



Staff Report

**PLANNING DIVISION
COMMUNITY & NEIGHBORHOODS**

To: Salt Lake City Historic Landmark Commission

From: Nelson Knight, Senior Planner
385-226-4493 or nelson.knight@slcgov.com

Date: June 3, 2021

Re: **Petition PLNHLC2020-00615 – New Construction of Accessory Structure**
Petition PLNHLC2021-00479 – Special Exception Request

NEW CONSTRUCTION – GARAGE-ACCESSORY DWELLING UNIT & SPECIAL EXCEPTION REQUEST

PROPERTY ADDRESS: 1076 3rd Avenue

PARCEL IDs: 09-32-476-005

HISTORIC DISTRICT: Avenues Historic District

ZONING DISTRICT: SR-1A Special Development Pattern Residential District &
H Historic Preservation Overlay District

DESIGN GUIDELINES: Residential Design Guidelines (New Construction and Accessory Structures)

REQUEST: Jason Wheeler of Assist Community Design Center is requesting approval to construct a new two-story accessory building located in the rear yard of an existing single-family residence. The structure would include a main-level two-car garage, with exterior stairs accessing a second-level accessory dwelling unit (ADU). The property is zoned SR-1A and is located in the Avenues Historic District. The project, as currently proposed, requires review and approval of the following petitions:

- **PLNHLC2020-00615** – A Certificate of Appropriateness (COA) for New Construction is required to construct the new garage/accessory dwelling unit.
- **PLNHLC2021-00479** – The applicant has requested a Special Exception for additional height for the structure, which as proposed exceeds the maximum height allowed.

RECOMMENDATION: As outlined in the analysis and findings in this Staff Report, it is Planning Staff's opinion that the proposed new construction, which requires a Special Exception for additional height, meets all applicable standards of approval, and Staff recommends that the Historic Landmark Commission approve all requests with the following conditions:

1. Approval of all final design details, including specific direction expressed by the Commission, shall be delegated to Planning Staff.

ATTACHMENTS:

- [A. Context Maps](#)
- [B. Property & Vicinity Photographs](#)
- [C. Avenues Historic Survey Information](#)
- [D. Application Materials \(Site Plan, Floor Plans, Elevations, Sections, Renderings\)](#)
- [E. Analysis of Standards – Detached Accessory Dwelling Units](#)
- [F. Analysis of Standards – Special Exception Requests](#)
- [G. Analysis of Standards – New Construction in a Historic District](#)
- [H. Applicable Design Guidelines](#)
- [I. Public Process and Comments](#)
- [J. Department Review Comments](#)



Current Aerial – Property Outlined in Yellow, Proposed Site in Red

EXISTING SITE CONDITIONS:

Located on the south side of 3rd Avenue, between "R" and "S" streets, the parcel is currently zoned SR-1A, where accessory dwelling units are a permitted use. Planning Staff typically has processed ADU requests administratively; in this case, Staff elected to bring this proposal to the full commission based on the size of the proposed building, which requires a special exception for additional height.



Existing house at 1076 E 3rd Avenue, built in 1925 for the Leon F. Browning Family.

The existing residence on the parcel is a one-story bungalow that dates from 1924. It replaced a pre-1898 adobe and frame building on the same site. The existing house is a typical bungalow in form and style. The building is constructed of deep-red, striated brick standard of cottages all over the city from this period, with a concrete foundation. The low-sloped hipped roof has deep eaves and asphalt shingles. The front entrance is at the northeast corner, covered by a gabled brick porch. The house's main floor footprint is 1330 sf (1164 sf finished), with an additional 1150 sf in the finished walk-out basement. It is the only single-story structure on this block face. All other residences are 2+ stories with additional walk-out basements.

This block slopes significantly from 3rd Avenue south to 2nd Avenue, allowing for walk-out basements on each principal building along 3rd Avenue. This parcel descends 12'-6" in elevation from the front (north) property line to the rear (south) property line.



View of the subject property and proposed site from the adjacent private alley

The site of the proposed new structure is at the south end of the lot, adjacent to an alley that runs from R Street to S Street – see the aerial photo above, as well as the context map in Attachment A. Sanborn maps show that this alley was an established streetscape as early as 1898, with the alley shown on the plat lined with several outbuildings, including the carriage house still located on S Street, as well as a two-story wood framed barn that stood on the location of this site. By 1926 the alley was lined with outbuildings, including the same barn at the back of the newly constructed 1076 3rd Avenue bungalow.

By 1963, that barn was gone. Apart from the subject property and 1080 3rd Avenue, all the properties along 3rd Avenue have existing garages/accessory buildings that are accessed from this alley. Most date from the historic

period; the most recent structure, the two-car garage at 1064 3rd Avenue, was constructed in 2001.

Somewhat unusually even in the eclectic Avenues, another alley runs from R to S Streets parallel and just south of the first alley. The topography of the block likely created the conditions for the two alleys – the one to the north is graded so that the 3rd Avenue properties have level access, while the one to the south is graded to provide rear lot access for the houses on the block along 2nd Avenue. There are also garages dating from the historic period through recent construction at the rear lot lines of the 2nd Avenue lots. Two properties, 118 R Street and 115 S Street, sit between the two alleys, with another garage and open parking areas taking up the space between the alleys in the center of the block.



[Oblique view of site and surrounding block from south \(Google Maps\)](#) Star marks the proposed site

SURROUNDING CONTEXT:

All of the principal structures on the block surrounding the site are contributing to the Local Historic District. The subject property is flanked on both sides of 3rd Avenue by taller homes of 1½ to 2 stories. These are primarily rectangular structures with hipped roofs or front-facing gables. The homes along the 2nd Avenue street face are closer in form and scale to the subject property, with a line of bungalows interrupted only by the L-shaped, two-story apartment block built in 1954 at the corner of 2nd Avenue and R Street. The two properties on the block not on 2nd Avenue or 3rd Avenue are 118 R Street, a 1927 brick clipped gable bungalow, and 115 S Street, a two-story brick boxcar apartment building built in 1958.

The adjacent blocks to the east and west of the subject block have a similar drop-off from 3rd to 2nd Avenue. The blocks across 3rd Avenue continue this north/south slope, with the lots on that block face sloping steeply up the hill from front to back. The similar topography, as well as the scale of the surrounding structures, on the block east creates the conditions for garages and accessory structures that exceed the height typically allowed for outbuildings (approximately 17 feet) yet still fit into the context of the surrounding buildings. Two notable recent examples



approved by the HLC are one behind 1128 3rd Avenue and one behind 1127 2nd Avenue. Both were approved with additional space above the garage dedicated to storage because the zoning ordinance at the time precluded living space in these buildings.

S Street Carriage House/Barn

The buildings have a nearby historical precedent – one that is even closer to the proposed garage/ADU site.

This former carriage house sits along S Street, just north of the alley that would provide access to the proposed structure. It was built in conjunction with the houses at 1084 and 1088 3rd Avenue, which were both constructed in 1895 using the same city building permit. The carriage house serves both properties and originally contained stable and vehicle storage on the first floor, with hay storage and a small living area in the second story under the roof eaves.



S Street Carriage house, with alley and 115 S Street below. Site of proposed building is down the alley (west) from the carriage house, on the right side.

Original architectural details of this building remain evident amidst a hodgepodge of later alterations. These include the wood shingle siding in the gables, architectural trim, wood double-hung window on the west side (with brick arch header), and other original window openings that are now missing their original sash. The brick construction, size, and height distinguish this from most of the remaining historic accessory buildings in the Avenues. It is one of the few considered a contributing structure in the district worthy of protection apart from the houses it serves.



The applicants used this building as an example for their design in form, massing, and fenestration pattern.

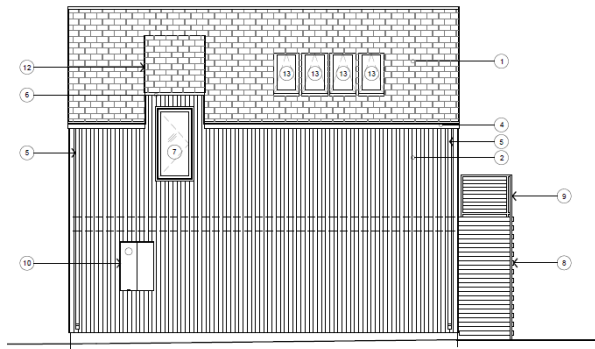
PROJECT DESCRIPTION:

New Accessory Structure: Two Car Garage and Accessory Dwelling Unit (ADU)

The applicant's proposal is detailed in the following narrative:

The proposed Murphy ADU has been designed to complement the forms and massing of the existing accessory structures, while incorporating a material palette of narrow vertical wood siding and horizontal wood shiplap siding, both of which complement existing historic structures in the Avenues. The garage and ADU have further been designed to meet existing zoning standards other than height for both the Avenues historic district and Salt Lake City's ADU ordinance: the main-level garage is 480 sf, meeting the Avenues' 480 sf bulk footprint requirement. The second story ADU is 648 sf

(including the stairs and porch), within the allowable 650 sf (and less than 50% of existing footprint) maximum.



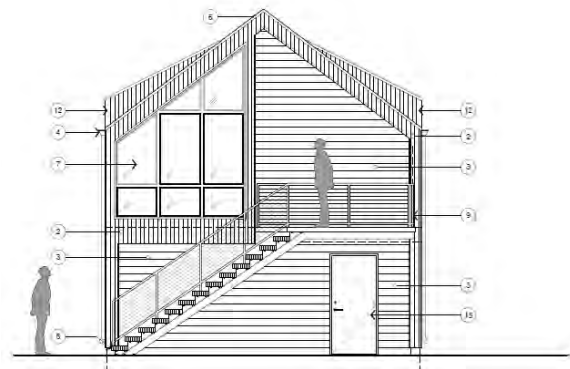
Proposed Garage/ADU West Elevation



Proposed Garage/ADU from southwest – principal building in white at left



Proposed Garage/ADU – View from Existing House



Proposed Garage/ADU – North Elevation

The proposed 2-story accessory structure would contain a 2-car garage on the ground level and an ADU on the entire second level. Besides the two parking spaces inside the garage, the site has an additional parking stall for the ADU adjacent to the garage. The applicant's Special Exception request is to permit the proposed accessory structure to exceed the allowed height limit for an accessory building containing an accessory dwelling unit. See key consideration two below.

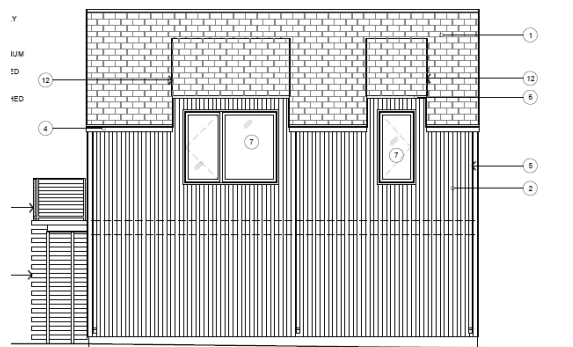
KEY CONSIDERATIONS:

Scale, Form, Materials, and Fenestration Pattern of Proposed Garage/ADU

This private alley streetscape comprises seven accessory structures along both sides of the alley, open parking areas, fences, and the sides of two buildings, 118 R Street and 115 S Street, that abut the alley. They are primarily one-story structures sited uniformly along the right of way. The proposed garage/ADU is similar in scale, height, width, massing, and roof form to the established scale of the structures along the alley. The building's massing and form are oriented in a manner consistent with the historic orientation of garages and outbuildings in the Avenues district. The principal garage entrance would be accessed by the existing private alley. The ADU would be accessed via a concrete pathway and stairs and pathway from the alley, matching current approaches to adjacent properties.



Proposed Garage/ADU – Southwest Perspective

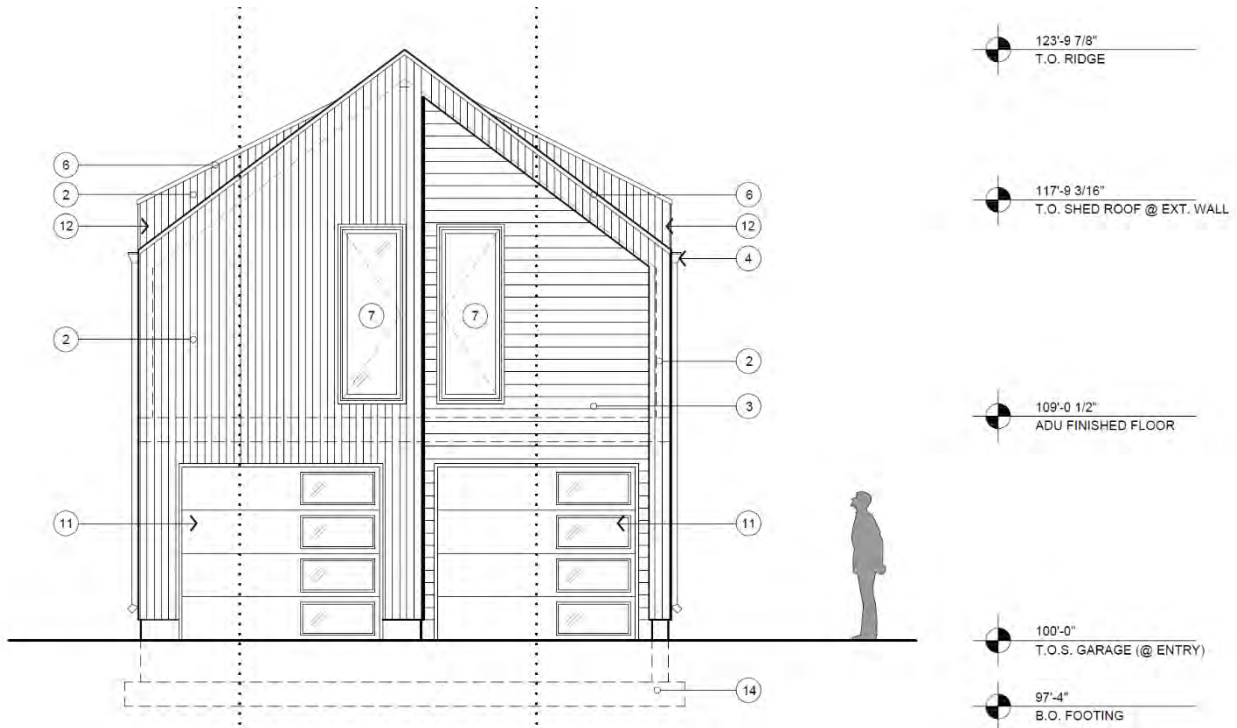


Proposed Garage/ADU – East Elevation

Vertical tongue and groove wood siding is proposed for most exterior wall surfaces, with horizontal wood siding with a six-inch reveal used as an accent in areas of the north and south facades. Both are materials that the HLC has approved many times on new buildings.

