building immediately to the east of the two-story structure. In 1854 the printing plant was moved into the adjacent store and remained there for two years until 1856 when it was moved to the second floor of the Council House. In 1863 the Deseret News returned to the two-story building where it remained until 1903. As a church-owned paper, the Deseret News served an important function in publishing news, printing talks by church authorities, and unifying the territory through published reports of activities in the various Utah settlements.

9 MAJOR BIBLIOGRAPHICAL REFERENCES

Leonard J. Arrington, Great Basin Kingdom, Cambridge, Massachusetts: Harvard University Press, 1958.
Deseret Evening News, June 5, 1909, p.1; April 18, 1910, p.1; June 10, 1911, pp.4, 17-21.
The Salt Lake Herald-Republican, April 2, 1911, p.4.

10 GEOGRAPHICAL DATA

ACREAGE OF NOMINATED PROPERTY 1 acre
 UTM REFERENCES

A	1 2	4 2 4 9 0 0	4 5 1 3 3 6 0	B			
	ZONE	EASTING	NORTHING		ZONE	EASTING	NORTHING
C				D			

VERBAL BOUNDARY DESCRIPTION

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE	CODE	COUNTY	CODE
STATE	CODE	COUNTY	CODE

11 FORM PREPARED BY

NAME / TITLE A. Kent Powell, Preservation Historian/ Kim Gainer, Researcher

ORGANIZATION Utah State Historical Society DATE October 19, 1977

STREET & NUMBER 603 East South Temple TELEPHONE (801) 533-5755

CITY OR TOWN Salt Lake City STATE Utah

12 STATE HISTORIC PRESERVATION OFFICER CERTIFICATION

THE EVALUATED SIGNIFICANCE OF THIS PROPERTY WITHIN THE STATE IS:

NATIONAL STATE LOCAL

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

STATE HISTORIC PRESERVATION OFFICER SIGNATURE *[Signature]* DATE Oct. 28, 1977

TITLE

FOR NPS USE ONLY

I HEREBY CERTIFY THAT THIS PROPERTY IS INCLUDED IN THE NATIONAL REGISTER

ATTEST: *[Signature]* DATE 1.3.78

KEEPER OF THE NATIONAL REGISTER DATE 1.3.78

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In addition to the two-story Deseret News building and one-story General Tithing Office buildings demolished to make way for the Hotel Utah was a nearby house known as the "emigrant house." In the frame building, located to the rear and east of the tithing office, emigrants were housed until places could be found for them in Salt Lake City or other Mormon communities. Later, following the arrival to Utah of a group of Hawaiian converts to Mormonism, the building served as headquarters for the Hawaiians when they visited Salt Lake City from their settlement of Iosepa in Skull Valley.

The historic significance of the South Temple and Main Street location was recognized in 1909 when a Deseret News reporter wrote: "...while the purpose in tearing the old pile down is to replace it with a handsome modern structure of the sky-scraping variety which will cost in the neighborhood of a million and a half dollars, yet to the people of this city and this state, who came to this place when there was no Salt Lake City, and when the spot occupied by the old building was merely a sagebrush plain, and who have watched the city grow and progress until it has become one of the leading cities on the American continent--all during the life time of the adobe structure--will experience a twinge of regret in seeing it razed to the ground."²

The location across from the Salt Lake Temple and in the heart of the Salt Lake business district was ideal for a first class hotel. Community promoters lamented that Salt Lake City "...suffered for years in the estimation of the traveling public...(because of) the universal circulation of reports that our city was far in the rear in the matter of providing for the comfort of tourists."³

However, with the completion of the Hotel Utah, the Deseret News editor continued "...the travelers who will tarry within our gates...will carry away such reports of the royal way Salt Lake can take care of her guests that her reputation as a queen of entertainers will rank as high as that of any city in the West."⁴

Although plans to construct a first class hotel in Salt Lake City had been discussed prior to 1909, it was not until May 20, 1909 that the Utah Hotel company was incorporated with Joseph F. Smith, President of the Church of Jesus Christ of Latter-day Saints, as President of the company. Construction began immediately with the demolition of the Deseret News Building, General Tithing Office and Emigrant House in early June 1909. Architects for the modern Italian Renaissance building was the firm of Parkinson and Bergstrom of Salt Lake City and Los Angeles. General contractor for the construction was James Black Masonry and Contracting Company of St. Louis, Missouri.

Work proceeded rapidly on the ten-story building and within two years, on June 9, 1911, the hotel was opened for business. The day following the official opening of the Hotel Utah, the Deseret Evening News carried a four-page description of the new structure.

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The article described the new building as "the climax in hotel construction in the United States," and went on to observe:

"There are larger hotels than the Utah, and there are those which cost more money, but there is not a hotel from the Atlantic to the Pacific which has the elegance, the comfort and the general beauty possessed by the Hotel Utah. It is a veritable palace from the dome with its myriad electric lights to the cellar, where is the most wonderful kitchen in the world."⁵

While the Hotel Utah provided first class accommodations for visitors to Salt Lake City and helped disperse the communities feelings of inferiority as a second class city, its construction symbolized other developments in Utah's history. The Salt Lake Herald--Republican, acknowledging that the chief stockholders in the company were also high ranking officials in the Mormon church, saw their investment as a symbol of Mormon progressivism. Church leaders had been criticized as reactionaries opposed to the development of the state because it would lessen their hold on members of the church. The charges of reaction-aryism stemmed from the long standing controversy over polygamy and the political influence which the church within the state.⁶

In a more subtle defense of church leaders, the church-owned Deseret News saw in the fact that all segments of Utah society were represented as stockholders of the Utah Hotel company and the Utah Hotel operating company, whose president was the non-Mormon mining magnate Daniel T. Jackling, that after decades of conflict, accommodation and cooperation would be the new order in Utah. "The list of stockholders...indicates unmistakably that it is possible for 'Mormon,' Jew, and Gentile in Utah to live together, trade together and combine their resources for the general good. The raising of such a vast sum as two million dollars for a hotel, when the projectors knew that they could only hope for a small return on their outlay, at least for many years to come, is an instance of public spirit and enterprise that cannot be too highly commended, and is one we trust that will be imitated in other times."⁷

As an agent for accommodation and cooperation among the Mormon and non-Mormon elements of the state, the Hotel Utah has played an important role.

The construction of the Hotel Utah played a role in the story of organized labor in the West. On two separate occasions dynamite bombs were exploded in attempts to delay work on the building. The controversy centered on attempts by the Jones Construction Company and the American Bridge Company to maintain an open shop despite demands by the local structural Iron Workers Union that only union men be hired to erect the steel frame.

Shortly after 3:00 a.m. on December 29, 1909, a bomb was exploded at the construction site in an apparent attempt to wreck the hoisting engine and derrick.

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Only minor damage was done and construction work continued on schedule. Two men, Frank Wilson and James Delaney, were arrested and charged with the crime. Wilson denied any responsibility for the dynamiting but did admit he had been approached by members of the Structural Iron Workers Union and asked to participate in the bombing. However, John Munsey, business agent for the local union, denied any union involvement in the incident. In a trial held in February 1910, James Delaney was convicted of malicious mischief and sentenced to six months in jail. Frank Wilson was not convicted and no tie to the local Structural Iron Workers Union was established.

A second bomb was exploded the morning of April 18, 1910. More successful than the first, the bomb damaged the steel beams in the southeastern part of the building. Glass windows in buildings within a one-block radius of the explosion were shattered. Many residents were awakened fearful that Haley's Comet, which was visible about the time of the explosion, had hit the earth.

It was felt that the deed was the work of the local Structural Iron Workers Union and that the bomb was intended to destroy the compressor thereby preventing the use of the rivetters. Once again Jack Munsey, business agent for the union, denied responsibility for the bombing. "I know nothing about it. I am positive that none of our men had anything to do with it and I deplore it as much as anybody else. We do not believe in using force and condemn all attempts of this sort."⁸

Munsey went on to offer a \$500 reward for the arrest of the guilty individuals. Despite additional rewards offered by the Hotel Company, State of Utah, and Salt Lake County, no arrests were immediately made.

Several months after John J. McNamara, President of the International Association of Bridge and Structural Iron Workers, and his brother were arrested for the bombing of the Los Angeles Times Building on October 1, 1910, which killed 20 people and injured 17, Mrs. Munsey signed a statement that a Mr. Williams had been harbored in their house two weeks after the dynamiting of the Los Angeles Times Building. Munsey denied everything but when the McNamara brothers pleaded guilty to the charge of dynamiting the building, Munsey's role in the bombings was exposed.

The bombings of the Hotel Utah represented one of the few instances in Utah labor history when organized labor sought to further its goals by violence.

Since its construction in 1911, the Hotel Utah has become an important Utah landmark. Its architectural beauty, historic location, and tradition make it the best known hotel in Utah. Its uniqueness, especially contrasted with the recently completed chain hotel structures in Salt Lake City, distinguishes the Hotel Utah today in much the same manner as it did other forms of accommodation in 1911.

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY	
RECEIVED	NOV 7 1977
DATE ENTERED	JAN 3 1978

CONTINUATION SHEET

ITEM NUMBER 8 PAGE 5

FOOTNOTES:

- 1
Leonard J. Arrington, Great Basin Kingdom (Harvard University Press, Cambridge, Mass., 1958) pg. 141.
- 2
Deseret Evening News, June 5, 1909, pg. 1, second section.
- 3
Deseret Evening News, June 10, 1911, pg. 4.
- 4
Ibid.
- 5
Deseret Evening News, June 10, 1911, part 3, pg. 17.
- 6
The Salt Lake Herald--Republican, April 2, 1911, pg. 4.
- 7
Deseret Evening News, June 10, 1911, pg. 4.
- 8
Deseret Evening News, April 18, 1910, pg. 1.

ATTACHMENT D: APPLICANT INFORMATION

TABLE OF CONTENTS:

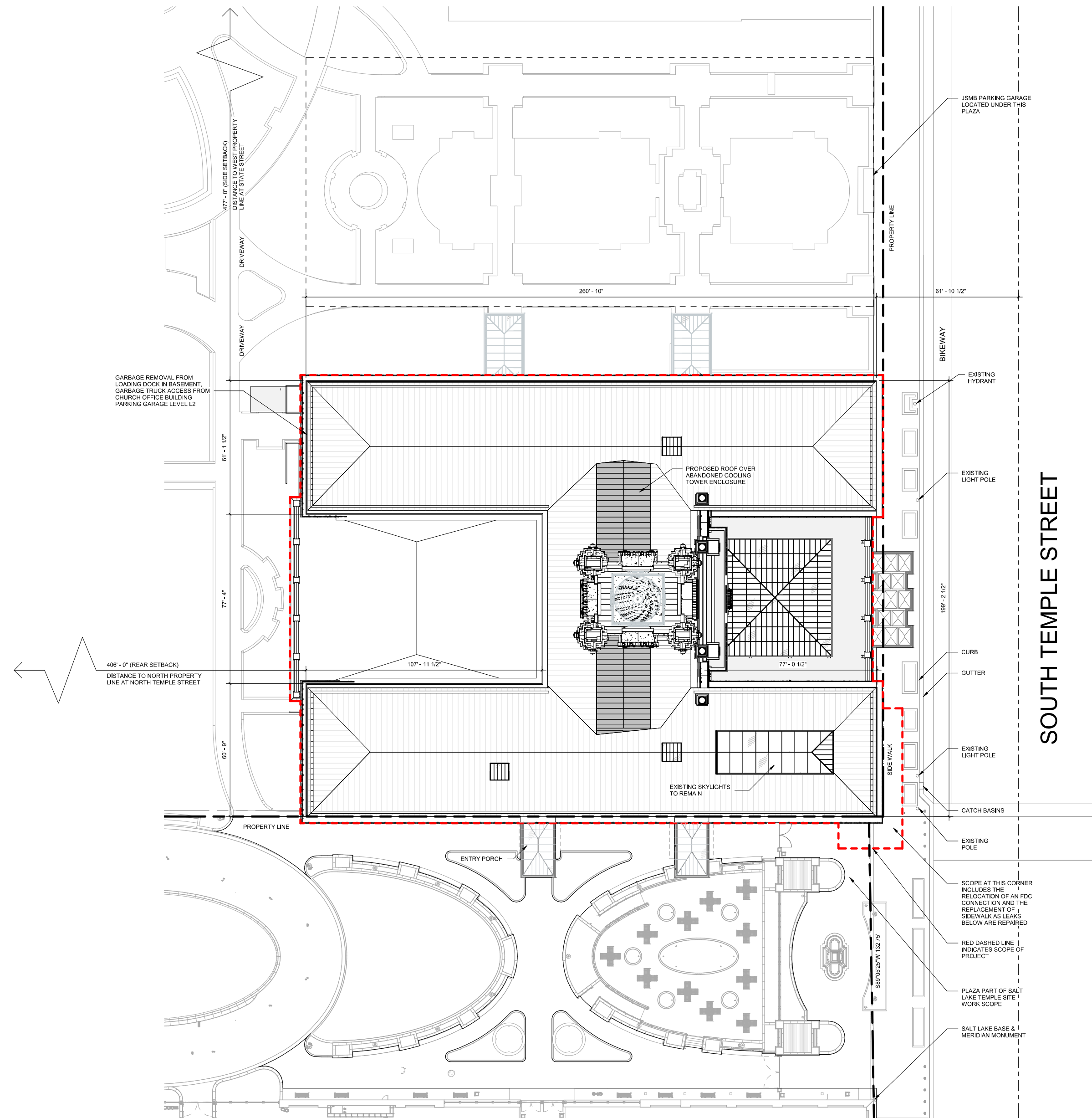
G1	COVER SHEET
S1	SITE PLAN
A1	PROPOSED MATERIALS
A2	LEVEL 1 DEMO PLAN
A3	LEVEL 1 PROPOSED PLAN
A4	ENLARGED LEVEL 1 PROPOSED PLAN
A5	CAFÉ ENTRY IMAGES
A6	CAFÉ ENTRY IMAGES
A7	ROOF DEMO PLAN
A8	ROOF PROPOSED PLAN
A9	ROOF ALTERATION IMAGES
A10	PROPOSED SOUTH EXTERIOR ELEVATION
A11	PROPOSED WEST EXTERIOR ELEVATION
A12	ENLARGED DEMO AND PROPOSED EXTERIOR ELEVATIONS
A13	DOOR SECTIONS

