



Staff Report

PLANNING DIVISION
COMMUNITY & NEIGHBORHOODS

To: Salt Lake City Historic Landmark Commission
From: Carl Leith, Senior Planner
801 535 7758 or carl.leith@slcgov.com
Date: February 7, 2019
Re: **PLNHLC2017-00696 Twin Home Development at approximately 578 and 610 N. West Capitol Street**
PLNHLC2018-00930 Special Exceptions in SR-1A Zone District

PROPERTY ADDRESS: 578 and 610 N. West Capitol Street
PARCEL ID: 0836230026 & 0836230016
HISTORIC DISTRICT: Capitol Hill Historic District
ZONING DISTRICT: H Historic Preservation Overlay District. SR-1A (Special Development Pattern Residential District)
MASTER PLAN: Capitol Hill Master Plan, Community Preservation Plan
DESIGN GUIDELINES: Preservation Handbook and Residential Design Guidelines
Design Guidelines for Historic Apartment & Multifamily Buildings

REQUEST: **Twin Home Development at approximately 578 and 610 N. West Capitol Street** - Dustin Holt, DB Urban Communities, is requesting approval from the City for the construction of 12 twin homes, and associated Special Exception approvals, on a steeply sloping site which fronts Darwin Street to the East and West Capitol Street to the West. The development site consists of two distinct parcels:

- a. New Construction of 12 twin home dwellings. **Case number: PLNHLC2017-00696**
- b. Special Exceptions sought in SR-1A Zone District. **Case number: PLNHLC2018-00930**
 - i. Building Height: Seven buildings exceed the maximum building height, ranging from 1 foot to 6 feet.
 - ii. Wall Height: All buildings exceed the maximum wall height on one and sometimes two facades, ranging from 10 inches to 8 feet.
 - iii. Setbacks: A reduced side yard setback of 5 feet is sought for 7 lots, and 8 inches and 11 inches on 2 lots.
 - iv. Grading: Construction of the majority of the buildings would require regrading in excess of 4 feet.

The development will require a subdivision of this site which will be the subject of a separate application. The site falls within the Capitol Hill Historic District and is zoned SR-1A (Special Development Pattern Residential).

RECOMMENDATION:

Based on the analysis and findings listed in this staff report, Staff recommends that the Commission approve the application for a Certificate of Appropriateness for the construction of 12 twin home dwellings (PLNHLC2017-00696) and approve the Special Exception requests (PLNHLC2018-00930) associated with these proposals, with the following condition:

1. That the approval of details and minor revisions as identified be delegated to Staff for approval.

The Proposed Development & Site

The petition is for the construction of 12 residences arranged as 6 twin home buildings on a 1.4 acre steeply sloping site between N. West Capitol Street and N. Darwin Street. This is currently a vacant site and lies within the SR-1A Special Pattern Residential District and the H Historic Preservation Overlay for the Capitol Hill Historic District. As proposed, the development site comprises two distinct lots which are not quite contiguous. Four of the buildings, comprising eight of the residential units, would have direct public and vehicular access from Darwin Street. The other two buildings, comprising four residential units, would have separate access from West Capitol Street.

Due in major part to the challenging nature and topography of this site, with a change in elevation of around 70 feet between West Capitol Street and Darwin Street, many of the proposed buildings will require special exception approval for building height, wall height, side yard setbacks and site grading. The accompanying Special Exception application itemizes these variations from the SR-1A standards. These are addressed below and in Attachments E and F to this report.

Recent Background

The development proposal was presented to the Historic Landmark Commission at a public hearing on January 3, 2019. The review is briefly summarized in the Draft Minutes for that meeting (before you this evening for your approval) and the specific points under discussion at that meeting are outlined below. Sections of that Staff Report covering the previous Work Session (1/4/18) review points and arising Key Considerations are included in this report as Attachment D for ease of reference. The video record and the January Staff Report can be reviewed at the following links.

- <https://www.youtube.com/watch?v=fk5nAlyxWKA>
- <http://www.slcdocs.com/Planning/HLC/2019/0069600930SR.pdf>

With the benefit of public commentary in writing and in person, as well as the Applicant’s supplementary information and response to several questions, the Commission discussed the application proposals in some detail. Having identified the need for both additional and revised information, the Commission decided to table the final consideration of and decision on the applications, pending receipt and review of further information. The following (draft) motion was presented and agreed.

Commissioner Harding stated, I move in the case of PLNHLC2017-00696 and PLNHLC2017-00930 that we table this to provide further detail as set forth in our discussion, to the next meeting or within the next six months.

Commissioner Richardson seconded the motion. Commissioners Svendsen, Hyde, Shepherd, Brennan, Stowell, Richardson, and Harding voted “Aye”. The motion passed unanimously.

The key points identified in discussion and where clarification or additional information was sought by the Commission included the following. These reflect the application information requirements for a new construction proposal in a historic district, as set out in the Ordinance. (21A.34.020.F.2)

Context Plan

- Define all property lines & building footprints – existing and proposed. Effectively being able to read and define the relationships and degrees of compatibility of proposed development with the existing settlement patterns.
- Identify all adjacent and nearby streets to enhance the legibility of this context in the historic district.

Streetscape Study

- A streetscape study should be available for both street frontages, to include existing buildings and proposed buildings, defining the relative heights of both. Of particular importance on West Capitol St.,

recognizing the graphic complications introduced by the variety in front setback lines and the range of building elevation from the street level.

Site & Landscape Plan

- The site plan should define all existing streets and sidewalks
- The topographical information should define “established grade”, the basis of which should be agreed with and confirmed by City Planning, relative to the Ordinance grade definitions.
- The site plan should include all information necessary to understand the existing and proposed lot patterns and configuration of the buildings, including defining street boundaries, sidewalks, access drives and pedestrian walkways/access.
- Include illustrative sections through the site and setting.
- Dimension each lot boundary and define all setback lines for each unit and building.
- Identify lot coverage and grade changes for each building and dwelling.
- Identify landscape & tree cover to be retained, with schematic plan for proposed new planting & tree cover.
- Design for more than a ‘dead driveway’ in terms of proposed relationship of buildings to the street.

Design & Materials

- The objective should be to tailor the proposed buildings to this context, creating a dialogue between the buildings and the street.
- The use of relatively simple forms which equate closely with the scale of existing buildings and their primary elements. Several interesting and successful examples have been approved in the recent past.
- Building design does not need to closely echo historic forms – the design guidelines anticipate scope for creativity and a range of options.
- Building plans will enhance understanding and clarity.
- Buildings should ‘nestle in’ to the site, terrain and this eclectic context.
- Relative scales along West Capitol Street will be important.
- Consider the challenge of two-car garage doors facing West Capitol St.
- Over scaled open deck areas seem less characteristic of this setting, where external balcony spaces are distinctly framed by the building.
- Strongly define and emphasize building entrances – porches and wayfinding are important.
- Window scale and fenestration patterns are critical.
- Express the foundations of the buildings.
- Examine the proposed materials and equate these as appropriate with the range established in this context.
- Illustrative representative sections through specific building forms and designs will be valuable, defining established and finished grades relative to building heights.
- Street façade views will be important in defining future streetscape and the compatibility of proposed with existing along West Capitol St.