The garage doors on the south façade are single-width and have simple, contemporary style details. The ADU would be accessed via a stairway on the north side and deck with a simple metal rail. The doors and glazing on this side would provide additional light and ventilation for the tenants while mitigating any effect on other properties because it faces the main house on this lot.

After discussions with Staff, the applicants increased the number of fiberglass framed windows and amount of glazing on the east, south, and west sides to more closely reflect the fenestration pattern and solid to void ratio of similarly scaled buildings in the surrounding area, particularly the “S Street Carriage House” located east of the site. The number of windows and their sizes exceed the minimums required by the building code for egress, light, and ventilation but reflect the vertical orientation, proportions, and the number of windows characteristic of the surrounding buildings and accessory structures. Windows for the ADU would be made with obscured glazing to provide privacy for ADU tenants and residents of adjacent properties.



South elevation of the proposed structure. The proposed height of the garage/ADU is 23'-10"

Special Exception for Additional Height of an Accessory Structure/Accessory Dwelling Unit

The applicant’s Special Exception request is to permit the proposed accessory structure to exceed the allowed height limit for an accessory building containing an accessory dwelling unit. 21A.40.200.E.3(d)(1) states, *“The maximum height of an accessory building containing an accessory dwelling unit shall not exceed the height of the single-family dwelling on the property or exceed seventeen feet (17’) in height, whichever is less.”*

Exception: If the single family dwelling on the property is over seventeen feet (17’) in height, an accessory building containing an accessory dwelling unit may be equal to the height of the single family dwelling up to a maximum building height of twenty four feet (24’) for an accessory building with a pitched roof or twenty feet (20’) for an accessory building with a flat roof provided the accessory building is set back a minimum of ten feet (10’) from a side or rear property line. The setback for additional height may be reduced to four feet (4’) if the side or rear lot line is adjacent to an alley.”

An accessory structure with a second-story ADU may be the same height as the single family dwelling on the property, up to a maximum of 24 feet. The proposed building exceeds the height



Comparative illustration of height of proposed structure compared to existing dwelling and lot slope. The height of the existing house is approximately 18'-6" to the ridge on the front (north) side of the house, and approximately 23' from grade at its highest point. The proposed height of the garage/ADU is 23'-10"

of the existing house on the lot (18'-6") and the maximum height of the structure as measured from grade. But it would otherwise comply with the total maximum height of 24 feet allowed for two story ADU structures when they include larger setbacks and other increased impact mitigation regulations beyond those required for a standard accessory structure.

The main purpose of the height regulation is to ensure that the accessory structure remains subordinate to the principal structure. In this case, the principal structure on the lot is shorter than the surrounding buildings. The total height of the proposed ADU is 23'-10" to the top of the ridge. The existing residence, when measured from the front, has a ridgeline at approximately 18'-6" above the city sidewalk. It is about 23 feet from the grade when measured at its highest point above grade. The average height of other principal buildings on the block face is approximately 30' above the city sidewalk.

In addition, the topography of the site mitigates the effect of the additional height of the proposed garage/ADU. The ridge of the proposed ADU roof would be 4' below the peak of the existing residence and 12'-18' below the rooflines of the homes to the east and west.

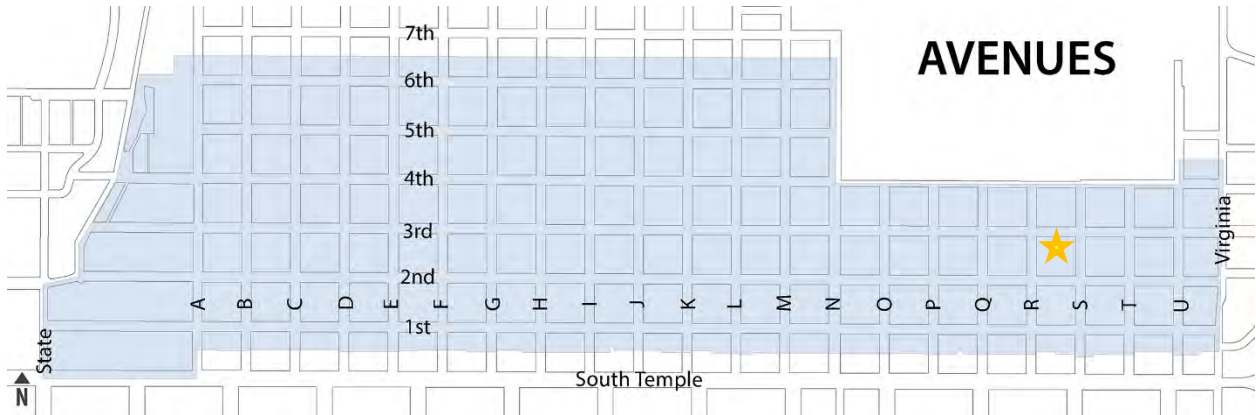
Refer to Attachment G for a full analysis of this special exception request.

NEXT STEPS:

If the requests for a COA for New Construction of the proposed garage/ADU and associated Special Exception for height are granted by the HLC, the applicant may proceed with the project as represented in this Staff Report and will be required to obtain all necessary approvals and permits for the proposed addition.

If the Commission disagrees with Staff's recommendation and the project is denied, the applicant would not be issued a COA for the request and any new proposal would require the submittal of a new application.

ATTACHMENT A: CONTEXT MAPS



ATTACHMENT B: PROPERTY AND VICINITY PHOTOS



1076 3rd Avenue (Existing House) and adjacent buildings – Looking east



1076 3rd Avenue and adjacent buildings – Looking west



Proposed site from adjacent alley – Looking north



View from alley adjacent to proposed site – Looking northeast toward S Street



View from alley toward proposed site – Looking northwest toward R Street



Adjacent properties south of proposed site – looking northwest



Alley streetscape from R Street – looking northeast



Alley view from R Street – Looking east



View of parallel alley from S Street – Looking south toward R Street



Proposed site on the left, with adjacent garage on right – looking east toward S Street

ATTACHMENT C: AVENUES SURVEY INFORMATION

Utah State Historical Society
Historic Preservation Research Office
Structure/Site Information Form

1
IDENTIFICATION

Street Address: 1076 3rd Avenue Plat G Bl. 20 Lot
Name of Structure: Louis B. Uiko House T. R. S.
Present Owner: Nielson, Lafayette B. and Melba UTM:
Owner Address: Tax #:

2
AGE/CONDITION/USE

Original Owner: Leon F. Browning Construction Date: ca, 1925 Demolition Date:
Original Use: single family
Present Use: Occupants:
 Single-Family Park Vacant
 Multi-Family Industrial Religious
 Public Agricultural Other
 Commercial
Building Condition: Integrity:
 Excellent Site Unaltered
 Good Ruins Minor Alterations
 Deteriorated Major Alterations

3
STATUS

Preliminary Evaluation: Final Register Status:
 Significant National Landmark District
 Contributory National Register Multi-Resource
 Not Contributory State Register Thematic
 Intrusion

4
DOCUMENTATION

Photography:
Date of Slides: 5/77 Date of Photographs:
Views: Front Side Rear Other Views: Front Side Rear Other
Research Sources:
 Abstract of Title City Directories LDS Church Archives
 Plat Records Biographical Encyclopedias LDS Genealogical Society
 Plat Map Obituary Index U of U Library
 Tax Card & Photo County & City Histories BYU Library
 Building Permit Personal Interviews USU Library
 Sewer Permit Newspapers SLC Library
 Sanborn Maps Utah State Historical Society Library Other

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

Polk, Salt Lake City Directory, 1924, 1927, 1930, 1938, 1941, 1957, 1965, 1974.
"Uiko, Luis B." Utah's Distinguished Personalities, Ralph B. Simmons, editor, Salt Lake City: Personality Publishing Co., 1932-33, p. 209.

Architect/Builder:

Building Materials: brick

Building Type/Style: Bungalow

Description of physical appearance & significant architectural features:

(Include additions, alterations, ancillary structures, and landscaping if applicable)

This one-story Bungalow has a main hip roof and a gabled front porch with heavy brick columns.



Statement of Historical Significance:

- | | | | |
|---|---|--|---|
| <input type="checkbox"/> Aboriginal Americans | <input type="checkbox"/> Communication | <input type="checkbox"/> Military | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Conservation | <input type="checkbox"/> Mining | <input type="checkbox"/> Science |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Minority Groups | <input type="checkbox"/> Socio-Humanitarian |
| <input type="checkbox"/> The Arts | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Political | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Industry | <input type="checkbox"/> Recreation | |

This one-story bungalow is an example of the house type most popular in the Salt Lake City and the Avenues area between about 1910 and 1930. It replaced a pre-1898 adobe and frame structure.

It was built ca. 1925 for Leon F. Browning, secretary of the Western Barber Supply Co. He lived in it only a year before selling it to Art R.W. Whitmer, a captain in the U.S. Army. In 1929 Whitmer sold it to a Salt Lake City physician named Louis B. Uiko. Uiko was born in Park City, Utah, August 25, 1896. He married LaVern Clark of Farmington, Utah, in Salt Lake City in 1927. Uiko graduated from Harvard Medical School in 1920 and set up practice in Salt Lake City, specializing in internal medicine. In addition to carrying on his private practice, he taught at the University of Utah Medical School and was a member of the Salt Lake City Board of Health, serving as chairman in 1933. He was active in the Catholic Church. In 1937 a clerk at the Salt Lake Hardware Co., Rollin A. Peak, bought the house. Three years later he sold it to Roland Stuckie, a professor of engineering at the University of Utah. Stuckie owned the house until the mid-1950's. From 1956 until 1962, Mrs. Olive S. Quagle was the owner. John Boothe owned it from 1963 to 1969. During the early 1970's the house stood vacant. Lafayette B. and Melba Nielson bought it in 1973.

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ATTACHMENT D: APPLICATION MATERIALS

AVENUES ADU PROPOSAL

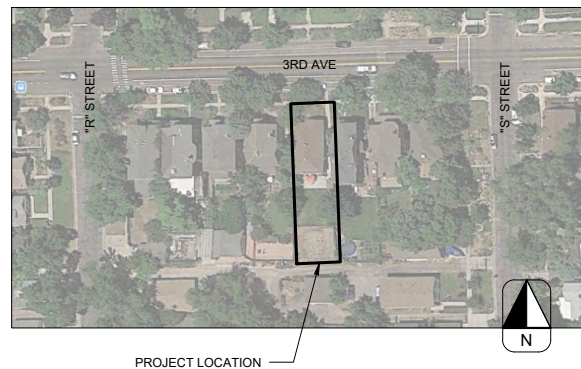
1076 EAST THIRD AVENUE, SALT LAKE CITY, UT 84103

Accessory Dwelling Unit

Paul Murphy
1076 E Third Avenue
Salt Lake City, UT 84103

801.971.7947
pcmurf@gmail.com

Vicinity Map



Project Description



G0.0 TITLE SHEET
G0.1 SYMBOLS & ABBREVIATIONS
G0.2 EXISTING SITE IMAGES & PROPOSED RENDERINGS
G0.3 NEIGHBORHOOD CONTEXT RENDERINGS

C1.1 SITE PLAN

A1.1 PROPOSED PLAN
A2.1 BUILDING ELEVATIONS
A3.1 BUILDING SECTIONS

Project Contact Information

OWNER:
CONTACT: PAUL & JENNIFER MURPHY
1076 EAST THIRD AVENUE
SALT LAKE CITY, UT
801.971.7947

ARCHITECT:
ASSIST INC. COMMUNITY DESIGN CENTER
CONTACT: JASON W. WHEELER
218 EAST 500 SOUTH
SALT LAKE CITY, UT 84111
801.355.7085
JWHEELER@ASSISTUTAH.ORG

THE MURPHY ADU IS A PROPOSED ACCESSORY DWELLING UNIT TO BE LOCATED AT 1076 EAST THIRD AVENUE IN THE AVENUES HISTORIC DISTRICT IN SALT LAKE CITY, UTAH. THE PROPOSED ADU WILL BE A NEW TWO-STORY STRUCTURE LOCATED IN THE REAR YARD OF AN EXISTING SINGLE-FAMILY RESIDENCE. THE STRUCTURE WILL INCLUDE A MAIN-LEVEL GARAGE, WITH EXTERIOR STAIRS ACCESSING A SECOND-LEVEL DWELLING UNIT.

LOCATED ON THE SOUTH SIDE OF THIRD AVENUE, BETWEEN "R" AND "S" STREETS, THE PARCEL IS CURRENTLY ZONED SR-1A, WITH ACCESSORY DWELLING UNITS BEING A "PERMITTED" USE. THE EXISTING RESIDENCE ON THE PARCEL WAS BUILT IN 1994 IN A BUNGALOW STYLE, SIMILAR TO MANY OTHERS THROUGHOUT THE AVENUES. MAIN FLOOR AREA OF THE EXISTING RESIDENCE IS 1164 SF FINISHED (1330 SF FOOTPRINT), WITH AN ADDITIONAL 1150 SF IN A FINISHED, WALK-OUT BASEMENT. THE PARCEL SLOPES SIGNIFICANTLY FROM NORTH TO SOUTH, LOSING 12'-6" IN ELEVATION FROM THE HIGH POINT ON THE NORTH TO THE LOW POINT ON THE SOUTH. THE EXISTING RESIDENCE AT 1076 EAST IS THE ONLY SINGLE-STORY STRUCTURE FACING THIRD AVENUE BETWEEN "R" AND "S" STREETS; ALL ADJACENT RESIDENCES ARE 2+ STORIES, WITH WALK-OUT BASEMENTS FACING SOUTH.

