



# Staff Report

PLANNING DIVISION  
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Historic Landmark Commission  
From: Katia Pace, Principal Planner (801)-535-6354, [katia.pace@slcgov.com](mailto:katia.pace@slcgov.com)  
Date: September 1, 2022  
Re: PLNHLC2022-00665 – Minor Alterations for an addition and chimney removal

## Minor Alteration

**PROPERTY ADDRESS:** 130 U Street  
**PARCEL ID:** 09-32-479-003-0000  
**MASTER PLAN:** Avenues Master Plan  
**ZONING DISTRICT:** SR-1A, Historic Preservation Overlay (Capitol Hill)  
**DESIGN GUIDELINES:** Residential Design Guidelines

### REQUEST:

Thom Jakab, the architect representing the property owner, is requesting a Minor Alteration approval to remove a brick chimney along with an addition to the home located at 130 U Street. This proposal involves an infill addition within an existing rear porch. The intent behind the infill addition is to expand and remodel the kitchen and remove the rear chimney as part of the expansion. The subject property is located within the Avenues Local Historic District.

### RECOMENDATION:

Based on the information in this staff report, Planning Staff recommends that the Historic Landmark Commission approve the Certificate of Appropriateness (CoA) for the proposed addition and deny the CoA for the proposed removal of the chimney.

## ATTACHMENTS

- A. [Vicinity Map](#)
- B. [Historic Survey Information](#)
- C. [Site Plan & Elevations](#)
- D. [Additional applicant Information](#)
- E. [Analysis of Standards](#)
- F. [Historic Design Guidelines](#)
- G. [SR-1A Zoning Standards](#)
- H. [Public Process and Comments](#)

## BACKGROUND

This is a one and a half story Victorian house built in 1904. The massing, characteristic complex roof slope, and wood and brick construction of this house contribute to the architectural character of the Avenues Historic District. The chimneys are a character defining feature of the Victorian architectural style.

The brick chimney in question is part of the original structure. According to the previous owners the original home had four chimneys, one has been removed on the rear north side.



**West Elevation** - Street View showing two front chimneys (not showing proposed chimney to be removed)

## PROJECT DESCRIPTION

The applicant submitted a Minor Alteration application for an infill addition within an existing rear porch to expand and remodel the kitchen and remove the rear chimney as part of the expansion. The home currently has three chimneys and two of the existing chimneys would remain.

The request is primarily an infill addition within an existing rear porch. The intent behind the infill addition is to expand and remodel the kitchen. To expand the kitchen, minor alterations are requested. The alterations are the following:

1. Remove an existing chimney.
2. Remove two sections of exterior walls – east (rear elevation) and south (side elevation towards the rear).
3. Replace existing double hung window with smaller window to allow for new kitchen sink on the interior.

The proposed will include the installation of a new door (on the addition), replace a window on the south side (original part of the home) and a new folding window wall on the east. This will be

a pass-thru window from the kitchen to the exterior patio, this window will be placed on the addition. The infill walls on the south and east will be smooth clad Alaskan yellow cedar. In addition to the alterations made to the existing structure, a new wood pergola and concrete patio will be added at the rear of the existing structure.

The proposed window replacement, new windows and door will be aluminum/wood clad and will have the same profile and depth to the façade of the building. The outline of the original brick window opening will be retained.

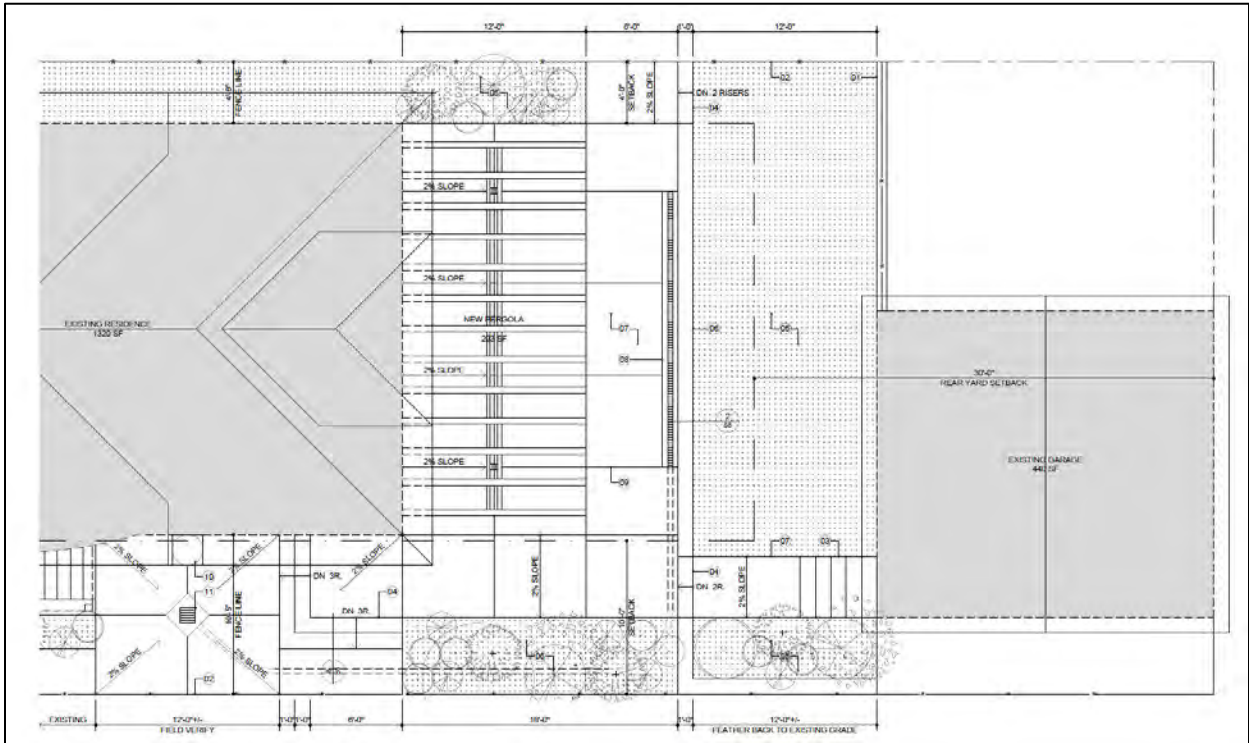
Staff is of the opinion that the proposed addition meets the guidelines and standards as outlined in Attachments E & F and could have been approved at a Staff level. However, the removal and loss of one of the chimneys could have a detrimental effect on the architectural integrity of this home. Staff finds that the removal of the chimney does not meet approval standards and guidelines for issuance of a CoA. Therefore, staff is bringing the project in its entirety to the commission for review and a decision.



**South Elevation** – proposed drawing of the addition & existing



**East Elevation** –existing photo & proposed drawing of the addition



**Proposed Site Plan** – addition on existing floorplan & pergola

## KEY CONSIDERATIONS

The key considerations listed below have been identified through the analysis of the project:

1. Removal of a Chimney
  - a. Loss of Character Defining Feature
  - b. Visibility
  - c. Safety & Seismic Threat
2. Removing a Window on the Rear
3. Standards for a CoA

### Issue 1 – Removal of a Chimney

The applicant is seeking permission to remove the rear chimney to expand the kitchen.



**West Elevation** – showing from the rear of the home the proposed chimney to be removed

### Loss of Character Defining Feature

The chimney is a character defining feature of the subject property. According to the Residential Design Guidelines (Chapter 7, Roofs) for historic properties, “Chimneys and dormers can be major character defining features of the roofscape and are often designed to great effect to crown and embellish the architectural composition. In many instances they combine functionality with great decorative impact.” (Part II, 7:1) The character of historical roof should be preserved, including its form, features, and materials whenever feasible. Historic chimneys and their details should be retained.” (Part II, 7.2) Staff finds that removing the chimney conflicts with applicable design guidelines.

### **Safety & Seismic Threat**

According to a structural engineer (see Attachment D) hired by the property owner, “unreinforced brick masonry chimneys represent a serious seismic threat to the safety of residents and the general public in our city. They are vulnerable to even moderate earthquake forces as documented from California and other areas. The large mass (weight) of the brick and mortar extending above the roof will fall, perhaps in one large piece onto and through the roof or to the ground crushing what or whomever is in the way. The probability of such an event is relatively high.” Staff’s suggestion is to reinforce the chimney.

Staff researched this issue and found some information from a publication from FEMA 547, which says: “reinforcing and filling the firebox would improve the strength of the chimney. Anchorage of the chimney to floor, roof and ceiling levels needs to be provided in conjunction with chimney infilling. Filling the chimney will reduce the falling hazard of an unreinforced chimney, by providing strength and stiffness continuity at the commonly seen weak points (roof line and transitions in width). This rehabilitation measure is most often used for buildings of historical significance where there is a strong desire to maintain the current appearance.”

### **Visibility**

The applicant argues (see Attachment D) that the chimney has little visibility from the street. Across the street, on the west sidewalk, a pedestrian would have a glimpse of the top of the chimney, but this is a very limited view with a narrow cone of vision. U Street is a one-way street, and a passenger on a vehicle would not perceive the presence of the rear chimney. However, a Google Maps image from Streetview shows a picture of the chimney.



**Street View** – not showing proposed chimney to be removed



**Street View** – view of the chimney from Google’s Streetview



Proposed smaller window

### Issue 2 – Replacing a Window in the Rear

The applicant is requesting to remove an existing double hung window and replace it with a shorter window to allow for a new kitchen sink on the interior. Windows, like the chimney, are a character defining feature. However, the Residential Design Guidelines are more specific in pointing it out that preservation of original windows is especially important on primary facades, and “greater flexibility in installing new windows may be appropriate on rear walls or areas not visible from the public way.”

In this case the proposed window to be replaced would be on the rear of the south elevation, and it will be shielded by an existing 6 ft. wood fence. Making it not visible from the public way.

### Issue 3 - Standards for CoA

As discussed in the table above Staff has found the proposed addition generally meets the requirements set forth in Section 21A.34.020(G). The proposed addition is in keeping with the same design and style as the original home and will be constructed in such a way that the addition will not negatively impact the historic integrity of the structure. The addition will provide more living space for the building’s residents and will continue the historic use of the property as a residential structure. The addition is subordinate to the main structure and does not detract from the historic appearance or character of the building or the surrounding neighborhood. Except for the proposed removal of the chimney, staff finds the proposed addition meets the standards of approval for a CoA as outlined in Attachment E.

## NEXT STEPS

If the Historic Landmark Commission agrees with Staff’s recommendation and approves the rear addition as proposed, but denies the removal of the chimney, the applicant would need to revise the request to reinforce the chimney and meet the standards of approval before a CoA could be issued and building permits could be obtained.

If the Historic Landmark Commission approves the rear addition as proposed, a CoA will be issued, and the applicant will be able to file for a building permit and proceed to the construction stage of his project.

If the Historic Landmark Commission denies the addition as proposed, the applicant will have to reapply for a minor alteration with a revised design that addresses the standards and guidelines the commission finds the project to be in conflict with.

