



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Historic Landmark Commission

From: Nelson Knight, Senior Planner
801-535-7758 or nelson.knight@slcgov.com

Date: April 7, 2022

Re: **PLNHLC2021-01074 Madeleine Choir School Field House - New Construction**

PROPERTY ADDRESS: 67 N B Street
PARCEL ID: 09-31-382-002-2000 (All of Block 16, Plat "D" Salt Lake City Survey)
MASTER PLAN: Avenues
LOCAL HISTORIC DISTRICT: Avenues and SLC Landmark Site
ZONING DISTRICT: I – Institutional Zoning District

REQUEST:

The Madeleine Choir School, represented by Sparano & Mooney Architects, is requesting a Certificate of Appropriateness for New Construction of a Principal Building from the Historic Landmark Commission to build a new two-story field house building on their campus at approximately 67 N B Street. The building would be located on vacant portions of the site currently used for playfields associated with the campus. The proposed new construction has frontage on B Street and 2nd Avenue. No existing buildings on the campus would be altered with this new construction proposal. The school is in the Avenues Historic District and is also individually listed as a landmark site on the SLC Register of Cultural Resources.

RECOMMENDATION:

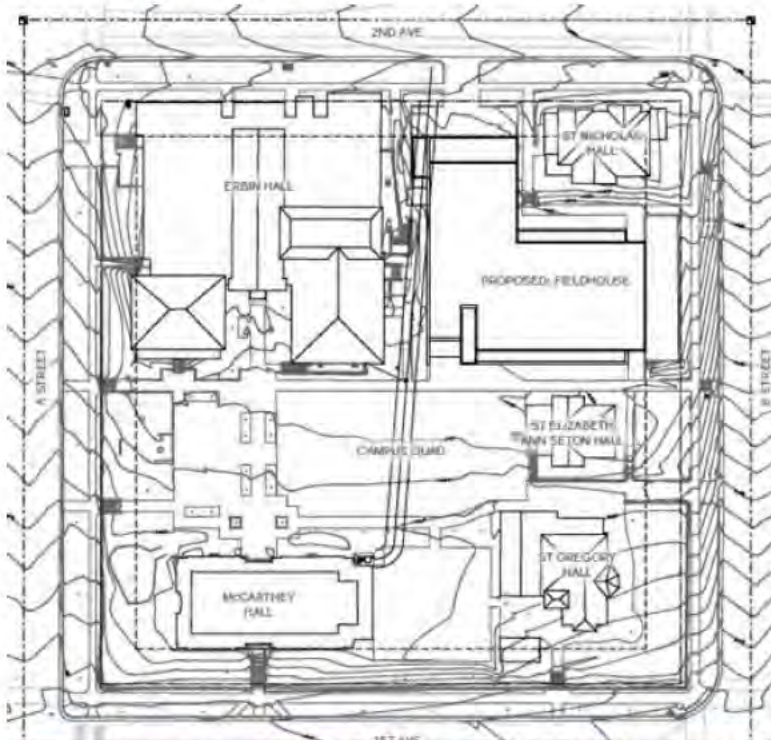
Based on the analysis and findings outlined in this staff report, it is Staff's opinion that the proposed New Construction request substantially meets the applicable standards of approval and the associated design guidelines for new construction. However, the proposal is missing detail needed to determine if the project fully complies with zoning requirements, including fully developed elevations and a fully detailed site plan. These items should be resolved before final approval. Therefore, Staff recommends that the Historic Landmark Commission conceptually approve the request for a Certificate of Appropriateness (CoA) with the following conditions:

1. The applicants shall work with Staff to refine the elevations and site plan for the proposed building. The applicants shall return to the Historic Landmark Commission with revised elevations and site plan for final approval of the design at a future meeting.

ATTACHMENTS:

- A. [Vicinity Map](#)
- B. [Applicant Submittal Package](#)
- C. [Property & Vicinity Photos](#)
- D. [Historic Information – National Register Nomination](#)
- E. [I – Institutional Zoning Standards](#)
- F. [Design Standards for New Construction and Associated Design Guidelines](#)
- G. [January 6, 2022 Work Session Minutes](#)
- H. [Public Process and Comments](#)

PROJECT DESCRIPTION



Quick Facts

Building Size:
Street Level: 12,189 SF
Upper Level: 4,302 SF

Height: 34 Feet

Ground Floor Uses: Gymnasium (with retracting bleachers and performance/apse space), 3 early childhood classrooms, restrooms, storage

Upper Floor Uses: Early childhood program offices and workspace, locker rooms, dance studio

Rooftop: Play area with artificial turf

Exterior Materials: Glass, brick, metal panels, and EIFS

Parking: 28 stalls required; 93 spots in offsite parking on A Street.

Review Process & Standards: Historic District: Standards for New Construction (21A.34.020.H) Institutional zoning standards, and general zoning standards.

Design Guidelines: Historic Commercial Properties & Districts in Salt Lake City – Chapter 13 – New Construction



Figure 2- Rendering of proposed building behind existing house at the corner of B St and 2nd Avenue

The applicants are proposing a new field house with supporting program spaces and additional classroom space for the school's early childhood development program. The building would sit on the southwest corner of the block between Erbin Hall, St. Nicholas Hall, and St. Elizabeth Ann Seton Hall in an area currently used for playfields. A rooftop play area with an artificial turf playing surface would be installed atop the flat membrane roof to replace the existing play area on the site. The play area would be surrounded by a 4'-6" protective barrier set back at least 10 feet from the building edge. Stair towers located at the northwest and southwest corners of the building provide variation in the roofline and mark the primary building entrances.



Figure 1- Rendering of proposed building from B Street

The size and height of the building are largely dictated by its program as a gymnasium, particularly on the B Street elevation. The main entrance would be located at the field house's

southwest corner facing the quad. Other walls of the building would front both B Street and 2nd Avenues.



Figure 3 - Rendering of proposed building from Second Avenue

The main entrance for the preschool would be on 2nd Avenue in the space currently occupied by an existing parking lot. Current plans show a loading/unloading area accessed by the existing curb cut on Second Avenue. However, without dimensions and detail of this area, it is unclear whether the loading and unloading area would meet turning radius requirements for maneuverability. The B Street face would be the east wall of the gymnasium, so no entrances are proposed there.

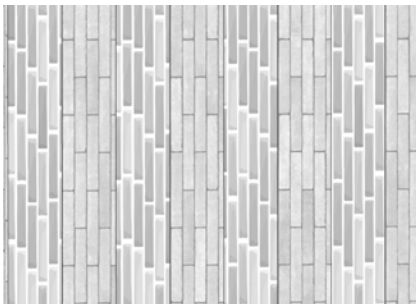


Figure 4 - Primary Wall Material - Vertical Stacked Brick



Figure 4 - Colored Laminated Glazing - Clerestory Around Gym



Figure 5 - GFRG Panels at north entrance

The main materials are shown above. The primary wall material (Figure 3) would be gray vertically stacked brick veneer. The brick module is longer and thinner than the dimensions of bricks typically found on historic buildings but creates visual interest and variation while being compatible with the other buildings on the campus which are primarily brick painted grey.

A major decorative feature would be multicolored laminated glazing around the upper walls of the gymnasium space (Figure 4). While the applicants are still working with glass suppliers on the details of how the glazing panels would be connected and otherwise detailed, conceptually

they would be vertically oriented, with a color palette taken from colors found in the surrounding streetscape. In addition to its decorative function, the glazing would function as a clerestory band circling the gymnasium and would be the primary glass and fenestration on the east (B Street) elevation.

Similar, vertically proportioned, narrow width colored glass fiber reinforced concrete panels (GFRC panels) would be used as a decorative element on the north (2nd Avenue) facade at the early childhood center's entry (Figure 5). The upper story of this facade would be composed of vertically stacked brick with vertically proportioned, metal-framed windows regularly spaced along the wall face.

Likewise, metal-framed windows would be used along walls facing other campus buildings and the main quad located at the center of the block (See figure 5 below). The building's entrance is clearly located at its southwest corner and is detailed with glass and metal storefront and horizontal metal canopy elements.



Figure 5 - Main building entrance facing the campus quad – rendering looking northeast

BACKGROUND/CONTEXT

Rowland Hall was initially a private boarding school for girls. It was affiliated with the Episcopal Church. The school began classes in 1880 in the building at the northwest corner of the block (Erbin Hall). Erbin Hall comprises an original three-story structure on the west, a three story building housing the original library, gym, and classrooms, a narrow, hipped roofed chapel joining the two buildings, and several later additions. A 1986 addition replaced a portion of the original building and created largely unadorned and utilitarian facades along A Street and Second Avenue. The school completed renovations to Erbin Hall in 2017 and it now houses most of the school's classrooms.

Over time, Rowland Hall expanded and grew to encompass three mansions facing B Street: 231 1st Avenue (St. Gregory Hall), 67 B Street (St. Elizabeth Ann Seton Hall) and 87 B Street (St. Nicholas Hall). With the addition of these properties, the school occupied the entire block. In 1956, St. Mark's School for Boys moved to the campus, and the two schools were later combined. A final campus building at the southwest corner of the block (McCarthy Hall) was completed in 1970.¹ A 1986 landscape renovation created two large open spaces on the block's interior; one is a more formal quad space, while the other has been used primarily for playgrounds. This playground area is the proposed location for the new field house. See [Attachment D](#) for more history of the campus and its buildings as well as c.1979 photos of the campus.

The Roman Catholic Diocese purchased the buildings on this block from its original owners, Rowland Hall – St. Mark's School, when Rowland Hall moved to their current campus on Guardsman Way in November 2002. The Choir School, founded in 1996, moved its classrooms from the basement of the Cathedral of the Madeleine to their new campus and began plans to rehabilitate the buildings and create a master plan for the block. The Historic Landmark Commission was involved in these discussions; reviewing and conceptually approving a campus master plan and an initial proposal to renovate Erbin Hall in 2003-2005. The proposal for Erbin Hall evolved. HLC approved a new scheme in 2015, and the project was eventually completed in 2017.

A lack of suitable gymnasium space on campus has always been an issue; Rowland Hall cited it among the school's reasons for moving to its current campus. At the time, the only gym space was a small, charming, if outmoded space in Erbin Hall constructed in 1906. That space has been repurposed, and students have been able to use the gymnasium/cultural hall located at the LDS church nearby in recent years while planning for a new field house has continued. Recently the school was informed that the agreement with the LDS Church would end by 2024, making the construction of gymnasium space on campus more imperative.

The new space would serve the existing students at the school and no increase in enrollment is proposed beyond the current number of approximately 450 students and Staff.

HLC WORK SESSION AND PUBLIC INPUT

The HLC reviewed this proposal in a work session at its January 6, 2022 meeting. Minutes from the meeting are included in [Attachment G](#). Highlights of the discussion between the Commissioners and the applicants included the following issues:

- Multiple commissioners expressed the opinion that the overall massing is boxy. The applicants responded that much of that is dictated by the programmatic requirements of a gymnasium, which requires a large, open interior. Commissioners suggested incorporating additional design cues taken from other buildings on the campus, such as the triangular roof forms.
- Much of the discussion focused on issues related to how well the project engages with the street, particularly on the B Street facade. The B Street facade needs "eyes on the street" despite the programmatic requirements of a gymnasium. Commissioners suggested subtle lighting (including lighting that would provide a "glow" through the multicolored glass

¹ See National Register Nomination – [Attachment D](#) for more history.

window band) or additional windows to help break up the expanse of the wall on this facade.

- Commissioners asked for additional detail on the proposed second-story windows on the north (Second Avenue) and west facades.
- Asked about the loss of the existing play area on the site of the proposed building. The applicants explained their plan to create a new artificial turf play area on the roof of the proposed building.
- Expressed enthusiastic support for recessing the building into the existing topography in order to reduce the height and massing of the building.
- Recognized that the proposed design meets the base standards of the I – Institutional zone and that the applicants are not requesting any modification to those requirements by the Historic Landmark Commission.

In addition to their work session with the HLC, the applicants also presented their proposal for public comment at two meetings. The first was held virtually on January 31, 2022 with invited neighbors and members of the MCS community – students, parents, faculty, etc. The second presentation was at the Greater Avenues Community Council (GACC) meeting, also held virtually, on February 2, 2022. These presentations generated significant public comment. Those that were received prior to April 1, 2022 are included in this report as [Attachment H](#). Any other comments will be forwarded to the Commission prior to the meeting.

In response to the feedback from the work session and public meetings, the applicants have supplied additional information, including:

- An expanded written narrative explaining how the proposed building meets the ordinance standards and design guidelines;
- Renderings of the B Street facade showing it directly from B Street;
- Alterations to the design of the B Street facade. The applicants have summarized the changes as "The vertical brick cladding along the B Street facade incorporates subtle articulation with a depth ranging from 6" -8". The vertical banding is set up using a 10 course brick module (approximately 2' wide) that corresponds with the upper colored glazing module."
- A revised rendering of the Second Avenue facade. The applicants have emphasized the windows using shading and graphic emphasis to make them more apparent.
- Elevation drawings for all facades showing the building's height on each side.

KEY CONSIDERATIONS:

1. Building Form and Scale –

Initial impressions from the site plan prompted concerns about the size of the field house as proposed and its massing. The footprint does not fit the common perception of building sizes in the Avenues District. The applicants have supplied block elevations and photographic streetscape studies comparing the building massing with surrounding buildings both on the Madeleine Choir School campus as well as surrounding blocks ([Attachment B](#)). Existing historic buildings on the

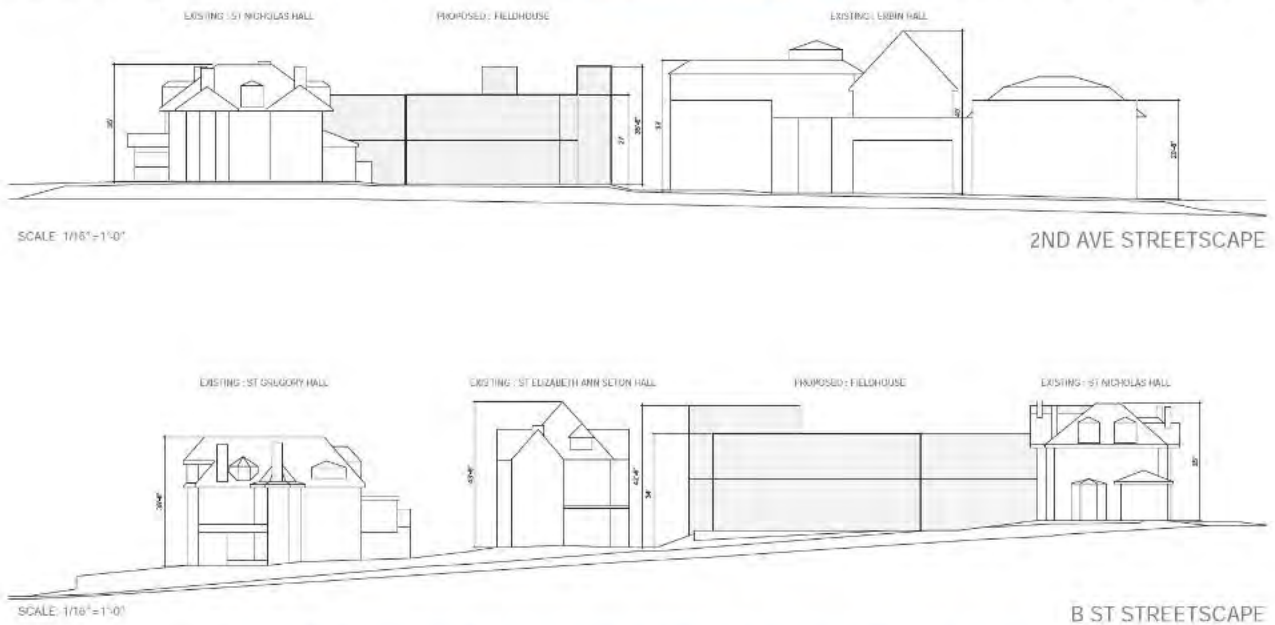


Figure 6 - Massing studies showing the building in the context of the streetscape.

campus, including portions facing 2nd Avenue and B Street, are similar in height, width, and massing to the building proposed, though much more complex in these aspects than the proposed building. In addition, buildings surrounding the campus in the southwest corner of the district tend to differ from the popular perception of other portions of the Avenues District. As shown on the building footprint and streetscape studies supplied by the applicant, Apartment buildings generally three or more stories in height and occupying large building footprints either by themselves or grouped in multi-building complexes compose the overall character of this part of the Avenues. The Choir School campus is not out of character in scale and massing with the surrounding buildings in the immediate vicinity.



Figure 7 - Proposed site and scale of surrounding buildings

In addition, the footprint is dictated by the programmatic requirements for a gymnasium, which occupies the majority of the proposed building.

Likewise, the massing of the building, including the height, is dictated by the height required for a gymnasium. This precludes more extensive use of design approaches that would typically be used to break up a building of this size. The applicants have used the site's topography, which slopes substantially down from the block's northeast corner, to keep much of the building below grade.

The building as proposed meets the maximum height requirement for the I- Institutional Zone. However, the site plan and elevations supplied by the applicant are not consistent with other drawings, such as the floor plans, in the submittal, and it is unclear whether the project, as proposed, would require relief from any other zoning standards which the HLC has the power to grant.

The flat roof form proposed is seen on many nearby historic apartment buildings and is in keeping with the overall architectural style of the proposed field house. In addition, the flat roof will allow for additional play space to offset the existing play area displaced by the proposed construction.

2. Facade & Ground Floor Street Engagement



Figure 8 - Rendering of B Street Elevation WITHOUT proposed landscaping, showing variation and articulation in the first story wall plane.



Figure 9 - Rendering of B Street Elevation WITH proposed landscaping

Elevations and renderings reviewed by the Commission in the February work session showed little variation in the B Street facade and were the subject of much discussion. The applicants have responded to the input by submitting an additional rendering showing the B Street facade in more detail. The rendering clearly shows the additional landscaping between the sidewalk and building face. In addition, they have revised the brick pattern design to create additional variation in the wall plane.



Figure 11 - 2nd Avenue Entrance

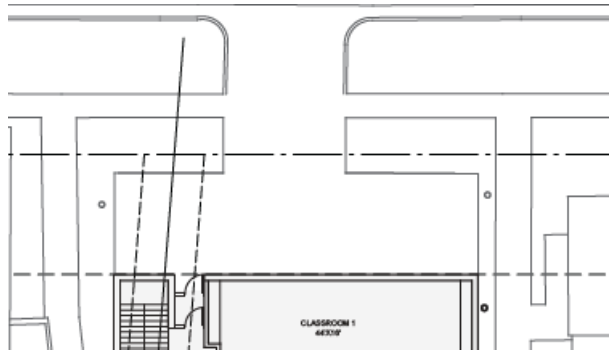


Figure 10 - Site Plan detail with potential parking

Staff's opinion is that the building's north facade along Second Avenue is more engaging with the streetscape, with multicolored GFRC panels and second-story windows providing for a lively and varied facade. This effect may be diluted, however, if the area in front is used as a drop-off area. It is unclear if drop-off/pick-up spaces in this area could be designed to meet transportation standards, and the Institutional zone requires landscaping in the required 20 foot landscape setback here with at least 1/3 of the area covered by vegetation. As proposed, it appears the commission would need to grant a modification to the front yard landscaping requirements. Further analysis is necessary to determine if this area may be used as proposed and if the presence of parking here would have an adverse effect on the level of streetscape engagement required by the standards for new construction. If the area needs to be redesigned, more landscaping would be required, and, in Staff's opinion, the existing curb cut, which dates from c.1986, should be removed.

3. Building Materials, Elements & Detailing

The proposed design would incorporate vertically aligned, multicolored laminate glazing material as its primary window material on the east wall and portions of the north and south walls. The color palette was taken from an analysis of the colors found in the surrounding streetscapes in the neighborhood. Some of the glazing would be exposed to the interior, creating a band of clerestory windows around the upper level of the gymnasium. Generally, the design guidelines call for a more regular or traditional pattern of openings and fenestration. The elevations supplied for this meeting lack clarity on the locations of window openings, particularly on the east and west sides of the building. Thus, Staff found it difficult to analyze these elevations in terms of the design guidelines.



Figure 12 - Windows shown on rendering not consistent with other drawings

Staff emphasizes that the multicolored material adjacent to the 2nd Avenue entrance would be multicolored glass fiber panels, not windows. The upper story windows on this facade as well as

portions of the east and west facades would be fixed sash, vertically proportioned metal-framed windows. These are arranged in a regular pattern and would be set into the wall to provide a variation between the wall plane and the window frame and glazing.

The main entrance to the building facing the school's main quad compliments the proportions, massing, and orientation of the adjacent Erbin Hall and echoes the simplicity of the materials and recessed entrance of the 1970 McCarthy Hall Building across the quad.

SUMMARY STAFF RECOMMENDATION:

In summary, it is Staff's opinion that while the proposed New Construction request substantially meets the standards of approval for construction of a new principal building in a historic district, or landmark site (21A.34.020.H), and the associated design guidelines for new construction. Staff's full analysis is found in Attachments [E](#) and [F](#). However, there are significant missing or conflicting details that lead to questions as to whether the proposal meets the requirements of the base Institutional Zoning District and would not require any relief from those requirements from the Historic Landmark Commission.

We recommend that the Commission approve the design in concept and ask the applicant to add detail to the proposal, specifically the elevations and site plan to resolve any discrepancies that might delay or require a substantial reworking of the project. The applicant could then return the HLC for final approval at a future meeting. As an alternative, the Commission could elect to table the proposal while these details are resolved. Although the process may appear to be the same, conceptual approval would allow the Madeleine Choir School to proceed with some certainty while fundraising or further planning.

NEXT STEPS:

Approval of the Request

If the Commission approves the design in concept or tables the proposal, Staff will work with the applicants to resolve any outstanding issues, with a return to the HLC at a future date for final approval. Any substantial change to the design would be evaluated by Staff and returned for additional review by the HLC. Staff would not issue a Certificate of Appropriateness for the proposed building until the Commission approves the additional documentation. From there, the applicants would complete the steps needed to obtain a building permit for the project.