THE PARCEL IS BORDERED TO THE SOUTH BY A PUBLIC ALLEY, WHICH IS USED TO ACCESS OFF-STREET PARKING FOR THE RESIDENCES LOCATED ON BOTH SECOND AND THIRD AVENUES. SIX EXISTING ACCESSORY BUILDINGS ARE CURRENTLY LOCATED ALONG THE ALLEY, AN ECLECTIC MIX OF DETACHED GARAGES, HISTORIC CARRIAGE HOUSES, AND SECOND-STORY STUDIOS. THE PROPOSED MURPHY ADU HAS BEEN DESIGNED TO COMPLEMENT THE FORMS AND MASSING OF THE EXISTING ACCESSORY STRUCTURES, WHILE INCORPORATING A MATERIAL PALETTE OF NARROW VERTICAL WOOD SIDING AND HORIZONTAL WOOD SHIPLAP SIDING, BOTH OF WHICH COMPLEMENT EXISTING HISTORIC STRUCTURES IN THE AVENUES. THE GARAGE AND ADU HAVE FURTHER BEEN DESIGNED TO MEET EXISTING ZONING STANDARDS FOR BOTH THE AVENUES HISTORIC DISTRICT AND SALT LAKE CITY'S ADU ORDINANCE: THE MAIN-LEVEL GARAGE IS 480 SF, MEETING THE AVENUES' 480 SF BULK FOOTPRINT REQUIREMENT. THE SECOND STORY ADU IS 648 SF (INCLUDING THE STAIRS AND PORCH), WITHIN THE ALLOWABLE 650 SF (AND LESS THAN 50% OF EXISTING FOOTPRINT) MAXIMUM.

TOTAL HEIGHT OF THE PROPOSED ADU IS 23'-10" TO TOP OF RIDGE, BELOW THE 24' HEIGHT LIMIT FOR PITCHED ROOFS AS ALLOWED BY SALT LAKE CITY'S ADU ORDINANCE. THE EXISTING RESIDENCE, WHEN MEASURED FROM THE NORTH, HAS A RIDGE LINE AT APPROXIMATELY 18'-6" ABOVE THE CITY SIDEWALK. WHEN MEASURED FROM THE SOUTH SIDE, THE RIDGE OF THE EXISTING RESIDENCE IS APPROXIMATELY 24' ABOVE THE ADJACENT GRADE, AND 28' ABOVE THE GRADE AT THE REAR PROPERTY LINE. THE AVERAGE HEIGHT OF OTHER PRINCIPAL BUILDINGS ON THE BLOCK FACE IS APPROXIMATELY 30' ABOVE THE CITY SIDEWALK. THE RIDGE OF THE PROPOSED ADU ROOF WOULD BE 4' BELOW THE RIDGE OF THE EXISTING RESIDENCE, AND 19'-18" BELOW THE ROOF LINES OF THE RESIDENCES TO THE EAST AND WEST. WHILE THE PROPOSED ADU HEIGHT FALLS WITHIN HEIGHT LIMITS ALLOWED BY THE ADU ORDINANCE, IT EXCEEDS THE 14' HEIGHT ALLOWED FOR TRADITIONAL ACCESSORY STRUCTURES WITHIN THE AVENUES SR-1A ZONE. AS SUCH, THE PROPOSED PROJECT WILL REQUIRE A SPECIAL EXCEPTION FOR HEIGHT FROM THE HISTORIC LANDMARK COMMISSION.

THE PROPOSED ADU CONTRIBUTES TO THE OBJECTIVE OF SALT LAKE CITY'S ADU ORDINANCE BY INCREASING PRIVATELY FUNDED HOUSING STOCK IN ALREADY-DEVELOPED URBAN NEIGHBORHOODS.

Drawing Sheet Index

assist
COMMUNITY DESIGN CENTER

Tel: 801.355.7085 | TTY: 711
218 East 500 South | Salt Lake City, UT 84111 | www.assistutah.org

NOT FOR
CONSTRUCTION

Revision Date

Project No: 20002

Date: 05.11.2021

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ASSIST Community Design Center

Title Sheet

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CODE REVIEW SUMMARY

BUILDING CODE SUMMARY		BUILDING REQUIREMENTS	
THE FOLLOWING CONSTRUCTION & LIFE SAFETY CODES WERE USED AS BASIS OF DESIGN:		ACTUAL	REQ/ALLOW
2018 INTERNATIONAL RESIDENTIAL CODE WITH UTAH STATEWIDE AMENDMENTS EFFECTIVE JULY 1, 2019		OCCUPANCY: 2	
GROUND SNOW LOAD: 30PSF		CONSTRUCTION TYPE: WOOD ST.	
WIND SPEED: 115 MPH EXPOSURE C		STRUCTURAL FRAME: 0-HR	1-HR
SEISMIC DESIGN: D2		BEARING WALL, EXT. 0-HR	1-HR
FROST DEPTH: 30 INCHES		BEARING WALL, INT. 0-HR	
RAIN FALL RATE: 1.3 IN/HR		NON-BEARING WALL, EXT. 0-HR	
		NON-BEARING WALL, INT. 0-HR	
		FLOOR 0-HR	
		ROOF 0-HR	
BUILDING DATA:		ZONING REQUIREMENTS	
OCCUPANCY: SINGLE FAMILY RESIDENTIAL		THE PROPERTY IS LOCATED IN AN SR-1A RESIDENTIAL ZONE; APPLICABLE DEVELOPMENT STANDARDS ARE OUTLINED BELOW:	
FIRE SPRINKLER: NO, AS ALLOWED BY UTAH AMENDMENTS TO IRC			
FLOOD HAZARD AREA: NO			
BUILDING AREA:		ACTUAL	REQ/ALLOW
FLOOR	AREA		REF
1ST FLOOR	479 SQFT (GARAGE FOOTPRINT)	FRONT 18'-6"	PER SITE PLAN
2ND FLOOR	521 SQFT	REAR 24'-0"	PER SITE PLAN
DECK & STAIRS	126 SQFT		
TOTAL	1,126 SQFT		
ADU BUILDING HEIGHT: 23'-10" (FROM EXISTING SLOPED GRADE)			
DEVELOPMENT SUMMARY:			
LOT AREA:	6806 SQFT		
EXISTING RESIDENCE FOOTPRINT:	1300 SQFT (PRINCIPAL BUILDING)		
EXISTING RESIDENCE (2 LEVELS):	2542 SQFT		
CURRENT LCR:	.191		
PROPOSED ADU/GARAGE FOOTPRINT:	479 SF		
PROPOSED ADU AREA:	647 SF		
PROPOSED LCR:	.261		
EXISTING PARKING:	1 SPACE (OPEN)		
PROPOSED PARKING:	2 SPACES (GARAGE)		
		EXISTING BUILDING HEIGHT:	
		FRONT 18'-6"	PER SITE PLAN
		REAR 24'-0"	PER SITE PLAN
		EXISTING SITE GRADE:	
		FRONT 100'-0"	PER SITE PLAN
		REAR 87'-6"	PER SITE PLAN
		SETBACKS & HEIGHT ADU:	
		FRONT YARD 111'-7"	10'-0" ADU GUIDE
		REAR YARD 10'-0"	4'-0" / PROPERTY ADU GUIDE
		SIDE YARD 10'-0"	10'-0" / PROPERTY ADU GUIDE
		HEIGHT 23'-10"	UNDER 24' ADU GUIDE
		OFF-STREET/COVER PARK: 2	1 REQ'D ADU GUIDE
		SPECIAL INSPECTION REQUIREMENTS	
		THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING ALL SPECIAL INSPECTIONS AND FOR PROVIDING THE RESULTS OF SUCH INSPECTIONS TO SALT LAKE CITY.	

ABBREVIATIONS

&	AND	DEG	DEGREE	ID	INSIDE DIAMETER	RAD	RADIUS
L	ANGLE	DEMO	DEMOLISH	INCL	INCLUDE OR INCLUDED	RCP	REFLECTED CEILING PLAN
@	AT	DIM	DIMENSION	INSUL	INSULATION	REF	REFERENCE
⊕	CENTERLINE	DN	DOWN	INT	INTERIOR	REINF	REINFORCE
∅	DIAMETER OR ROUND	DR	DOOR	LAV	LAVATORY	REQ'D	REQUIRED
#	POUND OR NUMBER	DTL	DETAIL	LF	LINEAR FEET	S	SOUTH
A/C	AIR CONDITIONING	DW	DISHWASHER	MAX	MAXIMUM	SCHED	SCHEDULE
ADJ	ADJUSTABLE	DWG	DRAWING	MECH	MECHANICAL	SECT	SECTION
AFF	ABOVE FINISHED FLOOR	EA	EACH	MFR	MANUFACTURER	SF	SQUARE FOOT
ALT	ALTERNATE	ELEC	ELECTRICAL	MIN	MINIMUM	SHT	SHEET
ALUM	ALUMINUM	ELEV	ELEVATOR	MISC	MISCELLANEOUS	SIM	SIMILAR
APC	ACOUSTIC PANEL CEILING	EQ	EQUAL	MTRL	MATERIAL	SPEC	SPECIFICATION
APPROX	APPROXIMATE	EQUIP	EQUIPMENT	N	NORTH	SS	STAINLESS STEEL
ARCH	ARCHITECTURAL	EXIST	EXISTING	N/A	NOT APPLICABLE	SYM	SYMMETRICAL
ASPH	ASPHALT	EXT	EXTERIOR	NIC	NOT IN CONTRACT	T&G	TONGUE AND GROOVE
BITUM	BITUMINOUS	FE	FIRE EXTINGUISHER	NO	NUMBER	T.O.	TOP OF...
BLDG	BUILDING	FF	FINISHED FLOOR	NTS	NOT TO SCALE	TV	TELEVISION
BLKG	BLOCKING	FT	FOOT OR FEET	OC	ON CENTER	TYP	TYPICAL
BRG	BEARING	FTG	FOOTING	OD	OUTSIDE DIAMETER	VIF	VERIFY IN FIELD
BSMT	BASEMENT	FURR	FURRING	OFCI	OWNER-FURNISHED, CONTRACTOR-INSTALLED	VERT	VERTICAL
CEM	CEMENT	GA	GAUGE	OH	OVERHEAD	VEST	VESTIBULE
CF	CUBIC FOOT	GALV	GALVANIZED	PCF	POUNDS / CUBIC FOOT	W	WEST
CIPC	CAST-IN-PLACE CONCRETE	GC	GENERAL CONTRACTOR	PERP	PERPENDICULAR	W/	WITH
CJ	CONTROL JOINT	GEN	GENERAL	PL	PLATE	WB	WEATHER BARRIER
CLG	CEILING	GND	GROUND	PLYWD	PLYWOOD	WC	WATER CLOSET
CMU	CONCRETE MASONRY UNIT	GWB	GYPSON WALL BOARD	PNT	PAIN	WD	WOOD
CONC	CONCRETE	HDWD	HARDWOOD	PL	PLATE	WH	WATER HEATER
CONSTR	CONSTRUCTION	HORIZ	HORIZONTAL	PVC	POLYVINYL CHLORIDE	WO	WITHOUT
CONT	CONTINUOUS	HSS	HOLLOW STEEL SECTION			WP	WATERPROOF
CT	CERAMIC TILE	HTG	HEATING			WWM	WELDED WIRE MESH
CY	CUBIC YARD						

REFERENCE SYMBOLS

	DETAIL NUMBER
	SHEET NUMBER
	BUILDING SECTION
	DETAIL REFERENCE
	DETAIL CALLOUT
	INTERIOR ELEVATION
	KEY NOTE
	GRID LINE
	EXISTING LEVEL
	NEW LEVEL
	SPOT ELEVATION

	CUT LINE
	DOOR NUMBER
	WINDOW TYPE
	ROOM NAME / NUMBER
	CEILING HEIGHT
	WALL TYPE
	NORTH ARROW
	PHOTO KEY
	IMPORTANT TO NOTICE
	REVISION / ADDENDUM

MATERIAL SYMBOLS

	EARTH
	GRANULAR FILL
	CONCRETE
	FACE BRICK
	STEEL
	WOOD
	CONTINUOUS DIMENSION LUMBER
	NON-CONTINUOUS BLOCKING
	BATT INSULATION
	RIGID INSULATION
	SPRAY FOAM INSULATION
	PLYWOOD
	STONE

Accessory Dwelling Unit

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COMMUNITY DESIGN CENTER

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Revision _____ Date _____

Project No: 20002

Date: 05.11.2021

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Symbols & Abbreviations

GO.1



D1 Rear Yard - Existing
G0.2 1/4" = 1'-0"



D8 Southeast Perspective - Proposed
G0.2 1/4" = 1'-0"



H1 Alley View - Existing
G0.2 1/4" = 1'-0"



H8 Southwest Perspective - Proposed
G0.2 1/4" = 1'-0"



K1 Third Avenue Street View - Existing
G0.2 1/4" = 1'-0"



K8 Northwest Perspective - Proposed
G0.2 1/4" = 1'-0"

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Existing Site Images & Proposed Renderings