Design Revisions – Specifically Lots 1&2 & Lots 11&12

- Consider revisions to building placement, setbacks, configuration and massing relative to Lots 1&2 and Lots 11&12, with reference to identified neighbor concerns.

Special Exception Requests

- Special Exception requests should be clearly identified for each building, defined as appropriate in relation to existing grade, and include:
 - Building & wall heights
 - Building setbacks
 - Lot coverage
 - Proposed regrading

A summary of the above points is revisited below under Key Considerations & Issues in the light of the revised or additional application materials and proposals submitted.

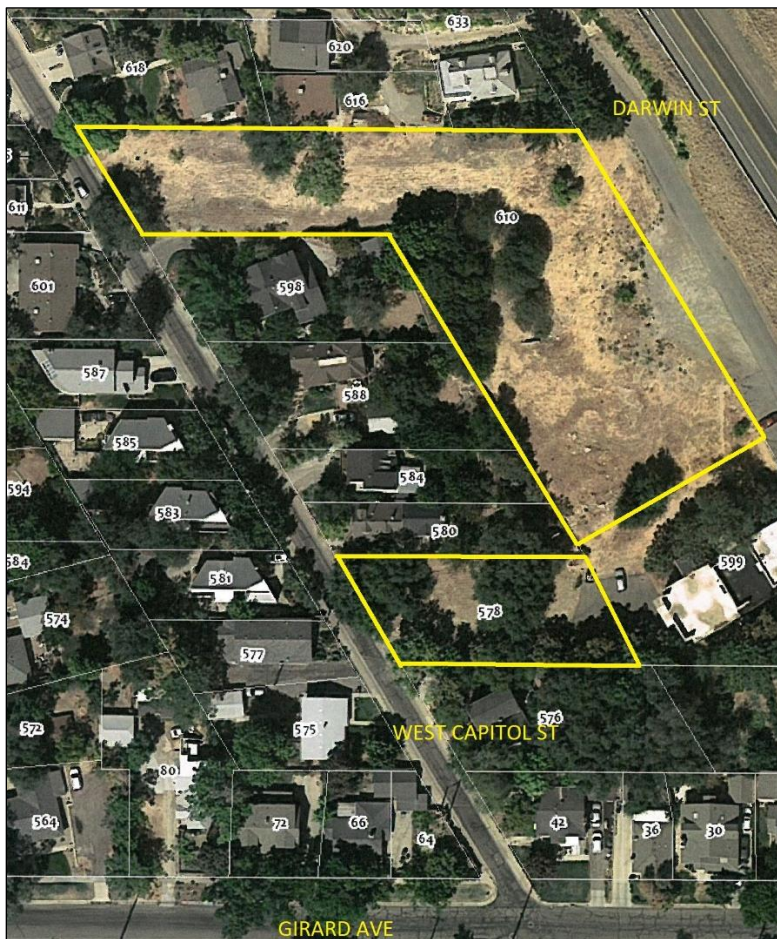
Previous Background

The Historic Landmark Commission will recall that a development proposal for this site was presented for discussion with the Commission at a work session on January 4, 2018. That proposal was for seven buildings comprising 14 twin home units, with the majority accessed from a private road crossing the site. That development proposal was approved by the Planning Commission in June 2018, but has been considerably revised since that time. Please see Attachment D to this report for further details of the HLC review and Planning Commission approval, and associated background.

Capitol Hill Context

The development site is roughly ‘U’ shaped and lies between West Capitol and Darwin Streets on the eastern edge of the Capitol Hill Historic District. The setting is primarily of single family residential scale and character, although there are several multifamily buildings interspersed through this development pattern, and in immediate proximity to this development site. Individual lots in this general context of Capitol Hill tend to be deep, narrow fronted and parallel to each other, connecting with the street frontage on West Capitol Street at an angle in a manner characteristic of the development of many parts of the Capitol Hill Historic District, and in contrast to the more varied relationship on Darwin Street. Much of this pattern is influenced or defined by the natural topography of the immediate and broader context.

Location Plan



Building orientation tends to echo the orientation of the lots, with the majority of buildings presenting a front façade placed at 90 degrees to the side lot lines. This creates a complex relationship between the often parallel buildings and the staggered front facades along West Capitol St. which results from the diagonal intersection of

the lot with the street. This pattern of development helps to create some of the specific visual vitality and character associated with the Capitol Hill Historic District. The steep topography in this context and across this development site contributes a dramatic additional dimension to this individual urban character, particularly along the eastern half of the historic district.

While the pattern of development established by the streets, lots and buildings has these identifiable characteristics, it also has distinct departures from that pattern. Sometimes this takes the form of lot irregularities, sometimes in building orientation and building form irregularities, sometimes in both. These variations in established configurations throw a distinct element of the unexpected into an already rather eclectic and organic settlement pattern, adding to the idiosyncratic character of this Capitol Hill setting. The immediate context of this development site has both identifiable patterns of street/lot/building, and it also has lots and buildings which conform to their own rules, rather than any established by the majority.



Views from West Capitol St. & Darwin St.

Building age ranges from c.1900 through to recent decades in the immediate context. Building scale varies from single story to three stories, although with the dramatic topography the variation in building height is readily absorbed in most instances by variation in grade and mature tree cover.



Revised Site Plan

The Currently Proposed Development

The density proposed with this development would be 8.4 units per acre, falling within the Capitol Hill Master Plan future land use projections of 5–15 units per acre. The units would average between 1550 to 1750 SF.

The current proposals include 12 for sale twin-home units arranged in six distinct buildings. Two buildings, four units, will have individual access from West Capitol Street. Four buildings, eight dwellings, are situated facing onto with access from the 240 ft Darwin Street frontage, the steepest section of the site. With the Darwin frontage, the unit garage frontage setbacks are staggered with a variation of some 20-22 feet, thus reducing the relative scale of building frontage while equating more closely with the more organic character of buildings and landscape in this context. The design of the buildings is varied across the site within a general affinity of character.

The buildings are designed with a configuration, orientation and massing which terraces the levels of each to equate relatively closely with the changing grade across the site. Building height ranges from one to two + stories, stepping down with the declining grade. Roof forms include shallow hipped and single pitch, with limited roof corners, sections and chimneys penetrating zoning building height maxims. Exterior balconies and deck areas, now more integrated into and framed by the form and massing of the building, provide additional visual variation and residential amenity. The primary palette of materials includes brickwork, stucco and fiber cement siding. Each residential unit has a two car garage. Refer to Attachment E for the current revised application material.