# ATTACHMENT A: VICINITY MAP



## **ATTACHMENT B: HISTORIC SURVEY INFORMATION**



Utah State Historical Society  
Historic Preservation Research Office  
**Structure/Site Information Form**

1  
IDENTIFICATION

Street Address: 130 U Street Plat Bl. Lot  
Name of Structure: T. R. S.  
Present Owner: Corbitt, C. Whitney & Virginia UTM:  
Owner Address: Tax #: 5-1756

2  
AGE/CONDITION/USE

Original Owner: Lavett S. Wilson Construction Date: 1904<sub>ca.</sub> Demolition Date:  
Original Use: single family  
Present Use: Occupants:  
 Single-Family  Park  Vacant  
 Multi-Family  Industrial  Religious  
 Public  Agricultural  Other  
 Commercial  
Building Condition: Integrity:  
 Excellent  Site  Unaltered  
 Good  Ruins  Minor Alterations  
 Deteriorated  Major Alterations

3  
STATUS

Preliminary Evaluation: Final Register Status:  
 Significant  National Landmark  District  
 Contributory  National Register  Multi-Resource  
 Not Contributory  State Register  Thematic  
 Intrusion

4  
DOCUMENTATION

Photography: Date of Slides: 5/77 Date of Photographs:  
Views: Front  Side  Rear  Other  Views: Front  Side  Rear  Other   
Research Sources:  
 Abstract of Title  City Directories  LDS Church Archives  
 Plat Records  Biographical Encyclopedias  LDS Genealogical Society  
 Plat Map  Obituary Index  U of U Library  
 Tax Card & Photo  County & City Histories  BYU Library  
 Building Permit  Personal Interviews  USU Library  
 Sewer Permit  Newspapers  SLC Library  
 Sanborn Maps  Utah State Historical Society Library  Other

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

Salt Lake City Building Permit, January 26, 1915, #6659.  
Polk, Salt Lake City Directories, 1905, 1920, 1937.

Architect/Builder:

Building Materials: brick

Building Type/Style: Victorian eclectic

Description of physical appearance &amp; significant architectural features:

(Include additions, alterations, ancillary structures, and landscaping if applicable)

This is a 1 1/2 story Victorian home, probably of pattern-book design, whose complicated massing shows influence of the Queen Anne Style. There is a main hip roof with a front dormer window, a gable-roofed front porch, and gabled north and south side bays. The porch gable has wood shingle siding, returns, and an oval window with decorative molding around the frame. The porch has round and square wooden columns. Next to it is the curved front bay window of brick with a leaded glass center transom.

---Thomas W. Hanchett



## Statement of Historical Significance:

- |   |   |  |   |
|---|---|--|---|
| <input type="checkbox"/> Aboriginal Americans | <input type="checkbox"/> Communication          | <input type="checkbox"/> Military        | <input type="checkbox"/> Religion           |
| <input type="checkbox"/> Agriculture          | <input type="checkbox"/> Conservation           | <input type="checkbox"/> Mining          | <input type="checkbox"/> Science            |
| <input type="checkbox"/> Architecture         | <input type="checkbox"/> Education              | <input type="checkbox"/> Minority Groups | <input type="checkbox"/> Socio-Humanitarian |
| <input type="checkbox"/> The Arts             | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Political       | <input type="checkbox"/> Transportation     |
| <input type="checkbox"/> Commerce             | <input type="checkbox"/> Industry               | <input type="checkbox"/> Recreation      |   |

The Victorian Style, massing, characteristic complex roof slope, and wood and brick construction of this house contribute to the architectural character of the Avenues.

This house was built about 1904 for Sarah H. Taylor, whose family owned this whole lot known as Victoria Place Subdivision. In 1908 Lavett S. Wilson bought the property. Wilson also owned other property on this block. In 1920 he sold it to Martin Christopherson, who was a gardner at the University of Utah. Following his death in the late 1920's, ownership passed to his widow, Janet L. Christopherson. In 1936 Mrs. Florence P. Henderson bought it. She worked as a nurse at the University of Utah and owned the house through the 1940's.

Utah State Historical Society  
Historic Preservation Research Office

Site No. \_\_\_\_\_

Property Type: 112

RATCH KEY  
1805052808

Structure/Site Information Form

1  
IDENTIFICATION

Street Address: 00130 U ST

UTM: 14928 14928

Name of Structure:

T. 01.0 N R. 01.0 E S. 32

Present Owner: CORBITT \* C \* WHITNEY \* & VIRGINIA M  
134 U ST

Owner Address: SLC, UTAH

84103

Year Built (Tax Record): 1901

Effective Age: 1932

Tax #: 05 1756

Legal Description

01 Kind of Building: RESIDENCE

LOT 9 & N 16 1/4 FT OF LOT 10 VICTORIA PLACE

2  
STATUS/USE

Original Owner:

Construction Date:

Demolition Date:

Original Use:

Present Use:

Building Condition:

Integrity:

Preliminary Evaluation:

Final Register Status:

Excellent

Site

Unaltered

Significant

Not of the

National Landmark

District

Good

Ruins

Minor Alterations

Contributory

Historic Period

National Register

Multi-Resource

Deteriorated

Major Alterations

Not Contributory

State Register

Thematic

3  
DOCUMENTATION

Photography:

Date of Slides:

Slide No.:

Date of Photographs:

Photo No.:

Views:  Front  Side  Rear  Other

Views:  Front  Side  Rear  Other

Research Sources:

Abstract of Title

Sanborn Maps

Newspapers

U of U Library

Plat Records / Map

City Directories

Utah State Historical Society

BYU Library

Tax Card & Photo

Biographical Encyclopedias

Personal Interviews

USU Library

Building Permit

Obituary Index

LDS Church Archives

SLC Library

Sewer Permit

County & City Histories

LDS Genealogical Society

Other

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

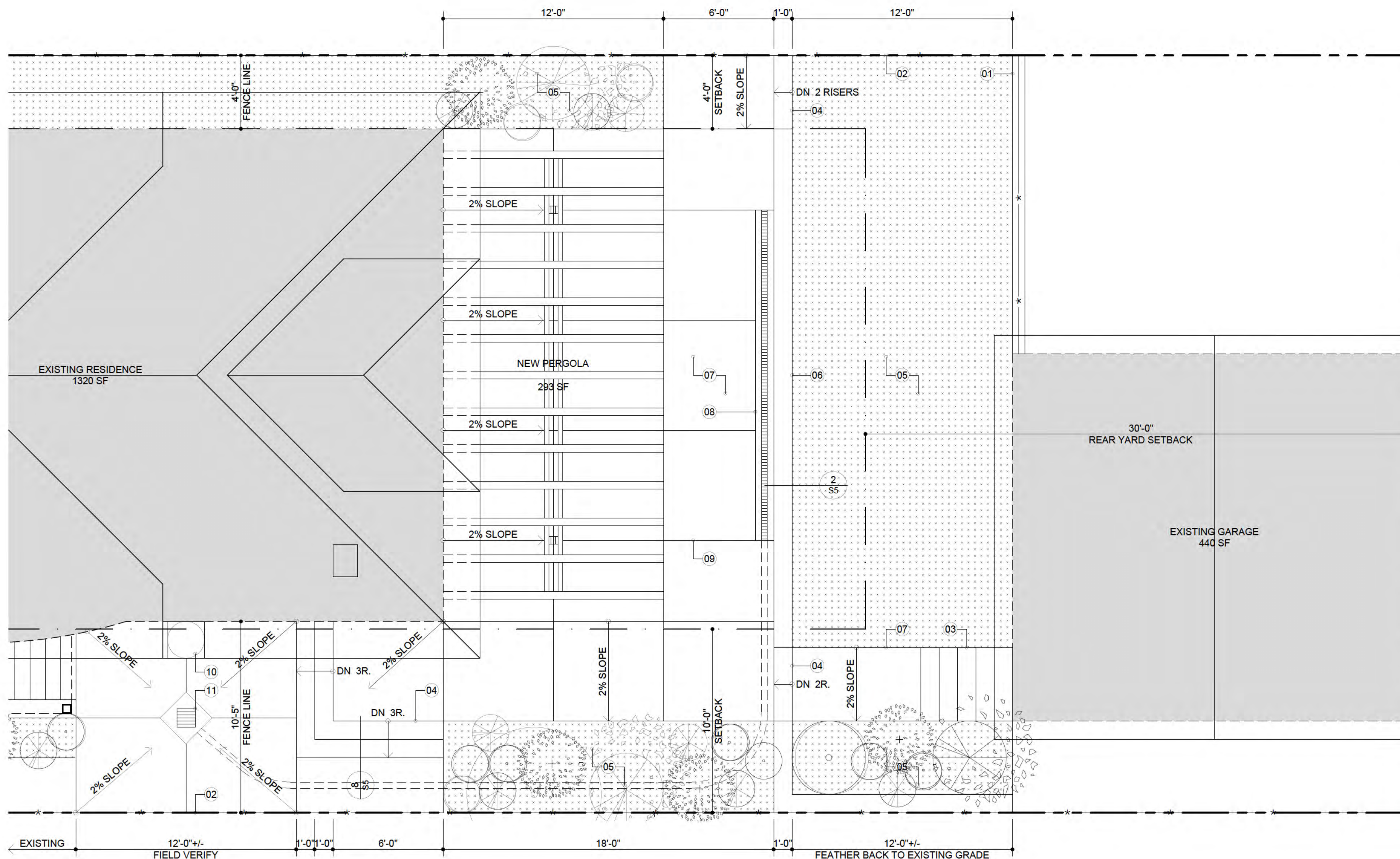
Researcher:

Date:

# **ATTACHMENT C: SITE PLAN & ELEVATIONS**



**A** SALT LAKE COUNTY RECORD  
T1 SCALE: NTS



**B** ENLARGED SITE PLAN  
T1 SCALE: 1/4"=1'-0"

**KEY NOTES**

- 01 EXISTING RETAINING WALL AND FENCE.
- 02 EXISTING FENCE.
- 03 EXISTING STAIRS.
- 04 NEW STAIRS.
- 05 NEW LAWN / LANDSCAPE AREA. DEMO EXISTING IRRIGATION AND PROVIDE NEW. PLANTING N.I.C.
- 06 NEW CONCRETE RETAINING WALL.
- 07 NEW CONCRETE PATIO / SIDEWALKS
- 08 NEW TRENCH DRAIN. ROUTE TO SOUTH LANDSCAPE AREA & CONNECT TO DRY WELL.
- 09 NEW TOOLED CONTROL JOINT - TYPICAL.
- 10 RELOCATE EXISTING HEAT PUMP.
- 11 NEW 12" x 12" CATCH BASIN WITH DRY WELL. HARD PIPE TO LANDSCAPE AREA, PERFORATED PIPE WITHIN, AND FINALLY CONNECT LAST SECTION OF HARD PIPE TO CATCH BASIN.

