



# Staff Report

PLANNING DIVISION  
COMMUNITY & NEIGHBORHOODS

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**To:** Salt Lake City Historic Landmark Commission

**From:** Sara Javoronok, AICP, Senior Planner  
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**Date:** January 6, 2021

**Re:** PLNHLC2021-00967 New Construction and PLNHLC2021-00966 Special Exception at 237 N. Almond Street

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## NEW CONSTRUCTION AND SPECIAL EXCEPTIONS IN A HISTORIC DISTRICT

**Property Address:** 237 N. Almond Street  
**Parcel ID:** 08-36-432-048-0000  
**Historic District:** Capitol Hill  
**Zoning District:** RMF-45 (Moderate/High Density Multi-Family Residential District)  
**Master Plan:** Capitol Hill  
**Design Guidelines:** Design Guidelines for Residential Properties

**REQUEST:** Michael Sommer is requesting a Certificate of Appropriateness (COA) for New Construction of a single-family dwelling and two Special Exceptions for reduction in the front (east) and side (north) yard setbacks. The property is located at approximately 237 N. Almond Street in the Capitol Hill Historic District (See attached Vicinity Map and Historic District Maps – [Attachments A & B](#)). Currently, the site is vacant. The subject property is located in Council District 3 represented by Chris Wharton and is zoned RMF-45 (Moderate/High Density Multi-Family Residential District). The special exceptions are requested as follows:

- i. The applicant requests a modification of the front (east) yard setback from 25 feet to 15 feet.
- ii. The applicant requests a modification of the side (north) yard setback from 10 feet to 7 feet.

**RECOMMENDATION:** As outlined in the analysis and findings in this Staff Report, it is Planning Staff's opinion that the proposed new construction and special exception meets the applicable standards of approval, and Staff recommends that the Historic Landmark Commission approve the request with the following condition:

1. Approval of all final design details, including specific direction expressed by the Commission, shall be delegated to Planning Staff.

**ATTACHMENTS:**

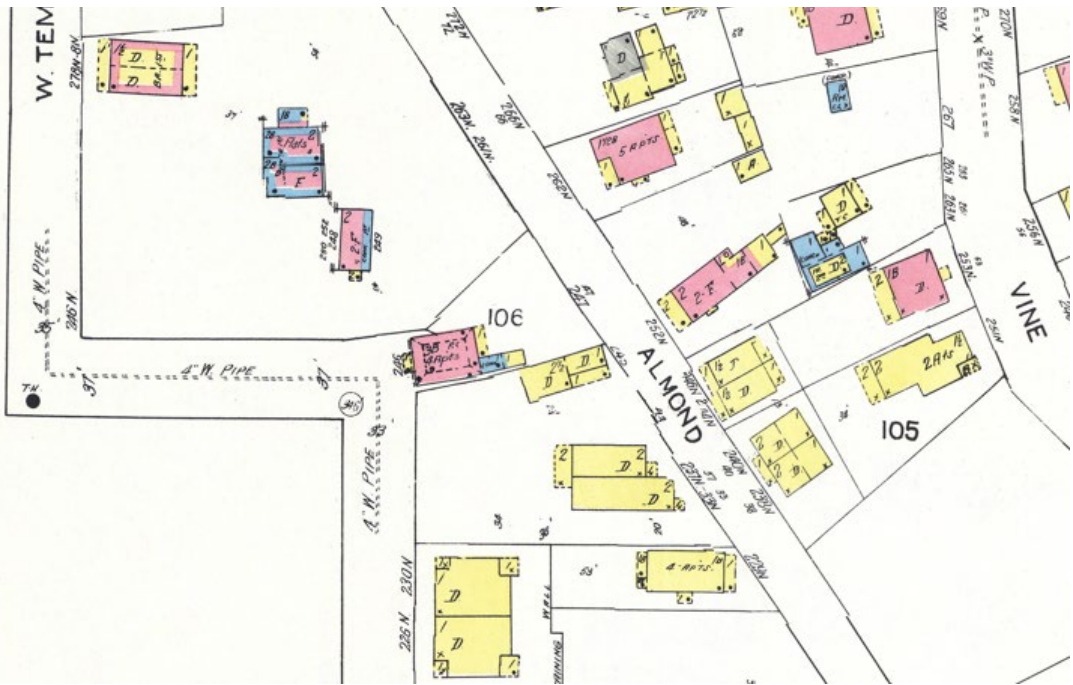
- A. [Vicinity Map](#)
- B. [Historic District Map](#)
- C. [Current Photographs](#)
- D. [Applicant Submittal](#)
- E. [RMF-45 Zoning Standards](#)
- F. [Analysis of Standards for New Construction](#)
- G. [Applicable Design Guidelines](#)
- H. [Public Process and Comments](#)
- I. [Department Comments](#)

**SITE CONTEXT:**

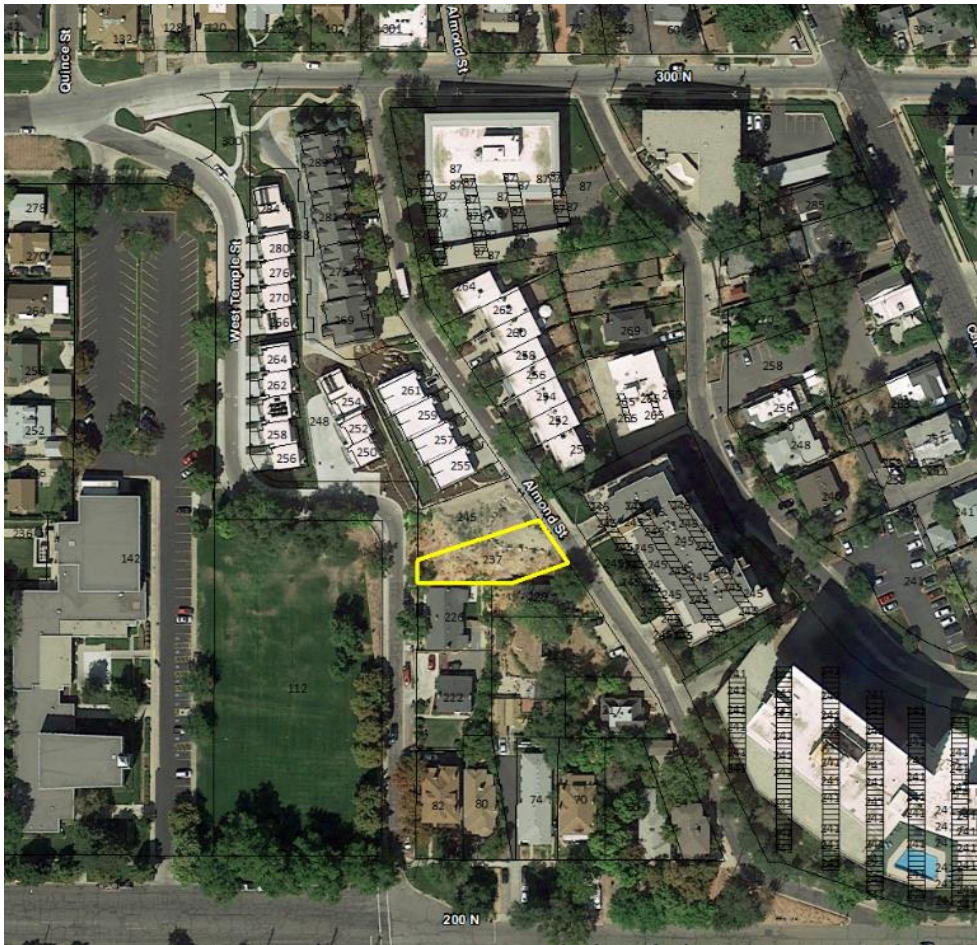
The subject property is located on Almond Street in the Capitol Hill Historic District. Almond Street is located between Vine and West Temple Streets and the property is located approximately mid-block between 300 North and 200 North. It is one of two parcels on Almond Street that are vacant and have double frontage – the rear fronting West Temple Street. Both lots were modified with a lot line adjustment completed in 2019. The other parcel was recently the subject of a New Construction application ([PLNHLC2021-00253](#)) and was approved by the Commission on October 14, 2021.

The property has a grade change of over 35 feet from the front of the property on Almond to the rear of the lot that fronts West Temple Street. The surrounding context is varied with many more recently constructed buildings and few historic properties. To the north at 245 N. Almond Street is a lot that is currently vacant and was the subject of the recent approval by the Commission identified in the previous paragraph. To the south is a 1.5 story Victorian dwelling at 229 N. Almond Street and also a duplex that fronts N. West Temple. To the east is the rear of Trevi Towers, constructed in 1976. This condo building has two entrances to the parking garage on Almond Street. To the west is a grass field owned by the Church of Jesus Christ of Latter-day Saints.

While the subject property is in the Capitol Hill Historic District, only the property at 229 North Almond, others further south on Almond Street, and those fronting N. West Temple are contributing to the district. The Capitol Hill Historic District was listed on the National Register of Historic Places in 1982 and locally designated in 1984. The 1950 Sanborn map shows a two-story duplex roughly in the location of this property. The city permit files include building permits from the 1920s and 1930s, but not other information.



1950 Sanborn map



Context map showing the subject property and its surroundings

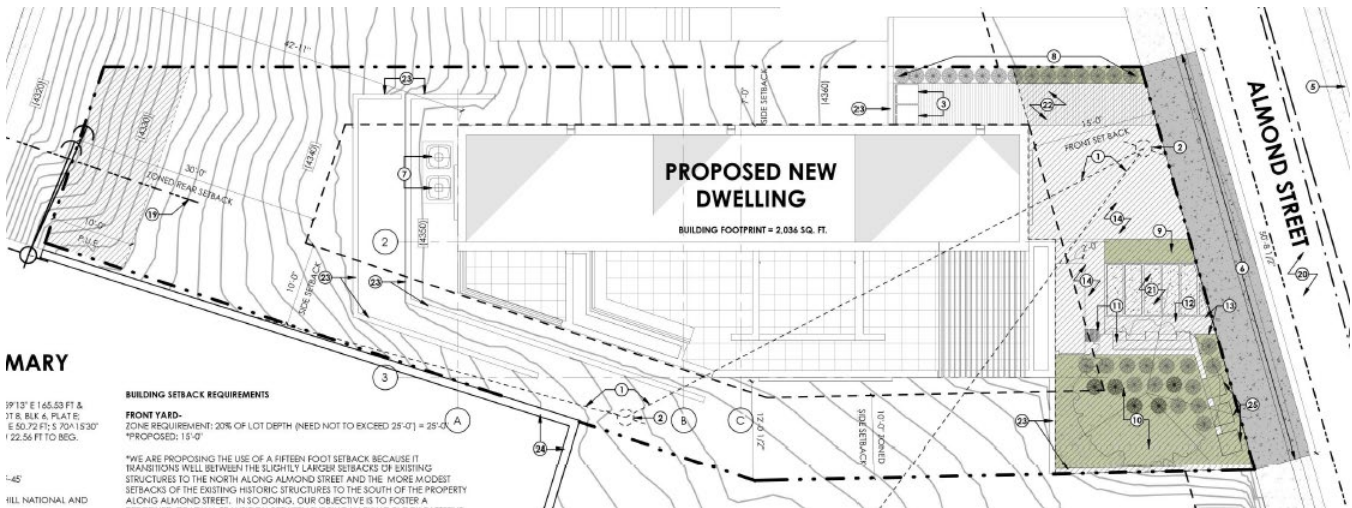
**PROJECT DESCRIPTION:**

Michael Sommer submitted applications for New Construction and Special Exceptions for the construction of a single-family dwelling on the property. The lot is irregularly shaped. It is approximately 5,658 square feet with dimensions of approximately 50' wide on Almond Street and a maximum depth of 126' on the north. The proposed residence, which has an attached tandem garage, is 3,896 square feet and a 452 square foot walkout basement. The footprint is approximately 2,036 square feet. The northeast corner of the front façade of the residence is set back approximately 15' from the front property line and increases to approximately 20' at the southeast corner of the residence. The 15' setback is approximately 1'8" less than the Garbett townhomes to the north, and approximately half the setback at the southernmost portion of the front façade on the recently approved dwelling directly to the north. However, it is approximately 7' greater than the 8'2" front yard setback on the contributing dwelling to the south. This proposed setback requires a special exception.

Pedestrian access to the dwelling is via a paver pathway that extends from the sidewalk. Vehicular access is via a driveway to the north of the paver pathway. The property is steeply sloped; however, from the property line to the front façade of the dwelling will be generally flat. Behind the front façade and to the west, will be a retaining wall. Further to the rear, the grade will slope down to the rear of the property and this grade change allows for a lower level at grade on the rear. The lot is a double frontage lot and the proposed setback from N. West Temple is approximately 43' at the northwest corner.



Streetscape Elevation



**MARY**

PP 13° E 1.65.53 FT &  
 37.8. BLK 4, PLAT 5;  
 E 50.72 FT; S 70° 15.30'  
 122.56 FT TO BEG.

**BUILDING SETBACK REQUIREMENTS**

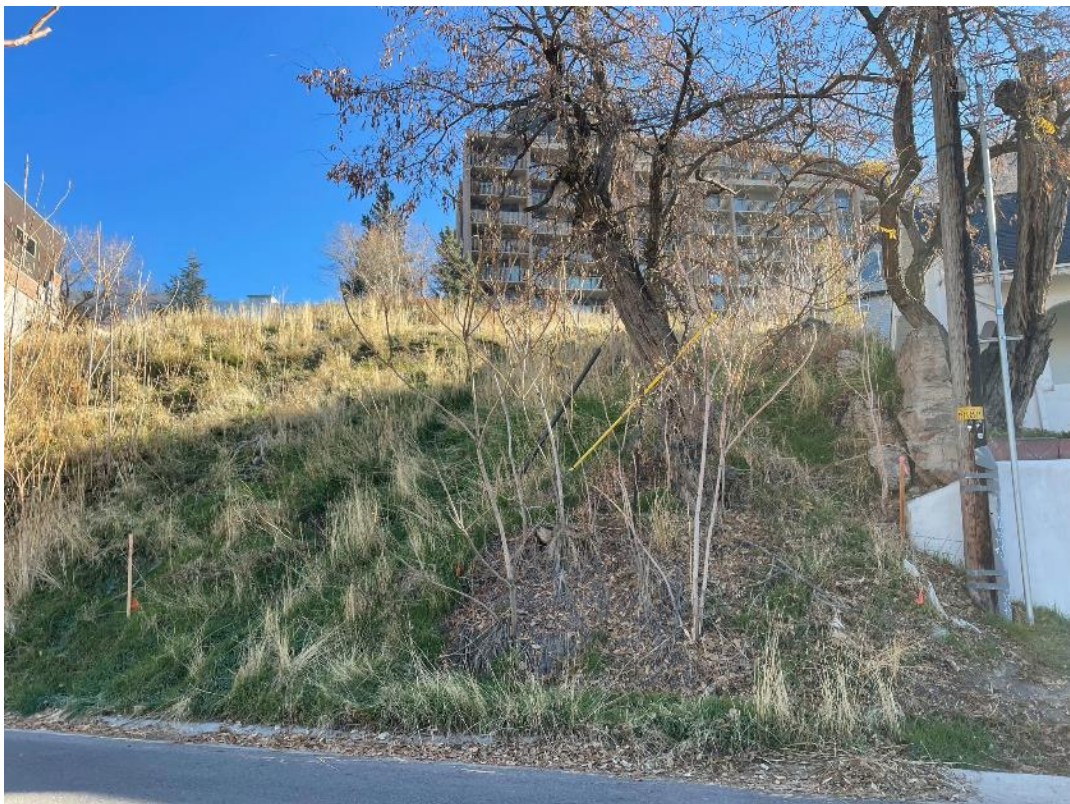
**FRONT YARD:**  
 ZONE REQUIREMENT: 20% OF LOT DEPTH (NEED NOT TO EXCEED 25'-0") = 25'-0"  
 \*PROPOSED: 15'-0"

"WE ARE PROPOSING THE USE OF A FIFTEEN FOOT SETBACK BECAUSE IT TRANSITIONS WELL BETWEEN THE SLIGHTLY LARGER SETBACKS OF EXISTING STRUCTURES TO THE NORTH ALONG ALMOND STREET AND THE MORE MODEST SETBACKS OF THE EXISTING HISTORIC STRUCTURES TO THE SOUTH OF THE PROPERTY ALONG ALMOND STREET. IN SO DOING, OUR OBJECTIVE IS TO FOSTER A

Site Plan



*Existing Conditions – Almond Street facing west*

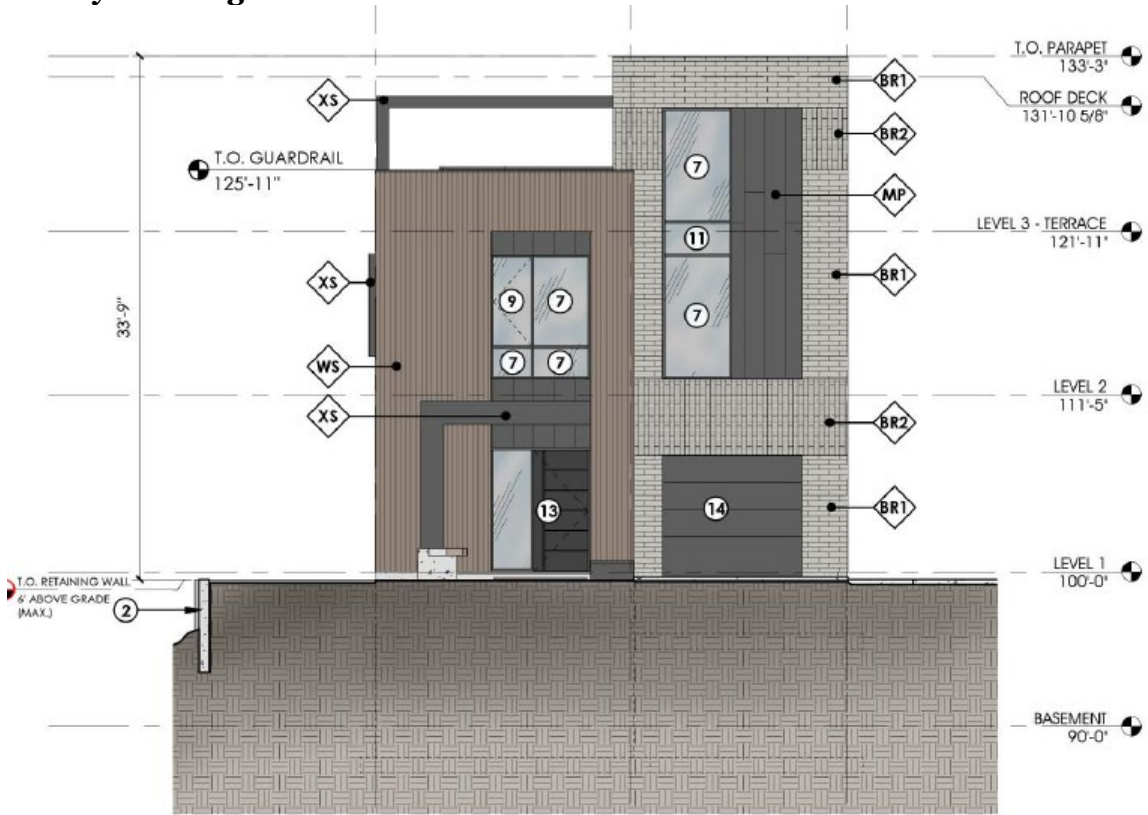


*Existing Conditions – N. West Temple facing east*

As previously stated, the applicant is seeking approval for two special exceptions:

- 1) The first is for a reduction in the required front yard from 25' to a minimum of 15' at the northeast corner of the property. The setback increases approximately 5' to 20' at the southeast corner of the property. The requirement is for 20% of the lot depth and need not exceed 25'.
- 2) The second is for a reduction in the required side yard from 10' to 7'. Ten feet is required for both side yards for single-family structures.

### Single-family Dwelling



*Front (East) Elevation*

The proposed dwelling is three stories and 33'9" in height from Almond Street. The front façade can be divided into two volumes. The primary material on the left (south) volume is accoya wood siding and the primary material on the right (north) is brick with areas of both horizontal and vertical running bond brick veneer. The main entry is located on the left and has an overhanging metal canopy. The entry door is an aluminum clad pivot door with a clear glazed sidelight. On the right, the primary element on the first floor is a steel flush panel garage door. The second and third floor windows are aluminum clad and a combination of fixed and casement styles. A single, fixed window is located in the area between the two floors. Metal panels are located above and below the windows. A roof terrace with metal pergola is located on the south half of the third floor.



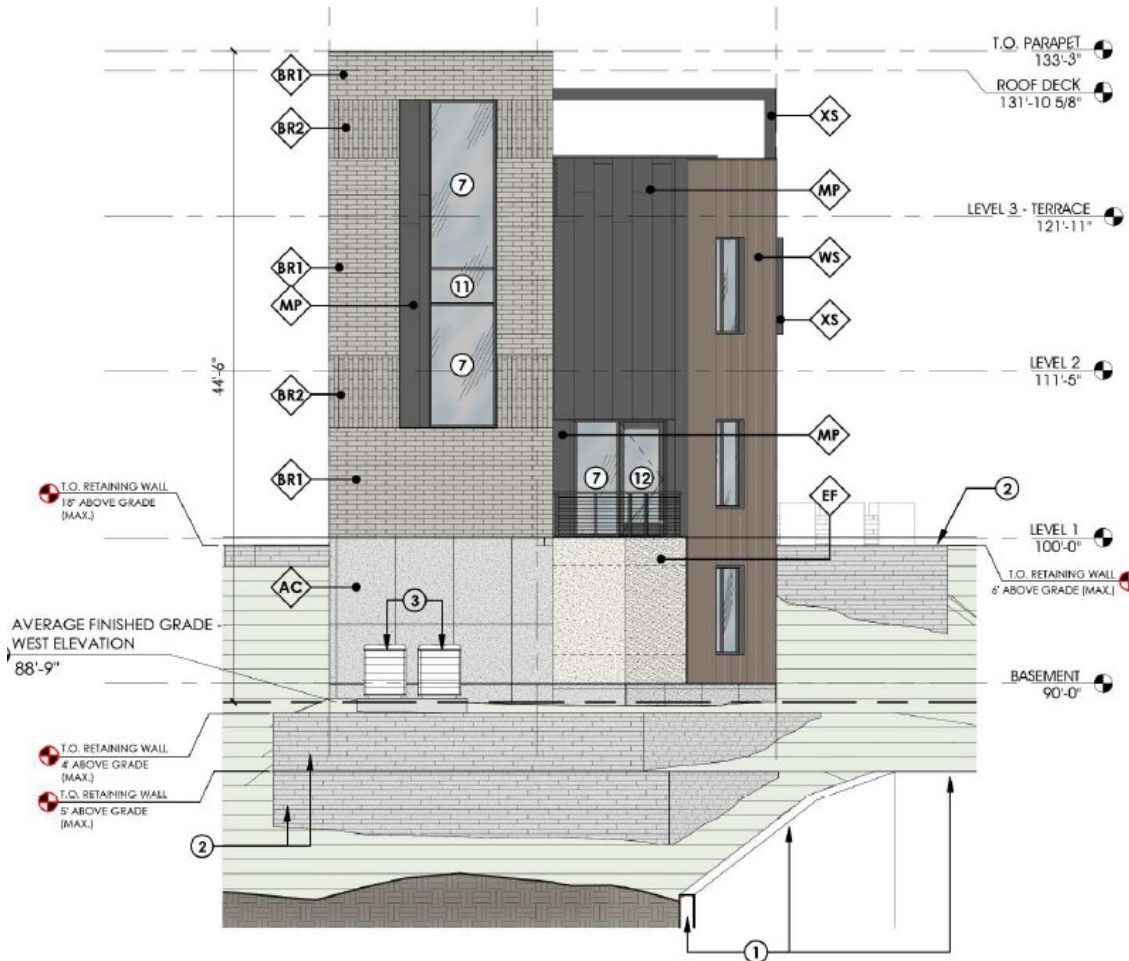
Side (North) Elevation

The extent of the grade change on site is visible on the side elevations. Almond Street is located to the left (east) and N. West Temple to the right (west). The building height on this elevation is measured from average finished grade, which results in a building height of 38'6". The primary material on the north side elevation is horizontal and vertical running bond brick veneer. There are a series of primarily fixed horizontal windows on the first and second floors that are fully above grade. Wood siding is between these windows and metal panels are located above those on the second floor and below those on the first floor. The applicant worked with staff on changes to this façade and added the windows and wood siding to provide additional relief and variation.