The applicants expect that construction will not begin immediately after approval because additional funding needs to be secured. The school's use of the gymnasium/cultural hall in the nearby LDS church building will end after the 2023-2024 school year. The Commission's approval is good for one year, and the applicant could request an extension from the HLC 30 days prior to expiration of the approval.

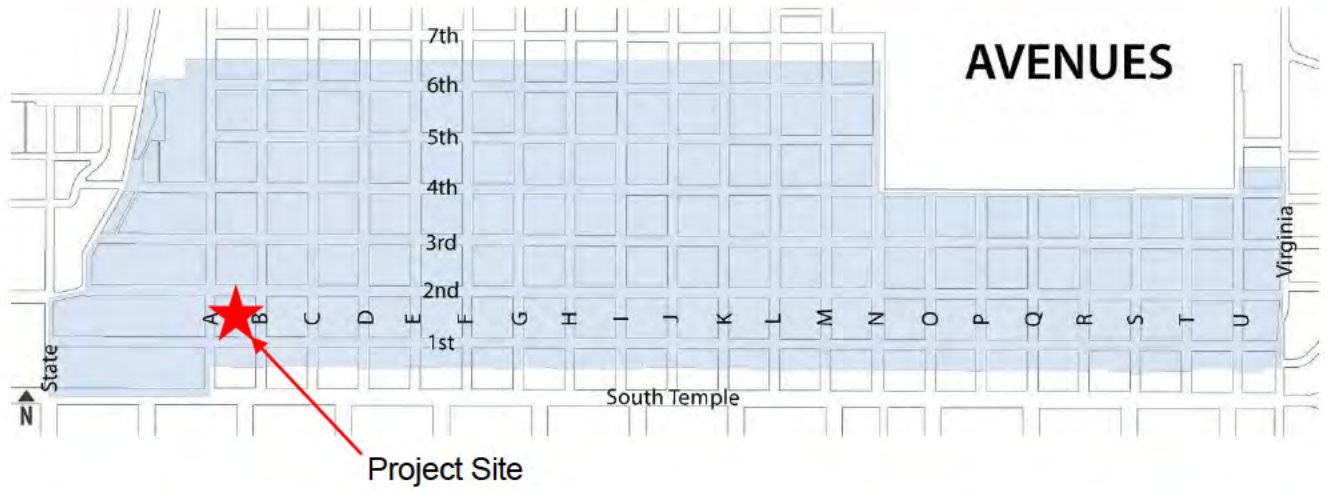
Denial of the Request

If the Commission finds that the project as proposed does not substantially meet the required standards of approval, it may deny the CoA request. The applicants would then be required to submit a new application for new construction and begin the review process anew. That would include an additional 45 day early public notification period prior to returning to the HLC.

If the Commission chooses to move toward a denial, they instead might continue or table the CoA request for a future meeting. This would allow the applicants to further revise the design with

changes needed to secure approval. In that case, the applicants would not be required to file a new petition or begin a new review process.

ATTACHMENT A: Vicinity Map



ATTACHMENT B: Applicant Submittal

Nelson W. Knight
Senior Planner
Planning Division
Department of Community and Neighborhoods
Salt Lake City Corporation

Subject: Madeleine Choir School – Written response addressing comments raised by HLC during the Work Session on January 6th, 2022.

Dear Nelson,

The design team has developed the project incorporating the feedback from the HLC working session on January 6th, 2022 and from the public feedback from both the Avenues Community Council meeting on February 2nd, 2022 and the public comments submitted to the City through the on-line project portal. The elevations on both public facing streets have been further developed incorporating the feedback received.

On 2nd Avenue, the elevation's windows have been enhanced to clarify the distinct materials on the façade, including brick, colored cementitious panels, metal detailing and glazed window openings. These materials provide a varied and contextual façade that connects the existing campus buildings – both modern and historic – to the in-depth neighborhood analysis that was performed during the design process.

The elevation facing B Street has been developed to reflect more clearly the 20' setback from the property line and now provides a three-layered landscape buffer from the street. The first layer shows the parking strip which has a series of trees along the street. Between the sidewalk and the building façade, there are additional layers of the new landscape buffer that are shown in the elevation view and include a variety of landscape materials, textures, and scale. These elements include a vegetated ground cover, a layer of flowering shrubs and trees.

These developments of the design serves to address the public comments that sought to minimize the impact of the building façade along B Street. These design strategies are in addition to the lowering of the height of the building by excavating the east side of the site, and the incorporation of materials and colors that are drawn from the surrounding buildings and context, both on the campus and in the neighborhood. The result is a building that is compatible within its context in terms of building height and materials and which conforms to all applicable zoning requirements.

Sincerely,



Anne G. Mooney, AIA, NCARB, LEEDap

PROJECT NARRATIVE: Madeleine Choir School

Legal Description of the property:

THE FOLLOWING DESCRIBED TRACT(S) OF LAND IN SALT LAKE COUNTY, STATE OF UTAH, DESCRIBED AS FOLLOWS:

PARCEL 1: (09-31-382-002-2000)

ALL OF BLOCK 16, PLAT "D", SALT LAKE CITY SURVEY.

EXCEPTING THEREFROM: ALL BUILDINGS, STRUCTURES AND IMPROVEMENTS.

PARCEL 2: (09-31-382-002-2001)

ALL BUILDINGS, STRUCTURES AND IMPROVEMENTS LOCATED ON:

ALL OF BLOCK 16, PLAT "D", SALT LAKE CITY SURVEY.

Description of the proposal and any Special Exceptions requested:

Proposed new 16,500 SF field house with supporting program and additional needed classroom space. The student population is not proposed to change for the Madeleine Choir School, the proposed Field House will fulfill a long standing need that has existed in the school for a long time. The proposed structure has been carefully placed within the historic campus context with a strong relationship to the school central quad. Exterior materiality was developed through a careful analysis of the Avenues context. This analysis helped establish the exterior materials and color palette.

No Special Exceptions are requested.

Design Guidelines for Historic Commercial Properties & Districts *Source, CHAPTER 13: New Construction*

Site Design & Orientation

13.1 *The traditional historic development pattern should be recognized and maintained in new development.*

RESPONSE: The proposed structure is situated on its site in a manner that allows building facades to be oriented toward 2nd Avenue and B Street. Existing front yard setbacks and spacing of side yards and access are reflected in the proposal. The building entrance to be oriented toward 2nd Avenue to the North and from the internal campus quad from the South.

13.2 *Historic street patterns should be maintained.*

RESPONSE: The proposed structure is located on the site in a manner consistent with the spatial rhythm of the street and neighborhood. Historic alley/access network patterns and widths are preserved.

13.3: *Distinctive features that emphasize buildings on corner lots should be considered.*

RESPONSE:

The proposed structure is not located on a corner.

13.4: *Indigenous plant materials should be included in new landscape designs.*

RESPONSE:

The planting plan will focus on preservation of existing vegetation to the extent possible and replacement with same or similar species when necessary.

Mass, Scale & Form

13.5: *The height of a new building design should reflect the established building scale of the setting and area.*

RESPONSE: The surrounding context consists of 3 and 4 floor apartments and condos. The proposed structure provides 2 floors and roof deck that reflects the established building scale of the setting and area. Please also refer to the figure ground study demonstrating the compatibility of the building scale within the neighborhood context.

13.6: *The Massing characteristics of the new area should form the basis for the scale of new development.*

RESPONSE: The massing of the building is partially determined by the program requirements and also considers the characteristics of the area as the basis the proposed structure. The massing is broken up and stepped down on the North and South sides to create a rhythm connecting the building to its context and providing a similar width and scale to other structures found along the street.

13.7: *The street façade should appear similar in scale to the established scale of the current street block.*

RESPONSE: Facades along 2nd Avenue and B Street have a similar scale and material (masonry and glazing). As a result, the massing and solid to void relationship of the proposed structure is consistent along the current street block.

13.8: *A new building should be designed to reinforce a sense of human scale.*

RESPONSE: The massing is broken up by the use of masonry with changes in texture and bonding to create divisions and visual interest. The use of this propose building material reflects the surrounding context while allowing the structure to utilize details and proportions to express/reinforce the design at a human scale. The landscape layer along the East façade further humanizes the elevation and provides a soft layer that changes with the seasons.

13.9: *Roof forms should be an integral part of the building design and overall form of the building.*

RESPONSE: There are numerous flat roofed structures in the area. This proposal roof pattern is consistent with existing structures similar in scale and it is integral with the building experience.

Architectural Character

13.10: *Contemporary designs compatible with the character of the area and/or district may be used.*

RESPONSE: The proposed design draws upon fundamental design elements pulled from the campus context, including the adjacent Erbin Hall building. The use of an updated massing is compatible with this existing style and allows for the proposed structure to create interest and visual

compatibility while also expressing that the structure is new. A careful contextual analysis was conducted and the color of the façades was generated using the palette of the surrounding context.

13.11: The exact imitation of earlier architectural styles is discouraged.

RESPONSE: This proposal utilizes architectural elements, reflecting and evolving the character of the existing area without imitating or replicating.

13.12: Creative interpretations of historical architectural details can be successful.

RESPONSE: The use of masonry details and glazing allows for a creative and visually compelling interpretation of the historical details in the neighborhood through the design of these materials and patterns.

Façade Elements

13.13: The design of a new building should include the three building elements: a base, a middle and a top.

RESPONSE: The proposed structure utilizes masonry and glazing to break up the facades into levels creating visual interest and connecting to the surrounding character.

13.14: The ground floor level of a building should be designed to encourage pedestrian activity and provide visual interest.

RESPONSE: Primary entrances within the campus and along 2nd Avenue encourage pedestrian activity and create a ground floor that connects well to the site and context. The design addresses the courtyard and street with its mass and void/glazed areas to become clearly identifiable while creating visual interest and clear public access.

13.15: Design elements and details should be employed to integrate a new building with its setting.

RESPONSE: The proposed design incorporates masonry (stack, pattern, color, and texture) which enables design elements and details found within the immediate and wider setting to be used to further integrate the new structure with its neighborhood context.

13.16: Consider building designs that emphasize floor levels.

RESPONSE: The proposed use of masonry with its stack and texture allows for the breaking up and distinction of floor levels. The introduction and spacing of glazing allow for the same effect.

13.17: Canopies and awnings should be considered to emphasize the first floor and entrance.

RESPONSE: A setback and reveal of the entrances from the overall massing allows for covered entry that creates a desired emphasis on both the entrance and experience of the first floor.

13.18: Consider signs as an integral design feature of the overall façade composition.

RESPONSE: The surface provides a location for signage to be incorporated and the architect will be designing this element as an integral part of the façade.

13.19: The use of datestones or cornerstones displaying the building's date of construction is encouraged.

RESPONSE: A datestone/cornerstone element will be considered in the design.

Building Materials

13.20: Exterior building materials should be of a high quality and compatible with adjacent buildings.

RESPONSE: The proposed structure utilizes masonry and colored glazing similar to those found in the immediate surrounding area.

13.21: New alternative materials that are compatible in character to historical materials may be acceptable with appropriate detailing.

RESPONSE: New stack/ bond, and dimensions of brick are used to create visual interest while being compatible with existing character. Colored glazing will also be utilized as a way to further connect the building to the nearby Cathedral.

13.22: Large areas of wall plane should have an appropriate finish.

RESPONSE: Large areas of wall plane will have a design pattern and texture appropriate to its context while also creating visual interest and surface shadow.

Lighting

13.23: The visual impact of site and architectural lighting should be minimized.

RESPONSE: Lighting design will be integrated into the architecture in a site-sensitive way.

13.24: Fixture design should complement the design of the building.

RESPONSE:

Parking

13.25: Parking areas should be located away from the street frontage and where they are least visually obtrusive.

RESPONSE: This project proposes that a small parking lot that is currently utilized by the school be removed. This parking lot is currently located along the street frontage mid-block on second avenue. A shared parking agreement is in place with the Church of Jesus Christ of Latter Day Saints, no additional parking is needed for this property.

13.27: Bikeways and pedestrian walkways should be separated and buffered from external and internal circulation within parking lots.

RESPONSE: Pedestrian walkways within the campus context are proposed to remain as is. The design of the building footprint was carefully considered to make as minimal impact on existing campus circulation as possible.

Sincerely,

A handwritten signature in blue ink that reads "Anne G. Mooney". The signature is fluid and cursive, with a small flourish at the end.

Anne G. Mooney, AIA, NCARB, LEED^{AP}
Principal Architect
SPARANO + MOONEY ARCHITECTURE
57 West 2100 South
Salt Lake City, UT 84115
TEL: 801.746.0234

Madeleine Choir School
Field House + Classrooms
HISTORIC LANDMARK COMMISSION - SALT LAKE CITY, UT

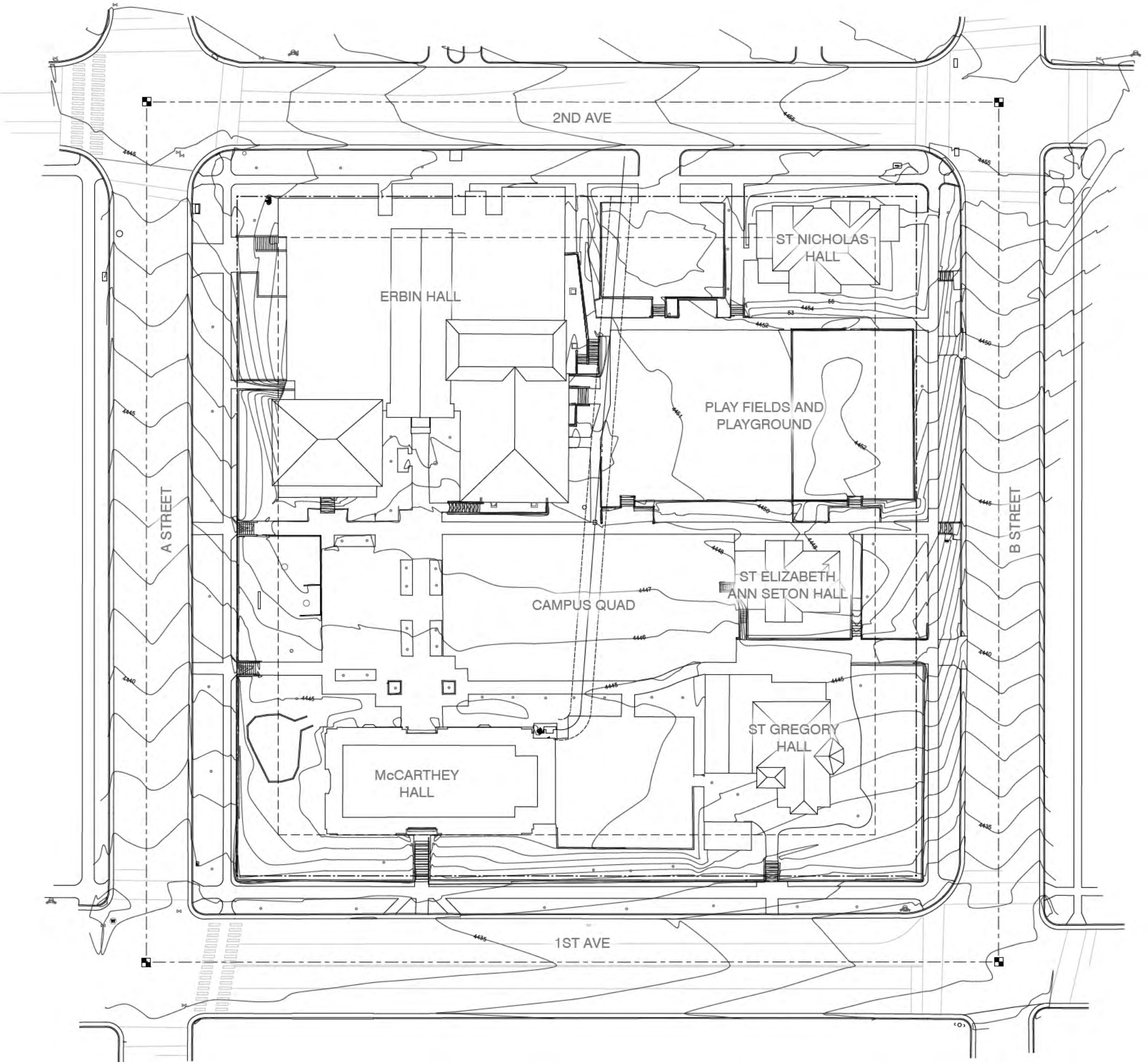


MARCH 2022

SPARANO+MOONEY
ARCHITECTURE



EXISTING
History and Current Condition



SCALE: 1"=50'-0"

EXISTING SITE PLAN



ST NICHOLAS HALL / B STREET AND 2ND AVE



ST ELIZABETH ANN SETON HALL / B STREET



ST GREGORY HALL / B STREET



PLAY FIELDS / ST NICHOLAS HALL



PLAY FIELDS / ST ELIZABETH ANN SETON HALL



QUAD / ERBIN HALL



ERBIN HALL SOUTH ENTRY



ERBIN HALL NORTH ENTRY



McCARTHEY HALL NORTH ENTRY

MADELEINE CHOIR SCHOOL FIELDHOUSE
205 1ST AVE NORTH, SALT LAKE CITY, UT 84103

SPARANO + MOONEY ARCHITECTURE

TABLE 21A.44.030
SCHEDULE OF MINIMUM OFF STREET PARKING REQUIREMENTS

PARKING REQUIRED:

SALT LAKE CITY ZONING TABLE 21A.44.030
 SCHOOLS (K-8TH GRADES): 1 PARKING SPACE FOR EACH 3 FACULTY
 TOTAL STAFF: 83
 TOTAL REQUIRED: $83/3 = 28$ STALLS

PARKING PROVIDED:

87 GENERAL SPOTS AND 6 ACCESSIBLE STALLS BETWEEN TWO LOTS
 ALONG A STREET



PARKING

MADELEINE CHOIR SCHOOL CAMPUS
 205 FIRST AVENUE
 SALT LAKE CITY, UT 84103

CATHEDRAL OF THE MADELEINE

MADELEINE CHOIR SCHOOL FIELDHOUSE
 205 1ST AVE NORTH, SALT LAKE CITY, UT 84103

EXISTING

History and Current Condition

SUBJECT PROPERTY
205 FIRST AVENUE
SALT LAKE CITY, UT 84103



Building Site and Scale Guidelines

13.1 The traditional historic development pattern should be recognized and maintained in new development.

RESPONSE: The proposed structure is situated on its site in a manner that allows building facades to be oriented toward 2nd Avenue and B Street. Existing front yard setbacks and spacing of side yards and access are reflected in the proposal. The building entrance to be oriented toward 2nd Avenue to the North and from the internal campus quad from the South.

13.5: The height of a new building design should reflect the established building scale of the setting and area.

RESPONSE: The surrounding context consists of 3 and 4 floor apartments and condos. The proposed structure provides 2 floors and roof deck that reflects the established building scale of the setting and area. Please also refer to the figure ground study demonstrating the compatibility of the building scale within the neighborhood context.



1. GRAYLYN APARTMENTS BLDG. HEIGHT: 40'



2. AVENUE VIEW APARTMENTS BLDG. HEIGHT: 38'



3. CAITHNESS CONDOS BLDG. HEIGHT: 32'



4. APARTMENTS ON B ST BLDG. HEIGHT: 30'



5. WILSHIRE ARMS BLDG. HEIGHT: 48'



6. CATHEDRAL OF THE MADELEINE BLDG. HEIGHT: 220'

SITE CONTEXT MAP

SPARANO+MOONEY
ARCHITECTURE



MADELEINE CHOIR SCHOOL FIELDHOUSE
205 1ST AVE NORTH, SALT LAKE CITY, UT 84103

SPARANO + MOONEY ARCHITECTURE

STREET AND BLOCK PATTERN

EXISTING
History and Current Condition

Building Form Guidelines

13.2 Historic street patterns should be maintained.

RESPONSE: The proposed structure is located on the site in a manner consistent with the spatial rhythm of the street and neighborhood. Historic alley/access network patterns and widths are preserved.

13.6: The Massing characteristics of the new area should form the basis for the scale of new development.

RESPONSE: The massing of the building is partially determined by the program requirements and also considers the characteristics of the area as the basis the proposed structure. The massing is broken up and stepped down on the North and South sides to create a rhythm connecting the building to its context and providing a similar width and scale to other structures found along the street.