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SITE PLAN

S1



A1 SITE PLAN
 SCALE: 1" = 20'-0"



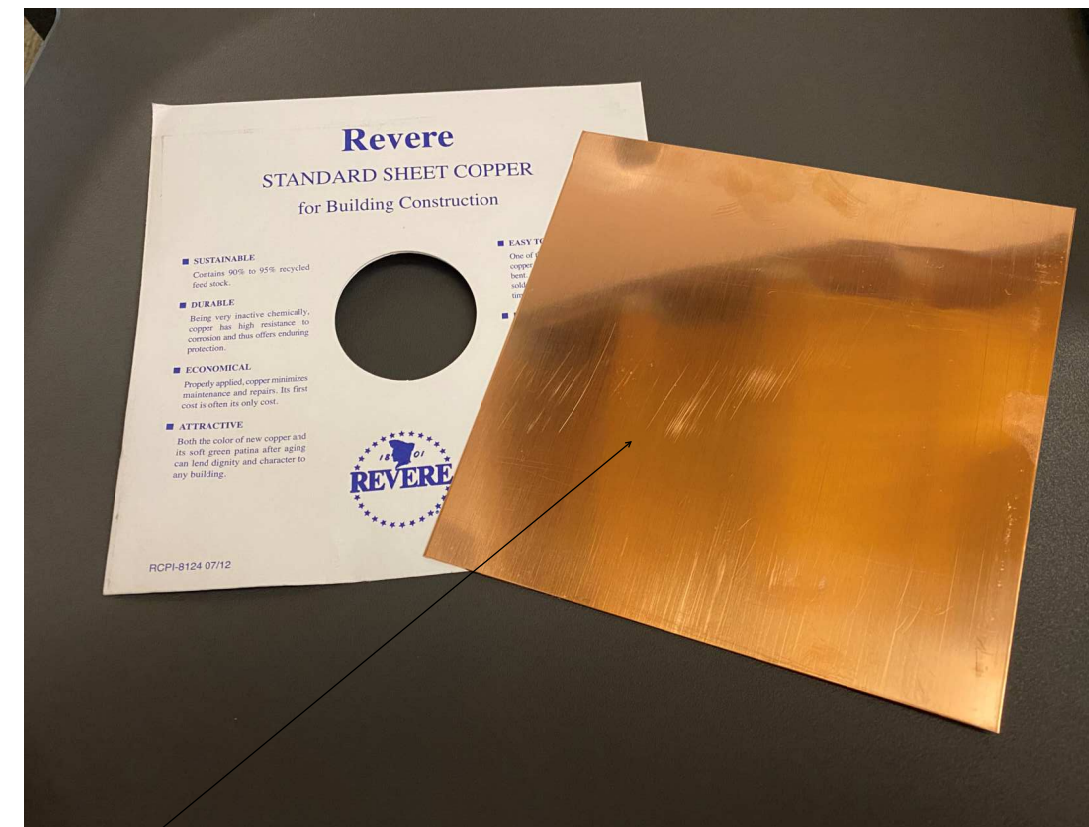
NORTH

ROOFING MATERIAL



CURRENT ROOF PHOTO

THE CURRENT ROOF (INSTALLED IN THE 1990 REMODEL) IS COPPER AND HAS PATINAD TO BROWN COLOR.



PROPOSED STANDING-SEAM COPPER ROOF

THE STRATEGY IS TO APPLY STANDARD COPPER ROOFING MATERIAL AND ALLOW IT TO CATCH UP IN PATINA TO THE REST OF THE ROOF.

NEW ENTRY MATERIALS

PROPOSED SOUTH CAFE ENTRY DOOR WILL MATCH THIS EXISTING METAL FINISH.

THIS DOOR WILL BE PAINTED TO MATCH THE WHITE WINDOW FRAMES ON THIS FACADE.