Special Exception Approvals

Given the combination of challenging topography, and the objective of creating a more varied and hence potentially compatible form and scale of development, the proposals include several departures from the standard SR-1A dimensional requirements. These primarily take the form of reduced setbacks, slightly higher corners of maximum roof height and sections of wall height. These are set out in detail in the Special Exception application table included in Attachment E and illustrated in the applications drawings included in this report. The Special Exception requests are also addressed in Attachment F to this report.

Proposed changes in grading across the site will be extensive to enable development of any sort, particularly with the eight residential units arranged facing Darwin Street on the steepest section of the site. The objectives in this case are directly associated with creating a compatible and viable form of development, with the essential challenges posed by existing terrain and development character. Generally, it can be argued that the areas of mismatch with SR-1A zoning standards help to achieve development compatibility with a residential setting that would already in various respects be incompatible with the strict application of those current zoning standards.

City Department & Zoning Review

The applicant presented the initial proposal to the Development Review Team (DRT) in October 2017. Notes from this review form Attachment J.1 to this report. A DRT review of the revised development proposals took place on December 4, 2018, with notes from that meeting included as Attachment J.2 to this report.

Public Commentary

Subsequent to the publication of the previous Staff Report (HLC 12/6/18) comments were received from three neighboring owners. Those focused upon concerns regarding the impact of proposed building designs for Lots 1 & 2, and the impact of proposals for Lots 11 & 12, the lots closest to existing residences on West Capitol Street. There was general recognition of the positive impact of the revisions to the overall proposals with the current development plans following detailed discussions with the neighborhood, with suggestions for further design refinements. Those public comments are included in Attachment H to that report. Four members of the public addressed the Commission regarding support for and specific concerns with the impact on adjacent properties, and one additional comment card was submitted in support of the revised scheme. At the time of the publication of this report one emailed comment has been received from an adjacent owner questioning the lot widths noted on the plans. Any additional public commentary will be forwarded to the Commission in advance of meeting.

Key Considerations & Issues

The review of the proposals against the new construction design standards (21A.34.020.H), as informed by the multifamily design guidelines, previously identified several points for consideration. See the alignment of the design standards and the design guidelines in Attachment G and the evaluation of the current proposals against the standards and guidelines criteria in Attachment H to this report. Previous Staff appraisal retained the discussion headings from the January 2018 Work Session for continuity reasons in the previous review. Having

moved into the more detailed review of the development proposals, the current key considerations outlined below track the recent discussions with the Commission in January 2019 (see the more detailed outline of those points above). These include additional and/or revised information identified in that review discussion. Refer to Attachment E on Application Materials. Where additional or revised information has been requested and submitted, and is now part of the application, it is denoted by ✓.

Context Plan

- *Define all property lines & building footprints to define the relationships and degrees of compatibility of with the existing settlement patterns.* ✓
- *Identify all adjacent and nearby streets to enhance the legibility of this context in the historic district.* ✓

The current site plan includes all proposed and neighboring property lines, proposed and existing building footprints, together with adjacent street and sidewalk lines. The plan layout provides information on the relationships and potential compatibility of the proposals with existing settlement patterns and the degree to which the further revisions to the site design more effectively address and engage with the two streets. Staff would conclude that the further revisions to the arrangement of the buildings and associated spaces effectively employ a series of design measures to:

- Remove the previous visual impact of garages facing West Capitol St., moving these to the rear,
- Design the dwellings on Darwin St. around two symmetrical parking/garage courts, and
- Clearly defines the access driveways and pedestrian walkways to the proposed dwellings.

Streetscape Study

- *Provide a streetscape study for both streets with particular reference to compatibility on West Capitol Street.* ✓

Additional application material more comprehensively addresses the sequence of buildings on both street frontages in photo-montage form with the proposed buildings included, and also in outline street elevation drawings for both street frontages. The challenge on West Capitol St. is depicting the relative building placement and stature of existing and proposed buildings along a frontage which rises steeply with variable setbacks. Nevertheless, the combination of the two street frontage renderings, appears to confirm the relative compatibility of the proposed with the existing.

Site & Landscape Plan

- *Define all existing streets and sidewalks in the site plan.* ✓
- *The topographical information should define “established grade” (Ordinance definition)* ✓
- *Site plan – all information necessary to understand the existing and proposed lot patterns and building configuration of the buildings, streets, sidewalks, access drives and pedestrian walkways.* ✓
- *Dimension lot boundaries and all setback lines.* ✓
- *Illustrative sections through the site and setting.* ✓
- *Identify lot coverage and grade changes, and existing and proposed landscape and tree cover.* ✓
- *Relationship of buildings to the street – design for compatibility and interest.* ✓

The current site plan (with associated drawings):

- defines existing streets and sidewalks,
- records the topography of the site on the basis of ‘established grade’ referenced as ‘existing grade on the plans’ and as agreed with the City,
- includes ‘all necessary information’ as defined above,
- dimensions lot boundaries and setback lines in terms of drawings and accompanying tables,
- provides sections lines through the site and the individual buildings, and
- defines lot coverage and grade changes.

The overall site plan and site plans for each building also define proposed landscaping associated with individual and common spaces and access ways. The relationship of the proposed buildings to each of the streets has been further considered and resolved, addressing recent discussion comments and concerns. The buildings facing onto Darwin St. have been redefined as formal symmetrical groups which now address the street in a positive and complementary manner. The two buildings facing West Capitol St. have been reconsidered and revised to address previously expressed concerns regarding the relationships with adjacent buildings. These recent revisions help to enhance the degree of sensitivity to and compatibility with nearby buildings and the overall context.

Design & Materials

- *Tailor the buildings to this context, and create a dialogue with the street.* ✓
- *Simple forms which equate closely with the scale of existing buildings and their primary elements - interesting and successful recent examples.* ✓
- *No need to echo historic forms – design guidelines provide scope for creativity and options.* ✓
- *Building plans will enhance understanding and clarity.* ✓
- *Buildings should ‘nestle in’ to the site, the terrain and this eclectic context.* ✓
- *Relative scales along West Capitol Street will be important.* ✓
- *Two-car garage doors more of a challenge facing West Capitol St.* ✓
- *Large open deck areas are uncharacteristic - frame external balcony spaces with the building.* ✓
- *Strongly define and emphasize building entrances, porches and wayfinding.* ✓
- *Fenestration patterns and window scale important.*
- *Express the foundations of the buildings.*
- *Consider proposed materials with the range established in this context.* ✓
- *Sections through building forms and designs will be valuable in defining established and finished grades relative to proposed building heights.* ✓
- *Street façade views important in defining the compatibility of future streetscape along West Capitol St.* ✓

The design direction for the buildings has been further considered since previous discussions with the Commission.