G0.2



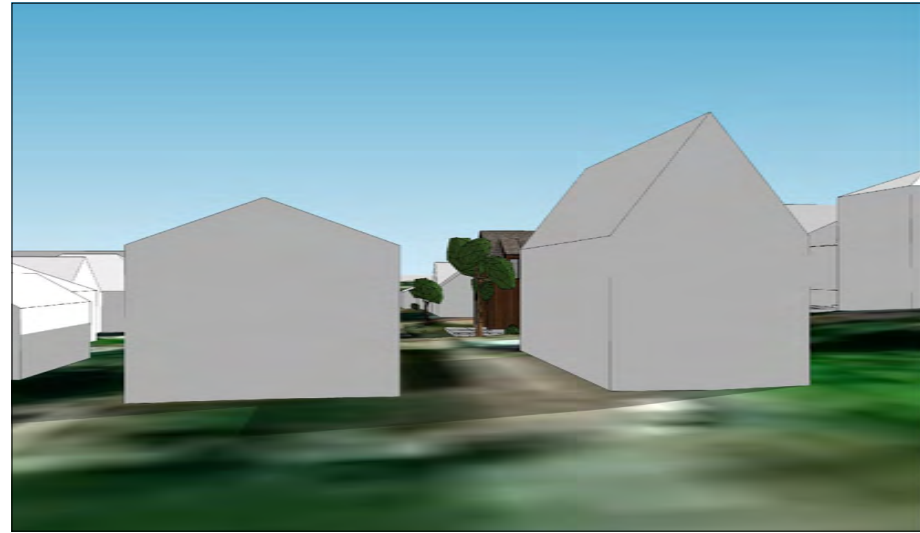
D1 Northeast Bird's-eye View - Proposed

G0.3 1/4" = 1'-0"



D8 Northwest Bird's-eye View - Proposed

G0.3 1/4" = 1'-0"



H1 East Alley Entrance Perspective - Proposed

G0.3 1/4" = 1'-0"



H8 West Alley Entrance Perspective - Proposed

G0.3 1/4" = 1'-0"



K1 Alley Carriage House - Existing

G0.3 1/4" = 1'-0"



K8 Third Avenue Street View - Proposed

G0.3 1/4" = 1'-0"

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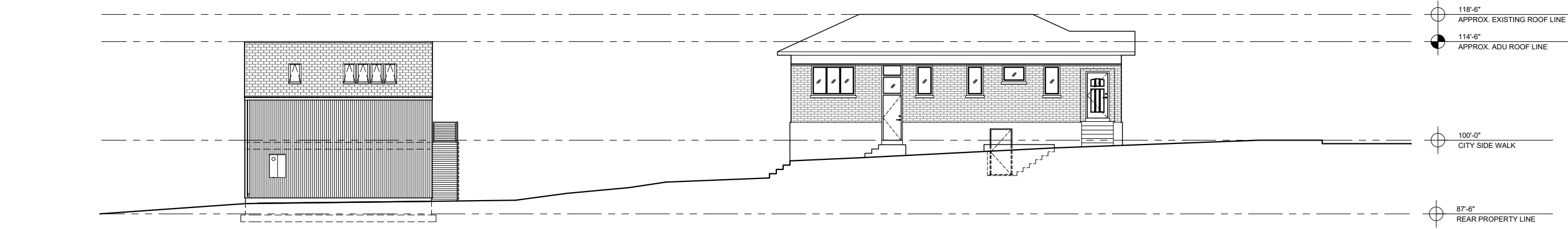
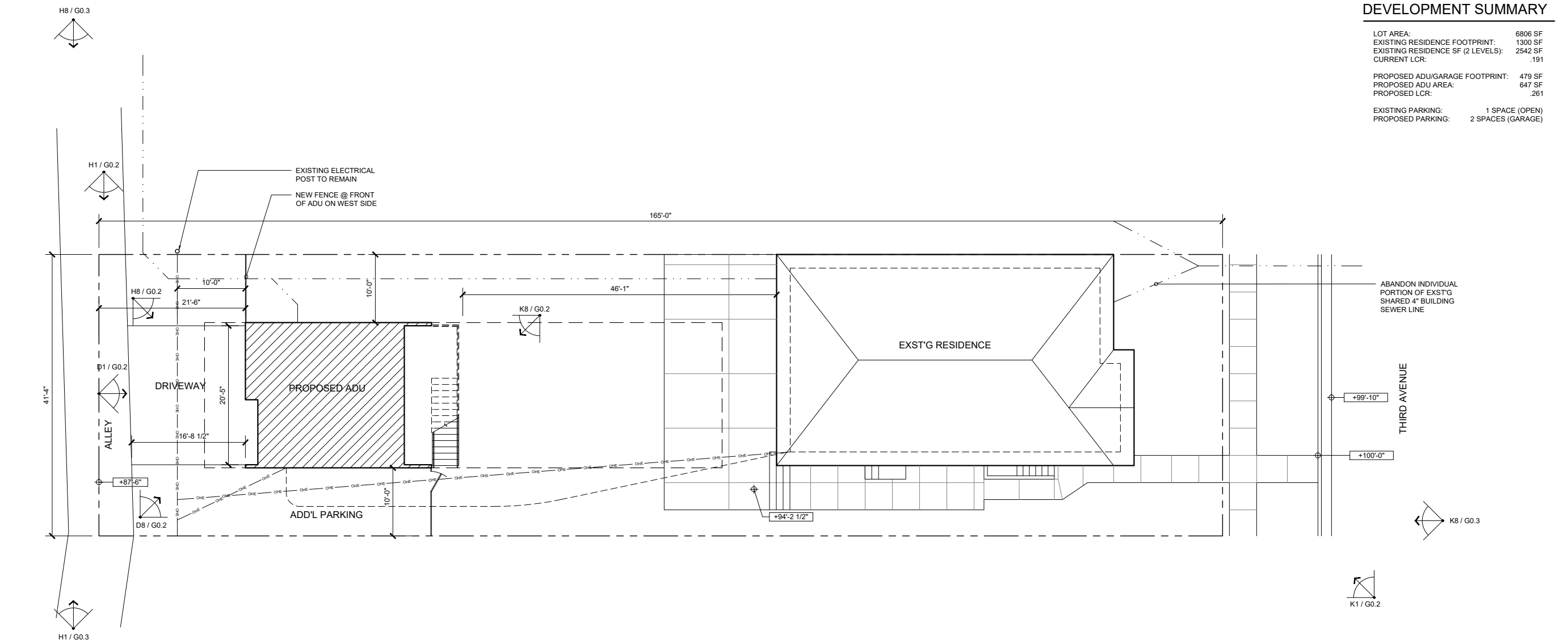
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Neighborhood Context
Renderings

G0.3

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

A
B
C
D
E
F
G
H
I
J
K



DEVELOPMENT SUMMARY

LOT AREA: 6806 SF
 EXISTING RESIDENCE FOOTPRINT: 1300 SF
 EXISTING RESIDENCE SF (2 LEVELS): 2542 SF
 CURRENT LCR: .191
 PROPOSED ADU/GARAGE FOOTPRINT: 479 SF
 PROPOSED ADU AREA: 647 SF
 PROPOSED LCR: .261
 EXISTING PARKING: 1 SPACE (OPEN)
 PROPOSED PARKING: 2 SPACES (GARAGE)

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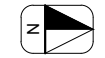
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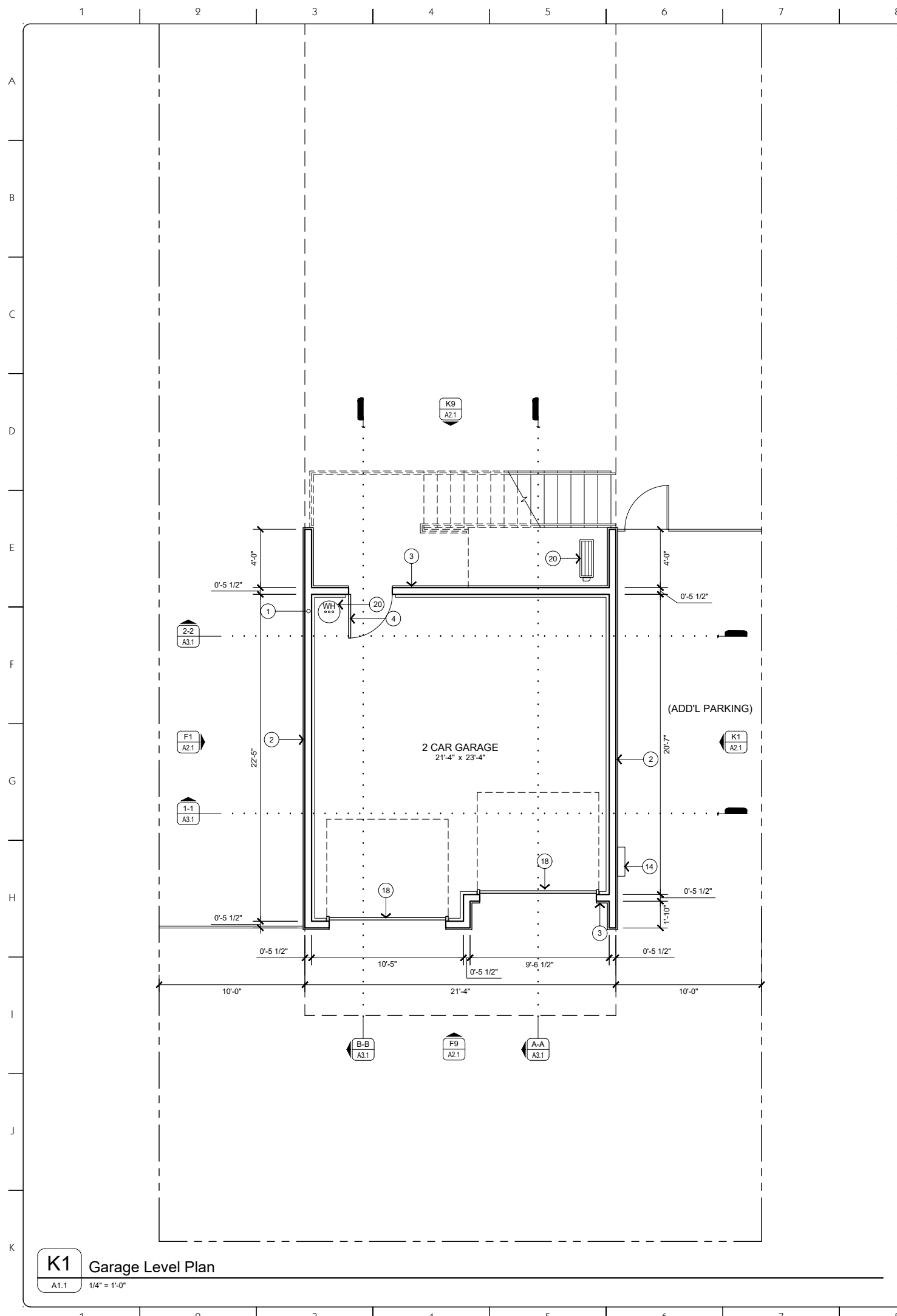
Site Plan

K1 Site Plan - 1076 East Third Avenue
 C1.1 1/8" = 1'-0"

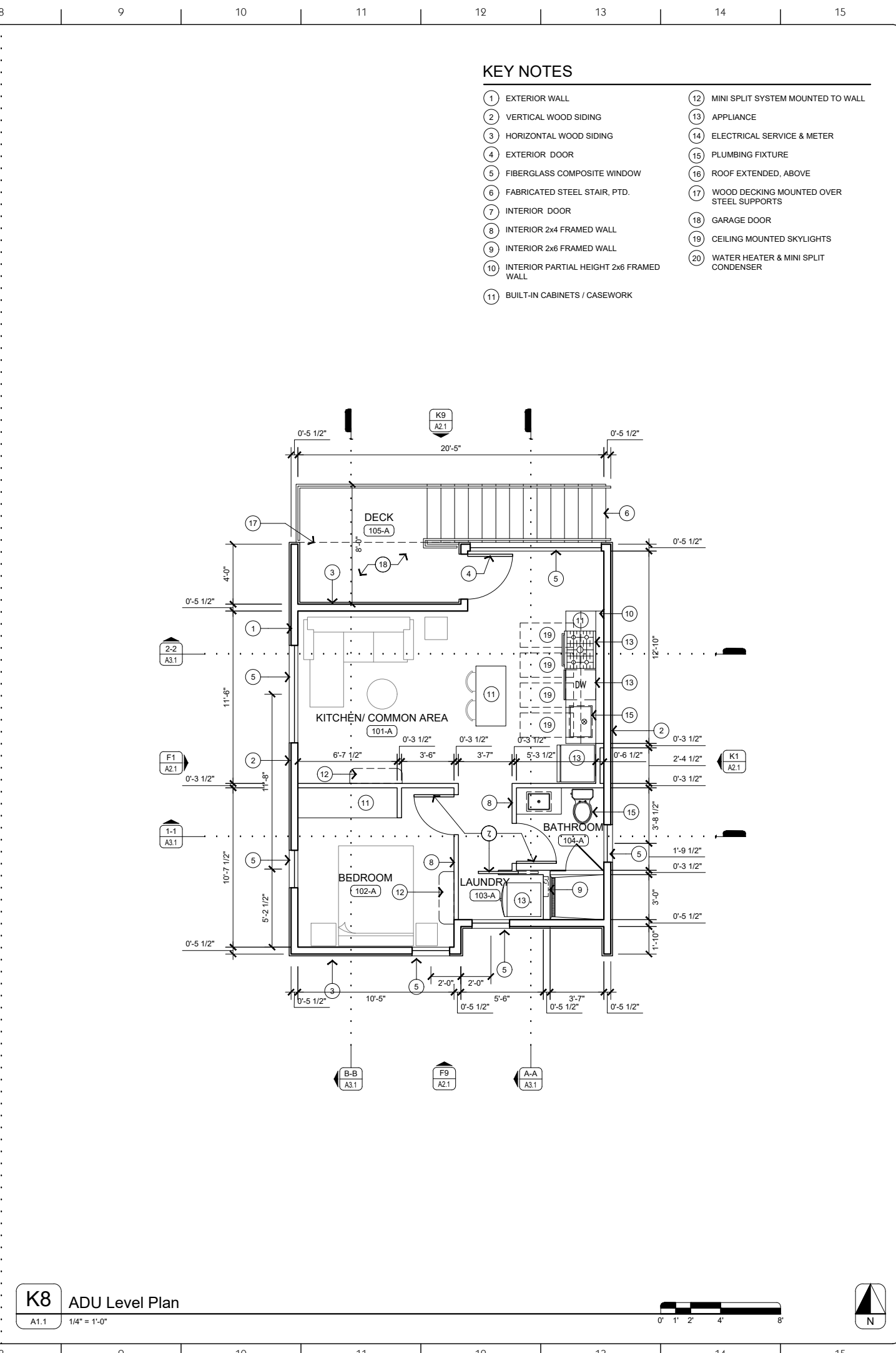


1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

C1.1



K1 Garage Level Plan
A1.1 1/4" = 1'-0"