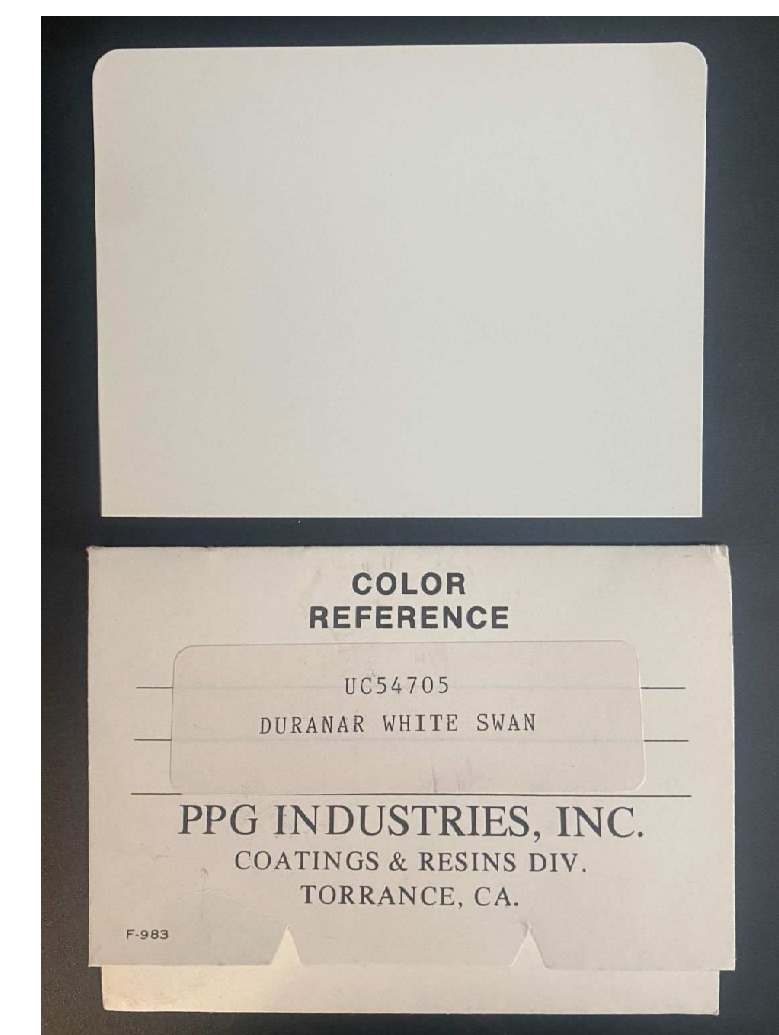
EXISTING EXIT DOOR



EXISTING REVOLVING DOOR



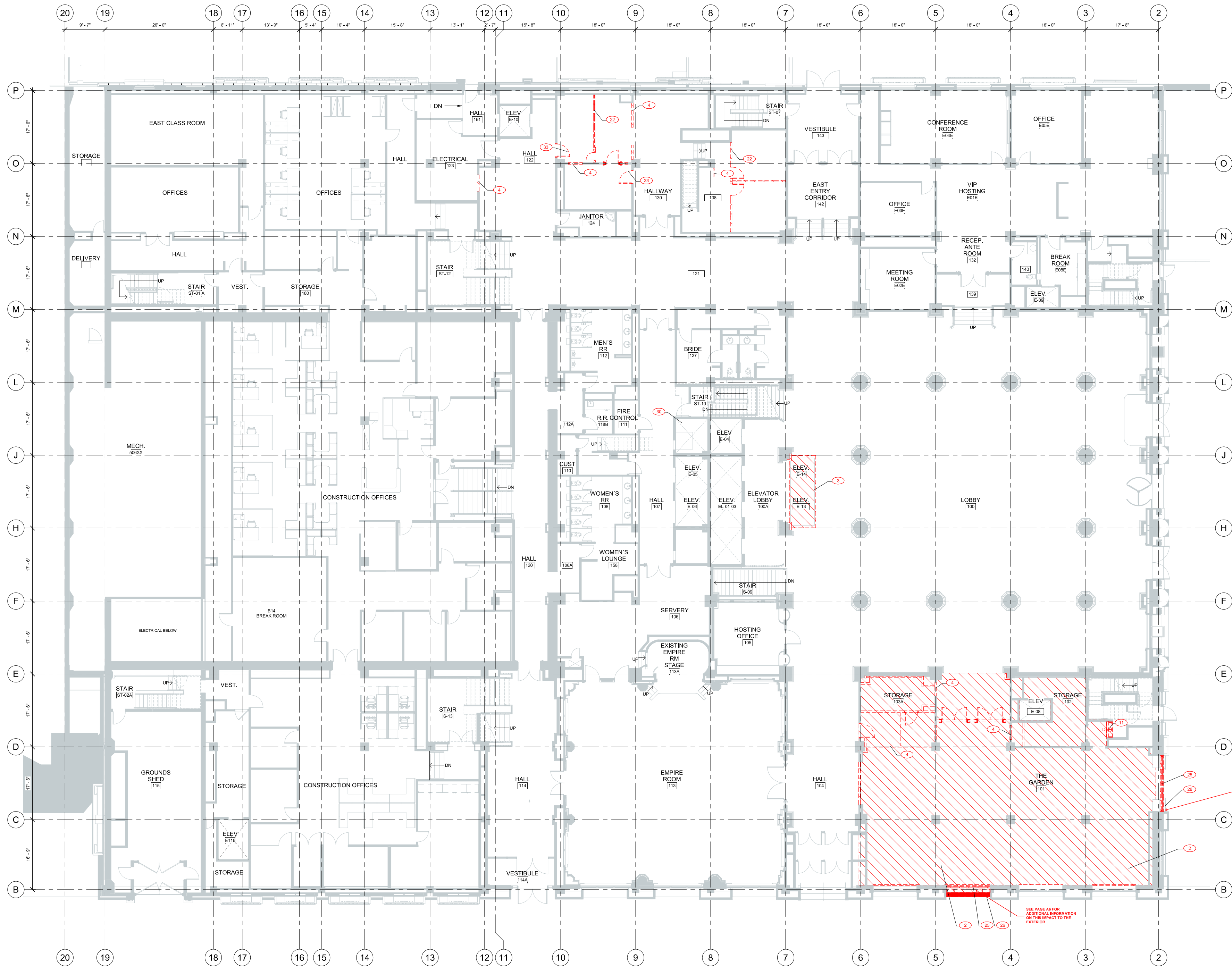
EXISTING WINDOW FRAMES



WINDOW FRAME COLOR

DEMOLITION NOTES

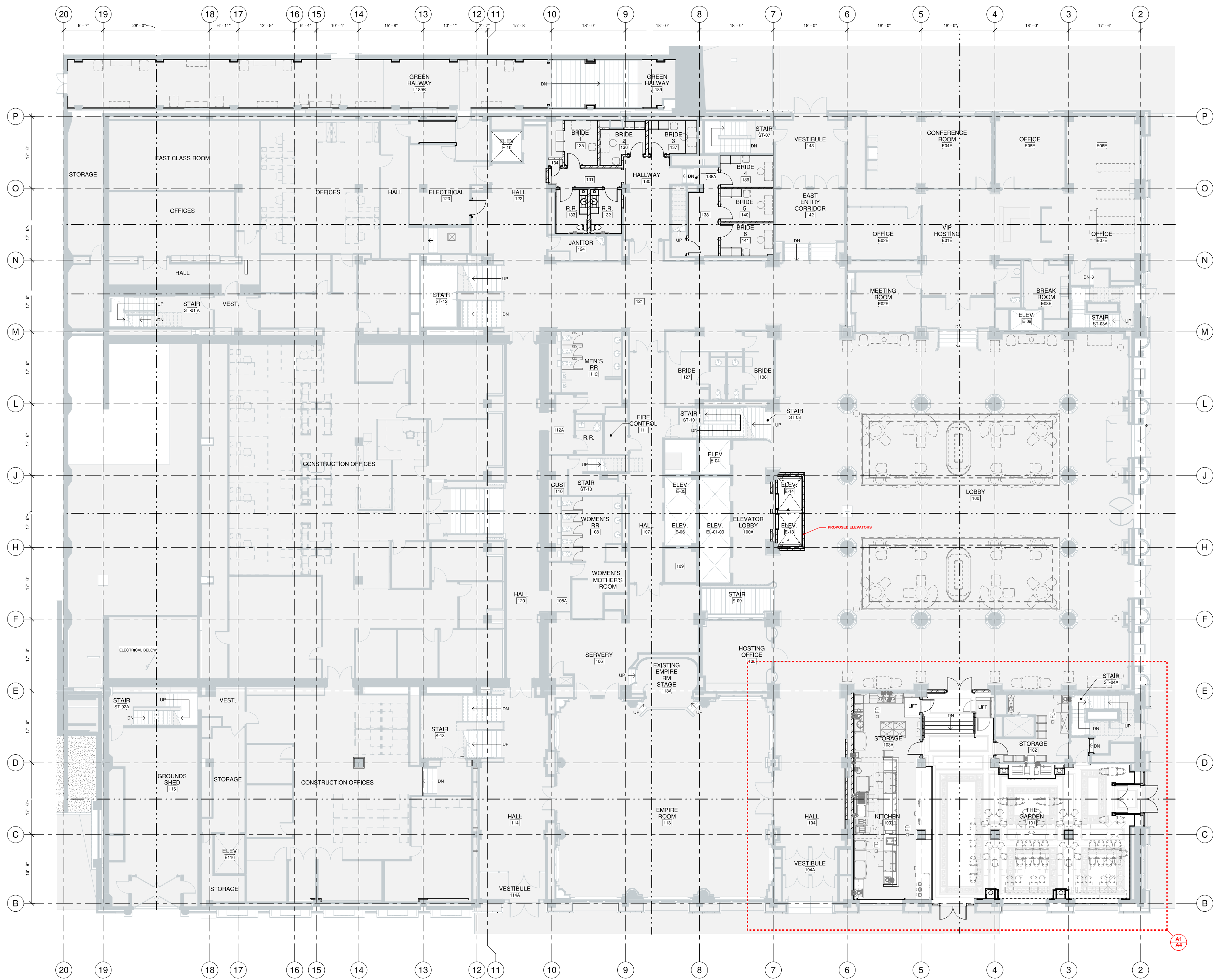
- 1 DEMO FLOOR FINISH
- 2 DEMO FLOOR FINISH AND TOP 3/8" OF CONCRETE SLAB AT LOCATIONS OF FRP STRIPS
- 3 DEMO FLOOR FINISHES TO ACCESS CONCRETE SLAB FOR SHEAR STUD ADDITIONS
- 4 DEMO STUD WALL
- 45 DEMO VERTICAL STRIP OF WALL TO FIT HSS STEEL STRONG BACK
- 5 DEMO CONCRETE WALL
- 6 DEMOLISH CMU WALL
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- 8 DEMO MASONRY AROUND EXISTING COLUMN TO CREATE A MINIMUM 3" GAP.
- 9 DEMO CLAY BRICK IN-FILL WALL
- 10 DEMO COLUMN CLADDING
- 11 DEMO STAIR
- 12 DEMO RAILING
- 13 DEMO WALK-IN UNIT
- 14 DEMO EQUIPMENT
- 15 DEMO PLUMBING FIXTURE
- 16 DEMO TOILET PARTITION
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- 19 DEMO COUNTER
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- 24 DEMO ROSTRUM TO SLAB
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- 26 DEMO GRANITE WATERCOURSE
- 27 DEMO BALCONY
- 28 CREATE NEW OPENING IN CONCRETE SHEAR WALL
- 29 DEMO - SEE MECHANICAL
- 30 DEMO - SEE PLUMBING
- 31 DEMO - SEE ELECTRICAL
- 32 DEMO - SEE STRUCTURAL
- 33 DEMO DOOR
- 34 REMOVE, STORE AND REINSTALL
- 35 REMOVE, STORE AND REINSTALL EQUIPMENT
- 36 REMOVE, STORE AND REINSTALL SHELVING
- 38 DEMO - ACOUSTICAL PANEL
- 39 REMOVE, RE UPHOLSTER AND REINSTALL ACOUSTICAL PANEL
- 50 DEMO EXISTING LAY-IN CEILING
- 51 DEMO EXISTING GYP. CEILING
- 52 DEMO LIGHT FIXTURE
- 53 DEMO CEILING DEVICE
- 54 NEW OPENING IN THE FLOOR FOR ACCESS GRATE
- 56 NEW OPENING FLOOR FOR ALTERNATING TREAD DEVICE
- 56 DEMO WALLS
- 57 DEMO COLUMN WRAP FOR COLUMN STRENGTHENING (SEE STRUCTURAL)
- 58 DEMO CEILING FOR BEAM STRENGTHENING (SEE STRUCTURAL)



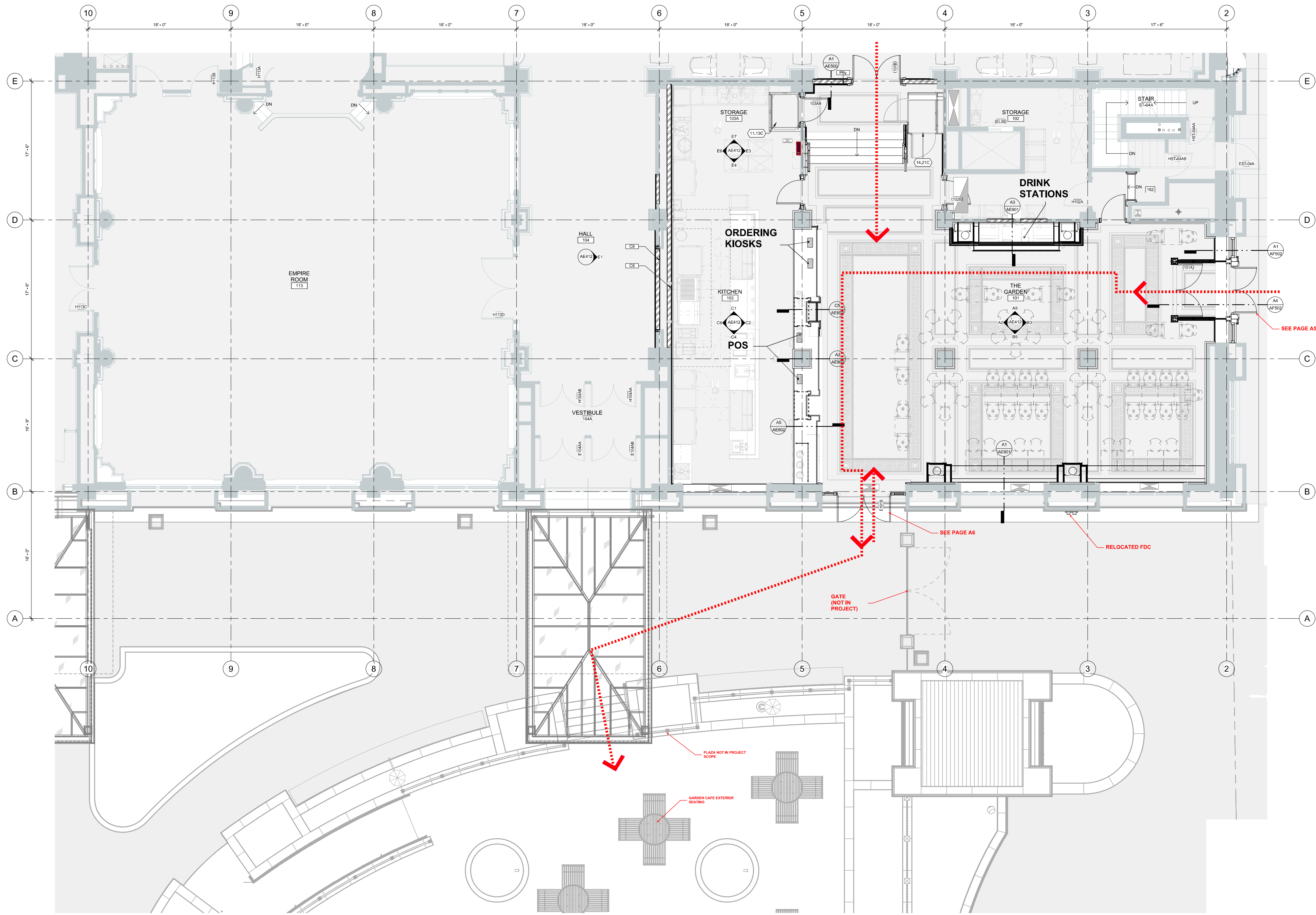
SEE PAGE AS FOR ADDITIONAL INFORMATION ON THIS IMPACT TO THE EXTERIOR

SEE PAGE AS FOR ADDITIONAL INFORMATION ON THIS IMPACT TO THE EXTERIOR

A1 LEVEL 1 (LOBBY LEVEL) FLOOR PLAN - DEMO
SCALE: 1/8" = 1'-0"



A1 LEVEL 1 FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"



A1 ENLARGED CAFE PLAN WITH PLAZA CONTEXT
SCALE: 1/8" = 1'-0"

NORTH



SOUTH TEMPLE

HISTORIC PHOTO 1913 - SHOWING UNION PACIFIC TICKET OFFICE ENTRY POINT AT SOUTHWEST CORNER OF THE BUILDING



MAIN STREET

SOUTH TEMPLE

WINDOW IS BLACK BECAUSE IT IS A PAINTED SPANDREL GLASS IN FRONT OF A CONCRETE SHEAR WALL FROM THE 1990 SEISMIC UPGRADE AND RENOVATION PROJECT.

EXIT FOR EGRESS STAIR (BRASS FINISH WOULD BE PAINTED WHITE TO DOWNPLAY EXIT ONLY DOOR).

