



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Historic Landmark Commission
From: Kelsey Lindquist (385) 226-7227
Date: February 4, 2021
Re: PLNHLC2019-01151 & PLNHLC2019-01088

Saxton and Bartlett Addition – Major Alteration & Special Exceptions

PROPERTY ADDRESS: 732 E. 200 S. (Rear Parcel)
PARCEL ID: 16-05-157-009-0000
MASTER PLAN: Central Community Master Plan (2005)
ZONING DISTRICT: RMF-45 (Moderate/High Density Multi-Family Residential)

REQUEST:

The property owners of 732 E. 200 S. are requesting a Major Alteration and Special Exception approval to construct a new second story addition to the rear of a contributing structure on the Freeze Mansion Landmark Site. The subject property is a contributing structure to the landmark designation. The proposed addition is approximately 778 square feet in size and 22'9" in height at the tallest point. The property is located within the RMF-45 (Moderate/High Density Multi-Family Residential) zoning district.

- a. Major Alteration – Case number PLNHLC2019-01088
- b. Special Exceptions – Case number PLNHLC2019-01151
 - i. **A 6' reduction of the required interior side yard setback of 10' on the west.**
 - ii. **A 10'4" reduction of the required 18'9" rear yard.**
 - iii. **An 8" reduction for the required setback of 4' for an accessory structure from the principal structure.**

RECOMMENDATION: As outlined in the analysis and findings in the this Staff Report, it is **Planning Staff's** opinion that the proposed major alteration and associated special exceptions generally meet the applicable standards of approval and Staff recommends that the Historic Landmark Commission approve the requests with the following conditions:

1. Final details of the major alteration be delegated to staff.
2. A lot consolidation application must be submitted to the Planning Division prior to receiving a Certificate of Appropriateness.

Background Information

The Historic Landmark Commission has reviewed the requested major alteration and associated special exceptions, during two different work sessions. The first work session was held on March 5, 2020. The HLC discussed concerns with the proposed addition, during the first Work Session. The applicant revised the proposed addition and special exception and attended another Work Session on

January 7, 2021. During the January 7, 2021 Work Session, the HLC expressed positive comments regarding the changes to the proposed addition.

Location

The subject property is located behind the Freeze House. The subject property located at 732 E. 200 S. was previously part of the larger parcel with the address of 734 E. 200 S. The properties are surrounded by surface parking lots associated with multi-family residential uses to the west, south and east. The primary elevation of the structure faces the rear elevation of the Freeze House. The existing subject parcel, 732 E. 200 S., is approximately 3,093 square feet in size. The property owner has recently purchased additional land to the east, which will require a lot consolidation application with Salt Lake City Planning. Once a lot consolidation is processed and recorded, the subject property will be approximately 676 square feet larger.



Aerial Image

Public Way Visibility

Even though the subject property does not front on a public street, it does remain visible from the public way. The cottage is visible from 200 South on the east side of the main mansion located at 734 E. 200 S.



Photo from 200 S.

Landmark Information

The Freeze House Landmark Designation
The Freeze House was designated as a Cultural Resource in 1997, full nomination is attached. The designation included both the front (main mansion) and the rear cottage, as representative of turn of the century living situations. The main house, constructed in 1892, is a two-story high Victorian style mansion. The property was elevated to Landmark status, due to quality craftsmanship and architecture, as well as the association with the Church of Jesus Christ of Latter Day Saints history.



Freeze Mansion

Cottage Structure

The subject property is a 1.5 story Victorian cottage, constructed circa 1915. As described in the provided landmark nomination, this structure provided a single-family residential use. The cottage is included in the nomination for its contribution to:

“This 1892 house, situated on the original one acre and accompanied by an associated historic cottage (1915), provide an excellent example of a type of dwelling commonly built in Salt Lake during the turn-of-the-century period of rapid expansion and urbanization (1890-1930).”



North Elevation of 732 E. 200 S.

The primary material is horizontal lap siding. There are two symmetrically located leaded picture windows on the front elevation and a small hipped dormer above the front porch gable. The principal **structure is approximately 46' in length and 22' in width**. Through the years, minor changes have occurred to the structure. However, the structure has retained its original form, materials, and character defining features and remains contributing to the landmark designation of the broader site located at 734 E. 200 S.



East Elevation



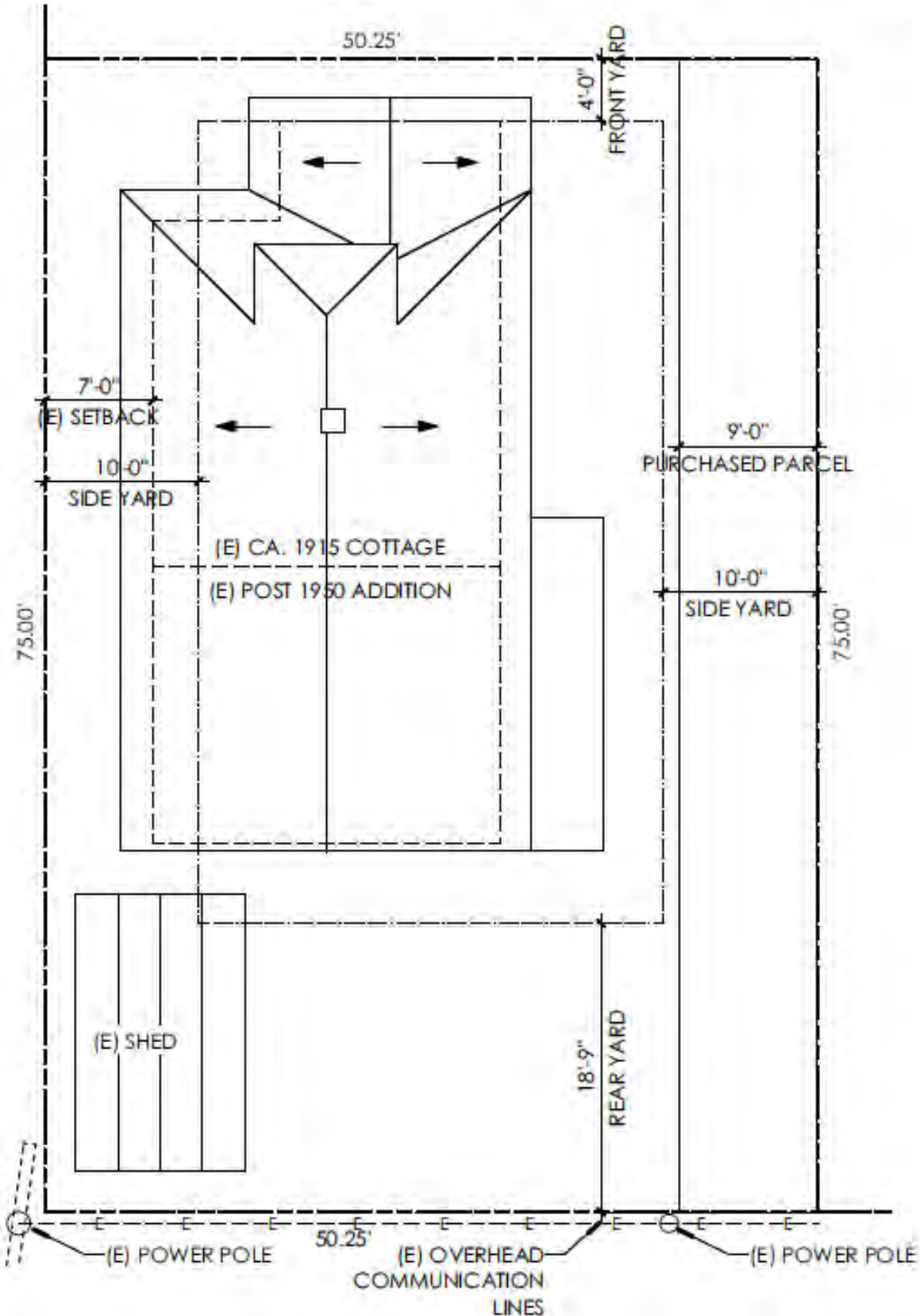
South and East Elevation

During the review of the application as a Cultural Resource Designation in 1997, Planning Staff reviewed standard b: *Physical integrity of terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places.* Staff provided the following analysis in support of the nomination for the entire site:

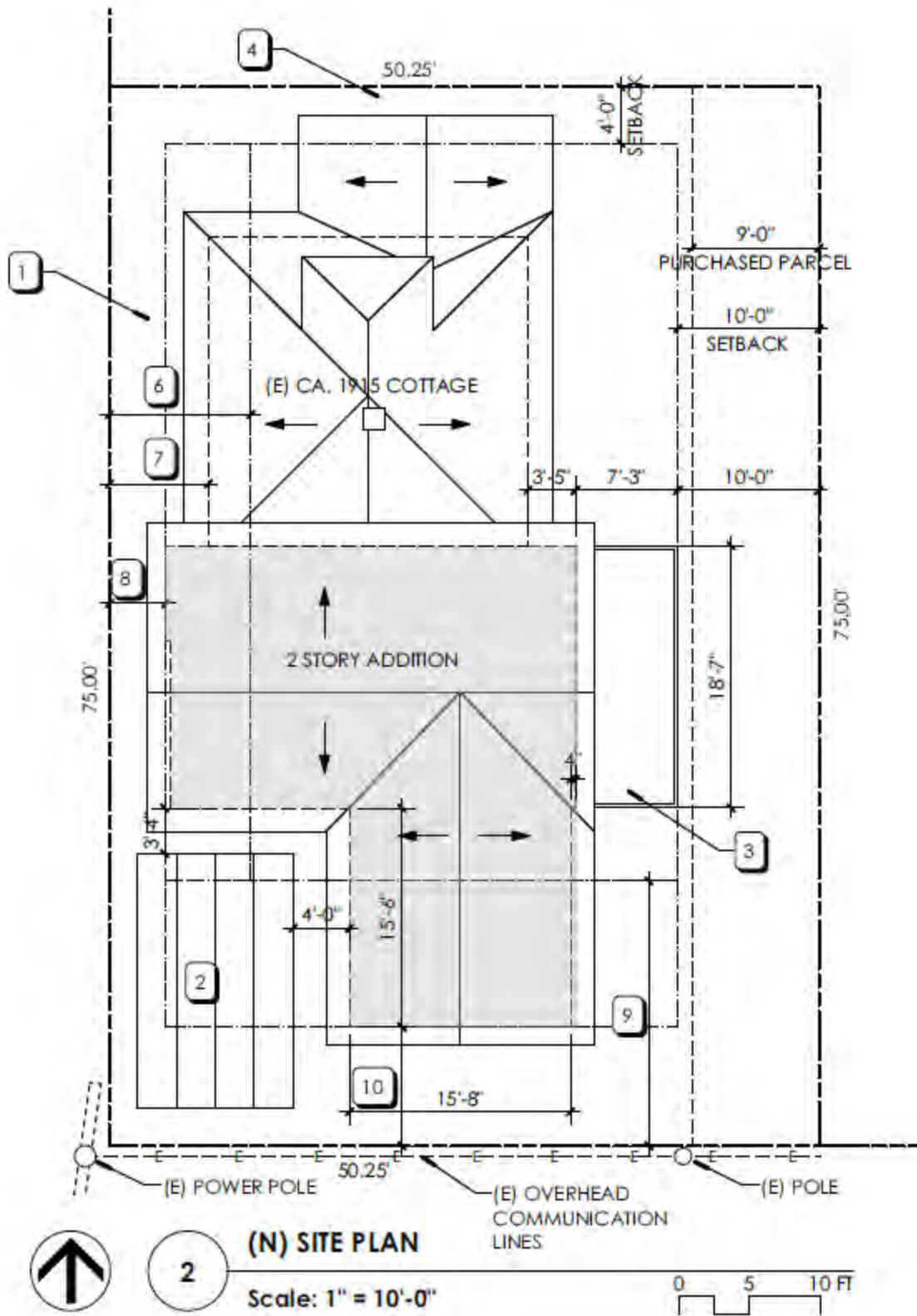
Feeling: **Bulletin 15 states “Feeling is a property’s expression of the aesthetic or historic sense of particular period of time. It results from the presence of physical features that, taken together, convey the property’s historic character.”** The fact that the architectural details, massing, materials, and fenestration, and the interior features are intact in this structure who were aware of architectural styles that were used nationally. Although the immediate environment has been altered, the mature landscaping and the fact that the house is situated on a large lot that accommodates an early twentieth-century bungalow and outbuilding mitigates the modified surroundings.

PROPOSED PROJECT

The applicant is requesting to construct an addition approximately 778 square feet in size and **approximately 22’9” in height**. The addition will replace an existing 1950s addition located to the rear of the historic structure. The proposed addition extends beyond the historic structure in height and footprint, resulting in further encroachments into the southern rear yard and western side yard. The design of the addition is similar in style to the existing structure with added elements to differentiate the two.

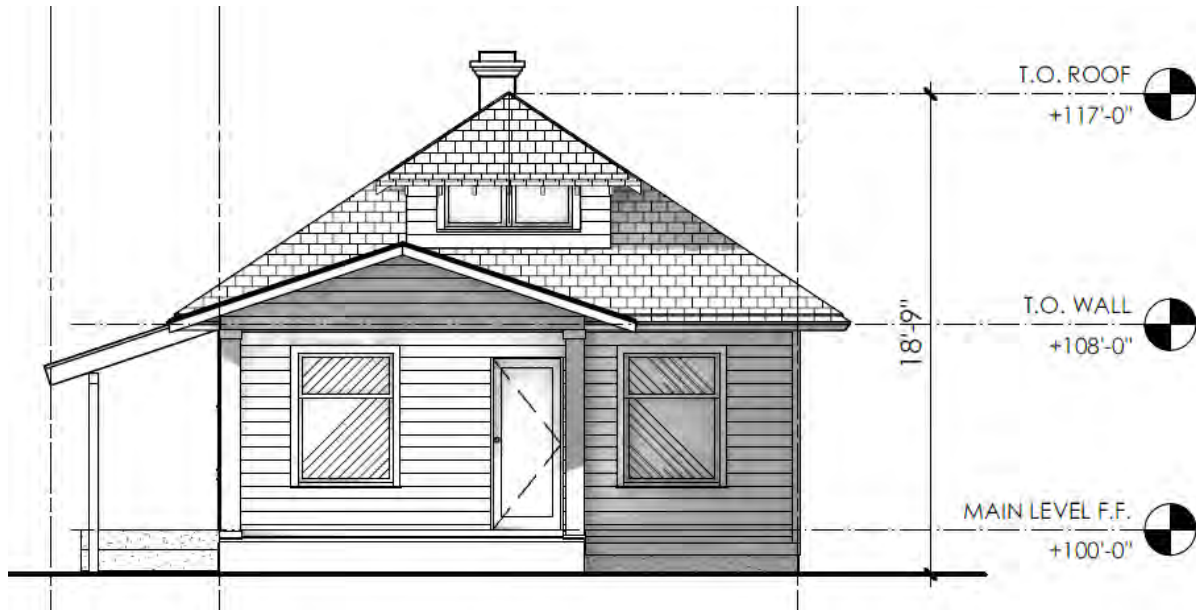


Site Plan of Existing Structure

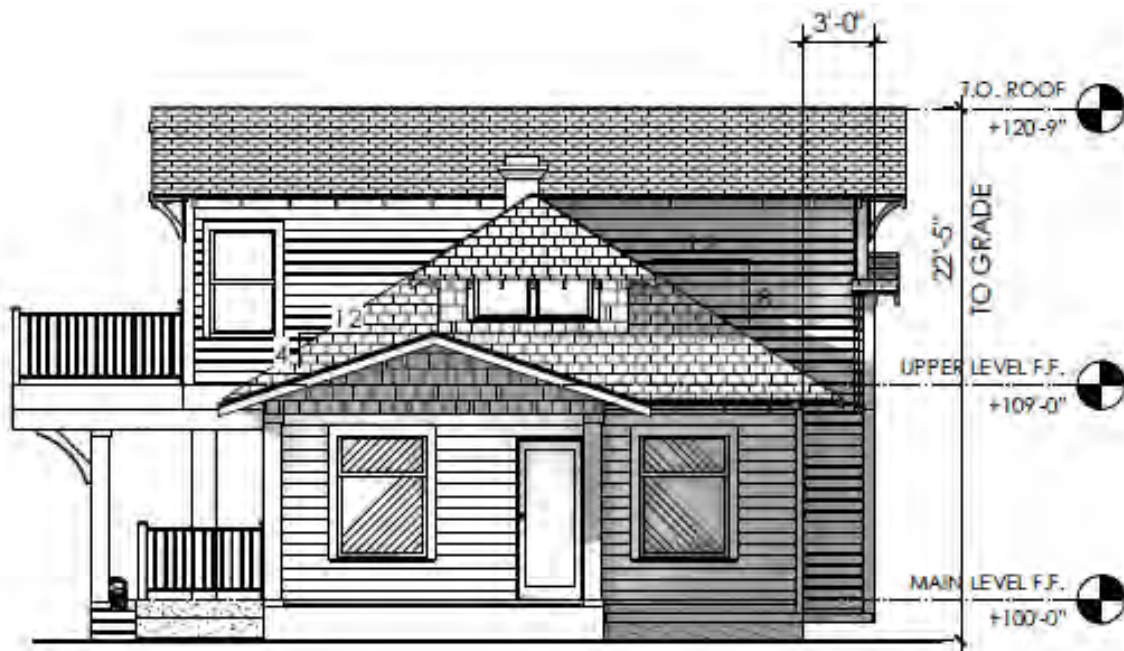


Proposed North Elevation

The existing structure is approximately 18'9" in height and the addition extends to a height of 20'9" on this elevation. The requested addition is placed on the rear portion of the structure, which replaces an existing 1950s addition and thus, preserving the original form of the historic structure. The proposed 2-story addition starts approximately 25' to the south from the primary elevation of the structure. The hip roof of the addition extends to the east approximately 3'5" with an additional 7' for the second story deck extension. The western portion of the addition extends into the required western side yard an additional 3', resulting in a 4' side yard setback.



Existing North Elevation



Proposed North Elevation

East Elevation

The east elevation of the proposed addition gradually increases in height along the existing grade to reach a height of **22'4"**. The architect has created a linking feature in the roofing material that connects the historic structure and the contemporary addition, which is highlighted in red. The proposed linking material is standing seam metal roofing. Beyond the linking material, the addition shifts to a gabled roof on the second story deck and then back to a hipped roof. This elevation does extend beyond the eastern wall plane of the original **structure by approximately 3'5"**. Additionally, the proposed **second story balcony extension, extends beyond the proposed eastern wall by 7'3"**.

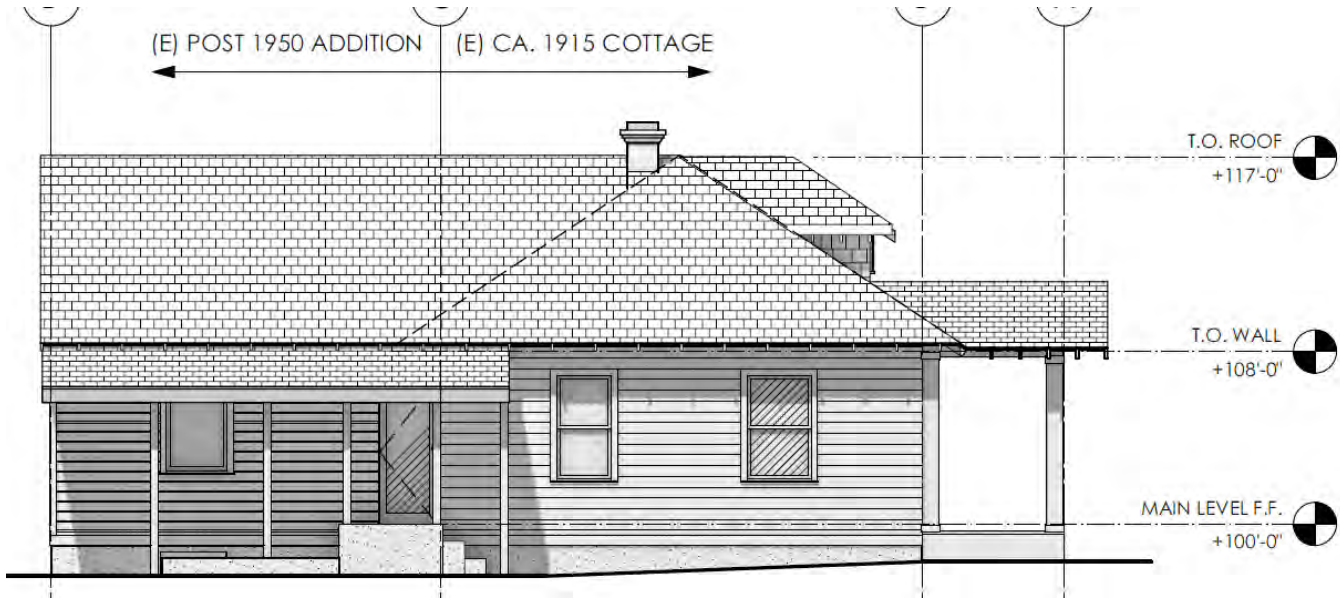
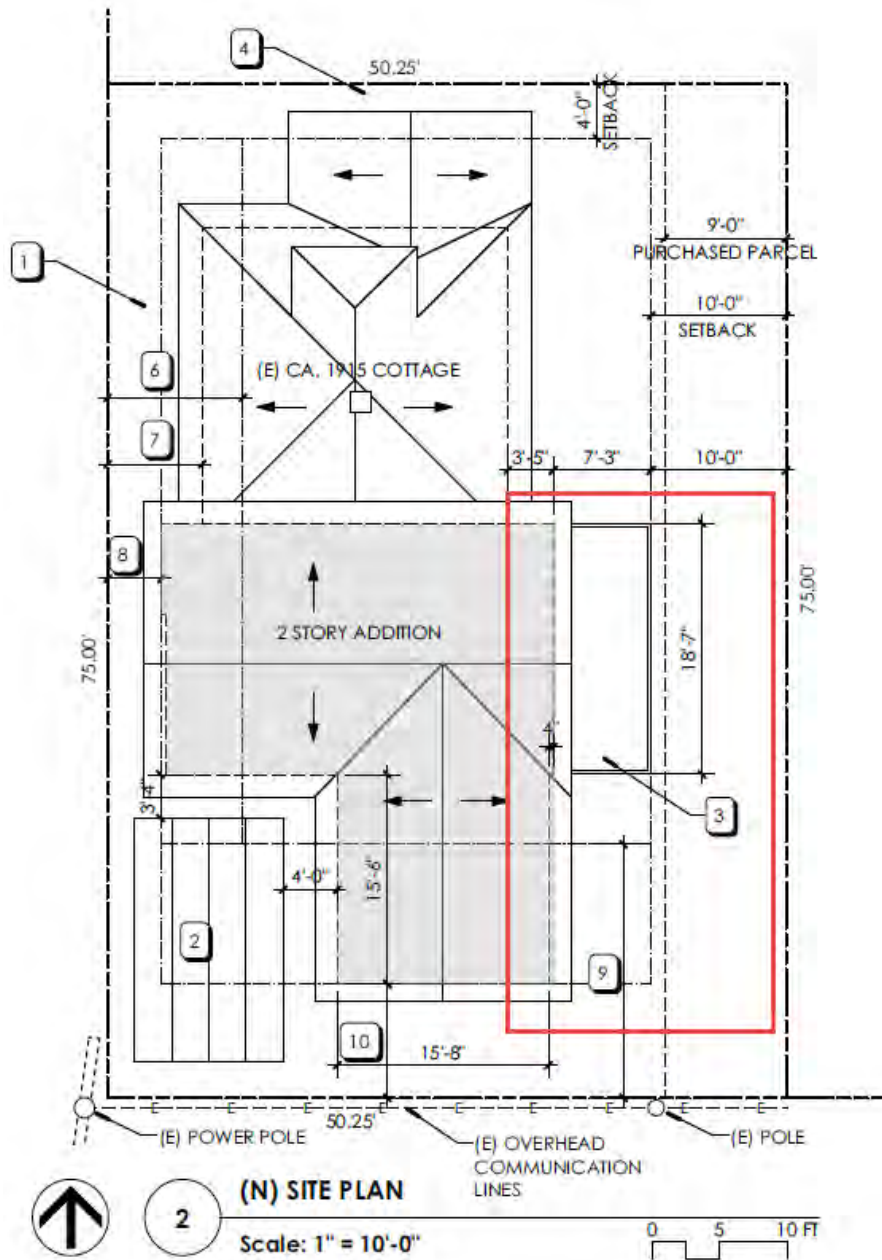


Photo of the East Elevation



Proposed Eastern Elevation

Currently, the structure contains a small secondary entrance with a shed roof extension. The applicant is requesting to modify this shed roof to a flat roofed deck extension, which has been identified as a second story balcony. The second story balcony extends beyond the wall plane of the east elevation and continues to the south **approximately 18'7"**.