- Architectural variety has been somewhat reduced in favor of a focus upon a simpler more contemporary design approach, with variation created in roof form, and either the strength or the absence of strong eaves lines.
- The buildings continue to step down with the terrain and in reflection of the zone district defined maximum building and wall heights, helping the buildings nestle in to the landscape.
- Revisiting the building layout and the design of the garages has delivered distinct enhancements to the relationship with both streets. Garages have been relocated. Garage frontages have been subdivided and articulated, with added fenestration to those garage facades forming part of the street frontage.
- Thought has now being applied to the design of hardscape and common landscaping, demarcating and enhancing common pedestrian and vehicular access ways.
- Building massing, floors, articulation are emphasized by changes in either wall plane or materials, or both.
- Previous larger open decks have been reduced in scale and more universally framed on some or all sides in each of the buildings.
- Fenestration has been reconsidered in a more contemporary idiom and proportion, reflecting the rethink in design character.
- The pallet of materials draws directly from those identified in the context, though substituting fiber-cement for more traditional wood siding.

Subject to detailed refinement and resolution of the design approach the overall revisions tend to be positive in terms of achieving compatible development.

Design Revisions – Specifically Lots 1&2 & Lots 11&12

- *Building placement, setbacks, configuration and massing relative to Lots 1&2 and Lots 11&12, with reference to identified neighbor concerns.* ✓

The site designs for the two buildings and four units facing West Capitol St. have been revised to set the buildings back. In the case of Lots 11 & 12, the buildings have been set back from the street, the adjacent lot and the width of the buildings has been reduced, together with a revision to previously identified lot widths to address previous queries and concerns. Refer to Application Materials in Attachment E.

Special Exception Requests

- *Special Exceptions - clearly identify for each building, defined in relation to existing established grade, including:- building & wall heights, building setbacks, lot coverage & proposed regrading.* ✓

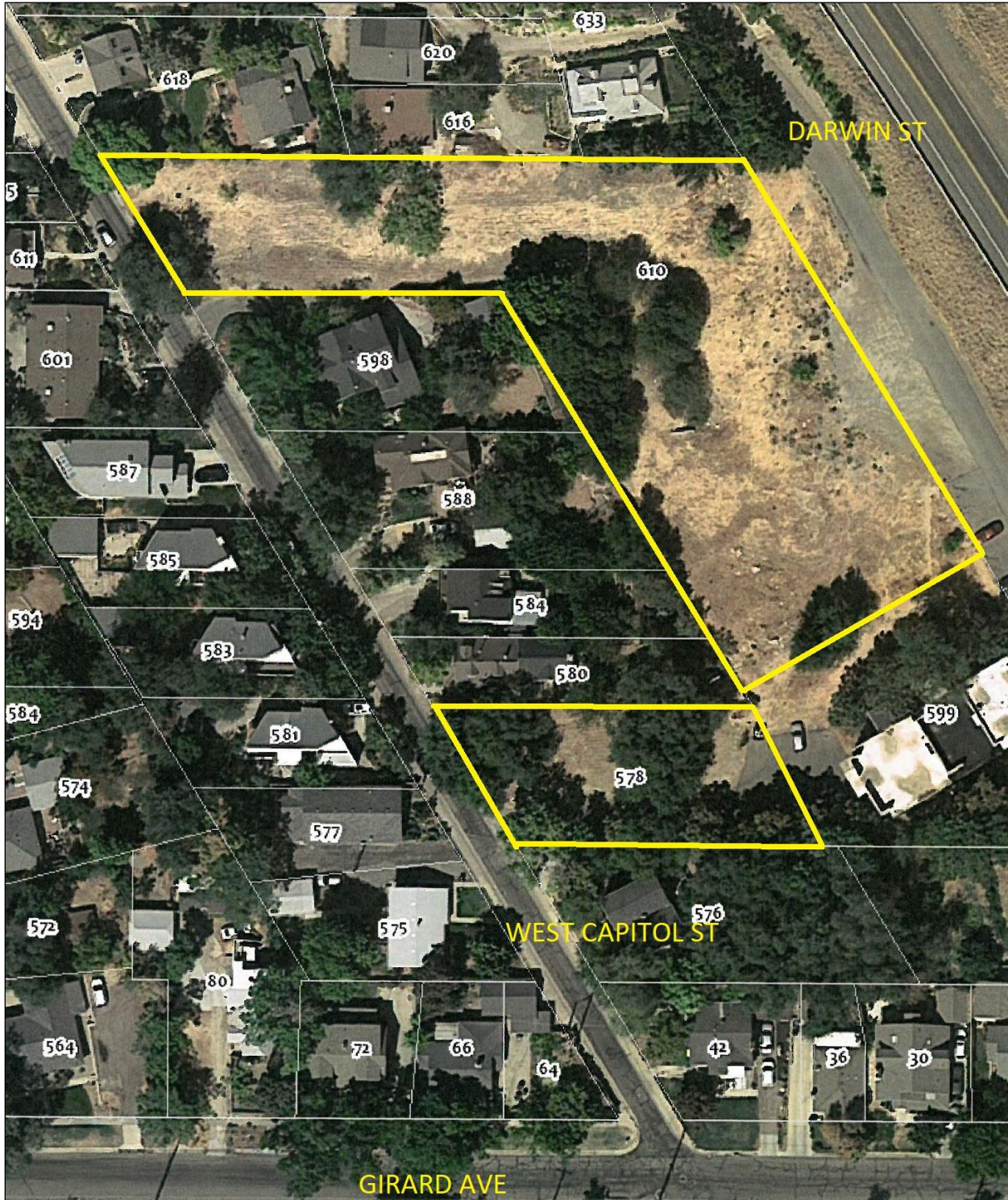
The ‘established grade’ of the development site has been agreed with the City and has been confirmed on the drawing series, including both the general site plan and the individual building drawings. The Special Exceptions sought have been itemized for each lot and set out in both the detailed drawings and the accompanying common tables. Unidentified, are the special exceptions for grading in excess of 4 feet, which can be anticipated across

most of the site for most or all of the buildings. Exceptions sought, given the nature of the site, have been kept to a minimum, and can be viewed as contributing to the character of a workable proposal within this setting which should not adversely affect the historic architectural character of the district.