PHOTO SHOWING EXISTING CONDITION



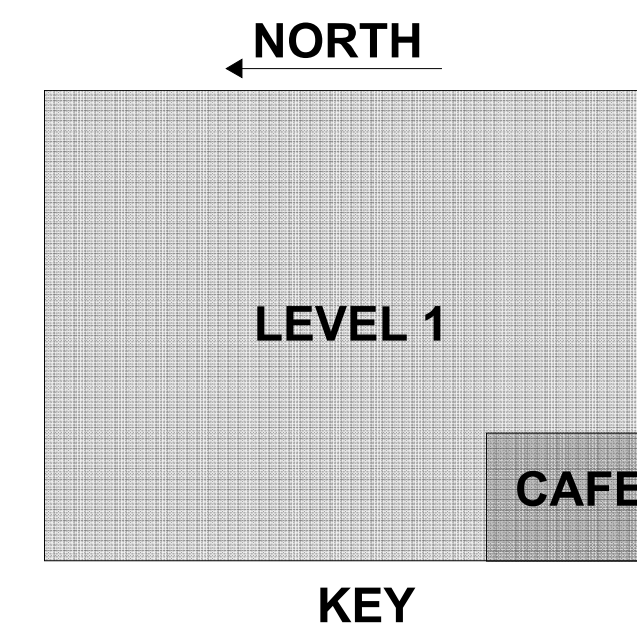
SOUTH TEMPLE

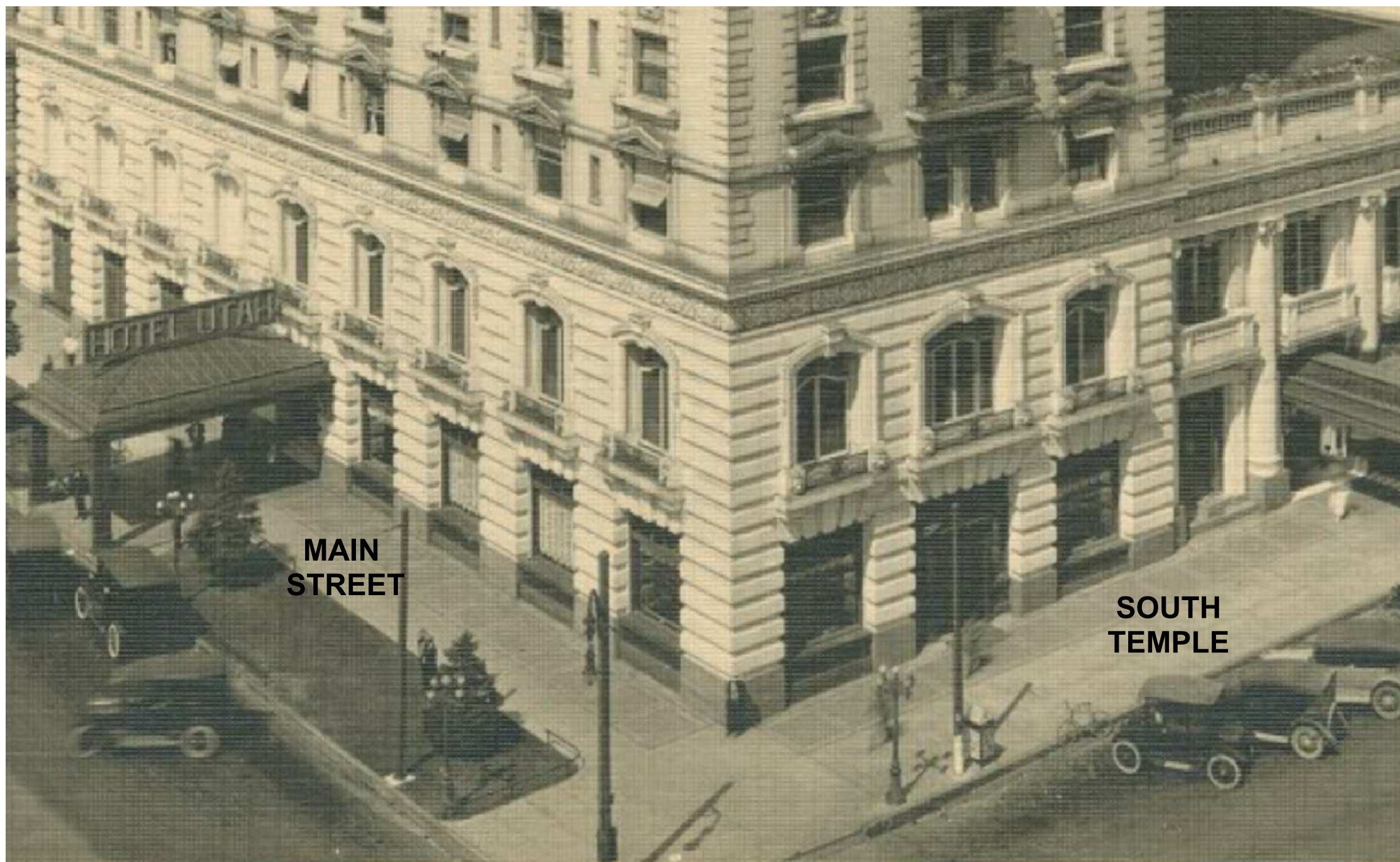
PROPOSED ENTRY POINT AT SAME LOCATION AND STYLE AS UNION PACIFIC ENTRY.

MATERIALS: BRASS TO MATCH MAIN ENTRIES

SIGNAGE ON GLASS

PROPOSED ILLUSTRATIVE OF NEW SOUTH TEMPLE ENTRY POINT





HISTORIC PHOTO - 1916



PHOTO SHOWING EXISTING CONDITION

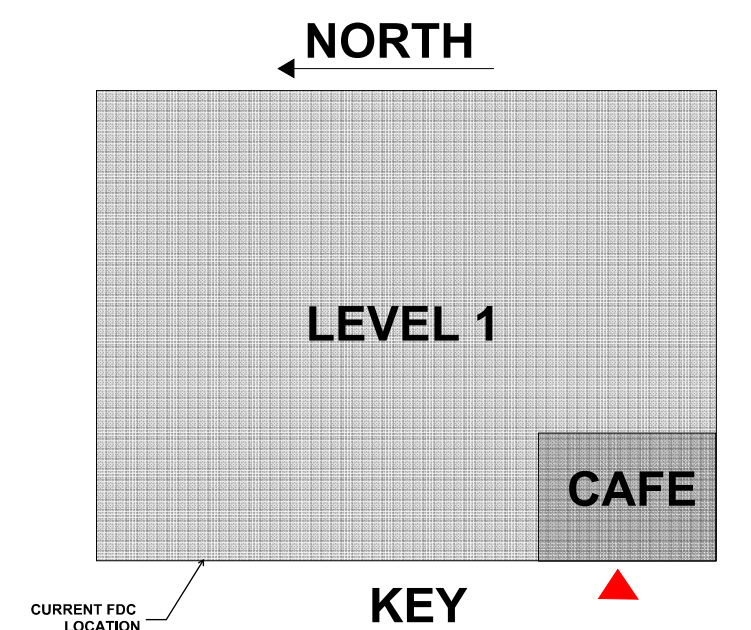


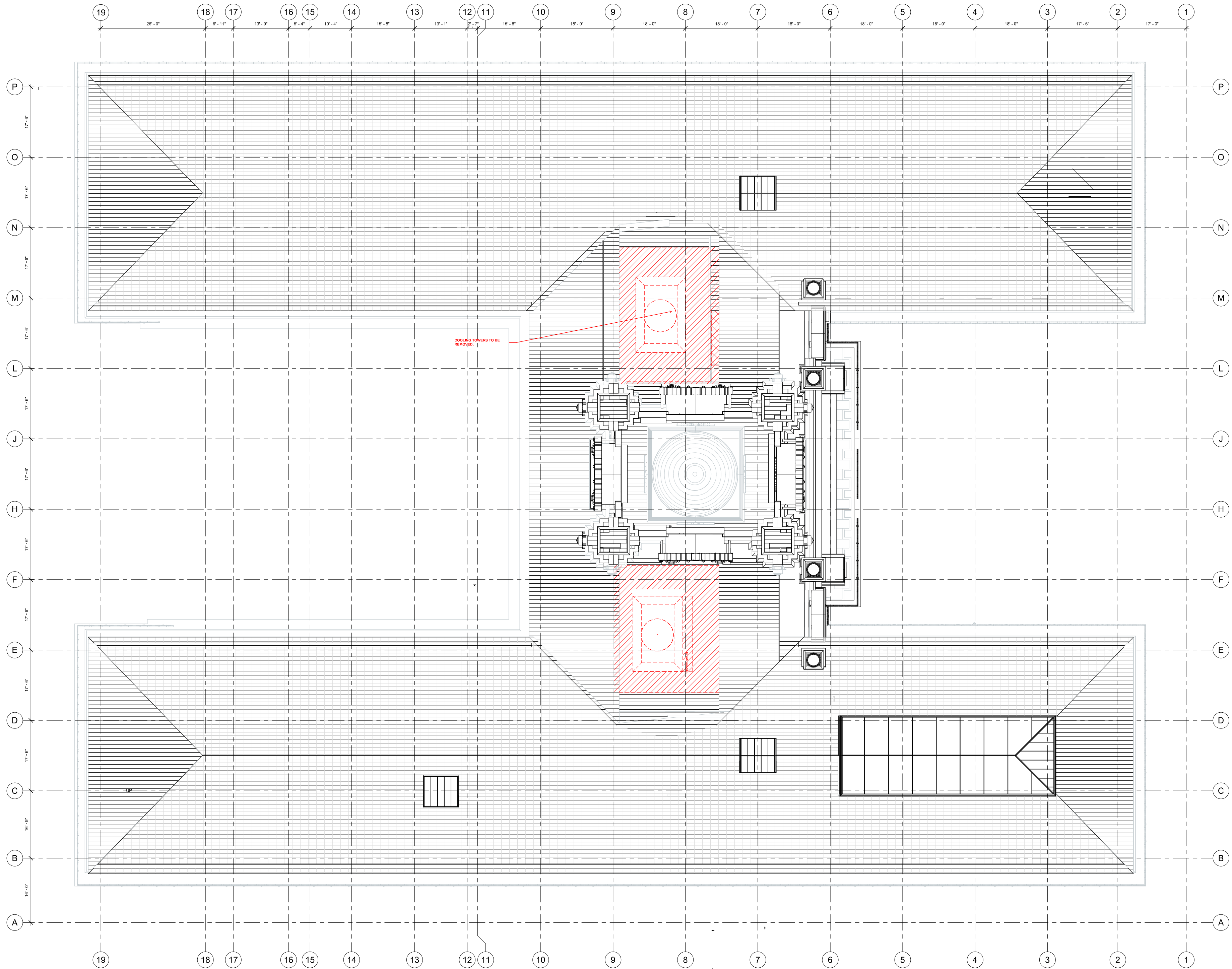
PROPOSED ILLUSTRATIVE OF NEW MAIN STREET ENTRY POINT.

RELOCATED FIRE DEPT. CONNECTION



GATE NOT IN THIS PROJECT SCOPE

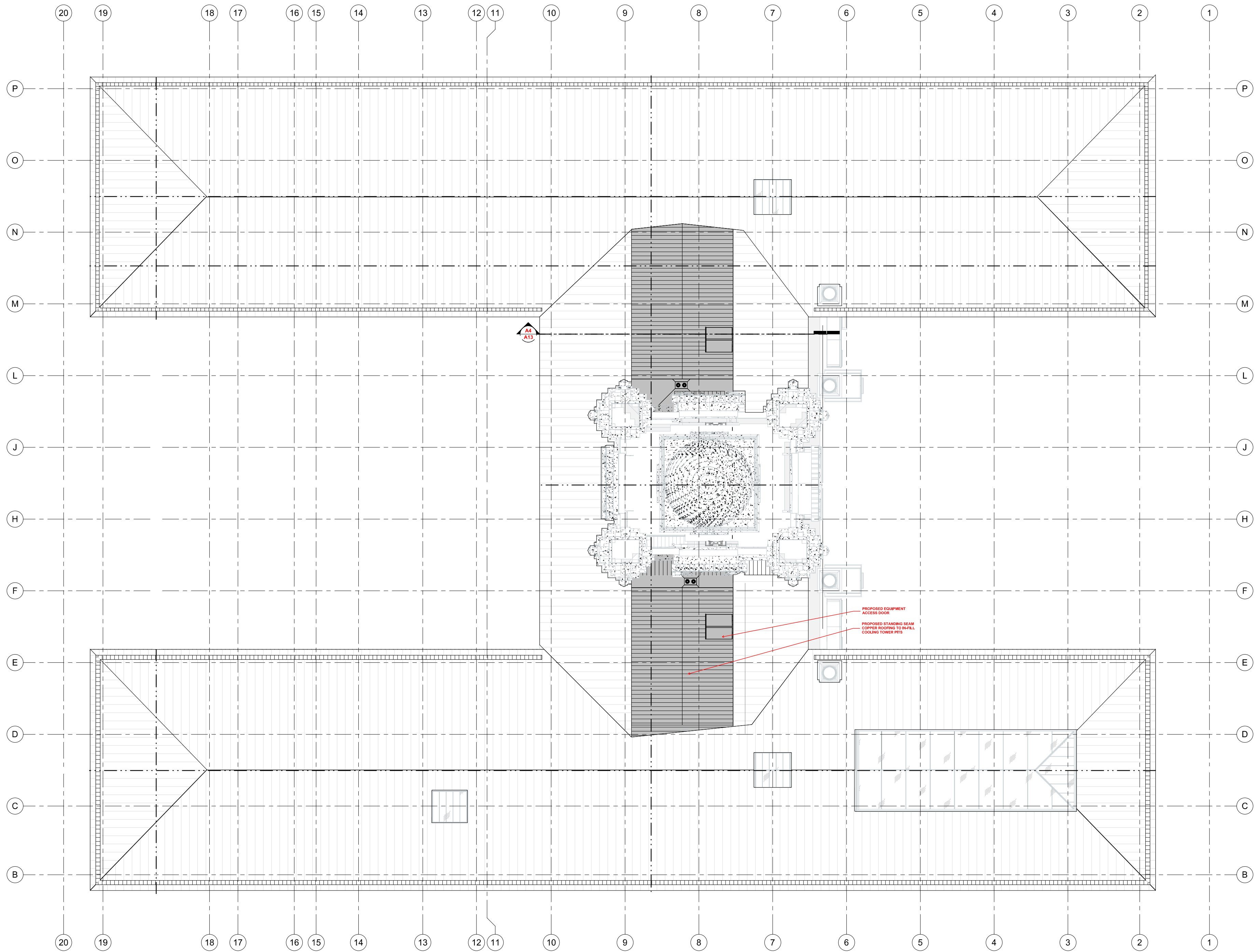




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ROOF DEMO
 PLAN



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ROOF
 PROPOSED
 PLAN



VIEW OF STREET FROM SOUTH TEMPLE

THE PROPOSED ADDED ROOF PORTION WOULD NOT BE VISIBLE FROM THE STREET, BUT WOULD BE VISIBLE FROM THE TALLER, SURROUNDING BUILDINGS.