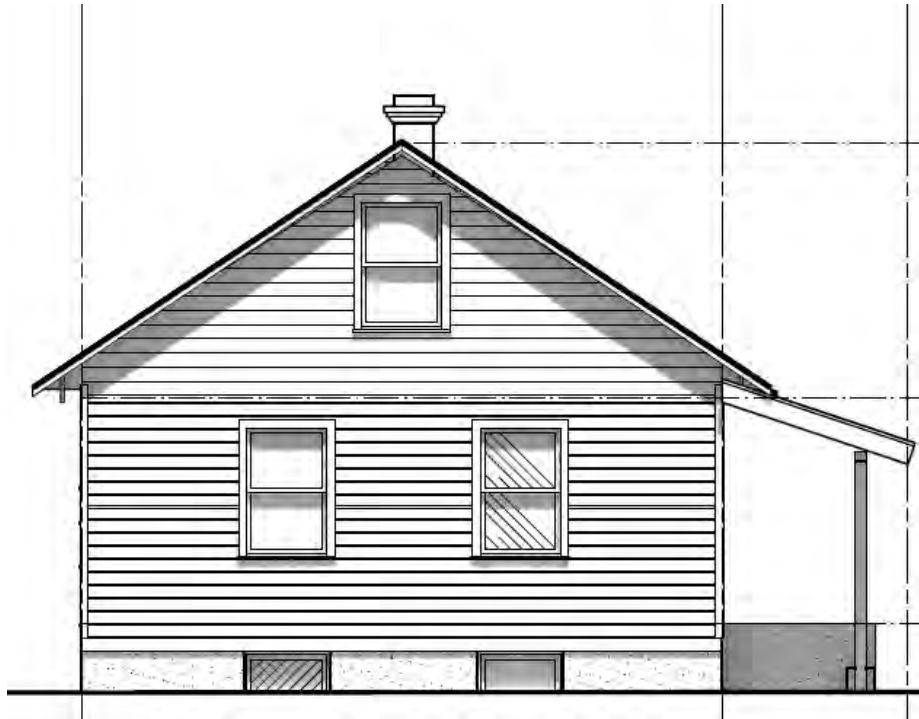


Additionally, this elevation contains the most fenestration and detail. While it is somewhat obstructed from the public way, it is more visible than both the western and southern elevations.

South Elevation

The proposed south elevation extends beyond the established building footprint of the existing structure. On the proposed extension, the applicant is requesting to construct a cantilevered second story that extends into the required rear yard setback. The cantilevered portion creates a covered car port in the rear for off street parking. The rear of the extension is a gabled roof, which matches the gable roof to the east. The western portion of the southern elevation indents to the north approximately 15'6", in order to accommodate an existing accessory structure. The existing accessory

structure is proposed to remain, so the rear of the proposed addition will be shaped around the structure.



Existing Southern Elevation

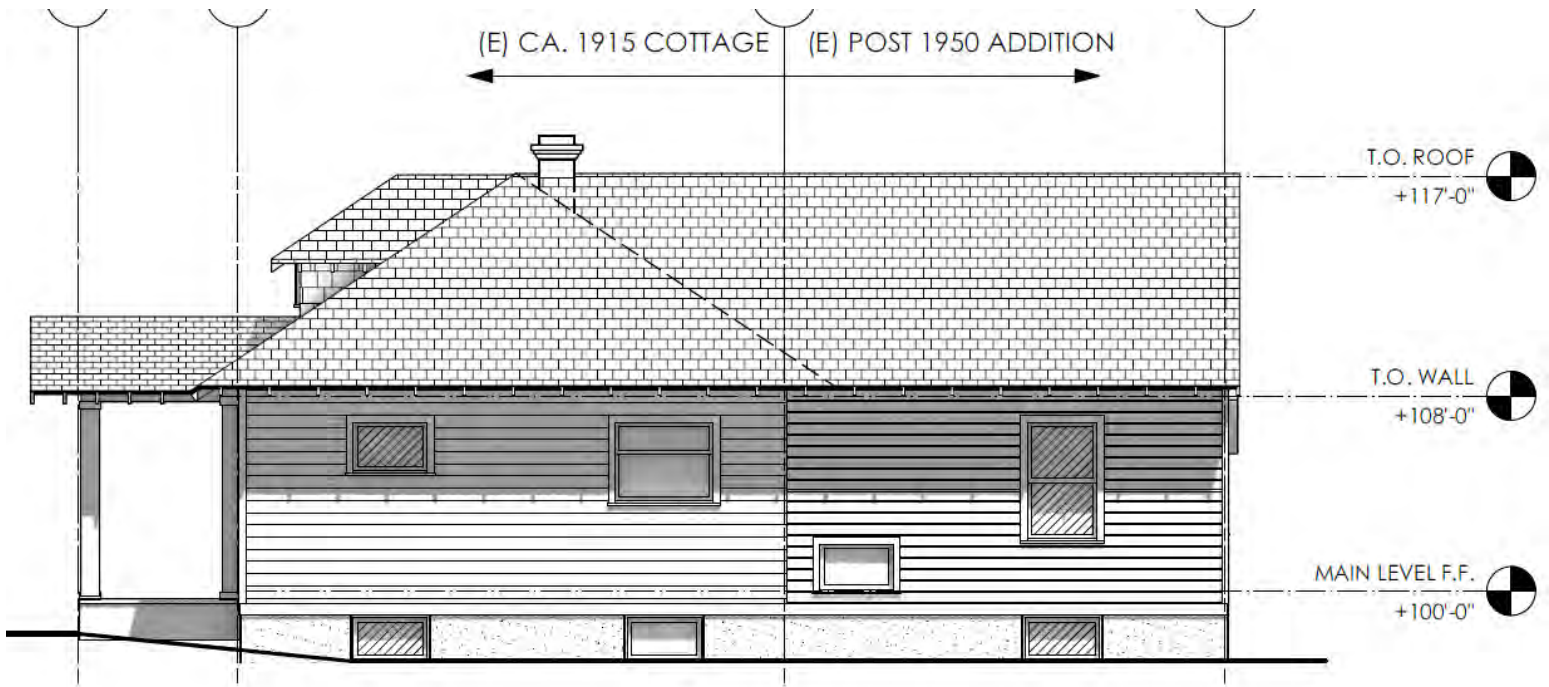


Proposed South Elevation

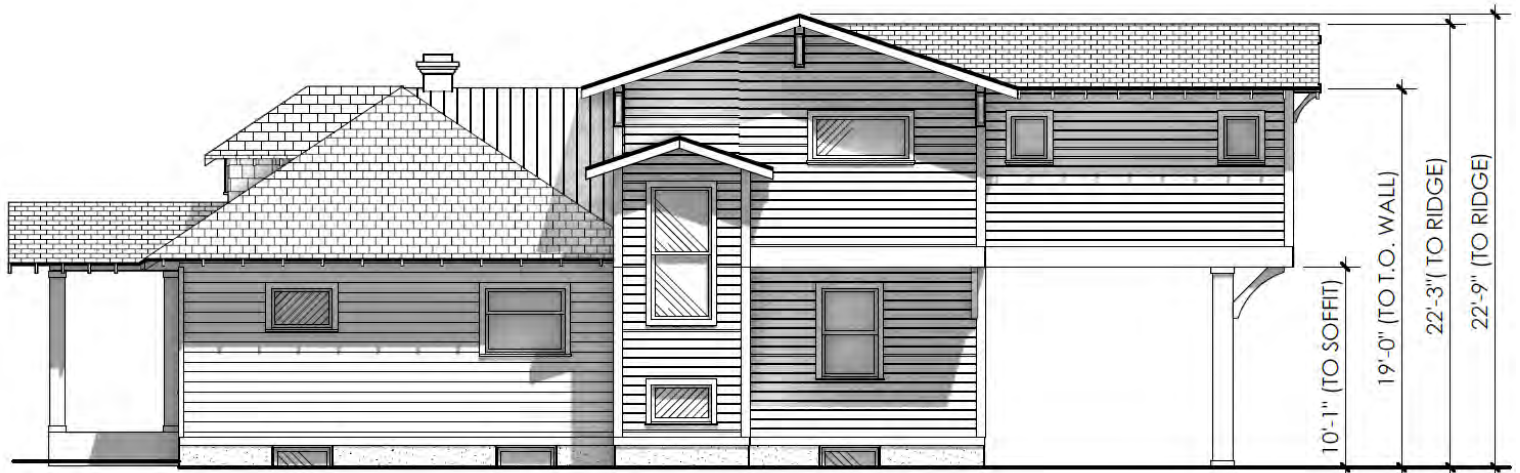
West Elevation

The **proposed west elevation extends beyond the existing wall plane of the historic structure by 3'**. This elevation contains two vertically stacked gabled roofs. The two gabled roof features on this elevation aid in minimizing the scale and massing of the addition. The overall height varies on this elevation from 22'3" to 22'9".

This elevation also clearly illustrates the change in roofing material to create a clear delineation between the historic structure and the proposed addition.



Existing West Elevation



Proposed West Elevation

Design and Materials for the Proposed Addition

The design of the addition is differentiated from the historic structure by both the linking feature integrated into the roof, as well as the proposed materials. The applicant is proposing to clad the **addition in a cementitious lap siding, approximately 1' in width. The existing lap siding is quite narrow,** so the proposed siding for the addition will be clearly identifiable.

Regarding the overall design of the proposed addition, the design does mimic some historic characteristics of the small cottage structure, while creating contemporary features to create a product of its own time. The architect integrated wider siding, wood clad windows, as well as bracket features within the proposed eaves. Overall, the design is compatible with **the** proposed historic structure.

HISTORIC DESIGN STANDARDS & RESIDENTIAL DESIGN GUIDELINES

Design standards are defined by chapter 21A.34.020.G of the Ordinance, and the Residential Design Guidelines for Additions form Chapter 8 of the *Preservation Handbook for Historic Residential Properties and Districts in Salt Lake City*. The design standards and pertinent guidelines are identified in Attachment F of this report, with evaluation of the proposals in relation to the standards as informed by the guidelines in Attachment F.

Key Considerations & Issues

The review of the proposal against the design standards, as informed by the Residential Design Guidelines, identified the following 2 issues.

Issue 1. Alterations to a Salt Lake City Landmark Site

The Salt Lake City Zoning Ordinance, *Purpose of the Historic Preservation Overlay District*, provides the following definition for Landmark Site:

Any site included on the Salt Lake City Register of Cultural Resources that meets the criteria outlined in subsection C15 of this section. Such sites are of exceptional importance to the City, State, region or Nation and impart high artistic, historic or cultural values. A landmark site clearly conveys a sense of time and place and enables the public to interpret the historic character of the site.

The site was nominated as a Landmark Site and included on the Salt Lake City Register of Cultural Resources in 1998. As discussed above, the site includes the main mansion that fronts 200 South and the subject property of a 1.5 story Victorian cottage. A focal point of the nomination was on the configuration of the two structures that remained primarily intact as an example of a turn of the century living arrangement.

The proposed addition will alter the original scale of the small Victorian structure. Alterations that are made to a contributing structure should always take the character defining features into consideration. Alterations to contributing structures are reviewed against the adopted standards found in 21A.34.020.G, which ensure that character defining features and contributing structures remain intact. The revised proposal pushes the two-story addition to the rear of the original structure, which preserves the original historic structure and character defining features.

Issue 2. Height and Scale of the Proposed Addition

General design guidelines for new additions to historic structures suggests that rear additions should not be taller or wider than the existing structure. This prevents an addition from dominating over the existing historic structure. This principal is reflected in both the design standards and the residential design guidelines. However, in this case, in replacing the non-historic rear addition and creating a linking feature within the roof structure, a visual and distinct separation between the addition and the

historic structure is created. The addition would be positioned at the rear of the footprint of the original structure, which provides a clear delineation between old and new. In reality, this addition would be unlikely to be regarded as overwhelming to the historic structure, due to the site and visual constraints of the subject property.

HISTORIC LANDMARK COMMISSION REVIEW

The Historic Landmark Commission is tasked with the review of the major alteration and associated special exceptions. Chapter 21A.34.020.G are the subject standards applicable to the proposal. For the full analysis of the standards for alteration a contributing structure, please refer to Attachment F.

NEXT STEPS

If the request for a COA for the Major Alteration is granted by the Historic Landmark Commission, the applicant may proceed with the project as represented in this staff report.

If the Historic Landmark Commission disagrees with Staff's recommendation and the project is denied, the applicant would not be issued a COA for the request and any new proposal would require submittal of a new application.

ATTACHMENTS:

- A. Vicinity Map
- B. Designation Information Photographs
- C. Application Materials
- D. Photographs
- E. Existing Conditions
- F. Analysis of Design Standards for Altering a Contributing Structure
- G. Residential Design Guidelines
- H. Analysis of Special Exception Standards
- I. Public Process and Comments

ATTACHMENT A: Vicinity Map



ATTACHMENT B: Designation Information

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section No. PHOTOS Page #

(name), (city), (county) County, UT

Photo No. 1 *

1. (name)
2. (city), (county) County, Utah
3. Photographer:
4. Date:
5. Negative on file at Utah SHPO.
6. xxx elevation of building. Camera facing zzz.

- #1 North, porch and front
- #2 North west, front
- #3 North, front
- #4 North, front east bay
- #5 North, detail of front tower and roof
- #6 Stained glass, front lower parlor exterior
- #7 Front, detail of east gable
- #8 Front, detail of porch
- #9 Front door, detail of transom
- #10 Stained glass, upper parlor, interior
- #11 South, back of house
- #12 Southeast, back or rear second floor
- #13 Southeast, back or rear main floor
- #14 Bungalow, at rear of property
- #15 Front door, detail of hardware
- #16 Front door, detail of panel

COLOR SLIDES:

- #1 North front
- #2 Northwest, front
- #3 Northeast, front
- #4 Front porch detail
- #5 North, upper and roof tower
- #6 West side
- #7 East side
- #8 Southeast, back or rear
- #9 Southwest, back or rear
- #10 South, rear of property
- #11 Inside front entrance
- #12 Stained glass, inside front transom
- #13 Stained glass, lower parlor window, exterior
- #14 Front hall and stairway, interior
- #15 Bannister detail
- #16 Bannister detail
- #17 Second floor, parlor interior
- #18 Stained glass, second floor parlor, interior
- #19 Cottage at rear of property

___ See continuation sheet

THE DE GROOT FAMILY HOME: 1901-1997.

Wilhelmus de Groot only lived at 734 E. for a short time; he purchased this property in April 1901, and moved his wife Frances and children into the home, but he died in December of that same year. [9,32] Wm. and Frances were from Holland, where they had lived and most of their children were born. The de Groots came to Utah in the late 1880's. [34]

In 1902 Mrs. Frances de Groot inherited this residence at 734 E. 200 S. from her deceased husband and continued living here. [9,32] Wm. and Frances had 7 children: Thomas P., William F., Abram, Frances Abbott, Katherine, Frank W. and George R. [6] Frances de Groot lived here with her younger children, Kate, Frank and George, for six years until 1908 when she died. [6,32]

In 1906, Frank de Groot is recorded as buying the property; then in 1907 he sold it to Thomas P. de Groot, his brother. [9] Katie de Groot is listed as living at this residence in 1903, then again as Mrs. Kate de Groot Andersen in 1908-09. In 1910 Kate begins to be listed here as the "widow" of Francis Albert Andersen. [32]

Katherine de Groot, also known as Katie or Kate may have married Francis Albert Andersen sometime between 1903 and 1908. [32] They had two children, Keith and Dorothy, who never knew their father because Albert went to Germany and never returned. Kate always said that Albert had deserted them, and then died; in fact, she described herself and is listed as "widowed." However, many decades later in 1997 during an estate sale, some letters between Albert and Kate were found. And the letters from Albert indicate that he was alive and had begged for years to be reunited with his family, but Kate had refused. Just why Albert was never allowed to return remains a mystery. [6,8,29]

The small cottage at the rear of this lot or 732 E. was built between 1911 and 1927, likely in 1915. [1,3,9,26]. T.P. de Groot planted trees on the property. Kate de Groot Anderson was granted a permit in 1915 for electrical work on both the house and cottage at 734 E. 200 South. [1,3] Kate became part owner of the property in 1921. [9] The house was rented to one or more boarders fairly continuously from 1924 on. [32]

In 1937 the property title passed to Dorothy Anderson, daughter of Kate; although a 1940 mortgage shows both Kate and Dorothy as signers. [32] More trees and shrubs were planted at this time. Keith Andersen lived here with his wife until sometime in the 1940s. [6] Between 1938 and 1944 this Victorian home was remodeled into an apartment house with four separate apartments, and the back porch was added. The cottage garage was built in 1944, then enlarged in 1959. [1,3]

Dorothy never married and lived in this home with her mother until Kate died. Dorothy continued to own this home and lived here for many years until she died in 1997 [29,32]. Dorothy was aloof, very private and protective of the house, rarely allowing visitors. Yet she did rent portions of the house to others, whom she felt comfortable having in her home. In all, the de Groot family owned this property for 96 years. This near century of single family ownership is probably the main reason why the home and property have retained their original historic character. [29]

In 1997, after the death and estate sale of Dorothy Andersen, this property was sold to Saltair Bed and Breakfast proprietors, Nancy Saxton and Jan Bartlett. They are restoring the property for use as a reception center with bed and breakfast service.

X See continuation sheet

With such a large family, James Freeze needed a spacious new home. He built two structures to replace previous dwellings at 734 E.-- a large Victorian home and small cottage 22 ft. behind it. James built the one-story frame cottage in 1891 [17] and a year later in 1892, he built his grand Victorian home on this lot. This two-and-one-half story brick dwelling with ten rooms cost \$4500 and was constructed by builder C.H. Neilson or Carl E. Nielsen. [1,26] The Victorian home stands today in near original condition; but the small cottage behind it was torn down sometime after 1950. [26] The 1892 Sanborn map shows the Victorian home as a dual dwelling "being built," while the cottage behind it is a single dwelling. [26]

Although 734 E. 200 South is listed as the residence of James P. and Jane Freeze, his second wife, this home was the largest and finest of his homes and was designed to accommodate at least two households. [1,32] Lillie lived with Jane from time to time over the years. [4]. This fine expression of high Victorian architecture is also an intact 19th-century Mormon polygamist home. The union of both Victorian and polygamous architectural styles is fascinating and paradoxical, and quite unique to 19th-century Utah. This fine spacious home served as the central household for Mr. Freeze's four-wife family. [4]

Mary Ann Freeze records that many family dinners, gatherings and most holidays were spent in Jane's home (734 E.) which serves as the social hub of the family. [4] Sophia, Mary Ann and Lillie sometimes slept, ate, used the sewing machine, and spent time together in Jane's spacious Victorian home at 734 E. On Christmas 1882 and 1892 Mary Ann records, "Our family was all together..we all went over to Jane's." On 2 Jan. 1886, "Went to see Jane and Lillie, had a nice visit." On 27 Dec. 1892, "Ran over and spent an hour with Lillie." Often from 1892-1894 Mary Ann records that she "Went over to Jane's to sew." [4]

The Freeze home was a place where male and female church leaders met with James and his wives to organize and plan church meetings, programs, events and publications. [4] Freeze family members received visits and blessings from various church leaders at home, between 1870-1901. On numerous occasions, official church related meetings and other religious meetings were held here at the Freeze home. [4] In Feb. 1875 Mary Ann says she "Came home and found Brother William Smith here at the meeting. He spoke by the power of god, as also did many of the sisters." In Jan 1892, "I invited Dr. Ellis Ship to dinner as it was her birthday." On 2 Jan 1892, "We had one of our very best officers meetings...Lillie spoke in tongues. Interpretation given by Sister Marie Y. Dougall. The first time she had ever enjoyed that gift." In May 1893, "We also had our Board officer's meeting here and planned for an evening conference." [4]

Often sacred LDS religious ordinances, ritual blessings and healings were conducted here, sometimes performed by the women themselves. This is quite significant, as these were practices later banned by the 20th-century LDS Church. On 30 Sept. 1889 Mary Ann records, "Arrived safely at home at 10:30. As I came in the gate Sister Mary Ann Ball came in with me, had come from Union to receive the ordinance of washing and anointing which I performed for her." On 16 Jan 1894 she says, "Wellie Ash came and I attended to the ordinances of washing and anointing for her. Called to see Lillie a short time." [4]

Mary Ann and Lillie Freeze also performed blessings at other locations, again a significant and rare recorded practice among the leading 19th-century LDS women. On the 17th of Jan. 1893, Mary Ann "Assisted Sarah White to wash and anoint Lucy H. Richardson." On 25 Sept 1894, "We went with Sister Young...to see Sister McCurdy and daughter who had their children burned to death three weeks before. Found the mother in a despairing condition. Washed and anointed her and administered to her daughter." On 1 Nov 1894 in Logan, "Went across to see old lady Farriday who has been seriously ill, according to her request we surrounded her chair and blessed her which made her very happy." On 20 April 1894 Mary Ann wrote, "Went with Aunt Bathsheba [Smith] to visit sister McEwan who has been sick since nine weeks ago with a most strange and agonizing disease. We washed and anointed her. My sympathies were awakened to the highest degree." On 23 April, 1894 "Sister Lula Richards came and took me up to see Mr. McEwan again then went and brought Sisters Zina Young and B. Smith. They washed and anointed her and we all gathered around her bed and prayed earnestly for the Lord to release her from her suffering, by death if she could not recover." On 8 Sept. 1894, "Lillie and I washed and anointed Cynthia B. Fisher." [4]

In 1894 James P. Freeze opened a successful business downtown on Main Street, known as the Freeze Mercantile store. [14,32] Freeze was referred to as "one of the most prosperous and influential men of the city." [14] James Freeze and his wives were prominent figures in both the LDS Church and the local community. They received an 1894 invitation from Wilford Woodruff, LDS Church President, signed by him which reads, "You are cordially invited to attend a social gathering to celebrate the 87th anniversary of my birthday and the 56th of my wife Emma to be held in the Annex of the Salt Lake Temple...Feb 26, 1894." [4]

In 1900, Mary Ann Freeze bought Jane's Victorian home at 734 E. 200 S. for \$1000. In 1901, Mary Ann sold the Victorian home at 734 E. to Wilhelmus T. de Groot for \$5000. [9] That same year, James Freeze also sold his property [Mary Ann's home] on the corner at 669 E. 200 S. (which was torn down and replaced by two-story homes for families in the mining industry.) [32] However, the Freezes are still listed as living at 734 E. 200 S. until 1902 when they moved to property in Murray. [9, 32]

The Freezes maintained a residence in Murray but also lived in this neighborhood in two or three different homes on Second south, Seventh East and First south. [32] Mary Ann Freeze who had born ten children, six surviving, had always struggled with her health; she died in 1912 at age 67. [13] Both Jane and James Freeze died in 1919; James was 85 years old, survived by two wives, Lillie and Sophia, 15 children, 41 grandchildren and 8 gr. grandchildren. [14]

Brief History of James P. Freeze Home

This uniquely intact historic lot was first purchased sometime before 1855 by Benjamin S. Jones, but it is unknown whether he lived on the lot. [9,25] The next owner of record is Thomas Brown who was granted the title in 1872. [9]

THE FREEZE FAMILY: 1874-1902.