Side (South) Elevation

Similar to the north elevation, the change in grade is visible on the south elevation. As with the north elevation, Almond Street is located to the east and N. West Temple to the west. The building height on this elevation is measured from average finished grade, which results in a building height of 39' 2 1/2". The lower level is particularly visible on this elevation. On this lower elevation, a large portion of the exterior material is architectural concrete and a small area to the rear, and west, is finished with EIFS. The upper floors are a combination of wood siding, EIFS, and brick. The second floor includes a recessed courtyard with an exterior clad with slatted wood siding. As with the front elevation, the windows are aluminum clad wood and are a combination of fixed and casement style windows. The overall percentage of durable materials on the building exceeds the minimum of 80% and is 89.4%. The southern half of the third floor is a rooftop terrace that includes an aluminum clad wood multi-slide door.



Rear (West) Elevation

With the change in grade from the Almond Street elevation to the rear, N. West Temple elevation, four stories are visible on this façade. The full four stories visible on this facade results in a building height of 44'6". The lower level on this façade has a mix of exterior materials with architectural concrete, EIFS, and wood siding. The taller, left (north) volume is primarily brick veneer with a mix of horizontal and vertical running bond. There are a series of vertically oriented windows, similar to those on the front façade, on this elevation. The taller, vertically oriented windows are clear fixed aluminum clad wood with a smaller opaque window located in the middle. On the right (south) volume the materials include metal panels and wood siding. The first floor has a small, asymmetrical dining terrace. The two



condensing units are located at grade and are within the buildable area. A series of retaining walls are visible on this elevation and help to accommodate the change in grade on this site.

**KEY CONSIDERATIONS:**

**Special Exception Requests**

Staff supports the two Special Exception requests sought by the applicant. The application was submitted on September 19, 2021 before the adoption of the Special Exception changes on November 9, 2021 and is vested under the ordinance at the time of submittal. However, the removal of Special Exception chapter would not preclude the Historic Landmark Commission from reviewing or approving requested modification to zoning standards, including setbacks and yards.

The two requests are for lot and bulk Special Exceptions that can be permitted for properties in historic districts per 21A.06.050.C.6. The Special Exception requests are as follows:

- 1) The applicant is requesting a modification in the front yard setback from 25’ to a minimum of 15’.

The applicant is proposing a front yard setback of 15’ in the northeast corner of the building. This increases to approximately 20’ at the southeast corner. This setback is less than the approved project located to the north at 245 N. Almond Street and approximately 1’8” less than the Garbett townhomes to the north of that project (per the applicant’s plans). However, 229 N. Almond Street, which is to the south, is setback 8’2”. The proposed setback, while less than the recently approved project to the north, is roughly an average of the more recent construction to the north and the historic, contributing properties to the south. As the final lot to be developed, and with a location roughly in the center of the block, the proposed setback that is generally an average of the newer and historic structures is compatible with the other development on the block and the overall development in the Capitol Hill Historic District. Additionally, the applicant states that this decreased setback will avoid more grading of the site.

- 1) The applicant is requesting a modification in the north side yard setback from 10’ to 7’.

The proposed dwelling is approximately 30 feet wide, including a tandem attached garage. Unlike other areas in the historic district, a front-loaded garage is a common element on this street. The lot is approximately 50’ and the required 10’ setback would result in a narrower façade and living space. The 10’ setback in this zoning district is required for uses other than single-family attached and multi-family dwellings. The proposed 7’ side yard setback on the north, with a 10’ setback on the south, is greater than the setback required for single-family dwellings in less intensive residential districts. The result is that the rear of the proposed dwelling would be approximately 17’ from the side of the approved dwelling to the north. The proposed special exception is supported by staff.

**DISCUSSION:**

The applicant is seeking New Construction and Special Exception approvals for a single-family dwelling in the Capitol Hill Historic District. The proposal is consistent with the adopted standards for New Construction and the Residential Design Guidelines for New Construction. The form and massing of the proposed dwelling is compatible with adjacent properties and the mixed character of this area in the historic district. The requested Special Exceptions for reduced front and north side yard setbacks are compatible with the neighborhood and grade change on the site. The applicant and property owner have worked with staff to make modifications to the proposal that enhance its appearance and fit with the surrounding properties.

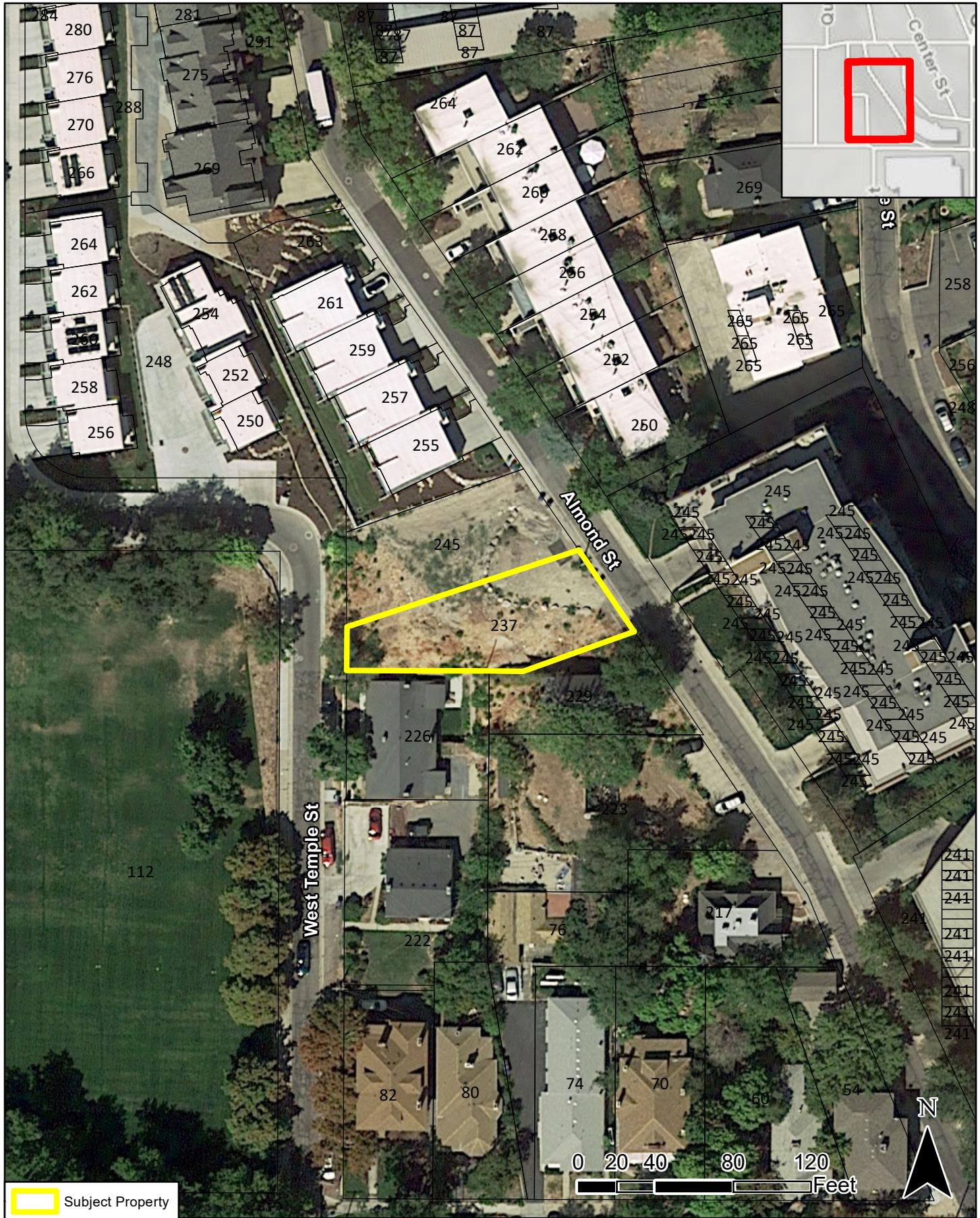
**NEXT STEPS:**

If the project is approved by the Historic Landmark Commission, the applicant would be issued a Certificate of Appropriateness for the proposed New Construction and the Special Exception requests and then proceed to the building permit stage. If the Commission disagrees with Staff's recommendation and the project is denied, the applicant would not be issued a Certificate of Appropriateness for the proposed New Construction and Special Exceptions and any new proposal would require a new application.

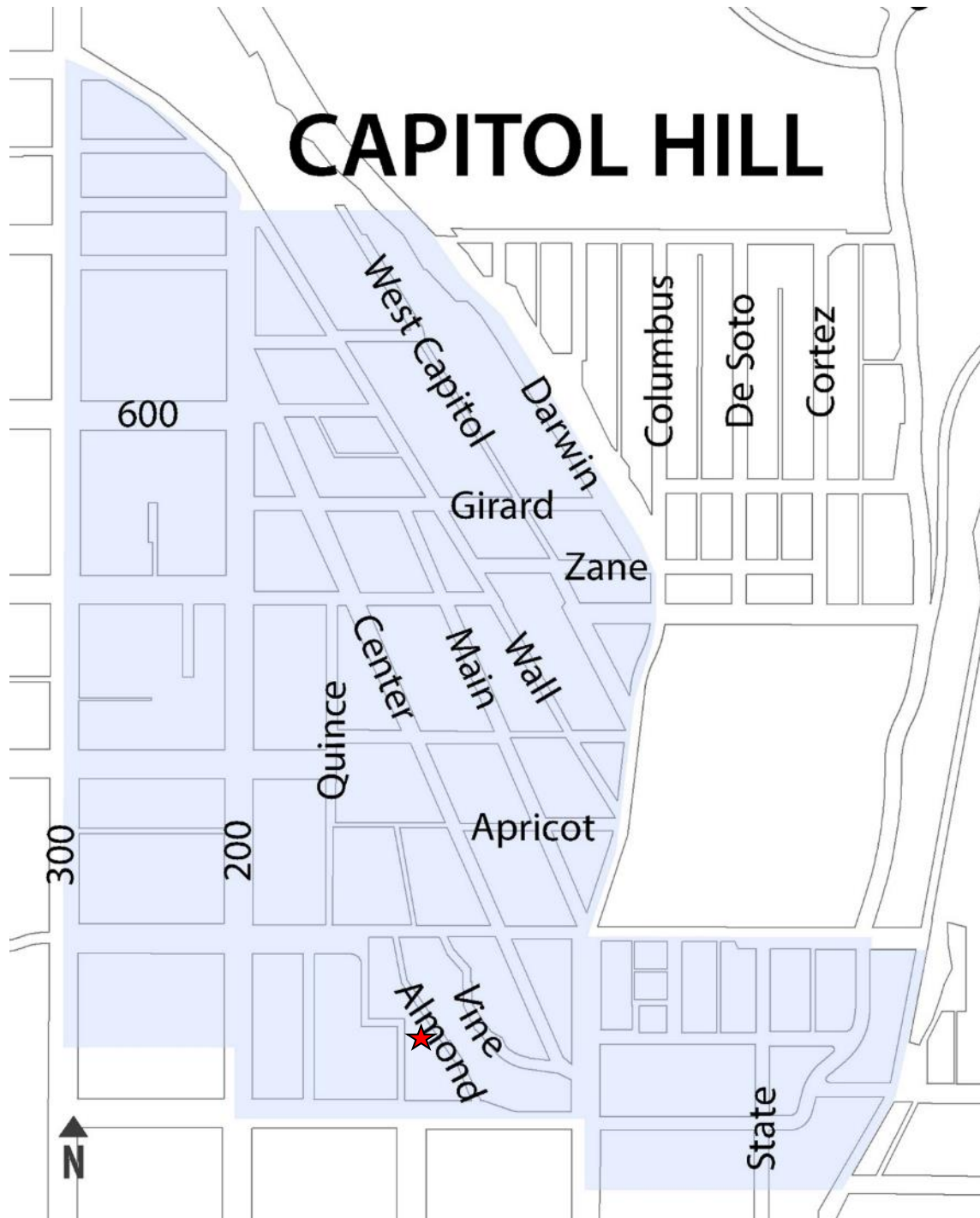
**ATTACHMENT A: VICINITY MAP**

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# Vicinity Map



# ATTACHMENT B: HISTORIC DISTRICT MAP



★ *Approximate Project Location*

## **ATTACHMENT C: CURRENT PHOTOGRAPHS**

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*View of property from Almond Street*



*Contributing property to the south*



*Currently vacant property to the north*



*Subject property from N. West Temple*



*Trevi Towers to the east*



*Contributing property to the south and on N. West Temple*



**ATTACHMENT D: APPLICANT SUBMITTAL**

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# **237 N. ALMOND STREET RESIDENCE**

## **PROJECT NARRATIVE**

### **PROJECT DESCRIPTION**

The proposal is for the new construction of a single-family detached dwelling on a currently vacant lot at 237 North Almond Street. The proposed home design will be a 3-bedroom/4-bathroom (3 full bathrooms with 2 powder rooms) residence with a two-car tandem style garage. The design is comprised of three stories with a partial basement and will be constructed of typical wood framed construction over a concrete foundations and slabs on grade. To be sensitive to the scale of the adjacent structures, the third level is only proposed as a partial footprint and uses a roof terrace on the south side of the building.

The design balances the intended program within the maximum building height allowed within the RMF-45 zone while reducing the building mass to gesture more closely to the height of the existing historic structure to the south of the property.

The design intent calls for the exterior materials to be a mix of masonry, wood siding, metal panels, glazing, and stucco to provide durability and human scale which speak to the historic character of the district while being applied with a contemporary sensibility to a modern style home.

### **EXISTING CONDITIONS**

The lot is currently unbuilt and there are no known historic photographs or architectural drawings of any prior structures which may have existed on the parcel in the past. To the best of our research the last known reference we have been able to locate for prior structures on the lot is found on the 1950 edition of the Sanborn Insurance Maps. At that time, it appeared that the land which currently approximates our site location had a duplex style structure which had long since been demolished prior to applicant's acquisition of the lot.

The lot is located in the RMF-45 zone. To the south there is a single-family house and duplex; both are in the RMF-35 zone. To the west (and across West Temple) lies a large grass field and an LDS meeting house which is zoned institutional.

To the east, immediately across the subject lot, are the Trevi Towers that are located in the RMF-75 Zone. On the Almond Street side, however, the Trevi towers are appreciably taller than 75' in height but are grandfathered under current status.

To the north, there is currently a vacant adjacent lot located in the RMF-45 zone though a proposed single-family new construction detached dwelling is pending approval for this adjacent north lot located at 245 North Almond Street.

# SITE DESIGN GUIDELINES

## STREET AND BLOCK PATTERNS

1. **Alleys and Streets** – *The plan of alleys and streets in a historic district is essential to its historic character and should be preserved.*

**Response:** Almond Street and West Temple will not be affected by the new proposed new construction which is an infill of a currently empty lot with no alleys running through it. Improvements will be made to the sidewalk in front of the project which will bring the street design up to the standards of the area. The existing sidewalk is currently in bad shape and in need of much repair.

2. **Street Pattern** – *The role of the street pattern, including the layout of the individual block, as a unifying framework and setting for a variety of lot sizes and architecture should be retained.*

**Response:** The street and block patterns that comprise the immediate context of this site primarily consist of large multi-family apartment and condominium projects with some single-family structures. The existing structures represent a large range of architectural styles and time periods. The proposed new construction respects this existing street and block pattern. The scale of the building is similar to the other single-family properties on the street while fitting nicely within the context of large and tall adjacent multi-family structures. The proposed new construction is oriented to address the street and human scale existing on Almond Street. Thus, the orientation, scale and form of the proposed dwelling will have a role in supporting a coherent street pattern.

## BUILDING PLACEMENT AND ORIENTATION

3. **Settlement Pattern** – *When designing a new building, the historic settlement patterns of the district and context should be respected. This includes consideration of building setbacks, orientation, and open space (See individual district guidelines for Capitol Hill)*

**Response:** The submitted design is responsive to its surrounding context by maintaining consistent building orientation and open space patterns along the street and within the district.

The applicants are seeking special exceptions on front and north side yard setbacks under separate but concurrent application to address site specific concerns for constructability and to remain sensitive to siting of the structure relative to existing adjacent historic structures along the south property line.

Specifically, a front yard setback of fifteen feet is being proposed to help mediate the setbacks of structures bordering on either side of the subject parcel. The existing front yard setbacks for the closest existing structures along the street to the north is approximately 16'-8" while the existing historic structure to the south has a setback of only 8'-2" to the front facing wall of the structure. In fact, the historic structure to the south has a porch which extends even closer to the public right of way than the aforementioned surveyed setback. Furthermore, the remainder of the historic structures to the south of the parcel along Almond Street similarly share smaller

front yard setbacks. The applicants assert that a 15-foot setback will help to better transition between the more modern building pattern to the north and the front setback pattern of the historic structures to the south on Almond Street.

If calculated by current ordinance based on the greatest length of lot depth, a front yard setback of 25 feet would be required; however, the irregular shape of the subject parcel makes the calculated front yard setback measurement impractical and out of character for the existing street pattern. Upon research of prior applications, the commission has recognized such that the irregular shaped parcels on Almond Street make the measurement of all yards difficult and impractical compared to regularly shaped lots. The approach taken by applicants meets the criteria found in the published design guidelines for the Capitol Hill Historic District which acknowledges that the Marmalade subdistrict is characterized by a wider variety of front setbacks to the street and that the intent is to maintain the established character of the subdistrict.

Finally, it should also be noted that the applicants are seeking the front yard setback exception to allow for the proposed building footprint to be sited in such a fashion to minimize radical regrading of the historically established site topography. The subject site has appreciable grade changes from east to west and substantive regrading would be ill-advised given an existing retaining wall already placed near an existing structure to the south of the property's West Temple frontage. The proposed design is only able to maintain the minimum side yard setback away from this existing retaining wall/structure through the minimized front yard setback.

The three-foot reduction in the north side yard setback being sought by applicants is proposed for the purposes of allowing greater distance from the south lot line in order to permit the undergrounding of existing overhead utility lines. The proposed design has already made every reasonable effort to maintain a modest building width which still accommodates the intended program and room sizes of the residence. The proposed side yard setback reduction would still leave ample room between the proposed structure to the north as well as maintain suitable pedestrian and fire safety access.

**4. Front and Entrance Oriented to the Street** – *The front and the entrance of a primary structure should orient to the street.*

**Response:** The proposed new construction is oriented so that the principal entrance and access is from Almond Street which all the other structures on that street use as well. The entry to the proposed new construction faces Almond Street and is highlighted by wood siding that frames the entryway up the structure with metal components and glazing above and below to demarcate the front entrance. The proposed dwelling also has a small seating area and entrance canopy at the front entrance of the structure to gesture to front porches common throughout the district. These spaces create a sense of neighborhood and activity along the face of the building.

## MASS & SCALE

5. **Human Scale** – *A new building should be designed to reinforce a sense of human scale.*

**Response:** The massing of the proposed new construction reinforces the existing street and block patterns and fits within its immediate context as another single-family home at human scale. The building has tiers of massing as well as employs the use of wood siding and masonry which all help break down the scale to create a welcoming environment. This will help reinforce the existing feel of the neighborhood.

6. **Similar Scale to Established Scale** – *A new building should appear similar in scale to the established scale of the current street block.*

**Response:** Almond Street is currently bordered by single-family residences and large condo and apartment towers. Care has been taken with this new construction to create a dwelling that will seamlessly blend the variation of massing on this street. To be sensitive to the scale of the adjacent structures, the third level is only proposed as a partial footprint and uses a roof terrace on the south side of the building.

7. **Roof Form** – *The roof form of a new building should be designed to respect the range of forms and massing found within the district.*

**Response:** The flat roof form of the proposed new construction respects the range of forms and massing found within the district. The district as well as the majority of existing structures in the immediate context contain similar flat roof forms.

8. **Scale and Front Façade** – *A front facade should be similar in scale to those seen traditionally in the block.*

**Response:** The proposed new construction is consistent with existing massing along Almond Street. The tallest portion of the proposed structure is consistent in height with existing out of period townhomes to the north and east of the subject parcel. As further explained below, the subject parcel is bordered to the east by the Trevi Tower Apartments and Zion Summit Condominium Building south of that, which are substantively taller grandfathered structures. To be sensitive to the scale of the adjacent historic structures to the south, the third level is only proposed as a partial footprint along the north elevation and uses a roof terrace along the south side of the building to lower the building mass to be more consistent with the existing historic dwelling immediately to the south. We believe this appropriately blends the existing street face.

