



Staff Report

PLANNING DIVISION
COMMUNITY & NEIGHBORHOODS

To: Salt Lake City Historic Landmark Commission
From: Aaron Barlow, AICP, Principal Planner
801-535-6182 or aaron.barlow@slcgov.com
Date: September 1, 2022
Re: Petition PLNHLC2022-00297 – New Construction at 158 North State Street

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Property Address: 158 North State Street
Parcel ID: 09-31-353-003-0000
Council District: District 3, Christ Wharton
Historic District: Capitol Hill Local and National Historic Districts
Zoning District: RMF-35 (Moderate Density Multi-Family Residential District)
Overlay District: Capitol Hill Protective Area
Master Plan: Capitol Hill
Design Guidelines: Design Guidelines for Residential Properties

REQUEST:

This is a request from Stuart Wheelwright and Matt Robinson of Holt Capital, LLC, the property owner, for a Certificate of Appropriateness (CoA) for New Construction of a residential structure in the Capitol Hill Historic District. The property in question is located at approximately 158 North State Street and is within the RMF-35 Moderate Density Multi-Family Residential District. The applicants plan to divide the property according to the site plan included with [Attachment C](#). As part of this request, the applicants have requested the following modifications in order to maintain the character of the Capitol Hill Local Historic District:

West Lot:

- A reduction of the south side-yard setback from 10 feet to five feet
- A reduction of the Front yard setback from 20 feet to 13 feet.
- A reduction of the lot width from 50 feet to approximately 42.5 feet

East Lot:

- A reduction of the south side-yard setback from 10 feet to zero feet.
- A reduction of the lot width from 50 feet to approximately 48.2 feet.

The applicants also plan to demolish an existing, accessory structure in the rear yard of the property that does not contribute to the character of the district.

RECOMMENDATION:

As outlined in the analysis and findings in this Staff Report, it is Planning Staff's opinion that the proposed new construction and special exception meets all applicable standards of approval, and Staff recommends that the Historic Landmark Commission approves the request with the following conditions:

- The HVAC equipment near the southwest corner of the house shall be screened from view.
- Approval of all final design details, including specific direction expressed by the Commission, shall be delegated to Planning Staff.

ATTACHMENTS

- | | |
|---|---|
| A. Historic District Vicinity Map | E. Analysis of Standards |
| B. Current Photographs | F. Applicable Design Guidelines |
| C. Applicant Submittal and Plans | G. Public Process and Comments |
| D. Existing Conditions | H. Department Review Comments |

BACKGROUND

SITE CONTEXT:

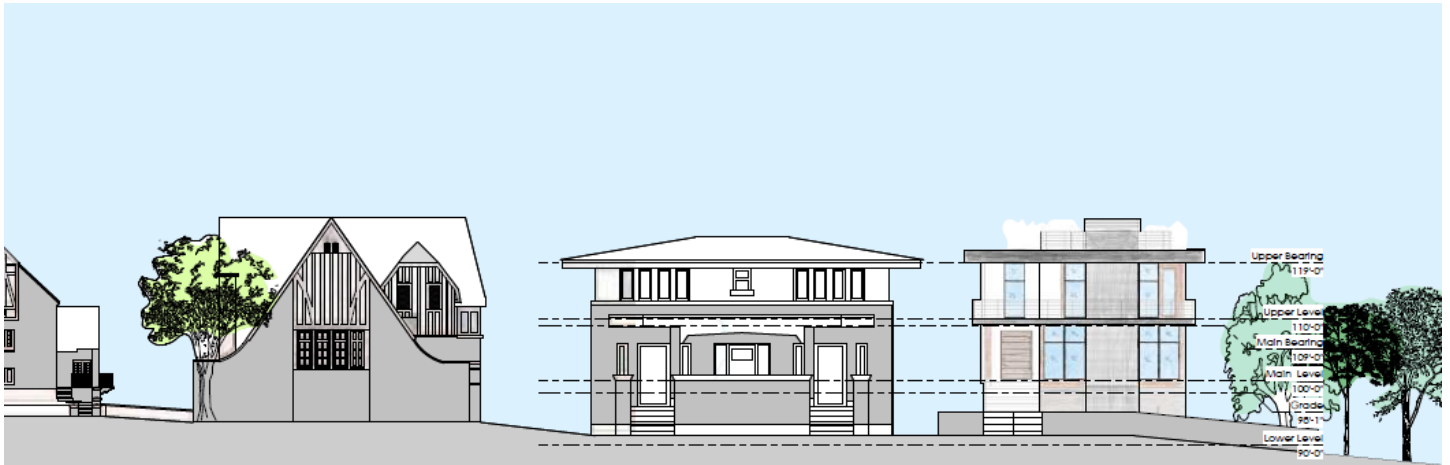
The 10,020-square-foot property is located on North State Street (Highway UT-186), a relatively steep stretch of road within the Capitol Hill Historic District between the Utah State Capitol and North Temple. The subject property sits on the east side of the street, approximately mid-block between 200 N and North Temple, next to City Creek Park. Apart from a steep slope near the northwest corner of the property, there is a relatively shallow slope downward from north to south—with a grade change of approximately 3 feet. The south side yard of the property (where the applicant would like to construct the new building) is just over 42 feet wide. A review of available Sanborn maps shows that there has never been a structure at this location. The building that currently sits on the property was recently converted from a triplex into a single-family house. The reduction in lot density (from a triplex to a single-family house, allows for the construction of another residential unit and the property can now be divided into two lots.

Houses along the block face of the subject property vary in size and design. Current zoning regulations require 50 feet of width and 5,000 square feet of area for new single-family lots. With the exception of the large houses at the intersection of 200 N and State Street, most properties within the immediate vicinity are generally narrower than 50 feet in width and range from 3,000 to 7,000 square feet in area. All buildings within the immediate vicinity of the property were constructed during the Capitol Hill Historic District's period of significance. The district was listed on the National Register of Historic Places in 1982 and locally designated in 1984.

PROJECT DESCRIPTION:

Site Plan

The applicants have proposed to construct a single-family house of modern architectural design. The proposed building would have two stories above grade and a partially submerged basement. The building would have a footprint of approximately 2,082 square feet. The building would sit 13 feet back from the front property line, consistent with the setback of the adjacent house and nearby properties. This would be a modification from the 20-foot front-yard setback required by the RMF-35 zoning district. The side-yard setback on the south side of the property would be five feet, also a modification from the required setback in the zoning district, which is 10 feet. Staff recommends approval of these modifications.



As part of this request, the applicants would like to split the subject property so that the existing house and the proposed house would sit on their own lots. While the Landmarks Commission is unable to approve subdivisions, they can approve lot and bulk modifications to the zoning requirements of an upcoming subdivision petition. The applicants have provided a site plan that reflects the proposed lot split. While both proposed lots would be larger than the 5,000 square feet required for single-family detached dwellings, neither lot would meet the 50-foot minimum lot width requirement. The lot for the proposed structure would be just over 42 1/2 feet wide and the existing structure's lot would be just over 48 feet wide. Staff recommends approval of these modifications. The proposed lot split also requires a modification to the side-yard setback along the south side of the proposed lot for the existing dwelling—from 10 feet to zero feet. Staff also recommends approval of this modification.

Quick Facts

Height: 34' to top of balcony railing

Exterior Materials: Manganese (dark) brick, white brick, 6" lap cedar siding, white stucco, black aluminum, and glass

Parking: 3 spaces

Review Process & Standards: HLC New Construction

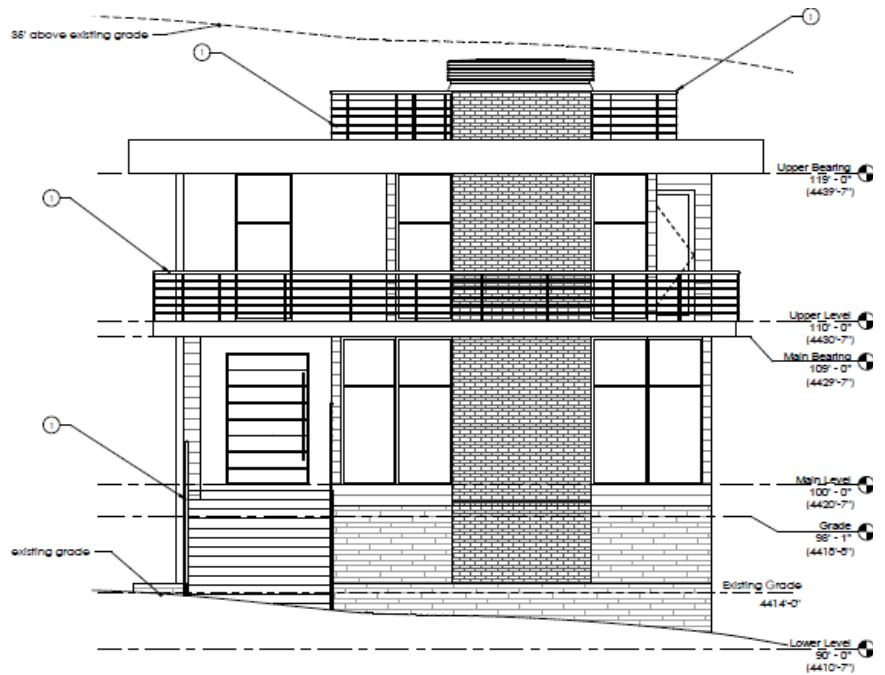
Parking for the proposed dwelling would be accessed from the existing driveway that is currently used by the existing dwelling and the house to the north at 170 East State Street (see site plan in [Attachment C](#)). The applicant has proposed an access easement through the rear yard of the existing dwelling to avoid the need for a driveway onto the adjacent state highway (which would not likely be permitted by the Utah Department of Transportation). Because the existing structure on the lot was converted from a triplex into a single-family house, the anticipated change in traffic from the proposed dwelling will likely be minimal compared to current conditions.