Just two years later, in 1874, this property was purchased by James Perry Freeze who owned it until 1901. James P. Freeze and his wives lived on this property for over a decade prior to building their 1892 Victorian home. This suggests that a previous home existed on this lot and was torn down when the Victorian home was built. It is unknown what type of dwelling predated the Victorian home. [9,32]

James Perry Freeze was a pioneer from Pennsylvania who joined the Mormon Church and came to Utah by ox-cart in 1861 at the age of twenty seven. At first he worked as a school teacher in Richmond, Cache County, Utah. [14] In 1863 he married his pretty teaching assistant Mary Ann Burnham who was described as "sunny, cheerful, unselfish, devoted...the embodiment of hospitality and generosity." [4,12,13] Mary Ann had come from Nauvoo, Illinois to Utah as a pioneer in 1852. Freeze moved to Salt Lake and took a job as a salesman for Eldredge and Clawson. [14] By 1867 he and Mary Ann were living on the corner of Second South and 7th East. Their home on that corner lot was numbered 669 E. 200 S. In 1869, James P. Freeze opened the 13th Ward Co-operative Store on 100 South. [32]

In 1871, James Freeze took a second wife, Jane Granter, who was described by first wife Mary Ann as "a good, worthy girl." [2,4] In 1873, James took a third wife Sophia Wickens, and in 1875 he married a fourth wife Lelia Tuckett. [2,4,14] Needing a second homestead for his additional wives, James bought this lot at 734 E. 200 S. for \$700 in 1874. [9] James and at least two of his wives lived on this property. [4,32] In 1879 the lot was deeded to Jane G. Freeze [9], and in 1883, James is listed as living "on 2d S. between 7th & 8th E." [32] James had two households for his four wives until 1890 when he built a third home for Lillie, a one-story brick home located at 658 E. 200 S. It must have been a fairly nice one-story home, because it cost \$2600. [1,32]

With his three homes so close to each other, James' four wives and fifteen surviving children spent a great deal of time together. On 8 March 1875 Mary Ann writes, "It is my wedding day, had a chicken pie for dinner... Sophia put a white bow on my neck and hair, tried to make it seem that I was a bride again...Went over to see Lillie a few moments. James told her I was just as good as new after being married 12 years." On May 1, 1875 she writes, "James, Jane, Sophia and Lillie have gone to the theater and I am staying home tending the dear little babies and feel perfectly happy in doing it. I have not the least desire to be at the theater." On 14 Nov. 1889 she writes, "Took Maggie [Mary Ann's daughter] and children up to Lillie's." [4]

In 1884, the family became separated for a time due to anti-polygamist pressures and distant church assignments. Mary Ann moved north to Logan for about a year. [2,4] From 1885 to 1888, James went on a mission to the eastern U.S. and England, possibly to escape the pressure against Mormon polygamists. [2,4,14] After his return to Salt Lake in 1888, he was actually arrested for unlawful cohabitation. Mary Ann records on 10 March 1892, "Lillie and I...went into Lillie's house and found the deputies there in company with Mr. Freeze they having already arrested him and searched through our houses for Jane. It was quite an exiting time." James was later "discharged the following day after examination before Com. Norrell." [2,4]

Meanwhile, in spite of being a busy mother of six and a homemaker, in 1871 Mary Ann became the president of the 11th Ward Retrenchment Association for young women. [12,13] Jane, also a mother of six, was her counselor. Mary Ann served in this church calling for 15 years. In 1878, Mary Ann also became the first president of the Salt Lake Stake Mutual Improvement Association. [12,13] Later, Lillie, a mother of four, also served as president of the Salt Lake Stake Young Women's, as well as on the children's Primary General Board and Young Women's General Board. [35,36]

Mary Ann, Lillie and Jane were pioneering leaders of the 19th-century LDS women's programs. In 1892 Elmina Taylor, LDS Church Relief Society President wrote to Mary Ann, "'Will you please impress upon the minds of your presidents the necessity of --- with renewed energy for the circulation and the success of the Journal, for now is the time and we need the assistance of every president and every member. Can't you write something for the Nov. Journal? Please do.'" [4] In 1893, Mary Ann was called by President Taylor to be on the LDS General Relief Society Board, where Lillie also served; Mary Ann held this high church position until her death. [12,13]

James Freeze served for many years as a member of the LDS Salt Lake Stake High Council. [14] As church leaders, Mary Ann, Lillie and Jane Freeze were constantly engaged by church meetings, leadership responsibilities and travel all over the state. On Dec. 30, 1894 Mary Ann Freeze wrote that "During the past few years I have travelled in the interest of the YWMA three thousand and sixty eight miles." [4] She, Lillie and Jane also rendered compassionate service, medical assistance, domestic help, birthing, cooking and caring for women and children all over the neighborhood. They supervised meetings and projects even from their own sick beds. [4] One wonders how they managed to do it all.

James, Mary Ann, Lillie and Jane were closely associated with many leaders of the LDS Church. On 22 Feb 1875 Mary Ann records that she "Met President Young for the first time...had the pleasure of ... taking supper with him and a number of the Twelve and other prominent men and women." [4] On 22 April 1875 she said "[Dr.] Ellis Shipp has been here today to get some shrubs and flowers for her garden as she has gone to live in Sugar House." On 16 Feb 1884, "President Taylor...called a good company of our leading women to meet the women of the Wyoming Legislature party at the Gardo House." On 10 Jan 1889, "Attended a meeting held for the purpose of organizing a Woman's Suffrage Association of Utah...with some of the noblest women as officers." On May 8, 1893 Mary Ann wrote: "This is a glorious day for me. Apostle Lorenzo Snow and wife Minnie called to see me and brought the joyful tidings that I had been selected to be a worker in our holy temple, among the first. [4] In addition to being a temple worker, Mary Ann also served the church bureau of information as one of the first missionaries on Temple Square. She also was a member of the Utah Women's Press Club and was involved in the Utah women's suffrage movement. [13]

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National Register of Historic Places Continuation Sheet

Section No. 8 Page #

(name), (city), (county) County, UT

Narrative Statement of Significance

(cont...)

This home is a distinct and important type home common to downtown Salt Lake between 1890-1900, reflecting both self-reliance and community cooperation--a period of community development moving from an essentially agricultural economy into agri-commerce and manufacturing at the turn-of-century (1880-1920). This home was located near Mr. Freeze's 13th Ward Coop on 1st South, and five blocks east of historic downtown. The property offers an ideal glimpse into a fashionable residential neighborhood of the late 19th and early 20th centuries. The Freeze home is significant for its example of the local context, and for its situation on the original historic lot. The Victorian home, the 1911 shed, and 1915 cottage help preserve the intact, turn-of-the-century historic nature of the property.

Third, this home is associated with events that contribute to the religious history of Salt Lake. Church meetings for female and male officers of the 11th Ward, Salt Lake Stake and LDS Church were conducted in the home. Also, the important Mormon rituals of blessing, washing and anointing were performed in the home. It is particularly significant is that these rituals were performed by women--a practice later forbidden by Church leaders in the 20th century. [2,4,13]

The Freeze home is also significant under criterion B, for its association with persons significant to the history and development of Salt Lake City. James P. Freeze, was a pioneering merchant in Salt Lake between 1860-1900. This large Victorian home represents the zenith of Freeze's career, constructed while he was owner of a mercantile business on Main Street. Another home closely associated with Freeze was located nearby on the northwest corner of 700 E. and 200 South, where James lived part-time with his wife, Mary Ann. Both James and Mary Ann were pioneers who crossed the plains to Utah between 1847-69. [4,14,32] Freeze was also active in civic and church affairs and associated with other prominent men including LDS Church Leaders and Salt Lake City Mayor, Wm. Armstrong. This home remained his principle residence until he sold it in 1902 and moved south to farmland in Murray. [32]

Other persons significant in the community history are associated with this home. Three of James Freeze's wives held prominent leadership positions in the Mormon church and all three wives used this home. Mary Ann Burnham Freeze and Lillie T. Freeze each served as President of the Salt Lake Stake Young Women's organization, as well as serving on the LDS Women's Relief Society General Board. Jane G. Freeze served as a counselor to Mary Ann in the Young Women's organization. [4,12,13] Additionally, Mary Ann's step father, who raised her from infancy, was Joseph Young, the brother of Brigham Young. [2]

Additionally, James, Mary Ann and Lillie were closely associated with many prominent Mormon Church leaders. [2,4] Prominent female and male LDS Church leaders regularly visited this home, for both religious meetings and social gatherings. Common guests included Dr. Ellis Ship, Dr. Maggie Shipp, Eliza R. Snow, Louise Felt, Zina D. Young, Emmeline Wells, Bathsheba Smith, B.H. Roberts, Charles Penrose, Wm. Armstrong, etc. [2,4]

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National Register of Historic Places Continuation Sheet

Section No. 7 Page 1

(name), (city), (county) County, UT

Narrative Description

(typically a separate paragraph for site, exterior, interior, and outbuildings)
(cont...)

The complex multi-gabled roof features a prominent front gable over a second story polygonal front bay. A hip roof over the back half of the house balances the larger front facing gable over the front half. On the northeast corner, a small gable extends from the larger one over the projecting bay. The front gable overhang is supported by carved brackets.

The exquisite examples of Eastlake design include carved woodwork and ten different kinds of outside trim. The Eastlake features are turned columns, delicate scroll-cut brackets and porch trim, wooden balustrade with decorative paneled base. Other decoration includes wallflower decorated frieze board, fishscaled shingles in gable end, coffers on bargeboards, decorative woodwork in gable peak and corner brackets on eaves over diagonally cut bay corners.

[See attachment A for a more detailed description of the home's Victorian architectural and design features.]

INTERIOR:

The home uses a dual entrance, dual parlor design, which reveals a heritage common with many other Victorian homes. The basic dual parlor plan with center stairway is enhanced by elaborate Eastlake wood trim, moldings and decorative wood all in perfect condition. The beautiful and well-preserved interior woodwork displays hand-painted simulated wood grain. Original brass hardware is found on the doors. The doors and sashes appear to be original. Two standing wood and tile fireplaces in the main parlor and living room are original. Wood plank floors in some rooms are original.

The dual entrance-dual parlor plan has an asymmetrical design, which indicates two separate living quarters. The home was built and used as a dual dwelling for at least two polygamous wives. The house first appears on the 1892 Sanborn map, marked "2 D" for a dual-dwelling. [26] In addition, the second floor parlor and dining room could also have been used as a third living quarters. This is an ideal floor plan for a polygamous family with two or three wives, each having individual living quarters, yet sharing a common kitchen on the main floor.

Later, between the years, 1938-1944, this home was remodeled into four separate apartments. [3] A kitchen was added on the west side of the main floor, along with elaborate wainscoting cabinets and china closet. Two kitchens were added upstairs, with the same wainscoting and cabinets.

On the rear or south side of the home is a one-story, full-length porch with shed style roof, that runs the full width of the home. This porch was added in 1940; it was later remodeled into two bedrooms and two bathrooms. [1,3]

ADDITIONAL STRUCTURES ON THE PROPERTY:

Behind the house on the lot are two additional buildings: a three car shed/carport about fifty feet behind the home, and a 1-story cottage with garage back at the very rear of the property. The shed/carport is made of wood planks and first appears on the 1911 Sanborn map. [3,26] The cottage is a one-story frame house recorded as built in 1915 [1,3]. The cottage does not appear on the 1911 Sanborn map, but does appear on the 1950 Sanborn map in its present location at the rear of the property. [26]

Historically, two additional dwellings, now gone, predated the existing Victorian home on this lot. One was a tiny one-story cottage just 22 ft. directly behind the Victorian home, and the other was a residence used prior to building the Victorian home. The tiny one-story cottage first appears on the 1892 Sanborn map 22 ft. directly behind the Victorian house with the address number 734 1/2. This is undoubtedly the 1-story frame structure/annex built in 1891 at the rear of the home [3,17]. This tiny cottage still appears on the 1950 Sanborn map and was torn down sometime after that. [26]

It is unknown what type of residence existed prior to the building of the Victorian home. But this lot had three owners between 1855 and 1874, any of who may have lived here. [9] James Freeze bought the property in 1874 and is listed as living on the property by 1883, ten years before his Victorian was built. [9,32] Jane is listed as living here in 1889. The Freeze residence likely housed two wives and their children; Lillie is sometimes reported as living with Jane. [4] A dwelling larger than the tiny cottage would be needed to house the Freeze family. [7,32] The early residence was likely torn down in 1892 when it was replaced by the Victorian home. [1,26,32]

X See continuation sheet

James P. Freeze Home
Name of Property

Salt Lake City, Salt Lake County, Utah
City, County, and State

10. Geographical Data

Acreage of property 1 acre

UTM References

(Place additional UTM references on a continuation sheet.)

A 1/2
Zone Easting Northing

B
Zone Easting Northing

C

D

Verbal Boundary Description

(Describe the boundaries of the property.)

COMMENCING AT THE NORTHEAST CORNER OF LOT 6, BLOCK 45, PLAT B, SALT LAKE CITY. SUR. SOUTH 225 FEET, WEST 74 1/2 FEET, NORTH 225 FEET, EAST 74 1/2 FEET, TO BEGINNING.

Property Tax No. #

 See continuation sheet(s) for Section No. 10

Boundary Justification

(Explain why the boundaries were selected.)

The boundaries include the entire city lot that has been historically associated with the property.

 See continuation sheet(s) for Section No. 10

11. Form Prepared By

name/title Maxine Hanks, historian

organization Hanks and Co.

date December 1997

street & number P.O. Box 1778

telephone (801) 322-5640

city or town Salt Lake City

state UT zip code 84110-1778

Additional Documentation

Submit the following items with the completed form:

- **Continuation Sheets**
- **Maps:** A USGS map (7.5 or 15 minute series) indicating the property's location. *(SHPO)
A Sketch map for historic districts and/or properties having large acreage or numerous resources.
- **Photographs:** Representative black and white photographs of the property. *(SHPO)
- **Additional items** (Check with the SHPO or FPO for any additional items.) *(slides at SHPO)

Property Owner

name Jan Bartlett and Nancy Saxton

street & number 164 S. 900 E.

telephone (801) 533-8185

city or town Salt Lake City

state UT zip code 84102 -

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Projects (1024-0018), Washington, DC 20503.

9. Major Bibliographical References

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

DOCUMENTS and MANUSCRIPTS:

1. Building Permits, Salt Lake City:
 - 1890, Sept. J.P. Freize, 2nd S. bet. 6 & 7 East, 1-story brick dwelling, 5 rooms, builder Eardley, \$2600;
 - 1892, June 8, J.P. Freeze, 2-story brick dwelling, 10-rooms, \$4500, C.H. Neilson builder [Carl E. Nielsen]
 - 1915, Jan. 2, Rear 734 E. 2d South; notes, "see 732" "1 story frame" "frame dwelling"
 - 1915, Sept. 16, Rear 734 E. 2d South, porches, electrical, plumbing
 - 1921, Jan 5, correction: electrical permit and note "two homes on one lot built prior to 1927".
 - 1931, electrical, plumbing, repair garage.
2. Burgess, Vicky, "Mary Ann Burnham Freeze, 1845-1912," unpublished study of journals.
3. County Assessor's tax appraisals: 1955 (cottage in rear); 1962 (house at 734 E.)
4. Freeze, Mary Ann, "Diaries," LDS Historical Department and "Scrapbook," LDS Historical Department.
5. Legal Description for property at 734 E. 200 S., County Recorder's Office.
6. Legal papers, "Complaint to Quiet Title, 6 Jan. 1998.
7. LDS Family Group Sheet, Family History Library, LDS Church.
8. Mickelsen, Vicki G., architectural survey and report, "James Perry Freeze House," Architectural History 324, University of Utah, Fall 1981.
9. Title search/abstracts, Salt Lake County Recorders Office, Ramona Harris, January 29, 1996. typescript, 1997.
10. Utah State Historical Society, Library files.
11. Utah State Historical Society, Historic Preservation Office files.

ARTICLES:

12. "Biographical Sketch of Mrs. M.A. Freeze," Young Women's Journal, Vol 2, No. 5, Feb 1891.
13. Deseret Evening News, obit, "Mrs. Mary A. Freeze Dies at Her Home," 22 Jan. 1912.
14. Deseret Evening News, obit, "James P. Freeze Well Known Veteran," dies, 30 May 1919. also, Deseret Evening News, 2 June 1919.
15. Deseret Evening News, obit, "Jane Granter Freeze Early Settler Dies," 20 Nov. 1919.
16. Jenson, Andrew P., "Church Chronology," Deseret News, Salt Lake City, 1914, p. 186. [J.P. Freeze arrested for unlawful cohabitation]
17. Salt Lake Tribune, notice, 1 Jan. 1891: J.P. Freeze 734 E. rear, one-story frame annex, est. \$500.
18. Salt Lake Tribune, notice, 1 Jan. 1893, J.P. Freeze 734 E. 2nd S. 2-story 10 room brick dwelling, \$4500; records of building inspector Hamlin.
19. Salt Lake Tribune, 1919, obit for James P. Freeze.

MAPS, PLANS AND PHOTOGRAPHS:

20. Aerial photo survey, 1960s, SLC Building Permits and Licensing.
21. Floor plans, to scale, 1997, Alan Hardman.
22. Historic photos, house and cottage, est. 1930, Salt Lake County Assessor's Archives.
23. Historic photos of 200 S. street, Salt Lake, Utah State Historical Society.
24. Mary Ann Burnham Freeze, photo in group, R.S Board, 1896, "Elmina Taylor's Board," 100 Years of the YMMIA, Young Women, LDS Church.
25. Plat maps, 1850s, Salt Lake City.
26. Sanborn maps, Marriott Library, University of Utah.
 - 1889 Sanborn survey plat of city
 - 1892 correction
 - 1894 correction
 - 1898 Sanborn
 - 1911 Sanborn
 - 1950 Sanborn
27. Site sketch map, 1998.
28. USGS map of Salt Lake City, Utah.

INTERVIEWS:

29. Andersen, Dorothy, daughter of Kate de Groot Andersen, gr. daughter of Wm. and Francis de Groot.

BOOKS:

30. Biographical Record of Salt Lake City and Vicinity
31. Carter, Thomas and Goss, Peter, Utah's Historic Architecture, 1847-1940, U.of U. Press, Salt Lake, 1988.
32. City Directories, Salt Lake, 1867-1928.
33. Jensen, Andrew, Encyclopedic History, Eleventh Ward.
34. Jenson, Andrew P., LDS Biographical Encyclopedia and Encyclopedic History of The Church of Jesus Christ of Latter-day Saints, Deseret News Publishing Co., Salt Lake City, 1941.
35. Peterson and Gaunt, Keepers of the Flame, Deseret Book.
36. Young Women's, 100 Years of the YMMIA, LDS Church.

Previous documentation on file (NPS): *

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey
- # _____
- recorded by Historic American Engineering Record # _____

Primary location of additional data:

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other

Name of repository: _____

See continuation sheet(s) for Section No. 9

8. Statement of Significance

Applicable National Register Criteria

(Mark "x" on one or more lines for the criteria qualifying the property for National Register listing.)

- A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B** Property is associated with the lives of persons significant in our past.
- C** Property embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D** Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" on all that apply.)

Property is:

- A** owned by a religious institution or used for religious purposes.
- B** removed from its original location.
- C** a birthplace or grave.
- D** a cemetery.
- E** a reconstructed building, object, or structure.
- F** a commemorative property.
- G** less than 50 years of age or achieved significance within the past 50 years.

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

Built in 1892, the James P. Freeze home is significant under criterion C as a distinct and important type house common to Salt Lake City, the surrounding area, and throughout Utah between 1880-1910. The house is a remarkably intact, well-preserved example of 1890-92 Queen Anne/Eastlake dual parlor homes constructed during the same time period in Salt Lake. This house retains all of its Victorian and Eastlake detailing; the trim of this house appears to be more fully developed than that of most similar homes. The home is architecturally significant in four aspects: 1--It is in near perfect condition, one of the best preserved Victorian/Queen Anne-Eastlake homes in downtown Salt Lake; usually most Victorian homes show more wear or remodeling. 2--Its scale or size is unusual, and quite large. 3--It has unique Victorian features. The tower or turret is uncommon. The stained glass windows and transoms are original; and the vertical stained glass panels along the sides are quite rare; few other examples exist. The porch is an exquisite example of Eastlake design. The trim includes ten different types of Eastlake and other carved woodwork. The interior trim and moldings, and decorative wood have a hand-painted grain and are in perfect condition. 4--The asymmetrical dual entrance/dual parlor plan indicates two separate living quarters on the main floor; another on the second floor. This home is an intact example of a 19th-century Mormon polygamous dwelling. [1,26,32]

This house is also significant under criterion A, for its association with an important period of development in Salt Lake's cultural and religious history. First, the location of this home near the corner of a major downtown intersection is historically significant. This house at 734 E. 200 S. is located in the Salt Lake Eleventh Ward, one of the original 19 Mormon wards--an area platted in 1849 as Salt Lake Stake. [25,33] This area was further developed during a second phase of Salt Lake's growth (1850-1870) beyond its initial settlement. [31]

Second, the Freeze home is an ideal example of the architectural and economic development of Salt Lake beyond its original pioneer character, during the agri-business phase between 1870-1920, in the heart of historic Salt Lake. It is one of few remaining homesteads near downtown Salt Lake. This 1892 house, situated on the original one acre and accompanied by an associated historic cottage (1915), provide an excellent example of a type of dwelling commonly built in Salt Lake during the turn-of-the-century period of rapid expansion and urbanization (1890-1930). This house is expressive of a major shift in Salt Lake community architecture, from pioneer dwellings to more substantial and elaborate homes. Houses built at the turn-of-the-century were permanent, substantial structures made of brick or stone and adorned with decorative features, reflecting stability and growth. [31]

Areas of Significance

(Enter categories from instructions)

HISTORIC EVENTS

IMPORTANT PERSONS

ARCHITECTURE

Period of Significance

1902 (1880-1910)

Significant Dates

1892

Significant Person

(Complete if Criterion B is marked above)

James Freeze, Mary Ann Freeze, Lillie Freeze

Cultural Affiliation

Mormon (late 19th-century Utah)

Architect/Builder

C. H. Neilson or Carl E. Nielsen

James P. Freeze Home
Name of Property

Salt Lake City, Salt Lake County, Utah
City, County, and State

5. Classification

Ownership of Property
(Check as many boxes as apply)

- private
- public-local
- public-State
- public-Federal

Category of Property
(Check only one box)

- building(s)
- district
- site
- structure
- object

Number of Resources within Property
(Do not include previously listed resources in the count.)

Contributing	Noncontributing	
1	2	buildings
		sites
		structures
		objects
1	2	Total

Name of related multiple property listing
(Enter "N/A" if property is not part of a multiple property listing.)

N/A

Number of contributing resources previously listed in the National Register

N/A

6. Function or Use

Historic Functions
(Enter categories from instructions)

DOMESTIC / Dual dwelling

Current Functions
(Enter categories from instructions)

Domestic / Dual or multiple dwelling

7. Description

Architectural Classification
(Enter categories from instructions)

VICTORIAN : Queen Anne - Eastlake
dual entrance-dual parlor plan

Materials
(Enter categories from instructions)

foundation SANDSTONE
walls BRICK / rough and fired
roof ASPHALT
other

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

Tucked into the shadows between modern high rise condominiums and apartments, this majestic historic home with its mysterious white tower challenges passing traffic on 200 South to contemplate the individuality of its angular brick walls, stained-glass windows, gingerbread woodwork and irregular Victorian styling. Impeccably maintained, this home shows little change since its construction in 1892, unlike the street it graces.