K8 ADU Level Plan
A1.1 1/4" = 1'-0"

KEY NOTES

- | | |
|--|---|
| 1 EXTERIOR WALL | 12 MINI SPLIT SYSTEM MOUNTED TO WALL |
| 2 VERTICAL WOOD SIDING | 13 APPLIANCE |
| 3 HORIZONTAL WOOD SIDING | 14 ELECTRICAL SERVICE & METER |
| 4 EXTERIOR DOOR | 15 PLUMBING FIXTURE |
| 5 FIBERGLASS COMPOSITE WINDOW | 16 ROOF EXTENDED, ABOVE |
| 6 FABRICATED STEEL STAIR, PTD. | 17 WOOD DECKING MOUNTED OVER STEEL SUPPORTS |
| 7 INTERIOR DOOR | 18 GARAGE DOOR |
| 8 INTERIOR 2x4 FRAMED WALL | 19 CEILING MOUNTED SKYLIGHTS |
| 9 INTERIOR 2x6 FRAMED WALL | 20 WATER HEATER & MINI SPLIT CONDENSER |
| 10 INTERIOR PARTIAL HEIGHT 2x6 FRAMED WALL | |
| 11 BUILT-IN CABINETS / CASEWORK | |

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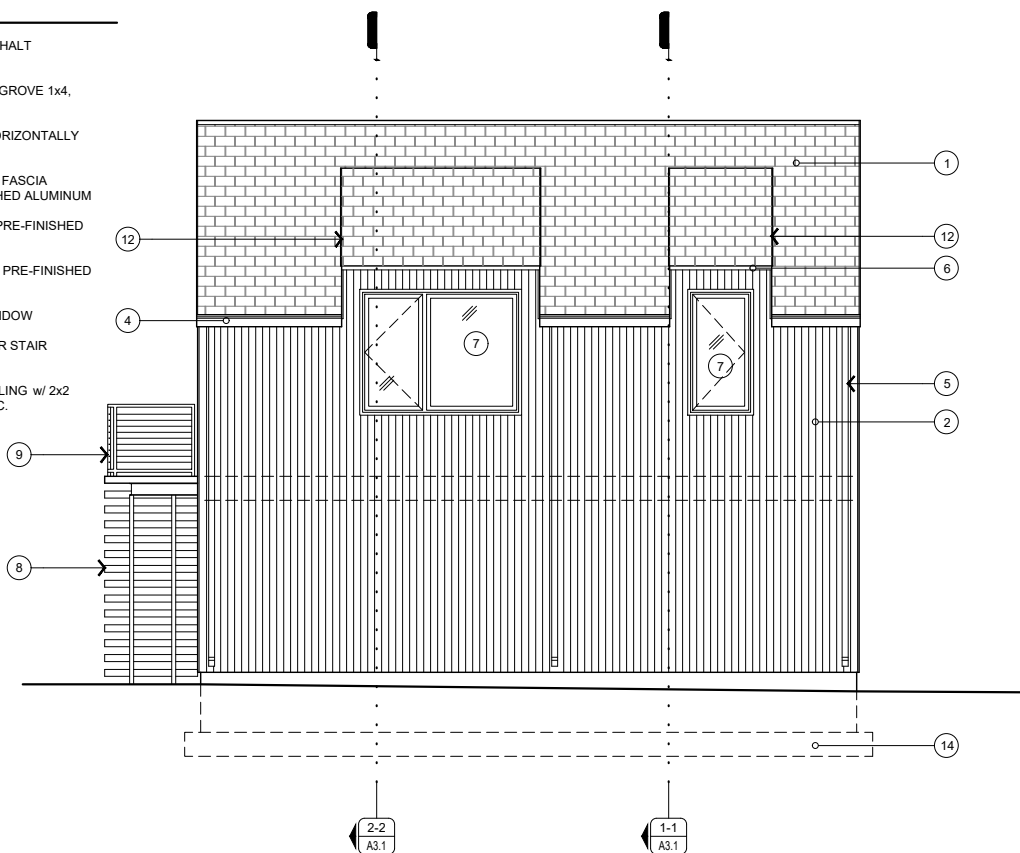
Proposed Plan

A1.1

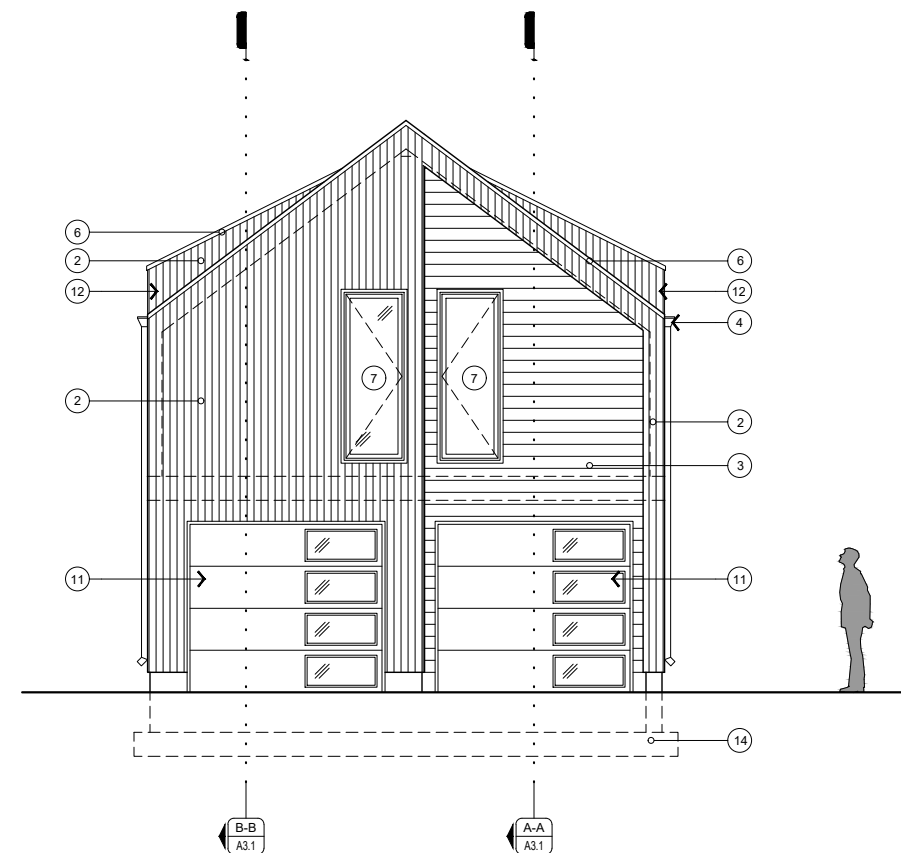
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

KEY NOTES

- ① ARCHITECTURAL GRADE ASPHALT SHINGLES
- ② WOOD SIDING, TONGUE AND GROVE 1x4, VERTICALLY ORIENTED
- ③ WOOD SIDING, 6" REVEAL, HORIZONTALLY ORIENTED
- ④ RAIN GUTTER, WIDE BOTTOM FASCIA GUTTER PROFILE, PRE-FINISHED ALUMINUM
- ⑤ RAIN GUTTER DOWNSPOUT, PRE-FINISHED ALUMINUM
- ⑥ ROOF DRIP EDGE FLASHING, PRE-FINISHED ALUMINUM
- ⑦ FIBERGLASS COMPOSITE WINDOW
- ⑧ FABRICATED STEEL EXTERIOR STAIR w/ WOOD TREADS, PTD.
- ⑨ STAINLESS STEEL CABLE RAILING w/ 2x2 PTD. STEEL POSTS @ 4'-0" O.C.
- ⑩ ELECTRIC METER / MAIN
- ⑪ GARAGE DOOR
- ⑫ ROOF DORMER
- ⑬ ROOF MOUNTED SKYLIGHTS
- ⑭ FOUNDATION FOOTINGS
- ⑮ EXTERIOR DOOR

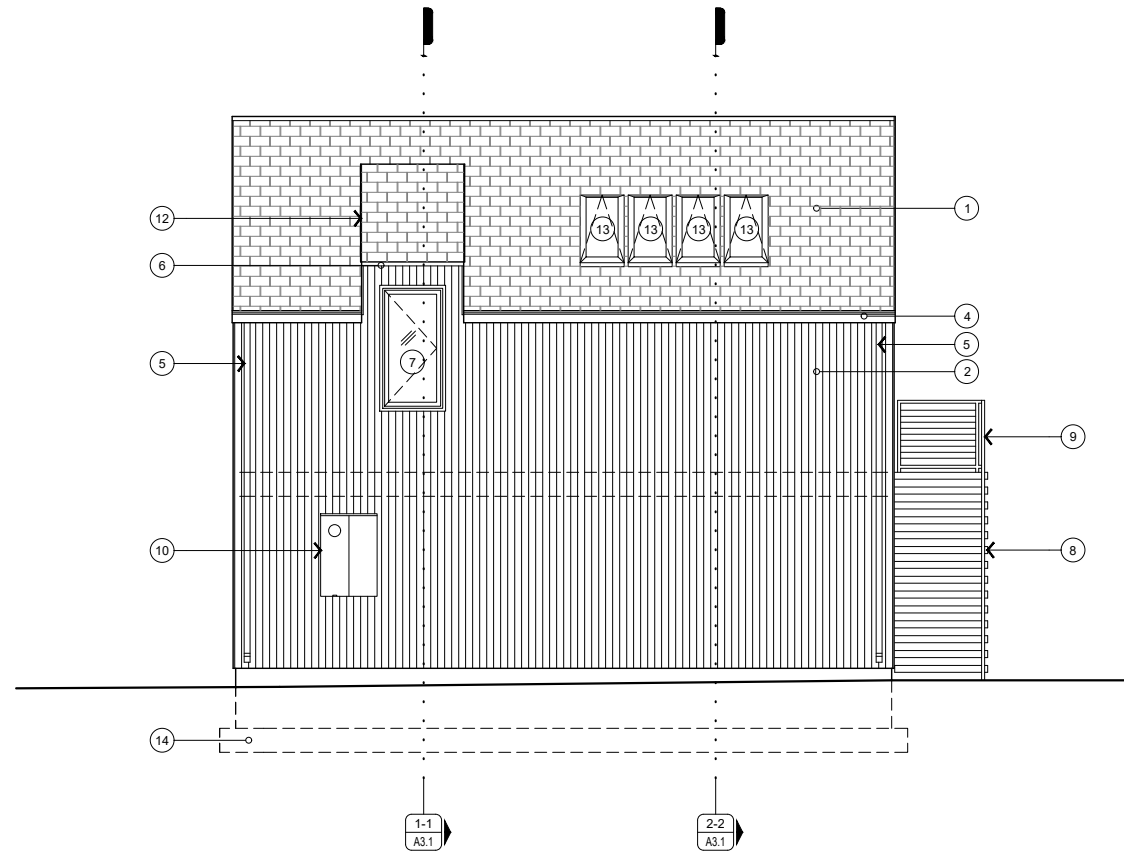


F1 West Elevation
A2.1 1/4" = 1'-0"

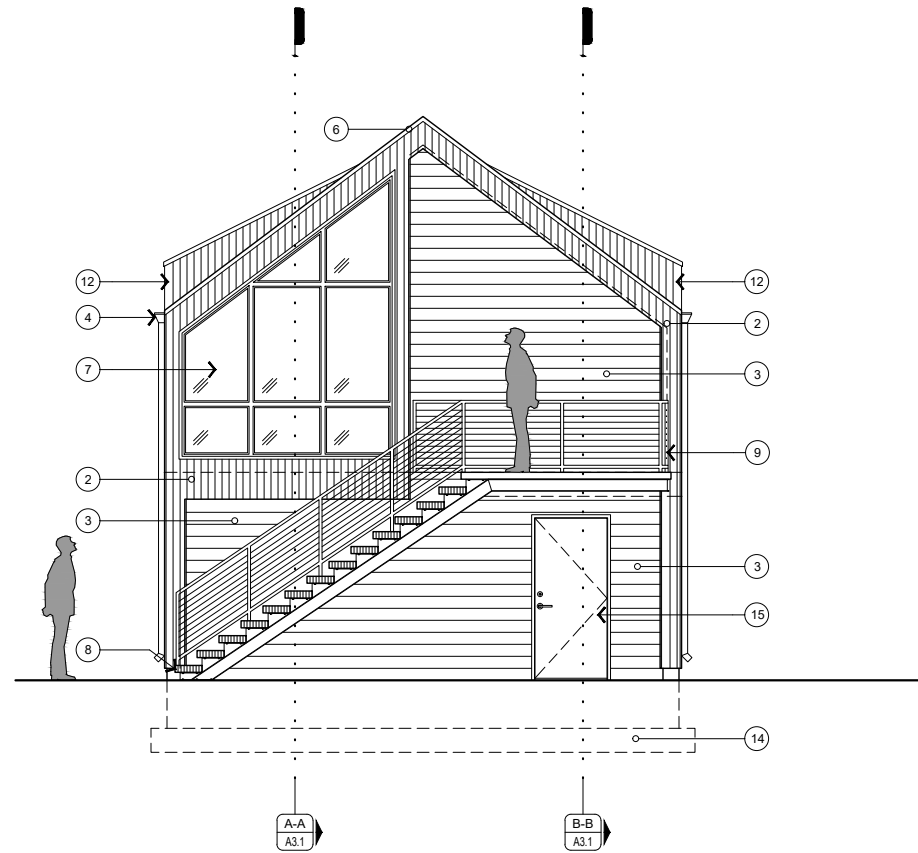


F9 South Elevation
A2.1 1/4" = 1'-0"