Elevations

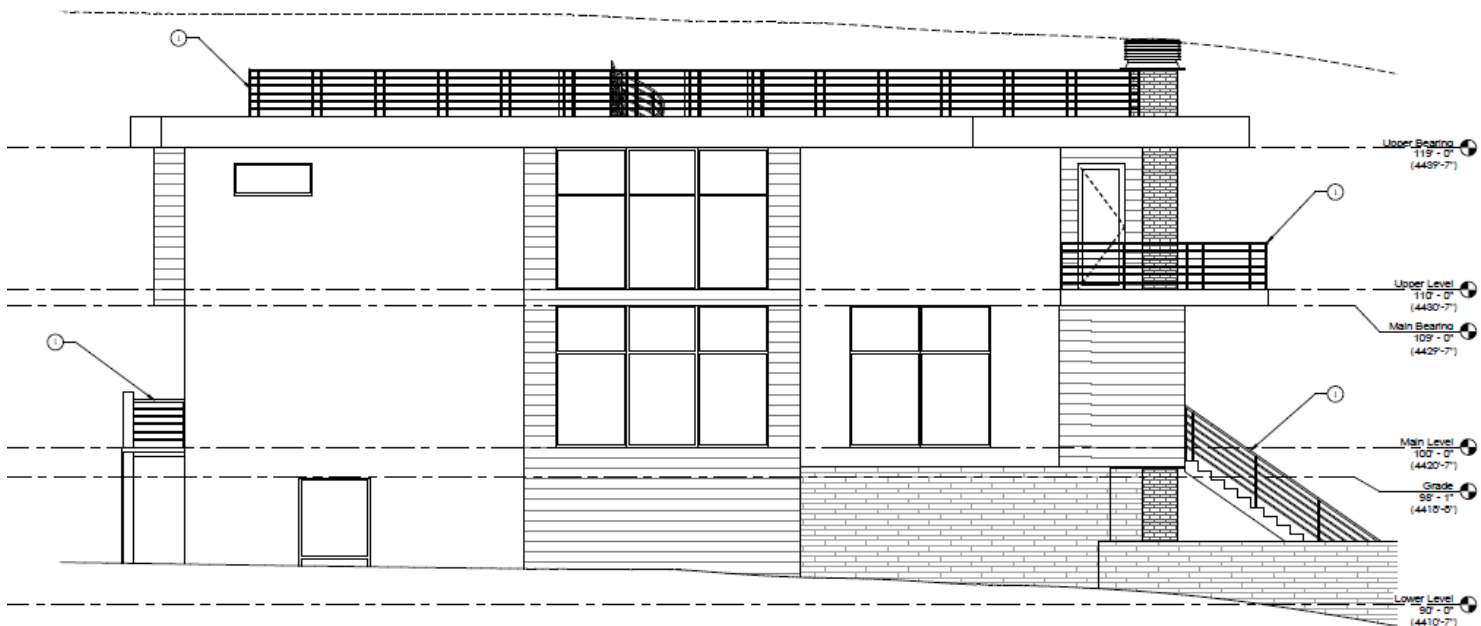
As discussed earlier in this report, the proposed structure will have two stories above grade and a partially submerged basement. The subject property is located in the RMF-35 zoning district and the height limit is 35 feet. The structure will be just under 35 feet in height.

The Capitol Hill Protection Overlay limits building height to the permitted height in the district; modifications beyond that are not permitted. The proposed exterior materials for the building will be smooth manganese (dark) brick, white brick, 6-inch-lap cedar siding, white stucco, black aluminum on the soffit/fascia, and black aluminum frames on the windows. Railings on the porches and balconies will be made of 2-inch-thick metal tubing.

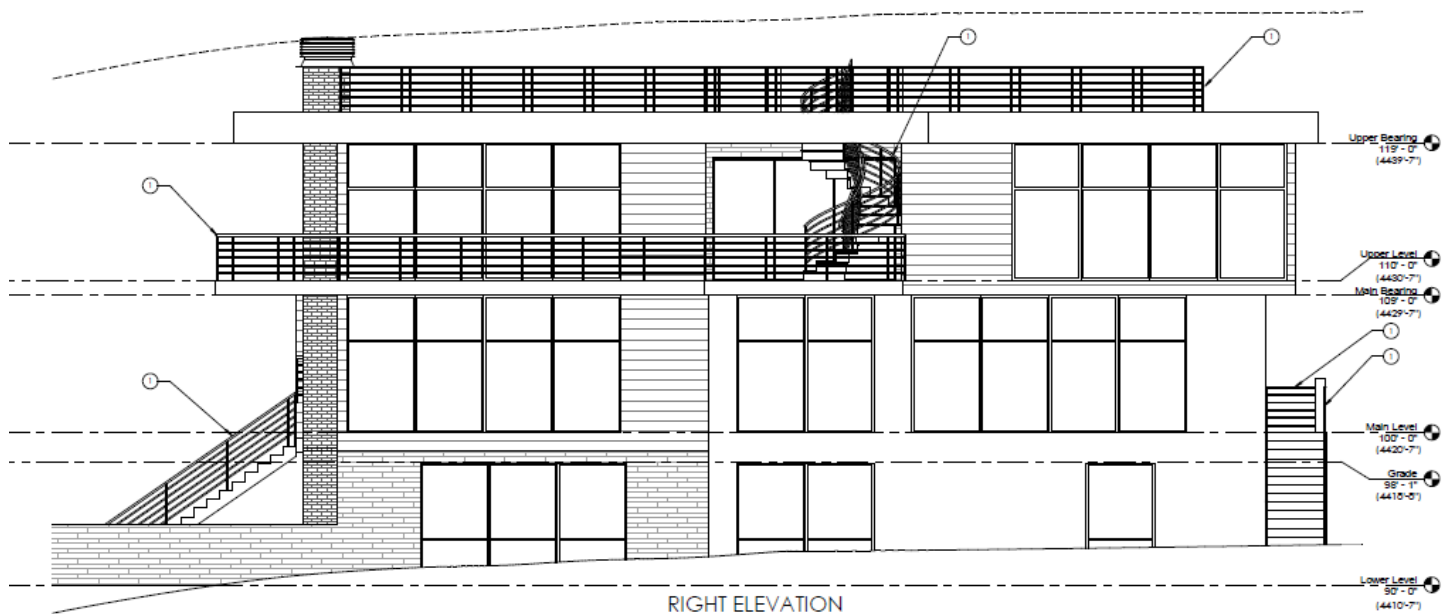
A wide chimney of dark brick sits near the middle of the front elevation of the proposed house, framed by floor-to-ceiling picture windows on the top two stories. Earlier iterations of the proposal had wider windows. Staff recommended that they be broken up to reflect the vertical emphasis of the existing building’s windows. Cedar siding fills up the remainder of the space on the elevation’s two upper stories. Except for the chimney and porch stairs, the base of the structure will be wrapped in white brick. A balcony wraps the second story of the building and another sits on the top of the building. Both will have railings with a horizontal design made of the 2-inch-thick tubing mentioned earlier.



FRONT ELEVATION



LEFT ELEVATION



The side elevation to the east (facing the existing house) continues the pattern established by the front (white brick, cedar siding, and picture windows), but adds white stucco as you move towards the back of the building. The west elevation, which faces the park, also has a similar pattern, but with nearly a wall of windows. The applicants stated that because it is the “side of the house that people will see the most,” they wanted to “build a visually stunning house that has a lot of glass and character.” The house’s rear elevation will also have floor-to-ceiling picture windows and cedar siding on the second story. However, it will primarily be wrapped in white stucco.

APPROVAL PROCESS AND COMMISSION AUTHORITY

The applicant has submitted an application for New Construction in the Central City Historic District. The Historic Landmark Commission has decision-making authority for this review. The Commission may make modifications to lot and bulk standards, including required yards and lot width, in historic districts.

KEY CONSIDERATIONS:

Staff has identified the following key considerations during the review and analysis of the proposed project:

1. Requested Modifications to Zoning Requirements
2. Compliance with Residential Design Guidelines
3. Modifications to Zoning Requirements for a Proposed Subdivision

Requested Modifications to Zoning Requirements

Section [21A.06.050.C.6](#) of the Salt Lake City Zoning Ordinance grants the Historic Landmark Commission the authority to modify some dimensional and development standards of the underlying zoning district, provided a proposal meets all other relevant standards. In order to maintain the character of the district and to enable the division of the property into two lots, the applicants are requesting the following modifications:

- On the proposed West Lot:
 - A reduction of the south side-yard setback from 10 feet to five feet
 - A reduction of the Front yard setback from 20 feet to 13 feet.
 - A reduction of the lot width from 50 feet to approximately 42.5 feet
- On the proposed East Lot:
 - A reduction of the south side-yard setback from 10 feet to zero feet.
 - A reduction of the lot width from 50 feet to approximately 48.2 feet.

Staff is recommending approval of all requested modifications. Approving the proposed modifications enables the proposed building to better fit within the context of its block and neighborhood and will encourage owner occupancy of both the existing and proposed houses. Strict adherence to the relevant standards would result in a project that ignores the existing development pattern of the neighborhood. The proposed structure would be closer to the existing building and further back from the street, disrupting how the neighborhood is read from the public right of way.



Current Proposal



Initial Proposal

Compliance with Residential Design Guidelines

The proposed two-family dwelling complies with the adopted standards in 21A.34.020.H and Chapter 12: New Construction in the Residential Design Guidelines. The applicant worked with staff to make numerous modifications to the initial proposal. Renderings of the initial submittal and the current proposal are below for comparison. Changes made by the applicant include:

- Replacing the cantilevered basement with a bulkier base that reflects the scale of existing houses in the neighborhood
- Dividing the picture windows to add a stronger vertical emphasis to the facades visible from the public right of way
- Removal of a garage on the front of the house
- Reducing the size of the front door to better match the scale of surrounding properties

Modifications to Zoning Requirement for a proposed Subdivision

The Historic Landmark Commission does not have the authority to approve subdivisions or make modifications to subdivision requirements. However, the commission is able to grant modifications to lot and bulk zoning standards that would apply to a future subdivision. If the commission approves the requested modifications found on the proposed site plan, those changes would apply during the subdivision process. Planning Staff would be able to apply the approved modifications to the corresponding preliminary and final plat petitions. The Record of Decision letter and corresponding site plan would need to be included with any recorded or approval documents.

STAFF RECOMMENDATION

The applicant is seeking New Construction approval for a single-family dwelling in the Capitol Hill Historic District. The proposal is consistent with the adopted standards for New Construction and the Residential Design Guidelines for New Construction. The form and massing of the proposed dwelling is compatible with the adjacent building and the character of this area in the historic district. The requested modifications allow the proposal to better fit with the district's character than through strict adherence to zoning requirements. The applicants have worked with staff to make modifications to the proposal that enhance its appearance and fit with the surrounding properties. Staff recommends approval of this proposal with the conditions recommended at the beginning of this report.