Built in 1892, the James P. Freeze Home is a large, two-and-a-half story Victorian structure with an asymmetrical dual-parlor floor plan. This home is an outstanding example of early 1890s Queen Anne/Eastlake design and construction. From the Queen Anne comes the emphasis on texture and irregular eclectic features. The Eastlake design ornaments the house with gingerbread style trims. The irregular styling is seen in the multigabled roof and asymmetrical massing of the overall structure, characteristic of the Queen Anne style. The entire form reflects the Victorian concern for fine craftsmanship and ornamentation. The house is one of the best-preserved Victorian homes in downtown Salt Lake. It is in excellent historic condition, on both the exterior and interior. [8]

EXTERIOR:

The low foundation is made of a rough sandstone, painted reddish-pink. The walls are brick, revealing 1/4 pr. brick, 1/2 sr. brick, and 1/4 fired brick. The entire brick exterior has been painted dark red. There are segmental arches over the windows.

The exterior ornamentation develops many familiar Victorian themes, including a variety of classic Eastlake influences. An intriguing touch is added by the unique stained glass window panels and transoms, as well as the square tower or turret in front over the second story. The turret has wood shingles and a steep pointed pyramidal roof capped by an ornamental wrought iron finial. From the front, the height of the tower is balanced by a tall chimney with heavy corbelled brick chimney pots rising from the east side of the house. There are also three other chimneys of varying heights.

X See continuation sheet(s) for Section No. 7
January 27, 2021

HISTORIC SITE FORM

(Historic Sites Database version)

Utah State Historic Preservation Office

1. Identification

Property Name: **FREEZE, JAMES, HOUSE**

Address: **734 E 200 SOUTH**

City: **SALT LAKE CITY** County: **SALT LAKE COUNTY**

ID#: **33175**

Old ID#: 271601

Plat:

Block:

Site:

2. Documentation/Status

Evaluation: (**A**) **ELIGIBLE/SIGNIFICANT**

National Register Status:

EAST SIDE HISTORIC DISTRICT

Date Listed **8/2/2001** Date Delisted:

Thematic or MPS Affiliation:

Dates Surveyed / Added to SHPO Files

Recon. Level Survey: **03 / 95**

Intensive Level Survey: **/**

General/Misc. File: **04 / 98**

Areas of Significance:

3. Building Information

Date(s) of Construction: **1900 c.**

Height (# stories): **2.5**

Original Use **SINGLE DWELLING**

Outbldgs: Contrib. **1** Non-Contrib. **0**

Comments: **DRAFT NOMINATION**

Plan/Type: **CENTRAL BLK W/ PROJ BAYS**

Style(s): **EASTLAKE
QUEEN ANNE**

Material(s) **SHINGLE SIDING
REGULAR BRICK**

Architect(s):

4. Other SHPO File Information

Federal Tax Project No.(s)

UT..

State Tax Project No.(s)

S98-0311

106 Case No..

Devel. Grant:

Historic Photo Date:

HABS/HAER:

Printout Date: 12/2/2003

ATTACHMENT C: Application Materials

Bartlett-Saxton Residence Addition and Remodel
732 South 200 East

Scope Of Work

The project consists of a new rear second story addition to an existing historic residence. The new rear addition will replace the roof/attic story of a prior 1950s one story rear addition to provide additional living space as well as a master suite. The proposed addition is considered a major alteration. A special exception is being requested for the following: a reduction of the 18'-9" rear setback to 11'-5"; a reduction of the 10'-0" side yard setback to 4'0"; and, legalization of an existing noncomplying 3'-4" separation between an accessory structure and a principal structure. (Note: a recently purchased 9' wide, 675 SF parcel has expanded the property to eliminate a previous request for an east side yard variance.)

The 1 ½ story residence was constructed circa 1915 as a rear cottage for the historic Freeze House, which was designated a Cultural Resource in 1997. The property has been elevated to Landmark status, due to quality craftsmanship and architecture, as well as an association with Church of Jesus Christ of Latter Day Saints history. Per a previous HLC staff report:

"As described in the provided landmark nomination, this structure provided a single-family residential use. The cottage is included in the nomination for its contribution to:

"This 1892 house (The Freeze House), situated on the original one acre and accompanied by an associated historic cottage (1915), provide an excellent example of a type of dwelling commonly built in Salt Lake during the turn-of-the-century period of rapid expansion and urbanization (1890-1930)."

A rear addition was added sometime after 1950; it was not shown on the Sanborn Map of that year.

Setbacks

At 3769 SF, the subject property lot area is less than the 5000 SF required for RMF-45 zoning. The smaller-than-zoned lot area, along with required off street parking requirements, have limited the buildable footprint. These factors, in conjunction with keeping the original cottage intact, have generated a need for a reduced rear yard setback.

The existing 1950s addition is in line with the original cottage. Good historic design practice usually involves offsetting an addition from an original structure's wall, to help differentiate old from new. Per discussion at the 1/7/21 HLC Work Session, this structure is more typical of those built in residential districts such as SR-1A. Said districts have setbacks of 10' on one side and 4' on the other; a special exception is requested to reduce the west setback to match this situation. Such a setback will allow the building addition to be offset, in keeping with preferred design practices.

Building Form

A second story addition is being proposed, due to the aforementioned site constraints. The basement and first floor of the prior addition will essentially remain, and the new addition will replace its roof. The south wing of the addition will occur at the upper level only, to allow for off street parking and access to an existing storage shed. A balcony will be located at the east elevation to access preferred views, and will replace a post 1950 lean-to roof over the exterior stairs and rear entrance.

In order to provide sufficient floor space above, and parking/drive space below, portions of the addition and balcony are cantilevered. Decorative brackets have been added at these locations as a period-appropriate detail.

Building Roof

The roof slope of the new addition will match the 4:12 slope of the original cottage covered porch. Matching this shallow slope will allow for a lower overall height of the addition, and maintain the original design intent of a steep slope at the main structure, and shallow slope at appendages. Gable detailing will include decorative brackets matching the aforementioned cantilevers. Though not a detail on the original cottage, the brackets are appropriate for an addition similar to, but later than, the cottage. The open rafter eave design of the original structure will be duplicated, for overall consistency.

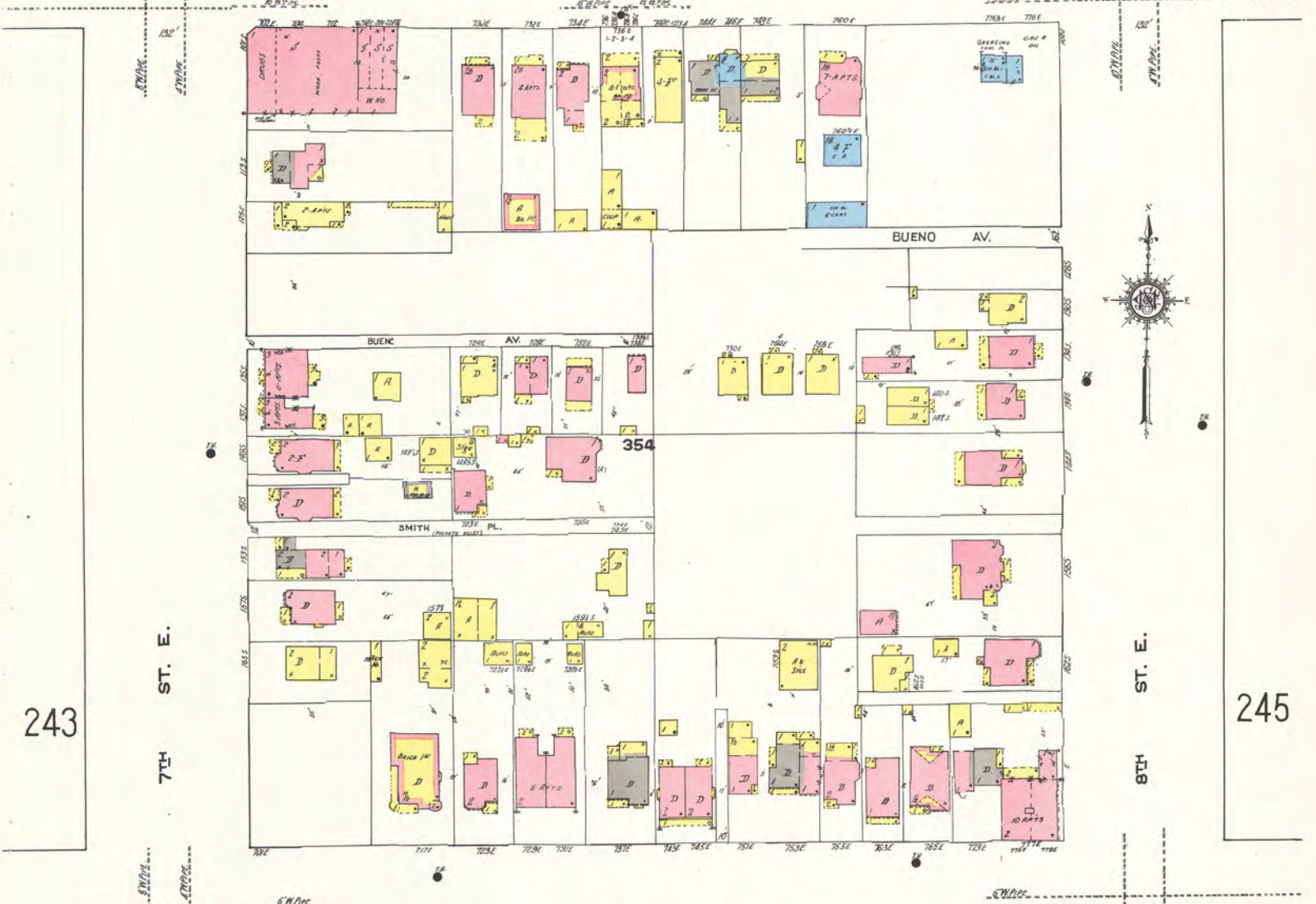
The existing roof will be altered by providing a cricket with a differing yet complimentary material to return the cottage roof to its original shape of hips at all four sides. This original configuration is confirmed by framing visible in the attic; it was altered during the construction of the prior addition.

Building Details

Exterior details will both match and complement the original cottage. Where appropriate, window sizes and proportions will match existing windows. Additional shapes will be incorporated where dictated by furnishings, internal layouts, and exterior views. Window groupings will be period appropriate, such as the configuration at the south elevation: taller windows flanking one with a high sill will provide a location for a sideboard.

Exterior siding and trim at the addition will be similar in form. This will help differentiate, while still harmonizing. Additionally, finding a source of exact matches to existing trim profiles has proved unsuccessful. Earlier architecture studies of alternate trim work to differentiate between original and new were found to be disharmonious.

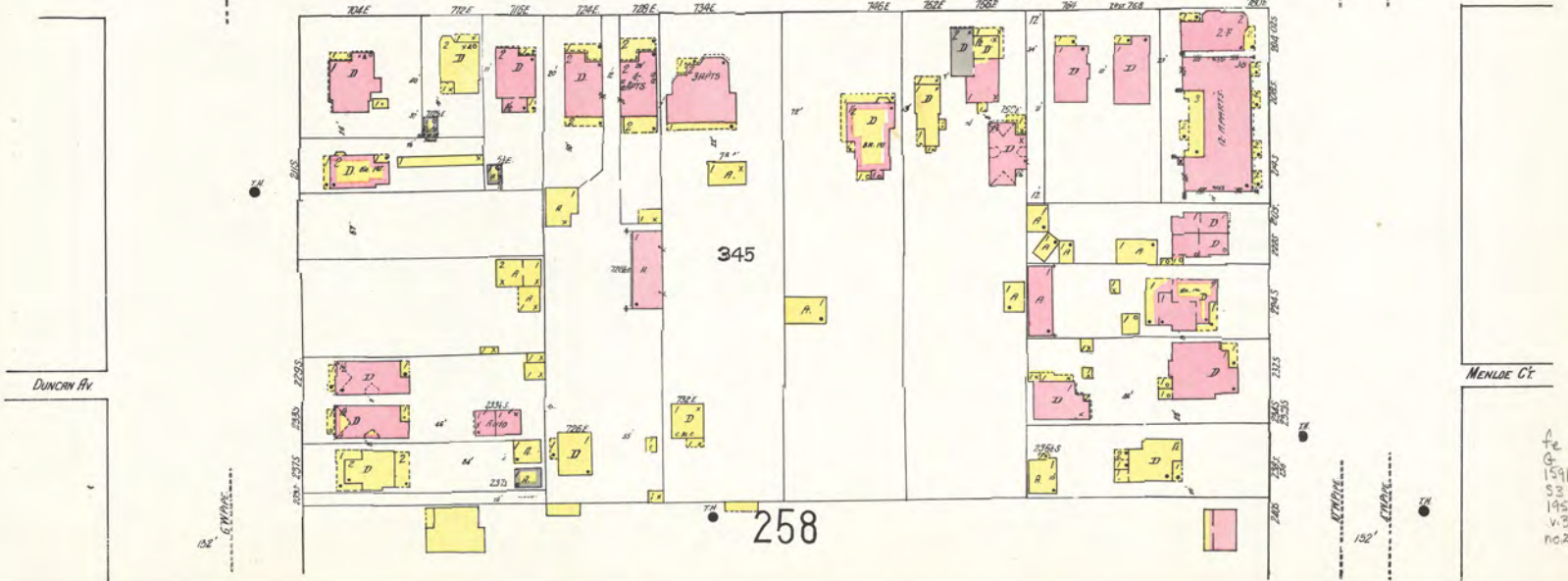
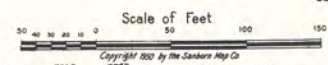
S E E W I U M E D N B
1ST ST. S.



243

245

2ND ST. S.

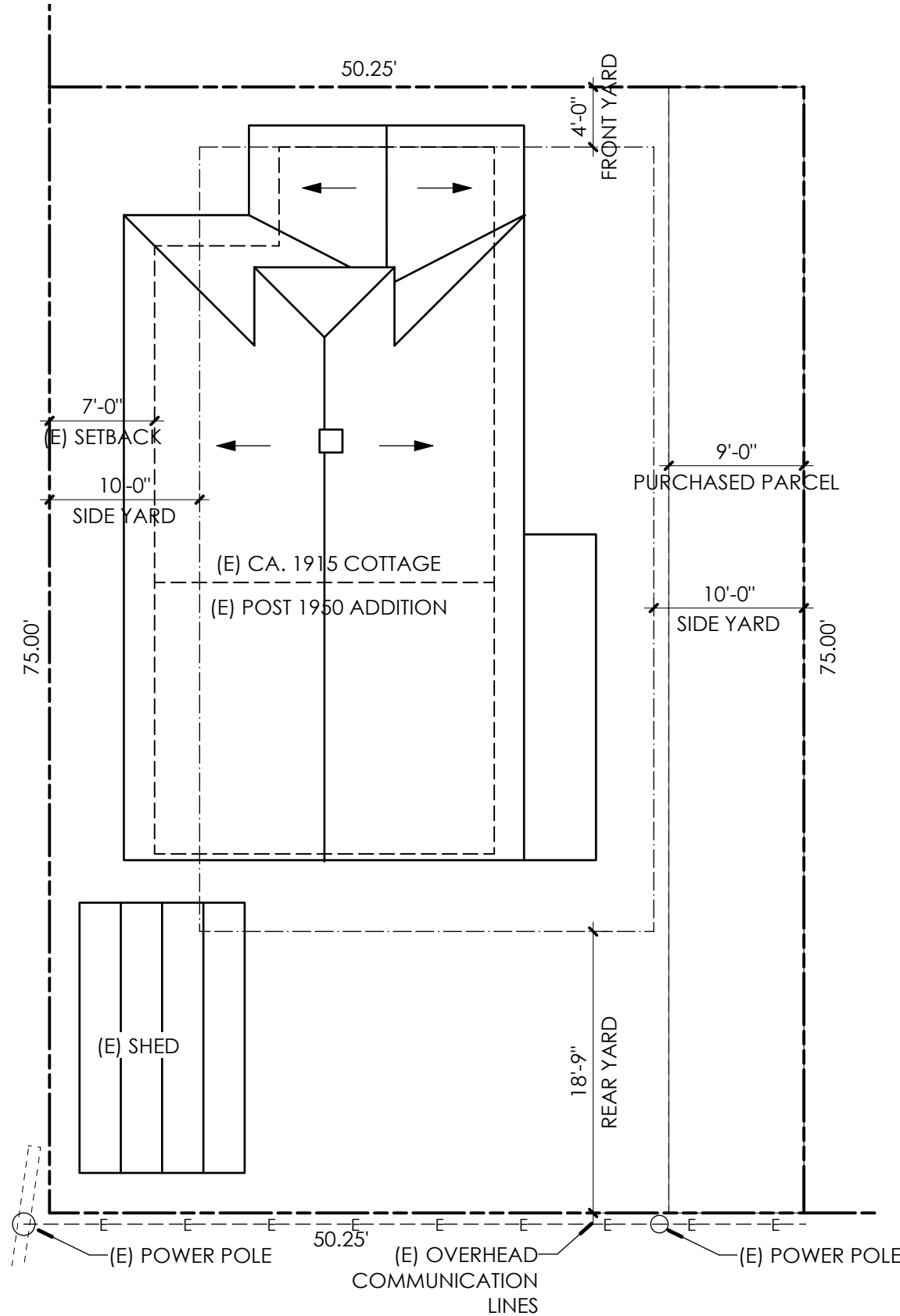
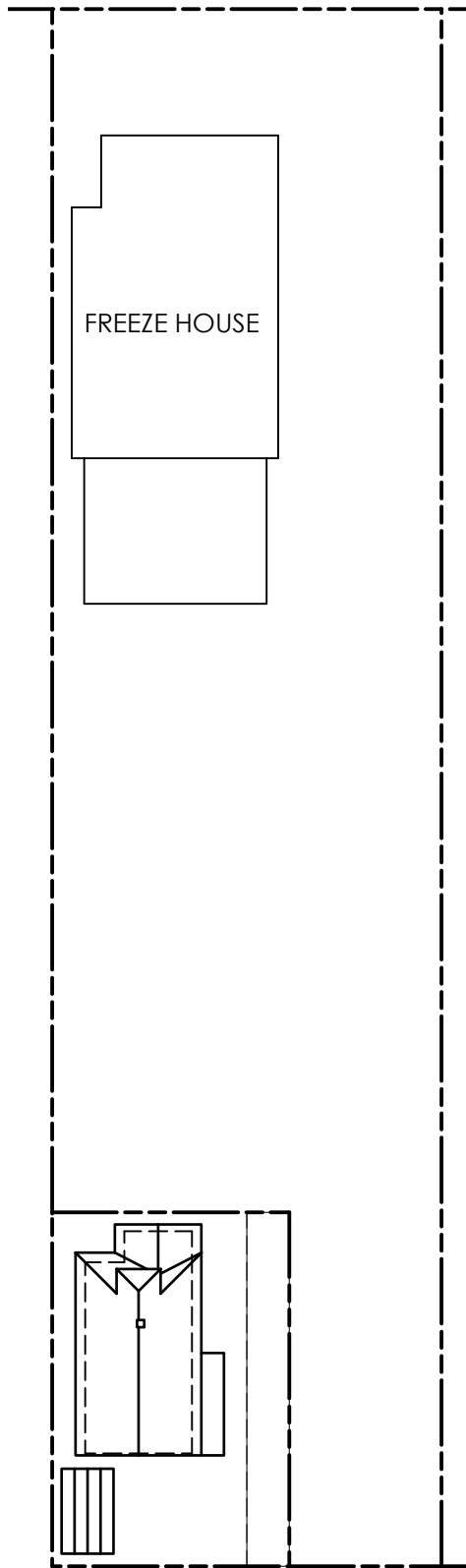


DUNCAN AV.

MENDEL CT.

258

A
G
1541
53
1950
V.3
NO.244

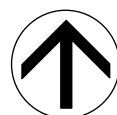


ZONING ANALYSIS

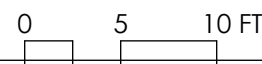
ADDRESS:	732 EAST 200 SOUTH
PARCEL NO.:	16051570090000
LEGAL DESCRIPTION:	BEG 2 1/2 RDS W OF SE COR OF LOT 6 BLK 45 PLAT B SLC SUR W 2 1/2 RD N 75 FT E 2 1/2 RD S 75 FT TO BEG (PURCHASED PARCEL NOT INCLUDED)
ZONE:	RMF-45
HISTORIC DESIGNATION:	LANDMARK SITE
MIN. LOT AREA:	5000 SF (SINGLE FAMILY DETACHED DWELLING)
ACTUAL LOT AREA:	3769 SF
MIN LOT WIDTH:	50' (SINGLE FAMILY DETACHED DWELLING)
ACTUAL LOT WIDTH:	50.25'
MAX. LOT COVERAGE:	2261 SF (60% OF LOT AREA)
EXIST. LOT COVERAGE:	1360 SF (36% OF LOT AREA)
MAX. BLDG HEIGHT:	45'
EXIST. BLDG HEIGHT:	18'-9"
FRONT YARD:	4' (FOR BUILDINGS LEGALLY EXISTING ON APRIL 12, 1995, REQUIRED FRONT YARD SHALL BE NO GREATER THAN THE EXISTING)
INTERIOR SIDE YARD:	10' ON EACH SIDE
REAR YARD:	18.75' (25% OF LOT DEPTH, BUT NEED NOT EXCEED THIRTY FEET 30')
LANDSCAPE YARDS:	THE FRONT YARD AND ONE OF THE INTERIOR SIDE YARDS SHALL BE MAINTAINED AS A LANDSCAPE YARD

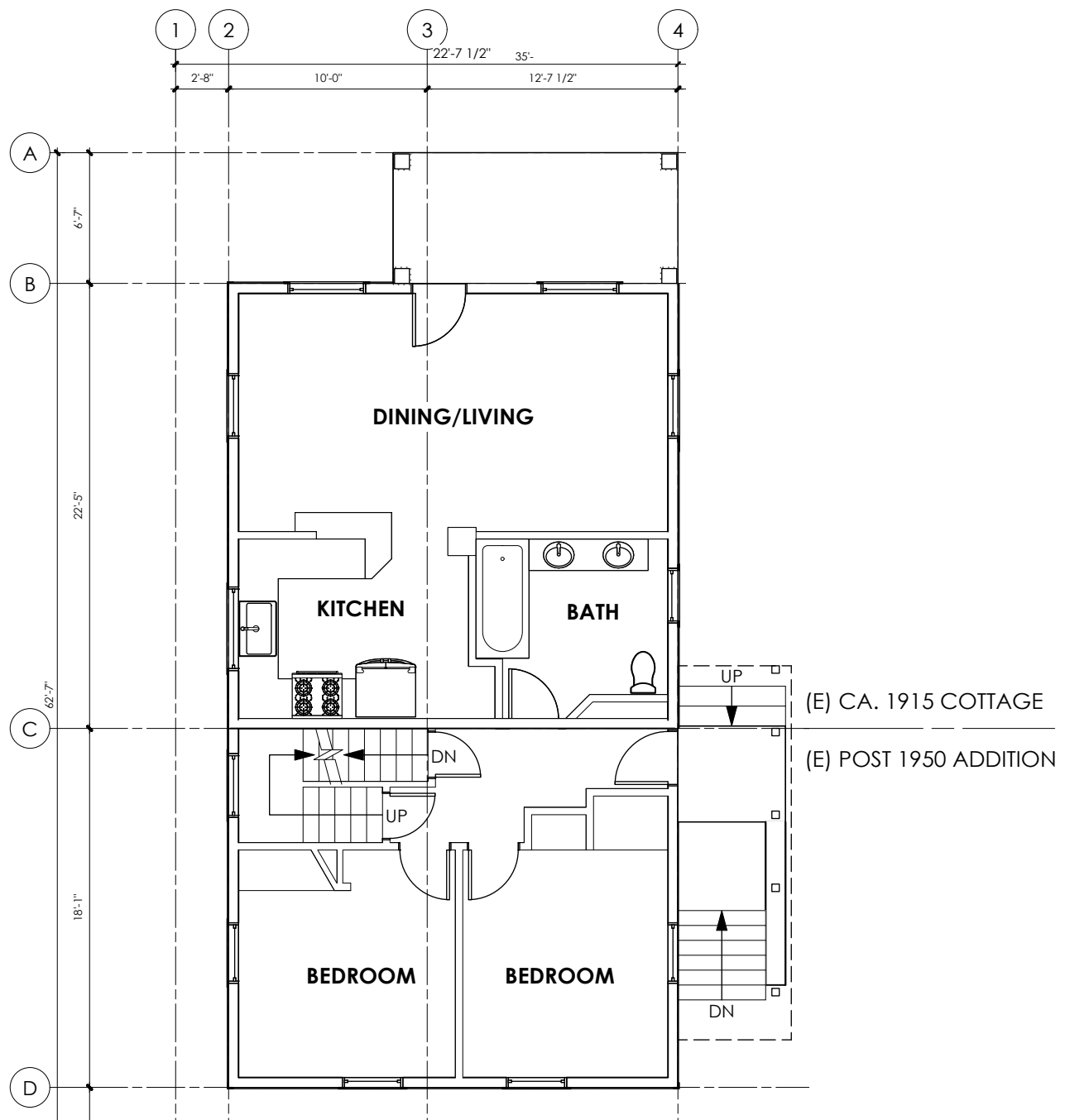


(E) SITE PLAN
2
 Scale: 1" = 40'-0"
 PLNHLC2019-01454 & PLNHLC2019-01688



(E) SITE PLAN
1
 Scale: 1" = 10'-0"