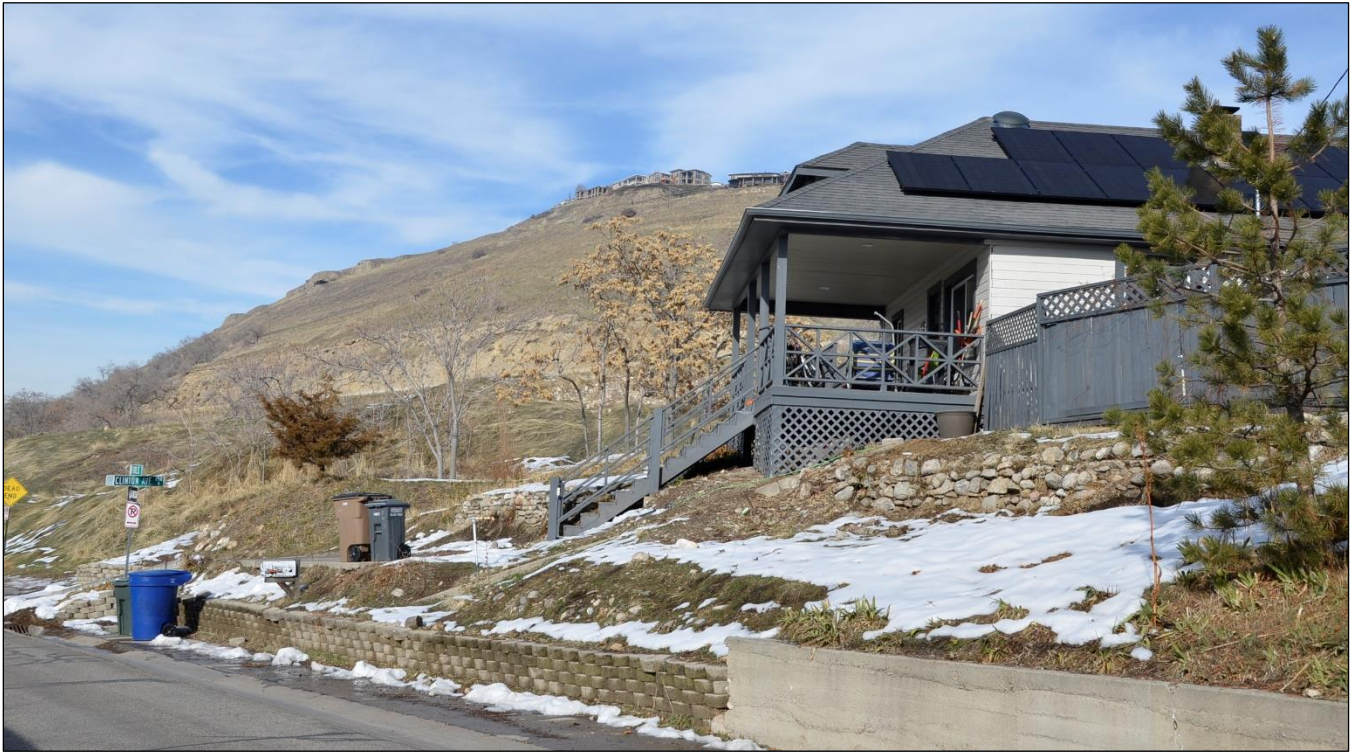
ATTACHMENTS

- A.** Location & Context
- B.** Photographs
- C.** Survey Material
- D.** Previous Proposals & Review History
- E.** Application Materials
- F.** SR-1A Zoning Standards & Special Exception Standards - Review
- G.** Design Standards & Guidelines for New Construction in an Historic District
- H.** Design Standards & Guidelines for New Construction - Evaluation
- I.** Public Commentary
- J.** Departmental Consultation & Review 10/5/17 & 12/4/18

ATTACHMENT A: LOCATION & CONTEXT



ATTACHMENT B: PHOTOGRAPHS



WEST CAPITOL STREET – EAST SIDE



WEST CAPITOL STREET – EAST SIDE (MOVING SOUTH)



WEST CAPITOL STREET – EAST SIDE (MOVING SOUTH)



WEST CAPITOL STREET – EAST SIDE (MOVING SOUTH)



WEST CAPITOL STREET – EAST SIDE (MOVING SOUTH)



WEST CAPITOL STREET – EAST SIDE (MOVING SOUTH)



WEST CAPITOL STREET – EAST SIDE (MOVING SOUTH)



WEST CAPITOL STREET – WEST SIDE (MOVING NORTH)



WEST CAPITOL STREET – WEST SIDE (MOVING NORTH)



DARWIN STREET (LOOKING SOUTH & SOUTH-WEST)



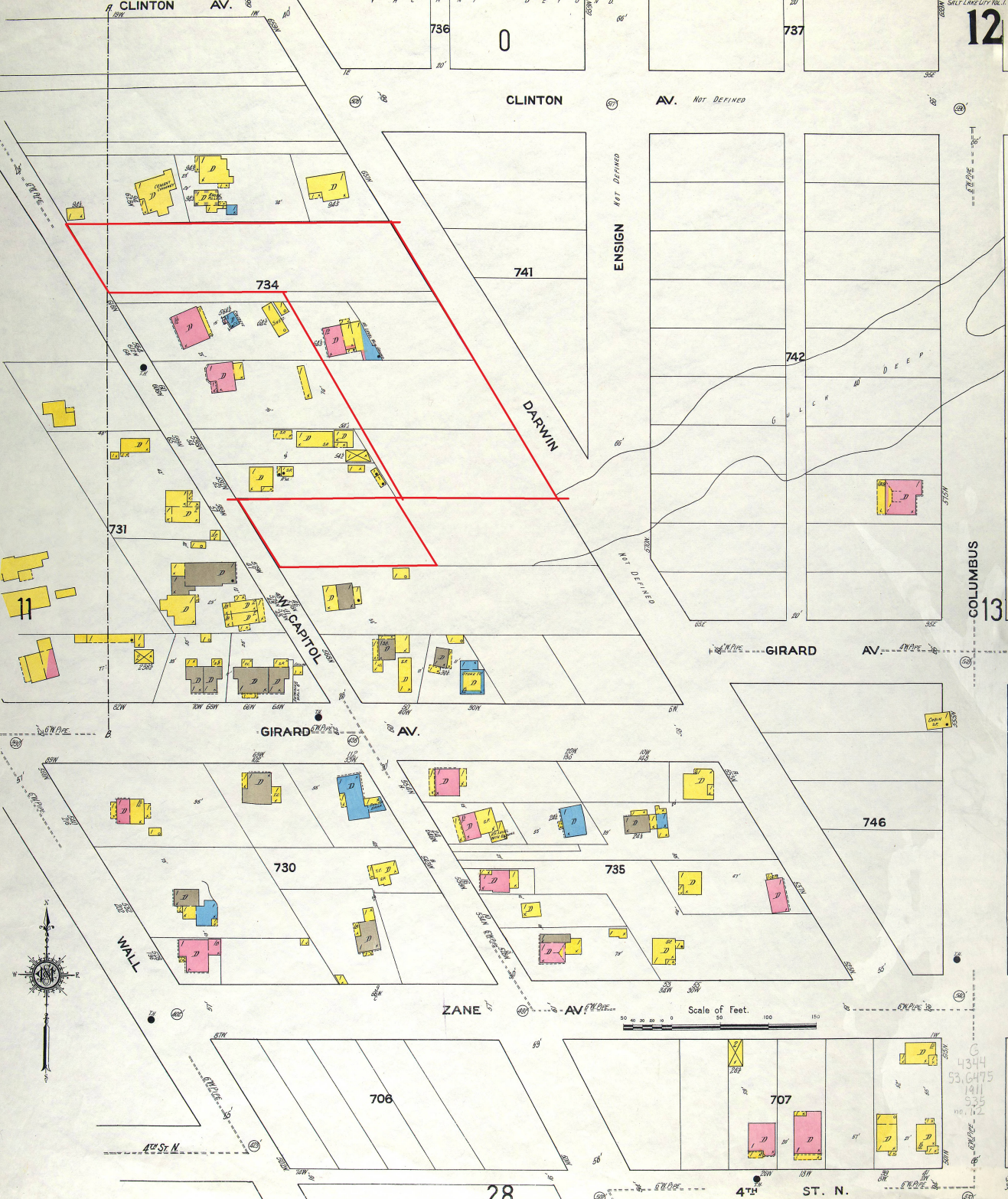
DARWIN STREET (LOOKING WEST & NORTH-WEST)