**GENERAL NOTES**

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CODES.
- 2. THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR THE SAFETY & ADEQUACY OF HIS PLANT, APPLIANCES, METHODS & FOR DAMAGE WHICH MAY RESULT FROM THEIR IMPROPER REMOVAL, CONSTRUCTION, MAINTENANCE OR OPERATION. HE SHALL ERECT & PROPERLY MAINTAIN AT ALL TIMES PROPER SAFEGUARDS FOR THE PROTECTION OF WORKMEN, OWNER, AND OWNER'S PROPERTY & POST DANGER WARNINGS AGAINST HAZARDS CREATED BY CONSTRUCTION OPERATIONS.
- 3. THE CONTRACTOR ACKNOWLEDGES & AGREES THAT HE HAS AN INTRANSFERABLE & CONTRACTUAL OBLIGATION TO THE OWNER TO INSPECT THE WORK & SUPERVISE & SUPERINTEND THE PERFORMANCE OF THE WORK TO CONFIRM, CERTIFY, & CORROBORATE THAT THE WORK HAS BEEN EXECUTED ACCORDING TO THE CONTRACT DOCUMENTS.
- 4. THE CONTRACTOR GUARANTEES THAT HE IS FAMILIAR WITH THE CODES & REGULATIONS APPLICABLE TO THE WORK & THAT HE HAS THE SKILL, KNOWLEDGE, COMPETENCE, ORGANIZATION, & PLANT TO EXECUTE THE WORK IN COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, INCLUDING THE TIME SCHEDULE.
- 5. IF THERE IS DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS & THE ENGINEERING DRAWINGS THAT WOULD CAUSE AN IMPROPER INSTALLATION, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION.
- 6. DO NOT SCALE THE DRAWINGS. EXPLICIT DIMENSIONS HAVE PRECEDENCE OVER SCALE.
- 7. THE CONTRACTOR SHALL VISIT THE SITE & BE KNOWLEDGEABLE OF CONDITIONS THEREON PRIOR TO SUBMITTING A BID. HE SHALL VERIFY BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT & SHALL NOTIFY THE OWNER OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- 8. THE CONTRACTOR IS TO ABIDE BY THE UTAH DIVISION OF AIR QUALITY REQUIREMENTS PRIOR TO ANY EXTERIOR DEMOLITION & CONTACT THE UTAH DIVISION OF AIR QUALITY @ 801.536.4000

**ZONING SUMMARY**

DISTRICT: SR-1A

MAXIMUM BUILDING HEIGHT - PITCHED ROOFS: 23 OR AVERAGE HEIGHT OF OTHER PRINCIPAL BUILDINGS ON THE BLOCK FACE

EXTERIOR WALLS - ADJ. TO INTERIOR SIDE YARDS: 16' @ BUILDING SETBACK

MINIMUM YARD REQUIREMENTS:

FRONT YARD: 20' OR AVG. OF FRONT YARDS WITHIN BLOCK FACE

INTERIOR SIDE YARD: 4' & 10'

REAR YARD: 20% OF LOT DEPTH, BUT NEED NOT EXCEED 30'

ACCESSORY BUILDINGS AND STRUCTURES IN YARDS:

MAXIMUM BUILDING COVERAGE: 600 SF

PRIMARY ACCESSORY BUILDING: 400 SF MAX. 14' ROOF HEIGHT

EXTERIOR WALL HEIGHT: 9'

MAXIMUM BUILDING COVERAGE

TOTAL PRINCIPAL & ACCESSORY BUILDINGS NOT TO EXCEED 40% OF LOT AREA:

EXISTING BUILDING AREA CALCULATION	
LOT AREA	0.12 ACRE OR 5156 SF
PRIMARY RESIDENCE	1320 SF
GARAGE	440 SF
TOTAL	1760 SF
EXISTING BUILDING / LOT AREA:	1760 / 5156 = 34%

NEW BUILDING AREA CALCULATION	
LOT AREA	0.12 ACRE OR 5156 SF
PRIMARY RESIDENCE	1320 SF
GARAGE	440 SF
PERGOLA	293 SF
TOTAL	2053 SF
NEW BUILDING / LOT AREA:	2053 / 5156 = 40%

**DRAWING INDEX**

T1	TITLE SHEET & SITE PLAN
<b>DEMOLITION</b>	
AD1.1	DEMOLITION PLAN
AD1.2	DEMOLITION ELEVATION
AD1.3	DEMOLITION ELEVATION
<b>STRUCTURAL</b>	
S1	GENERAL NOTES
S2	FTG. & FDN. PLAN
S3	FLOOR FRAMING PLAN - MAIN LEVEL
S4	FLOOR FRAMING PLAN - UPPER LEVEL
S5	DETAILS
<b>ARCHITECTURAL</b>	
A1.1	FLOOR PLAN - MAIN LEVEL
A2.1	EXTERIOR ELEVATION
A2.2	EXTERIOR ELEVATION
A3.1	WALL SECTION
A4.1	ENLARGED KITCHEN PLAN
A4.2	INTERIOR ELEVATION
A4.3	INTERIOR ELEVATION

**SITE PLAN**

SCALE: 1/4" = 1'-0"

CONSTRUCTION DOCUMENTS

MCCANDLESS REMODEL  
130 U ST.  
SLC, UT



THOM JAKAB - AIA  
360 J ST. SALT LAKE CITY, UTAH 84103

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO USE OR REUSE OF THESE DOCUMENTS IS ALLOWED WITHOUT THE WRITING OF THE ARCHITECT WITH A PROPERLY FILED COMPENSATION.

PROJECT NO.	012022
DATE	07.29.22
SHEET	T1

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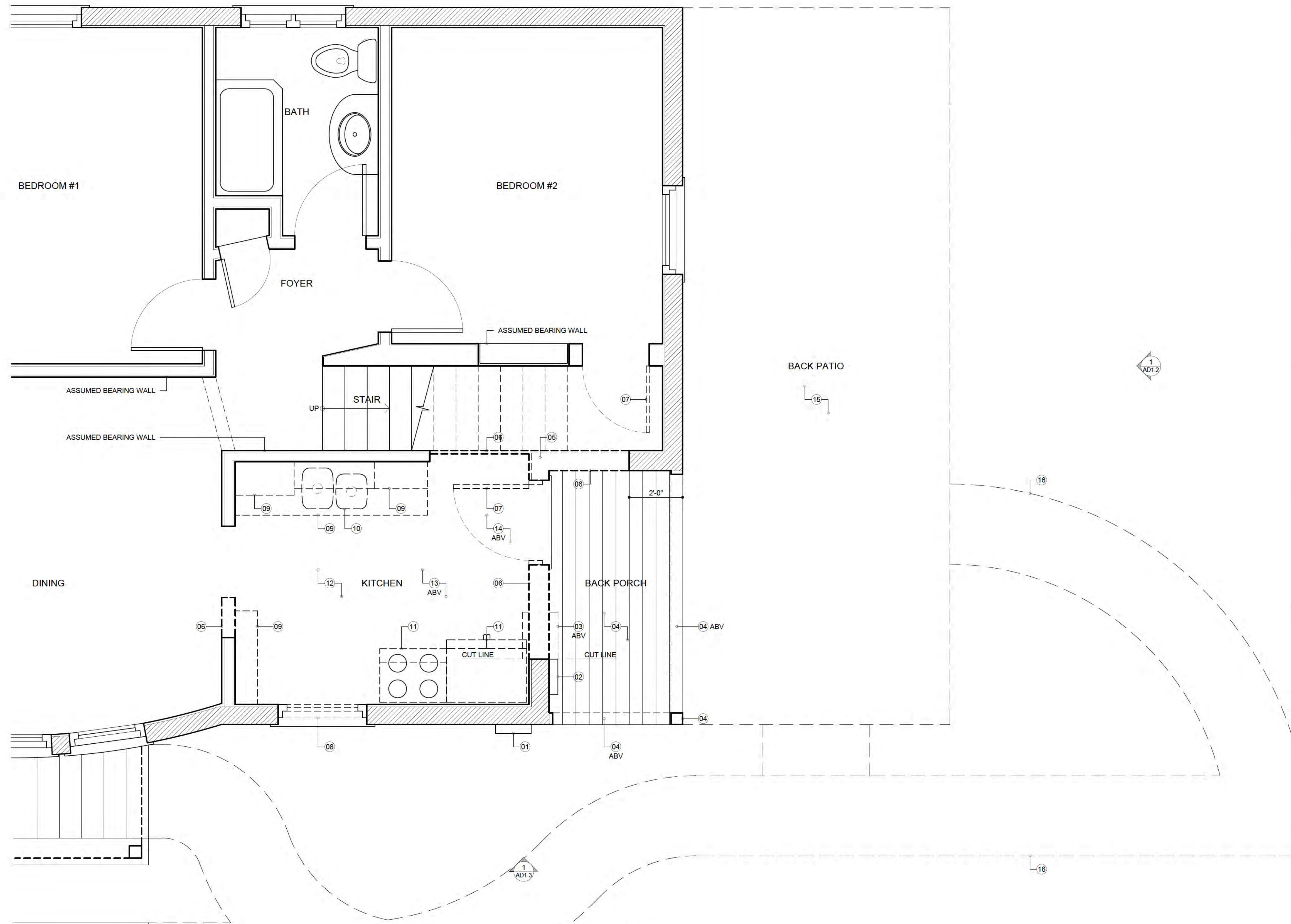
A

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C

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E



**KEY NOTES**

- 01 EXISTING METER
- 02 DISCONNECT, REMOVE AND REINSTALL ELECTRICAL PANEL. FIELD VERIFY NEW LOCATION WITH OWNER.
- 03 REMOVE EXISTING CHIMNEY.
- 04 EXPOSE EXISTING PORCH BEAM, COLUMN AND FOOTING FOR OBSERVATION BY STRUCTURAL ENGINEER OF RECORD.
- 05 EXPOSE EXISTING FOUNDATION AT LOCATION OF NEW COLUMN FOR OBSERVATION BY STRUCTURAL ENGINEER OF RECORD.
- 06 REMOVE WALL. SALVAGE BRICK.
- 07 REMOVE AND SALVAGE DOOR.
- 08 REMOVE AND SALVAGE WINDOW. EXISTING BRICK MOLD TO REMAIN.
- 09 REMOVE AND SALVAGE CABINETS.
- 10 REMOVE AND SALVAGE PLUMBING FIXTURE.
- 11 REMOVE AND SALVAGE APPLIANCE.
- 12 REMOVE FINISH FLOORING.
- 13 REMOVE AND SALVAGE LIGHTING FIXTURES.
- 14 EXPOSE AREA OF CEILING FRAMING ABOVE FOR OBSERVATION BY STRUCTURAL ENGINEER OF RECORD.
- 15 REMOVE CONCRETE / BRICK PATIO.
- 16 REMOVE CONCRETE WALK, COORDINATE REMOVAL WITH NEW WORK.

CONSTRUCTION DOCUMENTS

McCANDLESS REMODEL  
130 U ST.  
SLC, UT



THOM JAKAB - AIA  
380 J ST. SALT LAKE CITY, UTAH 84103

**GENERAL DEMOLITION NOTES**

- DEFINITIONS**
1. REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE, UNLESS INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND REINSTALLED.
  2. REMOVE AND SALVAGE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND DELIVER THEM TO THE OWNER READY FOR REUSE.
  3. REMOVE AND REINSTALL: DETACH ITEMS FROM EXISTING CONSTRUCTION, PREPARE THEM FOR REUSE, AND REINSTALL THEM WHERE INDICATED.
  4. EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.