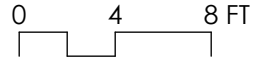




1

(E) MAIN LEVEL FLOOR PLAN

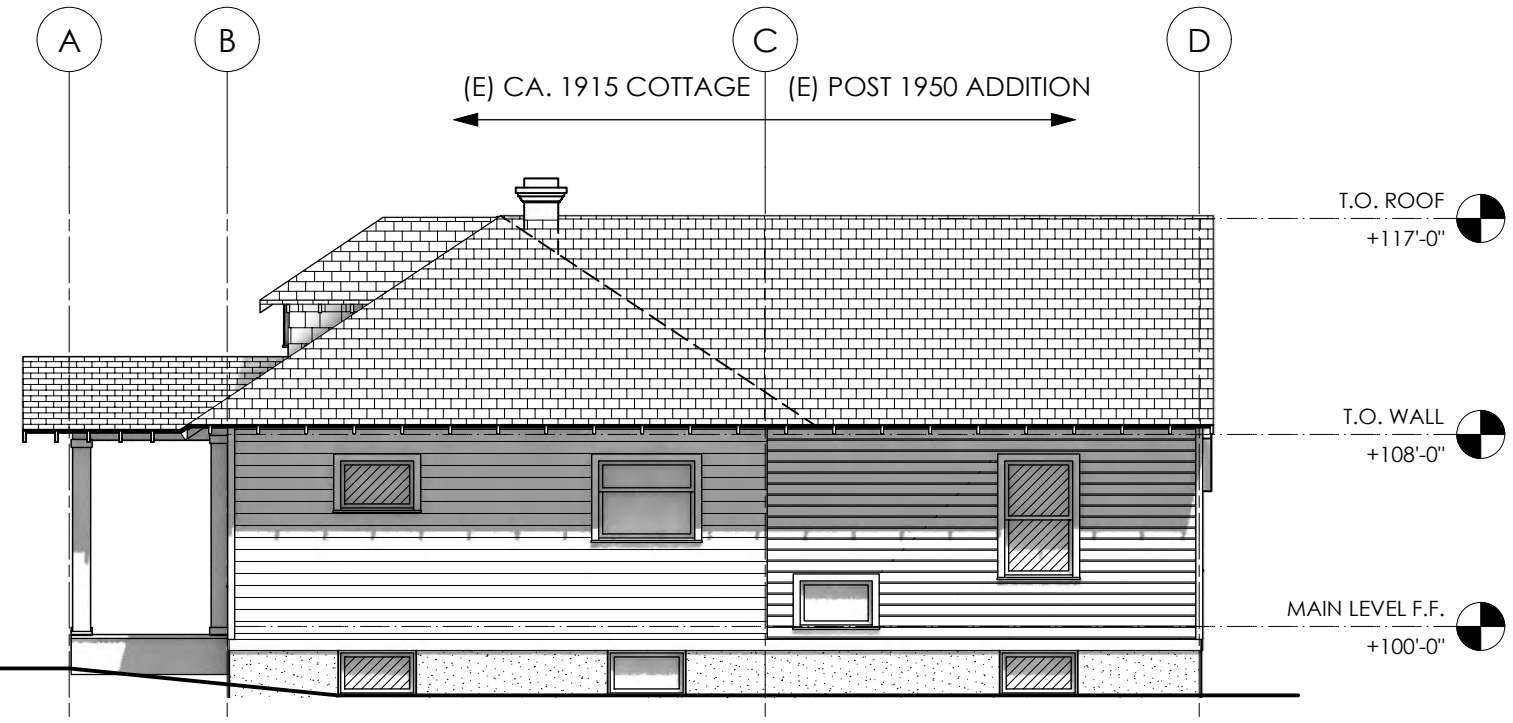
Scale: 1/8" = 1'-0"



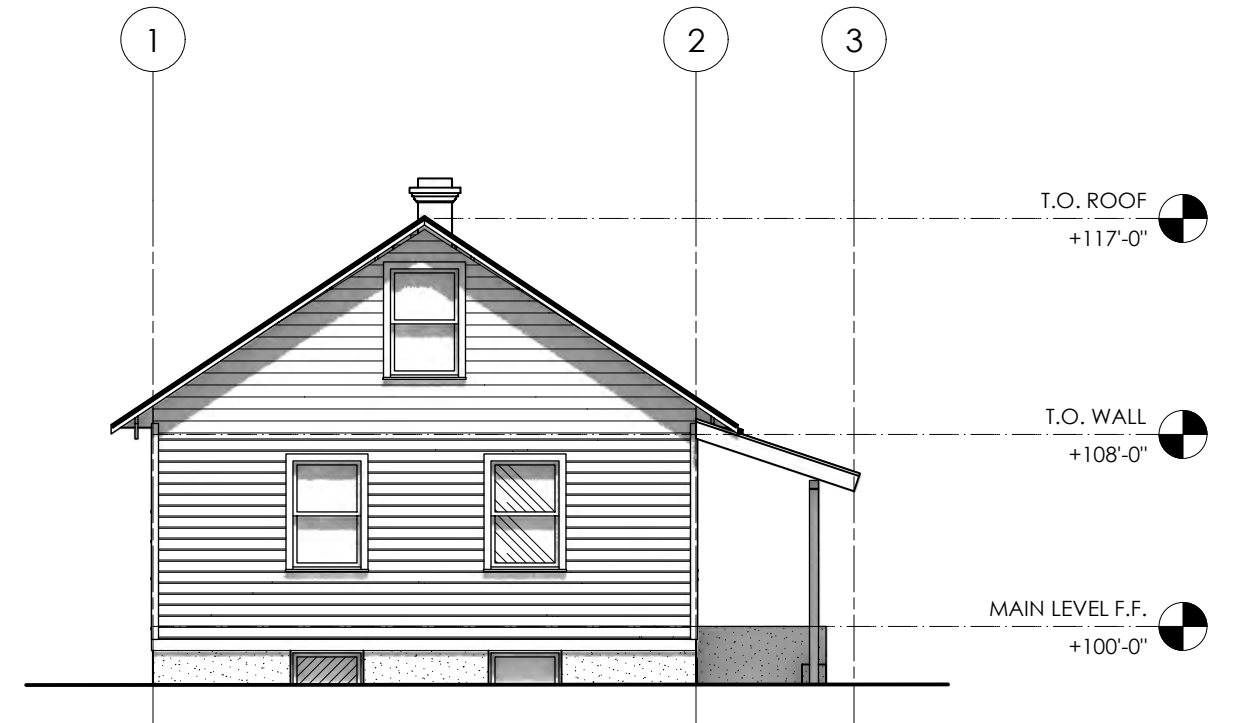
FLOOR AREAS

MAIN LEVEL	
ORIG. COTTAGE-	507 SF
CA. 1950 ADDITION-	409 SF
TOTAL-	916 SF
ATTIC LEVEL	
ORIG. COTTAGE-	224 SF
CA. 1950 ADDITION-	180 SF
TOTAL-	410 SF

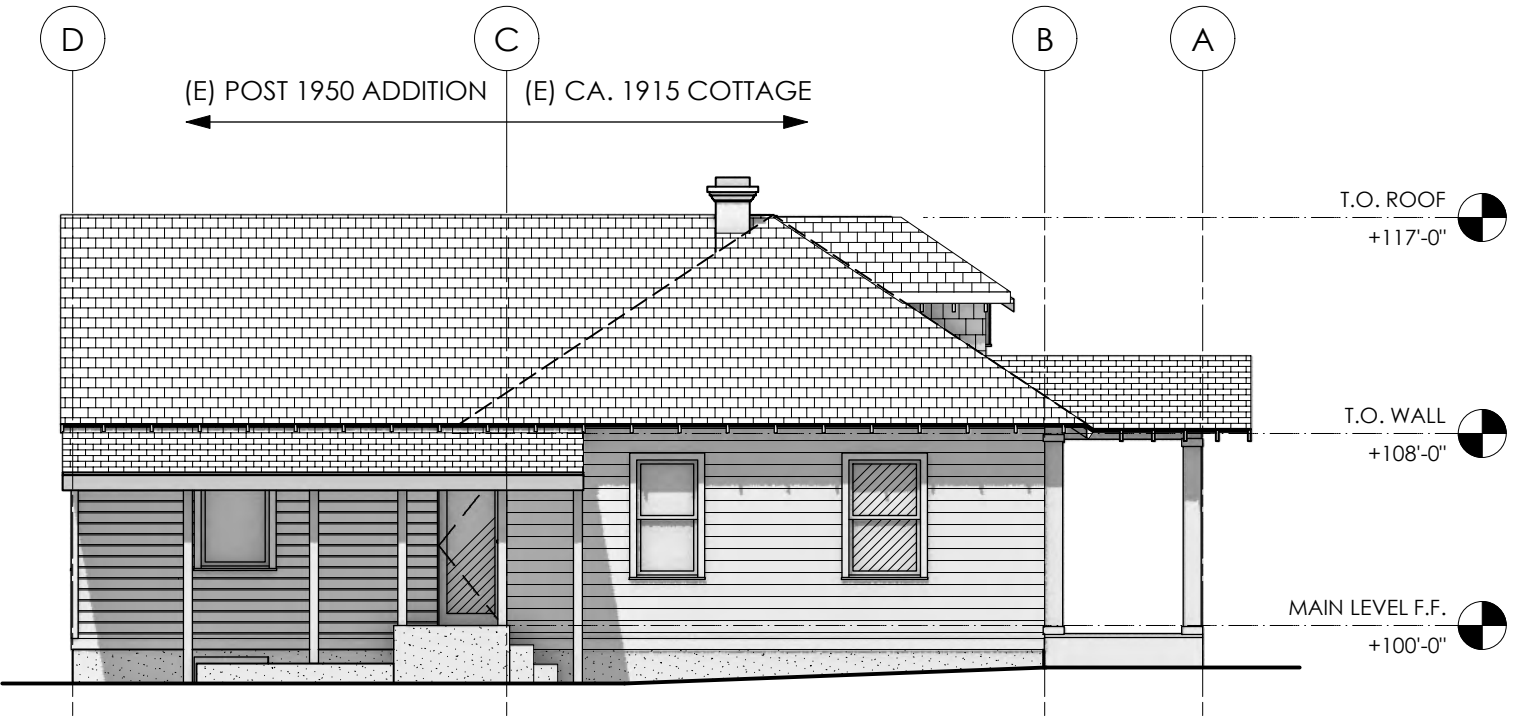
January 27, 2021



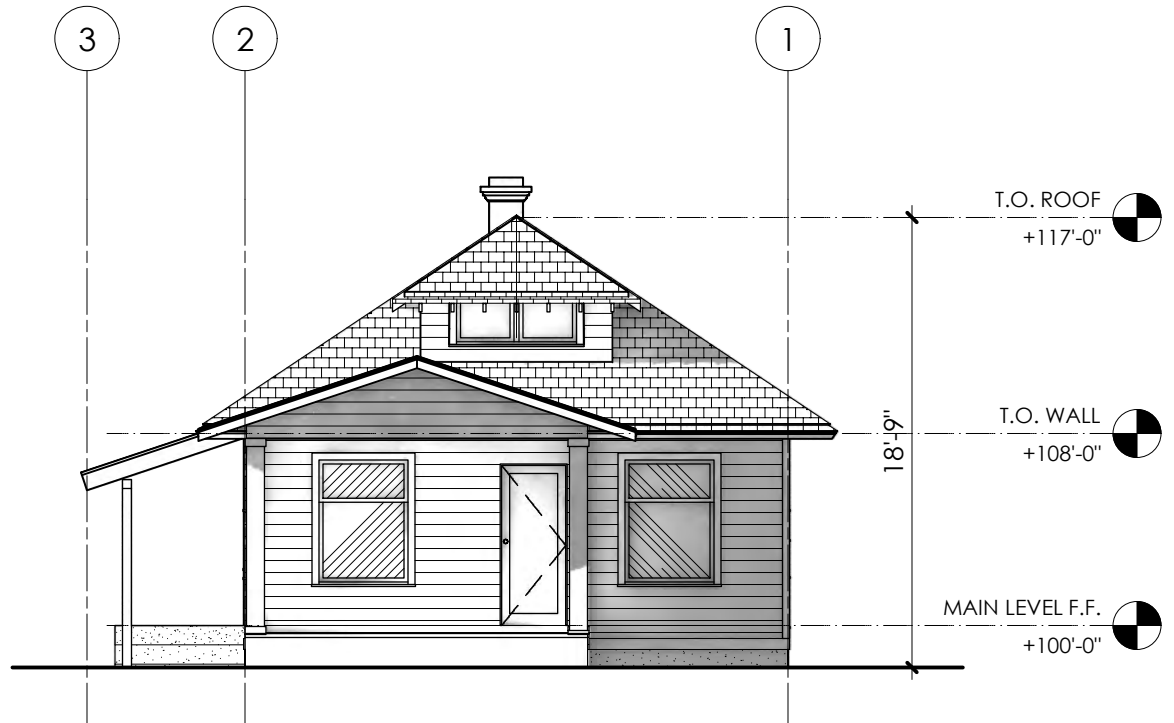
4 EXISTING WEST ELEVATION
Scale: 1/8" = 1'-0"



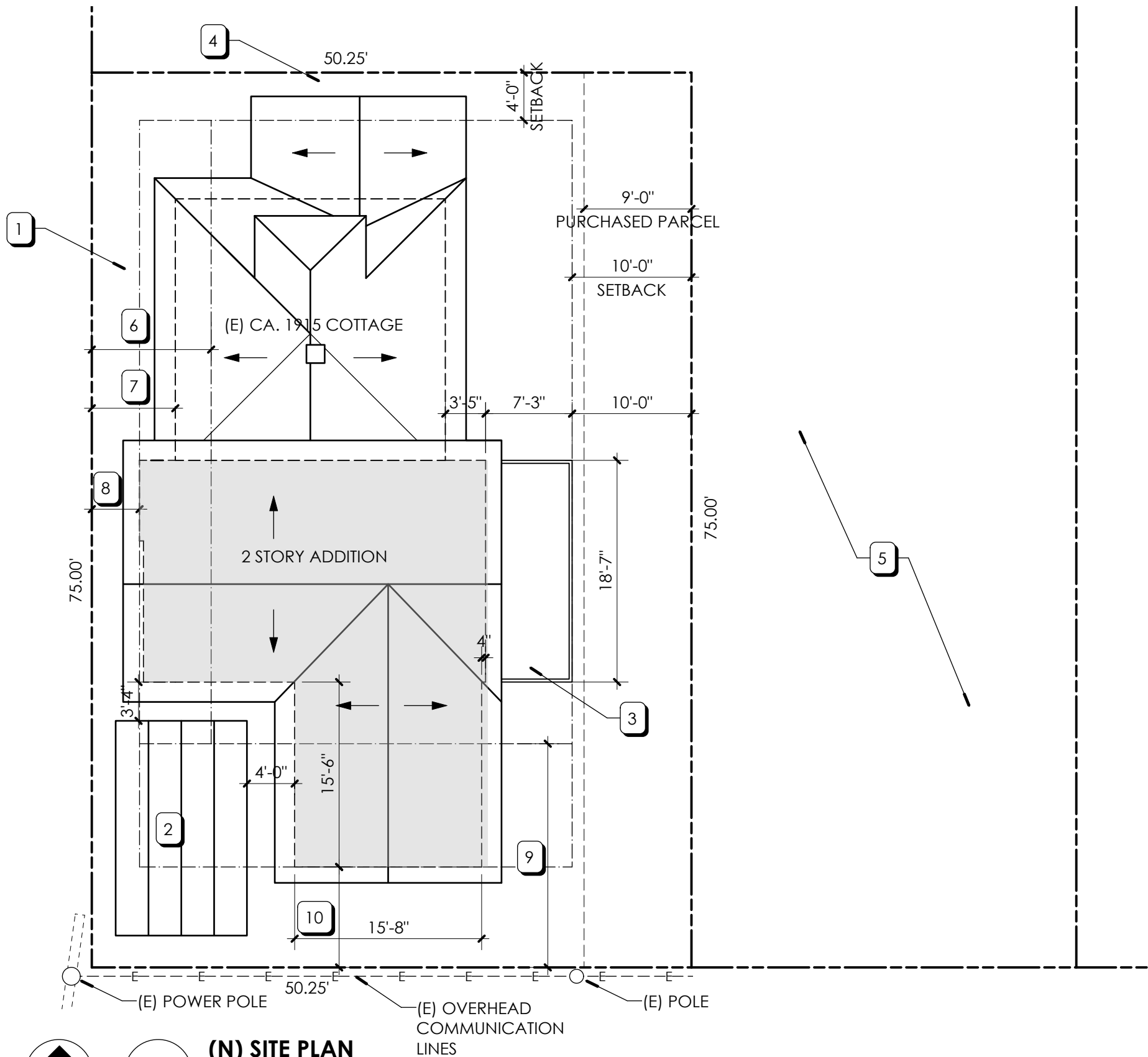
2 EXISTING SOUTH ELEVATION
Scale: 1/8" = 1'-0"



3 EXISTING EAST ELEVATION
Scale: 1/8" = 1'-0"



1 EXISTING NORTH ELEVATION
Scale: 1/8" = 1'-0"



(E) SITE PLAN KEYED NOTES

1. LANDSCAPED SIDE YARD
2. (E) STORAGE SHED TO REMAIN AS-IS
3. BALCONY
4. LANDSCAPED FRONT YARD
5. ADJACENT PARCEL W/ EASEMENT
6. 10' SIDE YARD SETBACK PER ZONING ORDINANCE
7. 7' EXISTING LEGAL NONCOMPLYING SIDE YARD SETBACK
8. 4' PROPOSED SIDE YARD SETBACK PER SPECIAL EXCEPTION
9. 18'-9" REAR YARD SETBACK PER ZONING ORDINANCE
10. 8'-5" PROPOSED REAR YARD SETBACK PER SPECIAL EXCEPTION

ZONING ANALYSIS

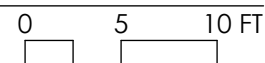
NOTE: REFER TO (E) SITE PLAN FOR ADDITIONAL ZONING DATA

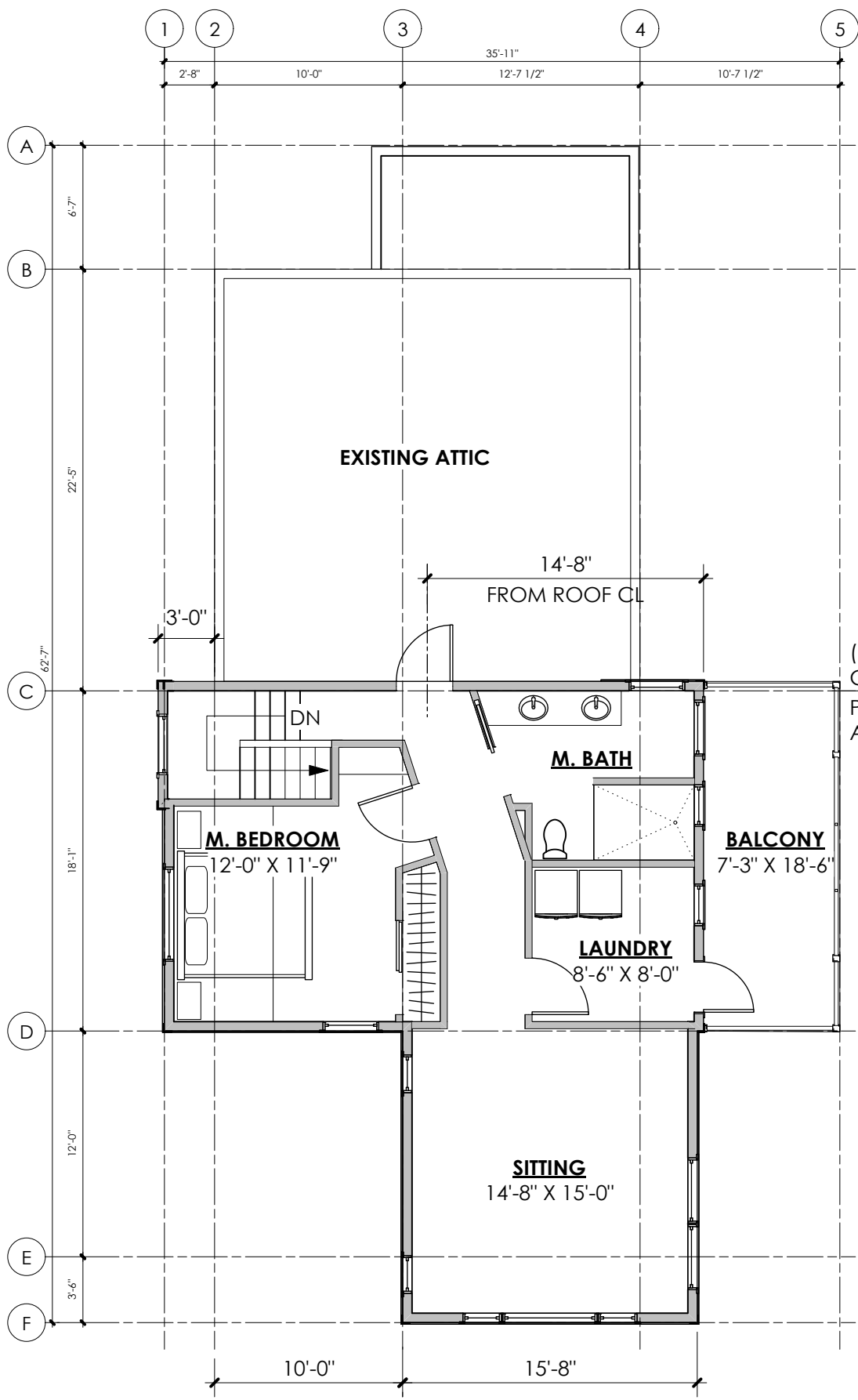
ACTUAL LOT AREA: 3769 SF
 MAX. LOT COVERAGE: 2261 SF (60% OF LOT AREA)
 EXIST. LOT COVERAGE: 1360 SF (36% OF LOT AREA)
 PROPOSED LOT COVERAGE: 1700 SF (45% OF LOT AREA)
 AREA WITHIN SETBACKS: 1581 SF