- 123'-9 7/8" T.O. RIDGE
- 117'-9 3/16" T.O. SHED ROOF @ EXT. WALL
- 109'-0 1/2" ADU FINISHED FLOOR
- 100'-0" T.O.S. GARAGE (@ ENTRY)
- 97'-4" B.O. FOOTING

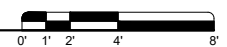


K1 East Elevation
A2.1 1/4" = 1'-0"



K9 North Elevation
A2.1 1/4" = 1'-0"

- 123'-9 7/8" T.O. RIDGE
- 117'-9 3/16" T.O. SHED ROOF @ EXT. WALL
- 109'-0" T.O. DECK
- 100'-4" T.O.S. GARAGE (@ REAR)
- 97'-4" B.O. FOOTING



Accessory Dwelling Unit

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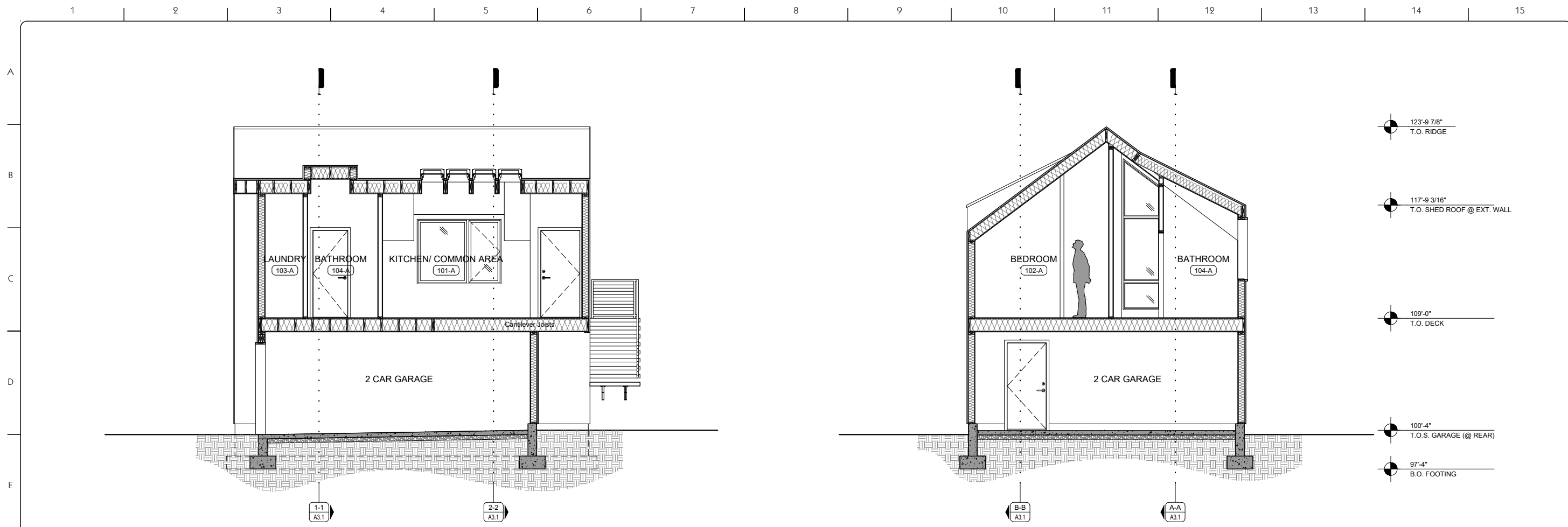
Revision	Date

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Exterior Elevations

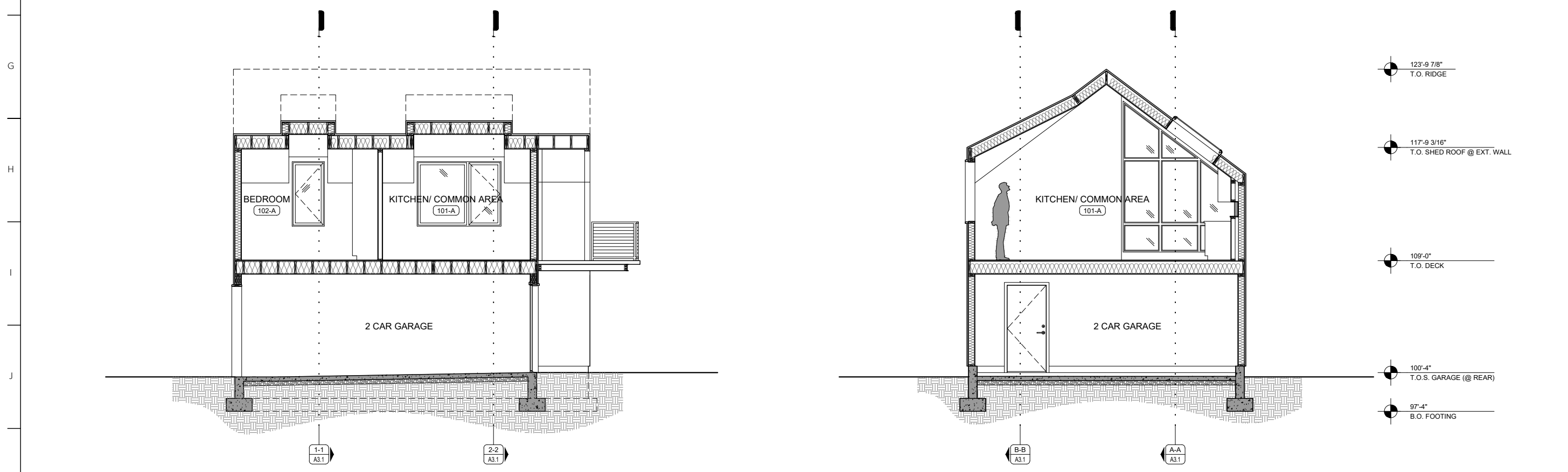
A2.1

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15



A-A Kitchen / Laundry / Bath Section A-A
 A3.1 1/4" = 1'-0"

1-1 Bed / Bath Section 1-1
 A3.1 1/4" = 1'-0"



B-B Living / Bed Section B-B
 A3.1 1/4" = 1'-0"

2-2 Kitchen / Living Section 2-2
 A3.1 1/4" = 1'-0"

Accessory Dwelling Unit

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Building Sections

A3.1



HP: Minor Alterations

SALT LAKE CITY PLANNING

OFFICE USE ONLY

Project #:	Received By:	Date Received:	Zoning:
------------	--------------	----------------	---------

Project Name:

PLEASE PROVIDE THE FOLLOWING INFORMATION

Request:

Address of Subject Property:

Name of Applicant:	Phone:
--------------------	--------

Address of Applicant:

E-mail of Applicant:	Cell/Fax:
----------------------	-----------

Applicant's Interest in Subject Property:

Owner Contractor Architect Other:

Name of Property Owner (if different from applicant):

E-mail of Property Owner:	Phone:
---------------------------	--------

➔ **Please note** that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

AVAILABLE CONSULTATION

➔ Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

WHERE TO FILE THE COMPLETE APPLICATION

<i>Mailing Address:</i>	Planning Counter PO Box 145471 Salt Lake City, UT 84114	<i>In Person:</i>	Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
-------------------------	---	-------------------	---

SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:	Date:
------------------------------	-------

SUBMITTAL REQUIREMENTS

Staff Review

- | | | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | 1. Project Description (please attach additional sheet) |
| <input type="checkbox"/> | <input type="checkbox"/> | Written description of your proposal |
| <input type="checkbox"/> | | 2. Drawings to Scale |
| <input type="checkbox"/> | <input type="checkbox"/> | One paper copy (24" x 36") |
| <input type="checkbox"/> | <input type="checkbox"/> | A digital (PDF) copy |
| <input type="checkbox"/> | <input type="checkbox"/> | One 11 x 17 inch reduced copy of each of the following |
| <input type="checkbox"/> | | a. Site Plan |
| <input type="checkbox"/> | <input type="checkbox"/> | Site plan with dimensions, property lines, north arrow, existing and proposed building locations on the property. (see <i>Site Plan Requirements</i> flyer for further details) |
| <input type="checkbox"/> | | b. Elevation Drawing |
| <input type="checkbox"/> | <input type="checkbox"/> | Detailed elevation, sections and profile drawings with dimensions drawn to scale of the area of change |
| <input type="checkbox"/> | <input type="checkbox"/> | Show section drawings of windows, doors, railings, posts, porches, etc. if proposed also show type of construction where applicable. |
| <input type="checkbox"/> | | 3. Photographs |
| <input type="checkbox"/> | <input type="checkbox"/> | Historic photographs of existing building/s (if available) |
| <input type="checkbox"/> | <input type="checkbox"/> | Current photographs of each side of the building |
| <input type="checkbox"/> | <input type="checkbox"/> | Close up images of details that are proposed to be altered |
| <input type="checkbox"/> | | 4. Materials |
| <input type="checkbox"/> | <input type="checkbox"/> | List of proposed materials |
| <input type="checkbox"/> | <input type="checkbox"/> | Provide samples and/or manufactures brochures were applicable |

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

_____ I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.



Special Exception NOTICE OF APPLICATION

SALT LAKE CITY PLANNING

Planning Commission

Historic Landmark Commission

OFFICE USE ONLY

Project #:	Received By:	Date Received:	Zoning:

Project Name:

PLEASE PROVIDE THE FOLLOWING INFORMATION

Type of Special Exception Requested:
Accessory Structure Height (ADU)

Address of Subject Property:
1076 East 3rd Avenue

Name of Applicant:
ASSIST Inc / Jason Wheeler, AIA

Phone:
801.355.7085

Address of Applicant:
218 East 500 South, Salt Lake City, UT 84111

E-mail of Applicant:
jwheeler@assistutah.org

Cell/Fax:
217.766.5714

Applicant's Interest in Subject Property:

Owner Contractor Architect Other:

Name of Property Owner (if different from applicant):
Paul Murphy

E-mail of Property Owner:
pcmurf@gmail.com

Phone:
801.971.7247

Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

WHERE TO FILE THE COMPLETE APPLICATION

Apply online through the [Citizen Access Portal](#). There is a [step-by-step guide](#) to learn how to submit online.

REQUIRED FEE

Filing fee of **\$265**, plus additional cost of postage for mailing notice to abutting property owners and tenants

SIGNATURE

If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:

Date:

05.11.2021

SUBMITTAL REQUIREMENTS

Staff Review

- | | | |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 1. Project Description (please electronically attach additional sheets)
Written description of your proposal and special exception you are requesting; with how the proposal meets the requirements in the list of standards found in Section <u>21A.52</u> of the ordinance (or Section <u>21A.06.050</u> if in the local historic district or landmark site). |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 2. Minimum Plan Requirements
A digital (PDF) copy of each plan and elevation drawing |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 3. Site Plan
Site plan (see <u>Site Plan Requirements</u> flyer for further details) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 4. Elevation Drawing (if applicable)
Detailed elevation, sections and profile drawings with dimensions drawn to scale |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Type of construction and list the primary exterior construction materials |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Number, size, and type of dwelling units in each building, and the overall dwelling unit density |

AVAILABLE CONSULTATION

- ➔ Planners are available for consultation prior to submitting this application. Please email zoning@slcgov.com if you have any questions regarding the requirements of this application.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

- jww I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.



May 11, 2021

Nelson Knight
Senior Planner
Planning Division
Department of Community & Neighborhoods
451 South State Street
Salt Lake City, UT 84111

Dear Mr. Knight

The Murphy ADU is a proposed accessory dwelling unit to be located at 1076 East Third Avenue in the Avenues historic district in Salt Lake City, Utah. The proposed ADU will be a new two-story structure located in the rear yard of an existing single-family residence. The structure will include a main-level garage, with exterior stairs accessing a second-level dwelling unit.

Located on the south side of Third Avenue, between "R" and "S" Streets, the parcel is currently zoned SR-1A, with accessory dwelling units being a "permitted" use. The existing residence on the parcel was built in 1924 in a bungalow style, similar to many others throughout the Avenues. Main floor area of the existing residence is 1164 sf finished (1330 sf footprint), with an additional 1150 sf in a finished, walk-out basement. The parcel slopes significantly from north to south, losing 12'-6" in elevation from the high point on the north to the low point on the south. The existing residence at 1076 East is the only single-story structure facing Third Avenue between "R" and "S" streets; all adjacent residences are 2+ stories, with walk-out basements facing south.

The parcel is bordered to the south by a public alley, which is used to access off-street parking for the residences located on both Second and Third Avenues. Six existing accessory buildings are currently located along the alley, an eclectic mix of detached garages, historic carriage houses, and second-story studios. The proposed Murphy ADU has been designed to complement the forms and massing of the existing accessory structures, while incorporating a material palette of narrow vertical wood siding and horizontal wood shiplap siding, both of which complement existing historic structures in the Avenues. The garage and ADU have further been designed to meet existing zoning standards for both the Avenues historic district and Salt Lake City's ADU ordinance: the main-level garage is 480 sf, meeting the Avenues' 480 sf bulk footprint requirement. The second story ADU is 648 sf (including the stairs and porch), within the allowable 650 sf (and less than 50% of existing footprint) maximum.

Total height of the proposed ADU is 23'-10" to top of ridge, below the 24' height limit for pitched roofs as allowed by Salt Lake City's ADU ordinance. The existing residence, when measured from the north, has a ridge line at approximately 18'-6" above the city sidewalk. When measured from the south side, the ridge of the existing residence is approximately 24' above the adjacent grade, and 28' above the grade at the rear property line. The average height of other principal buildings on the block face is approximately 30' above the city sidewalk.