LOOKING SOUTH & SOUTH-WEST FROM DARWIN STREET

ATTACHMENT C: SURVEY MATERIAL

- SANBORN MAP 1911
- SANBORN MAP 1950
- 2006 RECONNAISSANCE LEVEL SURVEY



4344
53.6475
1911
57.25
10.12

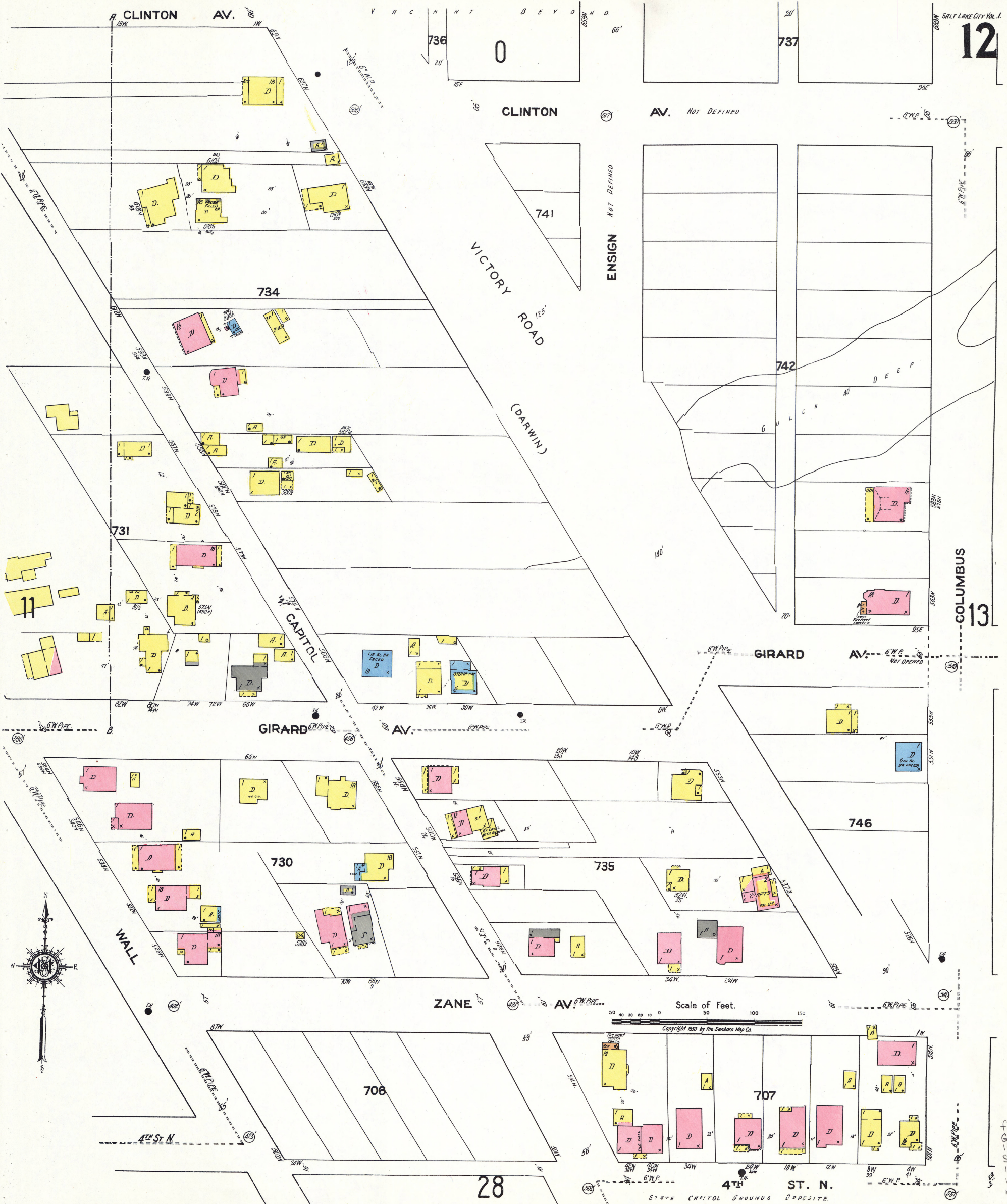
CLINTON AV.

CLINTON AV.

AV. NOT DEFINED

ENSIGN NOT DEFINED

COLUMBUS



736
0

737

734

741

742

731

GIRARD AV.

AV.

GIRARD AV.

AV. NOT OPENED

730

735

746

ZANE AV.

Scale of Feet.

706

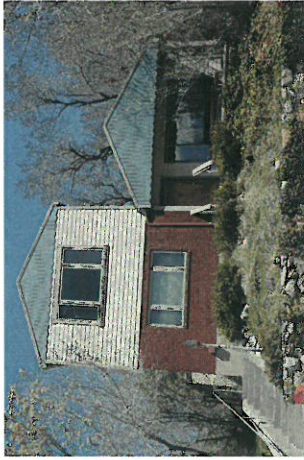
707

28

4TH ST. N.