MAX. BLDG HEIGHT: 45'
 EXIST. BLDG HEIGHT: 18'-9"
 PROPOSED BLDG HEIGHT: 22'-5"
 FRONT YARD: 4'- EXISTING TO REMAIN AS-IS
 EAST SIDE YARD: 10'
 WEST SIDE YARD: 4'- SPECIAL EXCEPTION REQUESTED FOR VARIANCE FROM 7'- (E) LEGAL NONCOMPLYING (10' PER ORDINANCE)
 REAR YARD: 8'-5"- SPECIAL EXCEPTION REQUESTED FOR VARIANCE FROM REQUIRED 18'-9"
 LANDSCAPE YARDS: THE FRONT YARD AND ONE OF THE INTERIOR SIDE YARDS SHALL BE MAINTAINED AS A LANDSCAPE YARD

(N) SITE PLAN

Scale: 1" = 10'-0"

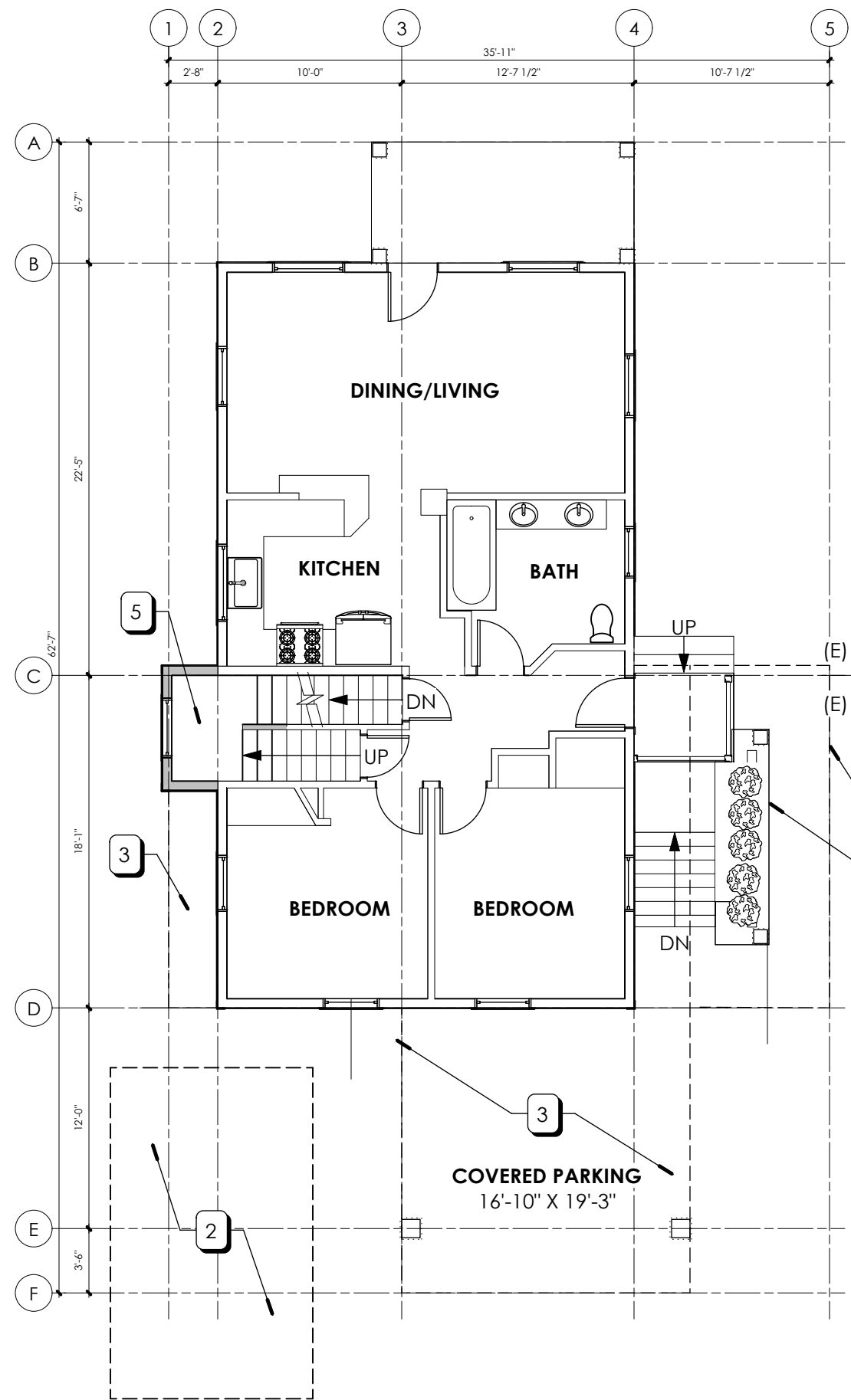
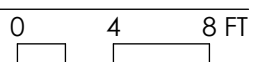




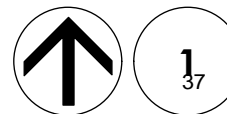
UPPER LEVEL FLOOR PLAN



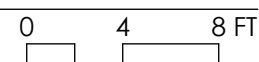
Scale: 1/8" = 1'-0" BALCONY



MAIN LEVEL FLOOR PLAN



Scale: 1/8" = 1'-0"



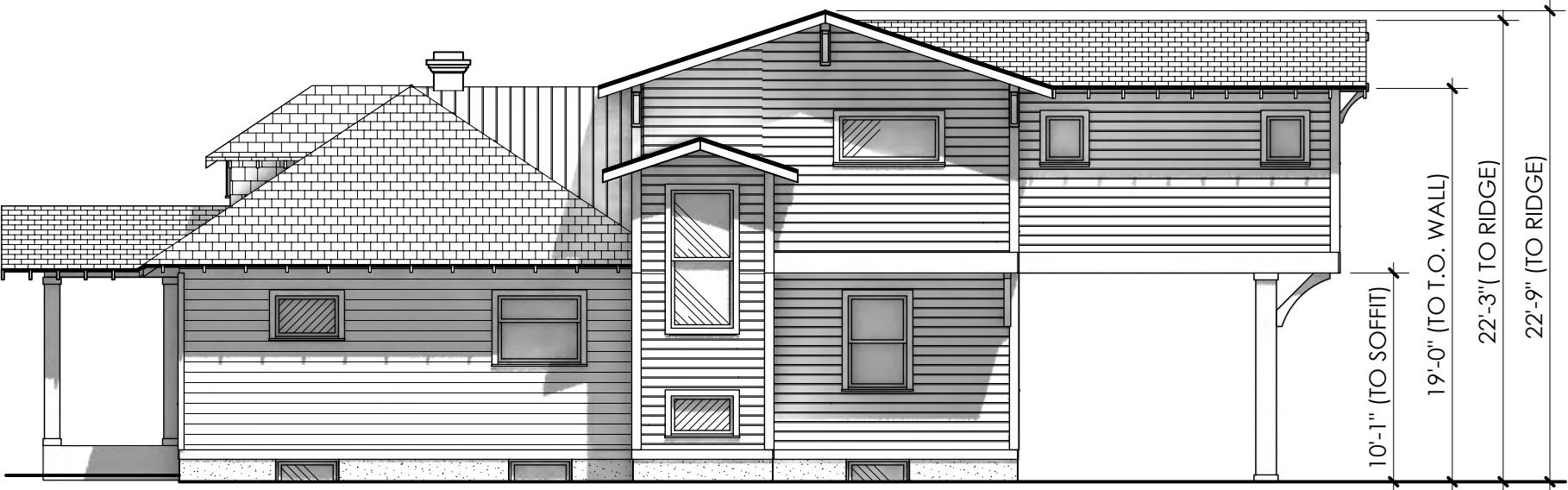
FLOOR PLAN KEYED NOTES

1. PLANTER
2. (E) STORAGE SHED
3. LINE OF ADDITION ABOVE
4. LINE OF BALCONY ABOVE
5. BUILDING ADDITION @ STAIR

FLOOR AREAS

MAIN LEVEL	
ORIG. COTTAGE-	507 SF
CA. 1950 ADDITION-	409 SF
TOTAL-	916 SF
SECOND LEVEL	
ORIG. COTTAGE ATTIC-	224 SF
PROPOSED ADDITION-	778 SF
TOTAL-	1002 SF

January 27, 2021



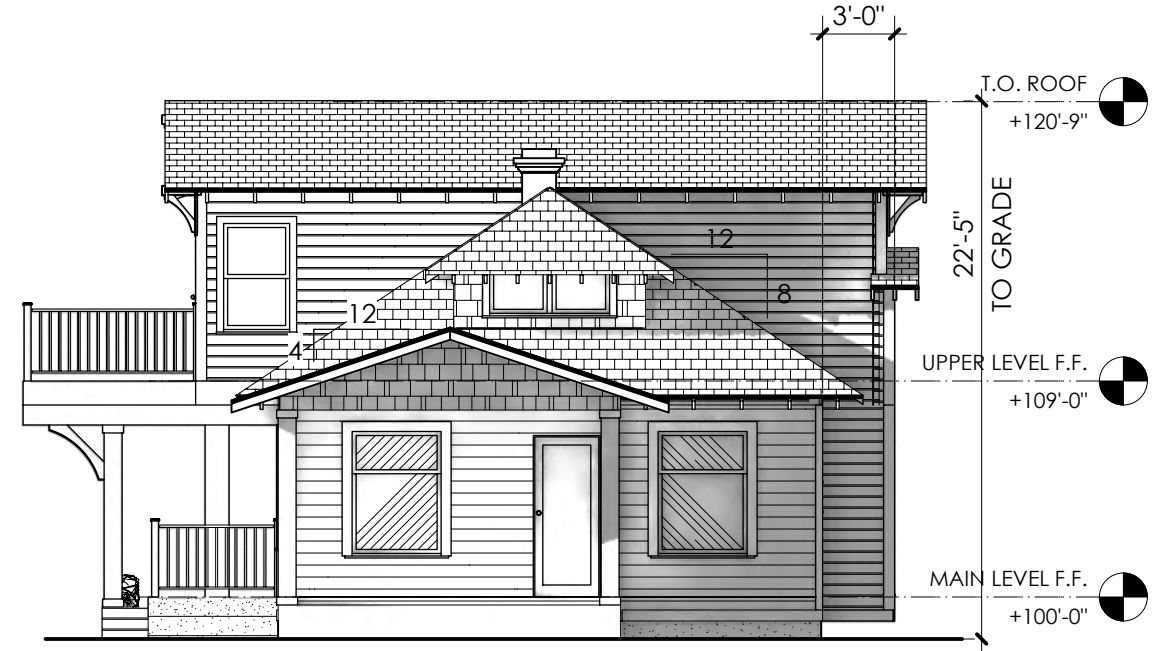
4 WEST ELEVATION
Scale: 1/8" = 1'-0"