The ridge of the proposed ADU roof would be 4' below the ridge of the existing residence, and 12'-18' below the roof lines of the residences to the east and west. While the proposed ADU height falls within height limits allowed by the ADU ordinance, it exceeds the 14' height allowed for traditional accessory structures within the Avenues SR-1A zone. As such, the proposed project will require a special exception for height from the historic landmark commission.

The proposed ADU contributes to the objective of Salt Lake City's ADU ordinance by increasing privately funded housing stock in already-developed urban neighborhoods.

Sincerely,



Jason Wheeler, AIA
Executive Director

ATTACHMENT E: ZONING STANDARDS FOR ADU'S

21A.40.200 – Accessory Dwelling Units

Standard	Proposed	Findings
<p>Size <i>An ADU shall not have a footprint that is greater than fifty percent (50%) of the footprint of the principal dwelling and shall not exceed six hundred fifty (650) square feet (SF).</i></p>	<p>Principal dwelling is approximately 1,300 SF.</p> <p>Fifty percent (50%) of principal dwelling equals approximately 650 SF.</p> <p>Proposed ADU: approx. 521 SF Deck & Stairs: approx. 126 SF Total: approximately 647 SF</p>	<p>Complies</p>
<p>Maximum Coverage <i>The surface coverage of all principal and accessory buildings shall not exceed forty percent (40%) of the lot.</i></p> <p><i>[Rear] Yard Coverage: In residential districts, any portion of an accessory building, excluding hoop houses, greenhouses, and cold frames associated solely with growing food and/or plants, shall occupy not more than fifty percent (50%) of the total area located between the rear façade of the principal building and the rear lot line.</i></p> <p><i>The maximum footprint for a primary accessory structure within the SR-1A is limited to four hundred eighty (480) square feet</i></p>	<p>Lot size is approximately 6,806 SF.</p> <p>Forty percent (40%) of the lot is approximately 2,722 SF.</p> <p>Primary Dwelling: 1,300 SF Proposed Footprint: 479 SF Total Coverage: 1,779 SF</p> <p>The surface coverage of all principal and accessory buildings (including the proposed garage/ADU) is approximately 26% of the lot.</p> <p>Rear yard area: 3919 SF Proposed footprint: 479 SF Rear Yard Coverage: 12%</p>	<p>Complies</p>
<p>Building Height <i>Exception: If the single family dwelling on the property is over seventeen feet (17') in height, an accessory building containing an accessory dwelling unit may be equal to the height of the single family dwelling up to a maximum building height of twenty four feet (24') for an accessory building with a pitched roof or twenty feet (20') for an accessory building with a flat roof provided the accessory building is set back a minimum of ten feet (10') from a side or rear property line. The setback for additional height may be reduced to four feet (4') if the side or rear lot line is adjacent to an alley.</i></p>	<p>Height of proposed ADU is approximately 23'-10".</p> <p>The primary dwelling is approximately 23' from grade when measured at its highest point.</p>	<p>Does Not Comply – Applicant has applied for a special exception for this requirement.</p>
<p>Side or Rear Yard Setbacks <i>[for height exception]</i></p>	<p>Side [west] Lot Setback: 10'-0" Side [east] Lot Setback: 10'-0" Rear [south] Lot Setback: 21'-6"</p>	<p>Complies</p>

<p><i>Required side yard setbacks: 10 feet</i> <i>Required rear yard setback: 10 feet</i></p>		
<p>Separation <i>All ADUs [located in an accessory building] shall be located a minimum of ten feet (10') from the single family dwelling located on the same parcel and any single family dwelling on an adjacent property.</i></p>	<p>The proposed garage/ADU is approximately 46'-1" from the principal dwelling on the same parcel.</p> <p>The nearest single-family dwelling on an adjacent property is approximately 35+ feet away from the proposed garage/ADU.</p>	<p>Complies</p>
<p>Entrance Locations <i>The entrance to an ADU in an accessory building shall be located:</i></p> <p>(1) <i>Facing an alley, public street or facing the rear facade of the single family dwelling on the same property.</i></p>	<p>The entrance for the proposed ADU faces north, toward the rear facade of the existing single-family dwelling.</p>	<p>Complies</p>
<p>Requirement for Windows <i>Windows on an accessory building containing an ADU shall comply with the following standards:</i></p> <p>(1) <i>Windows shall be no larger than necessary to comply with the minimum Building Code requirements for egress where required.</i></p> <p>(2) <i>Skylights, clerestory windows, or obscured glazing shall be used when facing a side or rear property line to comply with minimum Building Code requirements for air and light on building elevations that are within ten feet (10') of a side or rear property line unless the side or rear property line is adjacent to an alley.</i></p> <p>(3) <i>Except as required in subsection E3g(1) of this section, windows shall maintain a similar dimension and design as the windows found on the principal structure.</i></p>	<p>There are windows located on the all four elevations.</p> <p>Windows are similar in dimension and design as the windows on the principal structure.</p>	<p>Complies</p>
<p>Parking <i>An ADU shall require a minimum of one on-site parking space.</i></p> <p><i>*This requirement may be waived if there is legal on street parking along the street frontage of the property OR if it's within ¼ mile of a transit stop.</i></p>	<p>The proposal provides one off-street parking space on a pad east of the proposed garage/ADU, with access from the alley at the rear of the property.</p>	<p>Complies</p>

ATTACHMENT F: ANALYSIS OF STANDARDS FOR SPECIAL EXCEPTION REQUESTS

21A.06.050(C) of the Zoning Ordinance authorizes the Historic Landmark Commission to review and approve or deny certain Special Exceptions for properties located within an H Historic Preservation Overlay District, including modifications to bulk and lot regulations of the underlying zoning district, where it is found that the underlying zoning would not be compatible with the historic district and/or landmark site. **For this proposal, Special Exception approval is being sought to permit the proposed Garage/ADU to exceed the maximum height allowed by base requirements of the ordinance.**

21A.52.020: Definition: A "special exception" is an activity or use incidental to or in addition to the principal use(s) permitted in a zoning district or an adjustment to a fixed dimension standard permitted as exceptions to the requirements of this title of less potential impact than a conditional use but which requires a careful review of such factors as location, design, configuration and/or impacts to determine the desirability of authorizing its establishment on any given site.

21A.52.060: General Standards and Considerations for Special Exceptions:

Standard	Analysis	Finding
<p>A. Compliance With Zoning Ordinance And District Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.</p>	<p>The proposed ADU contributes to the objective of Salt Lake City's ADU ordinance by increasing privately funded housing stock in already-developed urban neighborhoods.</p> <p>The main purpose of the height regulation is to ensure that the accessory structure remains subordinate to the principal structure. In this case, the principal structure on the lot is shorter than the surrounding buildings. Total height of the proposed ADU is 23'-10" to top of ridge. The existing residence, when measured from the north, has a ridge line at approximately 18'-6" above the city sidewalk. Measured at its highest point, the existing single family dwelling is approximately 23 feet from the grade. The average height of other principal buildings on the block face is approximately 30' above the city sidewalk.</p> <p>In addition, the topography of the site mitigates the effect of the additional height of the proposed garage/ADU. The ridge of the proposed ADU roof would be 4' below the ridge of the existing residence, and 12'-18' below the roof lines of the residences to the east and west.</p> <p>Staff finds that permitting an accessory structure with a height of 23'-10" will not result in a structure that overpowers the main home, or adversely impact the character of the street or nearby properties.</p>	<p>Complies</p>
<p>B. No Substantial Impairment Of Property Value: The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.</p>	<p>Staff finds that the proposed accessory structure is well designed, uses quality building materials, and is compatible with the surrounding properties within the neighborhood. There should be no negative impacts to property value in the area.</p>	<p>Complies</p>
<p>C. No Undue Adverse Impact: The</p>	<p>Staff finds that granting the Special Exceptions would</p>	<p>Complies</p>

<p>proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.</p>	<p>not have a material adverse effect upon the character of the area or public health, safety or general welfare.</p> <p>An accessory structure with a second story ADU may be the same height as the single family dwelling on the property, up to a maximum of 24 feet. The proposed building exceeds the height of the existing house on the lot (18'-6") and the maximum height of the structure as measured from grade. But it would otherwise comply with the total maximum height of 24 feet allowed for two story ADU structures when they include larger setbacks and other increased impact mitigation regulations beyond those required for a standard accessory structure.</p> <p>For example, the structure is proposed to have 10 foot setbacks on the east and west sides, and a 16 foot setback on the south side adjacent to the alley. A typical accessory structure is required to be placed a minimum of 1 foot (1') off rear and side property lines.</p> <p>Windows for the ADU would also be made with obscured glazing to provide privacy for ADU tenants and residents of adjacent properties.</p>	
<p>D. Compatible With Surrounding Development: The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.</p>	<p>As addressed above, the structure with the Special Exception would be constructed, arranged and operated in a manner that is compatible with nearby uses and development. Due to ADU regulations, the structure will have increased setback requirements so adjacent properties aren't negatively affected. In addition, Staff finds that the proposal meets the Standards for New Construction, which focus on ensuring compatibility with surrounding/existing development within the Local Historic Districts.</p>	<p>Complies</p>
<p>E. No Destruction Of Significant Features: The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.</p>	<p>Staff finds that the increased height of the accessory structure would not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.</p>	<p>Complies</p>
<p>F. No Material Pollution Of Environment: The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.</p>	<p>The Special Exception request involves relief from lot and bulk dimensional standards. There is no evidence showing that the proposal would cause material pollution of the environment.</p>	<p>Complies</p>
<p>G. Compliance With Standards: The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.</p>	<p>Staff finds that the project, as proposed, complies with all additional requirements/standards of the Zoning Ordinance, including those of the SR-1A district and H Historic Preservation Overlay zone.</p>	<p>Complies</p>

ATTACHMENT G: ANALYSIS OF STANDARDS FOR NEW CONSTRUCTION

H Historic Preservation Overlay District – Standards for Certificate of Appropriateness Involving New Construction (21A.34.020.H):

In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the Historic Landmark Commission, or Planning Director when the application involves the alteration of a noncontributing structure shall, using the adopted design guidelines as a key basis for evaluation, determine whether the project substantially complies with each of the following standards that pertain to the application to ensure that the proposed project fits into the established context in ways that respect and contribute to the evolution of Salt Lake City's architectural and cultural traditions:

Standard	Analysis	Finding
<p><u>1. Settlement Patterns and Neighborhood Character:</u></p> <p>a. Block And Street Patterns: The design of the project preserves and reflects the historic block, street, and alley patterns that give the district its unique character. Changes to the block and street pattern may be considered when advocated by an adopted City plan.</p>	<p>This proposal does not include the amendment of the existing block, street, or alley patterns.</p>	<p>Complies</p>
<p>b. Lot And Site Patterns: The design of the project preserves the pattern of lot and building site sizes that create the urban character of the historic context and the block face. Changes to the lot and site pattern may be considered when advocated by an adopted City plan.</p>	<p>This proposal does not include any changes to the existing lot, block, street or alley patterns.</p>	<p>Complies</p>
<p>c. The Public Realm: The project relates to adjacent streets and engages with sidewalks in a manner that reflects the character of the historic context and the block face. Projects should maintain the depth of yard and height of principal elevation of those existing on the block face in order to support consistency in the definition of public and semi-public spaces.</p>	<p>The proposed garage/ADU is not located adjacent streets or sidewalks, but is located along an existing private alley streetscape. This streetscape comprises seven accessory structures along both sides of the alley, open parking areas, fences, and the sides of two buildings, 118 R Street and 115 S Street, that abut the alley. They are primarily one story structures sited uniformly along the right of way. The proposed garage/ADU will be sited so that it maintains a consistent setback with the neighboring garages and fence lines along the alley.</p>	<p>Complies</p>
<p>d. Building Placement: Buildings are placed such that the project maintains and reflects the historic pattern of setbacks and building depth established within the historic context and the block face. Buildings should maintain the setback demonstrated by existing buildings of that type constructed in the district or site's period of significance.</p>	<p>The proposed garage/ADU will be sited at the rear of the lot, along the adjacent alley so that it maintains a consistent setback with the neighboring garages and fence lines along the alley. Only a portion of the accessory structure would be visible from R and S Streets.</p>	<p>Complies</p>

<p>e. Building Orientation: The building is designed such that principal entrances and pathways are oriented such that they address the street in the pattern established in the historic context and the block face.</p>	<p>The building massing and form is oriented in a manner consistent with the historic orientation of garages and outbuildings historically in the Avenues district. The principal garage entrance would be accessed the existing private alley and the ADU would be accessed via a concrete pathway and stairs and pathway from the alley, which would match existing approaches to adjacent properties.</p>	<p>Complies</p>
<p><u>2. Site Access, Parking, And Services:</u></p> <p>a. Site Access: The design of the project allows for site access that is similar, in form and function, with patterns common in the historic context and the block face.</p> <p>(1) Pedestrian: Safe pedestrian access is provided through architecturally highlighted entrances and walkways, consistent with patterns common in the historic context and the block face.</p> <p>(2) Vehicular: Vehicular access is located in the least obtrusive manner possible. Where possible, garage doors and parking should be located to the rear or to the side of the building.</p>	<p>As described above, the applicant is proposing to provide pedestrian access to the ADU through the existing private alley that runs to the rear of this lot from R and S Streets.</p> <p>The proposal includes vehicular access from the historic private alley that runs north and south from R and S Streets. This matches the historic pattern of vehicular access already found on this block.</p>	<p>Complies</p>
<p>b. Site And Building Services And Utilities: Utilities and site/building services (such as HVAC systems, venting fans, and dumpsters) are located such that they are to the rear of the building or on the roof and screened from public spaces and public properties.</p>	<p>The A/C unit for the ADU would be placed on the north side of the proposed structure, out of public view. The meters for the building would be located on the east side, also not visible from the public way and in an unobtrusive location from the existing private alley.</p>	<p>Complies</p>
<p><u>3. Landscape And Lighting:</u></p> <p>a. Grading Of Land: The site's landscape, such as grading and retaining walls, addresses the public way in a manner that reflects the character of the historic context and the block face.</p>	<p>This proposal does not include any significant grading, or the addition of new retaining walls.</p>	<p>Complies</p>
<p>b. Landscape Structures: Landscape structures, such as arbors, walls, fences, address the public way in a manner that reflects the character of the historic context and the block face.</p>	<p>As part of this project, the existing temporary chain link fencing would be replaced with a fence that meets the standards for fences in the historic districts. Other arbors, walls or fences are not proposed.</p>	<p>Complies</p>
<p>c. Lighting: Where appropriate lighting is used to enhance significant elements of the design and reflects the character of the historic context and the block face.</p>	<p>The submitted plans show lighting for the ADU that is screened by the structure and oriented toward the existing house. Other lighting is not shown on the drawings.</p>	<p>Complies</p>