## HEIGHT

9. **Height** – *Building heights should appear similar to those found historically in the district.*

**Response:** The western portion of the Capitol Hill Historic district has many 2 -3 story structures which fall within similar building heights to the proposed design. In the immediate site context, there is a significant degree of variation in established building heights. The Trevi Tower apartment building immediately across the street as well

as the Zion Summit Condominiums to the south are both appreciably more than 75' tall. Additionally, the out of period town homes to the north and east along Almond Street are 2-3 story multi-family structures of approximately similar height as our proposed new construction. To this end, the design situates the portion of its massing which is 3 stories towards these structures on its north elevation while using a roof terrace on the south side of the building to transition building height to be more consistent with the current historic residences to the south. Therefore, the position of this building provides an intermediate step from the large apartment building (Trevi Tower) and multi-family structures to the north down to the more modestly postured historic residences along the south of Almond Street and West Temple.

- 10. Taller Backside** – *The back side of the building may be taller than the established norm if the change in scale would not be perceived from the public way.*

**Response:** The back side of the building is taller than the front façade as it includes a partial basement while it adapts to the steepness of the lot. However, this is not perceived from the front public way. In addition, the taller nature of the back side of the building is similar in scale to the proposed design (pending approval) in the adjacent lot to the north as well as the row of townhomes that occupy the rest of the north side of Almond Street.

## **WIDTH**

- 11. Width** – *A new building should appear similar in width to that established by nearby historic buildings.*

**Response:** The width of the building is consistent with the surrounding out of period structures to the north. The proposed design has broken up its massing in such a way so as to allow for the attached garage and associated living spaces above it to recede from the street slightly thus allowing the primary living spaces to feature more prominently. The width of the primary building mass is more consistent in scale with the historic structure to the south which has no similar garage space.

## **SOLID TO VOID RATIO**

- 12. Solid to Void** – *The ratio of wall-to-window (solid to void) should be similar to that found in historic structures in the district.*

**Response:** The fenestration pattern on the front façade of the proposed new construction is designed to be of similar scale and proportion to that of historic windows found in the area. Larger windows contained on the design are proposed to be subdivided consistent with recommendations in the published design guidelines for the district. Fenestration has been considered to allow the design to maintain Crime Prevention Through Environmental Design (CPTED) principals of eyes on the street as well as produce other desired results for natural lighting and capturing views appropriate to the context. In concert with exterior cladding material orientation, the window pattern is utilized to reinforce and emphasize the verticality of the structure.

# BUILDING FORM GUIDELINES

## FORM AND VISUAL EMPHASIS

13. **Building Forms** – *Building forms should be similar to those seen traditionally on the block.*

**Response:** The form and footprint of the proposed building is consistent with the other buildings on the street. As mentioned in responses above, the building massing is varied to mediate the scale of both historic and out of period structures in the immediate context. Given the immediate context which reflects a complete range of styles, periods, and proportions, our proposal is not trying to replicate existing residences on the streetscape, as replication of historical styles is discouraged under applicable guidelines.

14. **Roof Forms** – *Roof forms should be similar to those seen traditionally in the block and in the wider district.*

**Response:** The district seems to have a wide range of roof forms and building types. The proposed building uses a flat roof design which fits into the context of many of the buildings on the street and the district in general.

## PROPORTION AND EMPHASIS OF BUILDING FACADE ELEMENTS

15. **Façade Proportion** – *Overall facade proportions should be designed to be similar to those of historic buildings in the neighborhood.*

**Response:** The general intention for the design has been to provide a single family detached home which feels consistent in scale with many of the surrounding multi-family townhomes typical of the western portion of the Capitol Hill district and the immediate site context. Consequently, the design has a more vertical emphasis in proportion and composition. The scale and orientation of proposed cladding materials continue this vertical emphasis while maintaining a relation to human scale. Additionally, the proposed porch, deck, and rooftop terrace break up the vertical scale of the building and provide elements which further help to establish pedestrian scale. To be sensitive to the scale of the adjacent structures, the third level is only proposed as a partial footprint and uses a roof terrace on the south side of the building.

## RHYTHM & SPACING OF WINDOWS & DOORS

16. **Window-Door Patterns** – *The pattern and proportions of window and door openings should fall within the range associated with historic buildings in the area.*

**Response:** The fenestration patterns proposed are designed to constitute a similar percentage of the building façade and are generally consistent in scale and proportion to that of historic buildings in the area while fitting the contemporary design of the project.

# BUILDING MATERIALS AND DETAILS

## MATERIALS

17. **Building Materials** – *Use building materials that contribute to the traditional sense of human scale of the setting.*

**Response:** The design intent calls for the exterior materials to be a mix of masonry, wood siding, metal panels, glazing, and stucco to provide human scale which speaks to the historic character of the district while being applied with a contemporary sensibility to a modern style home.

18. **Durable Materials** – *Materials should have a proven durability for the regional climate and the situation and aspect of the building.*

**Response:** The mix of masonry, wood siding, metal panels, glazing, and stucco have all proven durable and long lasting to the regional climate and have precedent within the district.

19. **New Materials** – *New materials that are similar in character to traditional materials may be acceptable with appropriate detailing.*

**Response:** The proposed exterior cladding materials are traditional materials that are established precedent and true to character inherent in the district.

## WINDOWS

20. **Vertical Emphasis** – *Windows with vertical emphasis are encouraged.*

**Response:** The majority of the windows on the project have a vertical proportion and emphasis. Those which are not vertical in orientation are used predominantly for spaces benefited by privacy but are utilized as part of larger vertical design elements (window reveals) on the façade.

21. **Reveals** – *Window reveals should be a characteristic of most masonry facades.*

**Response:** Fenestration contained in the masonry clad portion of the proposed design are framed by vertically oriented metal panel cladding as part of vertical window reveals.

22. **Frame Materials** – *Windows and doors should be framed in materials that appear similar in scale, proportion, and character to those used traditionally in the neighborhood.*

**Response:** Window and door frames are intended to be aluminum-clad wood which is consistent with those traditionally used in the neighborhood. The profile of the frames is intended to be consistent with the contemporary nature of the design and will be flashed and trimmed by traditional framing practices.



## ARCHITECTURAL ELEMENTS & DETAILS

- 23. Building Components** – *Building components should reflect the size, depth, and shape of those found historically along the street.*

**Response:** The proposed design does have accommodations which gesture to architectural elements consistent within the district. Given that the project is a new construction, and most of the immediate context is out of period structures which reflect a complete range of styles, periods, and proportions, our proposal is not trying to replicate existing historic residences on the streetscape, as replication of historical styles is discouraged under applicable guidelines. As has been mentioned, the intent has instead been to produce a design which is sensitive to the proportions, fenestration, and cladding that have historically been utilized in the district within a contemporary fashion.

- 24. Ornamental Elements** – *Where they are to be used, ornamental elements, ranging from brackets to porches should be in scale of similar historic features.*

**Response:** The proposed design has generally eschewed ornamental elements to not specifically try to reference or replicate historic styles.

- 25. Contemporary Interpretations** – *Contemporary interpretations of traditional details are encouraged.*

**Response:** The proposed variation in masonry coursing and surface texture as well as the front porch canopy are examples of utilizing traditional elements in a contemporary interpretation.

- 26. Replication of Style** – *The replication of historic styles is generally discouraged.*

**Response:** The proposed building does not attempt to replicate any historic style.

## LANDSCAPING AND LIGHTING

- 27. Retaining Walls and Fences** – *The site's landscape, such as grading and retaining walls, addresses the public way in a manner that reflects the character of the historic context and the block face.*

**Response:** A retaining wall element is intended to provide an essentially level front yard along Almond Street consistent with neighboring properties to encourage a pedestrian oriented zone along the public right of way. One larger growing species of tree is intended to be planted in the front yard to help maintain the street's established street tree canopy to further reinforce the walkability of the street. Applicant's best efforts are being made to maintain historic grade where feasible elsewhere on site with native, low-maintenance, water-wise plantings.

- 28. Landscape Structures** – *Landscape structures such as arbors, walls, fences, address the public way in a manner that reflects the character of the historic context and the block face.*

**Response:** Minimal raised planters are to be used along the driveway and front entrance pathway to demarcate pedestrian access along the public right of way in a manner which is consistent with adjacent properties as well as in other areas throughout the district.

- 29. Lighting** – *Where appropriate lighting is used to enhance significant elements of the design and reflects the character of the historic context and the block face.*

**Response:** Exterior lighting is intended to be kept minimal across the site so as to discourage unnecessary light pollution of the night sky. Site and exterior building lighting are to be prioritized to provide an emphasis on the front entrance and pathway accessing it from the public right of way as well as illuminate the building number signage to facilitate wayfinding.

# **237 N. ALMOND STREET RESIDENCE**

## **SPECIAL EXCEPTION NARRATIVE**

### **DESCRIPTION:**

The proposal is for the new construction of a single-family detached dwelling on a currently vacant lot at 237 North Almond Street. The proposed home design will be a 3-bedroom/4-bathroom (3 full bathrooms with 2 powder rooms) residence with a two-car tandem style garage. The design is comprised of three stories with a partial basement and will be constructed of typical wood framed construction over a concrete foundations and slabs on grade. To be sensitive to the scale of the adjacent structures, the third level is only proposed as a partial footprint and uses a roof terrace on the south side of the building.

Concurrent to the new construction application, applicants are seeking special exceptions on front and north side yard setbacks to address site specific concerns for constructability and to remain sensitive to siting of the structure relative to existing adjacent historic structures along the south property line.

### **FRONT YARD EXCEPTION**

A front yard setback of fifteen feet is being proposed to help mediate the setbacks of structures bordering on either side of the subject parcel. The existing front yard setbacks for the closest existing structures along the street to the north is approximately 16'-8" while the existing historic structure to the south has a setback of only 8'-2" to the front facing wall of the structure. In fact, the historic structure to the south has a porch which extends even closer to the public right of way than the aforementioned surveyed setback. Furthermore, the remainder of the historic structures to the south of the parcel along Almond Street similarly share smaller front yard setbacks. The applicants assert that a 15-foot setback will help to better transition between the more modern building pattern to the north and the front setback pattern of the historic structures to the south on Almond Street.

If calculated by current ordinance based on the greatest length of lot depth, a front yard setback of 25 feet would be required; however, the irregular shape of the subject parcel makes the calculated front yard setback measurement impractical and out of character for the existing street pattern. Upon research of prior applications, the commission has recognized such that the irregular shaped parcels on Almond Street make the measurement of all yards difficult and impractical compared to regularly shaped lots. The approach taken by applicants meets the criteria found in the published design guidelines for the Capitol Hill Historic District which acknowledges that the Marmalade subdistrict is characterized by a wider variety of front setbacks to the street and that the intent is to maintain the established character of the subdistrict.

Finally, it should also be noted that the applicants are seeking the front yard setback exception to allow for the proposed building footprint to be sited in such a fashion to minimize radical regrading of the historically established site topography. The subject site has appreciable grade changes from east to west and substantive regrading would be ill-advised given an existing retaining wall already placed near an existing structure to the south of the property's West Temple frontage. The proposed design is only able to maintain the minimum side yard setback away from this existing retaining wall/structure through the minimized front yard setback.

## **NORTH SIDE YARD EXCEPTION**

The three-foot reduction in the north side yard setback being sought by applicants is proposed for the purposes of allowing greater distance from the south lot line in order to permit the undergrounding of existing overhead utility lines. Without the requested exception to make modifications to the existing utility lines, the property would otherwise not be developable as the lines directly cross over the buildable area of the lot. The proposed design has already made every reasonable effort to maintain a modest building width which still accommodates the intended program and room sizes of the residence. The proposed side yard setback reduction would still leave ample room between the proposed structure to the north as well as maintain suitable pedestrian and fire safety access.

# 237 N. ALMOND STREET RESIDENCE

## DEPARTMENTAL REVIEW COMMENT RESPONSES

**Planning, Sara Javoronok**, [sara.javoronok@slcgov.com](mailto:sara.javoronok@slcgov.com)

*- Provide responses to 21A.34.020.H in addition to the responses to the New Construction guidelines in the Residential Design Guidelines. Specifically address the 80% durable material and ratio of wall to openings requirements. Identify percentage of EIFS on facades (21A.34.020.H.6.a). Staff recommends the continuation of boardform concrete or cement stucco rather than EIFS.*

Please refer to the updated elevation sheets which contain square footage and area percentage takeoffs for durable material finishes in use. Proposed extent of EIFS does not prohibit the proposed design from complying with the required 80% of durable finishes outlined in the ordinance. Under applicant's analysis, the use of architectural concrete, wood siding, metal panels, and masonry constitute 89.4% of exterior wall cladding as only 706.5 square feet of EIFS is proposed on the dwelling.

Applicant's design intention in utilizing the EIFS as opposed to switching to a three-coat cementitious stucco or concrete is to allow for a continuous 2" layer of rigid XPS insulation to be maintained throughout the entirety of the building envelope. The continuous insulation layer should allow the dwelling to meet/exceed energy performance with fewer instances of thermal bridging. A three-coat stucco system would de-laminate and be prone to failure over the proposed continuous insulation layer.

Applicant's best efforts have been made with regard to providing a consistent solid/void ratio to those within the district while balancing fenestration's intent to serve needs/privacy of spaces into which they open. It would seem that the north elevation is perhaps the elevation of greatest concern for satisfying this provision based upon provided commentary and a more in-depth response is provided in subsequent responses below. If other elevations have similar noted concerns, please advise so that we might better address what inconsistencies are of concern to the planning staff.

*- Identify the materials for windows, door, and garage on plans. Provide a section drawing that includes a window.*

Please refer to added keyed notes outlining that all windows and doors are to be aluminum-clad wood architectural windows and doors. The garage door is also keynoted to reflect that it is to be an insulated steel flush panel sectional door on updated elevation drawings. Please refer to provided preliminary section drawing, as requested, reflecting a typical window as well as reflecting the front entrance door/canopy. Structural coordination is ongoing and may impact certain elements of the section but the intent for fenestration is anticipated to remain generally consistent through the remainder of design development & construction documentation.

*- Consider modifications to the north façade. The absence of windows and the proposed materials give it a commercial appearance. Additionally, while it is not as visible as the front façade, and there is a change in brick type and the presence of the metal panels, this elevation is not consistent with the solid-to-void ratio common in the district (21A.34.020.H.5).*

To help soften some of the perceived/noted concerns about the elevation feeling too commercial, applicants have proposed that a portion of the metal panel system be replaced with wood siding. It is of note that the proposed floor plan is predominantly comprised of private spaces (i.e. bathrooms/showers, closets, etc) or utilitarian spaces (i.e.

tandem garage) along the north facade, which would not be well-suited to have increased percentages of fenestration that would provide a more vertical window proportion. The arrangement of spaces is intended to allow for greater efficiency of plumbing lines and a more consolidated use of more regularly occupied spaces to take advantage of access to more robust/effective daylighting presented by southern light. Increases in fenestration to windows currently proposed would also further limit the available amount of continuous wall sheathing surface intended to provide structural sheer value for the residence. The solid to void ratios within the district for side elevations vary widely across the district especially with regard to period/out of period homes, but it would seem that the commission/staff have generally allowed for fenestration to respond to the interior spatial uses which the fenestration serves. The proposed ratio of glazing to solid wall on the current design is fairly consistent with that of other new construction projects approved/built along Almond Street as well as those completed on Vine Street within the last five years.

*- Provide color drawings of the north (concern with lack of windows) and west elevations and west elevation from grade (EIFS proposed) (21A.34.020.H.5).*

Please see provided elevation with color/illustration as requested.

*- Proposed residence is taller than other single-family residences on the street. The vertical wood siding on the front façade emphasizes this height. Consider modifying it with horizontal wood siding or provide a change in the orientation similar to the brick on the taller mass to the north (21A.34.020.H.5).*

The concern in siding orientation is noted -- applicants would still ultimately prefer to have the siding installed vertically as it yields a more elegant articulation of the building massing. To address staff's concerns, applicants are proposing revisions to the entry canopy design as well as more varied heights of the landscape walls and planting beds on the front yard site improvements. Applicants would propose that these changes help to break up the continuity of the vertical siding orientation suitably enough so as to not exacerbate perceived height increase from principal facades for other single family residences on the block. As a matter of note, it is the applicant's design intent for the wood siding to be installed as a rain screen application to allow for a drainage plane and ventilation to occur between the wood siding and the continuous layer of rigid insulation. Doing so allows for any water infiltration which may occur over time to drain free and for siding to avoid instances of rot/ degradation (further reinforcing the sidings use as a durable material). Staffs proposal for breaking up the in orientation similar to the masonry on the northern mass of the residence would ultimately prove technically infeasible because the required furring strip configuration for vertical and horizontal siding installations differ and wouldn't allow for these to be flashed and installed in the same vertical wall plane.

*- Consider additional emphasis on front entry with larger overhang or a recessed entry with greater depth (21A.34.020.H.5.a.4).*

Please refer to attached updated elevations and renderings with an increased projection of the entry canopy. The leading edge of the canopy is proposed to extend the additional 2' beyond the requested front yard setback as permissible by city ordinance (per standards outlined in TABLE 21A.36.020B related to projected eaves/canopies in residential districts). As noted in response above, applicants have increased the canopies extension across the front of the wood clad building mass as a way of breaking up its massing to de-emphasize the verticality. The canopy revisions further emphasize the entrance of the residence, allows for down lighting to accent the front porch functions it provides, and the vertical support along its south edge further helps to create a sense of enclosure for the provided bench to create a more inviting place for pause consistent with the porch culture of the district.

- Front yard parking is not permitted, and cars cannot be parked in the portion of the driveway that is in the front yard. Please remove the car from the drawing. (Table 21A.36.020B)

Comment has been noted and drawings updated accordingly - please refer to updated site plan with dashed car removed.

- The proposal needs to meet the landscape yards requirement in 21A.48.090 (1/3 of the front yard must be covered in vegetation). Please provide information demonstrating compliance or it will be included as a condition of approval.

Please refer to attached diagrammatic take-off of updated front yard landscaping. The current total front yard area is 926 square feet (shown hatched). The intent for raised planters and planting beds is to be densely planted with low-maintenance, water-wise, native plantings with a decomposed granite mulch to help deter weed growth as well as a planted pervious paver and a hedge line along the north property. The current design, even if planted pervious paving is not counted, should comply as it provides 363 square feet of landscaped /vegetated area which constitutes 39% of the front yard. If planted pervious pavers along north side of the proposed driveway can be counted (basis of design product for pavers would allow for approximately 50% planting density), then the percentage of vegetated landscape would be closer to 403 square feet amounting to approximately 44% of the front yard area. In either regard, the proposed design should comply with the ordinance.

**Public Utilities, Jason Draper, [jason.draper@slcgov.com](mailto:jason.draper@slcgov.com)**

*There is no water service to this lot. A new water service and meter will be required. There is an existing sewer lateral but it is very old and will need to be video inspected and can be rehabilitated or must be capped at the main and a new lateral installed. Service can be connected to either Almond Street or West Temple.*

Comments regarding existing sewer lateral and necessity of new water service have been noted and will be anticipated as part of the building permit requirements. Applicants have engaged a civil engineer to assist with outlining scope of utility work/connections for ongoing design development and construction documentation. Current anticipation is that sewer service will likely connect to West Temple and new utility connections (i.e. water, gas, electric, etc.) will likely be made along Almond Street.

**Engineering, Scott Weiler, [scott.weiler@slcgov.com](mailto:scott.weiler@slcgov.com)**

*Prior to performing any work in the public way, such as to connect a water service line, a Permit to Work in the Public Way must be obtained from SLC Engineering.*

Necessity of permit for utility work in public way is noted by applicant. Is any further content/application required for this prior to building permit review or can this be facilitated in tandem with contractor pulling building permits prior to start of any construction?

**Transportation, Michael Barry**, michael.barry@slcgov.com

*I don't see any critical issues from Transportation. The tandem parking is allowed per an interpretation by Planning (email on September 25, 2014). The dimensions of the tandem parking spaces were not shown on the plans and the clear area needs to be at least 9.25 feet wide by 35 feet long to accommodate two parking stalls.*

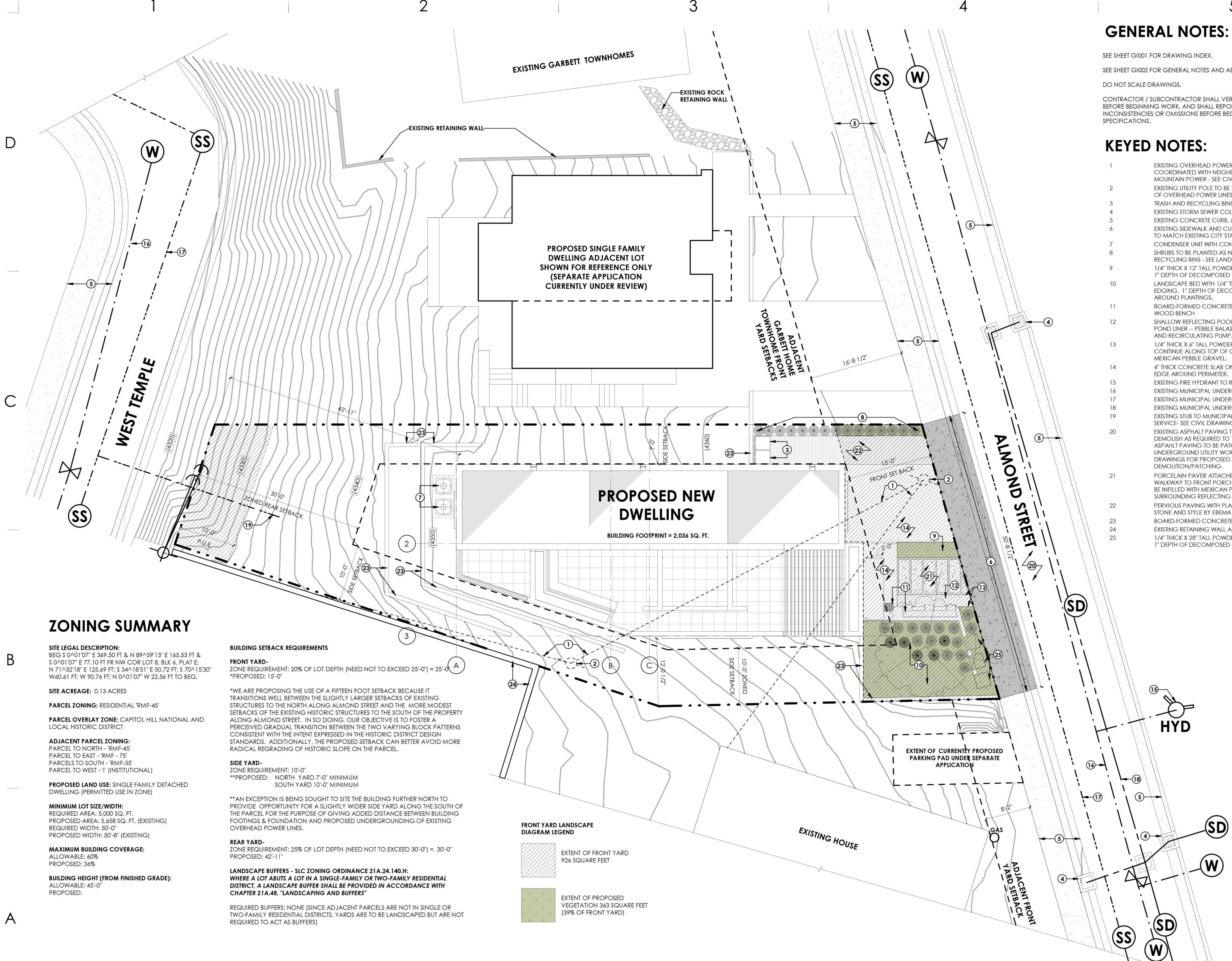
Please refer to provided dimensions on the Level 1 floor plan. As shown, the interior dimensions for the tandem parking garage (13'-0 1/2" wide x 40'-7") satisfy the minimums outlined in the comment above. Please let us know if there are any further concerns to resolve upon review.