2 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

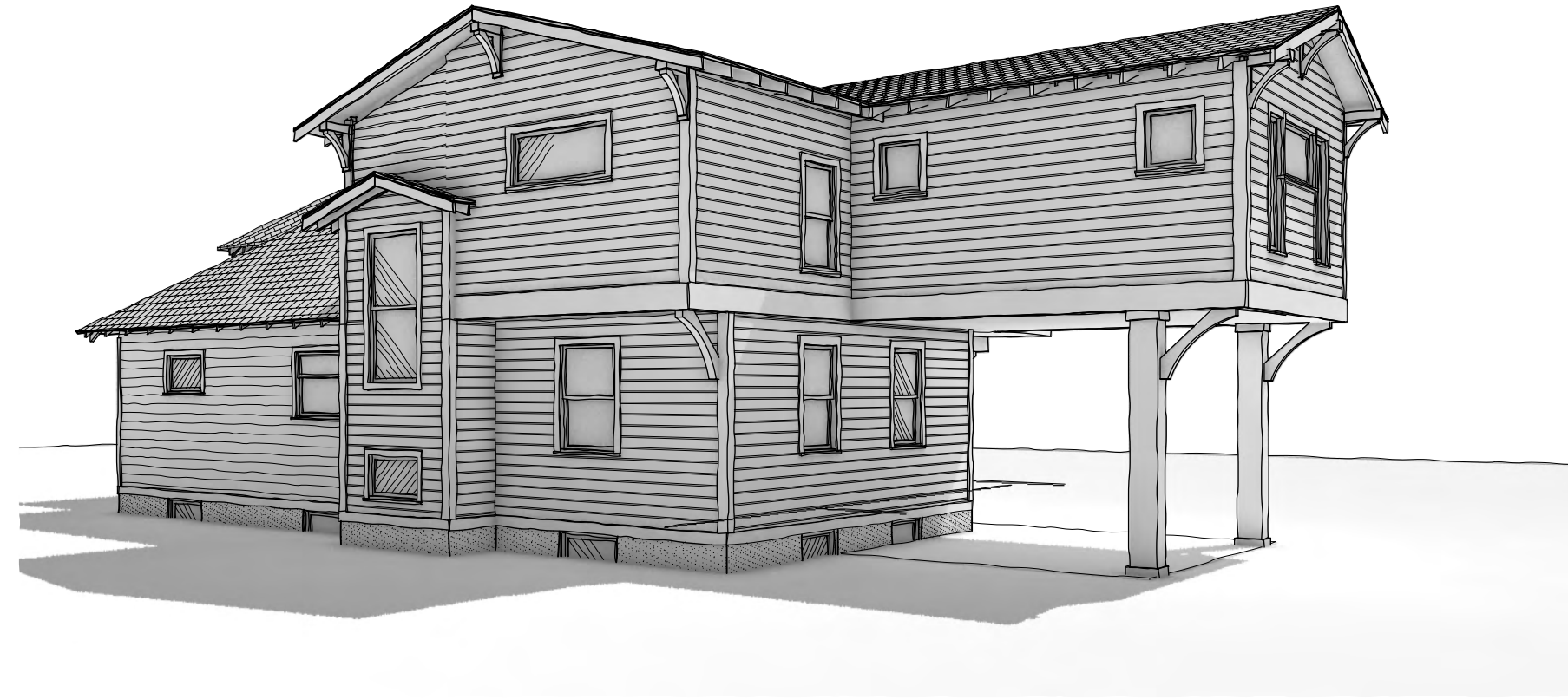


3 EAST ELEVATION
Scale: 1/8" = 1'-0"

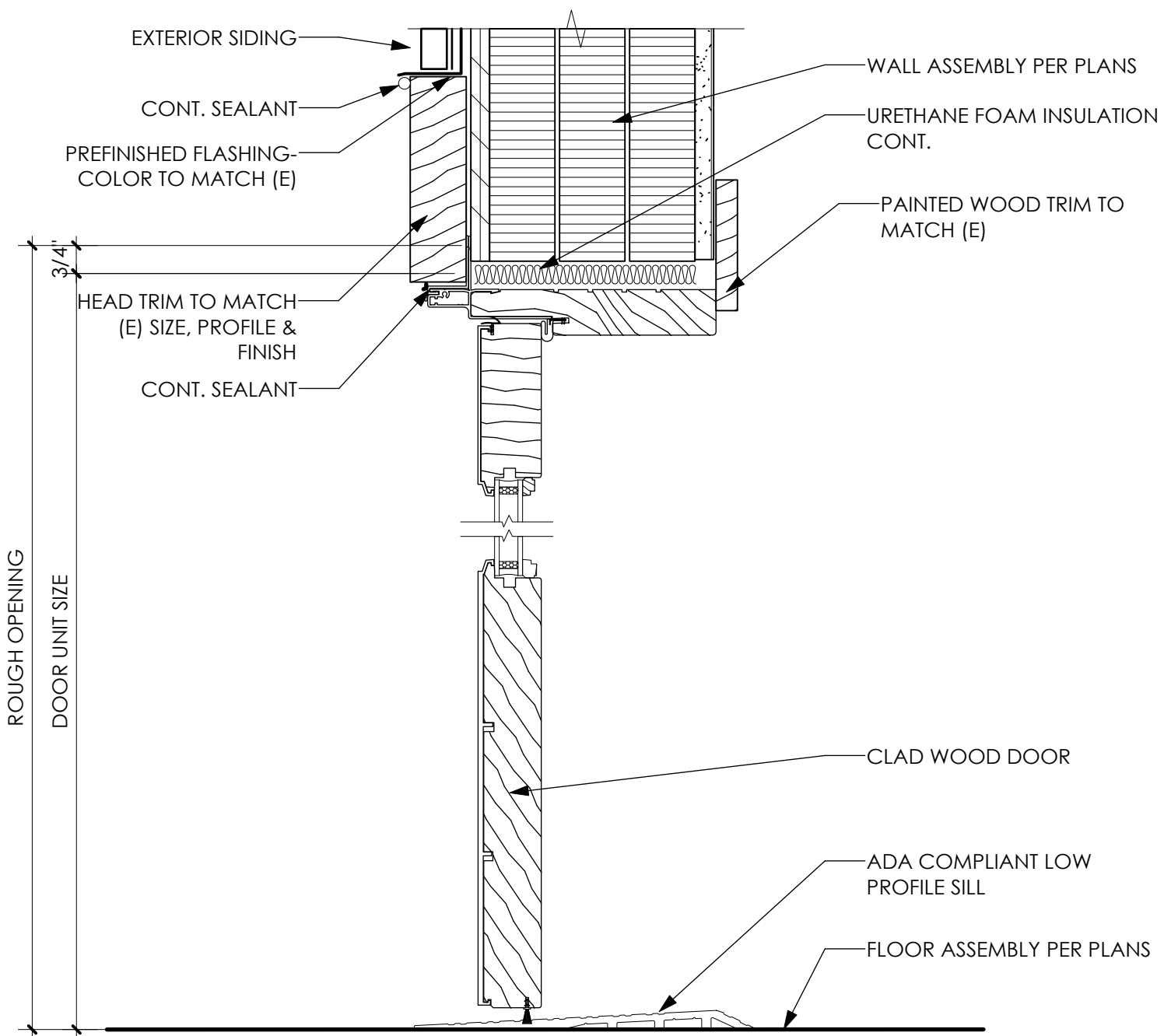


1 NORTH ELEVATION
Scale: 1/8" = 1'-0"

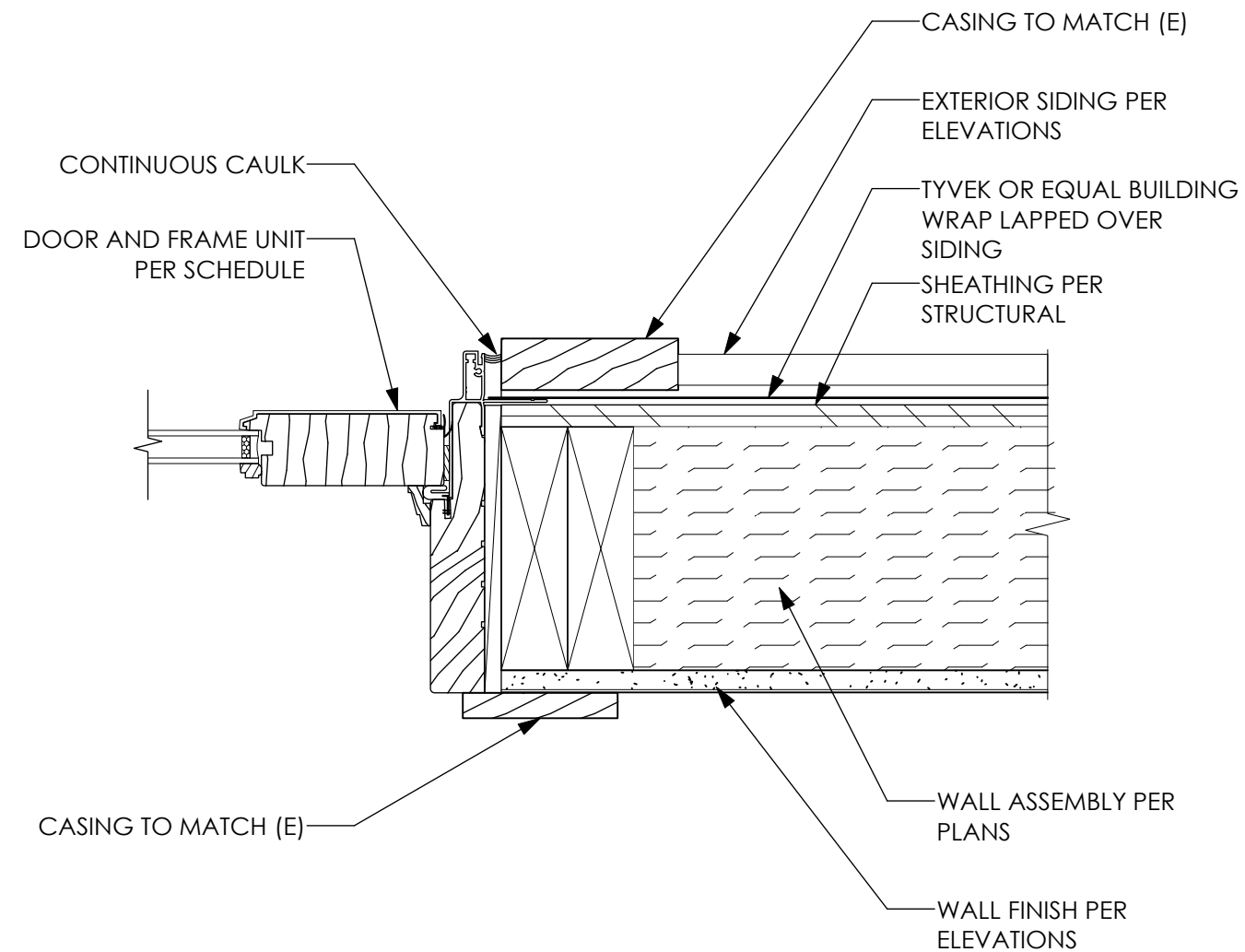




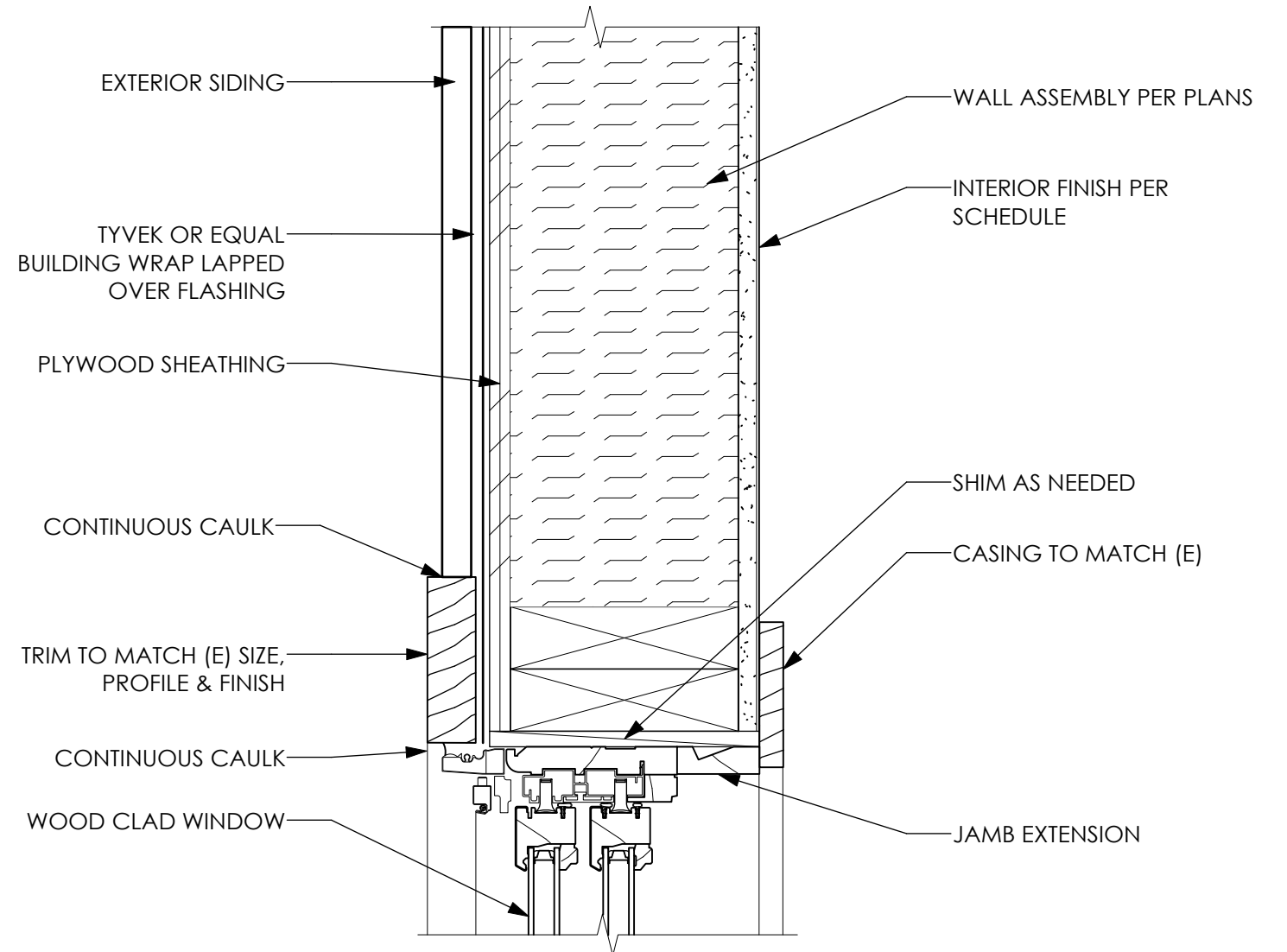
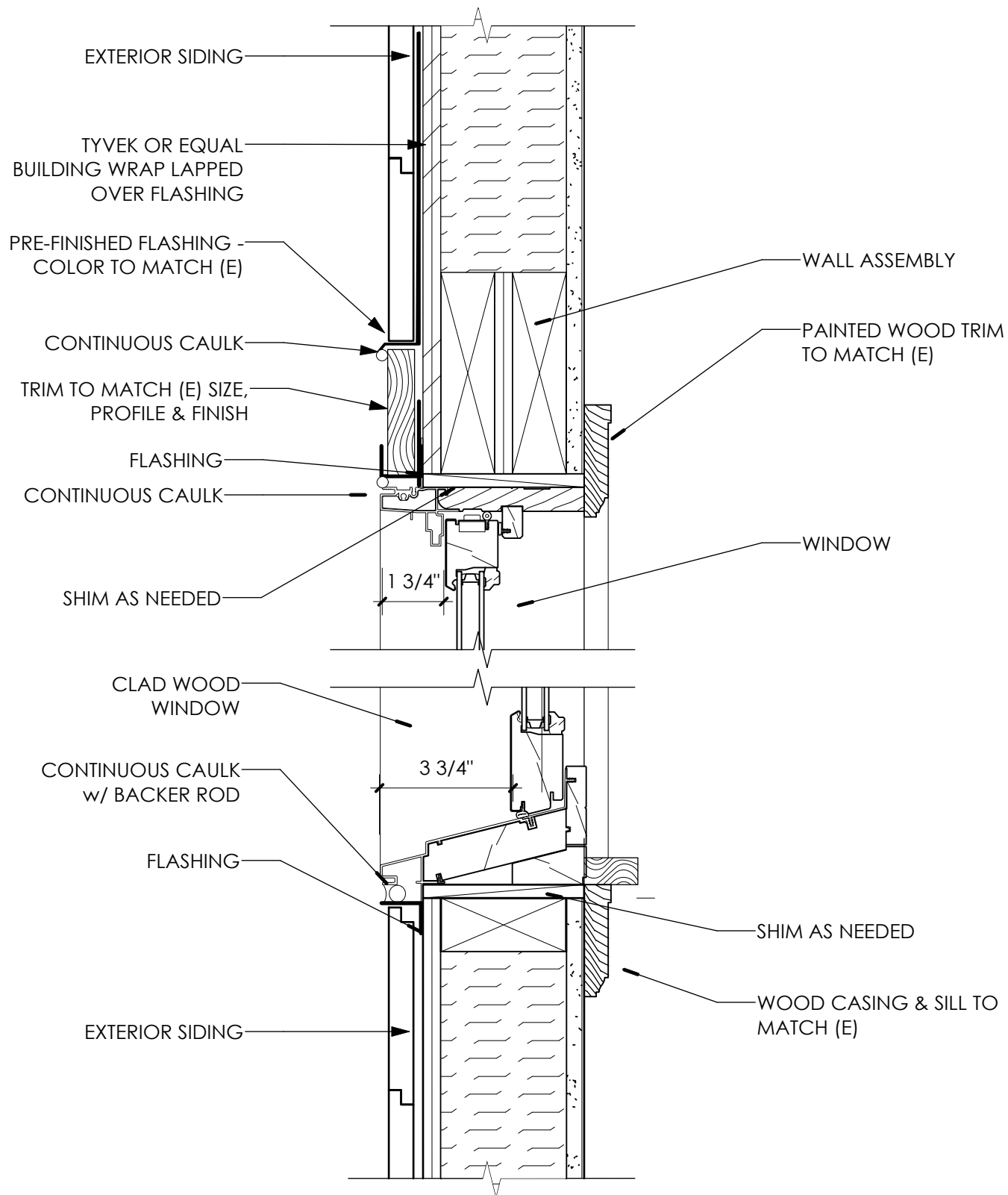




EXTERIOR DOOR HEAD & SILL DETAIL
 Scale: 3" = 1'-0"



EXTERIOR DOOR JAMB DETAIL
 Scale: 3" = 1'-0"

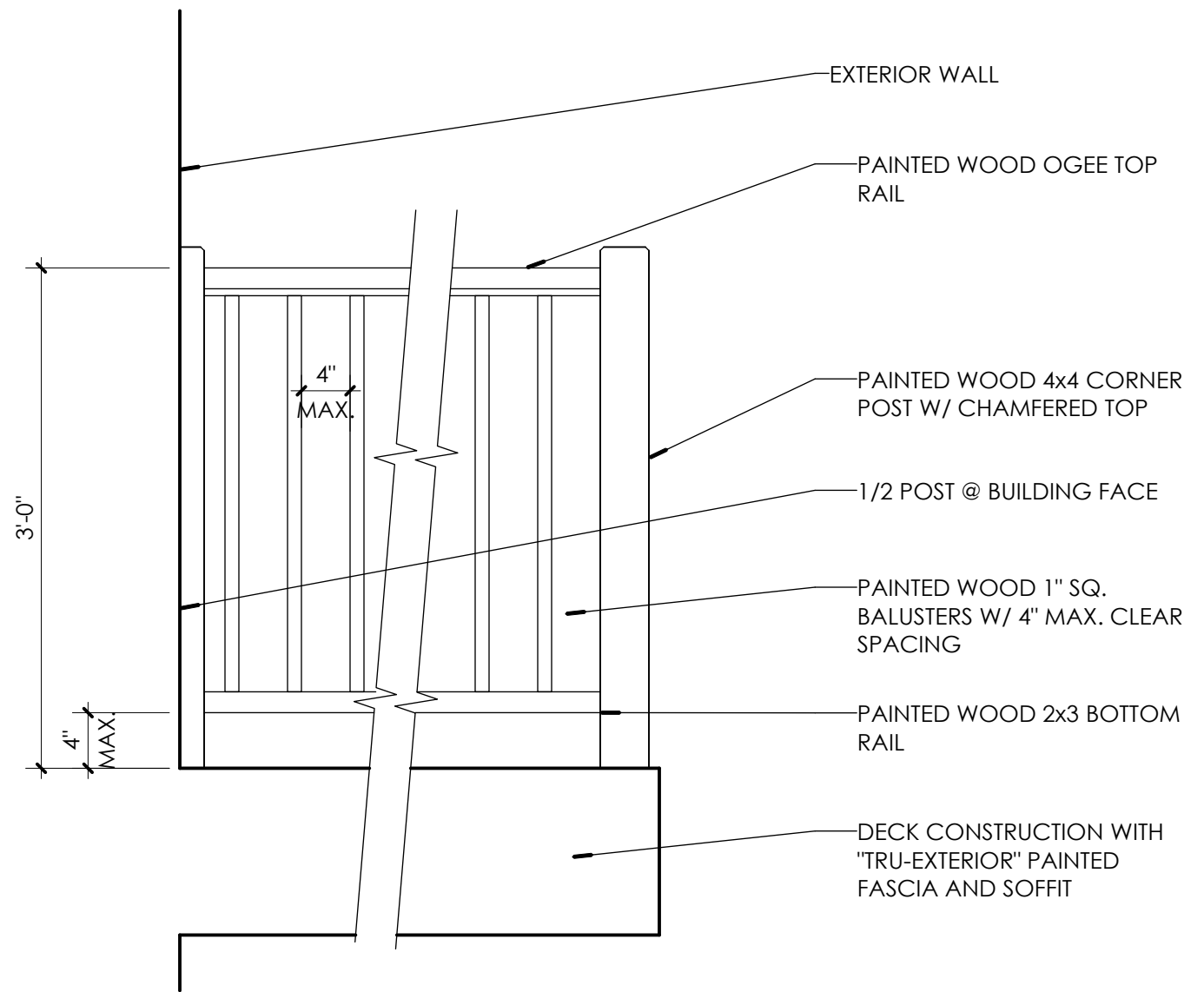


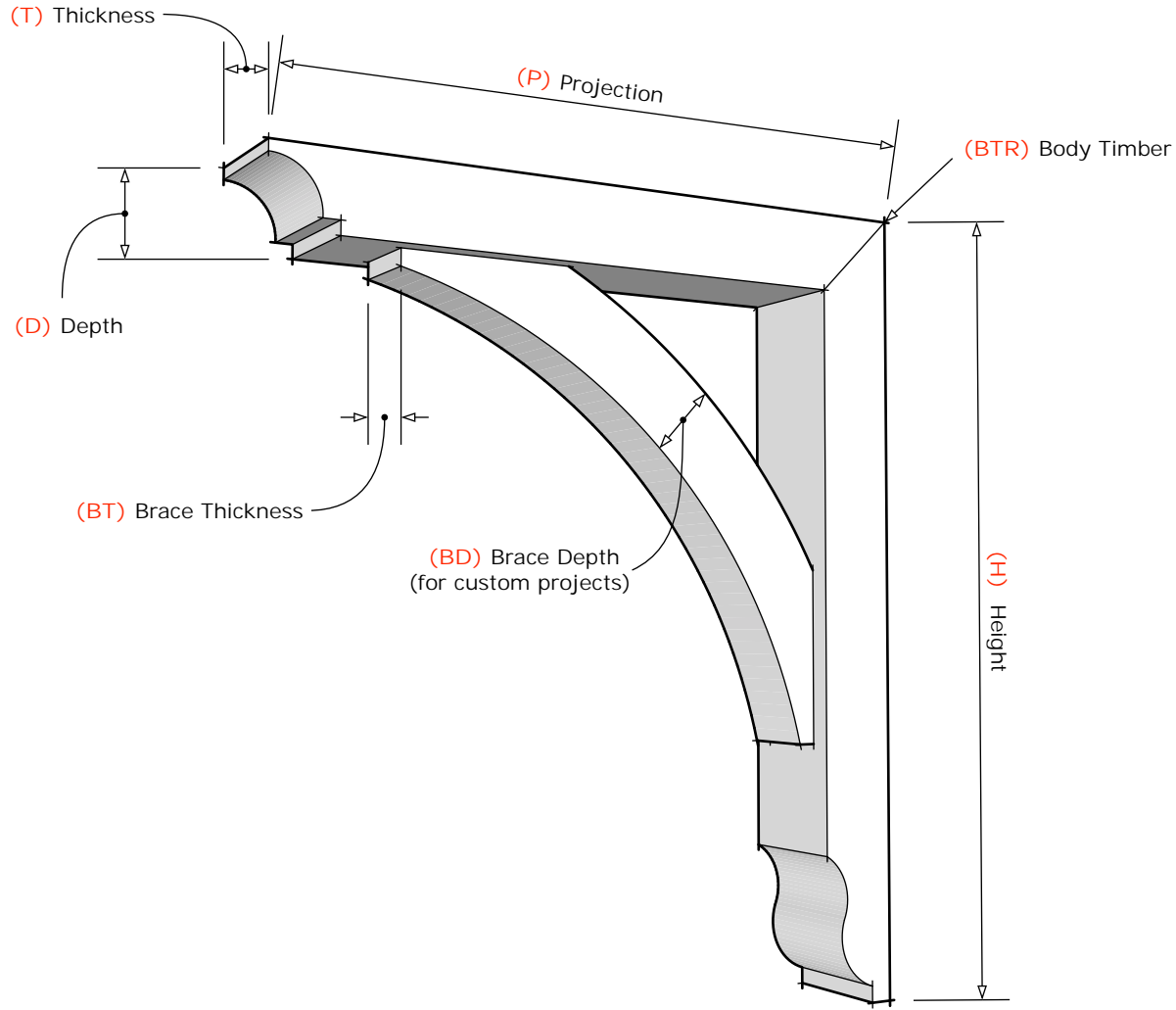
PLNHL C2019-01151 & PLNHL C2019-01088
WINDOW HEAD/SILL DETAIL
 Scale: 3" = 1'-0"

43 **WINDOW JAMB DETAIL**
 Scale: 3" = 1'-0"

January 27, 2021

RAILING DETAIL
Scale: 1" = 1'-0"





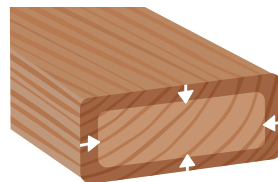


AuraLast™

AuraLast® pine is a patented wood product that provides protection against wood rot, water damage, and termites. This water-based process fortifies wood all the way to the core, providing an exclusive level of protection you'll only find through JELD-WEN.

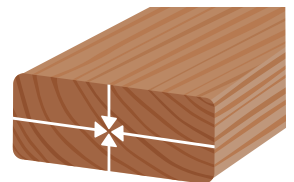


TRADITIONAL TREATMENT



SURFACE ONLY

 AuraLast™



SURFACE TO CORE

Traditional treatments cover just the surface. AuraLast penetrates to the core using a proprietary vacuum-pressure process.

[†]For warranty details, visit jeld-wen.com, click Support, and select JELD-WEN Warranties. PLNHLC2019-01151 & PLNHLC2019-01088



W-2500™ Standard Sash

- Great style that's budget friendly
- Narrow stiles and rails provide more glass and a contemporary appearance
- Long-lasting and energy efficient
- Constructed with AuraLast® pine
- Higher-grade Low-E insulating glass standard
- Backed by a 20-Year Limited Warranty*



W-2500™ Traditional Sash

- Wider sash and stile profile
- More visible wood; a great choice for historical renovations
- Customizable in 1/8" increments
- Constructed with AuraLast® pine
- Higher-grade Low-E insulating glass standard
- Backed by a 20-Year Limited Warranty*



*For warranty details, visit jeld-wen.com, click Support, and select JELD-WEN Warranties.
PLNHLC2019-01151 & PLNHLC2019-01088

Casement

- Great option in many settings including kitchens and bathrooms
- Hinged on either the left or right side and opens wide for maximum ventilation
- 1-1/4" sash rails provide maximum view
- Wider sash and stile profile available



Minimum:
20" x 24"

Maximum:
36" x 72"



Awning

- Hinged at the top to open out from the bottom in an upward swing
- Provides a breeze while keeping other elements like rain at bay
- Narrow stiles and rails
- Wider sash and stile profile available



Minimum:
20" x 17"

Maximum:
48" x 36"





Double-Hung

- Suited to many architectural styles
- Features an upper and lower sash that slide vertically past each other in a single frame
- Both sash tilt for easy cleaning
- Wider sash and stile profile available



Minimum:
19-1/4" x 35-1/4"

Maximum Width:
41-3/8" x 64"

Maximum Height:
37-3/8" x 76"



Fixed, Radius, and Geometric

- Create intriguing window arrangements with other window types
- Ideal for capturing a scenic view
- Direct-set options available
- Radius interior casing
- Wider sash and stile profile available



Minimum and maximum sizing depends on the shape and configuration of window selected.

Sliding Patio Doors

- Fiberglass sill and large diameter rollers for easy rolling
- Top-hanging screen available
- Tilt-and-raise blinds between the glass (BBG) available



Minimum:
59-1/4" x 79-1/2"

Maximum:
95-1/4" x 95-1/2"

Values above are frame sizes and are based on 2-panel configurations.



Swinging Patio Doors

- Clean, simple lines
- Available in center hinge or French



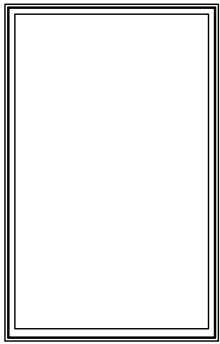
Minimum:
47-1/4" x 79-1/2"

Maximum:
87-1/4" x 98-1/2"





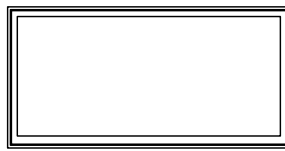
WHAT TYPE OF WINDOW OR PATIO DOOR?



CASEMENT

- Hinged on either the left or right
- Opens wide for maximum ventilation
- Frequently used in kitchens and bathrooms

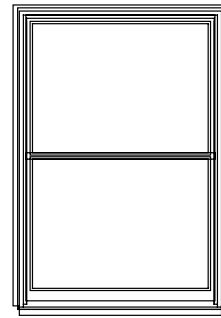
Page 9



AWNING

- Hinged at the top to open outward
- Often placed above doors
- Great accent windows

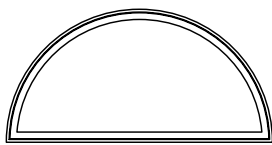
Page 9



DOUBLE-HUNG

- Two operating sash, which slide vertically past each other

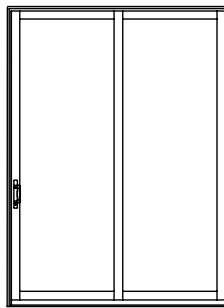
Page 10



**FIXED, RADIUS,
AND GEOMETRIC**

- Non-operating windows create a focal point in any room
- Work well above doors, fireplaces, and more
- Available in many shapes and sizes

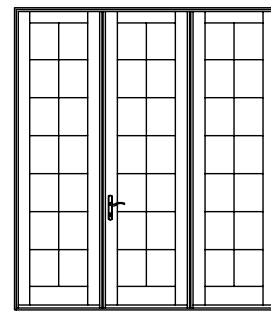
Page 10



**SLIDING PATIO
DOORS**

- Horizontal slide for outdoor access
- Multiple options for customization

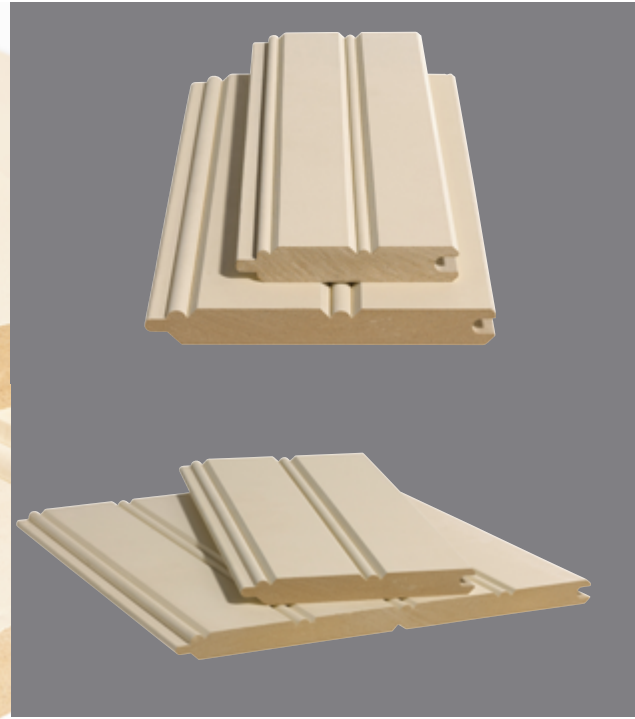
Page 13



**SWINGING
PATIO DOORS**

- Hinged at the side with inswing or outswing doors
- Single or French doors
- Many hardware, color, and finish options

Page 13





TruExterior[®] Beadboard

Introducing three new profiles for the TruExterior[®] Beadboard product line: 4-inch, double-4, and a double-6. The new options, which join an existing 6-inch profile, are made with the revolutionary new poly-ash material, which addresses both the moisture- and movement-related issues commonly seen with other exterior materials, creating a balance of performance and aesthetics that cannot be found with other manmade alternatives.

The 4-inch beadboard features beads that are closer together, better aligning with the popular beaded pattern found in traditional wooden offerings. The new double-4-inch and double-6-inch beadboard profiles boast the same appearance as their single-profile counterparts, but with twice the coverage area to dramatically reduce installation time.

Beadboard Sizes

Single		Double	
			
Nominal	Actual	Nominal	Actual
5/8 x 4	5/8" x 3 1/2"	5/8 x 8	5/8" x 6 3/4"
5/8 x 6	5/8" x 5 1/4"	5/8 x 12	5/8" x 10 1/4"

[†]See TruExterior[®] Beadboard Warranty and Data Sheet for proprietary test results, located at TruExterior.com

TruExterior[®] Beadboard Facts

- Installs with standard woodworking tools and methods
- Accepts a wide variety of fasteners
- No need to prime ends or field cuts
- Easily accepts paint of any color
- Can be installed 24" on center and can be run parallel to the house
- Ideal for moisture-prone areas
- Maintains high level of dimensional stability[†]
- Resists rot and termite attacks[†]
- No cracking or splitting from moisture
- Reversible edge & center bead and V-groove
- 20-year limited warranty
- Made in the USA





Accessories

TruExterior® Siding & Trim Accessories make it easy to create polished, professional-looking siding and trim installations. Decorative yet functional, the poly-ash accessories are designed to go where other materials can't, making them the perfect complement to cedar, fiber cement and other traditional siding products, as they are suitable for ground, roofline and masonry contact.

TruExterior® Trim

Designed to be used in non-load-bearing applications, TruExterior® Trim is suitable for ground contact and moisture-prone areas, which makes it ideal for exterior trim applications such as fascia, door trim, soffits, rake boards and a variety of other exterior applications. Because of its high level of dimensional stability†, there is no need to prime ends or field cuts. Plus, it can be painted any color. TruExterior® Trim accepts a wide variety of fasteners and can be installed using standard woodworking tools and methods.