NEXT STEPS

Approval of the New Construction Request

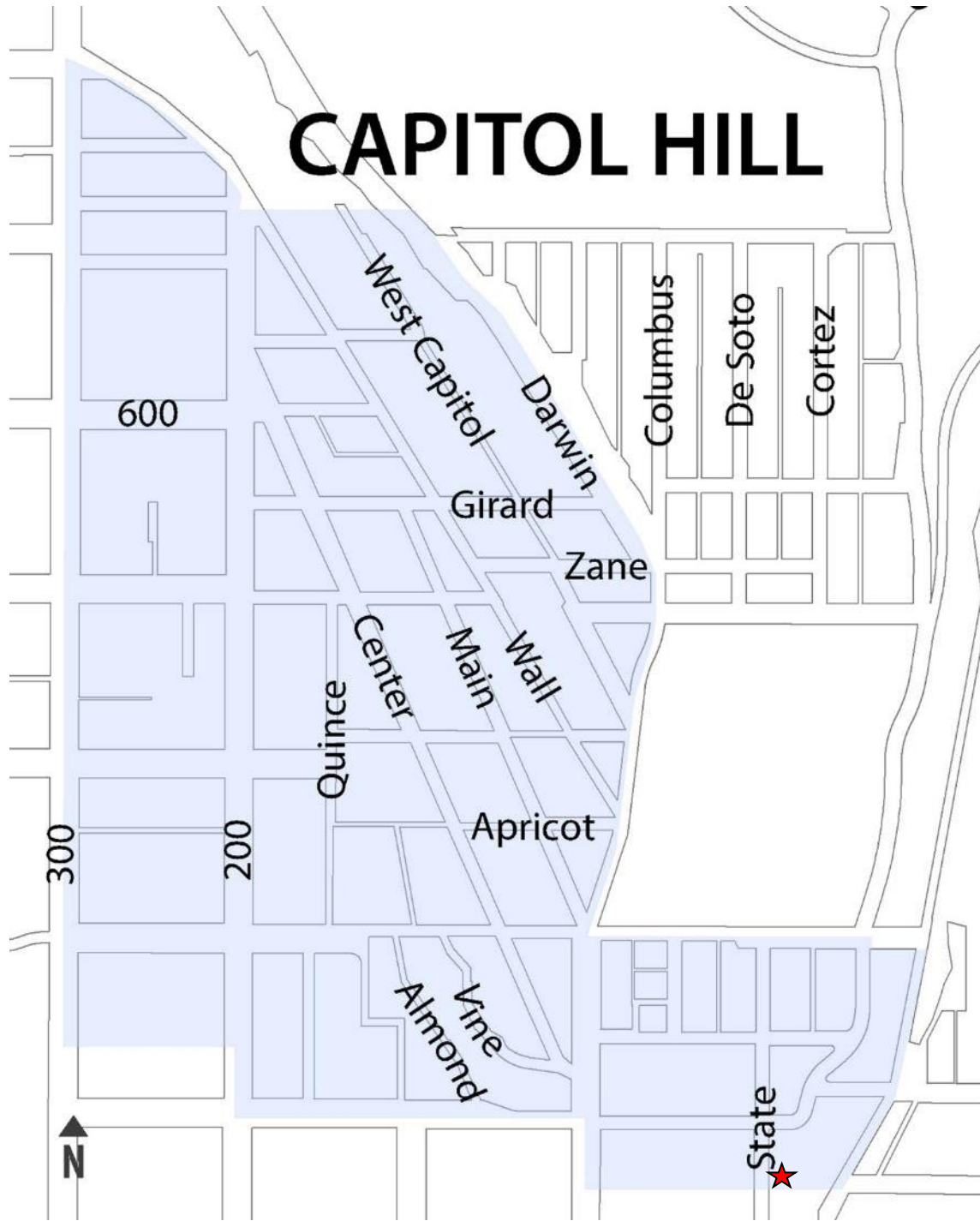
If the request for New Construction is approved by the Historic Landmark Commission and a Certificate of Appropriateness is granted, then the applicant may proceed with the project as represented in the staff report and will be required to obtain all necessary approvals and permits for the proposed building and subdivision. Depending on the scope, modifications to the proposal may be reviewed administratively by staff or by the Historic Landmark Commission.

Denial of the New Construction Request

If the Historic Landmark Commission disagrees with Staff's recommendation and the project is denied, the applicant would not be issued a Certificate of Appropriateness for the request and any new proposal would require the submittal of a new application.

There is a 30-day period in which the applicant may appeal the Historic Landmark Commission's decision to the city's Appeals Hearing Officer and there is a 10-day appeal period in which any party entitled to appeal can appeal the Historic Landmark Commission's decisions to the city's Appeals Hearing Officer. This appeal period is required in the City's Zoning Ordinance and allows time for any affected party to protest the approval, if they so choose.

ATTACHMENT A: HISTORIC DISTRICT VICINITY MAP



★ *Approximate Project Location*

ATTACHMENT B: CURRENT PHOTOGRAPHS





















ATTACHMENT C: APPLICANT SUBMITTAL AND PLANS

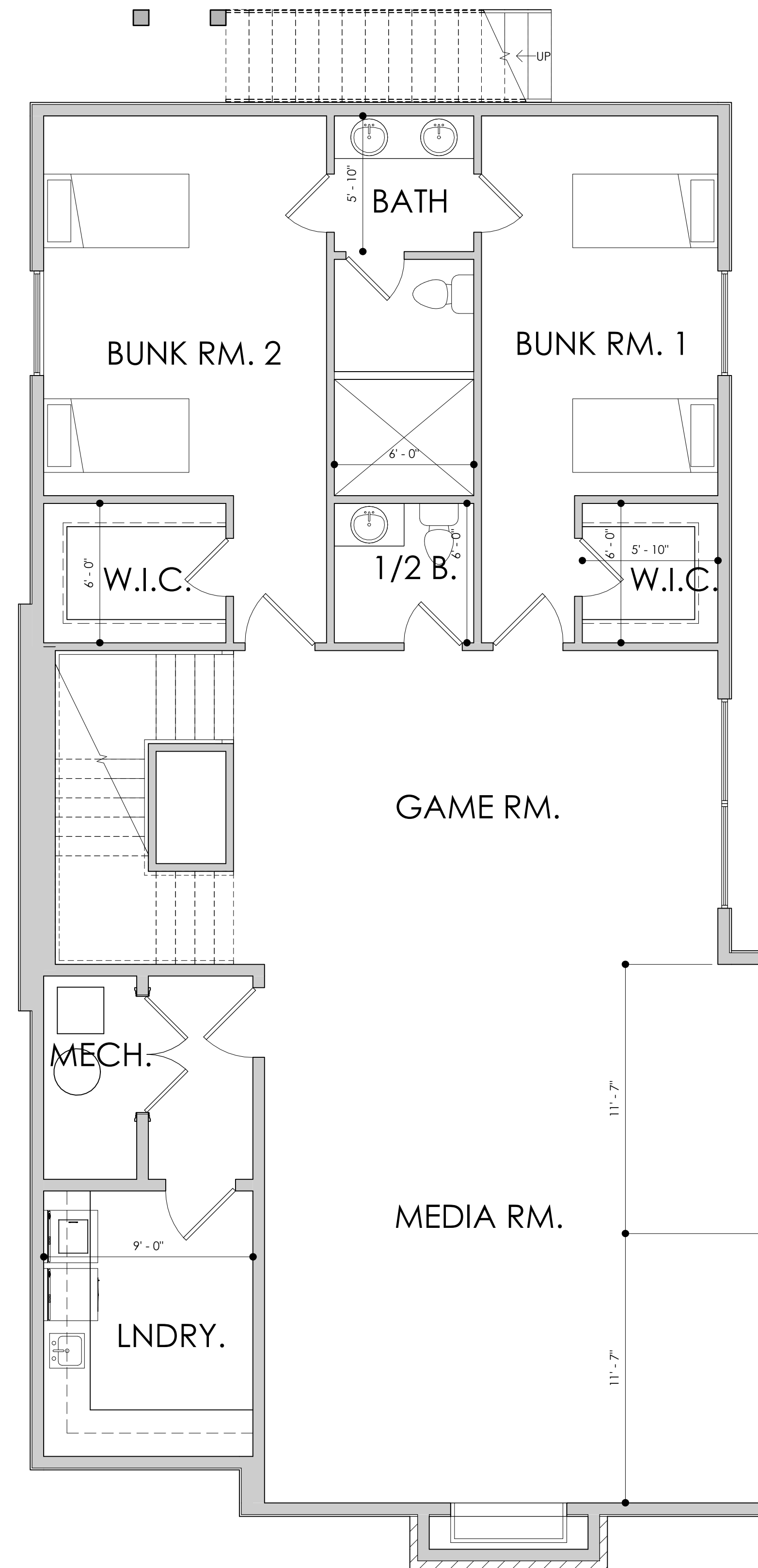
LOWER LEVEL DOOR SCHEDULE		
NAME	WIDTH	HEIGHT
10	2' - 6"	8' - 0"
22	3' - 0"	8' - 0"
D1	3' - 0"	8' - 0"
D179	5' - 0"	8' - 0"

HEAD HEIGHTS MEASURED FROM LOWER LEVEL

LOWER LEVEL WINDOW SCHEDULE			
NAME	WIDTH	HEIGHT	HEAD HEIGHT
W279	4' - 6"	8' - 0"	8' - 0"

SHEET NOTES

#	Comments
1	Exterior combustion air is req'd as per IRC
2	Weatherproofing threshold in cold storage and mech.
3	Seismic straps are req'd for water heater as per IRC
4	Contractor to provide flue as required
5	Line of perimeter drain as req'd
6	A handrail is req'd from the nosing at top stair to the nosing of the bottom stair as per IRC
7	36" min. guardrail is req'd as per IRC, w/ style as per owner
8	5/8" type 'X' gyp. bd. under stairs as per IRC
9	Ceiling heights may vary w/ utility chases



Robinson Home

Builder must confirm all dimensions, site conditions, and measurements prior to construction. Plans and documents are the property of Jewkes Design. Any reuse or distribution in part or in whole without written permission is prohibited. Designer is not an architect or engineer.