SCALE: 1"=80'-0"

🕒 STREET AND BLOCK PATTERN

Site Design Guidelines

BASE ZONING ORDINANCE STANDARDS

ZONING: I: INSTITUTIONAL (21A.32.080)

STANDARDS:	PROPOSED:	COMPLIES (Y/N)
MINIMUM LOT AREA: 20,000 SF	MINIMUM LOT AREA: 108,900 SF	Y
MAXIMUM LOT AREA: N/A	MAXIMUM LOT AREA: N/A	Y
MINIMUM LOT WIDTH: 100 FT	MINIMUM LOT WIDTH: 330.27'	Y
MAXIMUM BUILDING COVERAGE: 60%	MAXIMUM BUILDING COVERAGE: 41%	Y
FRONT YARD SETBACK: 20 FT	FRONT YARD SETBACK: 20 FT	Y
REAR YARD SETBACK: 25 FT	REAR YARD SETBACK: 180 FT	Y
INTERIOR SIDE YARD SETBACK: 20FT	INTERIOR SIDE YARD SETBACK: 20FT	Y
MAXIMUM BUILDING HEIGHT: 35 FT	MAXIMUM BUILDING HEIGHT: 34 FT	Y
MAXIMUM WALL HEIGHT: N/A	MAXIMUM WALL HEIGHT: N/A	Y
REQUIRED LANDSCAPE YARDS: 20 FT	REQUIRED LANDSCAPE YARDS: 20 FT	Y
LANDSCAPE BUFFER: N/A	LANDSCAPE BUFFER: N/A	Y

MAX BLDG COV'G CALCULATIONS:

MAX: 60%

$108,900 \times .60 = 65,340$ SF MAX ALLOWED

32,851 SF CURRENT BUILDINGS AREA = (30%)

32,851 SF + 12,189 (NEW) = 45,040 SF

= **(41%)**

OPEN SPACE CALCULATIONS:

21A.32.080 INSTITUTIONAL DISTRICT: E. MIN OPEN SPACE AREA SHALL NOT BE LESS THAN 40% OF LOT AREA

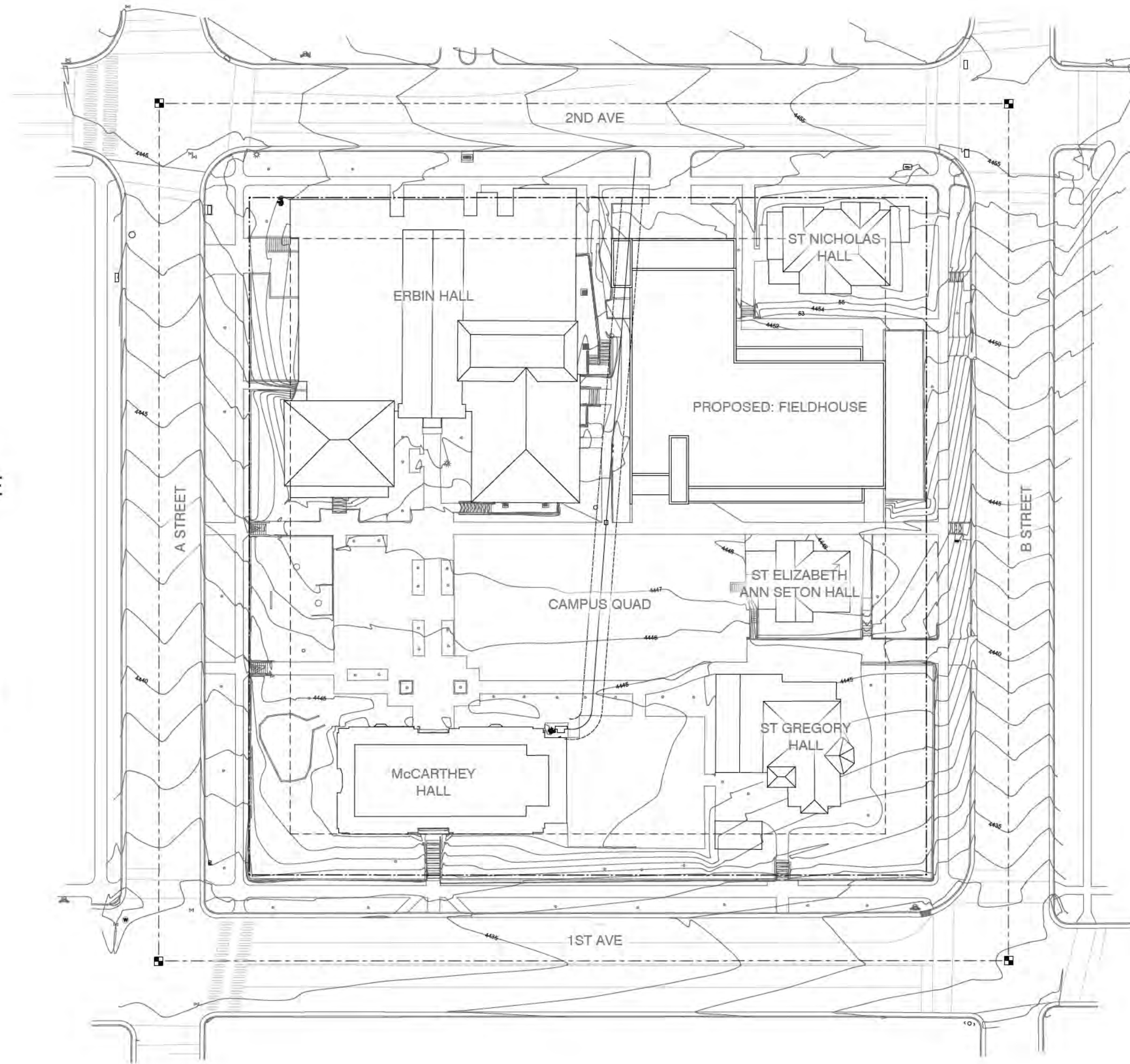
TOTAL LOT AREA: 108,900 SF

$108,900 \times .40 = 43,560$ SF OPEN SPACE REQ'D

32,851 SF CURRENT BUILDINGS AREA = 76,049 SF (70%)

32,851 SF + 12,189 (NEW) = 45,040 SF

= **63,860 PROPOSED (59%)**

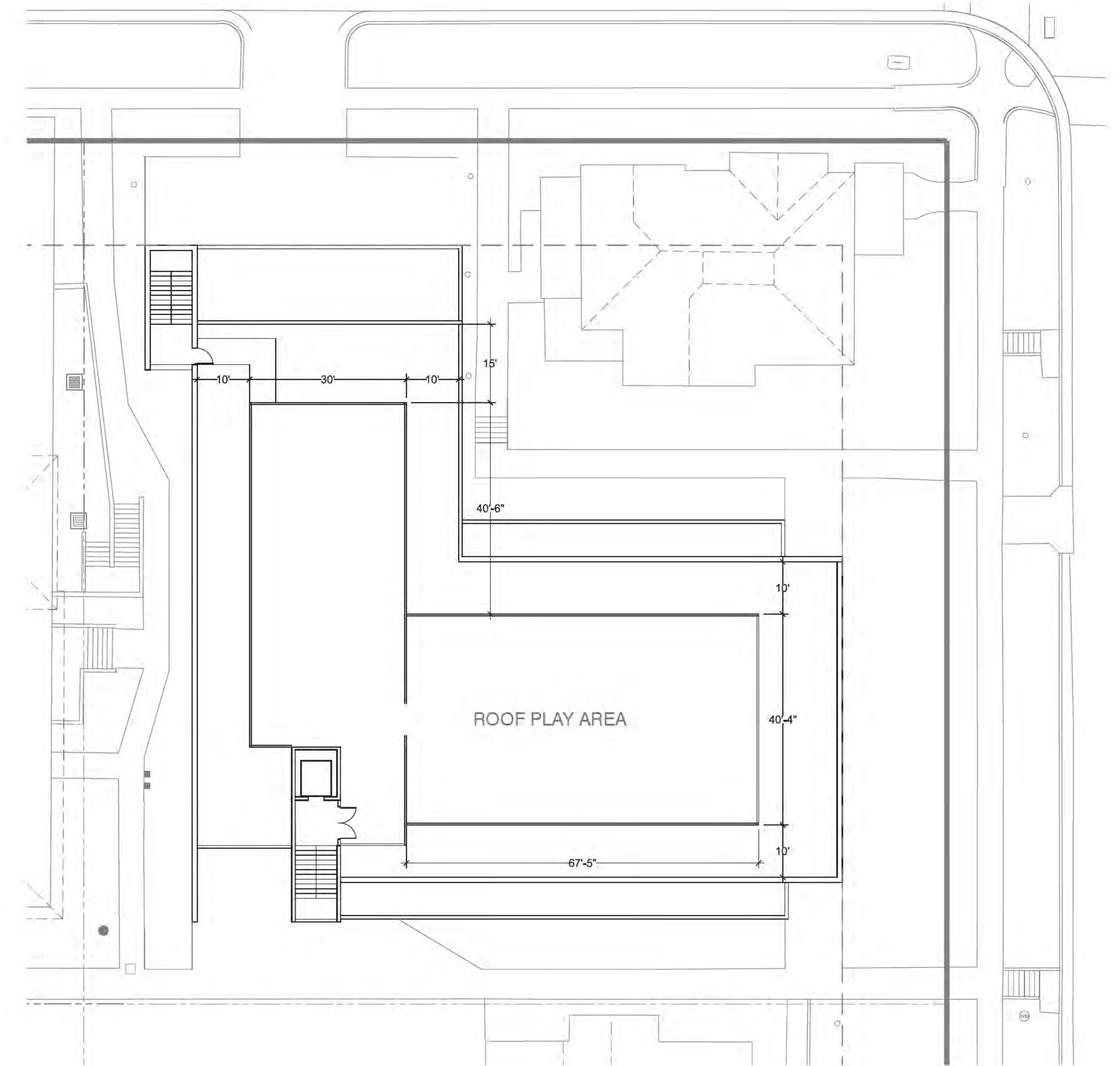


SCALE: 1"=50'-0"

SITE PLAN

BUILDING CODE SUMMARY (V-B SPRINKLERED)

CODE REVIEW:	BASED ON THE 2018 IBC
BUILDING USE:	GYMNASIUM AND CLASSROOM
OCCUPANCY CLASSIFICATION:	E (IBC SECTION 305)
CONSTRUCTION TYPE:	VB
FULLY SPRINKLERED:	YES
OCCUPIED ROOF:	YES (SEE IBC 503.1.4)
ALLOWABLE BLDG HEIGHT:	60' (IBC TABLE 504.3) 35' ALLOWED
ALLOWABLE # OF STORIES:	2 (IBC TABLE 504.4)
ALLOWABLE AREA:	38,000 SF (506.2) 12,600 SF PROPOSED
FIRE RATING REQ:	NO RATINGS REQ'D VB (TABLE 601)



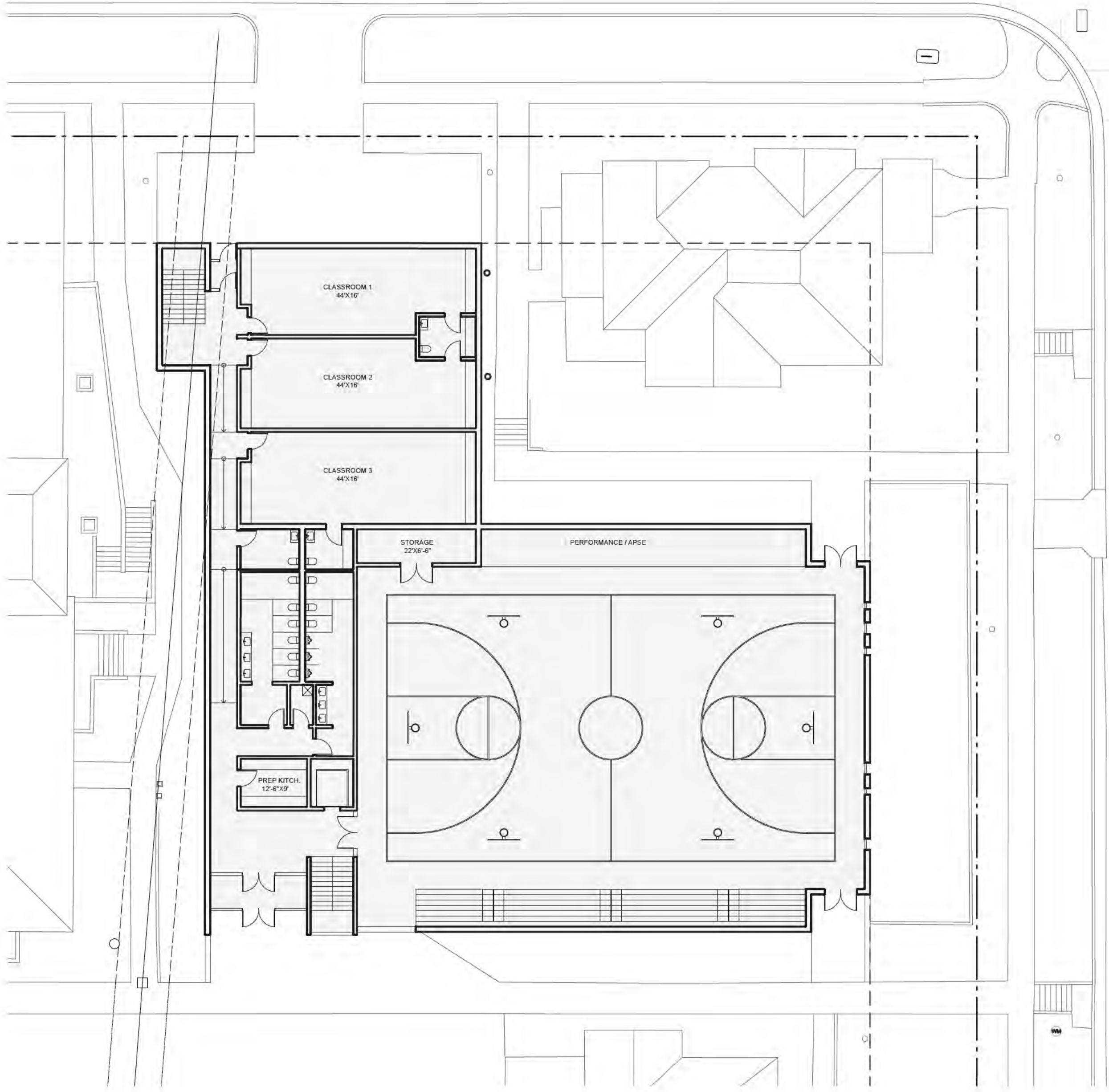
SCALE: 1/16"=1'-0"

ROOF PLAN

Building Scale Guidelines

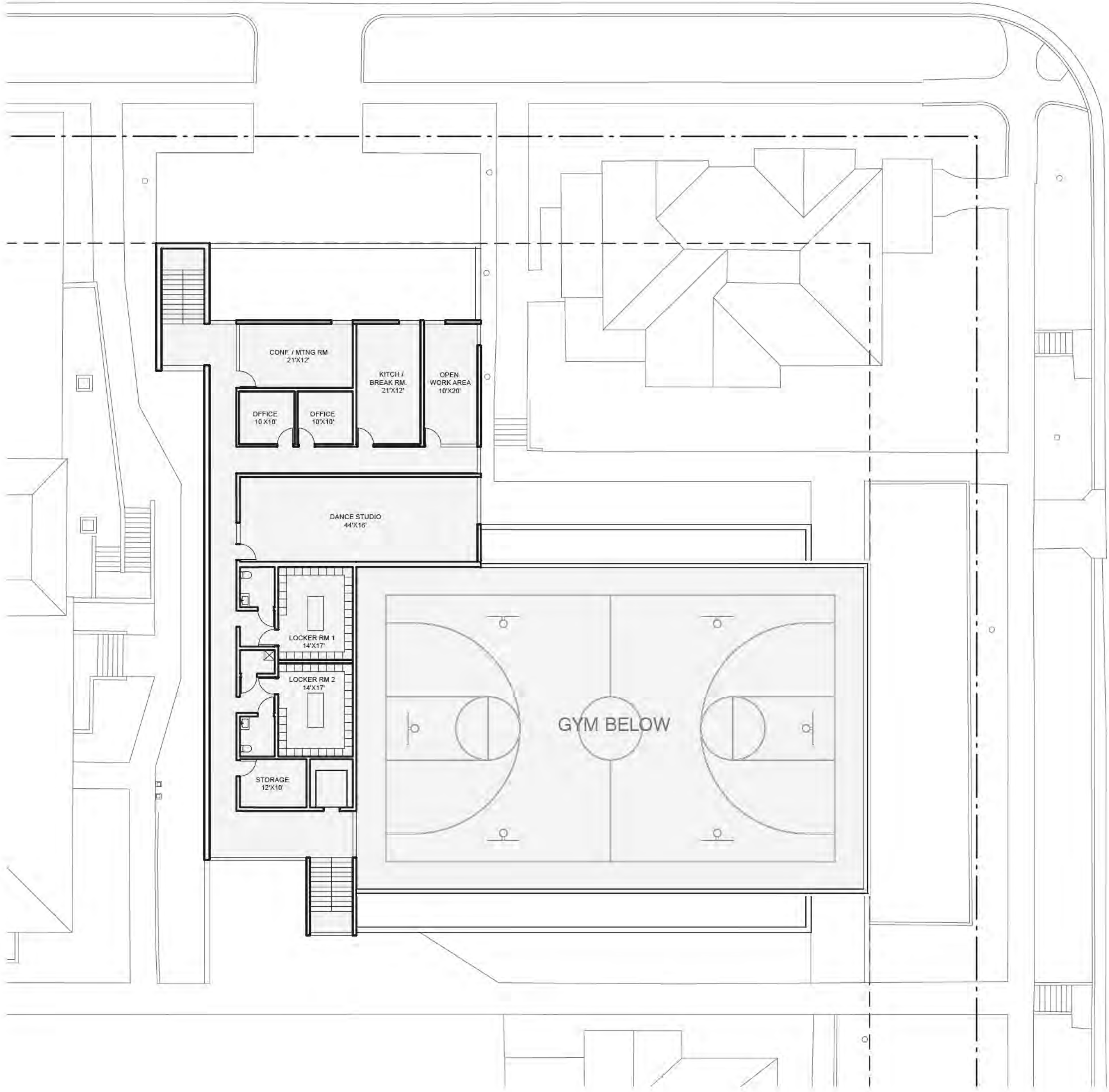
SQUARE FOOTAGE SUMMARY

STREET LEVEL:	12,189 SF
UPPER LEVEL:	4,302 SF
TOTAL:	16,491 SF



SCALE: 1/16"=1'-0"

↑ STREET LEVEL PLAN



SCALE: 1/16"=1'-0"

↑ UPPER LEVEL PLAN

MADELEINE CHOIR SCHOOL FIELDHOUSE
205 1ST AVE NORTH, SALT LAKE CITY, UT 84103

SPARANO + MOONEY ARCHITECTURE

Building Scale Guidelines

13.7: The street façade should appear similar in scale to the established scale of the current street block.

RESPONSE: Facades along 2nd Avenue and B Street have a similar scale and material (masonry and glazing). As a result, the massing and solid to void relationship of the proposed structure is consistent along the current street block.

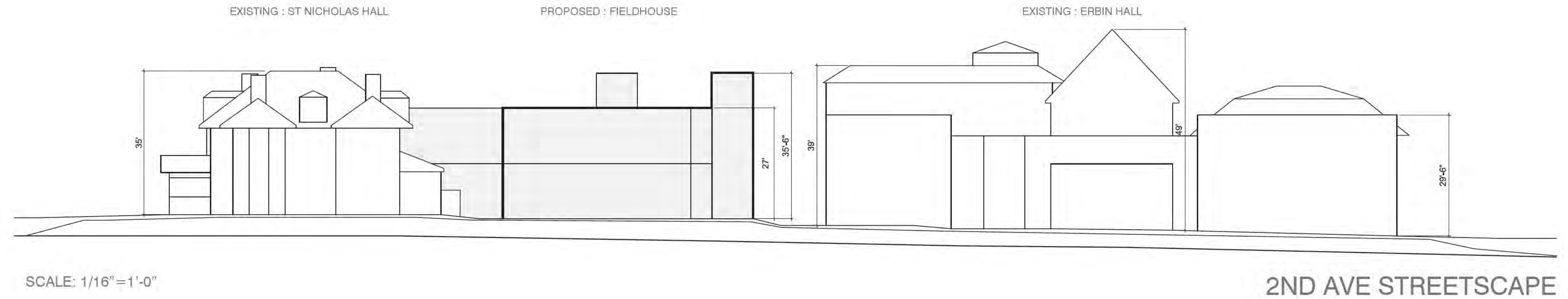
MAXIMUM BUILDING HEIGHT

21A.32.080: I INSTITUTIONAL DISTRICT:
 D. Maximum Building Height: Building height shall be limited to thirty five feet (35'). Building heights in excess of thirty five feet (35') but not more than seventy five feet (75') may be approved through the design review process; provided, that for each foot of height over thirty five feet (35'), each required yard shall be increased one foot (1').

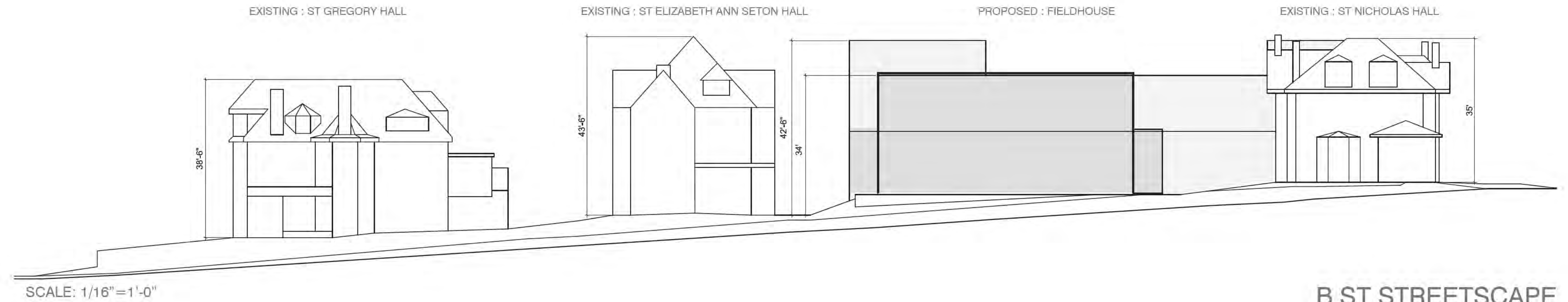
Building Form Guidelines

13.8: A new building should be designed to reinforce a sense of human scale.

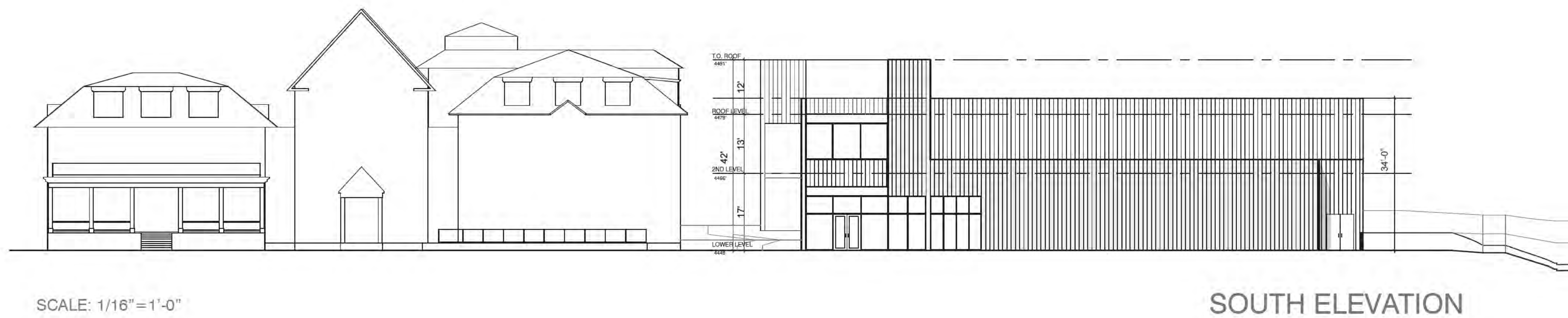
RESPONSE: The massing is broken up by the use of masonry with changes in texture and bonding to create divisions and visual interest. The use of this propose building material reflects the surrounding context while allowing the structure to utilize details and proportions to express/reinforce the design at a human scale. The landscape layer along the East façade further humanizes the elevation and provides a soft layer that changes with the seasons.