COOLING TOWERS ARE INACTIVE AND WILL BE REMOVED AS PART OF THE INTERNAL MECHANICAL SYSTEMS UPDATE.

RUSTED METAL CAGE TO BE REMOVED WITH THE COOLING TOWERS.

METAL CAGE TO BE REMOVED WITH THE COOLING TOWERS.



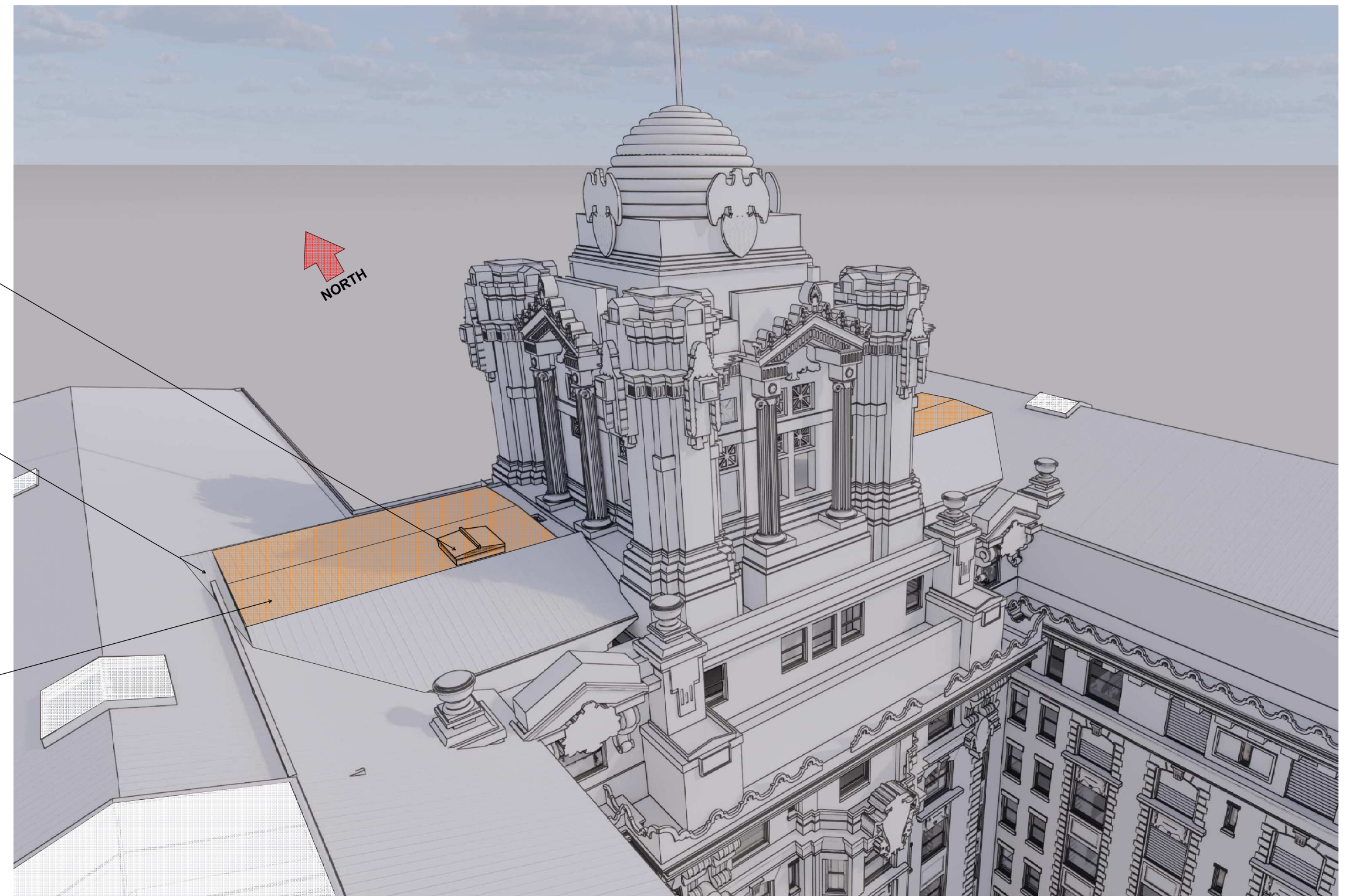
PHOTO SHOWING EXISTING CONDITION

**PROPOSED MATERIALS:
STANDING SEAM
COPPER ROOF (TO
MATCH EXISTING)**

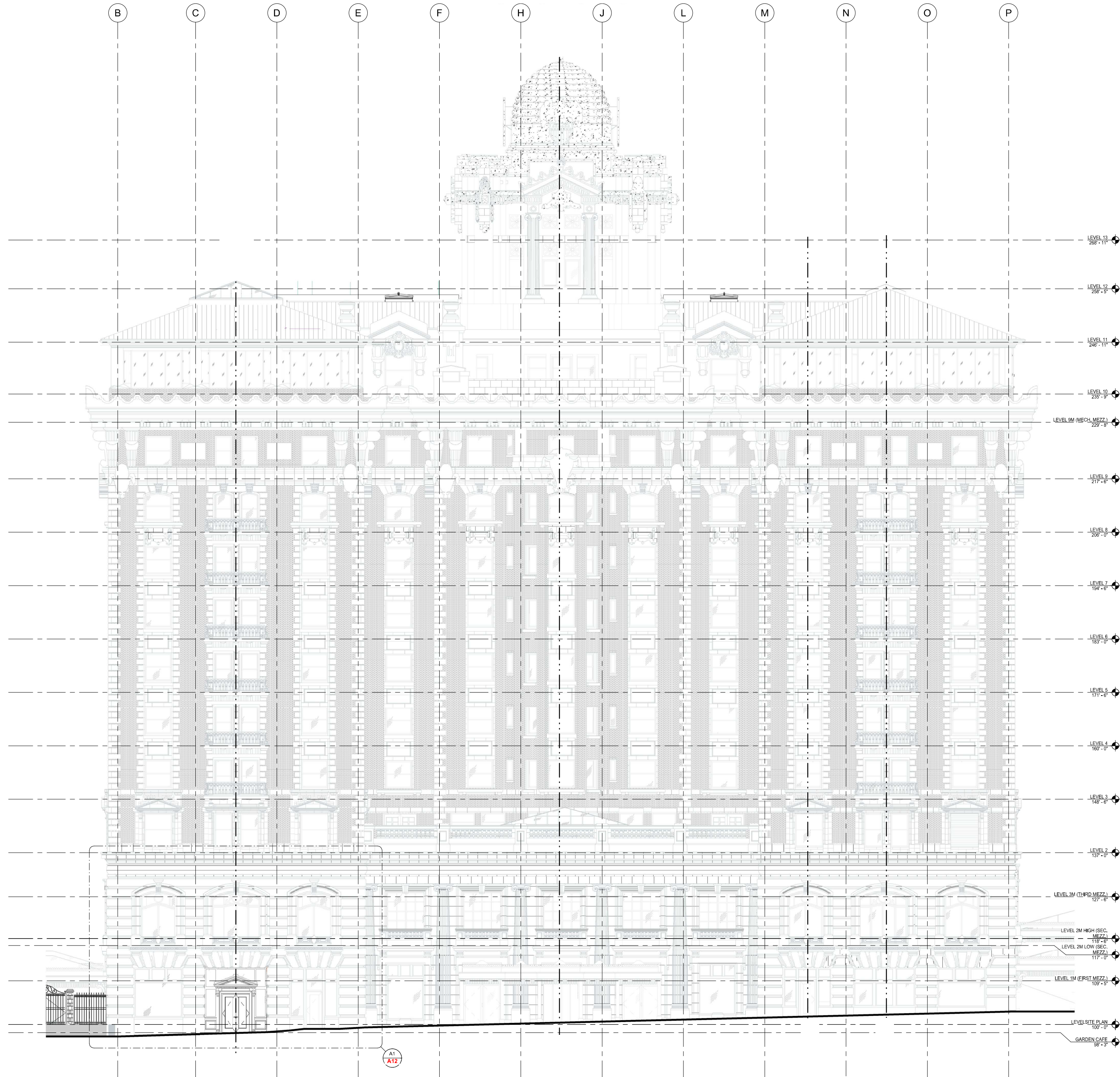
CODE REQUIRED ROOF MAINTENANCE HATCH. MATERIAL TO MATCH ROOF. THERE WILL BE A MATCHING HATCH ON THE EAST SIDE.

MINOR CRICKETING WILL BE REQUIRED TO PROVIDE PROPER DRAINAGE AGAINST SKYLIGHT RAIL.

PROPOSED ROOFING (@1/2"/12" SLOPE) TO COVER THE OPENINGS FROM THE DEMOLISHED COOLING TOWERS. MATERIAL TO MATCH EXISTING ROOF.



PROPOSED ILLUSTRATIVE OF ROOF



- LEVEL 13
266'-11"
- LEVEL 12
258'-0"
- LEVEL 11
246'-11"
- LEVEL 10
235'-0"
- LEVEL 9M (MECH. MEZZ.)
225'-0"
- LEVEL 9
215'-0"
- LEVEL 8
206'-0"
- LEVEL 7
194'-0"
- LEVEL 6
183'-0"
- LEVEL 5
171'-0"
- LEVEL 4
160'-0"
- LEVEL 3
148'-0"
- LEVEL 2
137'-0"
- LEVEL 3M (CONF. MEZZ.)
125'-0"
- LEVEL 2M HIGH (SEC. MEZZ.)
115'-0"
- LEVEL 2M LOW (SEC. MEZZ.)
111'-0"
- LEVEL 1M (1ST MEZZ.)
109'-0"
- LEVEL SITE PLAN
100'-0"
- GARDEN CAFE
98'-0"

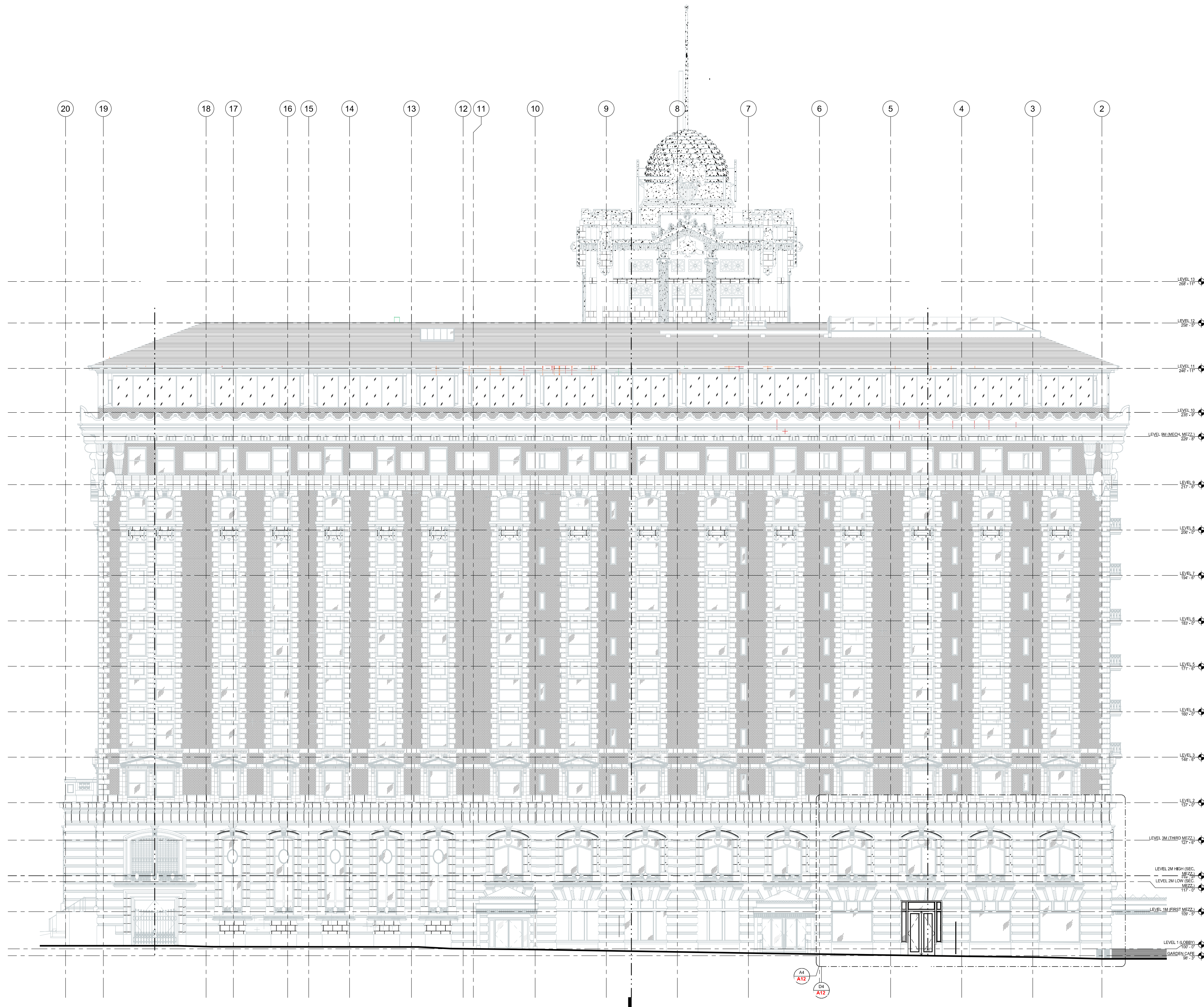
A1 SOUTH EXTERIOR ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"