Project 2021 - 197	Subdivision, Lot
17 August 2022	Salt Lake City, UT

A101

12 x 18 (paper size)	Scale: 1/8" = 1'-0"
24 x 36 (paper size)	Scale: 1/4" = 1'-0"

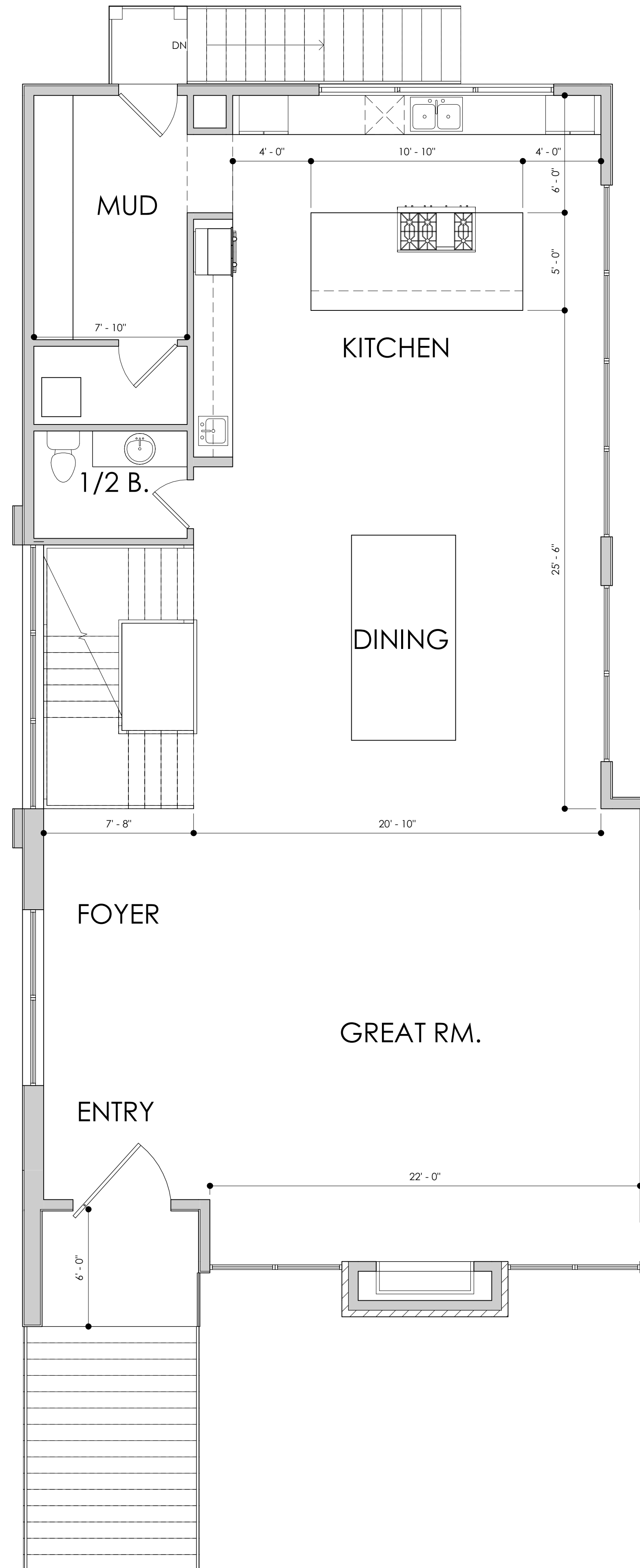
LOWER LEVEL SF	
Living Space	1630 SF
Storage	27 SF

LOWER LEVEL FLOOR PLAN

MAIN LEVEL DOOR SCHEDULE		
NAME	WIDTH	HEIGHT
9	2' - 6"	8' - 0"
22	3' - 0"	8' - 0"
D1	3' - 0"	8' - 0"
D196	5' - 0"	8' - 0"

HEAD HEIGHTS MEASURED FROM MAIN LEVEL

MAIN LEVEL WINDOW SCHEDULE			
NAME	WIDTH	HEIGHT	HEAD HEIGHT
W265	4' - 6"	9' - 0"	9' - 0"
W276	4' - 0"	4' - 6"	7' - 6"
W285	3' - 5"	9' - 0"	9' - 0"
W287	3' - 4"	9' - 0"	9' - 0"



MAIN LEVEL SF	
Garage Space	0 SF
Living Space	1774 SF
Outdoor Space	0 SF

SHEET NOTES

- | # | Comments |
|----|--|
| 1 | Provide gas meter as per code |
| 2 | Provide power meter as per code |
| 3 | A/C units and pads to be provided as per code. Units to be installed as per manufacturer specs |
| 4 | A 36" x 36" min. landing is req'd outside all exterior doors |
| 5 | Slope concrete slab 4" to doors |
| 6 | Plumbing, water, vacuum, and other penetrations through garage fire wall to be w/ metal piping |
| 7 | (2) layers 1/2" type 'X' typ. bd. @ clg. ^ (1) layer 5/8" type 'X' gyp. bd. @ house walls are req'd as per IRC |
| 8 | 6" conc. curb is required in garage |
| 9 | Door from garage to house to be metal, 20 min. fire-rated w/ self closing hinges as per IRC |
| 10 | Hot & cold mixing valve as per owner |
| 11 | A handrail is req'd from the nosing at top stair to the nosing of the bottom stair as per IRC |
| 12 | 36" min. guardrail is req'd as per IRC, w/ style as per owner |
| 13 | Hose bibb w/ backflow preventers and non-freeze type to be installed at front and rear of home as per IRC |
| 14 | Contractor to provide flue as required |



Robinson Home

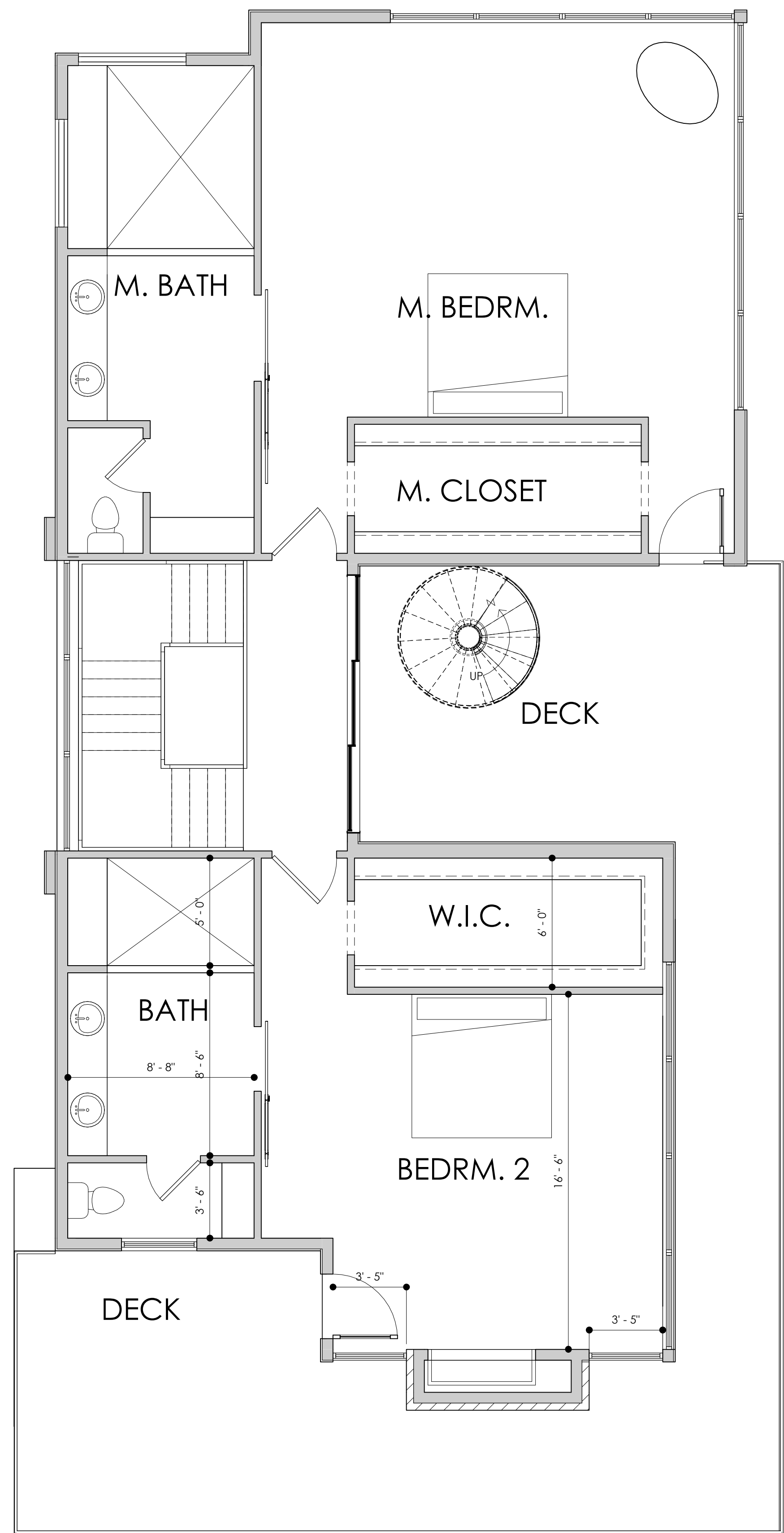
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Project 2021 - 197	Subdivision, Lot
17 August 2022	Salt Lake City, UT

A103

12 x 18 (paper size)	Scale: 1/8" = 1'-0"
24 x 36 (paper size)	Scale: 1/4" = 1'-0"

MAIN LEVEL FLOOR PLAN



COMPLETE SCHEDULES ON C103

UPPER LEVEL DOOR SCHEDULE

NAME	WIDTH	HEIGHT
10	2' - 6"	8' - 0"
D1	3' - 0"	8' - 0"
D9	3' - 0"	8' - 0"
D60	3' - 0"	8' - 0"
D192	12' - 0"	8' - 0"
D194	4' - 0"	8' - 0"

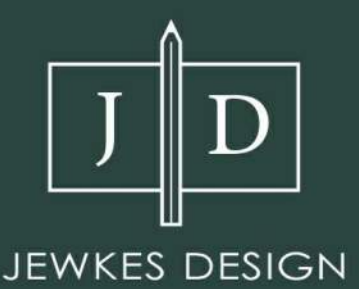
HEAD HEIGHTS MEASURED FROM UPPER LEVEL

UPPER LEVEL WINDOW SCHEDULE

NAME	WIDTH	HEIGHT	HEAD HEIGHT
W265	4' - 6"	9' - 0"	9' - 0"
W274	3' - 6"	9' - 0"	9' - 0"
W278	4' - 0"	9' - 0"	9' - 0"
W280	5' - 0"	2' - 0"	8' - 0"
W285	3' - 5"	9' - 0"	9' - 0"