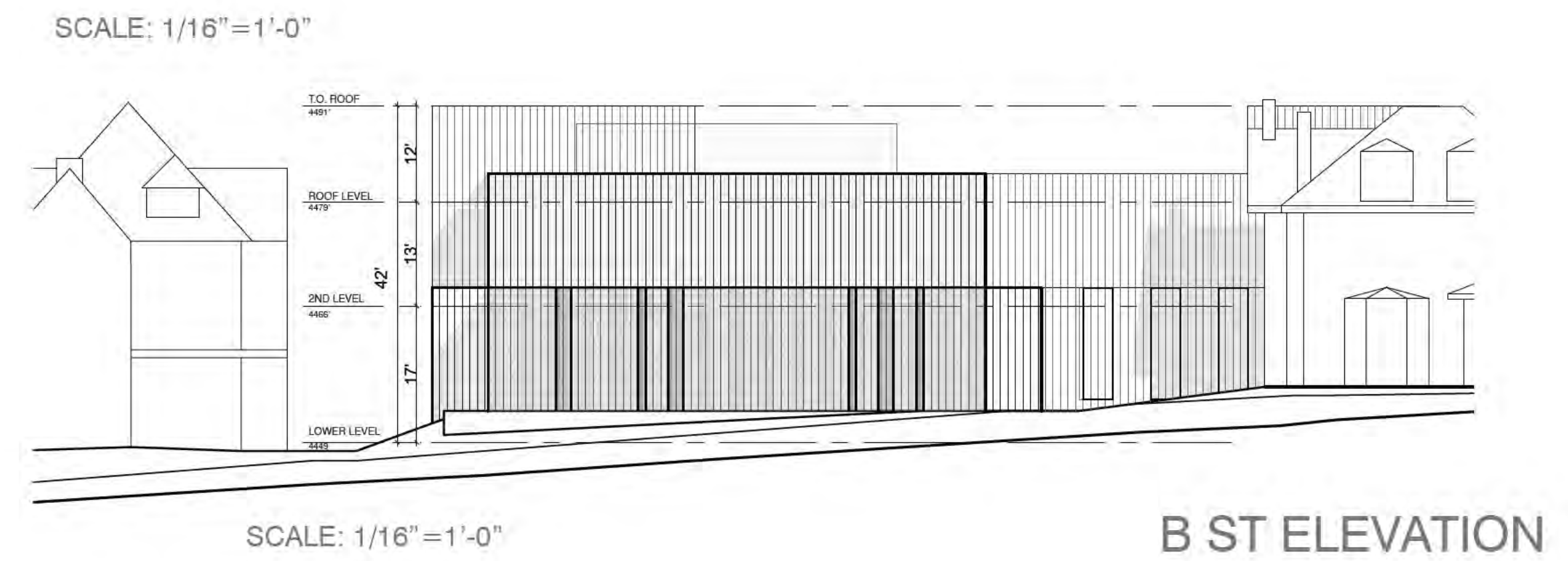
2ND AVE STREETSCAPE



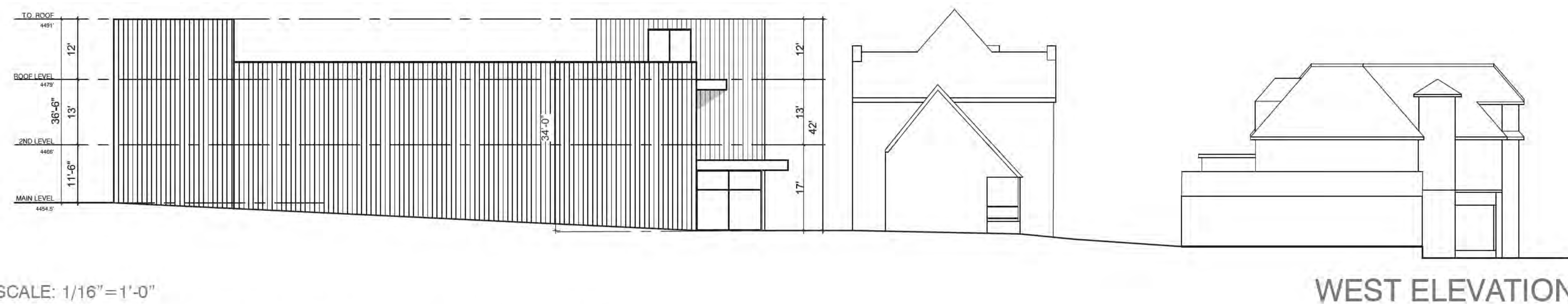
B ST STREETSCAPE



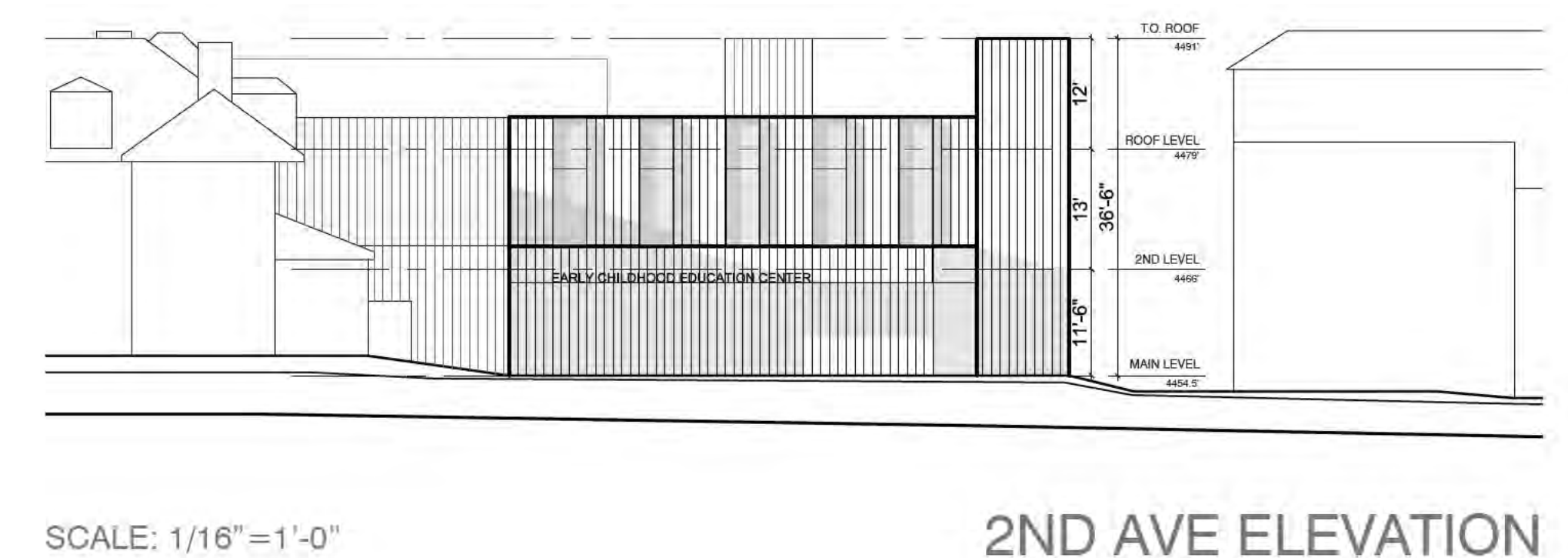
SOUTH ELEVATION



B ST ELEVATION



WEST ELEVATION



2ND AVE ELEVATION

MADELEINE CHOIR SCHOOL FIELDHOUSE
 205 1ST AVE NORTH, SALT LAKE CITY, UT 84103

SPARANO + MOONEY ARCHITECTURE

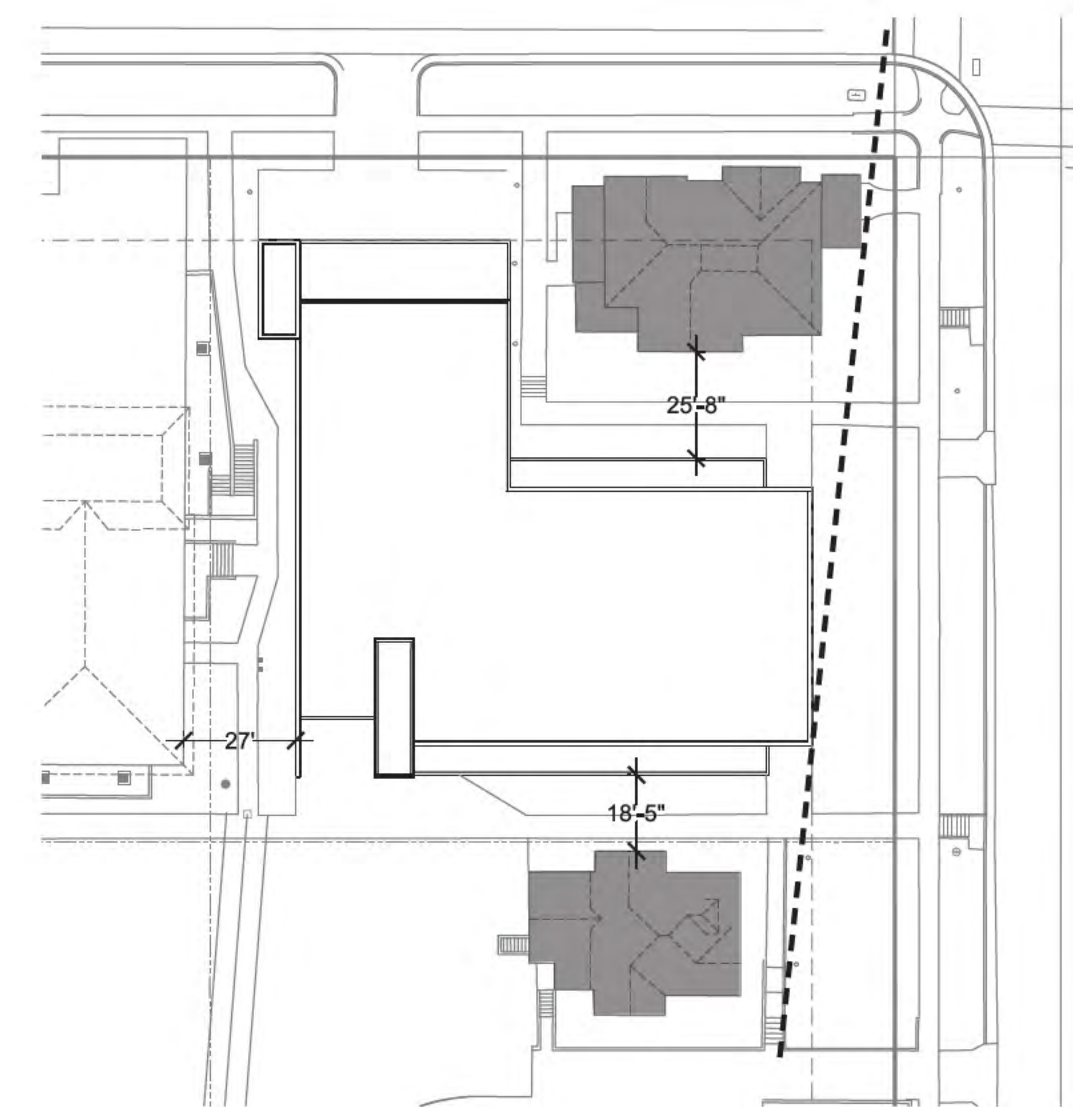
Building Materials + Details

13.20: Exterior building materials should be of a high quality and compatible with adjacent buildings.

RESPONSE: The proposed structure utilizes masonry and colored glazing similar to those found in the immediate surrounding area.

13.21: New alternative materials that are compatible in character to historical materials may be acceptable with appropriate detailing.

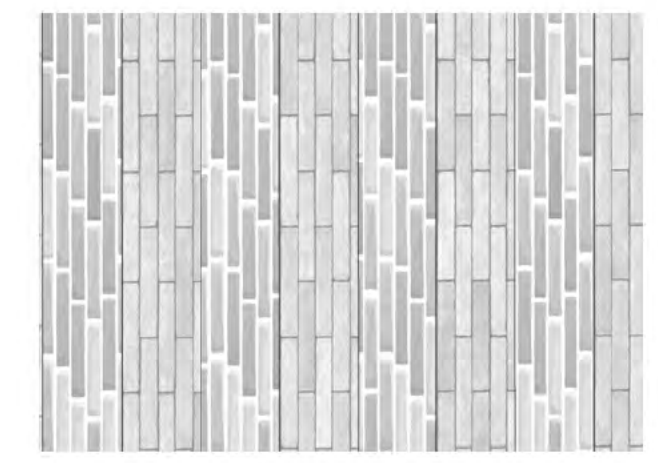
RESPONSE: New stack/ bond, and dimensions of brick are used to create visual interest while being compatible with existing character. Colored glazing will also be utilized as a way to further connect the building to the nearby Cathedral



CONTEXT PALETTE



COLORED LAMINATED GLAZING



VERTICAL BRICK CLADDING



FIBRE C GLASS FIBRE REINFORCED CONCRETE PANELS

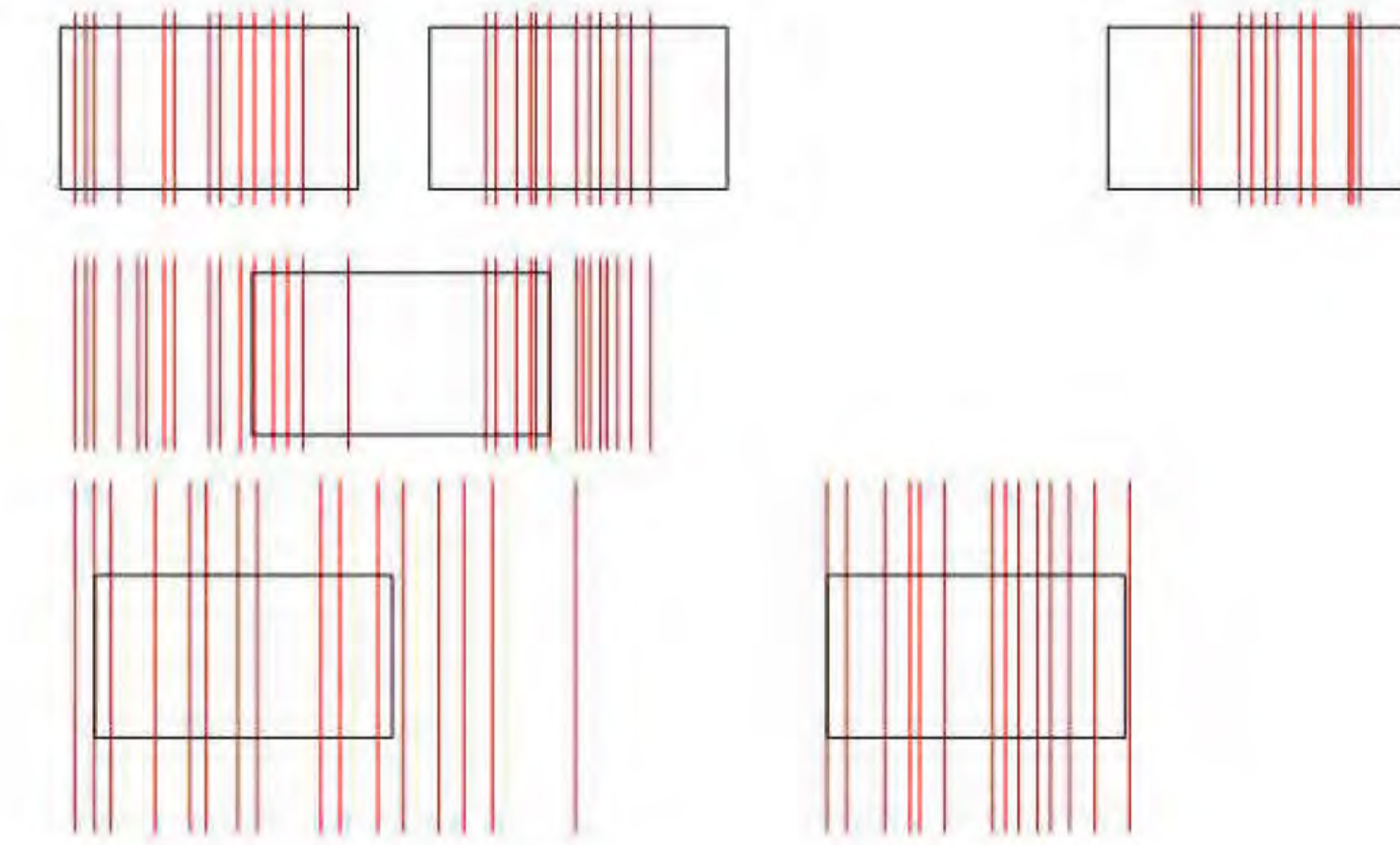
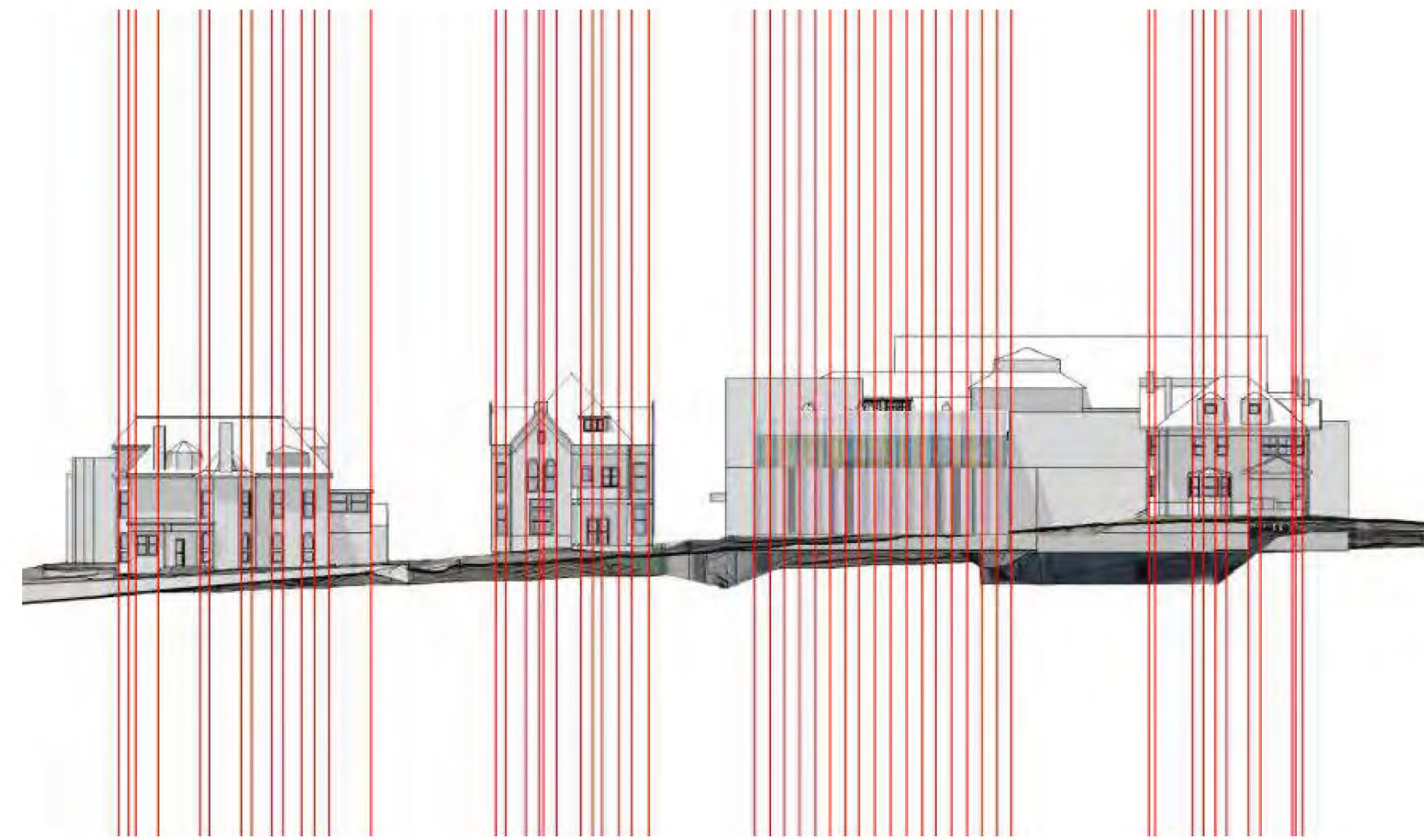
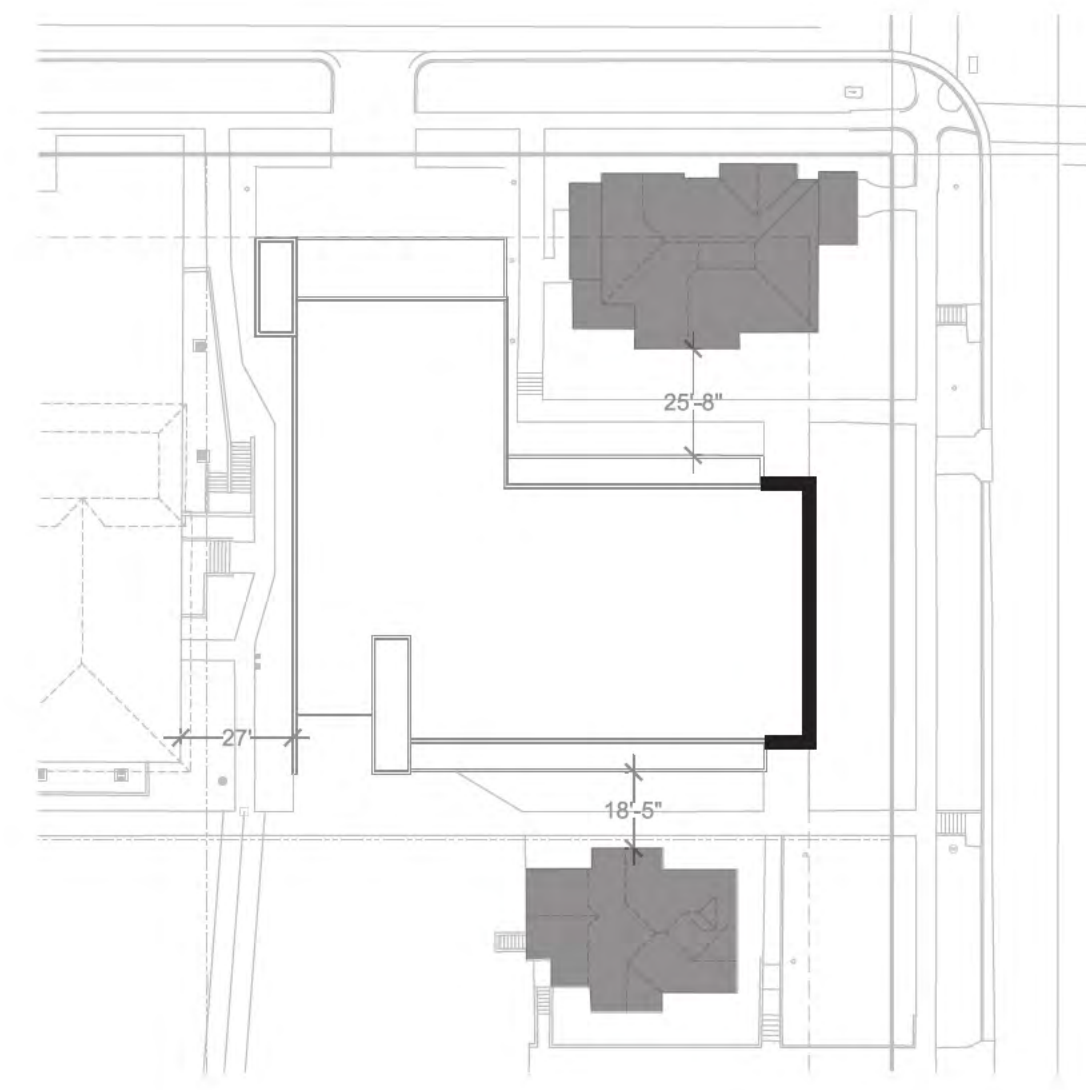