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PROPOSED
 WEST
 EXTERIOR
 ELEVATION

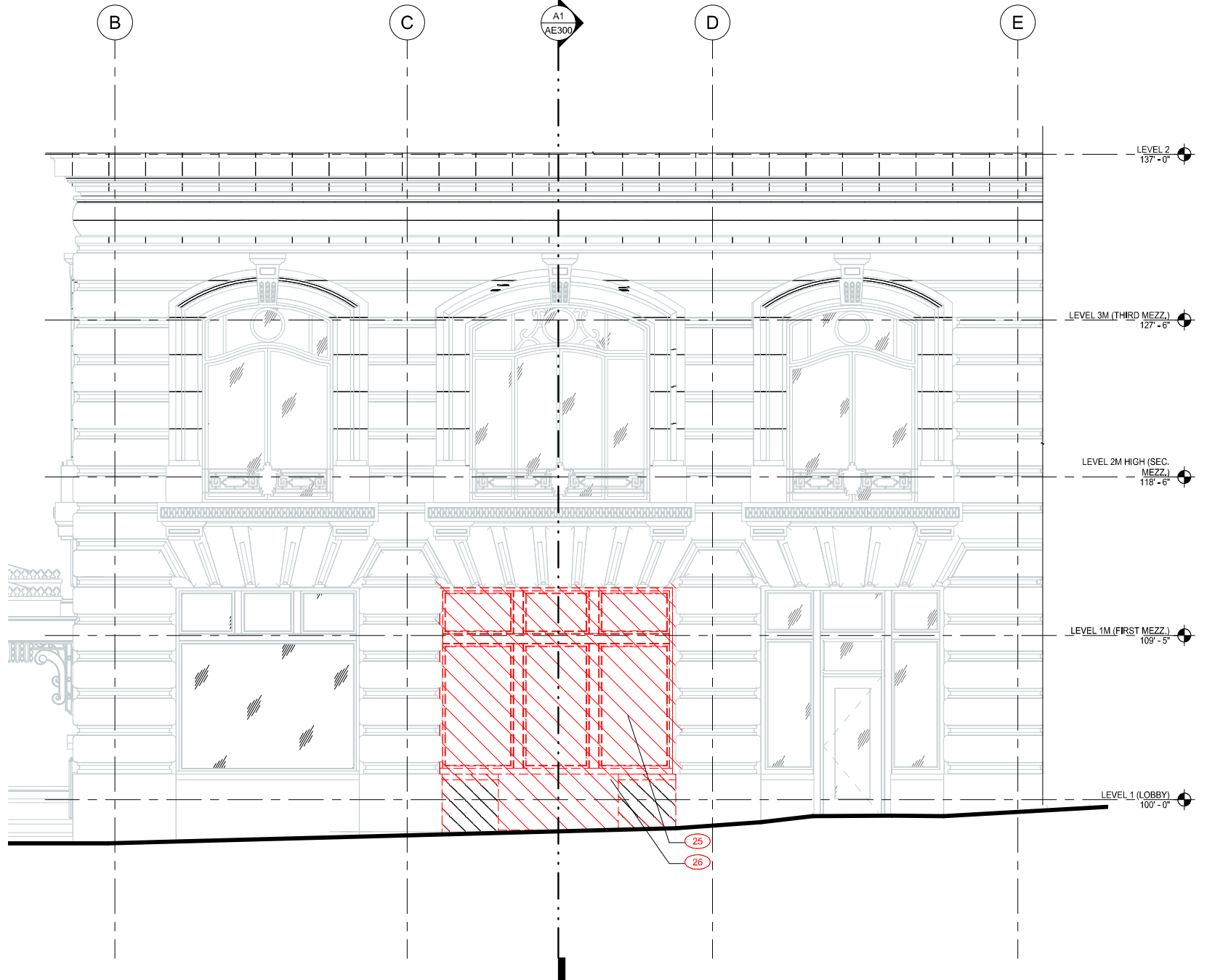
A11



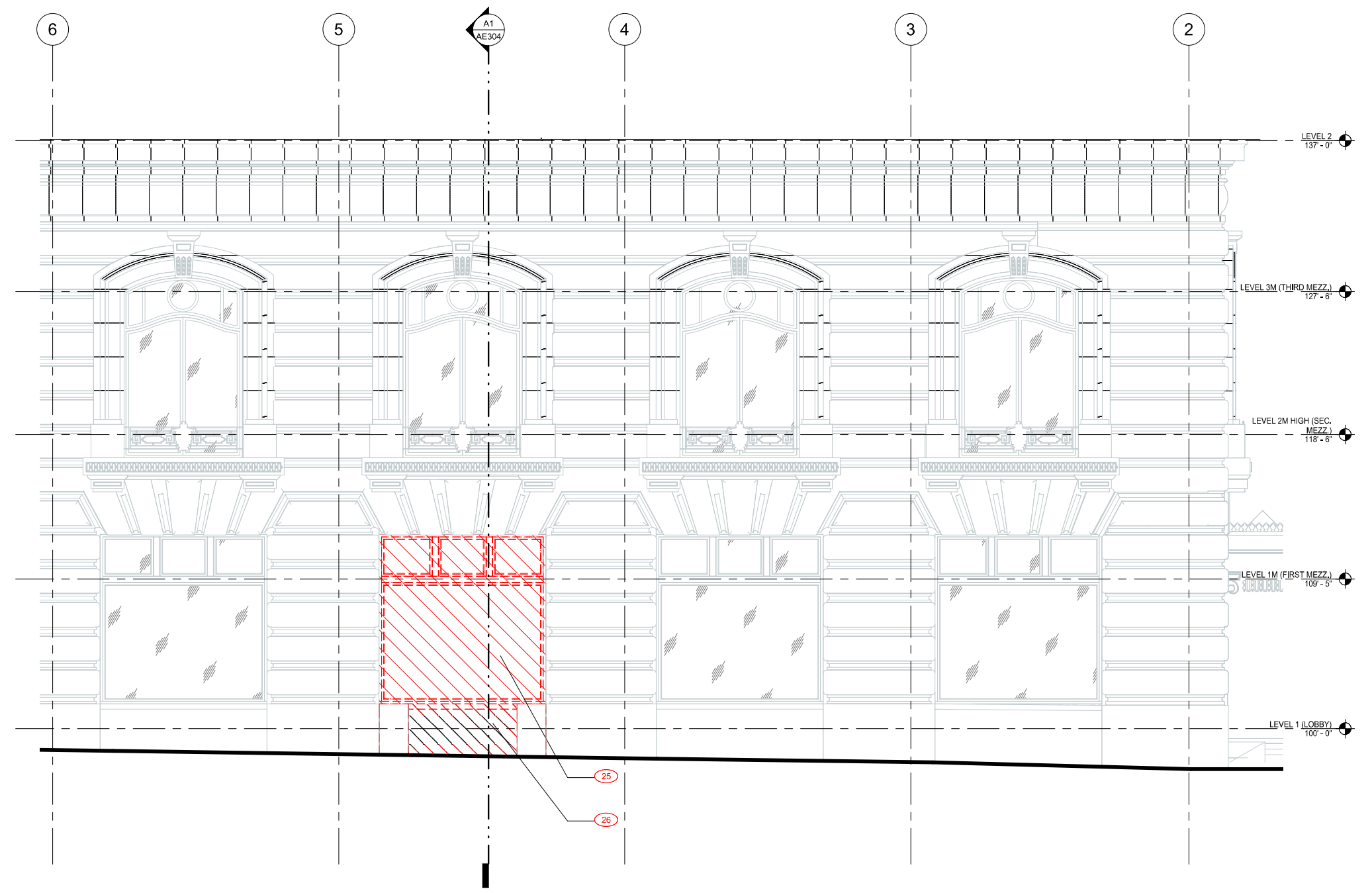
A1 WEST EXTERIOR ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"

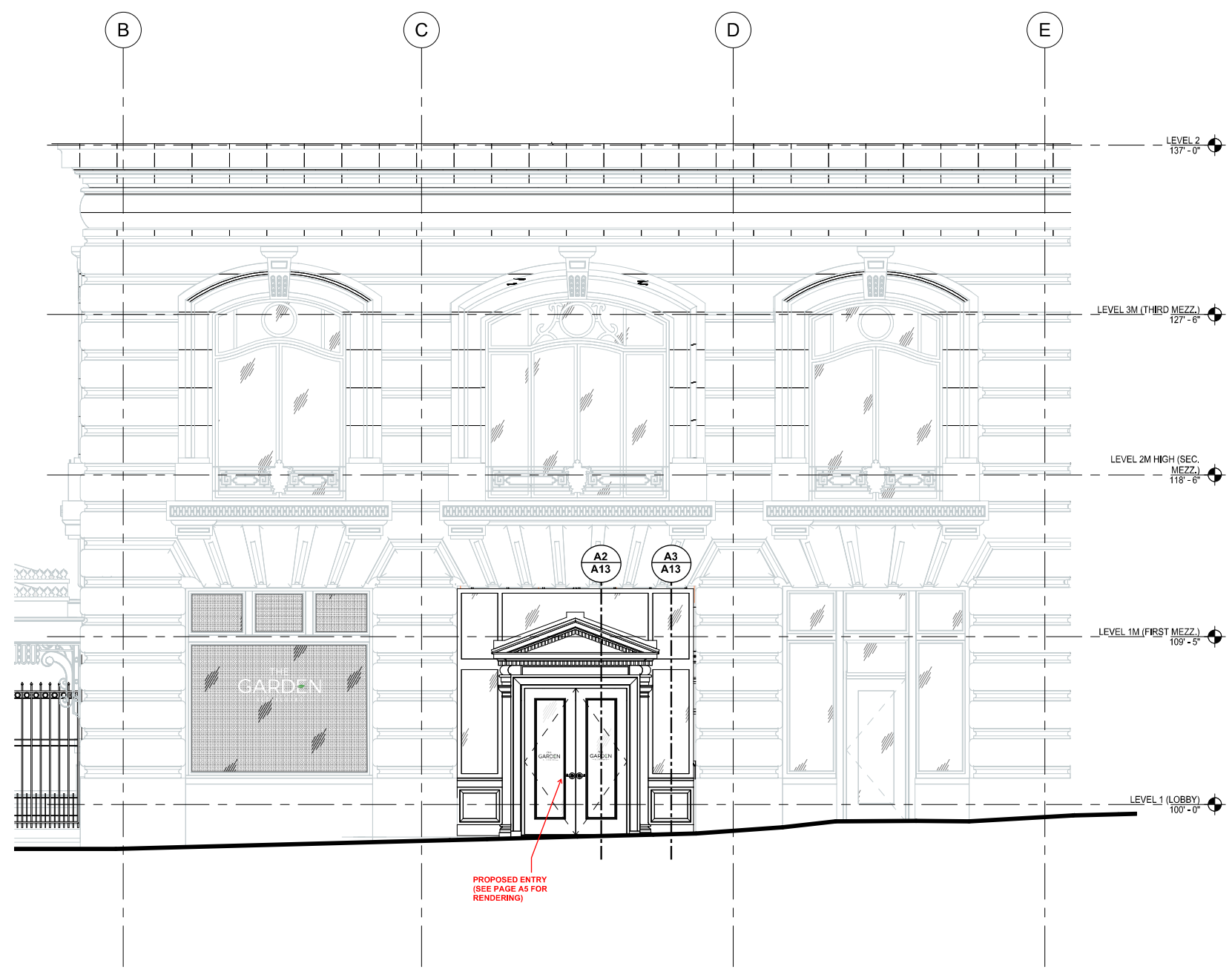
- DEMOLITION NOTES**
- 1 DEMO FLOOR FINISH
 - 2 DEMO FLOOR FINISH AND TOP 3/8" OF CONCRETE SLAB AT LOCATIONS OF FRP STRIPS
 - 3 DEMO FLOOR FINISHES TO ACCESS CONCRETE SLAB FOR SHEAR STUD ADDITIONS
 - 4 DEMO CONCRETE SLAB
 - 5 DEMO STUD WALL
 - 6 DEMO VERTICAL STRIP OF WALL TO FIT HSS STEEL STRONG BACK
 - 7 DEMO CONCRETE WALL
 - 8 DEMOLISH CMU WALL
 - 9 DEMO MASONRY
 - 10 DEMO MASONRY AROUND EXISTING COLUMN TO CREATE A MINIMUM 3" GAP.
 - 11 DEMO CLAY BRICK INFILL WALL
 - 12 DEMO COLUMN CLADDING
 - 13 DEMO STAIR
 - 14 DEMO RAILING
 - 15 DEMO WALK-IN UNIT
 - 16 DEMO EQUIPMENT
 - 17 DEMO PLUMBING FEATURE
 - 18 DEMO TOILET PARTITION
 - 19 DEMO FOUNTAIN
 - 20 DEMO MILLWORK
 - 21 DEMO COUNTER
 - 22 SALVAGE AND RE-USE LOCKERS
 - 23 DEMO LOCKERS
 - 24 SALVAGE AND RE-USE CUBICLE PARTITIONS
 - 25 DEMO CUBICLE PARTITIONS
 - 26 DEMO ROSTRUM TO SLAB
 - 27 DEMO WINDOW
 - 28 DEMO GRANITE WATERCOURSE
 - 29 DEMO BALCONY
 - 30 CREATE NEW OPENING IN CONCRETE SHEAR WALL
 - 31 DEMO - SEE MECHANICAL
 - 32 DEMO - SEE PLUMBING
 - 33 DEMO - SEE ELECTRICAL
 - 34 DEMO - SEE STRUCTURAL
 - 35 DEMO DOOR
 - 36 REMOVE, STORE AND REINSTALL
 - 37 REMOVE, STORE AND REINSTALL EQUIPMENT
 - 38 REMOVE, STORE AND REINSTALL SHELVING
 - 39 DEMO - ACOUSTICAL PANEL
 - 40 REMOVE, RE UPHOLSTER AND REINSTALL ACOUSTICAL PANEL
 - 41 DEMO - WALL BASE
 - 42 DEMO EXISTING LAY-IN CEILING
 - 43 DEMO EXISTING GYP. CEILING
 - 44 DEMO LIGHT FIXTURE
 - 45 DEMO CEILING DEVICE
 - 46 NEW OPENING IN THE FLOOR FOR ACCESS GRATE
 - 47 NEW OPENING FLOOR FOR ALTERNATING TREAD DEVICE
 - 48 DEMO WALLS
 - 49 DEMO COLUMN WRAP FOR COLUMN STRENGTHENING (SEE STRUCTURAL)
 - 50 DEMO CEILING FOR BEAM STRENGTHENING (SEE STRUCTURAL)