<p>4. Building Form And Scale:</p> <p>a. Character Of The Street Block: The design of the building reflects the historic character of the street facade in terms of scale, composition, and modeling.</p> <p>(1) Height: The height of the project reflects the character of the historic context and the block face. Projects taller than those existing on the block face step back their upper floors to present a base that is in scale with the historic context and the block face.</p> <p>(2) Width: The width of the project reflects the character of the historic context and the block face. Projects wider than those existing on the block face modulate the facade to express a series of volumes in scale with the historic context and the block face.</p> <p>(3) Massing: The shape, form, and proportion of buildings, reflects the character of the historic context and the block face.</p> <p>(4) Roof Forms: The building incorporates roof shapes that reflect forms found in the historic context and the block face.</p>	<p>This private alley streetscape comprises seven accessory structures along both sides of the alley, open parking areas, fences, and the sides of two buildings, 118 R Street and 115 S Street, that abut the alley. They are primarily one-story structures sited uniformly along the right of way. The proposed garage/ADU is similar in scale, height, width, massing and roof form to the established scale of the structures along the alley.</p> <p>The proposed structure would have limited visibility from the adjacent public streets as it would be located at the rear of the lot and in the middle of the block.</p>	<p>Complies</p>
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<p>5. Building Character:</p> <p>a. Facade Articulation And Proportion: The design of the project reflects patterns of articulation and proportion established in the historic context and the block face. As appropriate, facade articulations reflect those typical of other buildings on the block face. These articulations are of similar dimension to those found elsewhere in the context, but have a depth of not less than twelve inches (12").</p> <p>(1) Rhythm Of Openings: The facades are designed to reflect the rhythm of openings (doors, windows, recessed balconies, etc.) established in the historic context and the block face.</p> <p>(2) Proportion And Scale Of Openings: The facades are designed using openings (doors, windows, recessed balconies, etc.) of similar proportion and scale to that established in the historic context and the block face.</p> <p>(3) Ratio Of Wall To Openings: Facades are designed to reflect the ratio of wall to openings (doors, windows, recessed balconies, etc.) established in the historic context and the block face.</p> <p>(4) Balconies, Porches, And External Stairs: The project, as appropriate, incorporates entrances, balconies, porches, stairways, and other projections that reflect patterns established in the historic context and the block face.</p>	<p>The proposed building has simple articulation and proportion reflecting its character as an accessory structure, with a rhythm of openings and ratio of wall to openings also within the range of those established by the surrounding structures.</p> <p>The garage doors are single-width and have simple, contemporary style details. The ADU would be accessed via a stairway on the north side and deck with a simple metal rail. The doors and glazing on this side would provide additional light and ventilation for the tenants while mitigating any effect on other properties because it faces the main house on this lot.</p> <p>After discussions with Staff, the applicants increased the number of fiberglass framed windows and amount of glazing on the east, south and west sides to more closely reflect the fenestration pattern and solid to void ratio of similarly scaled buildings in the surrounding area, particularly the "S Street Carriage House" located east of the site. This exceeds the minimums required by the building code for egress, light and ventilation, but reflects the vertical orientation, proportions, and number of windows characteristic of the surrounding buildings and accessory structures.</p> <p>Windows for the ADU would be made with obscured glazing to provide privacy for ADU tenants and residents of adjacent properties.</p>	<p>Complies</p>
<p>6. Building Materials, Elements And Detailing:</p> <p>a. Materials: Building facades, other than windows and doors, incorporate no less than eighty percent (80%) durable material such as, but not limited to, wood, brick, masonry, textured or patterned concrete and/or cut stone. These materials reflect those found elsewhere in the district and/or setting in terms of scale and character.</p>	<p>Vertical tongue and groove wood siding is proposed for the majority of the exterior wall surfaces, with horizontal wood siding with a six inch reveal used as an accent in areas of the north and south facades. Both are materials that the HLC has approved many times on new buildings.</p> <p>The proposed roofing material is architectural grade asphalt shingles, which are routinely approved as a roofing material.</p>	<p>Complies</p>
<p>b. Materials On Street-Facing Facades: The following materials are not considered to be appropriate and are prohibited for use on facades which face a public street: vinyl siding and aluminum siding.</p>	<p>No vinyl or aluminum siding is proposed on any facades.</p>	<p>Complies</p>

<p>c. Windows: Windows and other openings are incorporated in a manner that reflects patterns, materials, and detailing established in the district and/or setting.</p>	<p>After discussions with Staff, the applicants increased the number of fiberglass framed windows and amount of glazing on the east, south and west sides to more closely reflect the fenestration pattern and solid to void ratio of similarly scaled buildings in the surrounding area, particularly the “S Street Carriage House” located east of the site. This exceeds the minimums required by the building code for egress, light and ventilation, but reflects the vertical orientation, proportions, and number of windows characteristic of the surrounding buildings and accessory structures. The doors and glazing on the north side would provide additional light and ventilation for the tenants while mitigating any effect on other properties because it faces the main house on this lot.</p> <p>Windows for the ADU would be made with obscured glazing to provide privacy for ADU tenants and residents of adjacent properties.</p>	<p>Complies</p>
<p>d. Architectural Elements And Details: The design of the building features architectural elements and details that reflect those characteristic of the district and/or setting.</p>	<p>The building design and architectural elements reflect those found typically on accessory buildings in surrounding area, particularly the “S Street Carriage House” just east of the proposed site.</p>	<p>Complies</p>
<p>7. Signage Location: Locations for signage are provided such that they are an integral part of the site and architectural design and are complementary to the principal structure.</p>	<p>This project does not involve signage.</p>	<p>Complies</p>

ATTACHMENT H: APPLICABLE DESIGN GUIDELINES

A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City ([Chapter 12 - New Construction](#)) provides the appropriate historic design guidelines for this review. The guidelines that are most relevant to the proposed project have been listed below for the Commissioners' reference:

SITE DESIGN GUIDELINES

Street and Block Patterns

12.1 The plan of alleys and streets in a historic district is essential to its historic character and should be preserved.

12.2 The role of the street pattern, including the layout of the individual block, as a unifying framework and setting for a variety of lot sizes and architecture, should be retained.

Building Placement and Orientation

12.3 When designing a new building, the historic settlement patterns of the district and context should be respected.

BUILDING SCALE GUIDELINES

Mass & Scale

12.5 A new building should be designed to reinforce a sense of human scale.

12.6 A new building should appear similar in scale to the established scale of the current street block.

12.7 The roof form of a new building should be designed to respect the range of forms and massing found within the district.

12.8 A front facade should be similar in scale to those seen traditionally in the block.

Height

12.9 Building heights should appear similar to those found historically in the district.

Width

12.11 A new building should appear similar in width to that established by nearby historic buildings.

Solid to Void Ratio

12.12 The ratio of wall-to-window (solid to void) should be similar to that found in historic structures in the district.

BUILDING FORM GUIDELINES

Form and Visual Emphasis

12.13 Building forms should be similar to those seen traditionally on the block.

12.14 Roof forms should be similar to those seen traditionally in the block and in the wider district.

Proportion and Emphasis of Building Façade Elements

12.15 Overall facade proportions should be designed to be similar to those of historic buildings in the neighborhood.

Rhythm & Spacing of Windows & Doors

12.16 The pattern and proportions of window and door openings should fall within the range associated with historic buildings in the area.

BUILDING MATERIALS AND DETAILS

Materials

12.17 Use building materials that contribute to the traditional sense of human scale of the setting.

12.18 Materials should have a proven durability for the regional climate and the situation and aspect of the building.

12.19 New materials that are similar in character to traditional materials may be acceptable with appropriate detailing.

Windows

12.20 Windows with vertical emphasis are encouraged.

12.21 Window reveals should be a characteristic of most masonry facades.

12.22 Windows and doors should be framed in materials that appear similar in scale, proportion and character to those used traditionally in the neighborhood.

Architectural Elements & Details

12.23 Building components should reflect the size, depth and shape of those found historically along the street.

12.24 Where they are to be used, ornamental elements, ranging from brackets to porches, should be in scale with similar historic features.

12.25 Contemporary interpretations of traditional details are encouraged.

12.26 The replication of historic styles is generally discouraged.

ATTACHMENT I: PUBLIC PROCESS AND COMMENTS

Notices of the public hearing for the proposal include:

- Notices mailed Thursday, May 19th, 2021:
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on Thursday, May 19, 2021;
- Public hearing notice posted at subject property Friday, May 21, 2021.

Public comments:

At the time of completion of this report, no public comment had been received. Any comment received after date of publication will be forwarded to the Commission for their consideration.

ATTACHMENT J: DEPARTMENT REVIEW COMMENTS

Design Review Team Notes from April, 2020 showing department comments are attached.



Work Flow History Report

1076 E 3RD Ave

DRT2020-00099

Project: ADU

Project Description: We would like to build a 22', two-car garage with a 650 sf studio apartment above it in our backyard parking space. The building would be 10' away from adjacent properties.

The Development Review Team (DRT) is designed to provide PRELIMINARY review to assist in the design of the complete site plan. A complete review of the site plan will take place upon submittal of the completed site plan to the Permits Counter.

Date	Task/Inspection	Status/Result	Action By
4/27/2020	Application Acceptance	Accepted	Harris, Katilynn
<u>COMMENTS</u>			
4/28/2020	Engineering Review	Comments	Crockett, Jack
<u>COMMENTS</u>			
A Public Way Permit is required for the utility work on this project. A licensed, bonded, and insured contractor whose information is on file with our office must obtain this permit for all work in the public way. Work in the public way includes: Excavations into the road, park strip, sidewalk or curb Installation/repair of drive approaches, sidewalk, or curb and gutter This is a separate permit than those issued by other municipal entities such as Building Services, Public Utilities, Etc. Please add a general note on your site and/or utility plan that this permit is to be obtained. Please note this on your site-plan/utility-plan/horizontal-control-plan when you submit for a building permit. If you have any questions about our permitting process please feel free to reach out to Jack Crockett at 801.535.6396 or Jack.Crockett@SLCgov.com.			
4/28/2020	Fire Review	Comments	Itchon, Edward
<u>COMMENTS</u>			
If there are no more than two structures on the parcel then the requirements of International Fire Code Section 503.1.1 does not apply.			
4/28/2020	Zoning Review	Comments	Hardman, Alan
<u>COMMENTS</u>			
3:00 PM – 1076 E 3rd Ave – Paul Murphy SR-1A zone/historic district. Proposal is to build an ADU above a new detached garage in the rear yard. See 21A.24.080 for the general and specific requirements of accessory structures in the SR-1A zone. See 21A.40.200 for the general and specific requirements for an ADU. The project must be in compliance with the requirements of both ordinances. The zone requires historic approval from the planning commission. Initiate the planning application with the planning desk in room 215. One parking space needs to be available on site for the existing SFD. Parking for the ADU in the driveway must be beyond the front façade of the house to maintain one legal parking space. Consult the building code personnel in room 215 for building code requirements. An Impact Fee for a new SFD will need to be paid at the time the building permit is issued. The building permit must be submitted to the city electronically. Alan Hardman Senior Development Review Planner 801-535-7742 alan.hardman@slcgov.com			

4/29/2020	Public Utilities Review	Comments	Osojnak, Andrea
<i>COMMENTS</i>			
<p>1076 E Third Ave – ADU – Murphy First off, I apologize I was mistaken, I'm new at the job and still learning. The sewer lateral for the ADU cannot go down the alley, it will need to connect to the sewer on Third Avenue. However, as long as no changes are made to the existing home the shared lateral can remain, but it is highly recommended to separate the lateral and have a new lateral compared to 1907 old lateral. The ADU can then connect to the new lateral. General • Public Utility permit, connection, survey, and inspection fees will apply. • All utility design and construction must comply with APWA Standards and SLCPU Standard Practices. • All utilities must be separated by a minimum of 5-feet horizontally and 12-inch vertically. Water and sewer lines require 10-foot minimum horizontal separation and 18-inch minimum vertical separation. • Please submit site utility and grading plans for review. Other plans such as erosion control plans and plumbing plans may also be required depending on the scope of work. Include the existing water and sewer connections to the existing home and the proposed water and sewer connections to the proposed ADU. Water • The property currently has a ¾-inch water meter. No additional water meter is allowed for this new development. Sewer • The current property is on a shared sewer lateral with the neighbors (1068 S). The ADU cannot connect to a shared sewer lateral. • The best option would be the ADU gravity drain to main in 3rd Ave on its own separate lateral. If the ADU cannot provide gravity drainage for the kitchen and one bathroom and meet the 2-foot of cover minimum, then two ejector pumps with battery backup and apply for an exception will be required. • The sewer depth at the street is approximately 11-feet deep, this should be field verified. Stormwater • Site stormwater must be collected on site and routed to the public storm drain system. Stormwater cannot discharge across property lines or public sidewalks. If you need to ask any additional question about public utilities related issues, you can reach me by email. Andrea Osojnak, PE Development Review Andrea.Osojnak@slcgov.com</p>			
5/1/2020	Transportation Review	Will Not Attend	Harris, Katilynn
<i>COMMENTS</i>			
<p>Michael Barry is having technical difficulties connecting to our system remotely. Please contact him at michael.barry@slcgov.com to get his feedback on this project.</p>			
5/6/2020	Closure	Emailed Notes to Applicant	Harris, Katilynn
<i>COMMENTS</i>			