SHEET NOTES

#	Comments
1	Attic access as per IRC
2	A handrail is req'd from the nosing at top stair to the nosing of the bottom stair as per IRC
3	36" min. guardrail is req'd as per IRC, w/ style as per owner
4	Contractor to provide flue as required



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A105

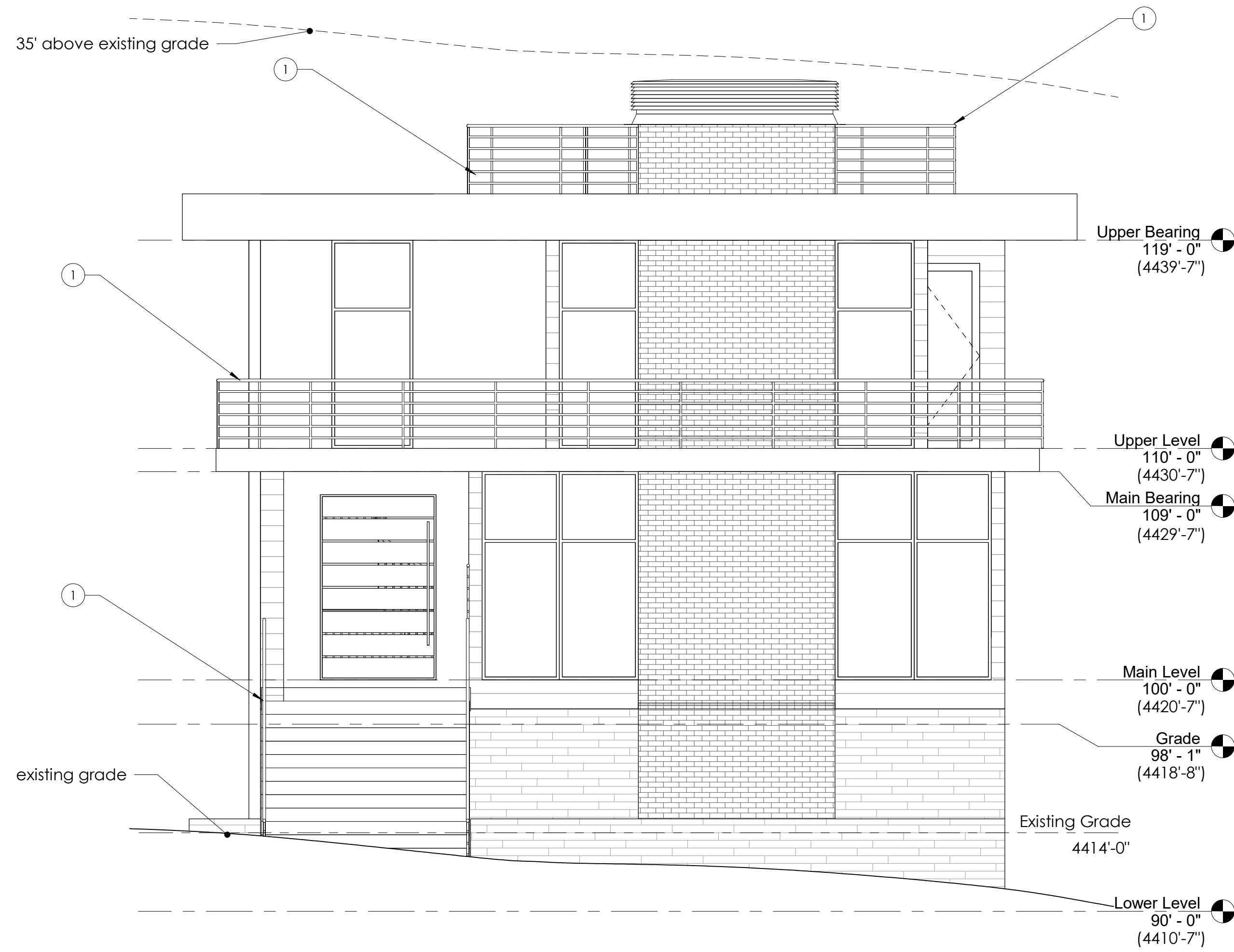
12 x 18 (paper size)	Scale: 1/8" = 1'-0"
24 x 36 (paper size)	Scale: 1/4" = 1'-0"

UPPER LEVEL SF	
Living Space	1585 SF

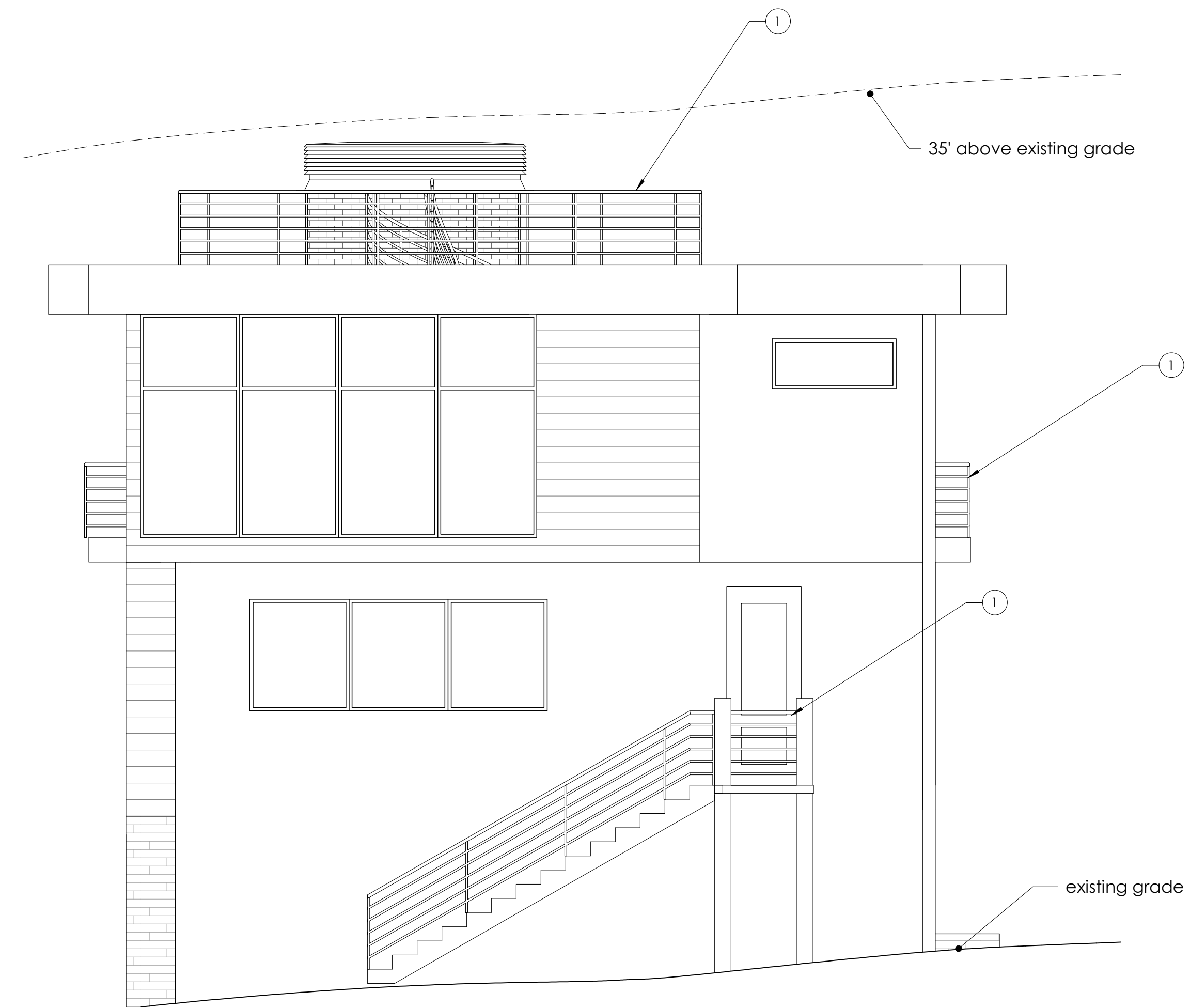
UPPER LEVEL FLOOR PLAN

SHEET NOTES

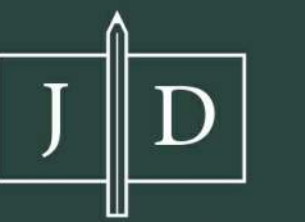
#	Comments
1	All railing to be a minimum of 2" thick above the standard 1 1/2" thick as per owner All railing to be a minimum of 2" thick above the standard 1 1/2" thick as per owner



FRONT ELEVATION



REAR ELEVATION



JEWKES DESIGN

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Project 2021 - 197	Subdivision, Lot
17 August 2022	Salt Lake City, UT

A201

12 x 18 (paper size)	Scale: 1/8" = 1'-0"
24 x 36 (paper size)	Scale: 1/4" = 1'-0"