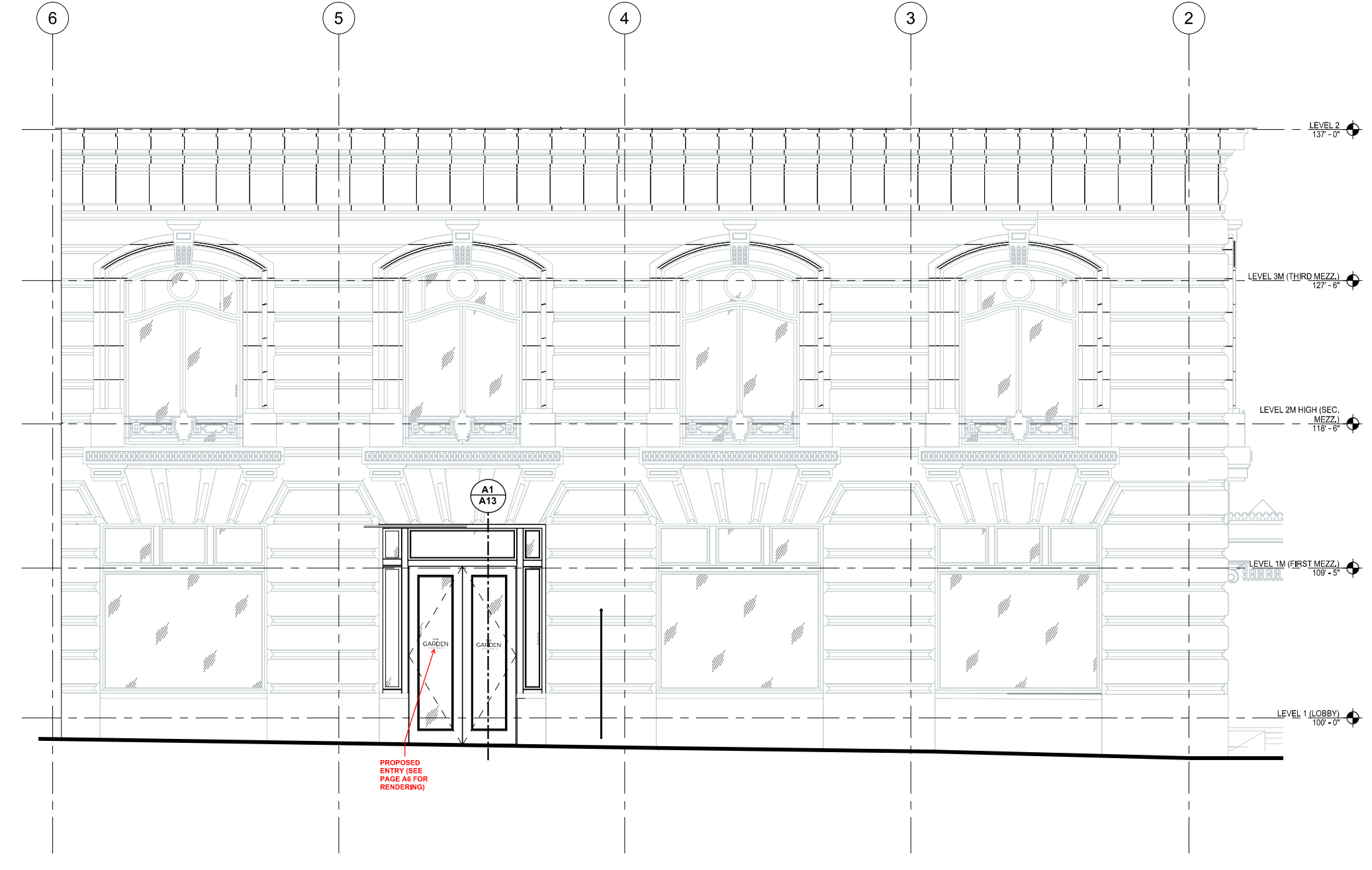
D1 ENLARGED THE GARDEN SOUTH EXTERIOR ELEVATION - DEMO
SCALE: 1/4" = 1'-0"



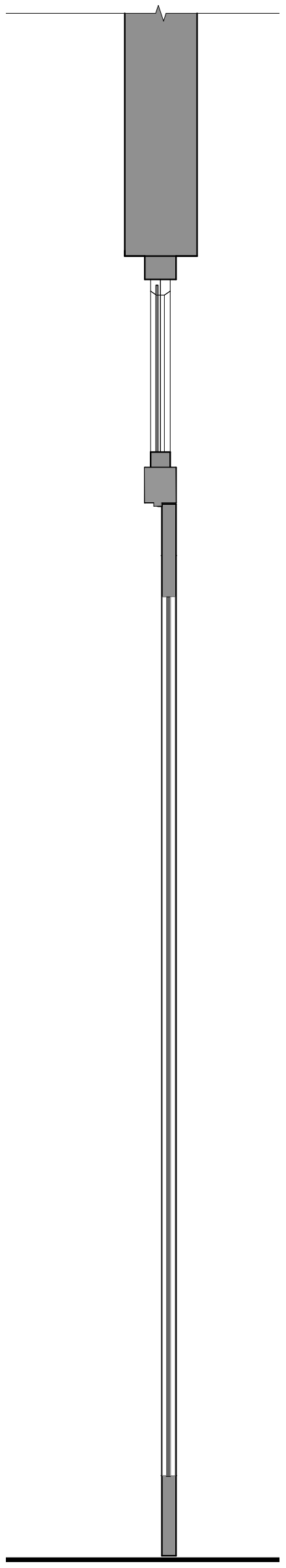
D4 ENLARGED THE GARDEN WEST EXTERIOR ELEVATION - DEMO
SCALE: 1/4" = 1'-0"



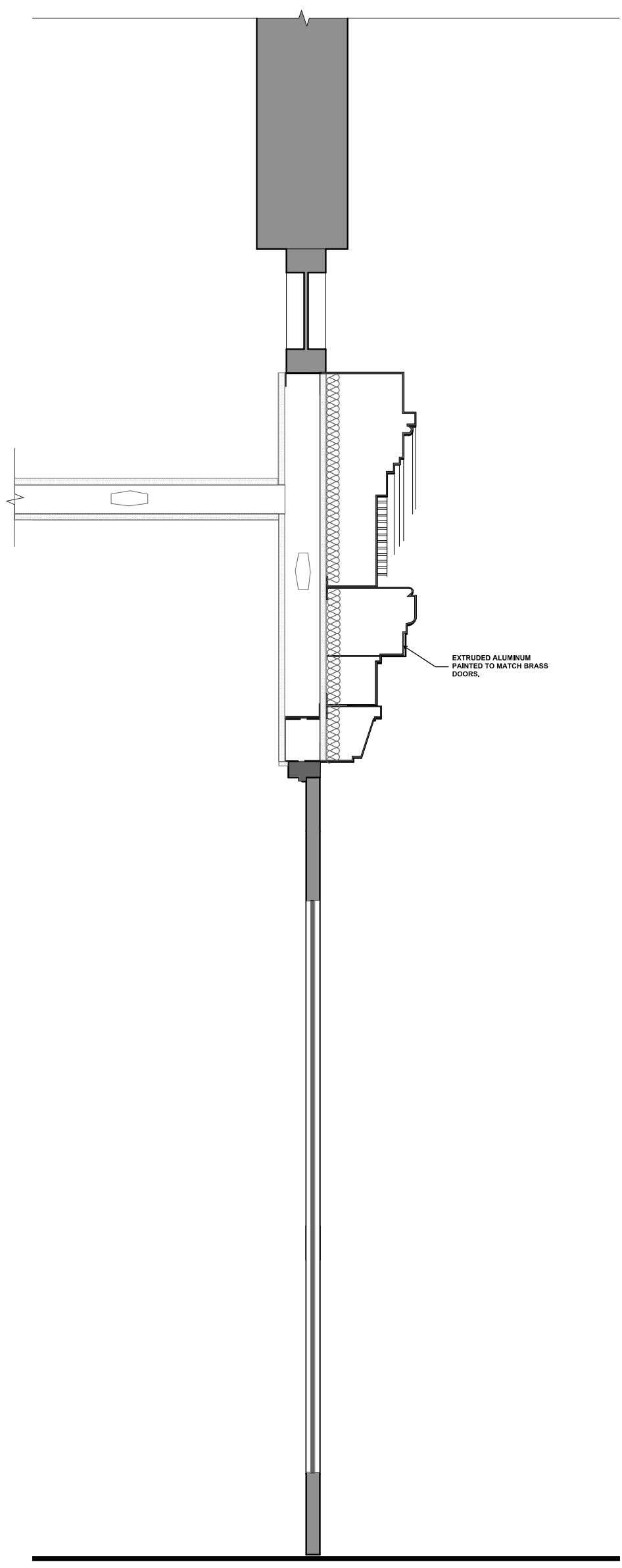
A1 ENLARGED THE GARDEN SOUTH EXTERIOR ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