B STREET CORNER PERSPECTIVE



2ND AVE PERSPECTIVE

MADELEINE CHOIR SCHOOL FIELDHOUSE
205 1ST AVE NORTH, SALT LAKE CITY, UT 84103



'B' STREET HISTORIC FACADE ANALYSIS

4. Building Form And Scale: Character Of The Street Block:
The design of the building reflects the historic character of the street facade in terms of scale, composition, and modeling

RESPONSE: The height of the project reflects the character of the historic context and the block face. The proposed structure modulates the articulation masonry/glazing to express a massing and scale that reflects the width of the historic context and block face.

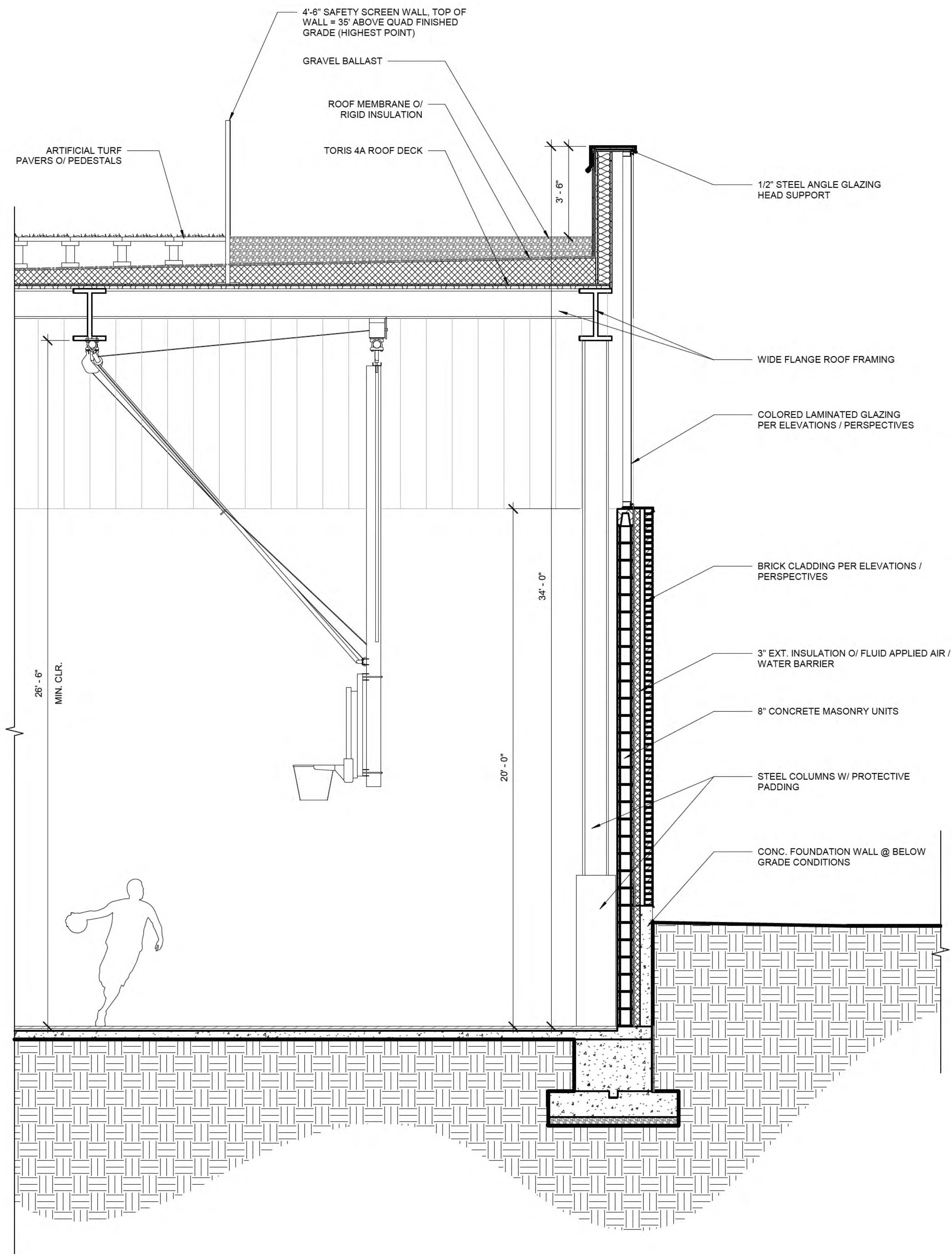
5. Building Character: Facade Articulation And Proportion:
The design of the project reflects patterns of articulation and proportion established in the historic context and the block face.

RESPONSE: The proposed structure's facades are designed to reflect the rhythm of openings established in the historic context and the block face while keeping the ratio of wall/ openings similar as well.

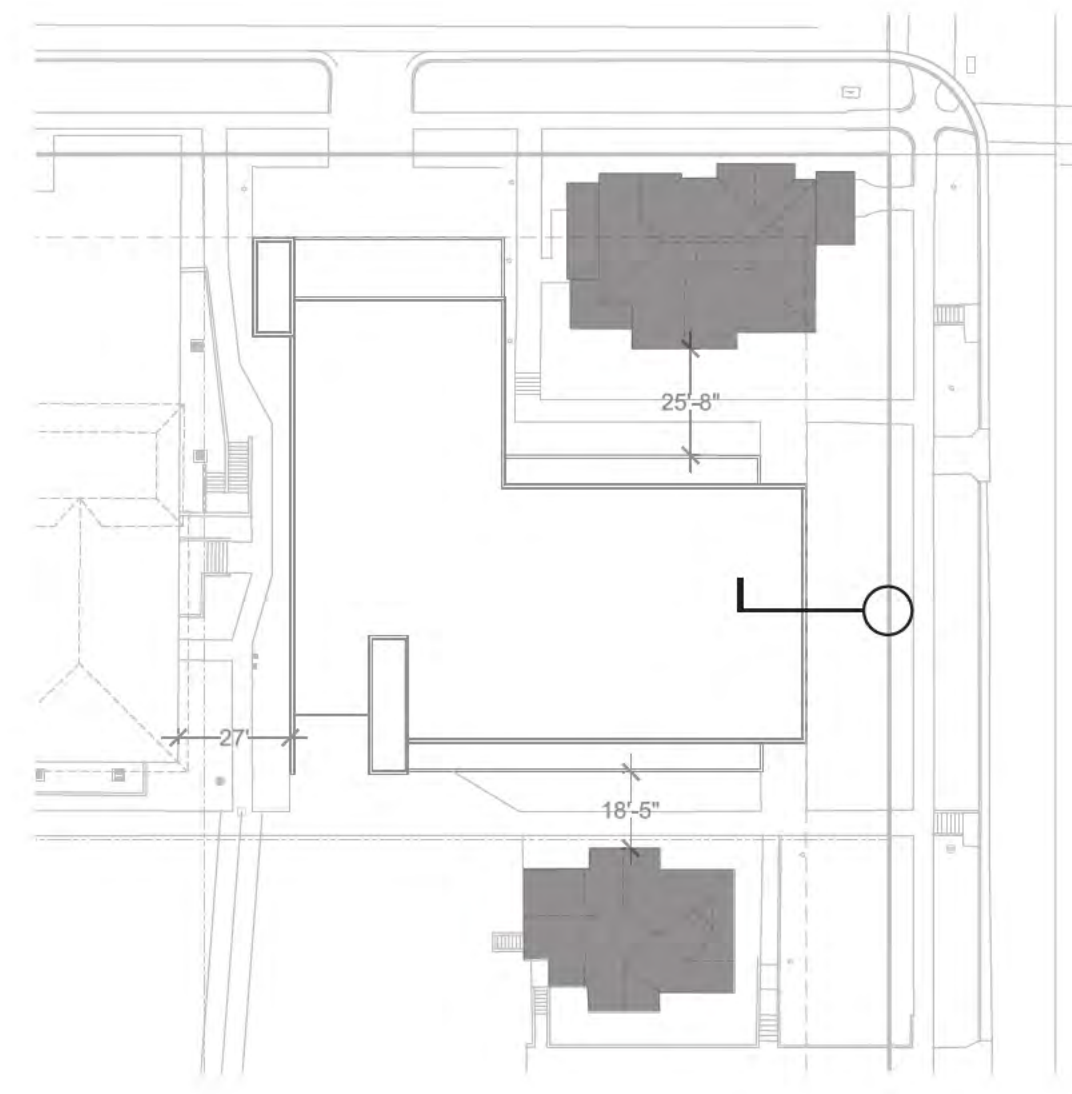
The vertical brick cladding along the B Street facade incorporates subtle articulation with a depth ranging from 6"-8". The vertical banding is set up using a 10 course brick module (approximately 2' wide) that corresponds with the upper colored glazing module.



'B' STREET VIEW WITHOUT PROPOSED LANDSCAPING



TYPICAL WALL SECTION - EAST FACADE



'B' STREET PERSPECTIVE

MADELEINE CHOIR SCHOOL FIELDHOUSE
205 1ST AVE NORTH, SALT LAKE CITY, UT 84103

SPARANO + MOONEY ARCHITECTURE



MADELEINE CHOIR SCHOOL FIELDHOUSE
205 1ST AVE NORTH, SALT LAKE CITY, UT 84103

SPARANO + MOONEY ARCHITECTURE



HP: New Construction (Principal Structure)

SALT LAKE CITY PLANNING

OFFICE USE ONLY

Project #:	Received By:	Date Received:	Zoning:
------------	--------------	----------------	---------

Project Name:

PLEASE PROVIDE THE FOLLOWING INFORMATION

Request:
Approval of proposed new construction of Field House / Classroom building in The Avenues Historic District

Address of Subject Property:
205 1st Ave Salt Lake City, UT 84103

Name of Applicant: Anne Mooney	Phone: 801-746-0234
-----------------------------------	------------------------

Address of Applicant:
57 West 2100 South Salt Lake City, UT 84115

E-mail of Applicant: anne@sparanomooney.com	Cell/Fax:
--	-----------

Applicant's Interest in Subject Property:

Owner Contractor Architect Other:

Name of Property Owner (if different from applicant):
The Cathedral of the Madeleine, LLC Series 202

E-mail of Property Owner: gglen@utmcs.org	Phone: 801-323-9850
--	------------------------

➔ **Please note** that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

AVAILABLE CONSULTATION

A pre-submittal meeting for New Constructions should be scheduled prior to submitting this application, to request a pre-submittal meeting, please email zoning@slcgov.com. For questions regarding the requirements of this application please email historicpreservation@slcgov.com.

WHERE TO FILE THE COMPLETE APPLICATION

Apply online through the [Citizen Access Portal](#). For help on how to submit online view our [step-by-step guide](#).

REQUIRED FEE

➔ **New Construction: Filing fee of \$269 per new building**, plus additional cost of postage for mailing notice.

SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent: 	Date: 13 October 2021
---	--------------------------

SUBMITTAL REQUIREMENTS

For submittal requirements, please refer to the [Submittal Requirements for New Construction Guide](#) attached below.

Staff Review

1. PROJECT DESCRIPTION

(please attach additional sheet)

AM

Written Narrative Description

- Legal description of your property
- Description of your proposal and any Special Exceptions requested.
(To determine if a [Special Exception Application](#) is required reference [Section 3](#) of the [Submittal Requirements for New Construction Guide](#))
- Description of how your project meets review standards ([21.A.34.020.H](#)) with citation of supporting adopted [Design Guidelines](#) for properties in local Historic Districts.
(see [Section 4](#) of the [Submittal Requirements for New Construction Guide](#) for details)

2. EXISTING CONDITIONS

Provide drawings to scale, one 24" x 36 paper copy, digital pdf copy, and a reduced 11 x 17 inch copy of each of the following:

AM

Context Plan

Show property lines, building footprints, front yard setbacks, adjacent streets and alleys, historic district boundaries, contributing/noncontributing structures and landmark sites.
(see [Section 1](#) of the [Submittal Requirements for New Construction Guide](#) for details)

AM

Site plan of the Existing Conditions

Show property lines, site dimensions, topography, adjacent streets, alleys, and walkways, existing buildings and structures, existing building setbacks, significant features/trees, utilities and other easements, etc.
(see [Section 2](#) of [Submittal Requirements for New Construction Guide](#) for details)

AM

Photographs

- Photographs of existing building(s) if available
(Contact the Salt Lake County Archives, at (385) 468 - 0820 for historic photographs).
- Current photographs of each side of the building.
- Close up images of details that are proposed to be altered.

3. PROPOSED NEW CONSTRUCTION

AM

Written description of zoning regulation compliance.

(see [Section 3 and 4](#) of the [Submittal Requirements for New Construction Guide](#) for details)

4. PROPOSED DEVELOPMENT

Provide drawings to scale, one 24" x 36 paper copy, digital pdf copy, and a reduced 11 x 17 inch copy of each of the following:

AM

Site plan of the Proposed Development

Include property lines, site dimensions, topography, adjacent streets, alleys, and walkways, landscaping and buffers, existing buildings and structures, proposed building and structures, lot coverage % of structures, proposed grade changes, proposed setbacks.
(see [Section 5](#) of the [Submittal Requirements for New Construction Guide](#) for details).

- AM **Streetscape Study (for new construction)**
- Streetscape drawn to scale at a minimum 1:80.
 - Drawing should include 100 feet on both side of the subject property and show height, width, and building separation of the excising surrounding buildings and how it relates to the proposed work (if access to properties is limited, a photographic streetscape is allowed).
 - If new construction does not meet the front yard setback, graphically show the front yard setbacks of the block face (all buildings on one side of block between two intersecting streets).
- (see **Section 6** of the *Submittal Requirements for New Construction Guide* for details)
- AM **Elevation Drawings**
- Detailed elevation, sections and profile drawings with dimensions drawn to scale.
 - Show type of construction, and materials
 - Design and dimension for details such as railings, posts, roofing, siding, porch, windows, etc.
 - Show section drawings of windows and doors if new windows and doors are proposed.
- (see **Section 7** of the *Submittal Requirements for New Construction Guide* for details)
- AM **Materials**
- List of proposed building materials.
 - Provide samples/and or manufacture brochures of all proposed materials.
- (see **Section 8** of the *Submittal Requirements for New Construction Guide* for details)
- AM **3D Models**
- Show the new construction in relation to neighboring buildings.
 - Show the new construction from the pedestrian perspective (front and side facades).
- (see **Section 9** of the *Submittal Requirements for New Construction Guide* for details)
- AM **Building Sections**
- Include building components (roof, walls, floors, foundations, etc.), for additions – relationship to existing building, building height, materials, roof slope, room names, finished grade elevation, bottom of footing elevation, openings (windows, doors, decks), top of floor sheathing elevation, top of top plate elevation, setbacks and property lines.
- (see **Section 10** of the *Submittal Requirements for New Construction Guide* for further details)

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

AM _____ I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.

ATTACHMENT C: Property and Vicinity Photos



Proposed Site – B Street View Looking Northwest



Proposed Site – B Street Streetscape



B Street Looking North – Proposed Site at Left



B Street Looking South – Proposed Site at Right



Erbin Hall – Proposed Site at Right



Proposed Site from Quad Looking Northeast



Proposed Site from B Street Looking Southwest



Proposed Site from B Street Looking Northwest



Proposed Site at Second Avenue and B Street



Proposed Site from Second Avenue



Proposed Preschool Entrance Site at Second Avenue



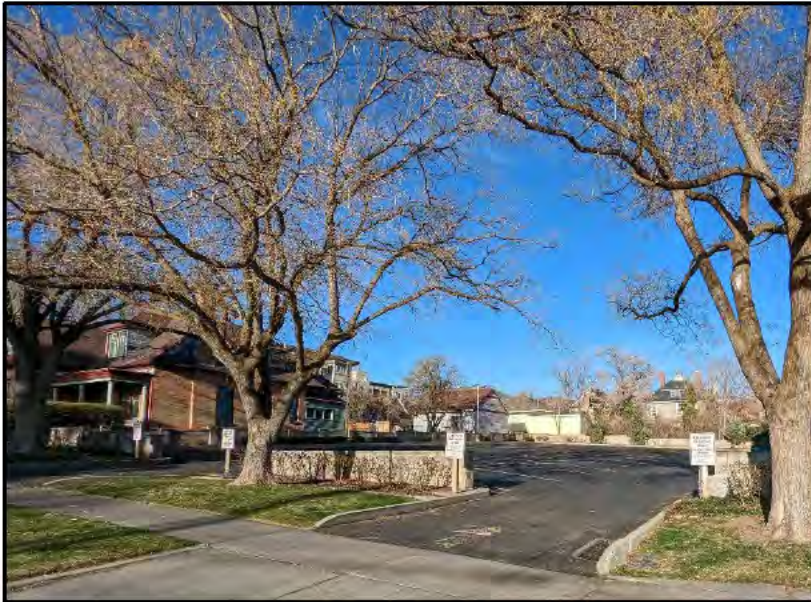
Erbil Hall – Second Avenue (North) Facade



West Side of Erbin Hall at A Street



Erbin Hall – Main (South) Facade



Off-Site Parking on A Street



Off-Site Parking at A Street & Second Avenue



Existing View of Site Behind Corner House at Southwest Corner – Second Avenue & B Street



Proposed View of Site Behind Corner House at Southwest Corner – Second Avenue & B Street



Existing Second Avenue View



Proposed Second Avenue View

ATTACHMENT D: Historic Information

- National Register Nomination

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY

RECEIVED

DATE ENTERED

SEE INSTRUCTIONS IN *HOW TO COMPLETE NATIONAL REGISTER FORMS*
TYPE ALL ENTRIES -- COMPLETE APPLICABLE SECTIONS

1 NAME

HISTORIC

ROWLAND HALL-ST. MARK'S SCHOOL

AND/OR COMMON

2 LOCATION

STREET & NUMBER

205 1st Avenue

__ NOT FOR PUBLICATION

CITY, TOWN

Salt Lake City

CONGRESSIONAL DISTRICT

02

STATE

Utah

CODE
049

COUNTY

Salt Lake

CODE

035

3 CLASSIFICATION

CATEGORY	OWNERSHIP	STATUS	PRESENT USE	
<input type="checkbox"/> DISTRICT	<input type="checkbox"/> PUBLIC	<input checked="" type="checkbox"/> OCCUPIED	<input type="checkbox"/> AGRICULTURE	<input type="checkbox"/> MUSEUM
<input type="checkbox"/> BUILDING(S)	<input checked="" type="checkbox"/> PRIVATE	<input type="checkbox"/> UNOCCUPIED	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> PARK
<input type="checkbox"/> STRUCTURE	<input type="checkbox"/> BOTH	<input type="checkbox"/> WORK IN PROGRESS	<input checked="" type="checkbox"/> EDUCATIONAL	<input type="checkbox"/> PRIVATE RESIDENCE
<input type="checkbox"/> SITE	<input type="checkbox"/> PUBLIC ACQUISITION	<input type="checkbox"/> ACCESSIBLE	<input type="checkbox"/> ENTERTAINMENT	<input type="checkbox"/> RELIGIOUS
<input type="checkbox"/> OBJECT	<input type="checkbox"/> IN PROCESS	<input checked="" type="checkbox"/> YES: RESTRICTED	<input type="checkbox"/> GOVERNMENT	<input type="checkbox"/> SCIENTIFIC
	<input type="checkbox"/> BEING CONSIDERED	<input type="checkbox"/> YES: UNRESTRICTED	<input type="checkbox"/> INDUSTRIAL	<input type="checkbox"/> TRANSPORTATION
		<input type="checkbox"/> NO	<input type="checkbox"/> MILITARY	<input type="checkbox"/> OTHER:

4 OWNER OF PROPERTY

NAME

Rowland Hall-St. Mark's School

STREET & NUMBER

205 First Avenue

CITY, TOWN

Salt Lake City

STATE

Utah

5 LOCATION OF LEGAL DESCRIPTIONCOURTHOUSE,
REGISTRY OF DEEDS, ETC.

Salt Lake City and County Building

STREET & NUMBER

2nd East at 4th South

CITY, TOWN

Salt Lake City

STATE

Utah

6 REPRESENTATION IN EXISTING SURVEYS

TITLE

Utah Historic Sites Survey, Utah State Register

DATE

1972

__ FEDERAL STATE __ COUNTY __ LOCALDEPOSITORY FOR
SURVEY RECORDS

Utah State Historical Society

CITY, TOWN

Salt Lake City

STATE

Utah

7 DESCRIPTION

CONDITION		CHECK ONE	CHECK ONE
<input type="checkbox"/> EXCELLENT	<input type="checkbox"/> DETERIORATED	<input type="checkbox"/> UNALTERED	<input checked="" type="checkbox"/> ORIGINAL SITE
<input checked="" type="checkbox"/> GOOD	<input type="checkbox"/> RUINS	<input checked="" type="checkbox"/> ALTERED	<input type="checkbox"/> MOVED DATE _____
<input type="checkbox"/> FAIR	<input type="checkbox"/> UNEXPOSED		

DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

Rowland Hall-St. Mark's School today occupies a block in the Avenues Historic District bounded by A and B Streets on the west and east, and by First and Second Avenues. They originally faced south, looking across lawns and tennis courts toward the Salt Lake Valley. A new classroom building along First Avenue now closes off the view and creates a partially enclosed "quadrangle" in the west half of the block. The east half of the block contains three mansions purchased by the school in the Twentieth Century for additional classroom space and faculty housing.