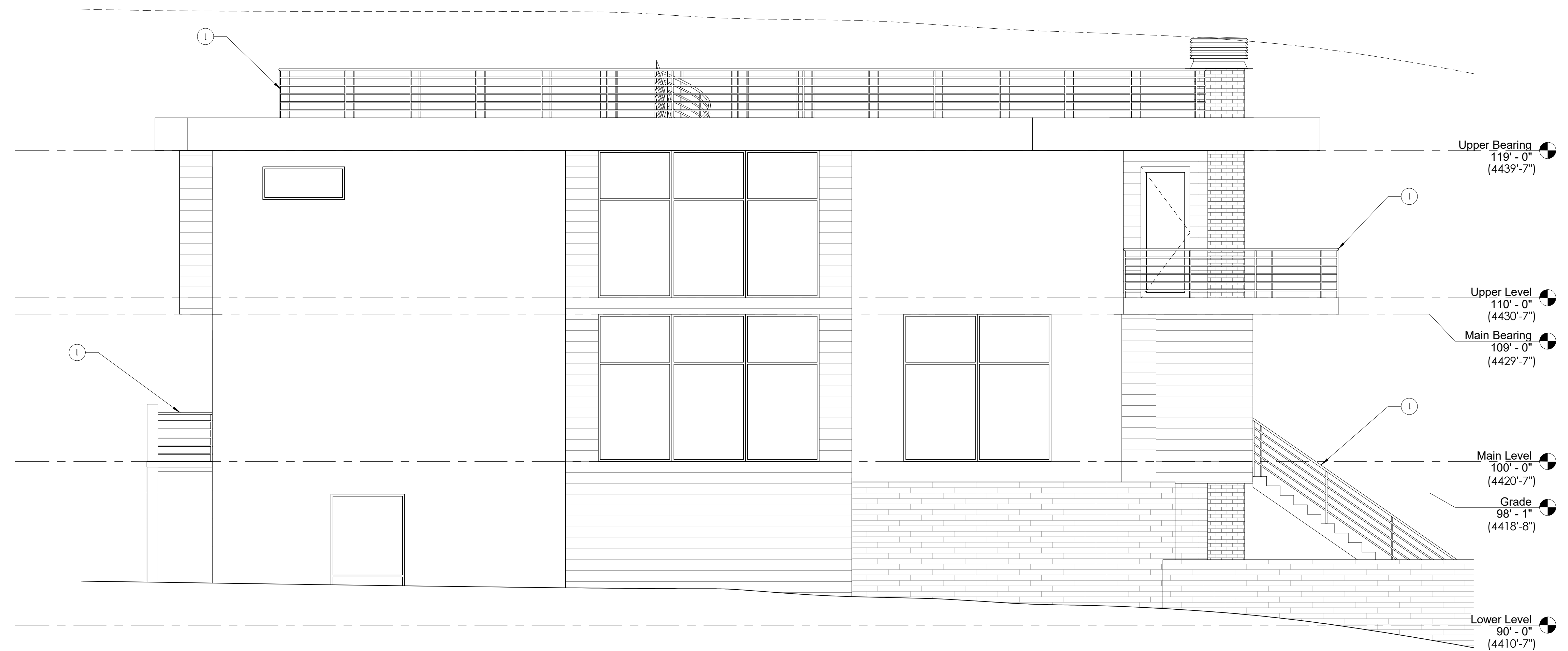
FRONT & REAR ELEVATIONS

SHEET NOTES

#	Comments
1	All railing to be a minimum of 2" thick above the standard 1 1/2" thick as per owner All railing to be a minimum of 2" thick above the standard 1 1/2" thick as per owner



RIGHT ELEVATION



LEFT ELEVATION



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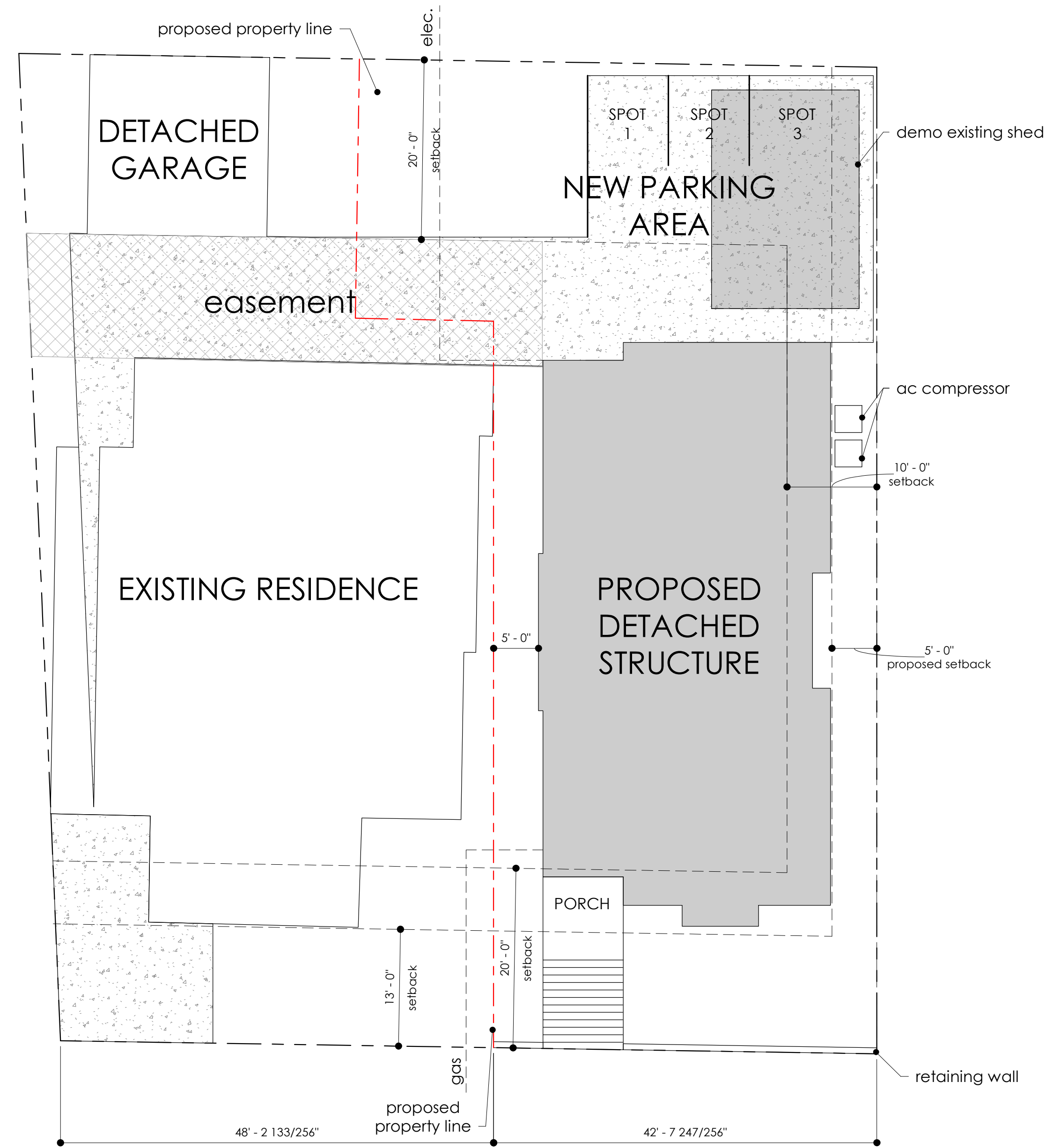
A202

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24 x 36 (paper size)	Scale: 1/4" = 1'-0"

LEFT & RIGHT ELEVATIONS

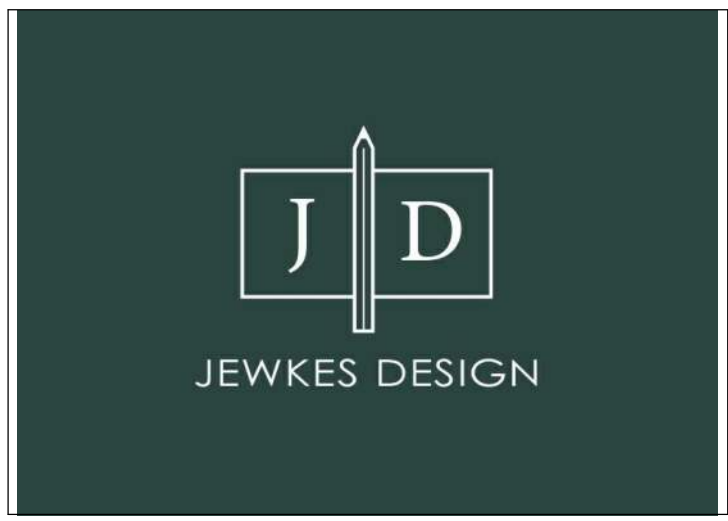
SHEET NOTES

#	Comments
1	Driveway slope to have be a min. 2% away from garage. Maximum slope to be 12%
2	Final grade to slope away from house @ 5% minimum for the first 10'
3	Drainage to slope away from home to a public utility. All drainage to be prevented from going to any neighboring property. Drainage must go to street
4	Landscape by others
5	Provide 2% rise in sewer lateral as per IRC
6	Retaining walls to be provided w/ style as per owner. Any walls over 4'-0" must be designed by a licensed engineer
7	Landscaping berming to be provided for runoff water retention
8	SWPPP sign location



LOT SQUARE FOOTAGE	
EXIST. LOT	10,233 SQFT.
PROP. LOT 1	5134 SQFT.
PROP. LOT 2	5099 SQFT.

LOT INFO	
Address	?
City	Salt Lake City, UT
Subdivision	?
Lot #	?



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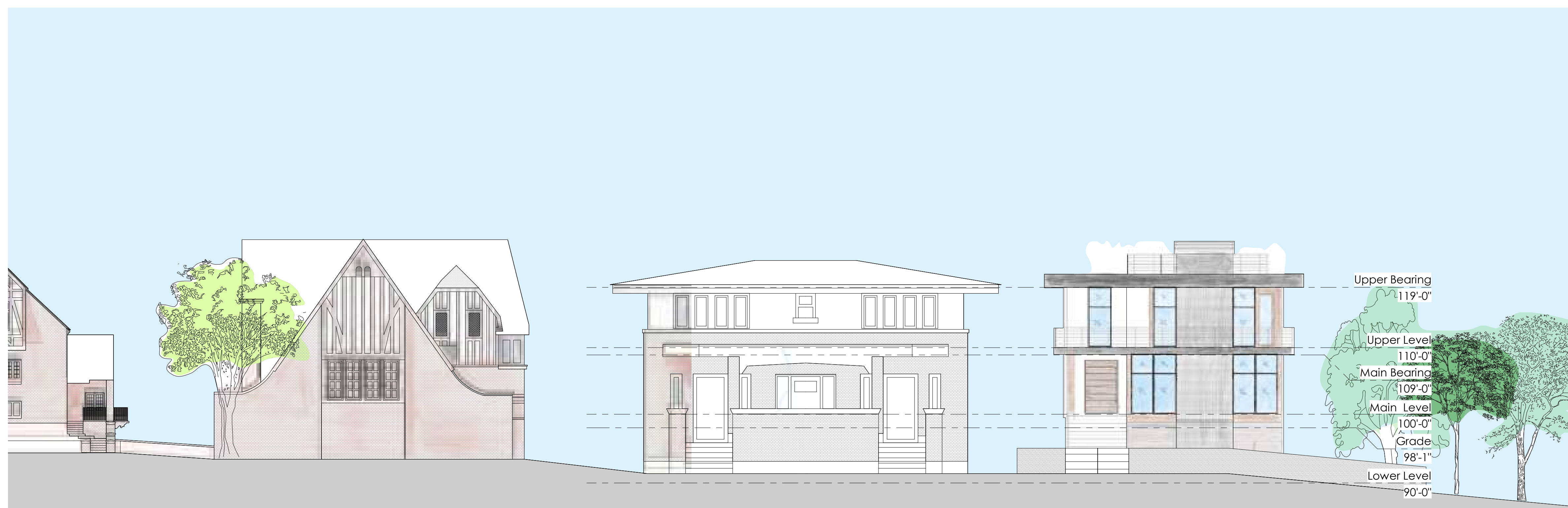
C201

12 x 18 (paper size)	Scale: 1" = 20'-0"
24 x 36 (paper size)	Scale: 1" = 10'-0"

SITE PLAN

SHEET NOTES

See sheet A201 for building height



HOUSE (Right to Left)	Setback (in FT.)
House #1	16.08
House #2	21.25
House #3	18.25
TOTAL:	55.58
AVG. 55.58/3	18.53



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Project 2021 - 197 Subdivision, Lot
17 August 2022 Salt Lake City, UT

C202

12 x 18 (paper size) Scale: 1/32" = 1'-0"
24 x 36 (paper size) Scale: 1/16" = 1'-0"

STREETSCAPE STUDY











ATTACHMENT D: EXISTING CONDITIONS

The existing single-family dwelling, garage and accessory building are the only buildings on the lot. The proposed structure would be constructed within the side yard of the subject property. As discussed earlier in this report, the applicant plans to divide the property into two lots. The zoning analysis below reflects that two-lot proposal and not the current configuration.