STATE CAPITOL GROUNDS OPPOSITE

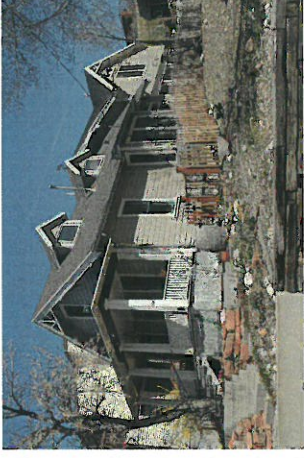
fe
G
1519
S3
1950
v.1
no.12



576 N West Capitol Street
C



577 N West Capitol Street
B



580 N West Capitol Street
B



581 N West Capitol Street
D



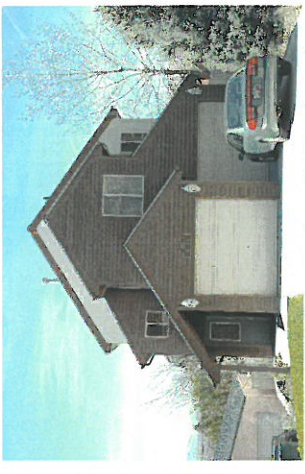
583 N West Capitol Street
D



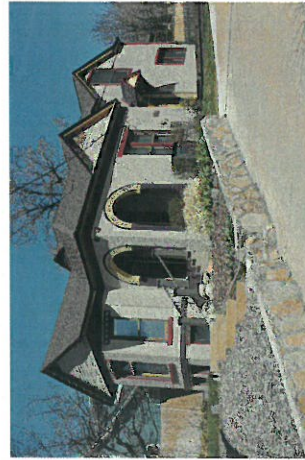
584 N West Capitol Street
D



585 N West Capitol Street
D



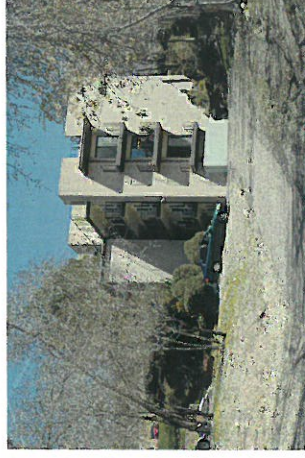
587 N West Capitol Street
D



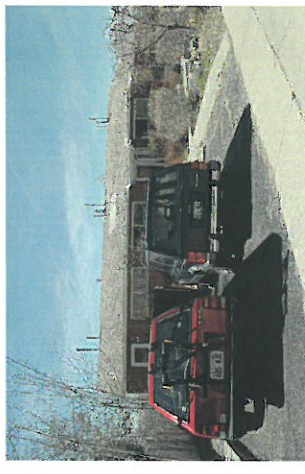
588 N West Capitol Street
B



598 N West Capitol Street
B



599 N Darwin Street
(view from West Capitol Street)



601-605 N West Capitol Street
B

Architectural Survey Data for SALT LAKE CITY

Utah State Historic Preservation Office

Address/ Propertv Name	Eval./ Ht	OutB N/C	Yr.(s) Built	Materials	Styles	Plan (Type)/ Orig. Use	Survey Year RLS/ILS/Gen	Comments/ NR Status
576 N WEST CAPITOL	C	0/0	1952	STRIATED BRICK	EARLY RANCH (GEN.)	RANCH / RAMBLER	06	RECENT POP-TOP & OTHER CHANGES
		1		ALUM./VINYL SIDING		SINGLE DWELLING	05	N05
577 N WEST CAPITOL	B	0/1	c. 1914	REGULAR BRICK SHINGLE SIDING	BUNGALOW	BUNGALOW	06	
BAIN, ANGUS M., HOUSE		1				SINGLE DWELLING	05	N05
580 N WEST CAPITOL	B	1/0	1907	DROP/NOVELTY SIDING	VICTORIAN ECLECTIC	RECTANGULAR BLOCK	06	DORMERS c.1995; TRANSITIONAL BUNGALOW
BEDFORD HOUSE		1.5			ENGLISH TUDOR	SINGLE DWELLING		N05
581 N WEST CAPITOL	D	0/0	1990	STUCCO/PLASTER	CONTEMPORARY	OTHER LATE 20TH C. SINGLE DWELLING	06	
		2						
583 N WEST CAPITOL	D	1/0	1990	STUCCO/PLASTER	CONTEMPORARY	OTHER LATE 20TH C. SINGLE DWELLING	06	
		2						
584 N WEST CAPITOL	D	0/0	1983	ALUM./VINYL SIDING	LATE 20TH C.: OTHER	OTHER APT./HOTEL MULTIPLE DWELLING	06	
		2.5						
588 N WEST CAPITOL	B	0/1	c. 1890	REGULAR BRICK	VICTORIAN ECLECTIC	CENTRAL BLK W/PROJ SINGLE DWELLING	06	CONSTRUCTION DATES: 1891-1892
THOMAS, DAVID P., HOUSE		1					05	N05
598 N WEST CAPITOL	B	0/1	1897	STUCCO/PLASTER ADOBE BRICK SHINGLE SIDING	VICTORIAN: OTHER PERIOD REVIVAL: OTHER	CENTRAL PASSAGE	06	NEW DORMERS?
MCCLURE HOUSE		1.5	1932			SINGLE DWELLING		N05
601 N WEST CAPITOL	B	0/0	1959	STRIATED BRICK	RANCH/RAMBLER (GEN.)	OTHER APT./HOTEL MULTIPLE DWELLING	06	601-605 N; 3 UNITS
		1					05	N05