**Fire, Ted Itchon**, edward.itchon@slcgov.com

*No comments*

No response required at present time.





**GENERAL NOTES:**

- SEE SHEET G1001 FOR DRAWING INDEX.
- SEE SHEET G1002 FOR GENERAL NOTES AND ABBREVIATIONS.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

**KEYED NOTES:**

- 1 EXISTING OVERHEAD POWER LINE TO BE UNDERGROUNDED. WORK TO BE COORDINATED WITH NEIGHBORING PROPERTY OWNERS AND ROCKY MOUNTAIN POWER - SEE CIVIL DRAWINGS.
- 2 EXISTING UTILITY POLE TO BE REMOVED AS PART OF UNDERGROUNDING OF OVERHEAD POWER LINES
- 3 TRASH AND RECYCLING BINS.
- 4 EXISTING STORM SEWER COLLECTOR TO REMAIN
- 5 EXISTING CONCRETE CURB, & GUTTER TO REMAIN
- 6 EXISTING SIDEWALK AND CURB/GUTTER TO BE REMOVED AND REPLACED TO MATCH EXISTING CITY STANDARD FOR STREET - SEE CIVIL DRAWINGS
- 7 CONDENSER UNIT WITH CONCRETE PAD
- 8 SHRUBS TO BE PLANTED AS NATURAL SCREENING FOR TRASH AND RECYCLING BINS - SEE LANDSCAPE PLAN
- 9 1 1/4" THICK X 12" TALL POWDER COATED STEEL RAISED PLANTING BED WITH 1" DEPTH OF DECOMPOSED GRANITE MULCH AROUND PLANTINGS.
- 10 LANDSCAPE BED WITH 1/4" THICK X 6" TALL POWDER COATED STEEL EDGING. 1" DEPTH OF DECOMPOSED GRANITE MULCH TO BE PLACED AROUND PLANTINGS.
- 11 BOARD-FORMED CONCRETE WATER FEATURE BASIN WITH INTEGRATED WOOD BENCH
- 12 SHALLOW REFLECTING POOL WITH DARK MEXICAN PEBBLE GRAVEL OVER POND LINER -- PEBBLE BALAST TO EXTEND OVER COLLECTION CISTERN AND RECYCLING PLANTING PUMP.
- 13 1 1/4" THICK X 6" TALL POWDER COATED STEEL LANDSCAPE EDGING TO CONTINUE ALONG TOP OF CONCRETE RETAINING WALL TO CONTAIN MEXICAN PEBBLE GRAVEL.
- 14 4" THICK CONCRETE SLAB ON GRADE PORCH WITH 8" DEEP THICKENED EDGE AROUND PERIMETER.
- 15 EXISTING FIRE HYDRANT TO REMAIN.
- 16 EXISTING MUNICIPAL UNDERGROUND WATER LINE
- 17 EXISTING MUNICIPAL UNDERGROUND SANITARY SEWER LINE
- 18 EXISTING MUNICIPAL UNDERGROUND STORM SEWER LINE
- 19 EXISTING STUB TO MUNICIPAL SANITARY SEWER TO BE TIED INTO FOR SERVICE - SEE CIVIL DRAWINGS
- 20 EXISTING ASPHALT PAVING TO REMAIN. SAW CUT AND SELECTIVE DEMOLISH AS REQUIRED TO TIE INTO EXISTING MUNICIPAL UTILITIES. ASPHALT PAVING TO BE PATCHED AND REPAIRED AFTER COMPLETION OF UNDERGROUND UTILITY WORK TO MATCH EXISTING. REFER TO CIVIL DRAWINGS FOR PROPOSED TIE-IN LOCATIONS AND EXTENT OF REQUIRED DEMOLITION/PATCHING.
- 21 PORCELAIN PAVER ATTACHED TO CONCRETE PADS TO COMPRISE WALKWAY TO FRONT PORCH. THREE INCH SPACING BETWEEN PAVERS TO BE INFILLED WITH MEXICAN PEBBLE GRAVEL CONSISTENT WITH SURROUNDING REFLECTING POOL WATER FEATURE.
- 22 PERVIOUS PAVING WITH PLANTED INFILL - BASIS OF DESIGN PRODUCT: STONE AND STYLE BY EBENA GRASSLINES WATER PASSING PAVERS
- 23 BOARD-FORMED CONCRETE RETAINING WALL
- 24 EXISTING RETAINING WALL ALONG ADJACENT PROPERTY LINE
- 25 1/4" THICK X 28" TALL POWDER COATED STEEL RAISED PLANTING BED WITH 1" DEPTH OF DECOMPOSED GRANITE MULCH AROUND PLANTINGS.

**ZONING SUMMARY**

**SITE LEGAL DESCRIPTION:**  
 BEG S 0°01'07" E 349.50 FT & N 89°59'13" E 145.53 FT & S 0°01'07" E 77.10 FT FR NW COR LOT 8, BLK 6, PLAT E: N 71°32'18" E 125.69 FT; S 34°18'51" E 50.72 FT; S 70°15'30" W 60.61 FT; W 90.76 FT; N 0°01'07" W 22.56 FT TO BEG.

**SITE ACREAGE:** 0.13 ACRES

**PARCEL ZONING:** RESIDENTIAL "RMF-45"

**PARCEL OVERLAY ZONE:** CAPITOL HILL NATIONAL AND LOCAL HISTORIC DISTRICT

**ADJACENT PARCEL ZONING:**  
 PARCEL TO NORTH - "RMF-45"  
 PARCEL TO EAST - "RMF - 75"  
 PARCELS TO SOUTH - "RMF-35"  
 PARCEL TO WEST - "I" (INSTITUTIONAL)

**PROPOSED LAND USE:** SINGLE FAMILY DETACHED DWELLING (PERMITTED USE IN ZONE)

**MINIMUM LOT SIZE/WIDTH:**  
 REQUIRED AREA: 5,000 SQ. FT.  
 PROPOSED AREA: 5,658 SQ. FT. (EXISTING)  
 REQUIRED WIDTH: 50'-0"  
 PROPOSED WIDTH: 50'-8" (EXISTING)

**MAXIMUM BUILDING COVERAGE:**  
 ALLOWABLE: 60%  
 PROPOSED: 36%

**BUILDING HEIGHT (FROM FINISHED GRADE):**  
 ALLOWABLE: 45'-0"  
 PROPOSED:

**BUILDING SETBACK REQUIREMENTS**

**FRONT YARD-**  
 ZONE REQUIREMENT: 20% OF LOT DEPTH (NEED NOT TO EXCEED 25'-0") = 25'-0"  
 \*\*PROPOSED: 15'-0"

"WE ARE PROPOSING THE USE OF A FIFTEEN FOOT SETBACK BECAUSE IT TRANSITIONS WELL BETWEEN THE SLIGHTLY LARGER SETBACKS OF EXISTING STRUCTURES TO THE NORTH ALONG ALMOND STREET AND THE MORE MODEST SETBACKS OF THE EXISTING HISTORIC STRUCTURES TO THE SOUTH OF THE PROPERTY ALONG ALMOND STREET. IN SO DOING, OUR OBJECTIVE IS TO FOSTER A PERCEIVED GRADUAL TRANSITION BETWEEN THE TWO VARYING BLOCK PATTERNS CONSISTENT WITH THE INTENT EXPRESSED IN THE HISTORIC DISTRICT DESIGN STANDARDS. ADDITIONALLY, THE PROPOSED SETBACK CAN BETTER AVOID MORE RADICAL REGRADING OF HISTORIC SLOPE ON THE PARCEL."

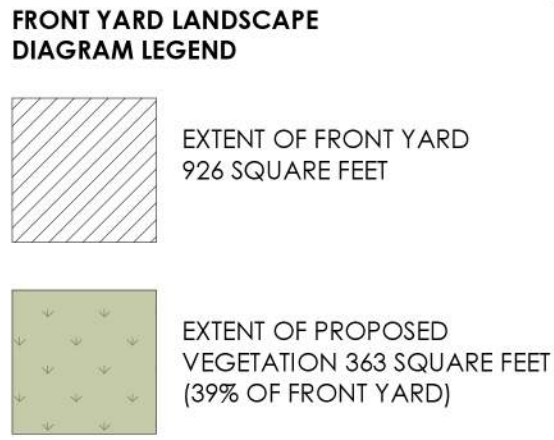
**SIDE YARD-**  
 ZONE REQUIREMENT: 10'-0"  
 \*\*PROPOSED: NORTH YARD 7'-0" MINIMUM  
 SOUTH YARD 10'-0" MINIMUM

\*\*AN EXCEPTION IS BEING SOUGHT TO SITE THE BUILDING FURTHER NORTH TO PROVIDE OPPORTUNITY FOR A SLIGHTLY WIDER SIDE YARD ALONG THE SOUTH OF THE PARCEL FOR THE PURPOSE OF GIVING ADDED DISTANCE BETWEEN BUILDING FOOTINGS & FOUNDATION AND PROPOSED UNDERGROUNDING OF EXISTING OVERHEAD POWER LINES.

**REAR YARD-**  
 ZONE REQUIREMENT: 25% OF LOT DEPTH (NEED NOT TO EXCEED 30'-0") = 30'-0"  
 PROPOSED: 42'-11"

**LANDSCAPE BUFFERS - SLC ZONING ORDINANCE 21A.24.140.H:**  
 WHERE A LOT ABUTS A LOT IN A SINGLE-FAMILY OR TWO-FAMILY RESIDENTIAL DISTRICT, A LANDSCAPE BUFFER SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 21A.48, "LANDSCAPING AND BUFFERS"

REQUIRED BUFFERS: NONE (SINCE ADJACENT PARCELS ARE NOT IN SINGLE OR TWO-FAMILY RESIDENTIAL DISTRICTS, YARDS ARE TO BE LANDSCAPED BUT ARE NOT REQUIRED TO ACT AS BUFFERS)



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION  
 237 N. ALMOND STREET  
 RESIDENCE

237 NORTH ALMOND STREET  
 SALT LAKE CITY, UTAH 84105

SHEET NAME:  
 SITE PLAN

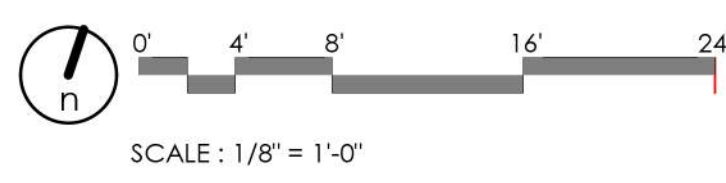
REVISIONS  
 MARK DATE DESCRIPTION

ISSUE DATE: 11.10.2021  
 ISSUE TYPE: HLC APPLICATION  
 DRAWN BY: M.SOMMER  
 CHECKED BY: M.SOMMER  
 PROJECT#: XXXX

SHEET NUMBER:

**P1**

**A1 ARCHITECTURAL SITE PLAN**  
 1/8" = 1'-0"



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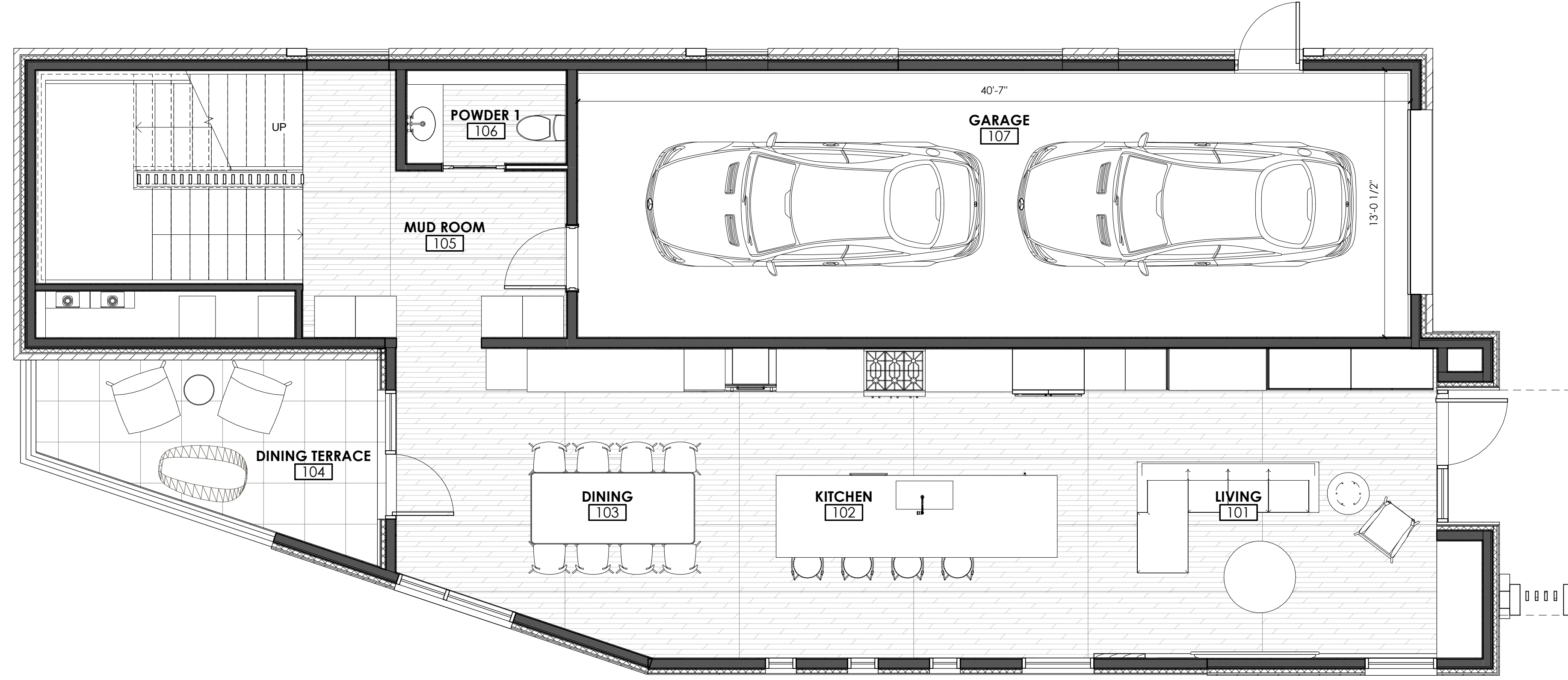
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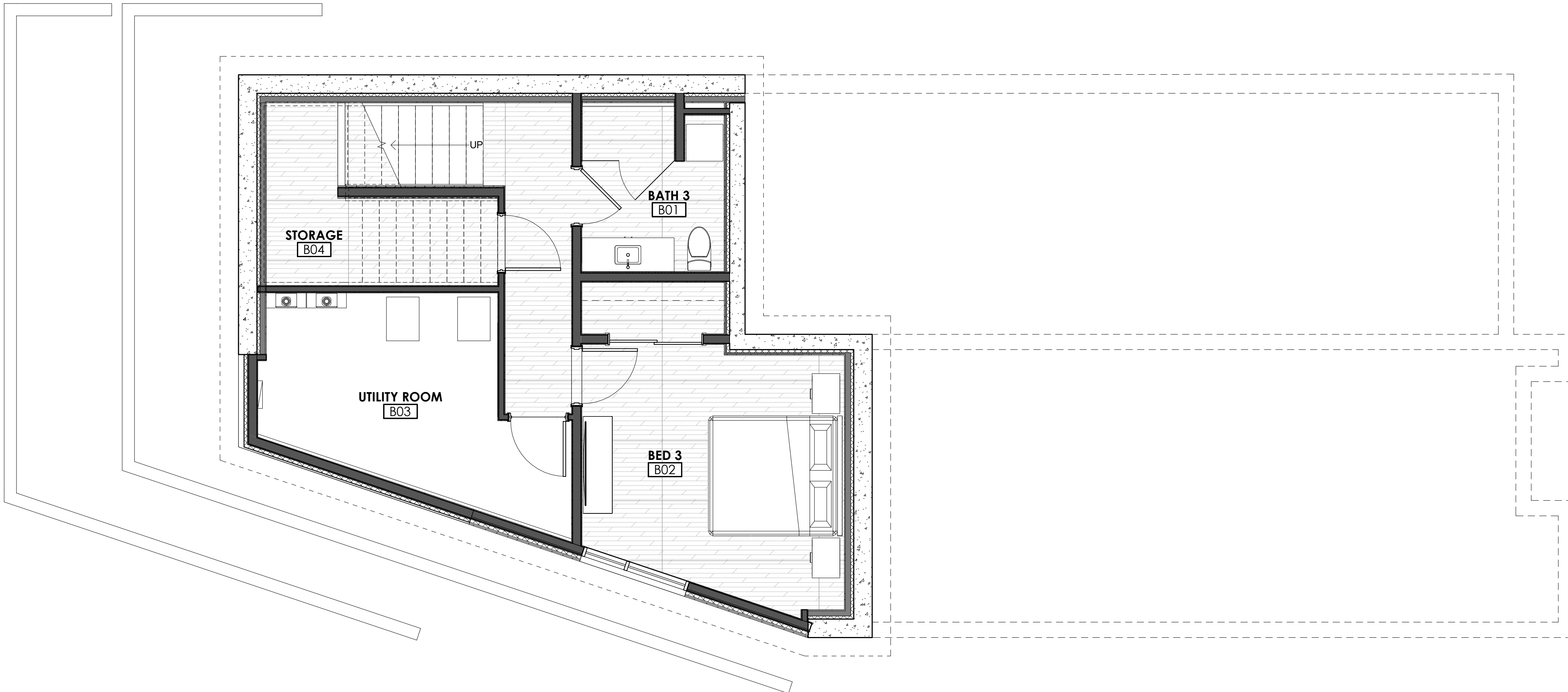
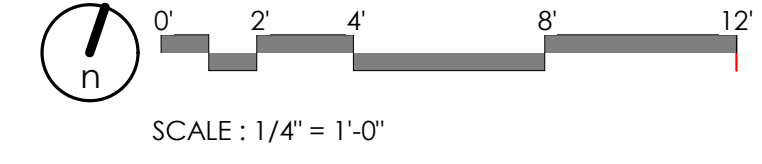
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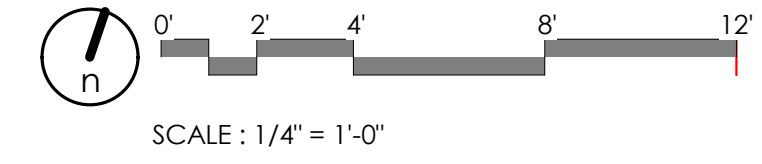
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**2** LEVEL 1 FLOOR PLAN - PRESENTATION PLAN  
1/4" = 1'-0"



**1** BASEMENT FLOOR PLAN - PRESENTATION PLAN  
1/4" = 1'-0"



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION  
237 N. ALMOND STREET  
RESIDENCE

237 NORTH ALMOND STREET  
SALT LAKE CITY, UTAH 84105

SHEET NAME:  
BASEMENT & LEVEL 1 -  
FLOOR PLANS

REVISIONS

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |

ISSUE DATE: 11.10.2021  
 ISSUE TYPE: HLC APPLICATION  
 DRAWN BY: M.SOMMER  
 CHECKED BY: M.SOMMER  
 PROJECT#: XXXX

SHEET NUMBER:

**P2**

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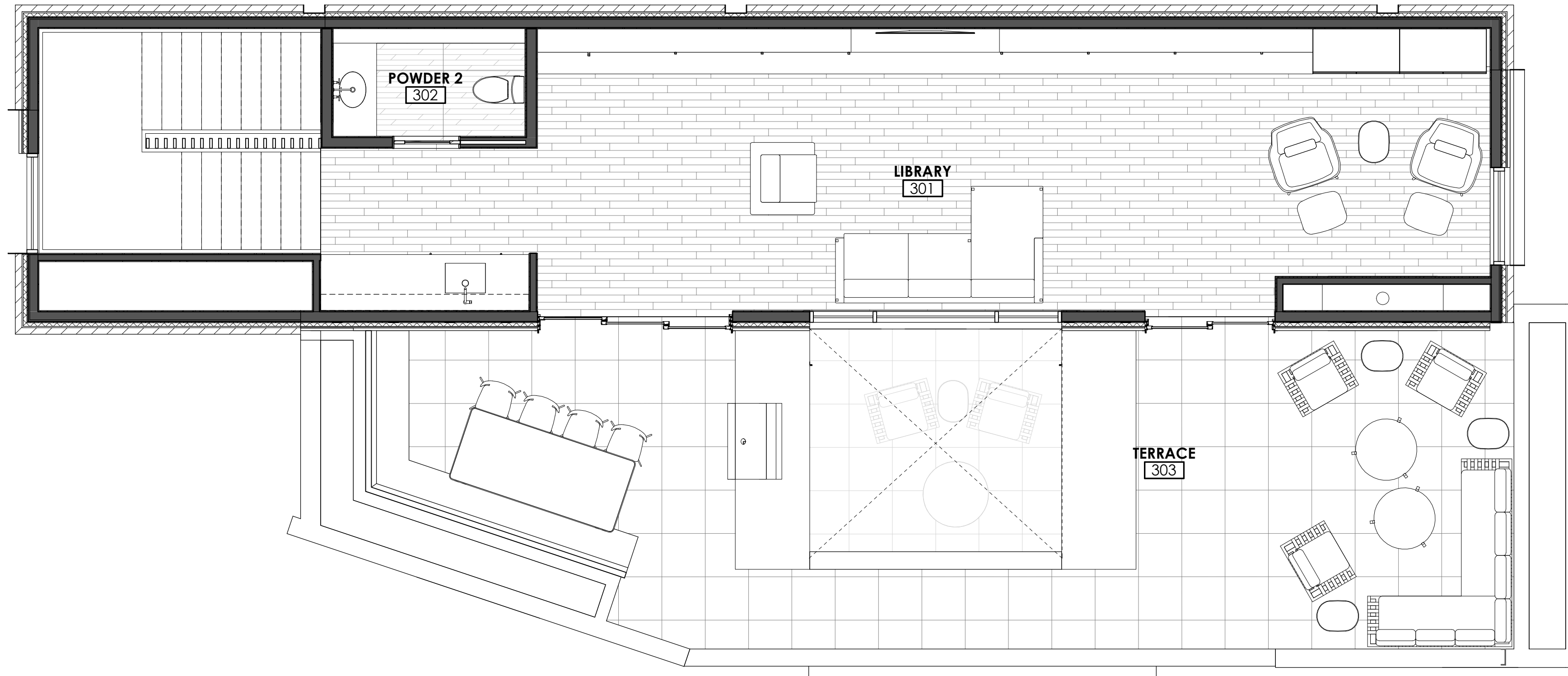
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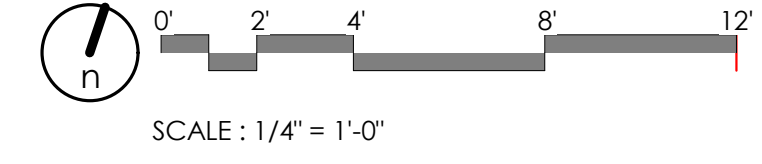
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**2** LEVEL 3 FLOOR PLAN - PRESENTATION PLAN  
1/4" = 1'-0"

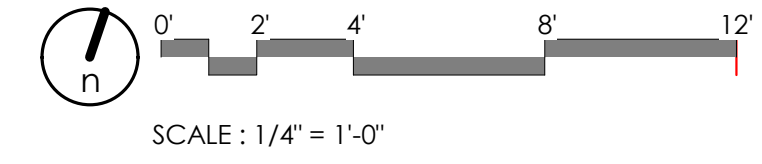


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**1** LEVEL 2 FLOOR PLAN - PRESENTATION PLAN  
1/4" = 1'-0"



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION  
237 N. ALMOND STREET  
RESIDENCE

237 NORTH ALMOND STREET  
SALT LAKE CITY, UTAH 84105

SHEET NAME:  
LEVEL 2 & LEVEL 3 -  
FLOOR PLANS

REVISIONS  
MARK DATE DESCRIPTION

ISSUE DATE: 11.10.2021  
ISSUE TYPE: HLC APPLICATION  
DRAWN BY: M.SOMMER  
CHECKED BY: M.SOMMER  
PROJECT#: XXXX

SHEET NUMBER:

P3

### GENERAL NOTES:

SEE SHEET G1001 FOR DRAWING INDEX.