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PROJECT NO.	012022
DATE	07.29.22
SHEET	AD1.1

**DEMOLITION PLAN**  
SCALE: 1/2"=1'-0"  
A AD1.1

**DEMOLITION PLAN**

SCALE: 1/2" = 1'-0"

1

2

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6

KEY NOTES

- 01 EXISTING EAVE TO REMAIN.
- 02 EXISTING CHIMNEY TO REMAIN.
- 03 REMOVE SWAMP COOLER.
- 04 REMOVE FREEZE BOARD & WOOD BEAM.
- 05 REMOVE WOOD POST. REFER TO NOTES ON AD1.1
- 06 REMOVE FINISH DECK, FRAMING & PIERS.

CONSTRUCTION DOCUMENTS

McCANDLESS REMODEL  
130 U ST.  
SLC, UT



THOM JAKAB - AIA  
380 J ST. SALT LAKE CITY, UTAH 84103

A

B

C

D

E

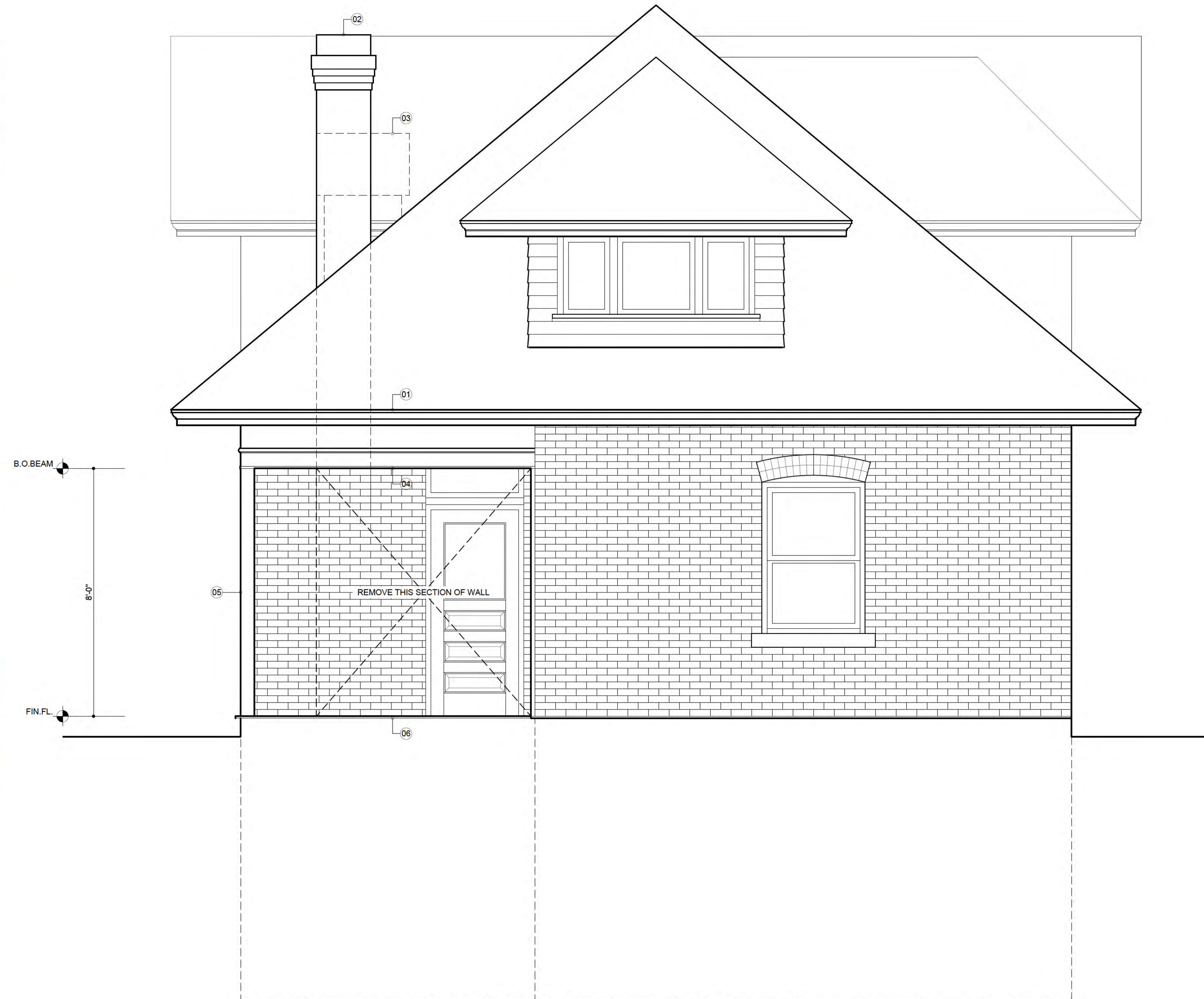
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PROJECT NO. 012022  
DATE 07.29.22  
SHEET AD1.2

2 EXISTING PHOTOS  
AD1.2 SCALE: NTS

1 DEMO ELEVATION - EAST  
AD1.2 SCALE: 1/2" = 1'-0"

DEMOLITION ELEVATION

SCALE: 1/2" = 1'-0"

1

2

3

4

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KEY NOTES

- 01 EXISTING EAVE TO REMAIN.
- 02 EXISTING CHIMNEY TO REMAIN.
- 03 REMOVE SWAMP COOLER.
- 04 REMOVE FREEZE BOARD & WOOD BEAM.
- 05 REMOVE WOOD POST. REFER TO NOTES ON AD1.1
- 06 REMOVE FINISH DECK, FRAMING & PIERS.
- 07 REMOVE & SALVAGE WINDOW.

CONSTRUCTION DOCUMENTS

McCANDLESS REMODEL  
130 U ST.  
SLC, UT



THOM JAKAB - AIA  
380 J ST. SALT LAKE CITY, UTAH 84103

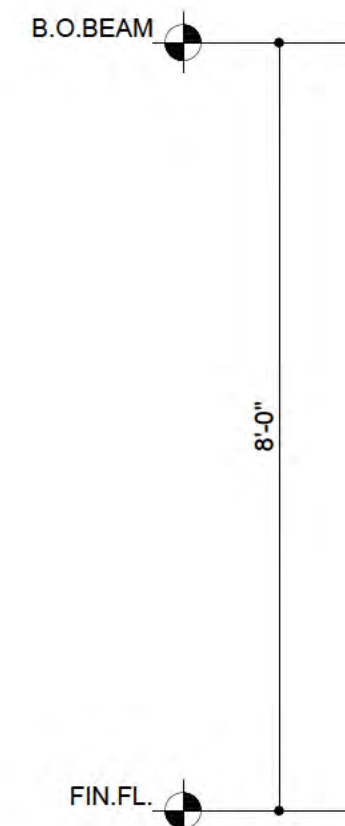
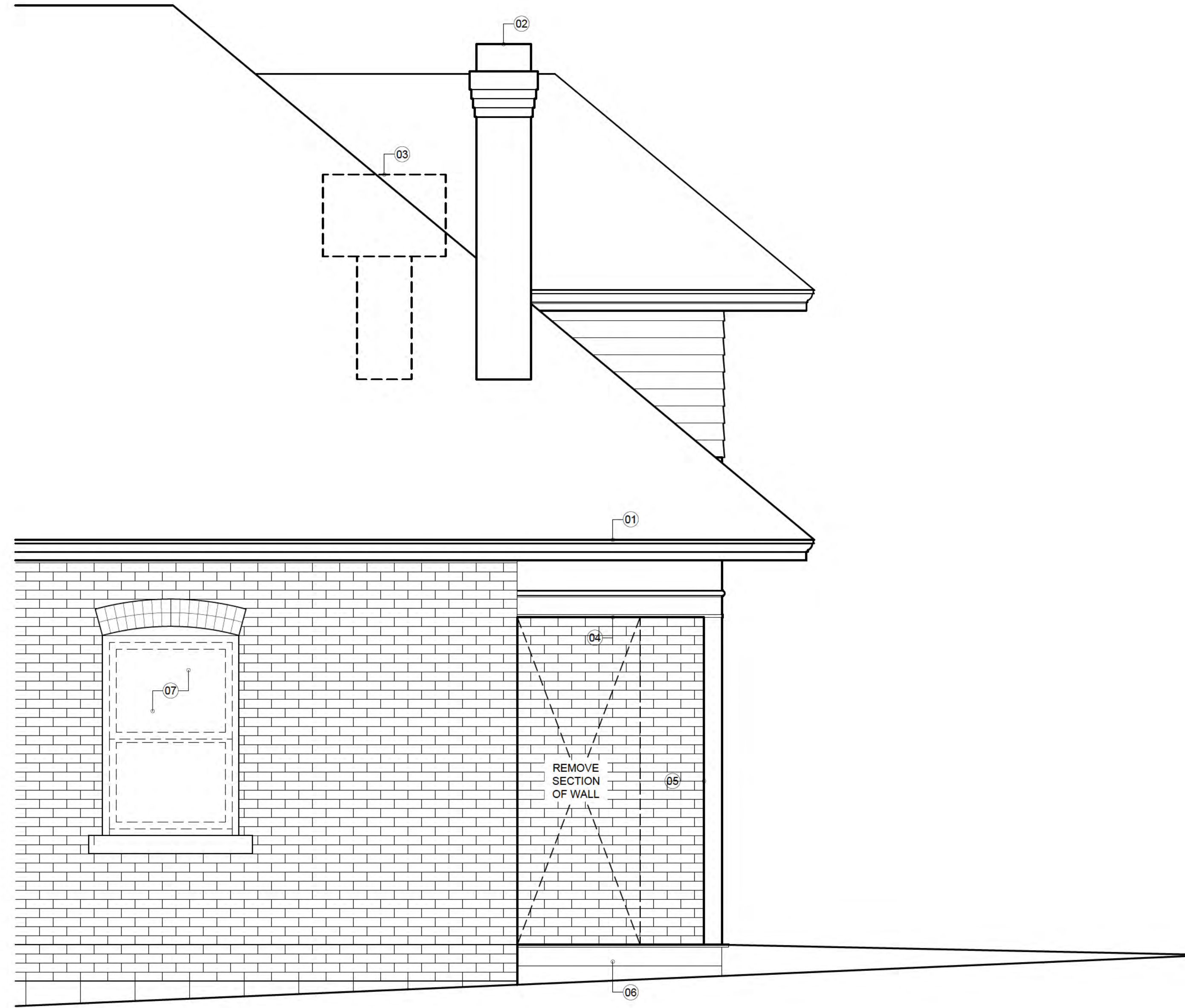
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GENERAL DEMOLITION NOTES

- DEFINITIONS
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  4. EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.