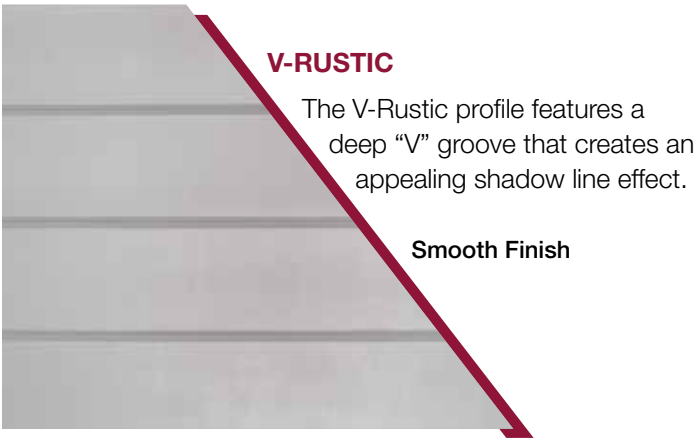
TruExterior® Trim Accessories

Skirt Board		Plowed Fascia		Rabbeted Trim with Window Pocket		Rabbeted Trim with Siding Pocket		Rabbeted Trim with Window and Siding Pocket	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
1 x 6	¾" x 5 ½"	1 x 6	¾" x 5 ½"	5/4 x 4	1" x 3 ½"	5/4 x 3	1" x 2 ½"	5/4 x 4	1" x 3 ½"
1 x 8	¾" x 7 ¼"	1 x 8	¾" x 7 ¼"	5/4 x 6	1" x 5 ½"	5/4 x 4	1" x 3 ½"	5/4 x 6	1" x 5 ½"
5/4 x 6	1" x 5 ½"			5/4 x 8	1" x 7 ¼"	5/4 x 5	1" x 4 ½"	5/4 x 8	1" x 7 ¼"
5/4 x 8	1" x 7 ¼"					5/4 x 6	1" x 5 ½"		

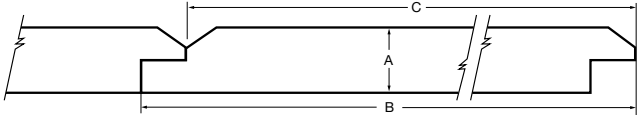
†See Boral TruExterior® Siding Warranty and Data Sheet for proprietary test results, located at www.BoralTruExterior.com

TruExterior® Facts

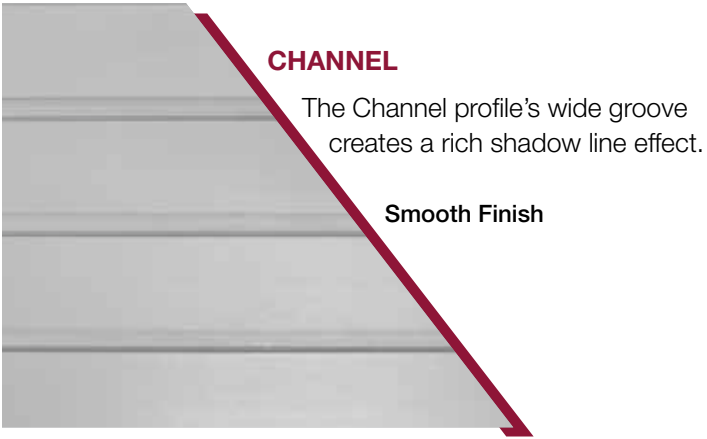
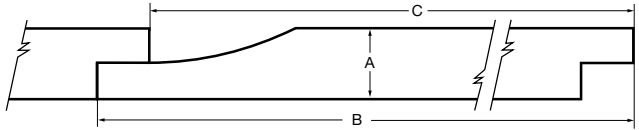
- Workability exceeds that of wood siding
- Installs with standard woodworking tools and methods
- No need to prime ends or field cuts
- Easily accepts paint of any color
- Accepts a wide variety of fasteners
- Resists rot and termite attacks†
- Maintains high level of dimensional stability†
- No cracking or splitting from moisture
- 16' lengths
- Made in the USA
- 20-year limited warranty†



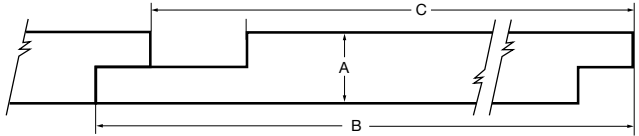
Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	5"
1 x 8	11/16"	7-1/2"	7"
1 x 10	11/16"	9-1/2"	9"



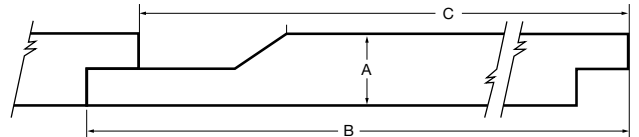
Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/4"	6-23/32"
1 x 10	11/16"	9-1/4"	8-23/32"



Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/4"	6-23/32"
1 x 10	11/16"	9-1/4"	8-23/32"



Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/2"	6-31/32"
1 x 10	11/16"	9-1/2"	8-31/32"



TruExterior Siding comes pre-primed and does require paint.

REVERSIBLE SHIPLAP-NICKEL GAP

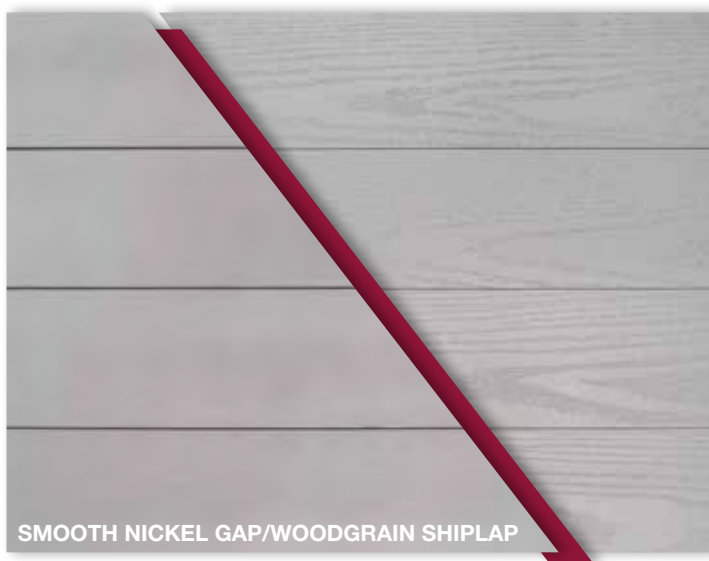
TruExterior Siding & Trim's Reversible Shiplap/Nickel Gap siding panels offer two authentic, on-trend looks in one for increased versatility and convenience. The profile comes in two formats: one features smooth Nickel Gap on one side and woodgrain Shiplap on the other; the second combines woodgrain Nickel Gap with smooth Shiplap on the flip side. A rabbeted edge ensures panels install with authentic spacing depending on which side is installed—the tight joint appearance of Shiplap or the nickel-sized space of Nickel Gap. Four widths are available for 16 total profile combinations.

Finish Options:

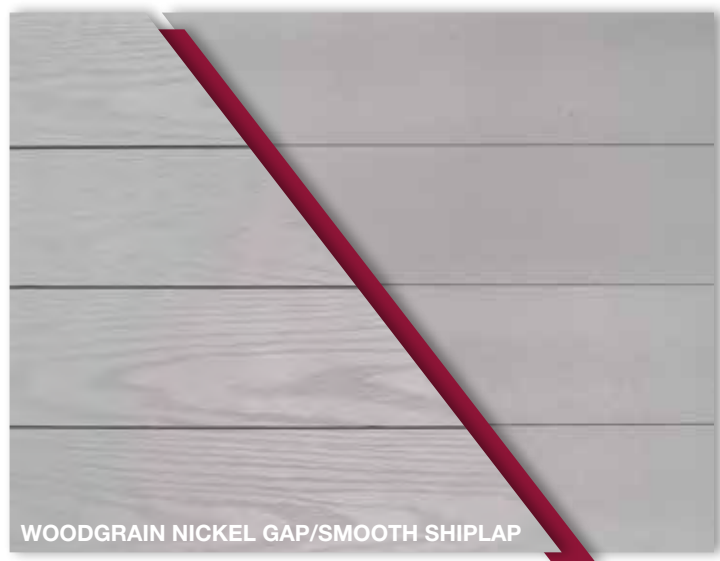
- Smooth Nickel Gap with Woodgrain Shiplap
- Woodgrain Nickel Gap with Smooth Shiplap



Pictured: Smooth Nickel Gap



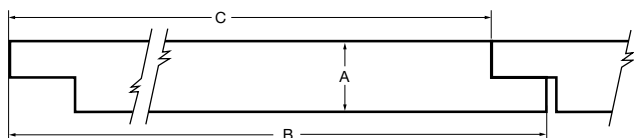
SMOOTH NICKEL GAP/WOODGRAIN SHIPLAP



WOODGRAIN NICKEL GAP/SMOOTH SHIPLAP

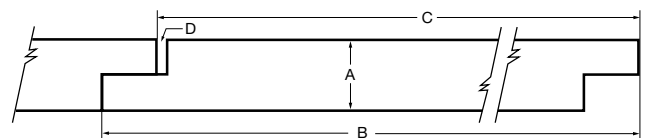
SHIPLAP GAP SIDE

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 4	11/16"	3-1/2"	3-3/32"
1 x 6	11/16"	5-1/2"	5-3/32"
1 x 8	11/16"	7-1/4"	6-13/16"
1 x 10	11/16"	9-1/4"	8-13/16"



NICKEL GAP SIDE

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)	Gap (D)
1 x 4	11/16"	3-1/2"	3-3/32"	5/64"
1 x 6	11/16"	5-1/2"	5-3/32"	5/64"
1 x 8	11/16"	7-1/4"	6-13/16"	5/64"
1 x 10	11/16"	9-1/4"	8-13/16"	5/64"



TruExterior Siding comes pre-primed and does require paint.

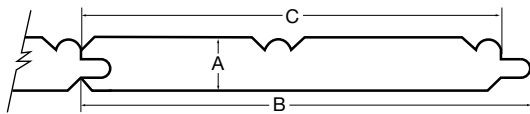


SINGLE BEADBOARD

Two distinct beaded patterns—4" and 6"—to suit the most popular design trends.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
5/8 x 4	5/8"	3-15/32"	3-5/32"
5/8 x 6	5/8"	5-5/16"	4-15/16"

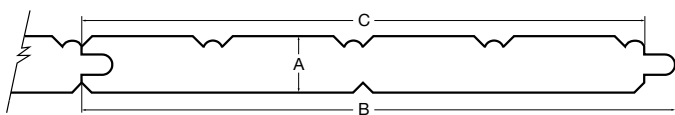


DOUBLE BEADBOARD

The same appearance as the single-profile products, but with twice the coverage.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
5/8 x 8	5/8"	6-9/16"	6-7/32"
5/8 x 12	5/8"	10-1/4"	9-29/32"



*Please see TruExterior® Siding & Trim Limited Warranties and Product Data Sheets for proprietary test results, located at TruExterior.com.



5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

TruExterior® Trim is reversible with woodgrain on one side and a smooth finish on the reverse. Available in 16' and 12' lengths.

Reversible Smooth/Woodgrain Finish

*Please see TruExterior® Siding & Trim Limited Warranties and Product Data Sheets for proprietary test results, located at TruExterior.com.

Accessories

TruExterior® Siding & Trim Accessories make it easy to create polished, professional-looking siding and trim installations. Decorative yet functional, the poly-ash accessories are designed to go where other materials can't, making them the perfect complement to cedar, fiber cement and other traditional siding products, as they are suitable for ground, roofline and masonry contact.



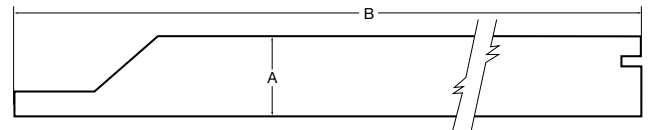
SKIRT BOARD

Provides a decorative yet functional way to create the required clearance between siding and grade.

Available Finishes:

- *Smooth*
- *Woodgrain*

Nominal Size	Actual Thickness (A)	Actual Width (B)
1 x 6	3/4"	5-1/2"
1 x 8	3/4"	7-1/4"
5/4 x 6	1"	5-1/2"
5/4 x 8	1"	7-1/4"



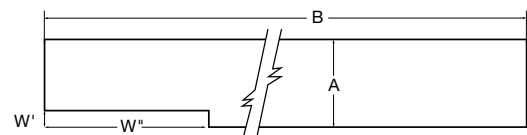
WINDOW POCKET RABBETED TRIM

The rabbeted groove helps trim to sit flush over the window's nailing flange, eliminating the need for cuts or shims.

Available Finishes:

- *Smooth*
- *Woodgrain*

Nominal Size	Actual Thickness (A)	Actual Width (B)	Window Pocket (W' x W'')
5/4 x 4	1"	3-1/2"	3/16" x 1-7/8"
5/4 x 6	1"	5-1/2"	3/16" x 1-7/8"
5/4 x 8	1"	7-1/4"	3/16" x 1-7/8"





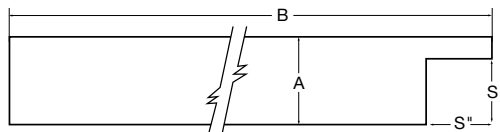
Nominal Size	Actual Thickness (A)	Actual Width (B)	Siding Pocket (S' x S'')
5/4 x 3	1"	2-1/2"	3/4" x 3/4"
5/4 x 4	1"	3-1/2"	3/4" x 3/4"
5/4 x 5	1"	4-1/2"	3/4" x 3/4"
5/4 x 6	1"	5-1/2"	3/4" x 3/4"
5/4 x 8	1"	7-1/4"	3/4" x 3/4"

SIDING POCKET RABBETED TRIM

Perfect for end wall terminations, this trim with a 3/4" siding pocket accepts all TruExterior® Siding profiles.

Available Finishes:

- Smooth
- Woodgrain



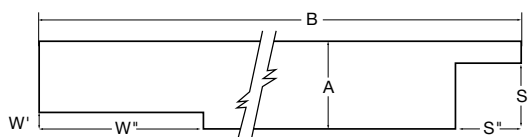
Nominal Size	Actual Thickness (A)	Actual Width (B)	Window Pocket (W' x W'')	Siding Pocket (S' x S'')
5/4 x 4	1"	3-1/2"	3/16" x 1-7/8"	3/4" x 3/4"
5/4 x 6	1"	5-1/2"	3/16" x 1-7/8"	3/4" x 3/4"
5/4 x 8	1"	7-1/4"	3/16" x 1-7/8"	3/4" x 3/4"

WINDOW AND SIDING POCKET RABBETED TRIM

The ultimate accessory to build a neat, professional-looking window surround.

Available Finishes:

- Smooth
- Woodgrain



ATTACHMENT D: Photographs



North Elevation



North and East Elevation



East Elevation



South and East Elevation



Rear Yard of the Subject Property



Rear of the Freezer Mansion



Subject Property



Subject Property

ATTACHMENT E: Existing Conditions

Zoning Ordinance Standards for RMF-45 (Moderate/High Density Multi-Family Residential) (21A.24.180)

Purpose Statement: The purpose of the RMF-45 Moderate/High Density Multi-Family Residential District is to provide an environment suitable for multi-family dwellings of a moderate/high density with a maximum building **height of forty five feet (45')**. **This district is appropriate** in areas where the applicable Master Plan policies recommend a density of less than forty-three (43) dwelling units per acre. This district includes other uses that are typically found in a multi-family residential neighborhood of this density for the purpose of serving the neighborhood. Such uses are designed to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

Standard	Existing and Proposed	Finding
Front Yard: Twenty percent of lot depth, but need not exceed twenty five feet (25') . For buildings legally existing on April 12, 1995, the required front yard shall be no greater than the existing yard.	The subject property has a front yard setback of 4' . The front yard setback was approved through a Planned Development and subdivision. No changes are proposed to the front yard setback.	Complies
Rear Yard: 25% of lot depth, but need not exceed thirty feet (30')	The existing rear yard is approximately 18'9" . The proposed addition is requesting a special exception to reduce the rear yard to 8'5" .	Requires Special Exception Approval
Side Yard: Ten feet (10') on each side.	After the lot consolidation, the eastern side yard is 10', which complies. The existing 7' western side yard is proposed to be reduced to 4' through the special exception process.	Complies Requires Special Exception Approval
Maximum Building Height: The maximum building height permitted in this district is forty five feet (45') .	The existing structure is approximately 18'9" . The tallest point of the proposed addition is 22'9" .	Complies
Lot Coverage – The surface coverage of all principal and accessory buildings shall not exceed sixty percent (60%) of the lot area.	The existing lot coverage is approximately 36%. The lot coverage with the proposed addition is approximately 45%.	Complies

ATTACHMENT F: Analysis of Design Standards

H Historic Preservation Overlay District – Standards for a Certificate of Appropriateness for Alteration of a Contributing Structure in a Historic District (21A.34.020.G)

In considering an application for a Certificate of Appropriateness for alteration of a noncontributing structure in a historic district, the Historic Landmark Commission shall find that the project substantially complies with all of the general standards that pertain to the application and that the decision is in the best interest of the City. This proposal is reviewed in relation to the design standards that pertain in the following table.

A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City, Chapter 8 Additions, Chapter 6 Architectural Details and Chapter 2 Building Materials & Finishes, provide historic design guidelines pertinent to this design review. Design Guidelines are referenced in the following review where they relate to the corresponding Historic Design Standards for Alteration of a Contributing Structure (21A.34.020.G).

Standard	Rationale	Finding
Standard 1: A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment;	The property was constructed as a single-family residence in 1915. The proposed addition would be attached to the rear of the principal structure. The addition will not require any alterations to any defining characteristics of the building, its site, or environment.	Complies
Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;	Due to the site constraints of the subject property, the addition will replace an addition constructed in the 1950s. The replacement of the non-historic addition will site the proposed addition to the rear of the subject property, leaving the historic structure intact. The proposed addition does not alter the character-defining features of the historic structure.	Complies
Standard 3: All sites, structure and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed.	The rear addition will be a product of its own time, connected through a link created in the roofing materials. The addition is substantially setback from the primary elevation. The link, as well as the proposed siding, will clearly differentiate between the old and the new. Additionally, the addition has altering roof forms, as well as traditional and contemporary materials.	Complies
Standard 4: Alterations or additions that have acquired historic significance in their own right shall be retained and preserved.	A rear addition will be removed as part of this proposal. The rear addition was added in 1950s, prior to the Landmark designation. Staff finds that the existing rear addition does not contribute to the Historic Designation or complement the contributing structure.	Complies

Standard 5: Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.	The principal structure does contain distinctive features, finishes and construction techniques that will be preserved. The addition will not affect these subject features.	Complies
Standard 6: Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.	The current proposal does not propose to repair or replace any character defining features.	Complies
Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.	Not applicable – the historic structure does not require any physical or chemical treatments.	NA
Standard 8: Contemporary designs for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.	The addition has a combination of both traditional and contemporary elements and materials. The primary material of addition is cementitious siding. The massing of the addition is separated by varying roof forms. The variety of roof forms on the addition differ from the existing structure, which will help to differentiate the addition. Additionally, the design is compatible with the character of the property.	Complies
Standard 9: Additions or alterations to structures and objects shall be done in such a manner that if such additions or alteration were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiate from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment.	The addition is designed in a manner that if the addition were to be removed in the future, the form and integrity of the structure would be unimpaired. The new addition is differentiated from the existing structure through the design, massing, scale and materials.	Complies
Standard 10: Certain building materials are prohibited including the following: vinyl, asbestos, or	The proposed addition does not include any of the prohibited materials.	NA

aluminum cladding when applied directly to an original or historic material.		
Standard 11: Any new sign and any change in the appearance of any existing sign located on a landmark site or within the H historic preservation overlay district, which is visible from any public way or open space shall be consistent with the historic character of the landmark site or H historic preservation overlay district and shall comply with the standards outlined in part IV, Chapter 21A.46 of this title.	No sign is proposed as part of this project.	NA

ATTACHMENT G: Residential Design Guidelines

Design Guidelines for Historic Residential Properties & Districts in Salt Lake City, Chapter 8: Additions are the relevant historic guidelines for this design review, and are identified below for the **Commission's** reference.

<http://www.slcdocs.com/historicpreservation/GuideRes/Ch8.pdf>

Design Objective: The design of a new addition to a historic building should ensure that the **building's early character is maintained. Older additions that have taken on significance also should** be preserved.

8.1 An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.

- Loss or alteration of architectural details, cornices and eave lines, for example, should be avoided.

8.2 An addition should be designed to be compatible in size and scale with the main building.

- An addition should be set back from the primary facades in order to allow the original proportions and character of the building to remain prominent.
- The addition should be kept visually subordinate to the historic portion of the building.
- If it is necessary to design an addition that is taller than the historic building, it should be set **back substantially from significant facades, with a "connector" link to the original building.**

8.3 An addition should be sited to the rear of a building or set back from the front to minimize the visual impact on the historic structure and allow the original proportions and character to remain prominent.

- Locating an addition at the front of a structure is usually inappropriate.

8.4 A new addition should be designed to be recognized as a product of its own time.

- An addition should be made distinguishable from the historic building, while also remaining visually compatible with historic features.
- A change in setbacks of the addition from the historic building, a subtle change in material, or the use of modified historic or more current styles are all techniques that may be considered to help define a change from old to new construction.
- Creating a jog in the foundation between the original building and the addition may help to establish a more sound structural design to resist earthquake damage, while helping to define it as a later addition.

8.5 A new addition should be designed to preserve the established massing and orientation of the historic building.

- For example, if the building historically has a horizontal emphasis, this should be reflected in the addition.

8.6 A new addition or alteration should not hinder one's ability to interpret the historic character of the building or structure.

- A new addition that creates an appearance inconsistent with the historic character of the building is inappropriate.
- An alteration that seeks to imply an earlier period than that of the building should be avoided.
- An alteration that covers historically significant features should be avoided.

8.7 When planning an addition to a building, the historic alignments and rhythms that may exist on the street should be defined and preserved.

- Some roof lines and porch eaves on historic buildings in the area may align at approximately the same height. An addition should not alter these relationships.
- Maintain the side yard spacing, as perceived from the street, if this is a characteristic of the setting.

8.8 Exterior materials that are similar to the historic materials of the primary building or those used historically should be considered for a new addition.

- Painted wood clapboard, wood shingle and brick are typical of many historic residential additions.
- See also the discussion of specific building types and styles, in the History and Architectural Style section of the guidelines.
- Brick, CMU, stucco or panelized products may be appropriate for some modern buildings.

8.9 Original features should be maintained wherever possible when designing an addition.

- Construction methods that would cause vibration which might damage historic foundations should be avoided.
- New drainage patterns should be designed to avoid adverse impacts to historic walls and foundations.
- New alterations also should be designed in such a way that they can be removed without destroying original materials or features wherever possible.

8.10 The style of windows in the addition should be similar in character to those of the historic building or structure where readily visible.

- If the historic windows are wood, double-hung, for example, new windows should appear to be similar to them, or a modern interpretation.

Ground Level Additions

8.11 A new addition should be kept physically and visually subordinate to the historic building.

- The addition should be set back significantly from primary facades.
- The addition should be consistent with the scale and character of the historic building or structure.
- Large additions should be separated from the historic building by using a smaller connecting element to link the two where possible.

8.12 Roof forms should be similar to those of the historic building.

- Typically, gable, hip and shed roofs are appropriate.
- Flat roofs are generally inappropriate, except where the original building has a flat roof.

8.13 On primary facades of an addition, a 'solid-to-void' ratio that is similar to that of the historic building should be used.

- The solid-to-void ratio is the relative percentage of wall to windows and doors seen on the façade.

	to diminish or impair the value of the property within the neighborhood.	
C. No Undue Adverse Impact: The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.	As stated above, the subject property is located in the rear of a property that fronts 200 S. Additionally, the subject property is surrounded by surface parking lots on all sides. The proposed addition is designed in relation to the existing context. Staff would conclude that the proposed reduction would have no adverse material effect upon the character of the area.	Complies
D. Compatible With Surrounding Development: The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.	The subject property is surrounded by multi-family structures and the associated surface parking for those uses. The subject property is a restrictive parcel, which limits the siting of a new addition. The design of the addition is sited to the rear and will replace an existing addition constructed in the 1950s. The design relates to the existing historic structure and the context of the area. The requested special exceptions associated with the addition are in accordance with the applicable district regulations and the H Historic Overlay.	Complies
E. No Destruction Of Significant Features: The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.	The design of the rear addition preserves the contributing historic structure. The addition is not anticipated to result in the destruction, loss or damage of natural, scenic or historic features of the site.	Complies
F. No Material Pollution Of Environment: The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.	The proposals are not to be a likely source of any material pollution of the environment. The purpose and standards for the H Historic Overlay would conclude that this standard is met.	Complies
G. Compliance With Standards: The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.	In relation to the purpose and standards for the H Historic Overlay, no additional standards of this chapter are identified by staff.	Complies

ATTACHMENT I: Public Process and Comments

Notice of the public hearing:

- Notice mailed on January 19, 2021
- Site posted on January 25, 2021

Public Comments:

No public comments have been provided at the time of the publication of this staff report.