SEE SHEET G1002 FOR GENERAL NOTES AND ABBREVIATIONS.

DO NOT SCALE DRAWINGS.

CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

### ELEVATION FINISHES

|   |  |   |
|---|--|---|
| FULL BRICK MASONRY VENEER, MATTE FINISH<br>- EMPORER BRICK, HORIZONTAL RUNNING BOND |  | ****PERCENTAGE OF DURABLE EXTERIOR CLADDING MATERIALS = 89.4 %<br>(5957.8 SQ. FT. / 6664.3 SQ. FT.) |
| FULL BRICK MASONRY VENEER, SCRATCH FINISH<br>- EMPORER BRICK, VERTICAL RUNNING BOND |  |   |
| TONGUE AND GROOVE WOOD CLADDING<br>- ACCOYA WOOD                                    |  |   |
| FORMED METAL WALL PANELS<br>- DARK BRONZE ANODIZED FINISH                           |  |   |
| STUCCO - EXTERIOR INSULATION FINISH SYSTEM<br>- ACRYLIC BASE                        |  |   |
| ARCHITECTURAL CONCRETE  |  | COMBINED TOTAL AREA OF EXPOSED ARCHITECTURAL CONCRETE = 869.3 SQUARE FEET                           |
| EXPOSED METAL RAILINGS, DOORS, & RAILINGS<br>- PAINT HIGH PERFORMANCE COATING       |  |   |

### KEYED NOTES:

- 1 EXISTING RETAINING WALL ALONG ADJACENT PROPERTY LINE
- 2 BOARD-FORMED CONCRETE RETAINING WALL
- 3 CONDENSER UNIT WITH CONCRETE PAD
- 4 BOARD-FORMED CONCRETE WATER FEATURE BASIN WITH INTEGRATED WOOD BENCH
- 5 1/4" THICK X 12" TALL POWDER COATED STEEL RAISED PLANTING BED WITH 1" DEPTH OF DECOMPOSED GRANITE MULCH AROUND PLANTINGS.
- 6 ALUMINUM-CLAD WOOD AWNING WINDOW WITH INSULATED CLEAR GLAZING - BASIS OF DESIGN PRODUCT: PELLA ARCHITECT SERIES, CONTEMPORARY STYLE
- 7 ALUMINUM-CLAD WOOD FIXED PICTURE WINDOW WITH INSULATED CLEAR GLAZING - BASIS OF DESIGN PRODUCT: PELLA ARCHITECT SERIES, CONTEMPORARY STYLE
- 8 ALUMINUM-CLAD WOOD DOOR WITH INSULATED FROSTED GLASS FULL LIGHT KIT - BASIS OF DESIGN PRODUCT: PELLA LIFESTYLE SERIES HINGED DOOR.
- 9 ALUMINUM-CLAD WOOD CASEMENT WINDOW WITH INSULATED CLEAR GLAZING - BASIS OF DESIGN PRODUCT: PELLA ARCHITECT SERIES, CONTEMPORARY STYLE
- 10 ALUMINUM-CLAD WOOD MULTI-SLIDE DOOR WITH INSULATED CLEAR GLAZING - BASIS OF DESIGN PRODUCT: PELLA ARCHITECT SERIES CONTEMPORARY MULTISLIDE.
- 11 ALUMINUM-CLAD WOOD WINDOW WITH INSULATED OPAQUED GLAZING TO RECEIVE FRAMED WALL BEHIND TO CONCEAL FLOOR ASSEMBLY BEHIND SPANDREL PANEL - BASIS OF DESIGN PRODUCT: PELLA ARCHITECT SERIES, CONTEMPORARY STYLE
- 12 ALUMINUM-CLAD WOOD DOOR WITH INSULATED CLEAR GLAZED FULL LIGHT KIT - BASIS OF DESIGN PRODUCT: PELLA LIFESTYLE SERIES HINGED DOOR.
- 13 ALUMINUM-CLAD WOOD 42" WIDE PIVOT DOOR WITH INSULATED CLEAR GLAZED SIDELIGHT - BASIS OF DESIGN PRODUCT: DOORS FOR BUILDERS MODEL # DB-PVT-B1 13L
- 14 INSULATED STEEL FLUSH PANEL SECTIONAL OVERHEAD GARAGE DOOR - BASIS OF DESIGN PRODUCT: OVERHEAD DOOR THERMACORE SERIES MODEL # 5760 WITH SMOOTH/NON-TEXTURED FLUSH PANELS.
- 15 BENT STEEL PLATE TO CONCEAL THROUGH-WALL ROOF SCUPPER, ATTACHED TO RECESSED BENT METAL PLATE DOWNSPOUT.

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION  
237 N. ALMOND STREET  
RESIDENCE

237 NORTH ALMOND STREET  
SALT LAKE CITY, UTAH 84105

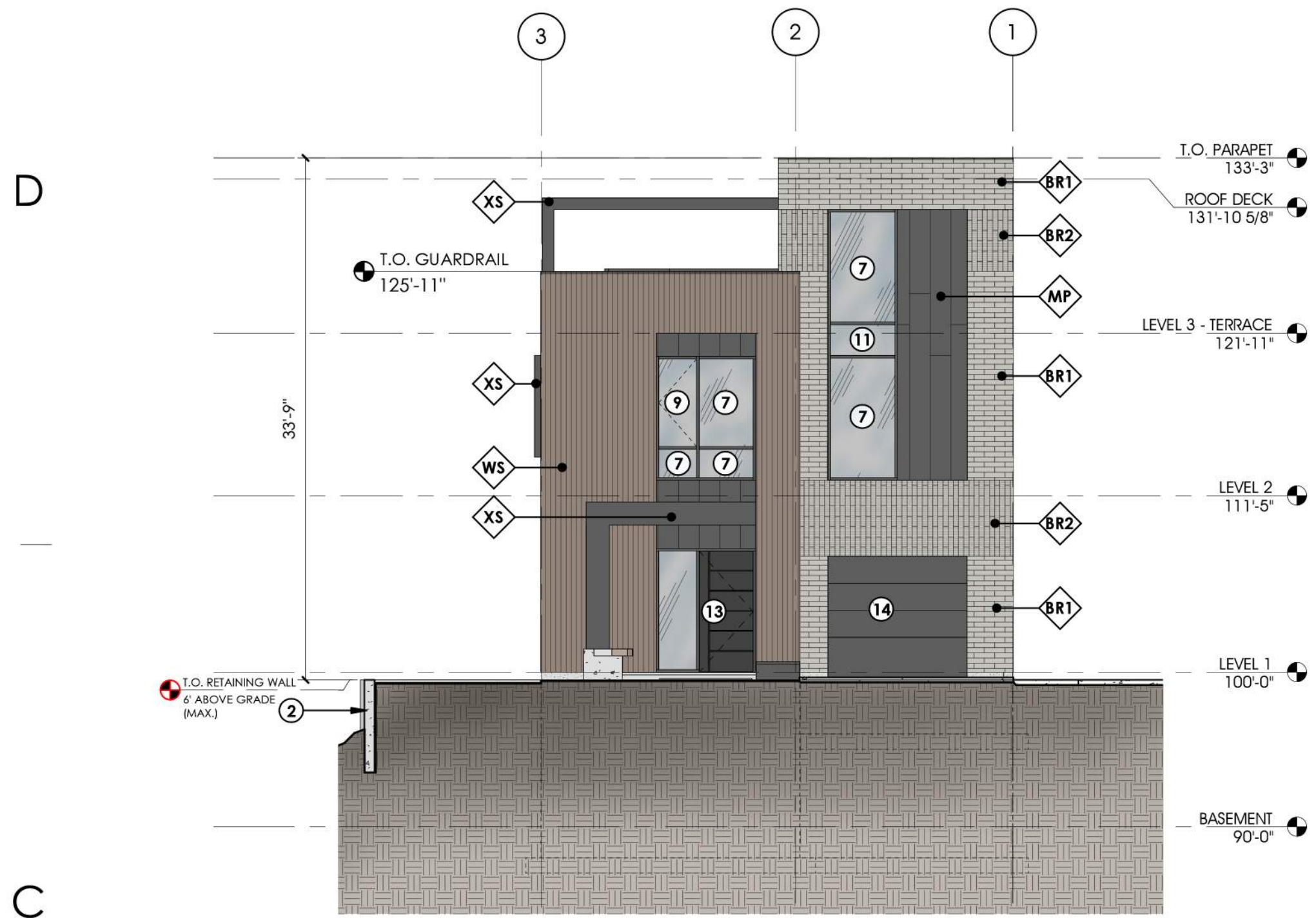
SHEET NAME:  
EXTERIOR ELEVATIONS

|           |      |             |
|-----------|------|-------------|
| REVISIONS |      |             |
| MARK      | DATE | DESCRIPTION |

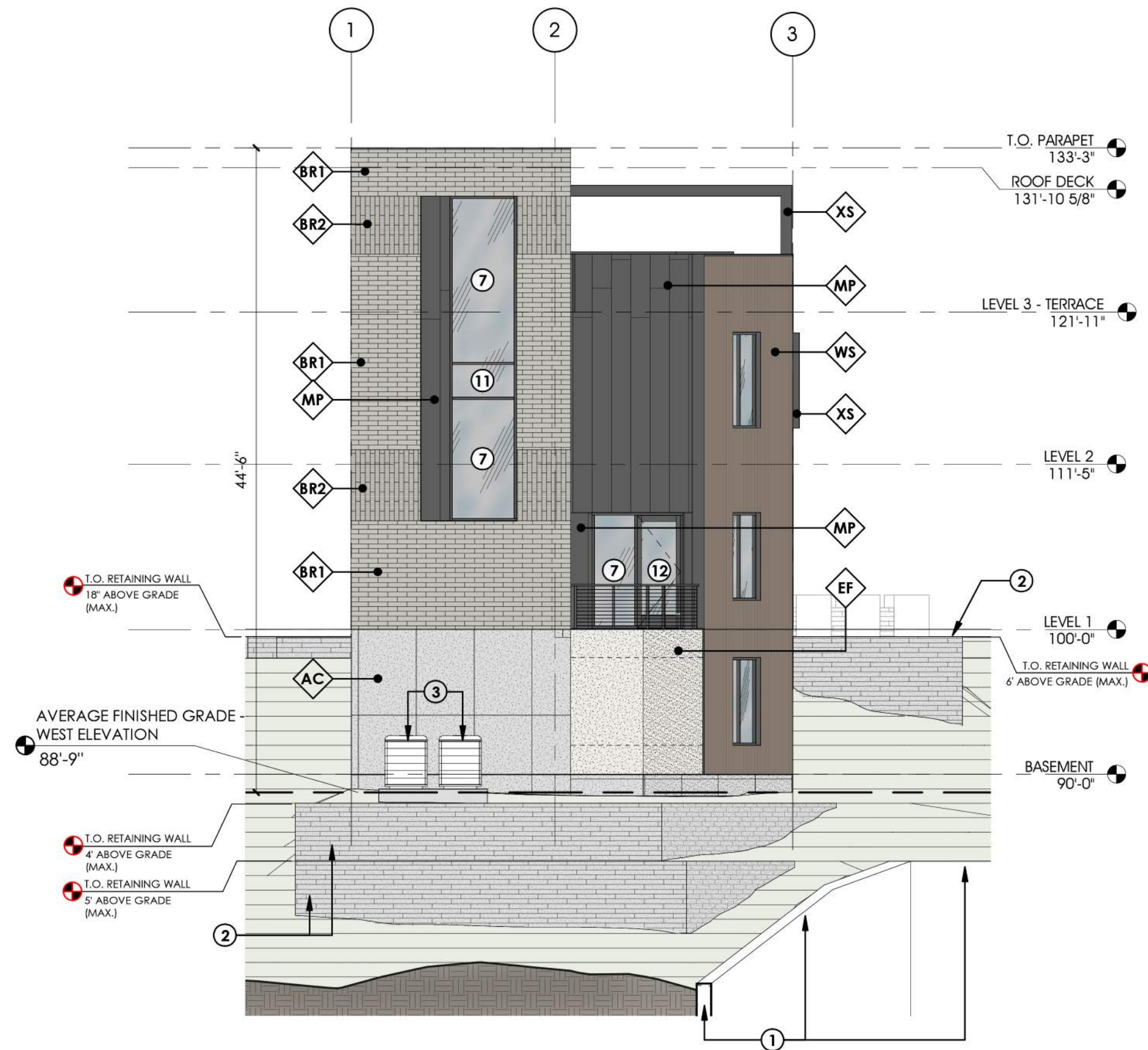
|             |                 |
|-------------|-----------------|
| ISSUE DATE: | 11.10.2021      |
| ISSUE TYPE: | HLC APPLICATION |
| DRAWN BY:   | M.SOMMER        |
| CHECKED BY: | M.SOMMER        |
| PROJECT#:   | XXXX            |

SHEET NUMBER:

# P4



**C1 EAST ELEVATION**  
1/8" = 1'-0"



**C3 WEST ELEVATION**  
1/8" = 1'-0"

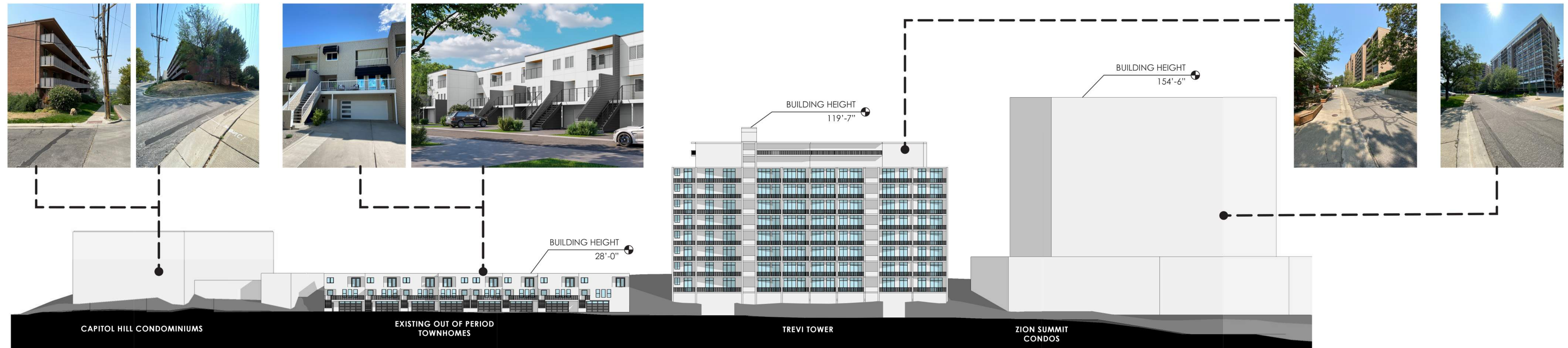


**A1 SOUTH ELEVATION**  
1/8" = 1'-0"

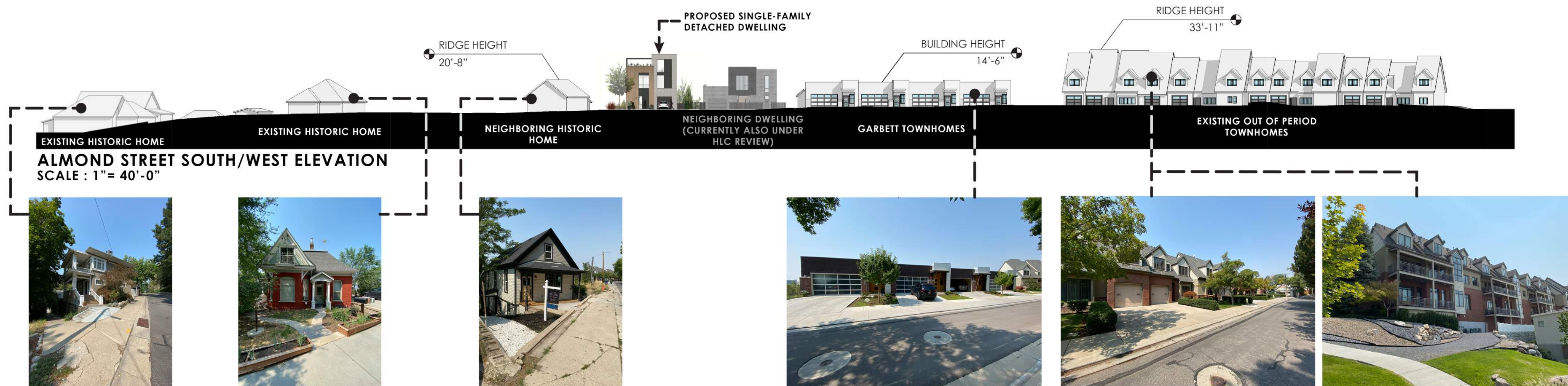


**A3 NORTH ELEVATION**  
1/8" = 1'-0"

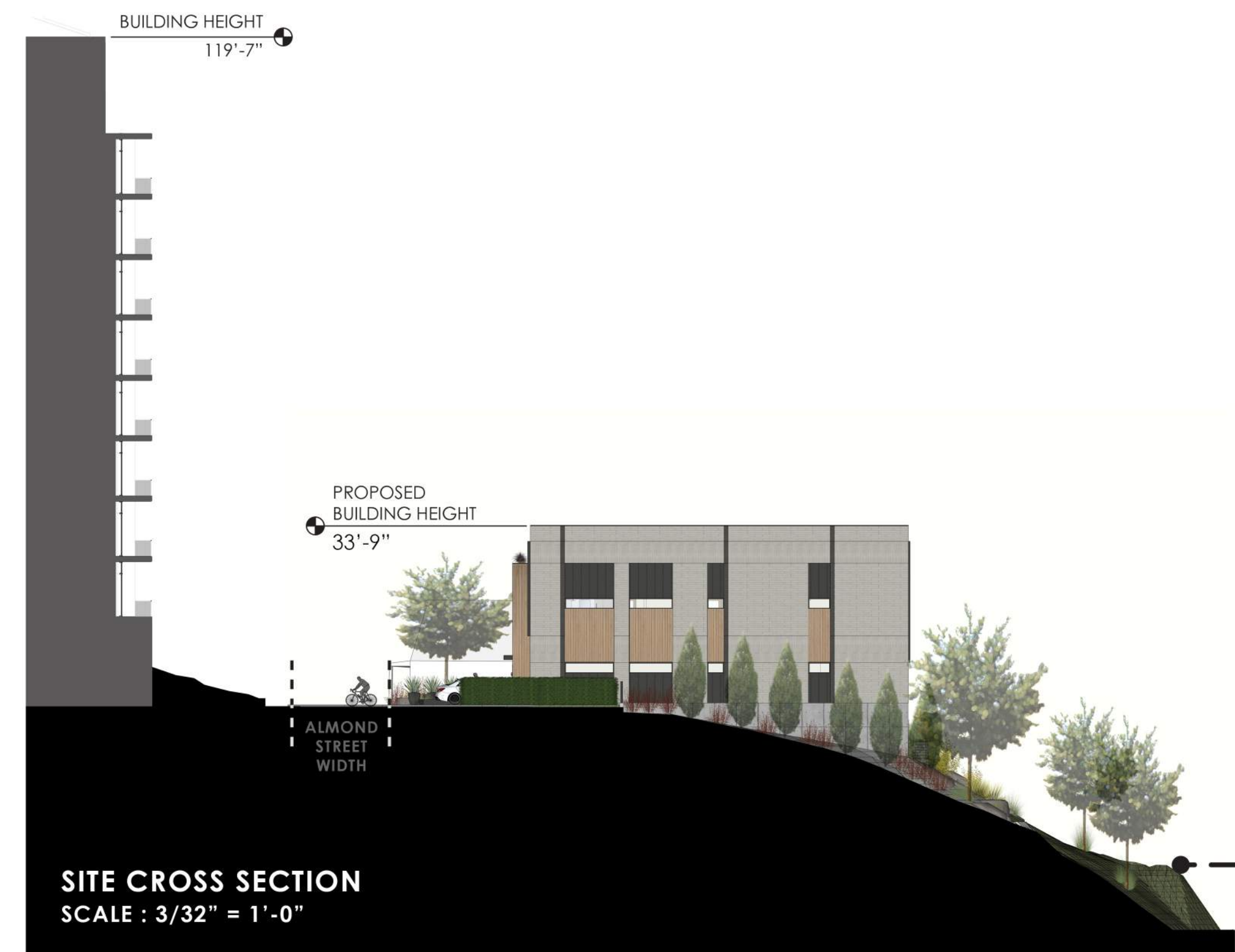
11/10/2021 5:56:20 PM



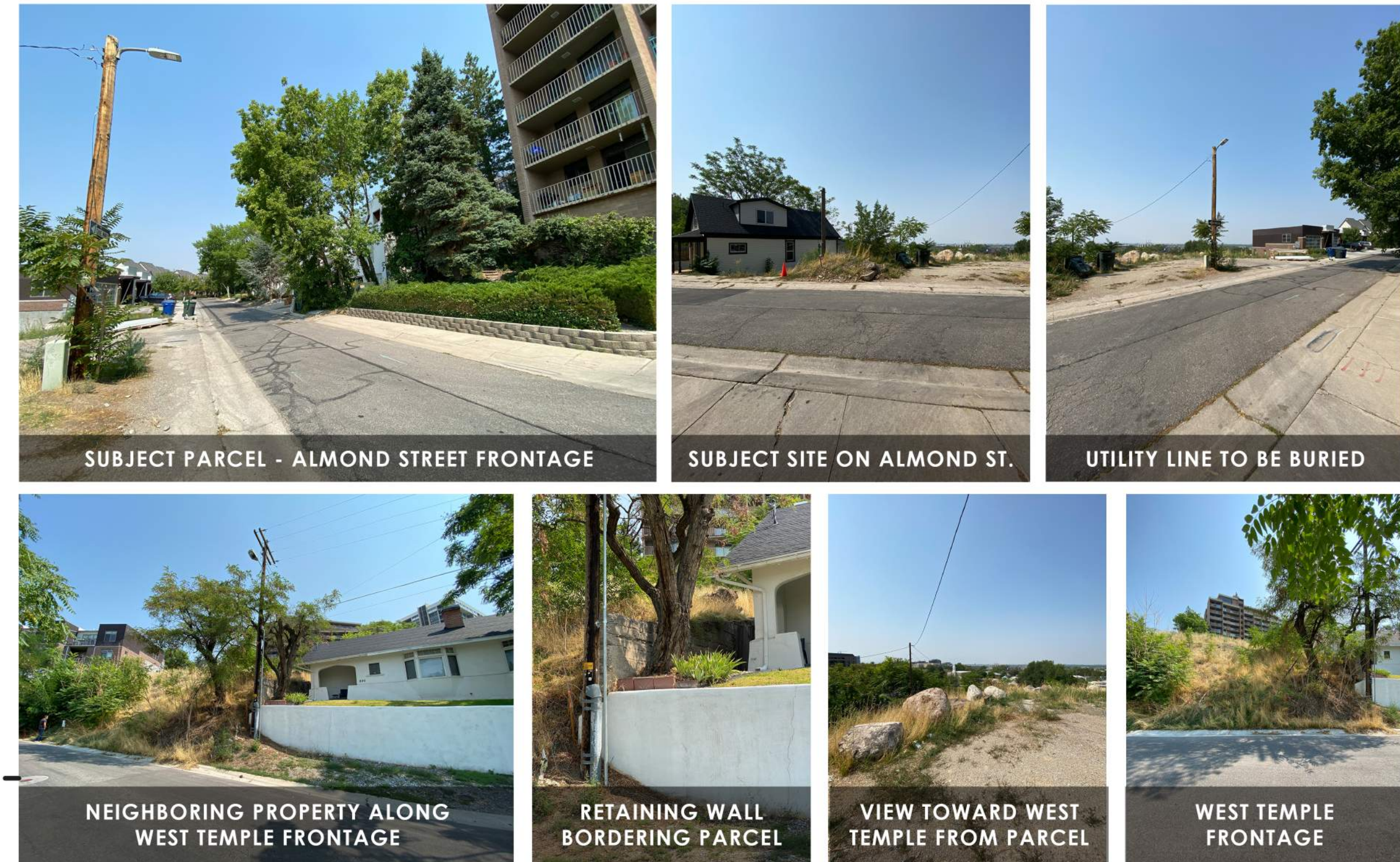
**ALMOND STREET NORTH/EAST ELEVATION**  
SCALE : 1" = 40'-0"



**ALMOND STREET SOUTH/WEST ELEVATION**  
SCALE : 1" = 40'-0"



**SITE CROSS SECTION**  
SCALE : 3/32" = 1'-0"



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AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION  
237 N. ALMOND STREET  
RESIDENCE

237 NORTH ALMOND STREET  
SALT LAKE CITY, UTAH 84105

SHEET NAME:  
STREET SCAPE AND SITE  
SECTION

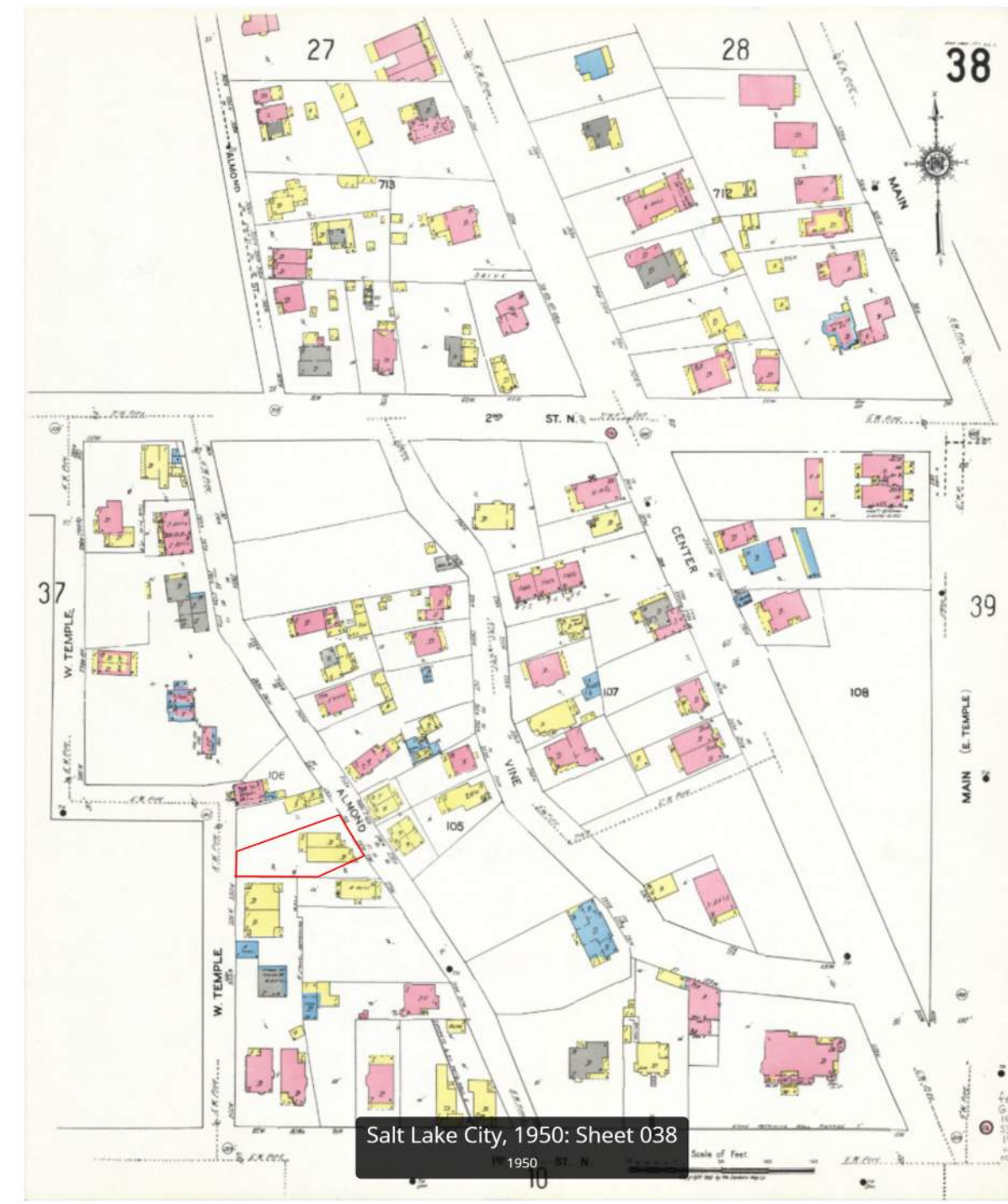
REVISIONS  
MARK DATE DESCRIPTION

ISSUE DATE: 11.10.2021  
ISSUE TYPE: HLC APPLICATION  
DRAWN BY: M.SOMMER  
CHECKED BY: M.SOMMER  
PROJECT#: XXXX

SHEET NUMBER:

**P5**

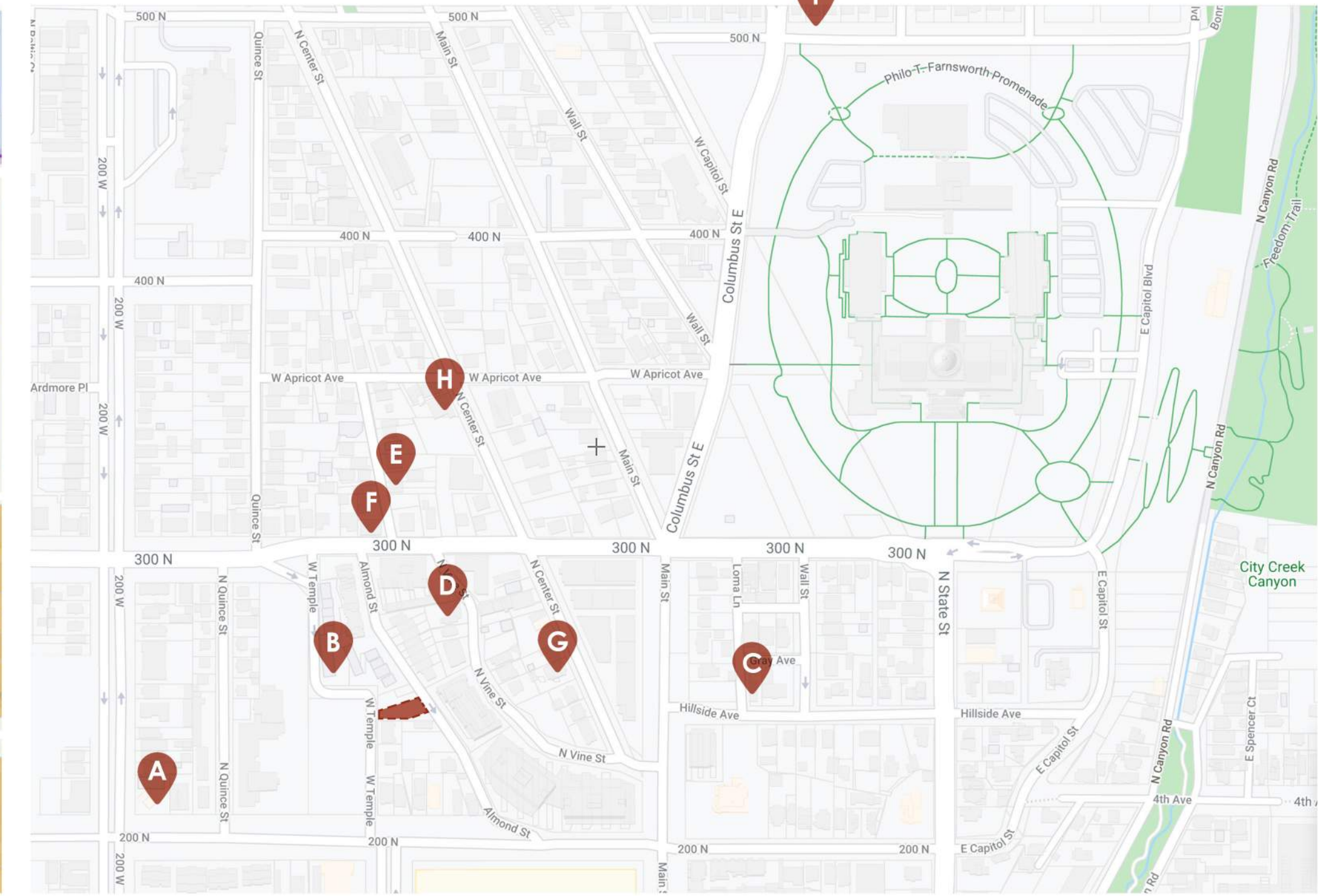
SANBORN MAP - 1950



ZONING MAP



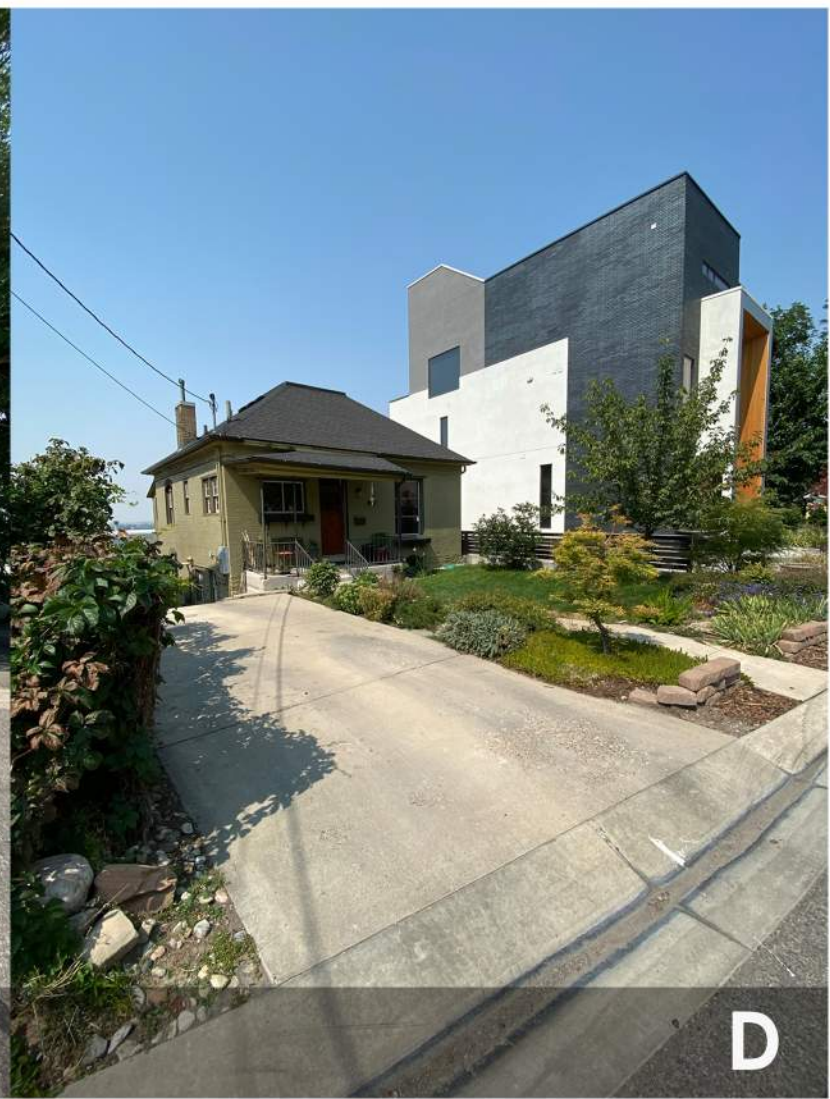
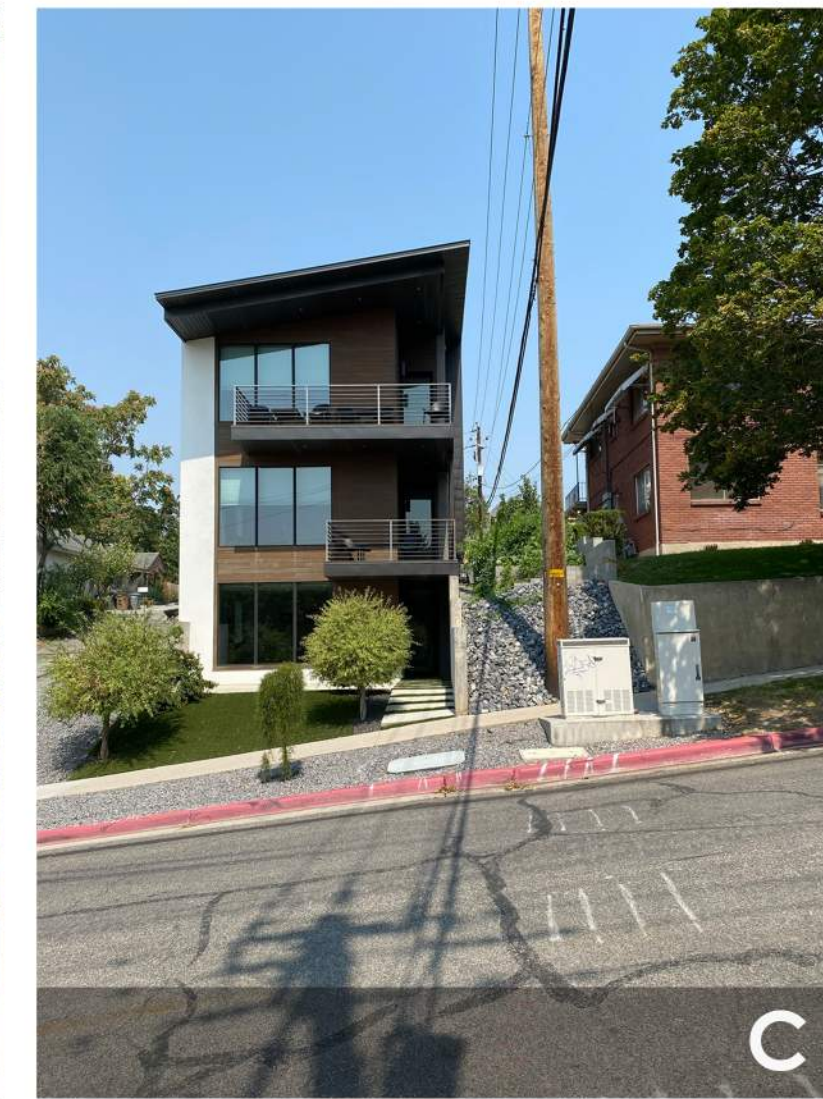
CONTEXT PHOTO MAP



D

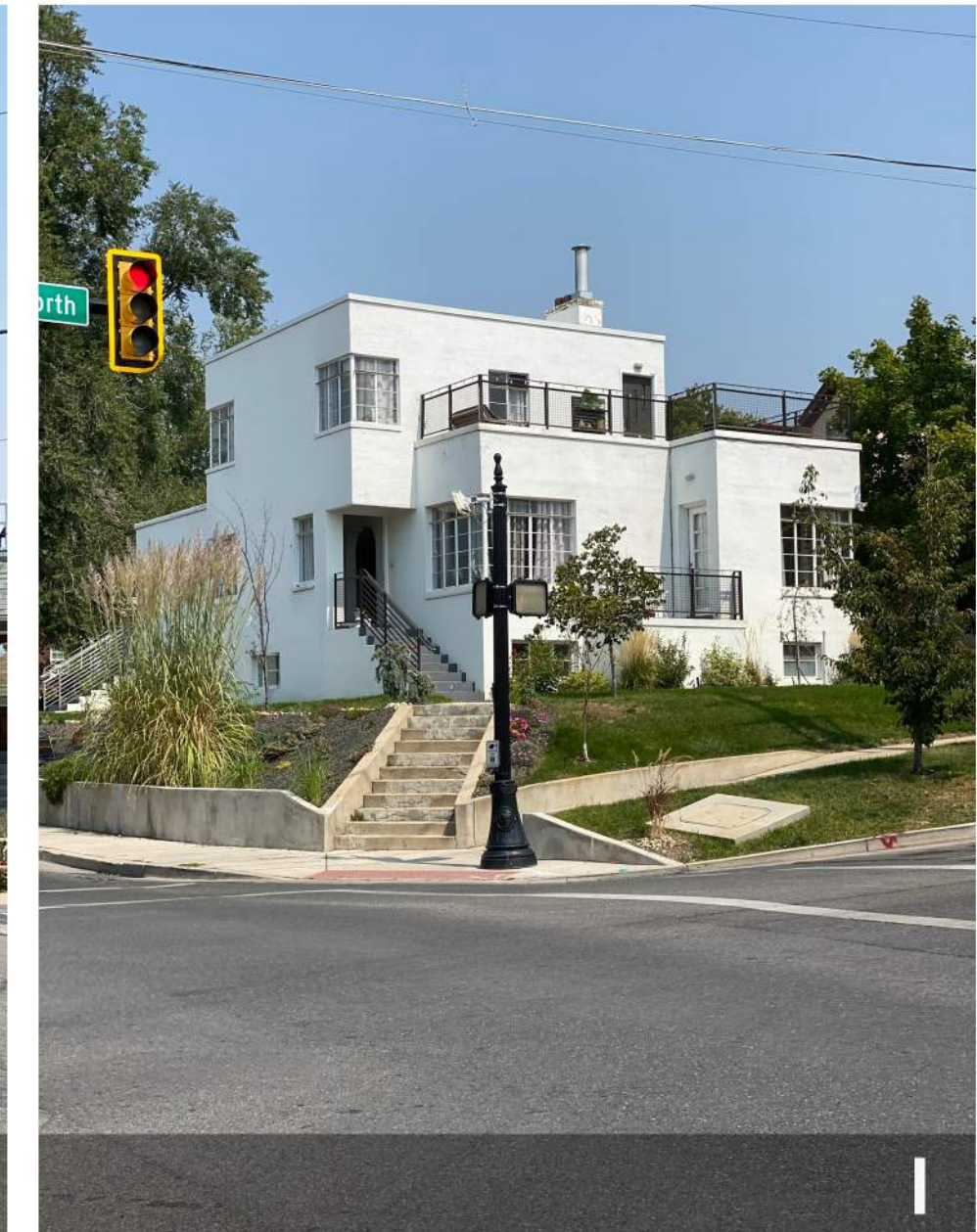
C

CONTEMPORARY NEW CONSTRUCTION IN THE CAPITOL HILL DISTRICT



B

HISTORIC STRUCTURES IN THE CAPITOL HILL DISTRICT



A

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

237 N. ALMOND STREET RESIDENCE

237 NORTH ALMOND STREET SALT LAKE CITY, UTAH 84105

SHEET NAME: CONTEXT MAP & PHOTOS

REVISIONS MARK DATE DESCRIPTION

ISSUE DATE: 11.10.2021  
ISSUE TYPE: HLC APPLICATION  
DRAWN BY: M.SOMMER  
CHECKED BY: M.SOMMER  
PROJECT#: XXXX

SHEET NUMBER:

1

2

3

4

5

EXTERIOR PERSPECTIVES

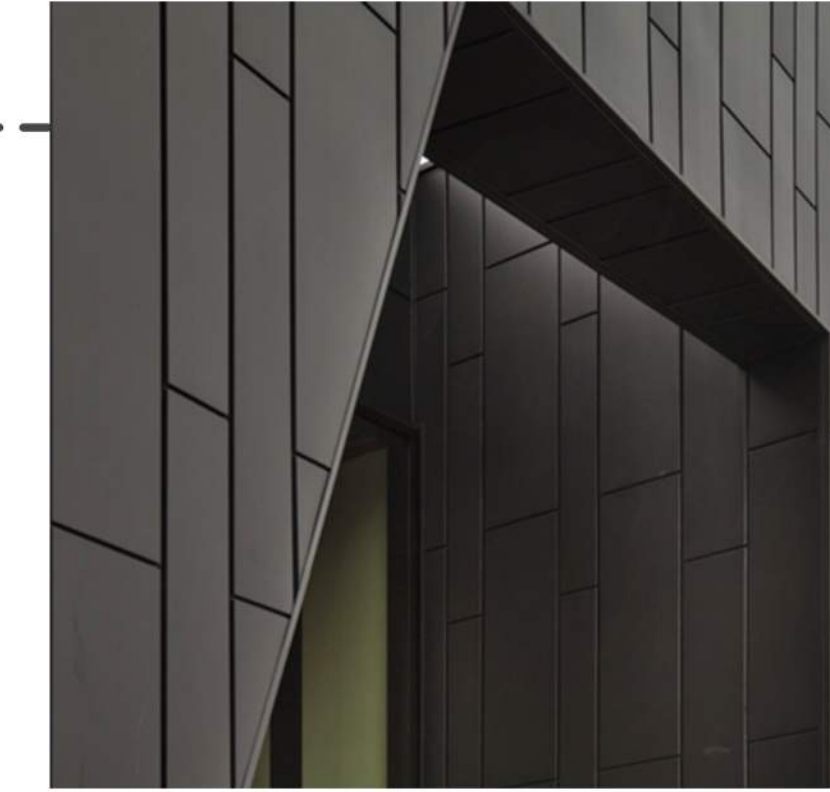
MATERIALS

D



'WS' - ACCOYA WOOD SIDING

C



'MP' - METAL WAL PANEL

B



'BR2' - SCRATCH BRICK

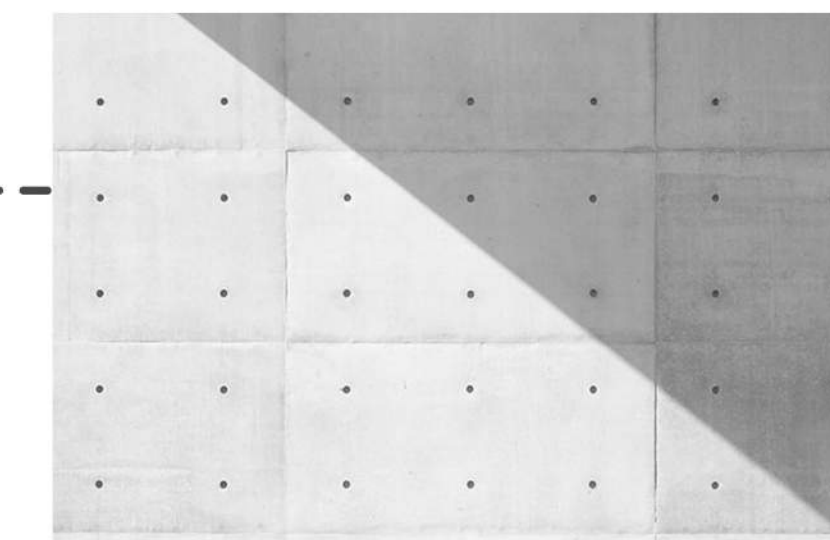
A



'BR1' - MATTE BRICK



'EF' - EIFS/STUCCO



'AC' - ARCHITECTURAL FINISHED CONCRETE

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION  
237 N. ALMOND STREET  
RESIDENCE

237 NORTH ALMOND STREET  
SALT LAKE CITY, UTAH 84105

SHEET NAME:  
RENDERINGS &  
EXTERIOR MATERIALS  
SUMMARY

REVISIONS  
MARK DATE DESCRIPTION

ISSUE DATE: 11.10.2021  
ISSUE TYPE: HLC APPLICATION  
DRAWN BY: M.SOMMER  
CHECKED BY: M.SOMMER  
PROJECT#: XXXX

SHEET NUMBER:

P7

11/10/2021 5:56:21 PM

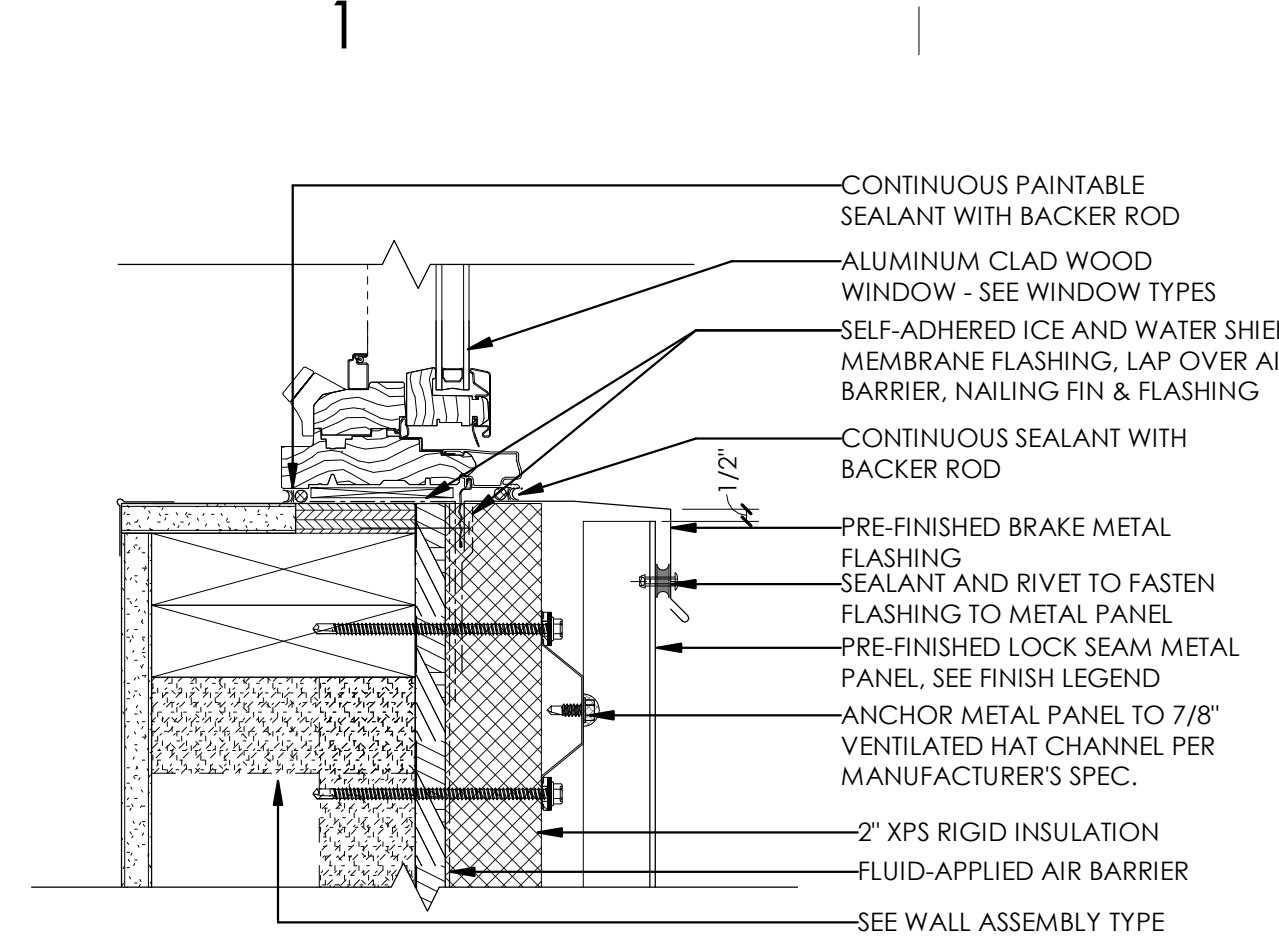
1

2

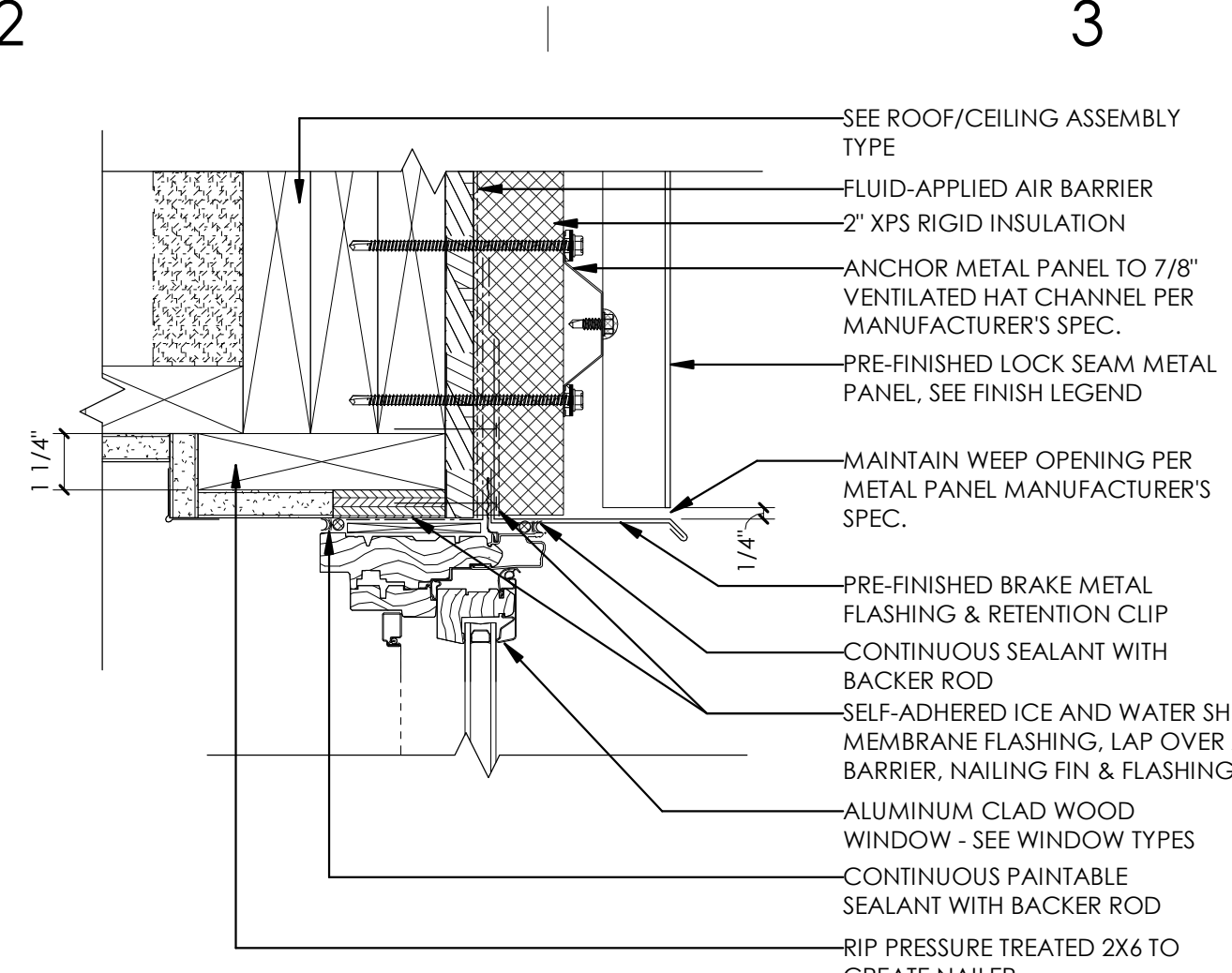
3

4

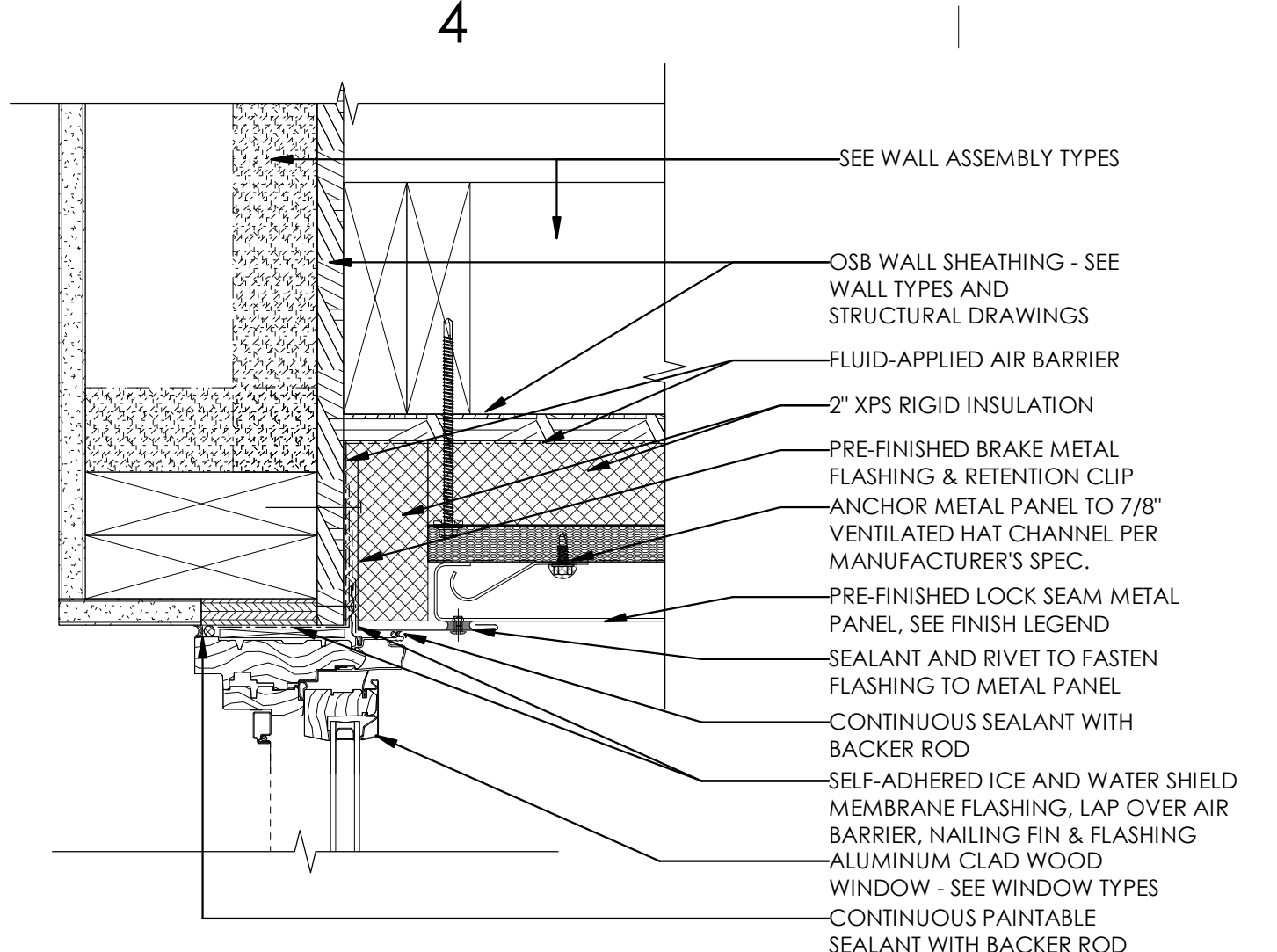
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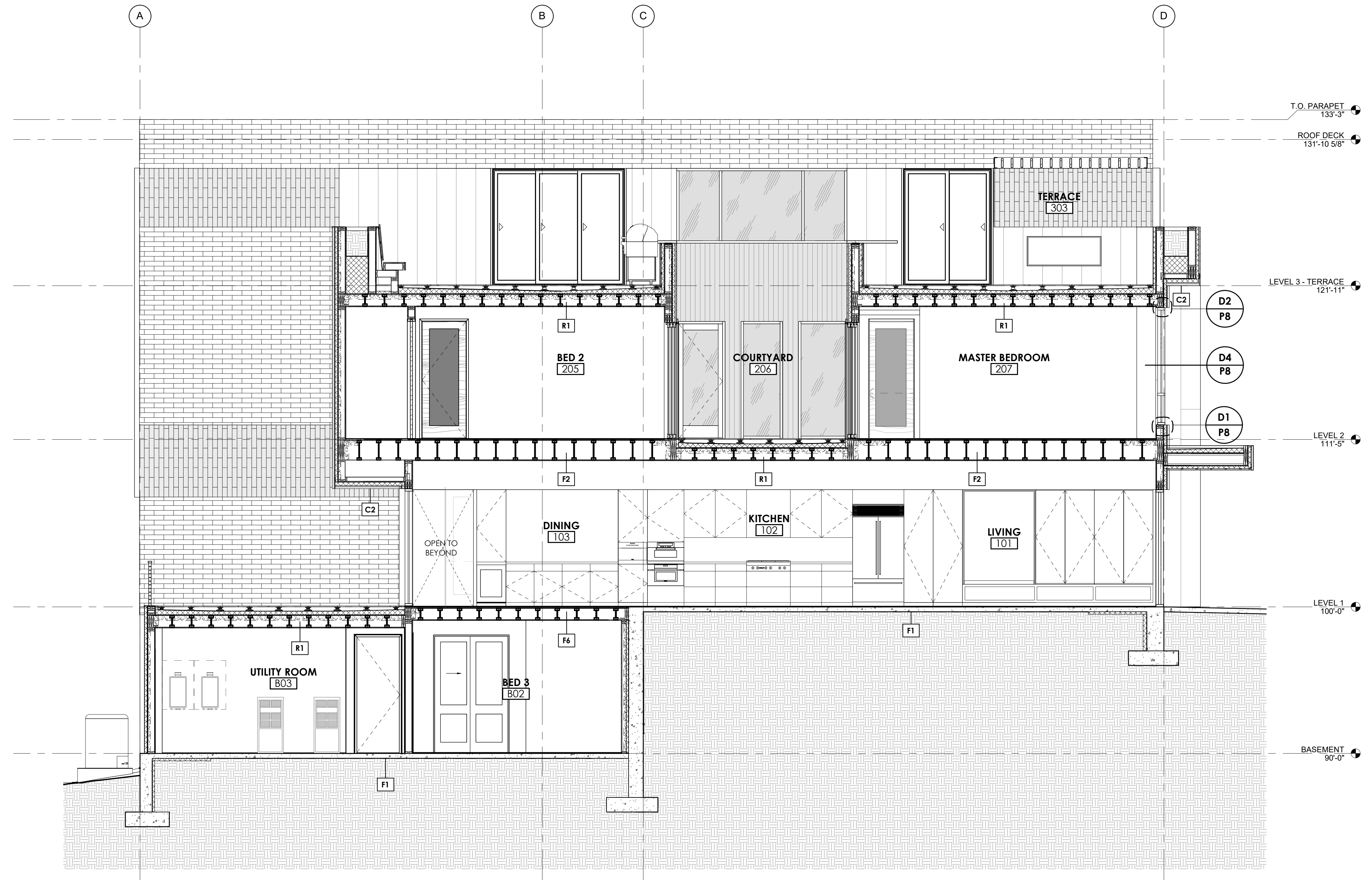
**D1 WINDOW SILL @ METAL PANEL**  
3" = 1'-0"



**D2 WINDOW HEAD @ METAL PANEL**  
3" = 1'-0"



**D4 WINDOW JAMB @ METAL PANEL**  
3" = 1'-0"



**A2 BUILDING SECTION**  
1/4" = 1'-0"

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION  
PROJECT DESCRIPTION  
237 N. ALMOND STREET  
RESIDENCE

237 NORTH ALMOND STREET  
SALT LAKE CITY, UTAH 84105

SHEET NAME:  
BUILDING SECTION

REVISIONS  
MARK DATE DESCRIPTION

ISSUE DATE: 11.21.2021  
ISSUE TYPE: HLC APPLICATION  
DRAWN BY: M.SOMMER  
CHECKED BY: M.SOMMER  
PROJECT#: XXXX

SHEET NUMBER:

**P8**



## **ATTACHMENT E: RMF-45 ZONING STANDARDS**

### **RMF-45 MODERATE/HIGH DENSITY MULTI-FAMILY RESIDENTIAL DISTRICT:**

Purpose Statement: The purpose of the RMF-45 Moderate/High Density Multi-Family Residential District is to provide an environment suitable for multi-family dwellings of a moderate/high density with a maximum building height of forty-five feet (45'). This district is appropriate in areas where the applicable Master Plan policies recommend a density of less than forty-three (43) dwelling units per acre. This district includes other uses that are typically found in a multi-family residential neighborhood of this density for the purpose of serving the neighborhood. Such uses are designed to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

### **Zoning Ordinance Standards for RMF-45 Moderate/High Density Multi-family Residential District**

| <b>Standard</b>  | <b>Proposed</b>   | <b>Finding</b>                                      |
|--|---|---|
| <b>Minimum Lot Area Single-family Detached:</b> 5,000 square feet  | The property is approximately 5,658 square feet (0.13 acre).  | <b>Complies</b>                                     |
| <b>Minimum Lot Width:</b> 50 feet  | The property has a lot width of 50'8" at the property line.   | <b>Complies</b>                                     |
| <b>Maximum Building Height:</b> 45 feet  | The proposed dwelling will not exceed this height limit. The proposed height of the dwelling on the Almond Street elevation is 33'9" and the N. West Temple elevation is 44'6". | <b>Complies</b>                                     |
| <b>Front Yard Setback (Almond Street):</b> Twenty percent (20%) of lot depth, but need not exceed twenty-five feet (25').                            | 15' on the northeast, approximately 20' on the southeast  | <b>Does not comply, requested Special Exception</b> |
| <b>Interior Side Setback:</b> All other permitted and conditional uses: Ten feet (10') on each side.   | 7' on the north and 10' on the south  | <b>Does not comply, requested Special Exception</b> |
| <b>Front Yard Setback (N. West Temple, Double Frontage Lot):</b> Twenty percent (20%) of lot depth, but need not exceed twenty-five feet (25').      | 42'11"  | <b>Complies</b>                                     |
| <b>Maximum Building Coverage:</b> The surface coverage of all principal and accessory buildings shall not exceed sixty percent (60%) of the lot area | 36%   | <b>Complies</b>                                     |