RMF-35 Moderate Density Multi-Family Residential District

Purpose Statement: The purpose of the RMF-35 Moderate Density Multi-Family Residential District is to provide an environment suitable for a variety of moderate density housing types, including single-family, two-family, and multi-family dwellings with a maximum height of thirty five feet (35'). This district is appropriate in areas where the applicable Master Plan policies recommend a density of less than thirty (30) dwelling units per acre. This district includes other uses that are typically found in a multi-family residential neighborhood of this density for the purpose of serving the neighborhood. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

Zoning Ordinance Standards for RMF-35 Low Density Multi-family Residential District

Standard	Proposed	Finding
Minimum Lot Area: 5,000 square feet for single-family detached dwellings	East Lot: ~5,006 sq ft West Lot: ~5,009 sq ft	Complies
Minimum Lot Width: 50 feet	East Lot: ~42.5 ft West Lot: ~48 ft	Complies with requested modifications While the proposed lots do not meet the required width for single-family attached dwellings in the RMF-35 zoning district, they do reflect the existing development pattern in the immediate neighborhood.
Maximum Building Height: 35 feet Capitol Hill Protection Overlay prohibits additional height through established processes (Planned Development, Design Review, Historic Landmarks Commission)	34 feet to top of balcony railings. Top of chimney is just over 35 feet, which is a permitted obstruction beyond the allowed height.	Complies
Front Yard Setback: 20 feet for single-family detached dwellings	East Lot: 13 feet (existing) West Lot: 13 feet to align with adjacent property	Complies with requested modifications Responding to staff's recommendations, the applicants have moved the proposed building closer to the front property line so that it fits with the block's character.
Interior Side Setback: 10 feet on one side, 4 feet on the other	East Lot: <ul style="list-style-type: none"> • East side yard: existing • West side yard: zero feet West Lot: <ul style="list-style-type: none"> • East side yard: 5 feet • West side yard: 5 feet 	Complies with requested modifications To maintain the existing rhythm (spacing pattern) of the block, staff asked the applicants to move the proposed building further south. This places the building within the required setback but improves its compatibility with the district. The proposed zero-lot-line on the existing structure is also compatible with the district's development patterns.
Rear Yard Setback: 20 feet	East Lot: ~31 feet West Lot: ~33 feet	Complies
Maximum Building Coverage: 45% for single-family detached dwellings	East Lot: ~45% West Lot: ~41%	Complies
Off Street Parking: 2 spaces (21A.44.030.G)	East Lot: 2 spaces in garage West Lot: 3 spaces	Complies

ATTACHMENT E: ANALYSIS OF STANDARDS

NEW CONSTRUCTION

H Historic Preservation Overlay District – Standards For Certificate Of Appropriateness Involving New Construction Or Alteration Of A Noncontributing Structure (21A.34.020.H)

In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the Historic Landmark Commission, or Planning Director when the application involves the alteration of a noncontributing structure shall, using the adopted design guidelines as a key basis for evaluation, determine whether the project substantially complies with each of the following standards that pertain to the application to ensure that the proposed project fits into the established context in ways that respect and contribute to the evolution of Salt Lake City's architectural and cultural traditions:

Standard	Analysis	Finding
<p>1. Settlement Patterns and Neighborhood Character:</p> <p>a. Block and Street Patterns: The design of the project preserves and reflects the historic block, street, and alley patterns that give the district its unique character. Changes to the block and street pattern may be considered when advocated by an adopted City plan.</p> <p>b. Lot and Site Patterns: The design of the project preserves the pattern of lot and building site sizes that create the urban character of the historic context and the block face. Changes to the lot and site pattern may be considered when advocated by an adopted City plan.</p> <p>c. The Public Realm: The project relates to adjacent streets and engages with sidewalks in a manner that reflects the character of the historic context and the block face. Projects should maintain the depth of yard and height of principal elevation of those existing on the block face in order to support consistency in the definition of public and semi-public spaces.</p> <p>d. Building Placement: Buildings are placed such that the project maintains and reflects the historic pattern of setbacks and building depth established within the historic context and the block face. Buildings should maintain the setback demonstrated by existing buildings of that type constructed in the district or site's period of significance.</p> <p>e. Building Orientation: The building is designed such that principal entrances and pathways are oriented such that they address the street in the pattern established in the historic context and the block face.</p>	<p>The proposed dwelling preserves, reflects, and, relates to the existing settlement pattern and neighborhood character.</p> <p>a. With the requested modifications, the proposed dwelling will not alter the existing block and street patterns. It will maintain the existing rhythm along State Street.</p> <p>b. The proposed lots will preserve the existing patterns in the neighborhood. Comparable lots in the neighborhood generally range from 30 to 50 feet wide. The proposed widths are 48 and 42 feet. The requested modifications maintain the neighborhood lot and site patterns.</p> <p>c. Both proposed lots will face the street in a similar manner as similar lots in the immediate vicinity. The proposed front yard setback modification will maintain the existing lot depth pattern on the block and within the neighborhood. The proposed building height is also consistent with the heights along the block face as seen in the applicant's submittal in Attachment C</p> <p>d. The proposed dwelling will be placed with a setback and building depth that is compatible with the dwellings across the street and to the north.</p> <p>e. The main entrance of the proposed dwelling is oriented such that it faces the street. Like other houses on the street, a pathway will extend from the main entrance to the sidewalk.</p>	<p>Complies with requested modifications</p>

<p>2. Site Access, Parking, And Services:</p> <p>a. Site Access: The design of the project allows for site access that is similar, in form and function, with patterns common in the historic context and the block face.</p> <p>(1) Pedestrian: Safe pedestrian access is provided through architecturally highlighted entrances and walkways, consistent with patterns common in the historic context and the block face.</p> <p>(2) Vehicular: Vehicular access is located in the least obtrusive manner possible. Where possible, garage doors and parking should be located to the rear or to the side of the building.</p> <p>b. Site And Building Services And Utilities: Utilities and site/building services (such as HVAC systems, venting fans, and dumpsters) are located such that they are to the rear of the building or on the roof and screened from public spaces and public properties.</p>	<p>The site access, parking, and related services are located such that they are compatible with the neighborhood.</p> <p>a. Access to the site is similar to other properties in the neighborhood.</p> <p>(1) Pedestrian access to the main entrance will be provided from a pathway from a new sidewalk onto State Street.</p> <p>(2) Vehicular access will be provided through an existing shared driveway that straddles the north property line of the building. Shared driveways to parking behind houses is common in this neighborhood.</p> <p>b. The proposed a/c condensers will be located near the rear of the proposed house. <i>Staff recommends that they be screened from the adjacent park as a condition of approval.</i></p>	<p>Complies with recommended condition</p>
<p>3. Landscape And Lighting:</p> <p>a. Grading Of Land: The site's landscape, such as grading and retaining walls, addresses the public way in a manner that reflects the character of the historic context and the block face.</p> <p>b. Landscape Structures: Landscape structures, such as arbors, walls, fences, address the public way in a manner that reflects the character of the historic context and the block face.</p> <p>c. Lighting: Where appropriate lighting is used to enhance significant elements of the design and reflects the character of the historic context and the block face.</p>	<p>a. The applicants have proposed a retaining wall along the front of the proposed structure that will require minimal grade changes. The new retaining wall will reflect the development pattern along State Street, where walls in the front yard are common.</p> <p>b. No landscape structures are proposed with this request.</p> <p>c. The applicant plans to light the property in a way that will not negative impact the district. Exterior lighting can be reviewed by staff during the building permit review stage.</p>	<p>Complies</p>