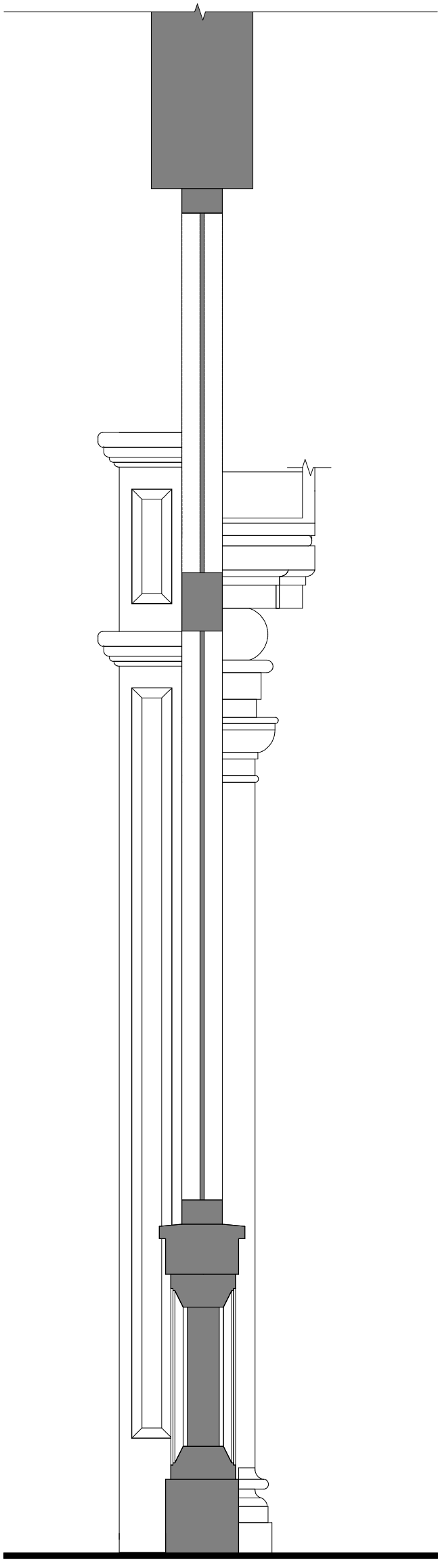
A4 ENLARGED THE GARDEN WEST EXTERIOR ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



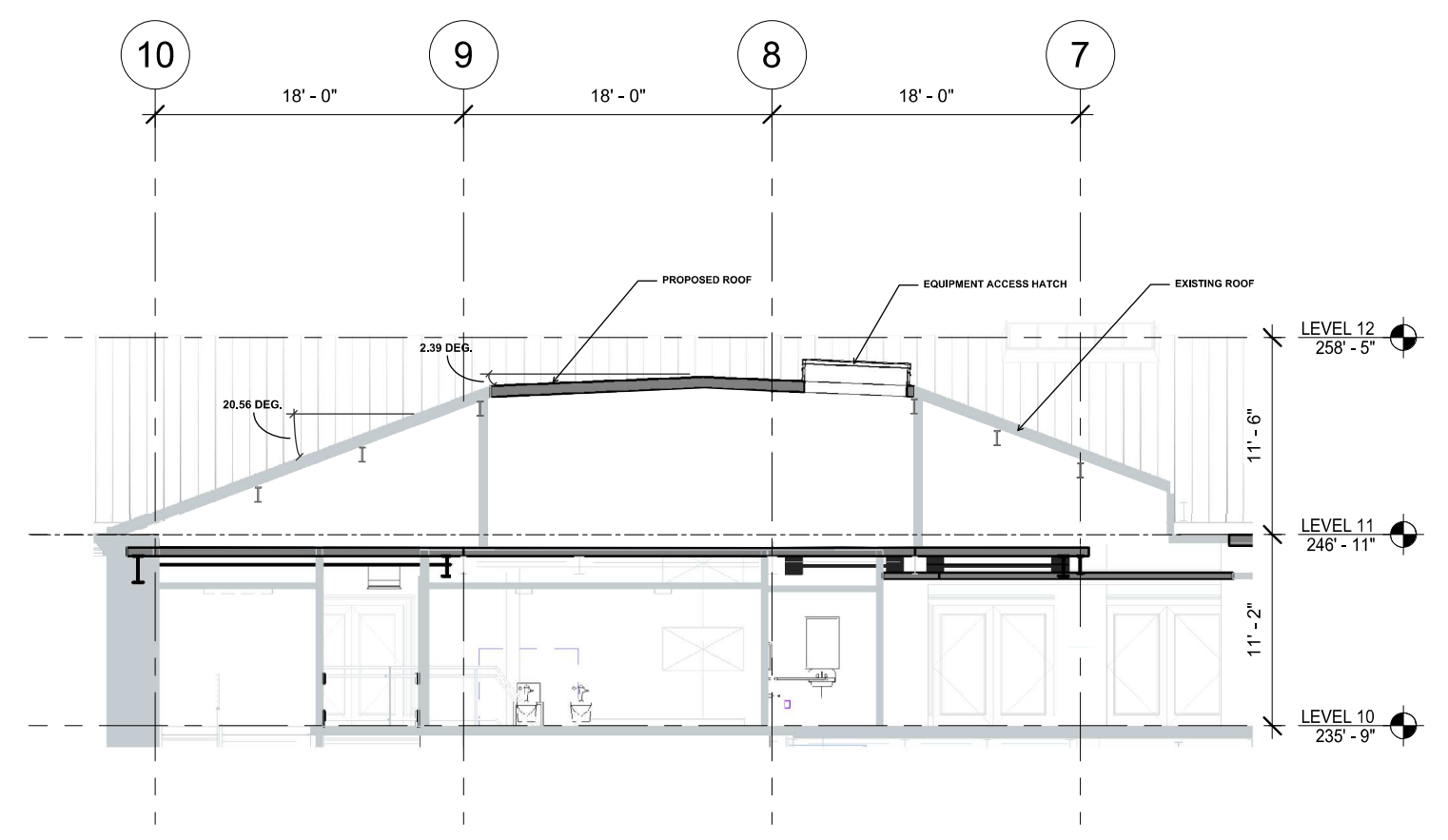
A1 WEST ENTRY SECTION
 SCALE: 1-1/2" = 1'-0"



A2 SOUTH ENTRY SECTION
 SCALE: 1-1/2" = 1'-0"



A3 SOUTH ENTRY SECTION AT SPANDEL
 SCALE: 1-1/2" = 1'-0"



A4 ROOF SECTION
 SCALE: 3/8" = 1'-0"

ATTACHMENT E: ANALYSIS OF STANDARDS FOR D-1

Zoning Ordinance Standards for D-1 (Central Business District)

Purpose Statement: The purpose of the D-1 (Central Business District) is to provide for commercial and economic development within Salt Lake City's most urban and intense areas. A broad range of uses, including very high density housing, are intended to foster a twenty four hour activity environment consistent with the area's function as the business, office, retail, entertainment, cultural and tourist center of the region. Development is intended to be very intense with high lot coverage and large buildings that are placed close together while being oriented toward the pedestrian with a strong emphasis on a safe and attractive streetscape and preserving the urban nature of the downtown area. This district is appropriate in areas where supported by applicable master plans. The standards are intended to achieve established objectives for urban design, pedestrian amenities and land use control.

Standard	Proposed	Finding
Front Yard: No Minimum	No change proposed.	Complies
Rear Yard: No Minimum	No change proposed.	Complies
Side Yard: No Minimum	No change proposed.	Complies
Maximum Building Height: The maximum building height for a corner building is 375" and the minimum building height is 100'.	No change proposed.	Complies

ATTACHMENT F: ANALYSIS OF STANDARDS FOR MINOR ALTERATIONS IN A HISTORIC DISTRICT

Standards for Certificate of Appropriateness for Altering of a Landmark Site or Contributing Structure (21A.34.020.G)

In considering an application for a Certificate of Appropriateness for the alteration of a contributing structure in a historic district, the Historic Landmark Commission shall find that the project substantially complies with all of the general standards that pertain to the application and that the decision is in the best interest of the City. The proposal is reviewed in relation to those that pertain in the following table.

A Preservation Handbook for Commercial Properties & Districts in Salt Lake City applies to this minor alteration. The Design Objectives and related design guidelines are referenced in the following review where they relate to the corresponding Historic Design Standards for Alteration of a Contributing Structure (21A.34.020.G) and can be accessed via the links below. Design Guidelines as they relate to the Design Standards are identified in [Attachment G](#) to this report.

<http://www.slcdocs.com/historicpreservation/GuideCom/CommercialGuidelines.pdf>

https://codelibrary.amlegal.com/codes/saltlakecityut/latest/saltlakecity_ut/o-o-o-66379

Standard	Rationale	Findings
Standard 1: A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment;	The proposed use requires minimal change to the defining features of the building and its site. Hotel Utah was originally constructed as a hotel. Today, the renamed Joseph Smith Memorial Building, houses two restaurants, a theatre, a chapel, and office space.	Complies
Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;	The proposal will not alter or remove any features that characterize the Landmark Site.	Complies
Standard 3: All sites, structure and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed.	The proposed alterations to the South and West elevations have historical basis. The original structure was constructed to have an entry way where the proposed door on South Temple is located, and 15 E South Temple had a street level access on Main Street historically. The cooling towers were added in 1993 and will be removed and replaced with a compatible copper standing seam metal roof.	Complies
Standard 4: Alterations or additions that have acquired historic significance in their own right shall be retained and preserved.	Alterations and additions to the Landmark Site that have acquired significance in their own right are not a part of this proposal. The alteration to the entry on South Temple and the roof top cooling towers were constructed in the early 1990's and do not have historical significance.	Complies

<p>Standard 5: Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.</p>	<p>The Applicant proposes to preserve the matte glazed terracotta exterior material, ornamentation, and nearly all of the original window and door openings. One window is proposed to become a street level door opening to access a restaurant.</p>	<p>Complies</p>
<p>Standard 6: Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.</p>	<p>The proposal includes the replacement of a missing architectural feature on the South Temple elevation. An entry door was converted to a window during a early 1990's renovation project. The Applicant has used historic photographs to create an accurate duplication of the original door on South Temple Street that is proposed to be returned to its original location. The addition of new roofing material in place of the cooling towers will aid in restoring the roof form using matching material to existing copper roofing.</p>	<p>Complies</p>
<p>Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.</p>	<p>Does not apply. No chemical or physical treatments are being proposed.</p>	<p>This standard is not applicable.</p>
<p>Standard 8: Contemporary designs for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.</p>	<p>The proposal will not destroy significant historical material. Much of the original material was destroyed during renovations in the 1940's, 1960's, 1970's, and 1990's. The proposal is compatible with the size, scale, color, material and character of the property and environment.</p>	<p>Complies</p>
<p>Standard 9: Additions or alterations to structures and objects shall be done in such a manner that if such additions or alteration were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment.</p>	<p>The proposed alterations will be constructed in such a manner that if removed in the future, the essential form and integrity of the structure will be unimpaired. The two proposed doors are compatible scale to the existing doors and the architectural features, such as the portico over the proposed South Temple entry, are compatible with the primary entry's portico. The project will protect the historic integrity of the property and its environment.</p>	<p>Complies</p>
<p>10. Certain building materials are prohibited including the following: a. Aluminum, asbestos, or vinyl cladding when applied directly to an original or historic materials.</p>	<p>The proposal does not include aluminum, asbestos, or vinyl cladding. These materials will not be applied to the existing historic materials.</p>	<p>Complies</p>

ATTACHMENT G: APPLICABLE DESIGN GUIDELINES

Design Guidelines for Historic Commercial Properties & Districts in Salt Lake City, are the relevant historic guidelines for this design review and are identified below for the Commission's reference.

<http://www.slcdocs.com/historicpreservation/GuideCom/CommercialGuidelines.pdf>

Design Objective: As important stylistic elements of a building's character, preserve and maintain historic architectural details and features. Avoid removing or concealing historic architectural details. If repair or replacement is necessary, match replacements to the original as closely as possible in material, design, color and texture. The roof form, its pitch, materials and associated parapets are all character-defining features that should be retained and preserved.

2.17 New openings should be located on side or rear facades rather than the main facade to minimize visual impact.

6.1 Historic roof forms, features and materials should be retained.

- Removing original or early roofing material that is in good condition should be avoided.
- Avoid altering the angle of an original roof.
- Original features including parapets, cornices, decorative features and chimneys should be retained.

6.4 Introducing new roof elements that detract from a building's historic appearance and character should be avoided.

- New roof elements should not be highly visible from the street or obscure original features.

ATTACHMENT H: PUBLIC PROCESS AND COMMENTS

The following is a list of public meetings that have been held, and other public input opportunities, related to this project:

Public Hearing Notice:

Notice of the public hearing for this project includes:

- Public hearing notice mailed on November 17, 2022.
- Public hearing notice posted on City and State websites on November 17, 2022.
- Sign posted on the property on November 22, 2022.

Public Comments:

Staff has not received any public comment at the time of this publishing.