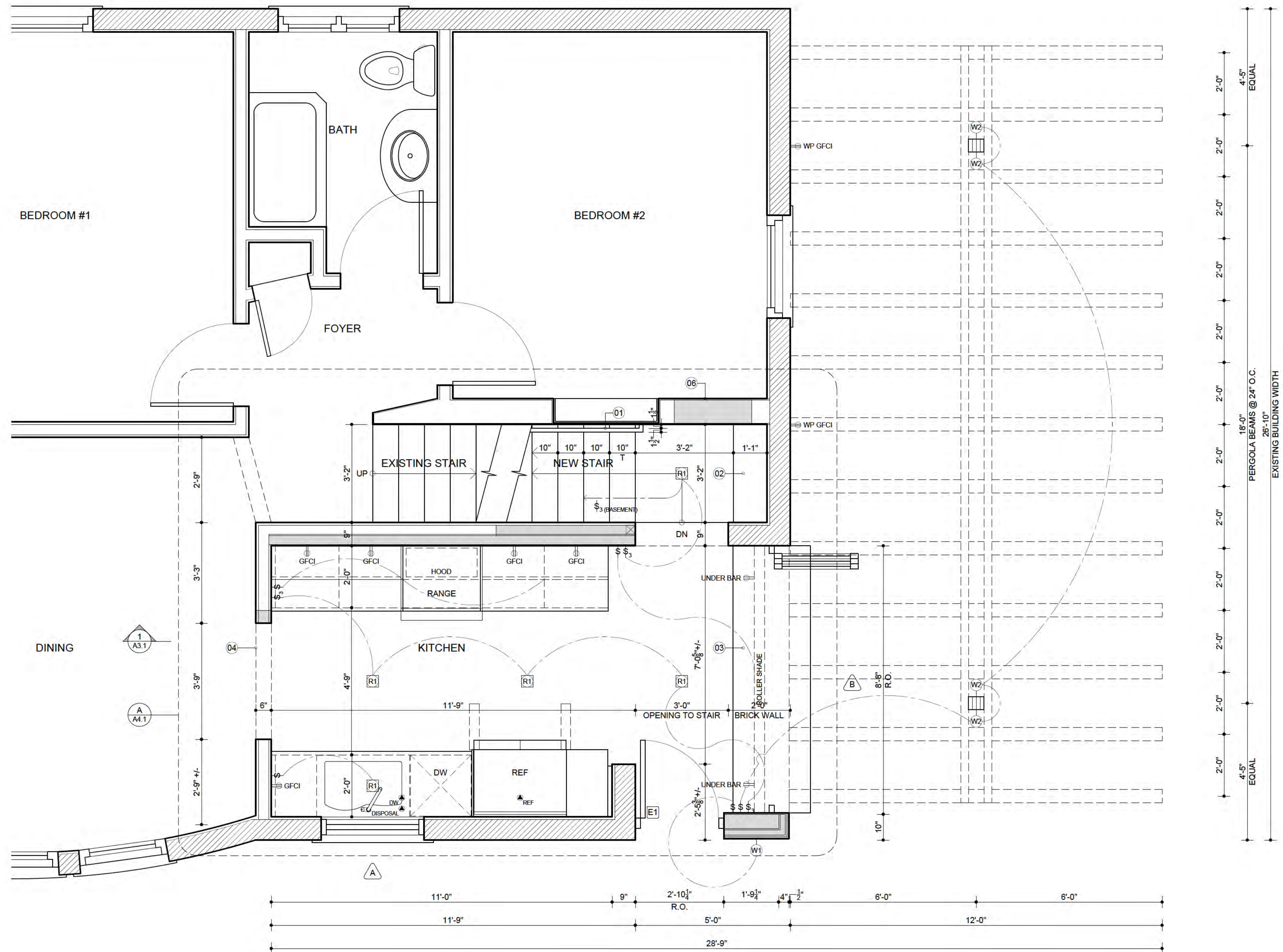
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PROJECT NO. 012022  
DATE 07.29.22  
SHEET AD1.3

2 EXISTING PHOTOS  
AD1.3 SCALE: 1/2"=1'-0"

1 DEMO ELEVATION - SOUTH  
AD1.3 SCALE: 1/2"=1'-0"





- KEY NOTES**
- NEW STAIR:  
TREADS: 10" MINIMUM DEPTH  
RISERS: 7 3/4" MINIMUM DEPTH  
HANDRAIL: 1 1/2" DIA
  - PANTRY CABINET
  - STONE BAR TOP
  - REPAIR AND REPLACE EXISTING BASE  
PROVIDE NEW CASING EACH SIDE - SIMILAR TO EXISTING.
  - INFILL FRAMING, NEW DRYWALL, PAINT AND CASING. SIMILAR TO EXISTING.



- POWER LEGEND**
- SINGLE RECEPTACLE OUTLET
  - ⊖ DUPLEX RECEPTACLE OUTLET
  - ⊖⊖ DOUBLE DUPLEX RECEPTACLE OUTLET (QUAD)
  - ⊖⊖⊖ WATERPROOF RECEPTACLE OUTLET
  - ⊖⊖⊖ GFCI GROUND-FAULT CIRCUIT INTERRUPTER
  - ⊖⊖⊖ ARC GFCI ARC-FAULT CIRCUIT INTERRUPTER
  - ⊖⊖⊖ TRIPLEX RECEPTACLE OUTLET
  - ⊖⊖⊖ DW SPECIAL PURPOSE OUTLET (DW= DISHWASHER)
  - ⊖ FLOOR OUTLET
  - ⊖⊖ FLOOR DUPLEX OUTLET
  - ⊖⊖⊖ CLOCK OUTLET
  - ⊖⊖⊖ FAN OUTLET
  - ⊖⊖⊖ THERMOSTAT
  - ⊖⊖⊖ TELEVISION OUTLET
  - ⊖⊖⊖ TELEPHONE JACK
  - ⊖⊖⊖ DOOR BELL
- NOTE:  
ALL OUTLETS WILL BE TAMPER RESISTANT IN ACCORDANCE WITH IRC E4002.14.

- LIGHTING LEGEND**
- ⊖ RECESSED CEILING FIXTURE
  - ⊖ SURFACE MOUNTED CEILING FIXTURE
  - ⊖ SUSPENDED CEILING FIXTURE
  - ⊖ WALL MOUNTED FIXTURE
  - ⊖ SURFACE MOUNTED CEILING TRACK
  - ⊖ UNDER CABINET FIXTURE
  - ⊖ EXHAUST FAN
  - ⊖ EXHAUST FAN - VAPOR PROOF & GFI
  - ⊖ EXHAUST FAN W/ LIGHT
  - ⊖ SMOKE DETECTOR - BATTERY OP. & WIRELESS
  - ⊖ CARBON MONOXIDE DETECTOR
  - ⊖ MOTION SENSOR
  - ⊖ SINGLE SWITCH
  - ⊖ 3 - WAY SWITCH
  - ⊖ 4 - WAY SWITCH
  - ⊖ DIMMER SWITCH W/ DIMMER CONTROL

**A**  
A1.1 FLOOR PLAN - MAIN LEVEL  
SCALE: 1/2" = 1'-0"

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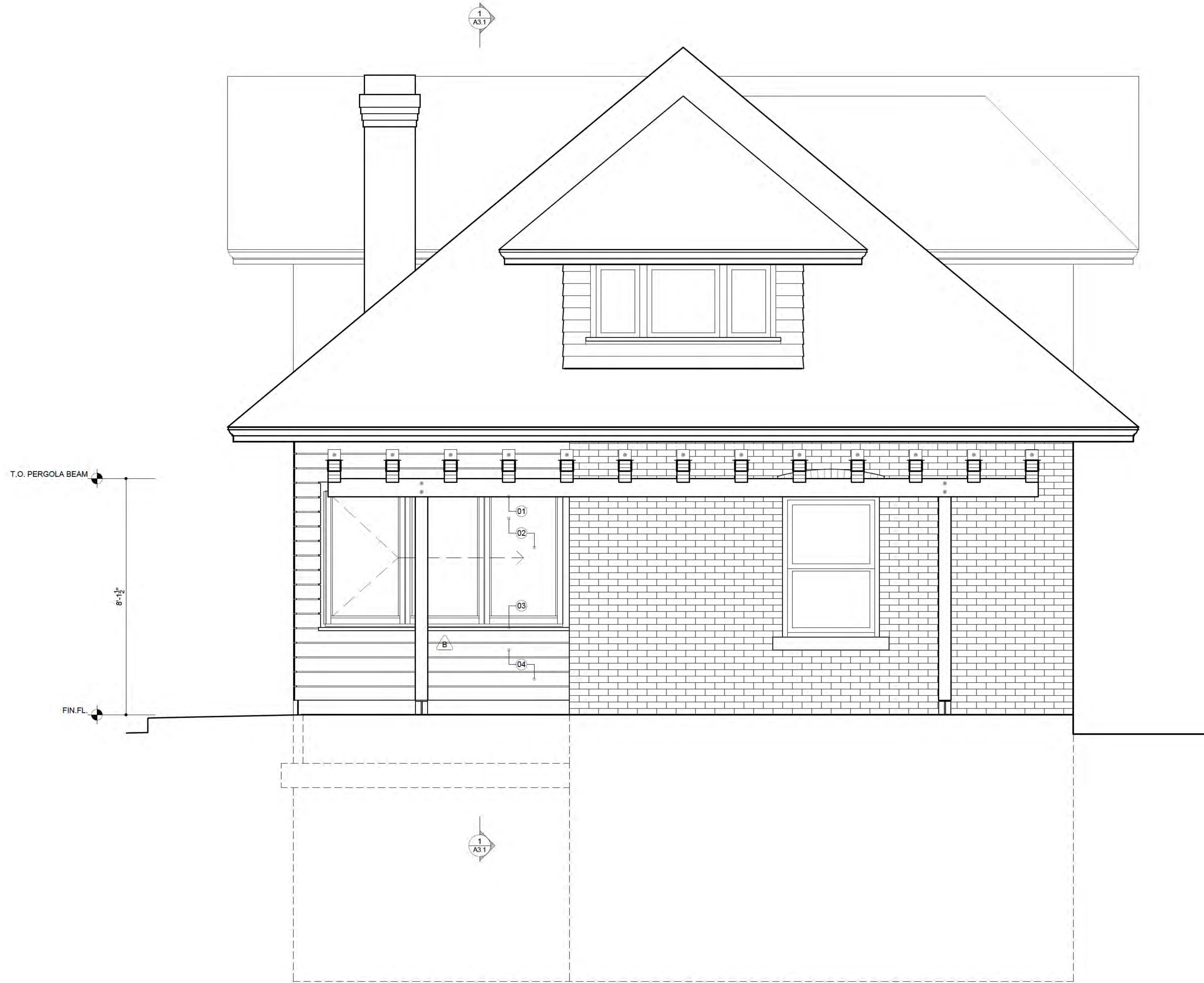
A

B

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D

E



1 EAST ELEVATION - NEW  
A2.1 SCALE: 1/2" = 1'-0"

KEY NOTES

- 01 PERGOLA - ALASKAN YELLOW CEDAR.
- 02 FOLDING WINDOW - WOOD / ALUMINUM CLAD.
- 03 STONE COUNTERTOP.
- 04 1x6 ALASKAN YELLOW CEDAR, VG, SMOOTH

A

B

C

D

E

CONSTRUCTION DOCUMENTS

McCANDLESS REMODEL  
130 U ST.  
SLC, UT



THOM JAKAB - AIA  
380 J ST. SALT LAKE CITY, UTAH 84103

LEGEND

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PROJECT NO.