# ATTACHMENT F: ANALYSIS OF STANDARDS & GUIDELINES

## NEW CONSTRUCTION

### **H Historic Preservation Overlay District – Standards For Certificate Of Appropriateness Involving New Construction Or Alteration Of A Noncontributing Structure (21A.34.020.H)**

In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the Historic Landmark Commission, or Planning Director when the application involves the alteration of a noncontributing structure shall, using the adopted design guidelines as a key basis for evaluation, determine whether the project substantially complies with each of the following standards that pertain to the application to ensure that the proposed project fits into the established context in ways that respect and contribute to the evolution of Salt Lake City's architectural and cultural traditions:

| Standard  | Analysis   | Finding                |
|---|--|------------------------|
| <p><b>1. Settlement Patterns and Neighborhood Character:</b></p> <p><b>a. Block and Street Patterns:</b> The design of the project preserves and reflects the historic block, street, and alley patterns that give the district its unique character. Changes to the block and street pattern may be considered when advocated by an adopted City plan.</p> <p><b>b. Lot and Site Patterns:</b> The design of the project preserves the pattern of lot and building site sizes that create the urban character of the historic context and the block face. Changes to the lot and site pattern may be considered when advocated by an adopted City plan.</p> <p><b>c. The Public Realm:</b> The project relates to adjacent streets and engages with sidewalks in a manner that reflects the character of the historic context and the block face. Projects should maintain the depth of yard and height of principal elevation of those existing on the block face in order to support consistency in the definition of public and semi-public spaces.</p> <p><b>d. Building Placement:</b> Buildings are placed such that the project maintains and reflects the historic pattern of setbacks and building depth established within the historic context and the block face. Buildings should maintain the setback demonstrated by existing</p> | <p>The proposed dwelling preserves, reflects, and relates to the existing settlement pattern and neighborhood character.</p> <p>a. The proposed dwelling will not alter the existing block and street patterns.</p> <p>b. The proposed dwelling will be constructed on an existing lot that was subject of a recent lot line adjustment that made it more conforming. Sanborn maps show that a two-story duplex previously existed in this general location with a setback comparable to that proposed.</p> <p>c. As referenced above, the proposed dwelling will be constructed on an existing lot. The proposed yard depth is consistent with other residences on the block face. The height is greater than the adjacent properties; however, it is within the height permitted in the zone and substantially less than the high-rise condominium building across the street.</p> <p>d. The proposed dwelling will be placed with a setback and building depth that is compatible with the existing and proposed dwellings to the north and south.</p> <p>e. The main entrance of the proposed dwelling is oriented such that it faces the street. Similar to other houses on the street, a pathway will extend from the main entrance to the sidewalk.</p> | <p><b>Complies</b></p> |

|   |  |                        |
|---|--|------------------------|
| <p>buildings of that type constructed in the district or site's period of significance.</p> <p><b>e. Building Orientation:</b> The building is designed such that principal entrances and pathways are oriented such that they address the street in the pattern established in the historic context and the block face.</p>  |  |                        |
| <p><b>2. Site Access, Parking, And Services:</b></p> <p><b>a. Site Access:</b> The design of the project allows for site access that is similar, in form and function, with patterns common in the historic context and the block face.</p> <p><b>(1) Pedestrian:</b> Safe pedestrian access is provided through architecturally highlighted entrances and walkways, consistent with patterns common in the historic context and the block face.</p> <p><b>(2) Vehicular:</b> Vehicular access is located in the least obtrusive manner possible. Where possible, garage doors and parking should be located to the rear or to the side of the building.</p> <p><b>b. Site And Building Services And Utilities:</b> Utilities and site/building services (such as HVAC systems, venting fans, and dumpsters) are located such that they are to the rear of the building or on the roof and screened from public spaces and public properties.</p> | <p>The site access, parking, and related services are located such that they are compatible with the neighborhood. The existing sidewalk, curb, and gutter will be replaced to match the city standard.</p> <p>a. Access to the site is similar to other properties in the neighborhood.</p> <p>(1) Pedestrian access to the main entrance will be provided from a paver pathway from Almond Street.</p> <p>(2) Vehicular access will be provided from Almond Street via a new curb cut.</p> <p>b. The HVAC systems will be located on the rear elevation of the residence. The trash and recycling bins will be stored on the side of the property, screened from the adjacent property with plantings, and set back from the front façade.</p> | <p><b>Complies</b></p> |
| <p><b>3. Landscape And Lighting:</b></p> <p><b>a. Grading Of Land:</b> The site's landscape, such as grading and retaining walls, addresses the public way in a manner that reflects the character of the historic context and the block face.</p> <p><b>b. Landscape Structures:</b> Landscape structures, such as arbors, walls, fences, address the public way in a manner that reflects the character of the historic context and the block face.</p> <p><b>c. Lighting:</b> Where appropriate lighting is used to enhance significant elements of the design and reflects the character of the historic context and the block face.</p>  | <p>a. The site has a significant grade change of over 35 feet from its frontage on Almond to the rear on N. West Temple Street.</p> <p>b. The proposed landscaping in the front yard includes raised planter beds, a shallow reflecting pool, water feature basin, and bench. These features, while not common on this block, are of a scale that reflects the character and context of the block.</p> <p>c. Exterior lighting can be administratively reviewed.</p>   | <p><b>Complies</b></p> |

|   |   |                        |
|---|---|------------------------|
| <p><b>4. Building Form And Scale:</b></p> <p><b>a. Character Of The Street Block:</b><br/>The design of the building reflects the historic character of the street facade in terms of scale, composition, and modeling.</p> <p>(1) Height: The height of the project reflects the character of the historic context and the block face. Projects taller than those existing on the block face step back their upper floors to present a base that is in scale with the historic context and the block face.</p> <p>(2) Width: The width of the project reflects the character of the historic context and the block face. Projects wider than those existing on the block face modulate the facade to express a series of volumes in scale with the historic context and the block face.</p> <p>(3) Massing: The shape, form, and proportion of buildings, reflects the character of the historic context and the block face.</p> <p>(4) Roof Forms: The building incorporates roof shapes that reflect forms found in the historic context and the block face.</p> | <p>The form and scale of the proposed dwelling is compatible with others on the block face in terms of its scale, composition, and modeling.</p> <p>(1) The height of the proposed dwelling is greater than others on the block face, but within the height permitted, and substantially less than the high-rise condominium building across the street. The height increases with the change in grade of the site, which is consistent with the recently approved and constructed dwellings to the north.</p> <p>(2) The block has a mixed character with newer, attached dwellings, the rear of large high-rise condominium buildings, and two historic single-family dwellings. The proposed dwelling is compatible with the recently approved dwelling to the north. The proposed setbacks are consistent, or greater than, the setbacks for single-family houses in many districts. The two volumes, particularly the lower height with the roof terrace on the left/south volume greater place the proposal within the historic context of the block face.</p> <p>(3) The massing of the proposed dwelling is compatible with the others on the block face. The block face has a mixed character with a variety of shapes, forms, proportions, height, and size of window openings. The proposal is compatible with the other structures on the block face.</p> <p>(4) The flat roof is reflective of the flat roofs on the recently approved and constructed attached dwellings to the north and the older, but out-of-period dwellings to the east. These are not historic structures, but are on the block face, and the proposal fits with the context.</p> | <p><b>Complies</b></p> |
| <p><b>5. Building Character:</b></p> <p><b>a. Facade Articulation And Proportion:</b> The design of the project reflects patterns of articulation and proportion established in the historic context and the block face. As appropriate, facade articulations reflect</p>   | <p>The character of the proposed dwelling has appropriate architectural elements that reflect and respect the pattern and context. The features and articulation are similar to the adjacent, relatively recently approved and constructed development.</p>   | <p><b>Complies</b></p> |

|   |   |                        |
|---|---|------------------------|
| <p>those typical of other buildings on the block face. These articulations are of similar dimension to those found elsewhere in the context, but have a depth of not less than twelve inches (12").</p> <p><b>(1) Rhythm Of Openings:</b> The facades are designed to reflect the rhythm of openings (doors, windows, recessed balconies, etc.) established in the historic context and the block face.</p> <p><b>(2) Proportion And Scale Of Openings:</b> The facades are designed using openings (doors, windows, recessed balconies, etc.) of similar proportion and scale to that established in the historic context and the block face.</p> <p><b>(3) Ratio Of Wall To Openings:</b> Facades are designed to reflect the ratio of wall to openings (doors, windows, recessed balconies, etc.) established in the historic context and the block face.</p> <p><b>(4) Balconies, Porches, And External Stairs:</b> The project, as appropriate, incorporates entrances, balconies, porches, stairways, and other projections that reflect patterns established in the historic context and the block face.</p> | <p>(1) The openings of the front façade relate to those of other recently approved and constructed dwellings. The pedestrian entry has a metal canopy and an aluminum clad wood pivot door with sidelight. This reflects the size and appearance of the entry on the recently approved dwelling to the north, and the townhomes to the north of it. The garage entry is a single car width, also consistent with the recently approved dwelling to the north. It is smaller than others on the block face and does not dominate the façade. The second and third floor windows have proportions and orientation compatible with the context and block face.</p> <p>(2) The openings relate to those on other residences on the block face, particularly the recent approval and newer construction attached dwellings to the north.</p> <p>(3) The solid to void ratio on the front façade of the building is compatible with the surrounding context. On the first floor, the pedestrian entry and canopy and single car garage entry allows for additional variation on the façade. The upper floors have a ratio of wall to openings consistent with the recent approval and newer construction to the north.</p> <p>(4) The front entry includes a metal canopy that is consistent with the context. On the upper floors, there is a rooftop terrace that extends across the southern volume from the front to the rear. It includes a portion with a metal pergola. Additionally, there's an inset courtyard on the south façade that is screened with wood slat siding and to the rear is a smaller, angled dining terrace. These are consistent with the context and block face.</p> |                        |
| <p><b>6. Building Materials, Elements And Detailing:</b></p> <p><b>a. Materials:</b> Building facades, other than windows and doors, incorporate no less than eighty percent (80%) durable material such as, but not limited to, wood, brick, masonry, textured or</p>  | <p>The proposed building materials, elements, and details are appropriate for the proposed dwelling and reflect the setting and context.</p> <p>a. The brick veneer, wood siding, and metal panels, and architectural concrete comprise 89.4% of the façade.</p>  | <p><b>Complies</b></p> |

|  |   |                              |
|--|---|------------------------------|
| <p>patterned concrete and/or cut stone. These materials reflect those found elsewhere in the district and/or setting in terms of scale and character.</p> <p><b>b. Materials On Street-Facing Facades:</b> The following materials are not considered to be appropriate and are prohibited for use on facades which face a public street: vinyl siding and aluminum siding.</p> <p><b>c. Windows:</b> Windows and other openings are incorporated in a manner that reflects patterns, materials, and detailing established in the district and/or setting.</p> <p><b>d. Architectural Elements And Details:</b> The design of the building features architectural elements and details that reflect those characteristic of the district and/or setting.</p> | <p>b. No vinyl or aluminum siding is proposed.</p> <p>c. An aluminum clad wood pivot door and sidelight are proposed for the front entry. The proposed windows are aluminum clad wood. See Sheet P8 for window details.</p> <p>d. The primary elevation of the proposed dwelling has architectural elements and detailing reflective of the newer construction prevalent on properties to the north. This includes the flat roof, materials, and opening proportions.</p> |                              |
| <p><b>7. Signage Location:</b> Locations for signage are provided such that they are an integral part of the site and architectural design and are complementary to the principal structure.</p>   | <p>No signage is being proposed.</p>  | <p><b>Not applicable</b></p> |

**SPECIAL EXCEPTIONS**

**21A.06.050.C** of the Zoning Ordinance authorizes the Historic Landmark Commission to review and approve or deny certain Special Exceptions for properties located within an H Historic Preservation Overlay District, including modifications to building wall height and bulk and lot regulations of the underlying zoning district, where it is found that the underlying zoning would not be compatible with the historic district and/or landmark site.

**21A.52.060: General Standards and Considerations for Special Exceptions:**

| Standard   | Analysis   | Finding                |
|--|--|------------------------|
| <p><b>A. Compliance With Zoning Ordinance And District Purposes:</b> The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.</p> | <p>The Zoning Ordinance indicates that the Historic Landmark Commission may grant modifications to bulk and lot regulations of the underlying zoning district where it is found that the underlying zoning would not be compatible with the historic district. As detailed in the Key Considerations, the modification to the side yard setback permits the single-family dwelling to have a setback closer to what is permitted for a single-family home in other zoning districts, including RMF-30 and RMF-35. The proposal is for 7’ on the north and 10’ on the south. The proposed</p> | <p><b>Complies</b></p> |

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|  | dwelling would be approximately 17' from the side of the recently approved dwelling to the north.   |                 |
| <b>B. No Substantial Impairment Of Property Value:</b> The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.  | There is no evidence indicating that the proposed reduction in front and north side yard setbacks will substantially diminish or impair property values. As detailed in the Key Considerations, the proposed front yard setback would be less than the recently approved dwelling to the north and others recently constructed. However, it would be roughly an average of the recently constructed and historic dwellings on the block face. The proposed side yard setback is consistent, and possibly greater than, the required side yard setback for single-family homes in other, generally more restrictive, zoning districts.     | <b>Complies</b> |
| <b>C. No Undue Adverse Impact:</b> The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.   | The proposed exceptions are detailed in the Key Considerations. The proposed modification to the front yard setback is consistent with roughly the average on the block face. The proposed modification to the side yard setback is consistent with what is permitted for single-family residences in other, generally more restrictive, zoning districts.  | <b>Complies</b> |
| <b>D. Compatible With Surrounding Development:</b> The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations. | As detailed in the Key Considerations, the special exception for the front yard setback is less than those of other recently constructed dwellings on the block face and is greater than historic dwellings. The rough average of these results in a setback that is compatible with the surrounding development and the block face.<br><br>The proposed exception for the side yard setback is consistent with the required setback for single-family dwellings in other, generally more restrictive, zoning districts. The reduced setback is greater than that recently approved for the north elevation of the dwelling to the north. | <b>Complies</b> |
| <b>E. No Destruction Of Significant Features:</b> The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.   | The proposed special exception requests will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.   | <b>Complies</b> |
| <b>F. No Material Pollution Of Environment:</b> The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.  | There is no evidence that the proposal would cause material pollution of the environment.   | <b>Complies</b> |
| <b>G. Compliance With Standards:</b> The proposed use and development complies with all additional   | The proposal complies with the standards of the underlying zoning district and historic preservation overlay district.  | <b>Complies</b> |

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| standards imposed on it pursuant to this chapter. |  |  |
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## **ATTACHMENT G: APPLICABLE DESIGN GUIDELINES**

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A Preservation Handbook for Historic Residential Properties and District in Salt Lake City provides guidance and advice on ways to meet the design standards in the zoning ordinance, and Part II, Chapter 12: New Construction includes the relevant historic guidelines for this application and are identified below for the Commissions' reference:

A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City ([Chapter 12 - New Construction](#) and [Chapter 14: Capitol Hill](#)) provide the appropriate historic design guidelines for this review. The guidelines that are most relevant to the proposed project have been listed below for the Commissioners' reference:

### **SITE DESIGN GUIDELINES**

#### **Street and Block Patterns**

*12.1 The plan of alleys and streets in a historic district is essential to its historic character and should be preserved.*

*12.2 The role of the street pattern, including the layout of the individual block, as a unifying framework and setting for a variety of lot sizes and architecture, should be retained.*

#### **Building Placement and Orientation**

*12.3 When designing a new building, the historic settlement patterns of the district and context should be respected.*

*12.4 The front and the entrance of a primary structure should orient to the street.*

### **BUILDING SCALE GUIDELINES**

#### **Mass & Scale**

*12.5 A new building should be designed to reinforce a sense of human scale.*

*12.6 A new building should appear similar in scale to the established scale of the current street block.*

*12.7 The roof form of a new building should be designed to respect the range of forms and massing found within the district.*

*12.8 A front facade should be similar in scale to those seen traditionally in the block.*

#### **Height**

*12.9 Building heights should appear similar to those found historically in the district.*

#### **Width**

*12.11 A new building should appear similar in width to that established by nearby historic buildings.*

#### **Solid to Void Ratio**

*12.12 The ratio of wall-to-window (solid to void) should be similar to that found in historic structures in the district.*

## **BUILDING FORM GUIDELINES**

### **Form and Visual Emphasis**

*12.13 Building forms should be similar to those seen traditionally on the block.*

*12.14 Roof forms should be similar to those seen traditionally in the block and in the wider district.*

### **Proportion and Emphasis of Building Façade Elements**

*12.15 Overall facade proportions should be designed to be similar to those of historic buildings in the neighborhood.*

### **Rhythm & Spacing of Windows & Doors**

*12.16 The pattern and proportions of window and door openings should fall within the range associated with historic buildings in the area.*

## **BUILDING MATERIALS AND DETAILS**

### **Materials**

*12.17 Use building materials that contribute to the traditional sense of human scale of the setting.*

*12.18 Materials should have a proven durability for the regional climate and the situation and aspect of the building.*

*12.19 New materials that are similar in character to traditional materials may be acceptable with appropriate detailing.*

### **Windows**

*12.20 Windows with vertical emphasis are encouraged.*

*12.21 Window reveals should be a characteristic of most masonry facades.*

*12.22 Windows and doors should be framed in materials that appear similar in scale, proportion and character to those used traditionally in the neighborhood.*

### **Architectural Elements & Details**

*12.23 Building components should reflect the size, depth and shape of those found historically along the street.*

*12.24 Where they are to be used, ornamental elements, ranging from brackets to porches, should be in scale with similar historic features.*

*12.25 Contemporary interpretations of traditional details are encouraged.*

*12.26 The replication of historic styles is generally discouraged.*

## **CAPITOL HILL HISTORIC DISTRICT**

### **Street Pattern**

*14.1 The traditional rectilinear grid pattern of streets found on the western edge of the district should be maintained.*

*14.2 The angular, irregular street pattern found in the Marmalade portion of the district should be Maintained*

*14.3 A new driveway, as well as any street improvements, should be arranged so that they continue the respective street pattern.*

### **Orientation**

*14.4 The traditional setback and alignment of buildings to the street, as established by traditional street patterns, should be maintained.*

*14.5 The side yard setbacks of a new structure, or an addition, should be similar to those seen traditionally in the subdistrict or block.*

*14.6 The front of a primary structure should be oriented to the street.*

### **Fences & Retaining Walls**

*14.7 Original or early retaining walls and fences should be retained wherever possible.*

### **Building Form**

*14.8 A new building should be designed to be similar in scale to those seen historically in the neighborhood.*

*14.9 A new building should be designed with a primary form that is similar to those seen historically.*

### **Building Materials**

*14.10 Building materials that are similar to those used historically should be used.*

## **ATTACHMENT H: PUBLIC PROCESS AND COMMENTS**

### **Notice of the Historic Landmark Commission public hearing for the proposal include:**

- Notices mailed on December 22, 2021.
- Property posted on December 21, 2021.
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on December 22, 2021.

### **Public Comment:**

As of publication of this report, staff has not received comments on the proposal.

## **ATTACHMENT I: CITY COMMENTS**

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### **Planning**, Sara Javoronok, [sara.javoronok@slcgov.com](mailto:sara.javoronok@slcgov.com)

- Provide responses to 21A.34.020.H in addition to the responses to the New Construction guidelines in the Residential Design Guidelines. Specifically address the 80% durable material and ratio of wall to openings requirements. Identify percentage of EIFS on facades (21A.34.020.H.6.a). Staff recommends the continuation of boardform concrete or cement stucco rather than EIFS.
- Identify the materials for windows, door, and garage on plans. Provide a section drawing that includes a window.
- Consider modifications to the north façade. The absence of windows and the proposed materials give it a commercial appearance. Additionally, while it is not as visible as the front façade, and there is a change in brick type and the presence of the metal panels, this elevation is not consistent with the solid-to-void ratio common in the district (21A.34.020.H.5).
- Provide color drawings of the north (concern with lack of windows) and west elevations and west elevation from grade (EIFS proposed) (21A.34.020.H.5).
- Proposed residence is taller than other single-family residences on the street. The vertical wood siding on the front façade emphasizes this height. Consider modifying it with horizontal wood siding or provide a change in the orientation similar to the brick on the taller mass to the north (21A.34.020.H.5).
- Consider additional emphasis on front entry with larger overhang or a recessed entry with greater depth (21A.34.020.H.5.a.4).
- Front yard parking is not permitted, and cars cannot be parked in the portion of the driveway that is in the front yard. Please remove the car from the drawing. (Table 21A.36.020B)
- The proposal needs to meet the landscape yards requirement in 21A.48.090 (1/3 of the front yard must be covered in vegetation). Please provide information demonstrating compliance or it will be included as a condition of approval.

### **Public Utilities**, Jason Draper, [jason.draper@slcgov.com](mailto:jason.draper@slcgov.com)

There is no water service to this lot. A new water service and meter will be required. There is an existing sewer lateral but it is very old and will need to be video inspected and can be rehabilitated or must be capped at the main and a new lateral installed. Service can be connected to either Almond Street or West Temple.

### **Engineering**, Scott Weiler, [scott.weiler@slcgov.com](mailto:scott.weiler@slcgov.com)

Prior to performing any work in the public way, such as to connect a water service line, a Permit to Work in the Public Way must be obtained from SLC Engineering.

### **Transportation**, Michael Barry, [michael.barry@slcgov.com](mailto:michael.barry@slcgov.com)

I don't see any critical issues from Transportation. The tandem parking is allowed per an interpretation by Planning (email on September 25, 2014). The dimensions of the tandem parking spaces were not shown on the plans and the clear area needs to be at least 9.25 feet wide by 35 feet long to accommodate two parking stalls.

### **Fire**, Ted Itchon, [edward.itchon@slcgov.com](mailto:edward.itchon@slcgov.com)

No comments.