The first building of Rowland Hall was the Watt-Haskins home, one of the most impressive adobe houses in the Avenues. It was built as a two-story gable roofed structure about 1862 and enlarged in the Georgian style with a truncated-hip roof about 1871. After the house became the home of Rowland Hall in 1880, it was remodeled again. A new mansard-like double hip roof with large (south) front and side dormer windows was added to provide third floor dormitory space. The panelled wood cornice is decorated with parged brackets. Quoins accent the corners of the building. Windows are six-over-six pane double-hung units with wide, plain trim. A long one-story front porch with panelled cornice and square columns cover the front of the house. Inside, the first floor still has Nineteenth Century interiors, including a southwest front parlor, a central stair hall with lincrusta wainscoting and a carved banister, and a large east-side library with leaded glass front bookcases.

At the rear of the Watt-Haskins house are two large brick additions, containing dormitories and dining facilities, that triple the size of the original house. Built in the late Nineteenth Century they continue the dormered double hip roof and bracketted cornice of the house, but may be easily distinguished from it by the brick construction and narrower arched windows with corbelled drip molding.

To the east of the Watt-Haskins house, separated from it by the narrow chapel, is a large brick classroom building constructed in 1906. The building is a factory-like structure with a two-story rear section and three-story center section, both with flat roofs. The south front portion of the building is decorated in the Georgian Revival Style to echo the Watt-Haskins house, with a dormered roof, bracketted cornice, quoins, and six-over-six pane windows. The front center second story window has a semi-circular fanlight under a gable in the Georgian manner. There is a one-story front addition. Inside, the large second floor front library has a dramatic two-story height with a complex wood beamed ceiling.

The chapel between the Watt-Haskins house and the classroom building was conceived at the same time as the classroom structure but was not built until 1910. It is set back creating a small three-sided court yard that serves as the main entrance to the three buildings. The chapel building has a long gable roof with a bracketted cornice topped by a cross at the south (front)

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY

RECEIVED

DATE ENTERED

CONTINUATION SHEET

ITEM NUMBER 7 PAGE 2

gable end. On the second floor is the sanctuary with its altar at the north end. The chapel interior has exposed wood roof trusses, small stained glass windows set high in the unplastered red brick walls, and dark wooden pews that step up parallel to the side walls. Natural lighting comes from a large leaded glass Gothic window with simple tracery at the south end of the chapel. The first story of the chapel contains classrooms and a hall connecting the Watt-Haskins houses with the 1910 classroom structure. The main entrance to the school, sheltered outside by a bracketted hood, opens onto the hall.

The three main buildings of Rowland Hall-St. Mark's School looked out over the Salt Lake Valley to the south until 1970. In that year a new classroom building was built along First Avenue on the south portion of George Watt's original half-block lot, creating a campus "quadrangle." The new building is a modern two-story brick structure by architects Snedaker Budd & Watt with blank walls, and windows set in the chamfered corners. The structure's shallow mansard roof and grey brick echo in modern form the original buildings of the school. An arched walkway through the center of the building creates a dramatic frame for the older structures to the north, and maintains a visual link with the valley to the south.

On the east half of the block along B Street are three mansions purchased by Rowland Hall and St. Mark's in 1922 and 1956 for use as classrooms and faculty housing. The homes are painted grey with white trim to match the buildings on the "quadrangle" to the west, but they remain separate from it, not integrated by any landscaping.

The Joseph Rawlins house, 231 First Avenue at the corner of B Street, was built in 1887 and purchased by Rowland Hall in 1922. It is a two-and-one-half story Italianate Style brick structure. It has a complex irregular plan with gable roofs and dormer windows. The southeast front entrance of the house is marked by a two-story rectangular tower. Next to the tower is a segmental brick bay window that extends through the roof of the house with a wooden dormer section. On the east (B Street) side of the house is a shorter segmental brick bay window, as well as two elaborate chimneys with corbelled brick work. A one-story southeast porch, now partially enclosed, has wooden ionic columns. The house has segmental arched second story windows and round-arched first story windows, and several corbelled brick belt corners.

The 1888 Joseph E. Caine Mansion at 67 B Street is notable for its unusual brick and stone decoration. It is made up of a small main hip-roofed section with two story north, south, and east gabled projecting bays, and a gabled one-and-one-half story rear wing. Around the edge of the roof is a corbelled brick parapet with a wooden cornice that has tiny pediments at the corners. At the peak of the gables the cornice rises into a single corble step above the ridge line of the roof with checkerboard pattern brickwork. Windows have stone and brick rim including a variety of corbelled drip molding.

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The Priscilla Paul Jennings Mansion, built about 1901 at 87 B Street on the corner of Second Avenue, shows influence of the Classical Revival Style popular at that time. It has a large hip roofed main section with two (east) front dormer windows. These are one south and two north gabled bays that contain chimneys. The gables have pediments with modillions, and are finished in stucco with decorative wood framing. A heavy cornice with modillions and dentil molding runs around the house. There is a recessed, enclosed second story northeast porch, and a one-story enclosed porch with decorative panes in the windows. The heavy, gabled front porch has a dentilled cornice with modillions and returns. It is supported by heavy round columns on posts with balustrades between. Next to the front porch is a one-story wooden front bay window.

The Caine and Jennings Mansions were purchased in 1956 when the St. Mark's boys school was reactivated requiring additional classrooms and faculty housing.

8 SIGNIFICANCE

PERIOD	AREAS OF SIGNIFICANCE -- CHECK AND JUSTIFY BELOW			
<input type="checkbox"/> PREHISTORIC	<input type="checkbox"/> ARCHEOLOGY-PREHISTORIC	<input type="checkbox"/> COMMUNITY PLANNING	<input type="checkbox"/> LANDSCAPE ARCHITECTURE	<input checked="" type="checkbox"/> RELIGION
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> ARCHEOLOGY-HISTORIC	<input type="checkbox"/> CONSERVATION	<input type="checkbox"/> LAW	<input type="checkbox"/> SCIENCE
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> AGRICULTURE	<input type="checkbox"/> ECONOMICS	<input type="checkbox"/> LITERATURE	<input type="checkbox"/> SCULPTURE
<input type="checkbox"/> 1600-1699	<input type="checkbox"/> ARCHITECTURE	<input checked="" type="checkbox"/> EDUCATION	<input type="checkbox"/> MILITARY	<input type="checkbox"/> SOCIAL/HUMANITARIAN
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> ART	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> MUSIC	<input type="checkbox"/> THEATER
<input checked="" type="checkbox"/> 1800-1899	<input checked="" type="checkbox"/> COMMERCE	<input type="checkbox"/> EXPLORATION/SETTLEMENT	<input type="checkbox"/> PHILOSOPHY	<input type="checkbox"/> TRANSPORTATION
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> COMMUNICATIONS	<input type="checkbox"/> INDUSTRY	<input checked="" type="checkbox"/> POLITICS/GOVERNMENT	<input type="checkbox"/> OTHER (SPECIFY)
		<input type="checkbox"/> INVENTION		

SPECIFIC DATES

BUILDER/ARCHITECT

STATEMENT OF SIGNIFICANCE

Rowland Hall-St. Mark's School occupies a distinct niche in Utah's educational and religious history, and its significance as an institution has additional merit because of the individual architectural and historical interest of the buildings that comprise the campus.

Rowland Hall-St. Mark's has antecedents that make it one of the oldest established religious schools in Utah. The Episcopal Church has never been numerically strong in Utah, although it was among the first non-Mormon religious to assign clergymen in the area. Unlike the other Protestant churches, however, the Episcopal Church has never adopted a program of evangelizing the Mormons. Their school program was established to serve the needs of Episcopal communicants and of those seeking a superior college preparatory education for their children. By contrast, the Presbyterian and Methodist Churches established mission schools that subsidized the education of Mormon children. The intent, openly avowed, was to wean the children away from Mormonism. Episcopal educational and religious policy was to maintain a low profile in the Mormon/Gentile conflict, and to concentrate on providing education for the middle and upper classes.

Episcopal education commenced with the arrival of George Foote and Thomas W. Haskins, in May 1867. Taking over a Sunday School program from a departing Congregationalist minister, they moved on to create the St. Mark's Grammar School of Boys, which met in a bowling alley. This was followed by the St. Mark's School of Girls, which was operated independently for ten years. In 1880 an Episcopal lay woman, visiting in Salt Lake City, felt that there was a need for improved educational facilities, especially for girls growing up in mining camps and on ranches. So a boarding school for daughters of the nouveau riche entrepreneurs of Utah's mines and ranches was endowed and named for her husband, Benjamin Rowland.

For a time the two schools operated separately, with Rowland Hall being exclusively for boarders and St. Mark's School for Girls serving day students. Economy eventually determined that the two schools merge, and Rowland Hall continued on to serve both types of student. Its generous endowment also allowed it to flourish even during those difficult years when free public education became generally available throughout Utah in 1896, causing the demise of most religious schools. The St. Mark's School for boys did not survive this period, and was not re-established until 1956. The two schools have now been combined, and offer some of the finest private education in the state.

The Rowland Hall-St. Mark's Campus has four houses, a classroom section, a chapel and a new classroom building. The homes were originally built as single family residences and belonged to several prominent Utahns. The other buildings and numerous additions to the original home were built for the school.

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George D. Watt-Thomas W. Haskins House

The original Rowland Hall was in a home that was built by George D. Watt. Watt, a Mormon convert from England, came to Nauvoo, Illinois, in 1842. Just before the Mormons were driven out of this area, George was called on a mission to England. In 1850 he was released from his mission and he and his family came to Utah.

George worked for the Deseret News, the Mormon newspaper, after he came to Salt Lake City. He was hired by Brigham Young as a clerk and as a reporter for the Utah legislature in 1853. Watt also published a journal which included the speeches of the Mormon leaders. He continued to publish Journal of Discourses until 1868 when he left the office of Brigham Young. Watt also was one of the main promoters of the Deseret alphabet, a phonetic alphabet that was to help the immigrants learn English easier and the sencultural industry in Utah.

In 1868 Watt, who had been one of the strongholds in Young's office, left the employ of the church. He set up a mercantile business with Robert Sleater and William Ajax. According to family tradition, the store eventually went out of business because the Mormon leaders advised the church members not to patronage it because it had "gentile" business connections in Chicago.

In 1869 Watt became interested in the Godbeites, a group of Mormons who had broken off from the main body partially because of a dispute over the role that Brigham Young, a prophet, should play in temporal affairs. His interest in the Godbeites grew and by 1874 he was a member of that group.

This house was built in approximately 1862 on some property that Watt had received from Brigham Young. During that year Watt was working in Young's office and he received credit for some carpentry work and some lime from the church. He was probably building this adobe house then with these materials. Watt lived in this house until about 1869 or 1870 when he moved his family to Kaysville. Watt sold the home and property and by 1870 Warren Hussey, the banker who persuaded Bishop Tuttle to come to Utah, owned the house. He sold it in 1871 to Thomas W. Haskins, one of the Episcopal missionaries.

Thomas might have lived in this house for about the next three years. According to Tuttle, Haskins had been living in the rectory while Tuttle was in Montana and Idaho. When he returned to Salt Lake in 1871 Haskins moved so Tuttle could have the house, but Tuttle does not say where Haskins lived. During the period that Haskins lived here he was the principal of the St. Mark's School which met at the nearby St. Mark's Church. For a while he was the chaplain at Fort Douglas. In about 1873 he left Salt Lake and by 1891 he was in Los Angeles.

Haskins probably maintained the George D. Watt House, but he enlarged it. To increase the floor space, he removed the gable roof and added a section on to the rear of the house. He then put a truncated roof on the house. According to the photographs at the Utah State Historical Society, this change took place in about 1871 when Haskins acquired the property.

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In 1880 Reverend Kirby received title for the property on behalf of his mother-in-law, Mrs. Rowland. The title was then put in the name of Bishop Tuttle. The property is now in the name of the school but if for any reason the school is closed, the property would be returned to the Episcopal diocese of Utah.

The George D. Watt-Thomas W. Haskins House was the original home of Rowland Hall. It was used for classes and for boarding the teachers and students. Since 1870 the school has made several additions to the house including opening up the top of the house for a third floor and the addition of two brick sections to the rear of the house. These sections are the same height as the adobe house and the entire building is painted the same color so the brick sections blend in with the adobe house.

Classroom Section and Chapel

There was constantly a need for more rooms for the school. The school officials made several plans to build on the block but they were never carried out because there were no funds available. In 1900 Felix Brunot, a man from Philadelphia, donated \$35,000 to the school. With the new funds, Bishop Abiel Leonard hired an architect, Theodore Davis Beal, to design a new school house. Beal made plans to add a chapel and a classroom building on the original house and by 1906 the plans were ready. Beal suggested that the \$35,000 was not enough to finish the work and that the classroom building be completed first.

A three-story brick and frame building that appears on the 1898 Sanborn map was probably torn down in 1906 to build the new classroom. The cornerstone of the new school was dedicated on October 17, 1906, by the new bishop, F. S. Spalding. The new building increased the space at the school but left the church school with an enormous debt. In 1909 the school sent out an appeal for money to overcome the debt and to help construct the chapel.

The appeal for money was successful and provided enough funds to build the chapel. In 1910 Bishop Spalding signed an agreement with David R. Smith and George A. Smith of Smith Brothers to build the chapel. The chapel was completed that year and a pipe organ was added in 1911.

Since 1910 several additions have been made to the rear of the classroom building. Since the additions are to the rear and are painted the same color as the 1906 building, they do not detract from the historic character of the building.

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Joseph L. Rawlins House

The Joseph Rawlins House was built in 1887. Rawlins, the original owner, is significant in Utah politics. An attorney, he helped form the Democratic party in 1894. In 1893 he was a delegate to Congress and was instrumental in legislation passed to return Mormon property to the L.D.S. Church and to enable Utah to be admitted to the Union. Rawlins was also one of the first senators to the United States Congress from Utah. He held that office from 1877 to 1903. Rawlins lived here until 1907. Rowland Hall bought this house in 1922 for additional classroom space.

Joseph E. Caine House

This house was built in 1888 for Joseph E. Caine. Caine was prominent in Salt Lake businesses. He was manager of the Caine and Hooper Company, an insurance company. Sidney E. Hooper was president and Caine's father, John T. Caine, was vice-president of the company. Joseph resigned that position to become a cashier at Utah Savings and Commercial Bank. He later became the secretary and manager of the Commercial Club in Salt Lake. In 1913 he moved to Oakland where he was secretary of the Oakland Chamber of Commerce. When St. Mark's School was opened again in 1956, the Episcopal Church bought this house for additional classroom space.

Priscilla Paul Jennings House

Priscilla Paul Jennings, the second wife of William Jennings, was the original owner of this house. William Jennings owned a meat market and then expanded into the mercantile business in Salt Lake. In 1869 he built the Eagle Emporium and he was instrumental in the founding of Zions Cooperative Mercantile Institution, the leading Mormon business in Salt Lake City. He was elected mayor of Salt Lake City in 1882. He died in 1886. Jennings built the Devereaux Mansion. For many years it was the social entertainment center of Salt Lake. William and Priscilla entertained the dignitaries that came through Salt Lake City in that house.

Priscilla had the house built about fourteen years after William's death. She lived here until she died in 1918. Priscilla was active in the Mormon Church. She served on the Relief Society general board, the governing body for the LDS Church's women's organization.

In 1956 the house was sold to Rowland Hall. Since then it has been used as a home for school officials and classrooms.

9 MAJOR BIBLIOGRAPHICAL REFERENCES

U.S.H.S. photograph collection, 979:21, pp. 9, 10.
 Rowland Hall, manuscript Collection, Utah State Historical Society
 Salt Lake City building permits, Utah State Historical Society.
 Daniel S. Tuttle, Reminiscences of a Missionary Bishop. New York: Thomas Whittaker, 1906.
 Sanborn maps, 1898, 1911, University of Utah.

10 GEOGRAPHICAL DATA

ACREAGE OF NOMINATED PROPERTY less than one acre.

QUADRANGLE NAME _____

QUADRANGLE SCALE _____

UTM REFERENCES

A

1	2	4	2	5	5	6	0	4	5	1	3	5	4	0
ZONE			EASTING				NORTHING							

B

ZONE			EASTING				NORTHING							

C

ZONE			EASTING				NORTHING							

D

ZONE			EASTING				NORTHING							

E

ZONE			EASTING				NORTHING							

F

ZONE			EASTING				NORTHING							

G

ZONE			EASTING				NORTHING							

H

ZONE			EASTING				NORTHING							

VERBAL BOUNDARY DESCRIPTION

All of Plat D Block 16.

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE	CODE	COUNTY	CODE

11 FORM PREPARED BY

NAME / TITLE

Jessie Embry / Project Historian

ORGANIZATION

Utah State Historical Society

DATE

January 1979

STREET & NUMBER

307 West 200 South, Suite 1000

TELEPHONE

(801) 533-6017

CITY OR TOWN

Salt Lake City

STATE

Utah

12 STATE HISTORIC PRESERVATION OFFICER CERTIFICATION

THE EVALUATED SIGNIFICANCE OF THIS PROPERTY WITHIN THE STATE IS:

NATIONAL

STATE

LOCAL

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

STATE HISTORIC PRESERVATION OFFICER'S SIGNATURE

J. Phillip Keene III
 J. Phillip Keene III, State Historic Preservation Officer

TITLE

DATE

FOR NPS USE ONLY

I HEREBY CERTIFY THAT THIS PROPERTY IS INCLUDED IN THE NATIONAL REGISTER

DATE

KEEPER OF THE NATIONAL REGISTER

ATTEST:

DATE

CHIEF OF REGISTRATION

Rowland Hall-St. Mark's School

205 E. 1st Avenue, Salt Lake City, Salt Lake County



Rowland Hall-St. Mark's School

205 E. 1st Avenue, Salt Lake City, Salt Lake County



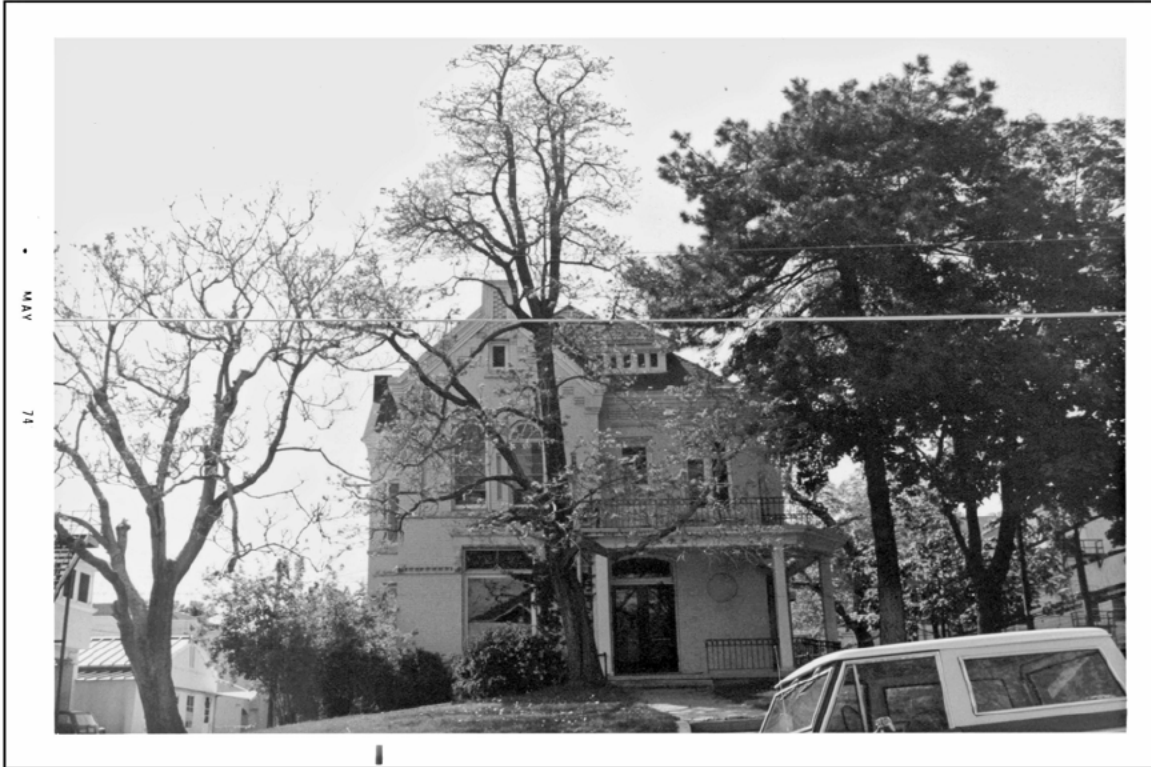
Rowland Hall-St. Mark's School

205 E. 1st Avenue, Salt Lake City, Salt Lake County





#19



#18



#14

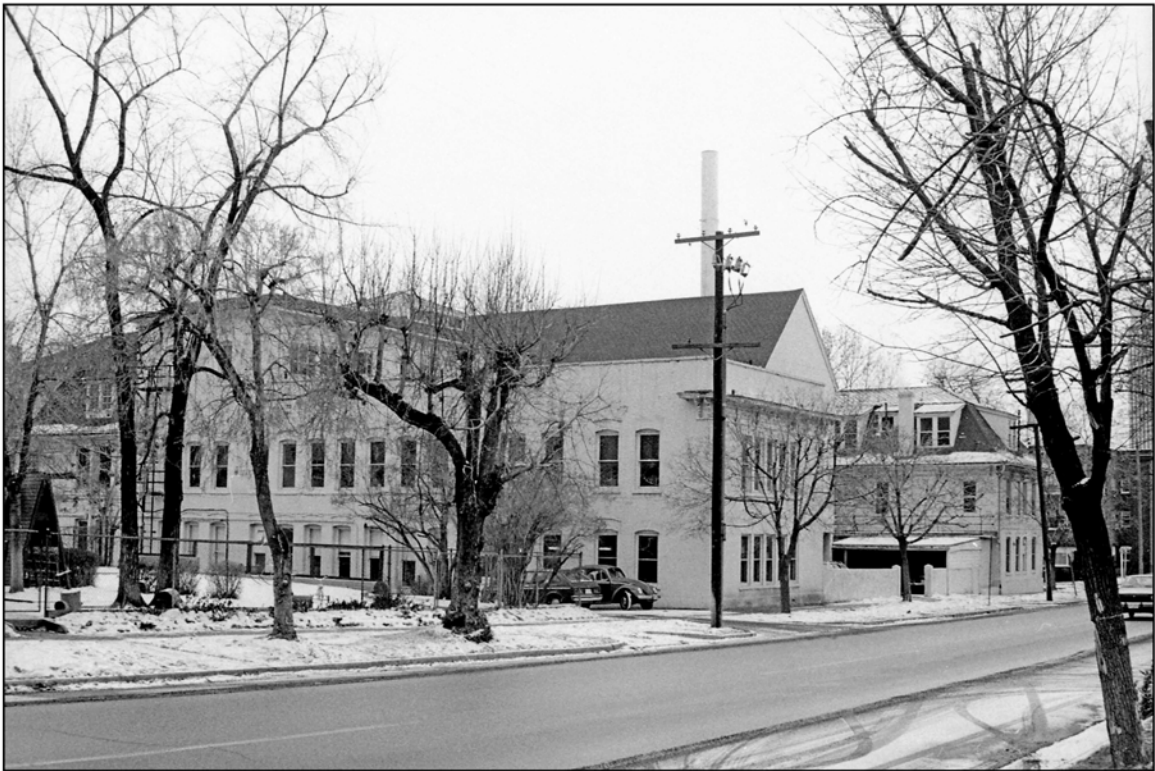


#15



Rowland Hall-St. Mark's School

205 E. 1st Avenue, Salt Lake City, Salt Lake County



ATTACHMENT E: I Zoning Standards

I – (Institutional District)

Purpose Statement: The purpose of the I Institutional District is to regulate the development of larger public, semipublic and private institutional uses in a manner harmonious with surrounding uses. The uses regulated by this district are generally those having multiple buildings in a campus-like setting. Such uses are intended to be compatible with the existing scale and intensity of the neighborhood and to enhance the character of the neighborhood. This district is appropriate in areas of the City where the applicable master plans support this type of land use.

Standard	Requirement	Proposed	Finding
Maximum Building Height	35 feet; elevator/stair towers may exceed the maximum by 16 feet.	35 feet at highest point above finished grade, including 54” safety screen around rooftop field.	Complies
Front/Corner/Side/Rear Yard Setbacks	Front Yard: 20 Feet Interior Side Yard: 20 feet Rear Yard: 25 feet	Front: 20 feet Interior Side: 20 feet Rear: 180 feet	Complies
Buffer Yard	Not Applicable		N/A
Min. Lot Size	20,000 SF	108,900	Complies
Minimum Lot Width	100 Feet	330.27 feet	Complies
Max. Building Coverage	60% of lot area	41% of lot area	Complies
Minimum Open Space:	40% of lot area	59% of lot area	Complies
Off Street Parking & Loading (21A.44.030.H)	Schools, K-8: 1 space per 3 faculty members or full-time employees: 28 stalls	87 general spots and 6 accessible stalls off-site (A Street) With signed agreement	Complies
Landscaping & Buffering (21A.48)	Not Applicable		N/A

ATTACHMENT F: Design Standards for New Construction

STANDARDS & DESIGN GUIDELINES FOR NEW CONSTRUCTION IN A HISTORIC DISTRICT

H Historic Preservation Overlay District – Standards for Certificate of Appropriateness for New Construction (21A.34.020.H)

In considering an application for a Certificate of Appropriateness involving new construction, or alterations of noncontributing structures, the Historic Landmark Commission, or Planning Director when the application involves the alteration of a noncontributing structure shall, using the adopted design guidelines as a key basis for evaluation, determine whether the project substantially complies with each of the following standards that pertain to the application to ensure that the proposed project fits into the established context in ways that respect and contribute to the evolution of Salt Lake City's architectural and cultural traditions:

Design Guidelines for Historic Commercial Properties & Districts in Salt Lake City, specifically Chapter 13 – Design for New Construction, are the relevant historic design guidelines for this design review. Related design guidelines are referenced in the following review table along with corresponding Historic Design Standards for New Construction (21A.34.020.H).

The guidelines in their original published format can be accessed directly via the links below:

[Historic Commercial Properties & Districts in Salt Lake City](#)

[Historic Commercial Properties & Districts in Salt Lake City – Chapter 13 – Design for New Construction](#)

Design Standards for New Construction	Design Guidelines for New Construction	Analysis - Complies/Does Not Comply
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<p>1. SETTLEMENT PATTERNS & NEIGHBORHOOD CHARACTER</p> <p>a. Block and Street Patterns The design of the project preserves and reflects the historic block, street, and alley patterns that give the district its unique character. Changes to the block and street pattern may be considered when advocated by an adopted city plan.</p> <p>b. Lot and Site Patterns The design of the project preserves the pattern of lot and building site sizes that create the urban character of the historic context and the block face. Changes to the lot and site pattern may be considered when advocated by an adopted city plan.</p> <p>c. The Public Realm The project relates to adjacent streets and engages with sidewalks in a manner that reflects the character of the historic context and the block face. Projects should maintain the depth of yard and height of principal elevation of those existing on the block face in order to support consistency in the definition of public and semi-public spaces.</p> <p>d. Building Placement Buildings are placed such that the project maintains and reflects the historic pattern of setbacks and building depth established within the historic context and the block face. Buildings should maintain the setback demonstrated by existing buildings of that type constructed in the district or site's period of significance.</p> <p>e. Building Orientation The building is designed such that principal entrances and pathways are oriented such that they address the street in the pattern established in the historic context and the block face.</p>	<p>CONTEXT & CHARACTER: SITE DESIGN & ORIENTATION</p> <p>13.1 The traditional historic development pattern should be recognized and maintained in new development</p> <ul style="list-style-type: none"> • A new building should be situated on its site in a manner similar to the historic buildings in the area. • Orient a building facade and primary entrance toward the street • The relationship between building, landscape features and open space should relate to existing front yard setbacks and spacing of side yard setbacks within the block. <p>13.2 Historic street patterns should be maintained.</p> <ul style="list-style-type: none"> • New construction should not interfere with or encroach upon historic or early street or alley patterns and widths. • Extend internal alley networks wherever possible. <p>13.3 Distinctive features that emphasize buildings on corner lots should be considered.</p> <ul style="list-style-type: none"> • A corner entrance can be used to accentuate corner sites. • Both street facades should be designed as important public facades. • Design emphasis can accentuate the corner role. <p>13.4 Indigenous plant materials should be included in new landscape designs.</p> <ul style="list-style-type: none"> • Drought-tolerant varieties, which are in character with plantings used historically, are preferred. 	<p>Staff Analysis – Complies</p> <p>The existing block design of the MCS campus is an amalgam of an original campus building (Erbin Hall, with its multiple additions) oriented toward a central campus open space at the middle of the block, as well as a more common block and lot pattern seen on typical Avenues blocks. This is most prominent on the B Street block face, where historically residential buildings were later incorporated into the campus. Unlike many Avenues blocks, the MCS campus does not contain alleys or driveways, but has a formal pattern of pedestrian paths that would be maintained.</p> <p>The proposed design reflects this amalgam by placing the building footprint on current open space that maintains the rhythm of lot and building patterns along its two prominent 2nd Avenue and B Street facades. These facades maintain the existing yard depth and setback pattern established by the existing historic structures. The design utilizes the north-south and east-west sloped topography to keep the overall building height similar to the existing buildings. The location also reinforces the quad space on the block's interior and formally defines its north side.</p> <p>Similarly, the multiple entrances are located to address both the street faces and the quad. This is less apparent on the B Street side of the building, where there are no entrances proposed. The programmatic and design requirements of a gymnasium constrain the placement and orientation of the building, which the applicants propose to mitigate through landscaping and variation in the wall plane.</p>
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<p>2. SITE ACCESS, PARKING & SERVICES</p> <p>a. Site Access The design of the project allows for site access that is similar, in form and function, with patterns common in the historic context and the block face.</p> <p>(1) Pedestrian Safe pedestrian access is provided through architecturally highlighted entrances and walkways, consistent with patterns common in the historic context and the block face.</p> <p>(2) Vehicular Vehicular access is located in the least obtrusive manner possible. Where possible, garage doors and parking should be located to the rear or to the side of the building.</p> <p>b. Site and Building Services and Utilities. Utilities and site/building services (such as HVAC systems, venting fans, and dumpsters) are located such that they are to the rear of the building or on the roof and screened from public spaces and public properties.</p>	<p>13.30 Walkways should safely lead pedestrians from parking areas to building entrances.</p> <p>13.27 Bikeways and pedestrian walkways should be separated and buffered from external and internal circulation within parking lots.</p>	<p>Staff Analysis – Complies with Recommended Conditions of Approval</p> <p>The project's design allows for site access that connects the 2nd Avenue and B Street faces with the center of the campus. Vehicular access is limited to an existing small parking lot accessed from Second Avenue. Current plans show a loading/unloading area accessed by the existing curb cut on Second Avenue. However, it is unclear whether this would meet zoning/transportation maneuvering requirements. As a condition of approval, staff is recommending the applicant come back to the commission at a later date with a detailed site plan showing the dimensions of this area. Other required parking for the school is located offsite on two existing parking areas on A Street. The school has a written agreement with the Church of Jesus Christ of Latter-day Saints for this arrangement. Mechanical equipment will be located on the roof or screened from public view. Dumpsters located on A Street serve the school campus and are screened behind masonry block walls and an opaque metal gate.</p>
<p>3. LANDSCAPE AND LIGHTING</p> <p>a. Grading of Land The site's landscape, such as grading and retaining walls, addresses the public way in a manner that reflects the character of the historic context and the block face.</p> <p>b. Landscape Structures Landscape structures, such as arbors, walls, fences, address the public way in a manner that reflects the character of the historic context and the block face.</p> <p>c. Lighting Where appropriate lighting is used to enhance significant elements of the design and reflects the character of the historic context and the block face.</p>	<p>13.23 The visual impact of site and architectural lighting should be minimized.</p> <ul style="list-style-type: none"> • Lighting should be a subtle addition to the property. • It should not visually dominate the site or intrude on adjacent property. • Where used, lighting should accent architectural details, building entrances and signs. • Avoid lighting expansive wall planes. <p>13.24 Fixture design should complement the design of the building.</p>	<p>Staff Analysis – Complies</p> <p>The design utilizes the north-south and east-west sloped topography to keep the overall building mass and height reflective of the character of the B Street and 2nd Avenue streetscape and the other historic buildings on the site. There are many existing retaining walls and fenced areas on the campus – any new elements will be compatible with these existing features. Building lighting and fixtures will need to be designed in compliance with this standard and associated design guidelines. Light trespass to adjacent properties will be minimized.</p>

<p>4. BUILDING FORM AND SCALE</p> <p>a. Character of the Street Block The design of the building reflects the historic character of the street facade in terms of scale, composition, and modeling.</p> <p>(1) Height The height of the project reflects the character of the historic context and the block face. Projects taller than those existing on the block face step back their upper floors to present a base that is in scale with the historic context and the block face.</p> <p>(2) Width The width of the project reflects the character of the historic context and the block face. Projects wider than those existing on the block face modulate the facade to express a series of volumes in scale with the historic context and the block face.</p> <p>(3) Massing The shape, form, and proportion of buildings, reflects the character of the historic context and the block face.</p> <p>(4) Roof Forms The building incorporates roof shapes that reflect forms found in the historic context and the block face.</p>	<p>MASS, SCALE & FORM</p> <p>13.5 The height of a new building design should reflect the established building scale of the setting and area.</p> <ul style="list-style-type: none"> • Design the building to equate with the height range seen in the area. • Consider stepping back upper stories from the plane of the primary facade where a building is taller than those found in the block. • The mass of a new tall building should step down in height to lower adjacent development. <p>13.6 The massing characteristics of the area should form the basis for the scale of new development.</p> <ul style="list-style-type: none"> • Simple rectangular solids on smaller lots are typically appropriate. • Consider more complex massing on large sites. • If a new building would be wider than the buildings along the block, consider dividing the building into parts that are similar in scale to buildings seen historically. <p>13.7 The street facade should appear similar in scale to the established scale of the current street block.</p> <ul style="list-style-type: none"> • The primary plane of the front facade should reflect the typical widths and heights of historic buildings in the block. • The front facade should include a one-story storefront element influenced by traditional design proportions. <p>13.8 A new building should be designed to reinforce a sense of human scale.</p> <ul style="list-style-type: none"> • A new building may convey a sense of human scale by employing techniques such as these: <ul style="list-style-type: none"> • Using quality building materials that help express human scale in their design, detail and proportions. • Using changes in building materials, color and texture. 	<p>Staff Analysis – Complies with Recommended Conditions of Approval</p> <p>The proposed Field House has been designed to conform to the yard, bulk, and height requirements for the Institutional zoning district. However, it is unclear from the submittal whether the proposal meets all standards and would not require any zoning modifications from the Commission if approved as designed. Staff is recommending more documentation on the elevations and site plans, specifically.</p> <p>The height, width, massing, and roof forms of the project reflect the character of the historic context and block faces while acknowledging the programmatic requirements of a gymnasium space, which requires a large open interior. This precludes more extensive use of design approaches that would typically be used to break up a building of this size. The applicants have reduced the overall height of the building by proposing to excavate into the existing hillside, effectively reducing the height from the B Street and 2nd Avenue facades.</p> <p>The applicants have supplied block elevations and photographic streetscape studies comparing the building massing with surrounding buildings. Existing historic buildings on the block faces are similar in height, width, and massing to the building proposed, though much more complex in these aspects than the proposed building.</p> <p>The flat roof form proposed is seen on many nearby historic apartment buildings and is in keeping with the overall architectural style of the proposed field house. In addition, the flat roof will allow for additional play space to offset the existing play area displaced by the proposed construction.</p>
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	<ul style="list-style-type: none">• Using vertical and horizontal divisions and emphasis.• Using architectural features to create visual interest. <p>13.9 Roof forms should be an integral part of the building design and overall form of the building.</p> <ul style="list-style-type: none">• Where roof lines are visible, they should relate to the general design of other commercial roofs in the district.• Flat roof forms are characteristic and appropriate for primary roof forms in most commercial areas.• Screen roof top mechanical equipment from view with architecturally compatible screening features or parapet walls.	
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5. BUILDING CHARACTER

a. Facade Articulation and Proportion

The design of the project reflects patterns of articulation and proportion established in the historic context and the block face. As appropriate, facade articulations reflect those typical of other buildings on the block face. These articulations are of similar dimension to those found elsewhere in the context, but have a depth of not less than 12 inches.

(1) Rhythm of Openings

The facades are designed to reflect the rhythm of openings (doors, windows, recessed balconies, etc.) established in the historic context and the block face.

(2) Proportion and Scale of Openings

The facades are designed using openings (doors, windows, recessed balconies, etc.) of similar proportion and scale to that established in the historic context and the block face.

(3) Ratio of Wall to Openings

Facades are designed to reflect the ratio of wall to openings (doors, windows, recessed balconies, etc.) established in the historic context and the block face.

(4) Balconies, Porches, and External Stairs

The project, as appropriate, incorporates entrances, balconies, porches, stairways, and other projections that reflect patterns established in the historic context and the block face.

ARCHITECTURAL CHARACTER

13.10 Contemporary designs compatible with the character of the area and/or district may be used.

- A new design should draw upon the fundamental design elements of its context.
- An interpretation of a historic style may be considered if it is subtly distinguishable as being new.
- New storefront designs create interest and visual compatibility, while helping to convey the fact that a building is new.

13.11 The exact imitation of earlier architectural styles is discouraged.

- This can blur the distinction between old and new buildings making it difficult to interpret the architectural evolution of the district.
- New buildings should reflect their period of construction.

13.12 Creative interpretations of historical architectural details can be successful.

- New designs for traditional detailing such as columns and cornices can be used in new ways to create aesthetic appeal.
- Materials, finishes, structural systems and construction methods may be used to express a compatible new building design.

13.13 The design of a new building should include the three basic building elements: a base, a middle and a top.

- On low rise buildings, the different parts might be expressed through detailing at the building base and eave or cornice line.
- On taller buildings, the distinction between upper and lower floors can be expressed through detailing, material, fenestration and color.
- Departures may be considered if the project better meets the intent of the design guidelines.

13.14 The ground floor level of a building should be designed to encourage

Staff Analysis – To Be Determined

The proposed design draws upon the surrounding historic context through its use of grey masonry and color palette of the clerstory glazing and GFRC wall panels. These elements have been remixed into a highly contemporary-styled building that clearly reflects the period of construction. The design also uses these materials to create variation in the facade articulation and proportions to the extent possible given the constraints of the site and the limitations of a gymnasium.

Staff finds that it is difficult to determine if the design clearly reflects patterns established by adjacent campus buildings as well as the surrounding context in terms of rhythm of openings, proportion and scale of openings, and the ratio of wall to openings. Staff expected more fenestration on the west facade and the east facade set back from B Street, similar to the windows shown on the 2nd Avenue facade rendering and elevation. The elevations of these sides are unclear and require additional detail.

The B Street facade, immediately adjacent to the gymnasium space, is a problematic area with no easy design solution. Initial renderings yielded negative comments from both the Commissioners and the public as blank and pedestrian unfriendly. Simultaneously, comments have acknowledged the difficulties inherent in designing a more varied facade that meets the programmatic requirements of a gymnasium. The applicants have responded to the input given by the Commission in the work session as well as public comment by submitting an additional rendering showing the B Street facade in more detail. The rendering clearly shows the additional landscaping between the sidewalk and building face. In addition, they have revised the brick pattern design to create additional variation in the wall plane. This reduces the amount of blank wall and increases the visual interest along the public way. With these changes, it is Staff's finding that these standards are met.

	<p>pedestrian activity and provide visual interest.</p> <ul style="list-style-type: none"> Historically, the first floor usually received greater design attention and embellishment. Primary building entrances should be clearly identifiable and help define a human scale. The ground level of the primary facade is generally predominantly transparent glass. Facades that are visible from the public way should be visually interesting. Extensive blank walls detract from the experience and appearance of an active street scene. The use of shaded or reflective glass should be avoided. <p>13.15 Design elements and details should be employed to integrate a new building with its setting.</p> <ul style="list-style-type: none"> Scale, proportion and composition should be influenced by the design traditions found in the immediate and wider setting. Similarity in fenestration patterns (arrangement of openings) among buildings in a block is an important characteristic to continue. Overhangs, projections, moldings and reveals create light and shadow patterns and are encouraged. Other elements might include signs, lighting, cornices, parapets, awnings and other decorative features. The absence of ornamentation may be appropriate for contemporary interpretations of modern architecture. <p>13.16 Consider building designs that emphasize floor levels.</p> <ul style="list-style-type: none"> Express the distinction between the street level and upper floors through rhythm and patterns of windows, building materials and other architectural features. Adequate visual access and potential physical access to ground floor spaces should be provided. 	<p>The proposed design includes elements that express the principle of a base, middle, and top appropriate to the low-rise scale of the building and the surrounding context. The distinction between the street level and upper floors is expressed through the rhythm and patterns of the building masonry and the contrast with the upper clerestory glazing. Building entrances are clearly marked and emphasized in the design.</p>
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6. BUILDING MATERIALS, ELEMENTS AND DETAILING

a. Materials

Building facades, other than windows and doors, incorporate no less than 80% durable material such as, but not limited to, wood, brick, masonry, textured or patterned concrete and/or cut stone. These materials reflect those found elsewhere in the district and/or setting in terms of scale and character.

b. Materials on Street-facing Facades

The following materials are not considered to be appropriate and are prohibited for use on facades which face a public street: vinyl siding and aluminum siding.

c. Windows

Windows and other openings are incorporated in a manner that reflects patterns, materials, and detailing established in the district and/or setting.

d. Architectural Elements and Details

The design of the building features architectural elements and details that reflect those characteristic of the district and/or setting.

FACADE ELEMENTS

13.20 Exterior building materials should be of a high quality and compatible with adjacent buildings.

- Materials should be varied to provide architectural interest.
- Combine building materials in patterns to articulate the design and create a sense of human scale through the scale of the components.
- The character and properties of materials should inform the facade design.