012022

DATE

06.19.22

SHEET

A2.1

EXTERIOR ELEVATION

SCALE: 1/2" = 1'-0"

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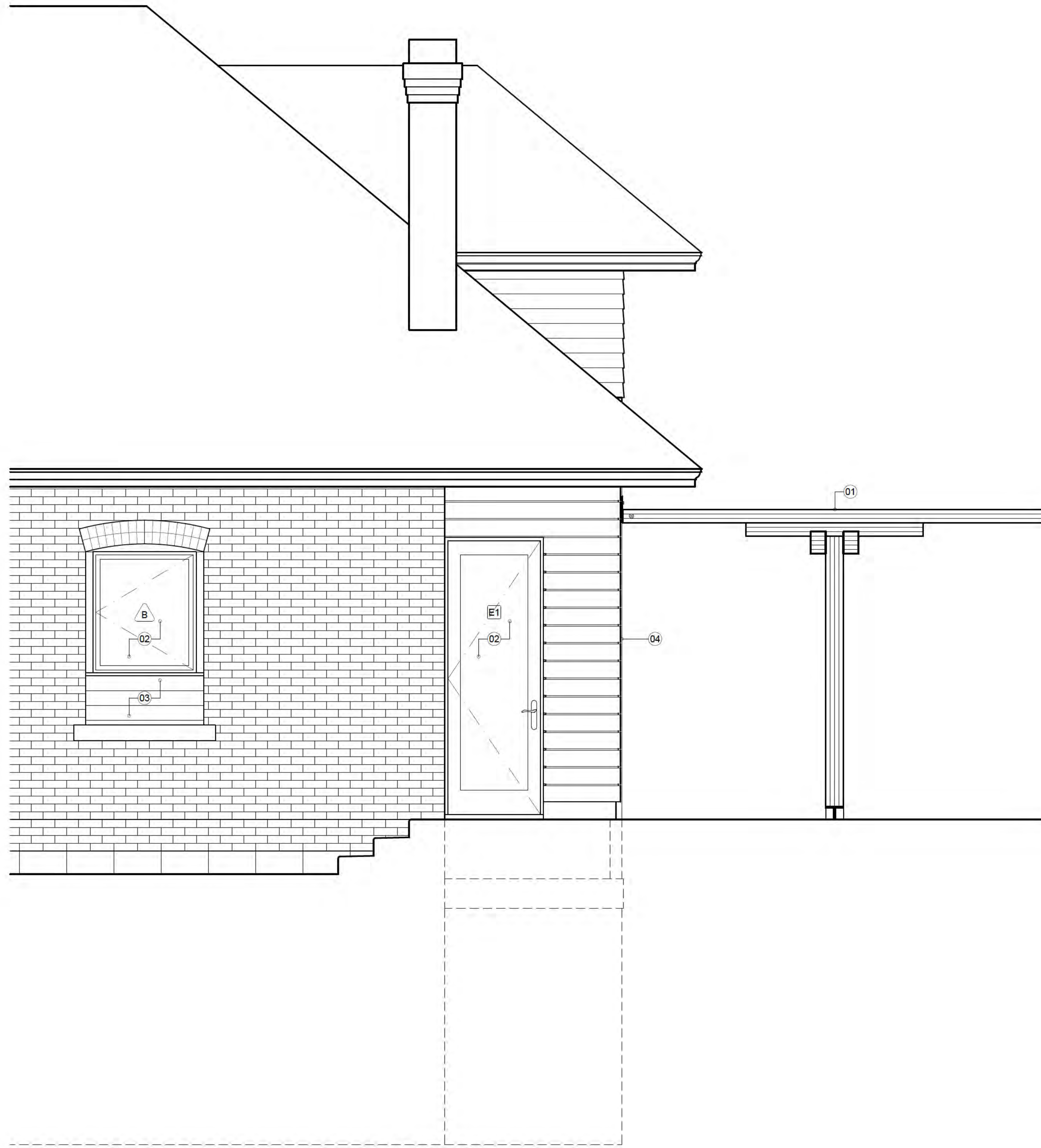
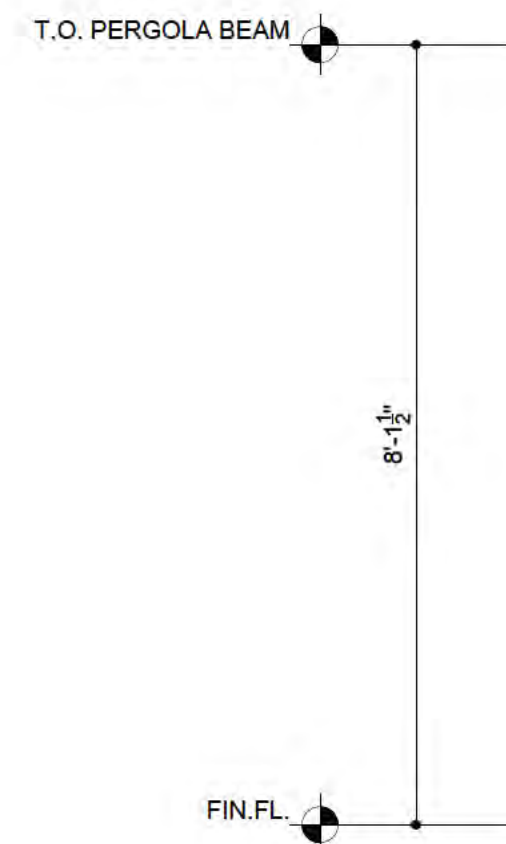
A

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1 SOUTH ELEVATION - NEW  
A2.2 SCALE: 1/2"=1'-0"

KEY NOTES

- 01 PERGOLA - ALASKAN YELLOW CEDAR.
- 02 NEW ALUMINUM CLAD / WOOD DOOR OR WINDOW.
- 03 1x6 ALASKAN YELLOW CEDAR, VG, SMOOTH PAINTED TO MATCH WALL COLOR.
- 04 1x6 ALASKAN YELLOW CEDAR, VG, SMOOTH

CONSTRUCTION DOCUMENTS

McCANDLESS REMODEL  
130 U ST.  
SLC, UT



THOM JAKOB - AIA  
360 J ST. SALT LAKE CITY, UTAH 84103

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PROJECT NO.

012022

DATE

06.19.22

EXTERIOR ELEVATION

SHEET

A2.2

SCALE: 1/2" = 1'-0"

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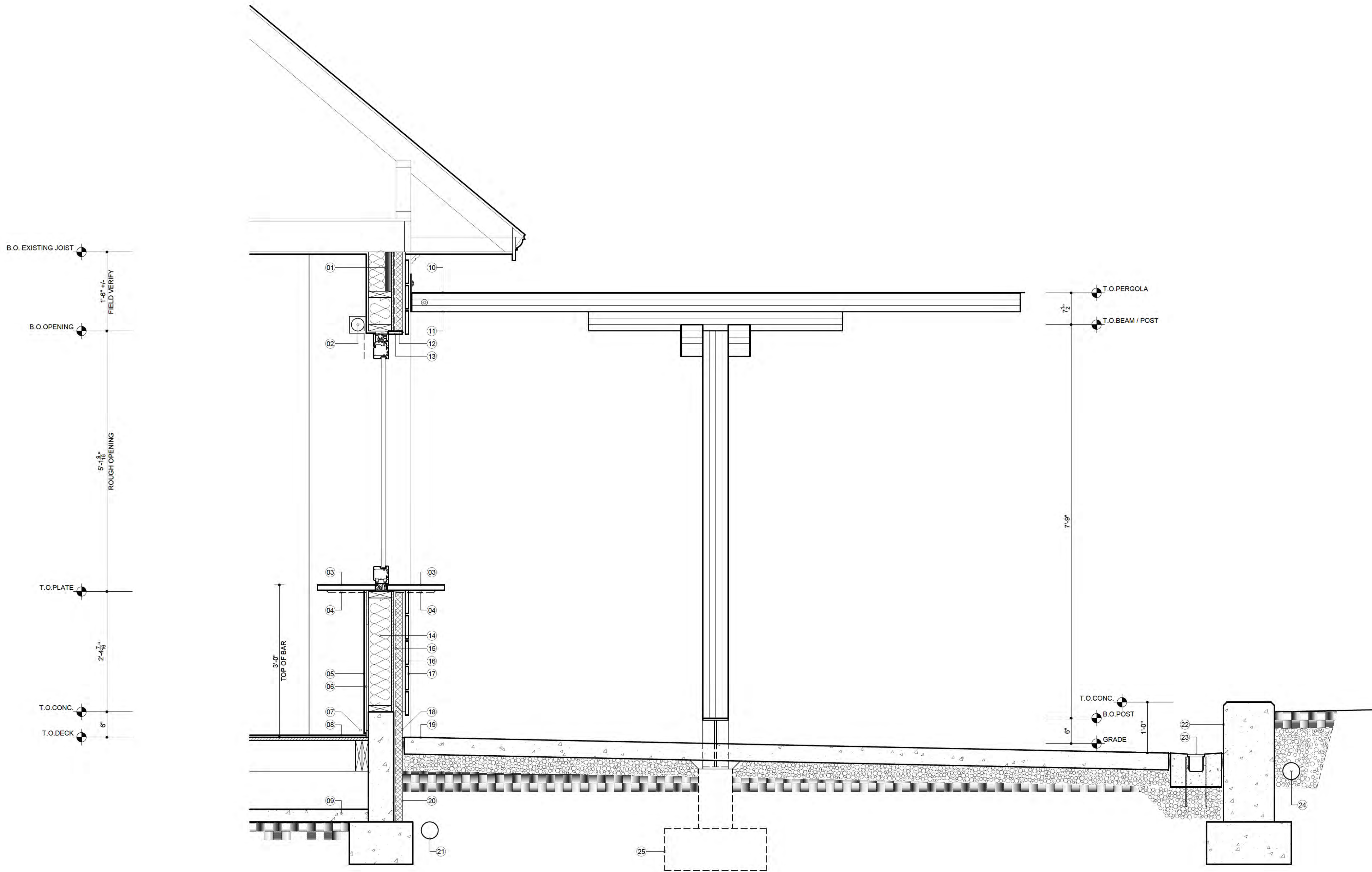
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E



- KEY NOTES**
- 01 NEW BEAM - REFER TO STRUCTURAL.
  - 02 AUTOMATIC ROLLER SHADE - OFCI
  - 03 3CM STONE COUNTERTOP
  - 04 COUNTERTOP "L" BRACKET, 10" D. x 8" H. IRON SUPPORTS OR SIMILAR MFG.
  - 05 1/2" GYP. BD. - PAINTED
  - 06 PACK OUT WALL AROUND COUNTERTOP BRACKET TO CONCEAL.
  - 07 1" Z-MOLD - FRY REGLET OR SIMILAR.
  - 08 PORCELAIN TILE OVER DITRA UNCOUPLING MAT OVER ELECTRIC FLOOR HEAT.
  - 09 3" CONC. SLAB OVER 15 MIL VAPOR BARRIER OVER COMPACTED EARTH.
  - 10 1/4" x 7" x PLATE, GALVANIZED.
  - 11 PERGOLA FRAMING - REFER TO STRUCTURAL.
  - 12 METAL FLASHING W/ DRIP EDGE.
  - 13 1x CEDAR CLOSER STRIP.
  - 14 2x6 STUD WALL FRAMING W/ BLOWN-IN CELLULOSE INSULATION (R-20).
  - 15 WRB.
  - 16 RIGID INSULATION BOARD (R-3.8 CI)
  - 17 1x6 ALASKAN YELLOW CEDAR, VG, SMOOTH
  - 18 PAINTED METAL FLASHING.
  - 19 CONCRETE SLAB ON GRADE - REFER TO STRUCTURAL.
  - 20 BELOW GRADE RIGID INSULATION (R-7.5 CI)
  - 21 FRENCH DRAIN, CONNECT TO EXISTING IF FOUND.
  - 22 CONCRETE RETAINING WALL - REFER TO STRUCTURAL.
  - 23 LINER TRENCH DRAIN. REFER TO SITE PLAN FOR ROUTING.
  - 24 4" Ø SLOTTED OR PERFORATED PIPE, WITH "PEA" GRAVEL OR 3/4 TO 1" MINUS GAP - GRADED GRAVEL. WRAP IN GEO-TEXTILE MIRIAFI 140N OR EQUIVALENT. ROUTE DRAIN TO DAYLIGHT.
  - 25 CONCRETE PIER. REFER TO STRUCTURAL.