<p>4. Building Form And Scale:</p> <p>a. Character Of The Street Block: The design of the building reflects the historic character of the street facade in terms of scale, composition, and modeling.</p> <p>(1) Height: The height of the project reflects the character of the historic context and the block face. Projects taller than those existing on the block face step back their upper floors to present a base that is in scale with the historic context and the block face.</p> <p>(2) Width: The width of the project reflects the character of the historic context and the block face. Projects wider than those existing on the block face modulate the facade to express a series of volumes in scale with the historic context and the block face.</p> <p>(3) Massing: The shape, form, and proportion of buildings, reflects the character of the historic context and the block face.</p> <p>(4) Roof Forms: The building incorporates roof shapes that reflect forms found in the historic context and the block face.</p>	<p>The form and scale of the proposed dwelling is compatible with others on the block face in terms of its scale, composition, and modeling.</p> <ol style="list-style-type: none"> (1) The height of the proposed dwelling is consistent with others on the block face. It accentuates horizontal features from the adjacent building in a way that maintains the block’s rhythm and character. (2) The neighborhood has a variety of building types and widths. While houses are generally wider on the south side of state street. Houses along the north side of the street range from 30 to 35 feet in width—similar in scale to the 33-foot-wide proposed building. (3) The massing of the proposed dwelling is compatible with the others on the block face. The block façade has a mixed character, and the shape, form, proportions, and size of window openings are compatible with the other, structures in the immediate vicinity (4) While the proposed structure has a flat roof, the chimney and balcony railings help to create a silhouette that references and reflects the low pitch of the existing house without mimicking the architectural style. 	<p>Complies</p>
<p>5. Building Character:</p> <p>a. Facade Articulation And Proportion: The design of the project reflects patterns of articulation and proportion established in the historic context and the block face. As appropriate, facade articulations reflect those typical of other buildings on the block face. These articulations are of similar dimension to those found elsewhere in the context, but have a depth of not less than twelve inches (12").</p> <p>(1) Rhythm Of Openings: The facades are designed to reflect the rhythm of openings (doors, windows, recessed balconies, etc.) established in the historic context and the block face.</p> <p>(2) Proportion And Scale Of Openings: The facades are designed using openings (doors, windows, recessed balconies, etc.) of similar proportion and scale to that established in the historic context and the block face.</p> <p>(3) Ratio Of Wall To Openings: Facades are designed to reflect the ratio of wall to openings (doors, windows, recessed balconies, etc.) established in the historic context and the block face.</p> <p>(4) Balconies, Porches, And External Stairs: The project, as appropriate, incorporates entrances, balconies, porches, stairways, and other projections that reflect patterns established in the historic context and the block face.</p>	<p>The character of the proposed dwelling has appropriate architectural elements that reflect and respect the pattern and context. The features and articulation are similar to the adjacent, relatively recently constructed development.</p> <ol style="list-style-type: none"> (1) The proposed structure will not be constructed in a prairie foursquare style like the existing building on the lot. However, the design of the proposed building does attempt to mimic the interaction of vertical and horizontal elements. The horizontal elements of the proposed structure (rooflines and overhangs) align with the adjacent building and the primary vertical elements are the windows. (2) Initially, the applicants proposed much wider picture windows along the visible facades of the proposed building. However, after feedback from staff, the windows, doors, and front porch are closer in scale to the existing building on the lot. Two large windows flank the front porch of the existing building, and the windows on either side of the proposed chimney mimic that symmetry. (3) With the exception of the Tudor-style house to the north of the subject property, the solid to void ratio on the front façade of the building is compatible with the surrounding context. The windows flanking the chimney are similar in scale to the windows found at the porch of the existing building. (4) The scale of windows, porches, doors, and other projecting elements will not be out of proportion with the surrounding context. 	<p>Complies</p>

<p>6. Building Materials, Elements And Detailing:</p> <p>a. Materials: Building facades, other than windows and doors, incorporate no less than eighty percent (80%) durable material such as, but not limited to, wood, brick, masonry, textured or patterned concrete and/or cut stone. These materials reflect those found elsewhere in the district and/or setting in terms of scale and character.</p> <p>b. Materials On Street-Facing Facades: The following materials are not considered to be appropriate and are prohibited for use on facades which face a public street: vinyl siding and aluminum siding.</p> <p>c. Windows: Windows and other openings are incorporated in a manner that reflects patterns, materials, and detailing established in the district and/or setting.</p> <p>d. Architectural Elements And Details: The design of the building features architectural elements and details that reflect those characteristic of the district and/or setting.</p>	<p>The proposed building materials, elements, and details are appropriate for the proposed dwelling and reflect the setting and context.</p> <p>a. The proposed materials on the building reflect materials and colors used on houses in the immediate vicinity. The street-facing façade will primarily be made of brick (dark for the chimney, white for the basement), 6-inch lap cedar siding, and stucco. All materials can be found on houses within the immediate vicinity of the subject property.</p> <p>b. No vinyl or aluminum siding is proposed.</p> <p>c. A cedar pivot door and side panels are proposed for the front entry. The proposed windows will be framed by black aluminum, similar to the proposed material for eaves and fascia.</p> <p>d. While the proposed structure is modern in its design, its elements and details still reflect the characteristics of surrounding dwellings. The horizontal features of the proposed structure attempt to accentuate the horizontal features of the adjacent building. The base of the building is made of bulkier materials. Initially, the applicant had proposed a cantilevered main floor over the basement. Additionally, the picture windows were not divided as they are in the current proposal. In response to staff's recommendations, the applicant provided a bulkier base and divided the windows for vertical emphasis.</p>	<p>Complies</p>
<p>7. Signage Location: Locations for signage are provided such that they are an integral part of the site and architectural design and are complementary to the principal structure.</p>	<p>No signage has been proposed as part of this request.</p>	<p>Not applicable</p>

ATTACHMENT F: APPLICABLE DESIGN GUIDELINES

A Preservation Handbook for Historic Residential Properties and District in Salt Lake City provides guidance and advice on ways to meet the design standards in the zoning ordinance, and Part II, Chapter 12: New Construction includes the relevant historic guidelines for this application and are identified below for the Commissions' reference:

A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City ([Chapter 12 - New Construction](#) and [Chapter 14: Capitol Hill](#)) provide the appropriate historic design guidelines for this review. The guidelines that are most relevant to the proposed project have been listed below for the Commissioners' reference:

SITE DESIGN GUIDELINES

Street and Block Patterns

12.1 The plan of alleys and streets in a historic district is essential to its historic character and should be preserved.

12.2 The role of the street pattern, including the layout of the individual block, as a unifying framework and setting for a variety of lot sizes and architecture, should be retained.

Building Placement and Orientation

12.3 When designing a new building, the historic settlement patterns of the district and context should be respected.

12.4 The front and the entrance of a primary structure should orient to the street.

BUILDING SCALE GUIDELINES

Mass & Scale

12.5 A new building should be designed to reinforce a sense of human scale.

12.6 A new building should appear similar in scale to the established scale of the current street block.

12.7 The roof form of a new building should be designed to respect the range of forms and massing found within the district.

12.8 A front facade should be similar in scale to those seen traditionally in the block.

Height

12.9 Building heights should appear similar to those found historically in the district.

Width

12.11 A new building should appear similar in width to that established by nearby historic buildings.

Solid to Void Ratio

12.12 The ratio of wall-to-window (solid to void) should be similar to that found in historic structures in the district.

BUILDING FORM GUIDELINES

Form and Visual Emphasis

12.13 Building forms should be similar to those seen traditionally on the block.

12.14 Roof forms should be similar to those seen traditionally in the block and in the wider district.

Proportion and Emphasis of Building Façade Elements

12.15 Overall façade proportions should be designed to be similar to those of historic buildings in the neighborhood.

Rhythm & Spacing of Windows & Doors

12.16 The pattern and proportions of window and door openings should fall within the range associated with historic buildings in the area.

BUILDING MATERIALS AND DETAILS

Materials

12.17 Use building materials that contribute to the traditional sense of human scale of the setting.

12.18 Materials should have a proven durability for the regional climate and the situation and aspect of the building.

12.19 New materials that are similar in character to traditional materials may be acceptable with appropriate detailing.

Windows

12.20 Windows with vertical emphasis are encouraged.

12.21 Window reveals should be a characteristic of most masonry facades.

12.22 Windows and doors should be framed in materials that appear similar in scale, proportion and character to those used traditionally in the neighborhood.

Architectural Elements & Details

12.23 Building components should reflect the size, depth and shape of those found historically along the street.

12.24 Where they are to be used, ornamental elements, ranging from brackets to porches, should be in scale with similar historic features.

12.25 Contemporary interpretations of traditional details are encouraged.

12.26 The replication of historic styles is generally discouraged.

CAPITOL HILL HISTORIC DISTRICT

Street Pattern

14.1 The traditional rectilinear grid pattern of streets found on the western edge of the district should be maintained.

14.2 The angular, irregular street pattern found in the Marmalade portion of the district should be Maintained

14.3 A new driveway, as well as any street improvements, should be arranged so that they continue the respective street pattern.

Orientation

14.4 The traditional setback and alignment of buildings to the street, as established by traditional street patterns, should be maintained.

14.5 The side yard setbacks of a new structure, or an addition, should be similar to those seen traditionally in the subdistrict or block.

14.6 The front of a primary structure should be oriented to the street.

Fences & Retaining Walls

14.7 Original or early retaining walls and fences should be retained wherever possible.

Building Form

14.8 A new building should be designed to be similar in scale to those seen historically in the neighborhood.

14.9 A new building should be designed with a primary form that is similar to those seen historically.

Building Materials

14.10 Building materials that are similar to those used historically should be used.

ATTACHMENT G: PUBLIC PROCESS AND COMMENTS

Public Notice and Comments

Notice of the public hearing for the proposal included:

- August 23, 2022
 - Public hearing notice sign posted on the property
- August 18, 2022
 - Public hearing notice mailed
 - Public notice posted on City and State websites and Planning Division list serve

ATTACHMENT H: DEPARTMENT REVIEW COMMENTS

This proposal was reviewed by the following departments. Any requirement identified by a City Department is required to be complied with.

Building Services:

Project is subject to all adopted building codes.

Transportation:

The parking is sufficient. The dimension for the parking spaces and drive aisle are acceptable.

Fire:

Fire hydrant shall be located within 600-feet of all ground level exterior walls of the building with measurements following the drive route and in straight lines and right angles.

Public Utilities:

The following comments do not provide official project review or approval. Planning approval does not provide building or utility permit approval. Comments are provided to assist in design and development by providing guidance for project requirements.

- Public Utility permit, connection, survey, and inspection fees will apply.
- Site stormwater must be collected on site and routed to the public storm drain system. Stormwater cannot discharge across property lines or public sidewalks.
- Water, Sewer, Street Light and Storm Drain infrastructure will be required for this proposed development. All improvements will be the responsibility of the developers. Offsite improvements may be required.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.
- All utilities must meet horizontal and vertical clearance requirements. Water and sewer lines require 10 ft minimum horizontal separation and 18” minimum vertical separation. Sewer must maintain 5 ft minimum horizontal separation and 12” vertical separation from any non-water utilities. Water must maintain 3 ft minimum horizontal separation and 12” vertical separation from any non-sewer utilities.
- Unused utility connections must be capped at the main.
- Contact SLCPU Street Light Program Manager, Dave Pearson (801-483-6738), for information regarding street lights.
- Utilities cannot cross property lines without appropriate easements and agreements between property owners.
- Site utility and grading plans will be required for building permit review. Other plans such as erosion control plans and plumbing plans may also be required, depending on the scope of work. Submit supporting documents and calculations along with the plans.
- One culinary water meter is permitted per parcel. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Fire lines will be permitted, as necessary. Each service must have a separate tap to the main.
- Additional requirements will be provided in building permit review if the planning review is accepted.