13.21 New alternative materials that are compatible in character to historical materials may be acceptable with appropriate detailing.

- Alternative materials for new buildings may be used if they provide texture and scale that complements their surroundings.
- Alternative materials should have a proven durability in Salt Lake City's climate.
- Different materials may be appropriate for commercial areas with historic architecture from the recent past.

13.15 Design elements and details should be employed to integrate a new building with its setting.

- Scale, proportion and composition should be influenced by the design traditions found in the immediate and wider setting.
- Similarity in fenestration patterns (arrangement of openings) among buildings in a block is an important characteristic to continue.
- Overhangs, projections, moldings and reveals create light and shadow patterns and are encouraged.
- Other elements might include signs, lighting, cornices, parapets, awnings and other decorative features.
- The absence of ornamentation may be appropriate for contemporary interpretations of modern architecture.

Staff Analysis – Complies

The primary wall material would be gray vertically stacked brick veneer. The brick module is longer and thinner than the dimensions of bricks typically found on historic buildings, but creates visual interest and variation while being compatible with the other buildings on the campus which are primarily brick painted grey.

A major decorative feature would be multicolored laminated glazing around the upper walls of the gymnasium space. The glazing panels would be vertically oriented narrow strips, with a color palette taken from colors found in the surrounding streetscape. In addition to its decorative function, the glazing would function as a clerestory band circling the gymnasium and would be the primary glass and fenestration on the east (B Street) elevation.

Vertically proportioned, narrow width colored glass fiber reinforced concrete panels (GFRC panels) would be used as a decorative element on the north (2nd Avenue) facade at the early childhood center's entry. The upper story of this facade would be composed of vertically stacked brick with vertically proportioned, metal-framed windows regularly spaced along the wall face.

Staff understood that similar metal-framed windows would be used along walls facing other campus buildings and the main quad located at the center of the block. However, this is not evident on submitted elevations and needs to be clarified. The west facade, in particular, would be a large expanse of blank wall without windows.

The building's entrance is clearly located at its southwest corner and is detailed with a glass and metal storefront. Horizontal metal canopies are also used to emphasize the building's main entrance on the quad as well as the 2nd Avenue entrance to the Early Childhood Education Center.

	<p>13.17 Canopies and awnings should be considered to emphasize the first floor and entrance.</p> <ul style="list-style-type: none"> • Install awnings that fit the dimensions of the opening to emphasize the rhythm and proportions. • Cloth, canvas, or metal awnings or canopies are appropriate. • Vinyl and other synthetic materials are discouraged. • Illumination that shines through an awning is inappropriate and should be avoided. <p>13.22 Large areas of wall plane should have an appropriate finish.</p> <ul style="list-style-type: none"> • Consider articulation and modeling of the materials. • Mirrored glass should be avoided as a primary material. 	
<p>7. SIGNAGE LOCATION</p> <p>Locations for signage are provided such that they are an integral part of the site and architectural design and are complementary to the principal structure.</p>		<p>Staff Analysis – Complies</p> <p>Building name and directional signage concepts are included with the proposal but will be refined and considered as a separate application.</p>

ATTACHMENT G: January 6, 2022 HLC Work Session Minutes

be respectful of the surrounding neighbors.

Commissioner Abrahamson recused himself for the following item

Madeleine Choir School Fieldhouse - New Construction – Representative Sparano & Mooney Architects, is requesting a Certificate of Appropriateness for New Construction of a Principal Building from the Historic Landmark Commission in order to build a new two-story fieldhouse building on their campus at approximately 67 B Street. The building would be located on open space with frontage on B Street and 2nd Avenue. No existing buildings on the campus would be altered. The school is listed as a landmark site on the SLC Register of Cultural Resources and is also in the Avenues Historic District. The property is within Council District 3, represented by Chris Wharton. (Staff contact: Nelson Knight at 801-535-7758 or nelson.knight@slcgov.com) **Case number PLNHLC2021-01074**

Senior Planner Nelson Knight reviewed the project as outlined in the staff report. He stated that the applicants are looking for input from the Commission.

Commissioner De Lay asked how the project engages with the street. She felt she was looking at a box. Staff stated that it will be a gymnasium and it has programmatic requirements for that but felt that the applicants could answer that better.

Staff stated that the open house is posted on the website and that there has been no public comment prior to the work session.

Commissioner Getz asked what kind of noticing was done for the project. Staff responded that all owners and properties within 300 feet of the project were notified.

The applicant Anne Mooney stated that some of the reason for the massing is that the building will be a gymnasium. Planner Nelson Knight shared a presentation showing the site analysis due to the applicant having technical difficulties. The applicant stated that they are following all zoning guidelines for the proposed project. She stated that the height of the project fits with the existing structures.

Commissioner De Lay asked for clarification on whether the green space will be maintained. The applicant stated that it would be – with new green space on the roof of the new building.

The applicant continued to review the proposal stating that they build the color pallet based on the neighborhood.

Chair Vela approves of the applicant staying within the guidelines. He asked whether the parking requirements are being met. The applicant said they were exceeded by including off-site parking at the LDS Church building under an existing written agreement.

Chair Vela asked if there would be windows on the north side and said it would be helpful if they were in the rendering. The applicant said they would add them to the rendering.

Commissioner De Lay said she would like to see the triangle elements from the surrounding area implemented into the design.

Chair Vela referenced the B Street corner rendering and said that he would like to see eyes on the street on the B Street facade. He also said lighting would break up that expanse.

Commissioner Peters said a modest glow would be nice. He liked the recessed floor as well.

Commissioner Getz what will happen to the soccer field and playground. The applicant stated they are proposing adding the playground to the rooftop.

Chair Vela asked if there will be gates added for security. The applicant stated that the campus is currently completely gated and would be modified as needed for the new building.

There was also discussion about lighting with an LED strip to help with a soft glow above the glazing. There was clarification on why there are 26.5-foot walls being that is the standard gymnasium height for full size. There was clarification that there will be bleachers. There will be two stair towers.

The meeting adjourned 9:46 PM.

ATTACHMENT H: Public Process & Comments

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- December 14, 2021 – The Greater Avenues Community Council was sent the 45 day required notice for recognized community organizations. The applicant presented at their February 2, 2022 meeting. The chair provided comments attached herein.
- December 14, 2021 - Property owners and residents within 300 feet of the development were provided early notification of the proposal. Comments received are attached.
- December 2021 – March 2022 – The project was posted to the Online Open House webpage.

Notice of the public hearing for the proposal included:

- March 28, 2022
 - Public hearing notice sign posted on the property
- March 24, 2022
 - Public hearing notice mailed
 - Public notice posted on City and State websites and Planning Division list serve

Public Input:

Public Comment received before the posting date of April 1, 2022 are attached.

February 7, 2022

Nelson Knight
Senior Historic Preservation Planner
Salt Lake City Planning

Dear Mr. Knight,

Please accept this letter regarding the Madeline Choir School's request for a Certificate of Appropriateness for New Construction of a two-story fieldhouse building. The school is in the Avenues Historic District and is a landmark site on the SLC Register of Cultural Resources. The location of the fieldhouse is approximately 67 N B Street.

When I heard about the request, I contacted Anne Mooney, the Principal Architect listed on the application. I invited her to make a presentation at our February 2 Greater Avenues Community Council meeting. We included an article about the project in our February Agenda Newsletter with an aerial photo and drawings. We mail the newsletter to all 9000 mailboxes on the Avenues. After receiving the newsletter, Kate Little, a concerned neighbor, contacted me. She requested and was granted time on our agenda to speak.

We had good attendance at our virtual meeting on February 2, with about 65 people participating. Anne Mooney gave a presentation showing details of the new structure which would be both a gymnasium and classroom space. She said they designed the building to fit the space available on campus and its function. Kate Little stressed that the building, which will be a massive wall, will significantly alter the site's character and the neighborhood. She expressed significant concern about the increase in traffic for sporting events.

After the presentations, there were concerns expressed:

- The modern appearance of the building seems out of character with the historic buildings on the block.
- Request that the architects recreate the massing of the original houses along the street rather than this modern structure.
- Concern the new building is too bulky.

There were also supportive comments:

- "Wonderful addition to our neighborhood"
- "Well designed and thoughtful building."

The community members offered support or expressed concerns, but we did not vote on the project. I hope this information is helpful.

Respectfully submitted,

Gwen Springmeyer

Gwen Springmeyer
2022 Chair
Greater Avenues Community Council

From: [Kate Little](#)
To: [Knight, Nelson](#)
Subject: (EXTERNAL) Regarding Madeleine Choir School - PLNHLC2021-01074
Date: Friday, January 28, 2022 2:37:16 PM

Hello Mr. Knight:

My home is at 76 B Street directly across from the gymnasium which Madeleine Choir School is proposing to build.

As designed, I believe the building is inappropriate for the neighborhood and should have modifications. In sum, the building is too massive and too close to B Street.

B Street between 1st and 2nd Avenues is dominated by houses set well back from the street. The massiveness of the modern gymnasium and its closeness to the street will significantly alter the historic character of this block.

In comparison, on 2nd Avenue, between A and B streets is already dominated by buildings which are massive and/or are within 4 to 8 feet of the sidewalk. Placing a non-windowed wall of a large building on this face close to the sidewalk would have make far less character change to this street than it would on B Street.

First: The proposed gymnasium and classrooms should re-configured so that its B-Street face is no closer to B-Street than the face (excluding its porch) of the MCC B-Street house which is furthest from the street.

Second: If they wish to maintain the designed square footage in the design, the ancillary rooms of this building should be moved to the to the north side of the building. A north face 4 - 8 feet from the sidewalk would match the current MCC building faces along 2nd Avenue.

Third: To reduce the massive size, as well as the height, of the building, the whole thing should be sunk some 8 - 10 feet into the ground, as are other buildings and classrooms on the campus.

Thank you for your attention to these matters.

Kate Little
76 B Street

From: [Ron T](#)
To: [Knight, Nelson](#)
Subject: (EXTERNAL) Madeleine choir school project
Date: Friday, January 28, 2022 3:21:20 PM

I am writing a comment about the proposal which I have reviewed online. My address is 76 B Street and have lived there since 1993. In addition we are the owners of the property at 68 B Street since 1994. For those who know the neighborhood over the past 30 years, when the block included a homeless enclave, a poorly maintained apartment building at 86 B Street, and our house which we referred to as the "B Street cockroach hatchery and cocaine distribution center", we have been one of the biggest stabilizing factors for this end of the neighborhood.

The proposal as currently planned I believe significantly detracts from the neighborhoods character.

First, The massive wall which is proposed to face B Street is much too close to the sidewalk as demonstrated by the computer view from the northeast. Although the plans suggest that the building will be set back as far as the adjacent existing historic homes, the renderings suggest the setback will be much less.

Second, the height of the massive wall will overpower the entire street, being twice as wide as adjacent buildings. As the site is on quite a hill sloping to the south, this will dominate the entire west side of B Street, particularly at its southern end. I understand the need for a tall building to accommodate a basketball court, however the detrimental visual impact could be significantly reduced by placing the building 6 to 8 feet below grade. As the school owns the entire block, the buried sewer lines, etc could be directed to 1st Avenue, so the depth below grade should not be an issue. In addition, having vegetation through the entire setback between the sidewalk and building, rather than any more concrete in this space could help blunt the overwhelming visual impact.

Third, the proposal appears to have a greater setback on the wall facing 2nd Avenue. The north wall of the current historic buildings is between 2 and 8 feet, essentially ruining any chance of making that side of the block visually attractive. If the classrooms and other rooms were shifted to the northern wing of the building, the north wall would more closely match the current appearance, and could allow a greater setback and less imposing appearance on the east side of the block. By putting a large setback on the north side, it only makes the suboptimal setback of the current historic buildings more conspicuous.

In summary, I feel the best way to minimize detrimental impact is to put the building 6 to 8 feet below grade; make sure to have the wall of the building no closer to the B Street sidewalk than the adjacent historic buildings; and put vegetation with no other concrete or solid materials between the sidewalk and the building. If possible, moving the classrooms towards the north wing of the building could further reduce the impact on the adjacent residential neighborhood.

Thank you for your attention in this matter.

Ron Tharp

Sent from my iPhone

From: [Angie Matinkhah](#)
To: [Knight, Nelson](#)
Subject: Re: (EXTERNAL) Madeleine Choir School - Proposed Gymnasium
Date: Friday, January 28, 2022 4:48:33 PM

Thanks for the quick response. Excited to see what happens!

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From: Knight, Nelson <Nelson.Knight@slcgov.com>
Sent: Friday, January 28, 2022 4:44:27 PM
To: Angie Matinkhah [REDACTED]
Subject: RE: (EXTERNAL) Madeleine Choir School - Proposed Gymnasium

Hi Angie -

Thanks for the comments in your email.

We are still in the process of putting together a staff recommendation for the Historic Landmark Commission and scheduling a hearing on this request. I appreciate your thoughtful input and will include it with the staff report to the commission. You will be notified when the request is scheduled for a public hearing.

Best Regards,
Nelson

NELSON W. KNIGHT
Senior Planner

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS
SALT LAKE CITY CORPORATION

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From: [REDACTED]
Sent: Friday, January 28, 2022 4:35 PM
To: Knight, Nelson <Nelson.Knight@slcgov.com>
Subject: (EXTERNAL) Madeleine Choir School - Proposed Gymnasium

Hello,

A friend showed me the drawings for the proposed MCS gymnasium as I am an architect and live on 560 E South Temple (Governors Plaza), very close to the choir school.

I wanted to say I support the project without hesitation. Without seeing the drawings, I thought that was a challenge to add a gym to what I perceived to be a small piece of land. I was surprised at how the architect was able to maximize use of the limited space. I even like the juxtaposition of a modern structure next to the more traditional buildings. And it looks like they will be using materials that will complement the surrounding structures.

Thanks,

Angie Matinkhah

[REDACTED]

[REDACTED]

From: [Maureen Giggey](#)
To: [Knight, Nelson](#)
Cc: [Maureen Giggey](#)
Subject: (EXTERNAL) Madeleine Choir School Fieldhouse
Date: Friday, January 28, 2022 6:05:21 PM

Dear Mr. Knight,

I am writing in regards to the Madeleine Choir School Fieldhouse. I looked up the plans and support the Fieldhouse. I like the use of the existing space, and I especially like the plan to have the playground of the second story for the safety of the children.

I support approval of the plans for the fieldhouse.

Maureen Giggey
558 N Perrys Hollow Road
SLC, UT 84103
Avenue resident for three decades.

From: [Kate Little](#)
To: [Knight, Nelson](#)
Subject: (EXTERNAL) Madeleine Choir School - PLNHLC2021-01074 - add"l comment re: parking
Date: Friday, January 28, 2022 9:07:45 PM

Hello again, I wish to add one more comment.

If this gymnasium is built it will be used after school hours and on weekends for children's sports events. This will only add to the parking and traffic woes of the neighborhood because families attend these competitions.

As it is, MCC parents double park regularly to let children in and out of cars. They also jaywalk regularly with their children. After-school-hours use of the gymnasium will only increase these problems. There is insufficient parking in the neighborhood for people who live here. Events at the gymnasium will only exacerbate this problem.

MCC claims that they use the LDS parking lot at the corner of 1st Avenue and A Streets. However, their community is not consistent at using it, which again increases parking problems for neighborhood inhabitants.

It could be considered that the gymnasium will have enough negative traffic impact on the immediate area that it should not be built.

Thank you for considering my comments,

Kate Little

From: Knight, Nelson <Nelson.Knight@slcgov.com>
Sent: Friday, January 28, 2022 2:44 PM
To: Kate Little [REDACTED]
Subject: RE: (EXTERNAL) Regarding Madeleine Choir School - PLNHLC2021-01074

Thanks for your comments. We are still in the process of putting together our recommendation for the Historic Landmark Commission and scheduling a hearing. I will make sure your comments are passed on, and you'll be notified when the hearing is scheduled.

Let me know if you have any questions or need additional information. Thanks again for taking the time to provide your thoughts.

Best Regards,
Nelson

NELSON W. KNIGHT
Senior Planner

From: [Ira Hinckley](#)
To: [Knight, Nelson](#)
Subject: (EXTERNAL) Madeleine Choir Fieldhouse
Date: Sunday, January 30, 2022 12:07:39 PM

Hello,

I am writing to add my comment about the proposed new fieldhouse building in the avenues for the Mad. Choir.

I am completely opposed to this.

This massive building essentially destroys the campus and the entire block, blocking sightlines in all directions and is completely inappropriate in character to the historic Avenues District.

It simply does NOT belong.

best regards,
Ira Hinckley-Avenues home owner

From: [elpitha d. tsoutsounakis](mailto:elpitha.d.tsoutsounakis)
To: Knight, Nelson
Cc: gacc@slc-avenues.org
Subject: (EXTERNAL) Madeleine Choir School Proposal in the Avenues
Date: Wednesday, February 2, 2022 9:17:54 PM

Dear Mr. Knight,

I would like to voice my support for the proposal being made by the Madeleine Choir School for their gymnasium addition.

I saw the proposal at the GACC meeting this evening and was so delighted by the design and creativity of this project. It seems it fits very well on the site and has done a great job respecting set-backs and pulling away from the street front.

I have been an avenues resident (F street between 2&3) for 14 years and am so encouraged by the prospect of adding great design to our fabric. I recall the campus as a first grader when I attended Rowland Hall 35 years ago, so this campus is dear to my heart and I believe MCS has done well to steward it for many generations. I recently renovated my kitchen in our 1901 victorian, and while I felt that a traditional design was appropriate in my case, I think this more transitional design is a perfect compliment our historic neighborhood, and does very well to address the many competing structures on the site.

In the meeting we heard from a concerned neighbor, but honestly, she seems to be making this about traffic and parking, which is irrelevant according to the schools plans. She made wild speculations about what may or may not happen. Sometimes I wonder if some of our residents wouldn't be happier in a subdivision in draper with all the road space in the world! (No offense to anyone in Draper!)

Thank you for your time considering my feedback.

My best,
Elpitha Tsoutsounakis
127 F Street

From: [Shirley Callanan](#)
To: [Knight, Nelson](#)
Subject: (EXTERNAL) Madeleine Choir School Field House
Date: Friday, February 4, 2022 9:18:49 AM

I would like to express my support for the proposed field house at the Madeleine Choir School.

First of all, it is very much needed, as the neighboring LDS Ward which has generously offered the use of its gymnasium for years will no longer be able to offer it to the school. We all know how important physical education, physical activities and exercise are to elementary school students, and this building will offer that.

Since the LDS Ward will continue to allow the use of its parking lots, there will be no impact on the surrounding neighborhood as far as parking is concerned.

I think the architects have done an excellent job of integrating the new building onto the existing space. No homes or structures will be removed. The roof lines do not exceed the height of the structures on either side. The building is set back considerably from the street/sidewalk. I think it is a beautiful design that compliments the other buildings on the campus.

Just as an fyi, my son attended the Madeleine Choir School years ago. The lack of a gym has been a need since the founding of the school.

Thank you.

Shirley Callanan
Salt Lake City resident

From: [Craig Provost](#)
To: [Knight, Nelson](#)
Subject: (EXTERNAL) Madeleine Choir School "field house"
Date: Sunday, February 20, 2022 6:57:17 AM

Mr. Knight,

There was a presentation at the Greater Avenues Community Council in which plans for the field house were discussed. Some neighbors has strong feelings about it. It looked too modern/21st century or early 1980's to me. My suggestion is to design the facade style more in keeping with the buildings surrounding it. Perhaps it could look like an old school like in "It's a Wonderful Life," or some early to mid 20th Century school. That would be more palatable to neighbors, and maybe break up the massive feel of the design presented, making it look like a two story structure instead of a huge block of building .

Thank you for considering my friendly comments.

Craig J Provost,
Avenues neighbor

From: [Knight, Nelson](#)
To: [Leon Chaddock](#)
Subject: RE: (EXTERNAL) RE: PLNHLC2021-01074
Date: Monday, April 4, 2022 12:42:00 PM

Mr. Chaddock,

Thanks for the comments in your email.

I appreciate your thoughtful input. I will add it to the case record and forward it to the commission.

The Historic Landmark Commission has returned to in-person meetings and will be holding a public hearing on this matter this Thursday, April 7, 2022, at 5:30 pm in Room 326 of the City & County Building, located at 451 S. State Street.

You are invited to attend and comment if you have anything to add to your written comments. Also, feel free to contact me with any additional questions or if you need any further information.

Best Regards,

Nelson

NELSON W. KNIGHT

Senior Planner

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS
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From: Leon Chaddock [REDACTED]
Sent: Monday, April 4, 2022 12:19 PM
To: Knight, Nelson <Nelson.Knight@slcgov.com>
Subject: Re: (EXTERNAL) RE: PLNHLC2021-01074

Hello,

I am the property owner of 215 E 2nd Avenue opposite the proposed development.

Let me start by saying I am very supportive of the schools need for a Gym and recognise the lack of space poses a problem, both of my children attend school and we plan to have them there for the next 5-10 years so I would definitely approve a proposal for a new gym, however I have a few objections to the proposed development as it currently stands:

1. The Scale: This is a very large building facing directly onto us, my main objection is the height. A large two story monolith like this would make the area we live in feel very different and not at all in keeping with the lower avenues. Perhaps if they built down into the basement and dropped the height by one level, set back from the road it would blend in better and be more

appropriate?

2. Playground on roof: I don't feel this is appropriate, having children playing one or two floors up, the additional noise this would create, not to mention being overlooked by children floors above us isn't appealing. I can't think of any examples of this in schools in the area. Maybe high rise cities like Hong Kong and New York but not in Salt Lake City. This does not feel appropriate?
3. Additional class rooms: If there are to be no new students what is the need for new classrooms, this just adds to the out of place scale of the building?

Again I support the school and would like to see them get a new gym, but I am hopeful a compromise position could be sought that benefits the children without sacrificing the quality of our local environment. I suggest the approval is delayed until these and other issues are resolved. At this time I object to the current plans, but would support a reduced height and scale building.

Regards

Leon Chaddock