CONSTRUCTION DOCUMENTS

McCANDLESS REMODEL  
130 U ST.  
SLC, UT



THOM JAKOB - AIA  
380 J ST. SALT LAKE CITY, UTAH 84103

**LEGEND**

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**A**  
**A3.1** WALL SECTION  
SCALE: 1"=1'-0"

PROJECT NO.	012022
DATE	07.29.22
SHEET	A3.1
SCALE:	1 1/2" = 1'-0"

**ATTACHMENT D: ADDITIONAL INFORMATION  
PROVIDED BY APPLICANT**

---

**From:** [Thom Jakab](#)  
**To:** [Pace, Katia](#)  
**Cc:** [Rickie McCandless](#)  
**Subject:** (EXTERNAL) 130 U St. Chimney Removal  
**Date:** Wednesday, August 3, 2022 11:47:04 AM  
**Attachments:** [Charles H.Richardson - Structural Engineer.pdf](#)  
[Neighbors' Letters.pdf](#)  
[Chimney Photos.pdf](#)

---

Dear Katia,

After some consideration, my client, Ms. Rickie McCandless, who resides at 130 U St., Salt Lake City, UT has informed me that she would like to proceed with the request to remove the rear chimney during her up and coming remodel, as illustrated in the documents submitted to the Salt Lake City Planning Division on June 28, 2022 for HP Minor Alterations approval. We understand from the feedback we've received to date that we will be required to submit our request to the Historic Landmark Commission, which you will be drafting a staff report that either does or does not support our request. While you are drafting your report, we hope that you will take our point of view into consideration and review the information we've gathered.

We are submitting three documents: (1) A letter from our structural engineer; (2) Signed letter from neighbors supporting the removal of the chimney and; (3) Photos of the residence taken from the street. It is our intent to illustrate that the rear chimney, first and foremost, is a safety hazard and secondly, that it's removal will not significantly alter the roof form as seen from the street front.

In your review of the structural engineer's letter, please take notice to the emphasis he places on the serious seismic threat to the safety of residences and the general public in our city. After working through multiple options to find a way to preserve the chimney, he has concluded that each option would not mitigate the seismic vulnerability of the house, but in fact adversely affect the safety of the inhabitants of the house in the event of an earthquake.

We have sought feedback from three adjacent neighbors to the south, east and west of Rickie's property. All three neighbors clearly understood the wisdom of removing a safety hazard next door and agree that the visual impact will be negligible from their location. Please dive into the letter to hear their voice. In addition, we have had conversation with three contractors, who have extensive experience with working in the historic district and all three have strongly advised Rickie to appeal the decision to not allow the removal.

Lastly, we have taken the time to photograph the home from different positions to show how little the chimney is visible from the street. One of the most revealing comparisons is the vast difference between the east side of the street – the side walk adjacent to Rickie's property and across the street. It is very clear that there is zero visibility of the chimney from the east sidewalk. Across the street, on the west sidewalk, you do catch a glimpse of the top of the chimney, but this is a very limited view with narrow cone of vision. For instance, driving on this one-way street, a passerby would never perceive the presence of the rear chimney. It's simply not possible. We are currently assuming that the city has rendered their interpretation from a google image, which is taken from a top of a car and a singular point of view, to be the definitive piece of information. We encourage you to visit the property in person to decide for yourself.

Please let us know your thoughts and we hope to hear back from you soon,

Thanks,

Thom Jakab AIA



Image 1: View from east sidewalk, adjacent to home



Image 2: View from west sidewalk, across the street



Image 3: Close up view from east sidewalk

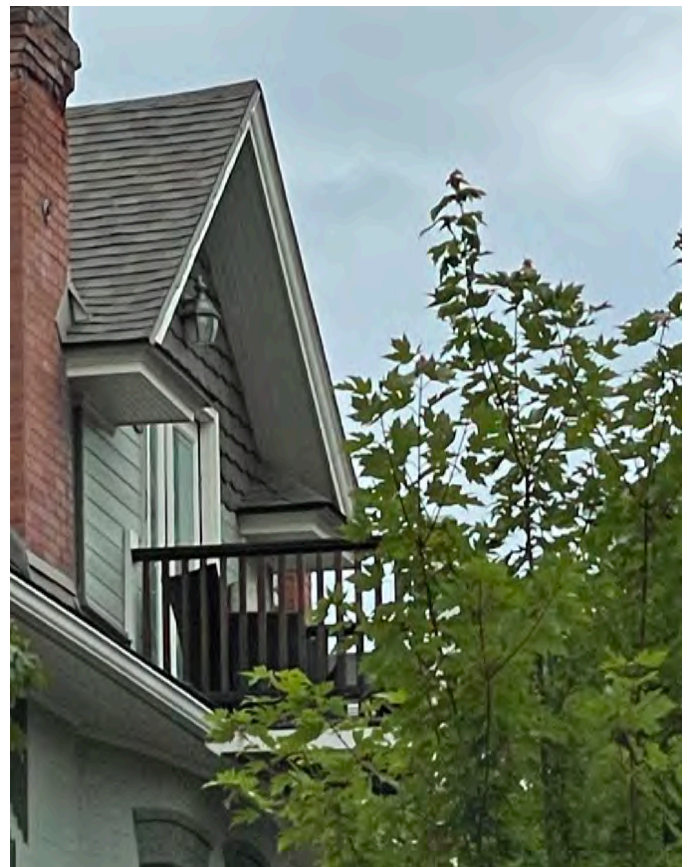


Image 4: Close up view from west sidewalk

AUGUST 2, 2022

(801) 322-3683

**Subject:** Masonry Chimneys

To Whom It May Concern

Unreinforced brick masonry chimneys represent a serious seismic threat to the safety of residents and the general public in our city. They are vulnerable to even moderate earthquake forces as documented from California and other areas. The large mass (weight) of the brick and mortar extending above the roof will fall, perhaps in one large piece onto and through the roof or to the ground crushing what or whomever is in the way. The probability of such an event is relatively high.

The McCandless Residence at 130 “U” Street in Salt Lake City has three of these chimneys as do many of the houses in the Lower Avenues area. In fact, the original home had four chimneys, one has been removed on the rear north side, according to the previous owners.

I have been asked as part of the design team on this kitchen remodel project to assess the chimney at the rear of this house. There are, of course options back and forth for it as part of the design process. We, the team want to give the owner, our client the best solution.

The design for the remodel is virtually complete however the chimney has become an issue of concern. The initial design, intended to remove the chimney, included the architect and contractor’s assessment of the visual impact as not significant.

We have discussed and considered several ways to retain the chimney without major impacts on the intended floor plan, each option would not mitigate the seismic vulnerability of the house but in fact adversely affect the safety of the inhabitants of the house in the event of an earthquake.

So, in summation, the chimney does not significantly contribute to the street front view and removing it provides a safer building.

I hope this is helpful and fits your needs. Of course I can be available.

Charles H. Richardson, SE

CC: Rickie McCandless



Tom and Joy Woolf  
124 U Street  
Salt Lake City, Utah 84103

Dear Tom and Joy:

I am wanting to enclose the back porch to add a little space to the "postage stamp" size kitchen. In doing so, I would like to clean up and improve the safety of this area of the house. I am hoping to remove the chimney and swamp cooler that is closest to your home.

I love the avenues and U street and want to be a good neighbor. I feel strongly that the unsightly swamp cooler and unreinforced chimney are a direct concern for you both aesthetically and for safety and does not detract from the historic nature of our street.

I don't want you to feel pressure to support this initiative if it isn't what you support or if you don't see it as an aesthetic or safety improvement for you. Your decision will not change how I feel about you as individuals or neighbors.

I am appealing the city planner reviewer's decision to not allow me to remove the chimney because a tiny section of it can be seen from the far west side of the street. I don't believe that is more significant than the significance of aesthetics or safety.

If you could support this action, I would appreciate it if you would sign this letter in support, to add to my appeal.

Thanks for your consideration.

Rickie

*Definitely!!*

We do X do not \_\_\_\_\_ support this action.

Tom and Joy Woolf August 2, 2022  
Tom and Joy Woolf

Mateo and Alexis Munoz  
123 U Street  
Salt Lake City, Utah 84103

Dear Mateo and Alexis:

I am wanting to enclose the back porch to add a little space to the "postage stamp" size kitchen. In doing so, I would like to clean up and improve the safety of this area of the house. I am hoping to remove the rear chimney and swamp cooler.

I love the avenues and U street and want to be a good neighbor. I feel strongly that the unsightly swamp cooler and unreinforced chimney are a direct concern for neighbors aesthetically and for safety and does not detract from the historic nature of our street.

I don't want you to feel pressure to support this initiative if it isn't what you support or if you don't see it as an aesthetic or safety improvement for you. Your decision will not change how I feel about you as individuals or neighbors.

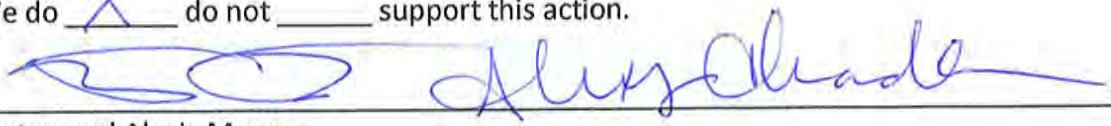
I am appealing the city planner reviewer's decision to not allow me to remove the chimney because a tiny section of it can be seen from the far west side of the street. I think if you stand just right, on your front park strip, you might see a tiny sliver of the chimney. I don't believe that is more significant than the significance of aesthetics or safety for myself or others.

If you could support this action, I would appreciate it if you would sign this letter in support, to add to my appeal.

Thanks for your consideration.

Rickie

We do  do not  support this action.

  
\_\_\_\_\_  
Mateo and Alexis Munoz

Scott and Jen Dailey-Provost  
1128 E 3<sup>rd</sup> Avenue  
Salt Lake City, Utah 84103

Dear Scott and Jen:

I am wanting to enclose the back porch to add a little space to the "postage stamp" size kitchen. In doing so, I would like to clean up and improve the safety of this area of the house. I am hoping to remove the rear chimney and swamp cooler.

I love the avenues and U street and want to be a good neighbor. I feel strongly that the unsightly swamp cooler and unreinforced chimney are a direct concern for neighbors aesthetically and for safety and does not detract from the historic nature of U street. Although, this is in the back of the house and the Historic Landmark Committee standard is to have concern for what can be seen from the front of the house, I realize you have a direct view of the swamp cooler and chimney. Therefore, I want to let you know what I am hoping to do.

I don't want you to feel pressure to support this initiative if it isn't what you support or if you don't see it as an aesthetic or safety improvement. Your decision will not change how I feel about you as individuals or neighbors.


I am appealing the city planner reviewer's decision to not allow me to remove the chimney because a tiny section of it can be seen from the far west side of the street. I don't believe that is more significant than the significance of aesthetics or safety for myself or others.

If you could support this action, I would appreciate it if you would sign this letter in support, to add to my appeal.

Thanks for your consideration.

Rickie

We do  do not support this action.

  
Scott and Jen Dailey-Provost

# ATTACHMENT E: ANALYSIS OF HISTORIC OVERLAY STANDARDS

## 21A.34.020 – Historic Preservation Overlay District

G. Standards For Certificate Of Appropriateness For Alteration Of A Landmark Site Or Contributing Structure Including New Construction Of An Accessory Structure: In considering an application for a certificate of appropriateness for alteration of a landmark site or contributing structure, the Historic Landmark Commission, or the Planning Director, for administrative decisions, shall find that the project substantially complies with all of the following general standards that pertain to the application and that the decision is in the best interest of the City.

Standard	Finding	Analysis
1. A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment.	<b>Complies</b>	The subject property is a residential property. The proposed addition will not change the residential land use, the proposal is to do an addition within an existing rear porch.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.	<b>Does not comply because of the proposed chimney removal</b>	The proposed addition is located to the rear where it will have a minimal impact on the visual character of the historic structure from the public right of way. The proposal is also to remove an existing chimney on the rear which adds significantly to the historic character of the property.
3. All sites, structures and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed.	<b>Complies</b>	The proposed addition will be clad in Alaskan yellow cedar, a different material to differentiate from the original brick structure.
4. Alterations or additions that have acquired historic significance in their own right shall be retained and preserved.	<b>Complies</b>	The proposed addition will not remove any historic features which have gained significance in their own right.
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.	<b>Does not comply because of the proposed chimney removal</b>	The proposed addition proposes to remove the historically significant chimney. The replacement of the rear window is allowed when located outside of the public view.
6. Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based	<b>Complies</b>	The rear window will be replaced with shorter wood clad window with the same profile and depth to the façade of the building. The outline of the original brick window opening will be retained.

<p>on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.</p>		
<p>7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.</p>	<p><b>Not Applicable</b></p>	<p>The applicant has not proposed any chemical or physical treatments to clean the surface of the primary structure.</p>
<p>8. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.</p>	<p><b>Complies</b></p>	<p>The proposed addition will be compatible with the size, scale and material of the property.</p>
<p>9. Additions or alterations to structures and objects shall be done in such a manner that if such alterations or additions were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment.</p>	<p><b>Complies</b></p>	<p>The proposed addition is an infill of an existing porch. It's unlikely that the addition will be removed, but it will be constructed in such a way that if it were removed, the integrity of the structure would not be adversely affected.</p>
<p>10. Certain building materials are prohibited including the following: A. Aluminum, asbestos, or vinyl cladding when applied directly to an original or historic material.</p>	<p><b>Complies</b></p>	<p>The applicant is not proposing any of the prohibited materials applied directly to any historic materials.</p>
<p>11. Any new sign and any change in the appearance of any existing sign located on a landmark site or within the H Historic Preservation Overlay District, which is visible from any public way or open space shall be consistent with the historic character of the landmark site or H Historic Preservation Overlay District and shall comply with the standards outlined in chapter 21A.46 of this title.</p>	<p><b>Not Applicable</b></p>	<p>The applicant is not proposing the installation or modification of any signage with this request.</p>

# **ATTACHMENT F: HISTORIC DESIGN GUIDELINES**

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The following are applicable historic design guidelines related to this request. The following applicable design guidelines can be found in [\*A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City\*](#).

## **Chapter 8: Additions**

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**Design Objective:** The design of a new addition to a historic building should ensure that the building's early character is maintained. Older additions that have taken on significance also should be preserved.

### **8.1 An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.**

- Loss or alteration of architectural details, cornices and eave lines, for example, should be avoided.

### **8.2 An addition should be designed to be compatible in size and scale with the main building.**

- An addition should be set back from the primary facades in order to allow the original proportions and character of the building to remain prominent.
- The addition should be kept visually subordinate to the historic portion of the building.
- If it is necessary to design an addition that is taller than the historic building, it should be set back substantially from significant facades, with a "connector" link to the original building.

### **8.3 An addition should be sited to the rear of a building or set back from the front to minimize the visual impact on the historic structure and to allow the original proportions and character to remain prominent.**

- Locating an addition at the front of a structure is usually inappropriate.

### **8.4 A new addition should be designed to be recognized as a product of its own time.**

- An addition should be made distinguishable from the historic building, while also remaining visually compatible with historic features.
- A change in setbacks of the addition from the historic building, a subtle change in material, or the use of modified historic or more current styles are all techniques that may be considered to help define a change from old to new construction.
- Creating a joint in the foundation between the original building and the addition may help to establish a sounder structural design to resist earthquake damage, while helping to define it as a later addition.

### **8.5 A new addition should be designed to preserve the established massing and orientation of the historic building.**

- For example, if the building historically has a horizontal emphasis, this should be reflected in the addition.

### **8.6 A new addition or alteration should not hinder one's ability to interpret the historic character of the building or structure.**

- A new addition that creates an appearance inconsistent with the historic character of the building is inappropriate.
- An alteration that seeks to imply an earlier period than that of the building should be avoided.
- An alteration that covers historically significant features should be avoided.

**8.8 Exterior materials that are similar to the historic materials of the primary building or those used historically should be considered for a new addition.**

- Painted wood clapboard, wood shingle and brick are typical of many historic residential additions.
- See also the discussion of specific building types and styles, in the History and Architectural Styles section of the guidelines.
- Brick, CMU, stucco or panelized products may be appropriate for some modern buildings.

**8.9 Original features should be maintained wherever possible when designing an addition.**

- Construction methods that would cause vibration which might damage historic foundations should be avoided.
- New drainage patterns should be designed to avoid adverse impacts to historic walls and foundations.
- New alterations also should be designed in such a way that they can be removed without destroying original materials or features wherever possible.

**8.11 A new addition should be kept physically and visually subordinate to the historic building.**

- The addition should be set back significantly from primary facades.
- The addition should be consistent with the scale and character of the historic building or structure.
- Large additions should be separated from the historic building by using a smaller connecting element to link the two where possible.

**Chapter 3: Windows**

---

**Design Objective:** The character-defining features of historic windows and their distinct arrangement should be preserved. In addition, new windows should be in character with the historic building. This is especially important on primary facades.

**3.2 The position, number, and arrangement of historic windows in a building wall should be preserved.**

- Enclosing a historic window opening in a key character-defining facade would be inappropriate, as would adding a new window opening.
- This is especially important on primary facades, where the historic ratio of solid-to void is a character-defining feature. Greater flexibility in installing new windows may be appropriate on rear walls or areas not visible from the public way.

**Replacement Windows**

While replacing an entire window assembly is discouraged, it may be necessary in some cases. When a window is to be replaced, the new one should match the appearance of the original to the greatest extent possible. To do so, the size and proportion of window elements, including glass and sash components, should match the original. In most cases, the original profile, or outline of the sash components, should be the same as the original. At a minimum, the replacement components should match the original in dimension and profile and the original depth of the window opening (reveal) should be maintained.

**3.5 A replacement window should match the original in its design.**

- If the original is double-hung, then the replacement window should also be double-hung, or at a minimum appear to be so.
- Match the replacement also in the number and position of glass panes.
- Matching the original design is particularly important on key character-defining facades.

### **3.6 Match the profile of the sash and its components, as closely as possible to that of the original window.**

- A historic wood window has a complex profile within its casing. The sash steps back to the plane of the glazing (glass) in several increments.
- These increments, which individually are measured in fractions of an inch, are important details.
- They distinguish the actual window from the surrounding plane of the wall.
- The profiles of wood windows allow a double-hung window, for example, to bring a rich texture to the simplest structure.
- These profiles provide accentuated shadow details and depth to the facades of the building.
- In general, it is best to replace wood windows with wood on contributing structures, especially on the primary facades.
- Non-wood materials, such as vinyl or aluminum, will be reviewed on a case-by-case basis. The following will be considered:
  - Will the original casing be preserved?
  - Will the glazing be substantially diminished?
  - What finish is proposed?
  - Most importantly, what is the profile of the proposed replacement window?

## **Chapter 7: Roofs**

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***Design Objective:*** The character of a historical roof should be preserved, including its form, features, and materials whenever feasible.

### **7.1 The original roof form and features should be preserved.**

- Altering the angle of a historic roof should be avoided.
- Maintain the perceived line and orientation of the roof as seen from the street wherever possible.
- Historic chimneys and their details should be retained.
- Historic dormers and their details should be retained.



## **ATTACHMENT G: SR-1A ZONING STANDARDS**

### **21A.24.080: Standards for the SR-1A Special Development Residential District**

Purpose Statement: The purpose of the SR-1 Special Development Pattern Residential District is to maintain the unique character of older predominantly single-family and two-family dwelling neighborhoods that display a variety of yards, lot sizes and bulk characteristics. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

<b>Standard</b>	<b>Proposed</b>	<b>Finding</b>
<b>Front Yard:</b> Equal to the average of the front yards of existing buildings within the block face	N/A - No change to existing.	<b>Complies</b>
<b>Rear Yard:</b> 25% of lot depth, but not less than 15 and need not exceed 30 feet	52 ft. to the rear property line and 31 ft. to the existing detached garage	<b>Complies</b>
<b>Side Yard:</b> 4 feet on one side and 10 on the other	The north side yard is 4 ft. The south side yard is 10.5 ft.	<b>Complies</b>
<b>Lot Coverage</b> – The surface coverage of all principal and accessory buildings shall not exceed 40% of the lot area	The existing lot coverage is approximately 34%. Including the proposed pergola, the lot coverage is 40%.	<b>Complies</b>
<b>Maximum Building Height:</b> Pitched Roof: 23 feet or the average height of other principal buildings on the block	N/A - No change to existing.	<b>Complies</b>
<b>Exterior Wall Height:</b> 16 feet for exterior walls placed at the building setback established by the minimum required yard	The proposed wall height to the addition is 8 ft.	<b>Complies</b>

## **ATTACHMENT H: PUBLIC PROCESS AND COMMENTS**

**August 18, 2022** – Notice of public hearing mailed to all owners and occupants within 300 feet of the subject property.

**August 22, 2022** – Notice of public hearing sign posted on property

**Public Comments:** One email and neighbor's signature of support, both are attached to this report. Any comments received after publication of the staff report will be forwarded to the commission.

**From:** [REDACTED]  
**To:** [Pace, Katia](#)  
**Subject:** (EXTERNAL) u street removal of chemineys  
**Date:** Thursday, August 18, 2022 3:33:27 PM

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i thought removal of chimneys was forbidden  
should slc be more proactive in ensuring no falling bricks in a earthquake rather than  
burdening owners to earthquake proof those chimneys which is no minor expense  
with labor rates being where they are these days

carolwicks