605-601 N West Capitol Street
B



611 N West Capitol Street
B



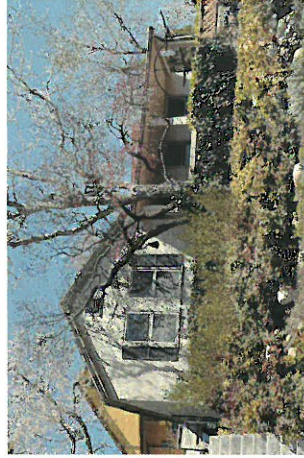
615 N West Capitol Street
D



615 N West Capitol Street
(garage)
D



616 N West Capitol Street
B



618 N West Capitol Street
B



620 N West Capitol Street
B



623 N West Capitol Street
D



631-633 N West Capitol Street
D



634 N West Capitol Street
C



640 N West Capitol Street
B



669 N West Capitol Street
B

Architectural Survey Data for SALT LAKE CITY

Utah State Historic Preservation Office

Address/ Property Name	Eval./ Ht	OutB N/C	Yr.(s) Built	Materials	Styles	Plan (Type)/ Orig. Use	Survey Year RLS/ILS/Gen	Comments/ NR Status
611 N WEST CAPITOL	B	0/0	c. 1904	REGULAR BRICK	VICTORIAN; OTHER	CENTRAL BLK W/ PROJ	06	EXTENSIVELY REMODELED NEW ROOF, WINDOWS, PORCH ENCLOSURE
HACKWELL, ALBERT S., HOUSE	1.5		c. 1960	WOOD; OTHER/UNDEF.		SINGLE DWELLING	05	N05
615 N WEST CAPITOL	D	0/0	2005	STUCCO/PLASTER	NEO-ECLECT.; OTHER	OTHER LATE 20TH C. SINGLE DWELLING	06	NICE WATER FEATURE; GARAGE IN FRONT WITH 619?
? 615 N WEST CAPITOL	D	0/0	c. 2005	STUCCO/PLASTER	NEO-ECLECT.; OTHER	OTHER LATE 20TH C. SINGLE DWELLING	06	GARAGE IN FRONT FOR 615 & 619 N
616 N WEST CAPITOL	B	0/0	c. 1885	STUCCO/PLASTER	CLASSICAL; OTHER	HALL-PARLOR	06	BEHIND 618 & NEXT TO 620 N; CONST. DATE: LATE 1880s; IN FILE AS 618 1/2
WAGER, RHODA & GEORG, HOUSE	1			ADOBE BRICK WOOD; OTHER/UNDEF.		SINGLE DWELLING	05	N05
618 N WEST CAPITOL	B	0/0	c. 1887	WOOD; OTHER/UNDEF.	BUNGALOW	CROSSWING	06	MAJOR ALTERATIONS: WINDOW MODIFICATIONS & NEW PORCH SUPPORTS
WAGER, RHODA & GEORGE,	1		c. 1927	STUCCO/PLASTER		SINGLE DWELLING	05	N05
620 N WEST CAPITOL	B	0/0	c. 1900	STUCCO/PLASTER	BUNGALOW	RECTANGULAR BLOCK	06	BEHIND 618 N
			1.5	WOOD; OTHER/UNDEF.		SINGLE DWELLING		
623 N WEST CAPITOL	D	1/0	c. 1995	STUCCO/PLASTER	LATE 20TH C.; OTHER	OTHER LATE 20TH C. SINGLE DWELLING	06	
			2					
631 N WEST CAPITOL	D	1/0	c. 2000	STUCCO/PLASTER	NEO-ECLECT.; OTHER	DOUBLE HOUSE / SINGLE DWELLING	06	
			1					
634 N WEST CAPITOL	C	0/0	1948	STUCCO/PLASTER	LATE 20TH C.; OTHER	OTHER LATE 20TH C.	06	EXTENSIVE ADDITIONS & REMODELING
			1.5	WOOD; OTHER/UNDEF.		SINGLE DWELLING	05	N05
640 N WEST CAPITOL	B	0/0	c. 1919	DROP/NOVELTY SIDING	BUNGALOW	FOURSQUARE (BOX) SINGLE DWELLING	06	
GREENWOOD, STEPHEN D.,	1						05	N05
669 N WEST CAPITOL	B	1/0	c. 1909	ASBESTOS SIDING	20TH C.; OTHER BUNGALOW	FOURSQUARE (BOX)	06	
JENSEN, EPHRAIM, HOUSE	1					SINGLE DWELLING	05	N05

?=approximate address

Evaluation Codes: A=eligible/architecturally significant B=eligible C=ineligible/altred D=ineligible/out of period U=undetermined/lack of info X=demolished



163 W Clinton Avenue
C



172 W Clinton Avenue
D



175 W Clinton Avenue
C



179 W Clinton Avenue
B

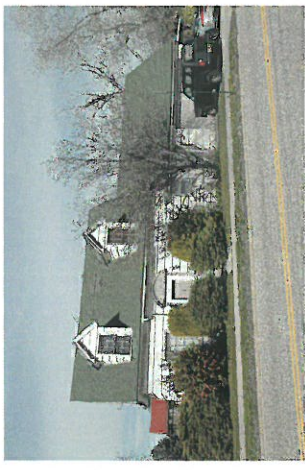


181 W Clinton Avenue
B



183 W Clinton Avenue
B

COLUMBUS STREET



505 N Columbus Street
B (aka 4 W 500 North)

DARWIN STREET



515 N Columbus Street
B



527-529 N Darwin Street
B

Architectural Survey Data for SALT LAKE CITY Utah State Historic Preservation Office

Address/ Property Name	Eval/ Ht	OutB N/C	Yr.(s) Built	Materials	Styles	Plan (Type)/ Orig. Use	Survey Year RLS/ILS/Gen	Comments/ NR Status
160 W CLINTON AVENUE	A	0/0	c. 1890	STUCCO/PLASTER	CLASSICAL; OTHER	HALL-PARLOR	06	MAJOR ALTERATIONS; REMODELED BETWEEN 1900-1933
WILLIAMS, FRANCIS, HOUSE	1.5		1933	MULTI-COLOR BRICK	ENGLISH COTTAGE	SINGLE DWELLING	05	N05
163 W CLINTON AVENUE	C	0/0	c. 1890	STUCCO/PLASTER	VICTORIAN; OTHER	OTHER RESIDENTIAL	06	MAJOR ALTERATIONS; CONST DATES: LATE 1880s
WYATT, JAMES J., HOUSE	1		c. 1946	BRICK; OTHER/UNDEF.	20TH C.; OTHER	SINGLE DWELLING	05	N05
172 W CLINTON AVENUE	D	0/0	1971	CONCRETE; OTHER WOOD; OTHER/UNDEF.	MODERN; OTHER	OTHER APT./HOTEL	06	
		2.5				MULTIPLE DWELLING	05	N05
175 W CLINTON AVENUE	C	0/0	c. 1935	ALUM./VINYL SIDING	LATE 20TH C.; OTHER	OTHER RESIDENTIAL	06	DATE UNKNOWN?; PERMIT FOR 1935
		1				SINGLE DWELLING	05	N05
179 W CLINTON AVENUE	B	0/0	c. 1915	REGULAR BRICK	BUNGALOW	OTHER RESIDENTIAL SINGLE DWELLING	06	FACES EAST ON FORMER COURT?
		1						
181 W CLINTON AVENUE	B	1/0	c. 1905	REGULAR BRICK	VICTORIAN ECLECTIC	CENTRAL BLK W/ PROJ SINGLE DWELLING	06	1946 ALTERATIONS
SNYDER, JESSIE V., HOUSE	1		c. 1946				05	N05
183 W CLINTON AVENUE	A	1/0	c. 1908	REGULAR BRICK	VICTORIAN ECLECTIC	FOURSQUARE (BOX) SINGLE DWELLING	06	CONST DATES: 1908-1911
GREENWOOD, STEPHEN D.,		1					05	N05
505 N COLUMBUS STREET	B	0/0	1946	SHINGLE SIDING	COLONIAL REVIVAL	CAPE COD	06	FACES COLUMBUS ST (PARCEL ADDRESS 4 W 500 NORTH)
		1.5			MINIMAL TRADITIONAL	SINGLE DWELLING	05	N05
515 N COLUMBUS STREET	B	0/1	1936	REGULAR BRICK	PERIOD REVIVAL; OTHER	PERIOD COTTAGE SINGLE DWELLING	06	
		1						
527 N DARWIN STREET	B	0/0	c. 1960	OVERSIZED BRICK	POST-WWII; OTHER	OTHER APT./HOTEL MULTIPLE DWELLING	06	527-529 N
		1					05	N05

?=approximate address

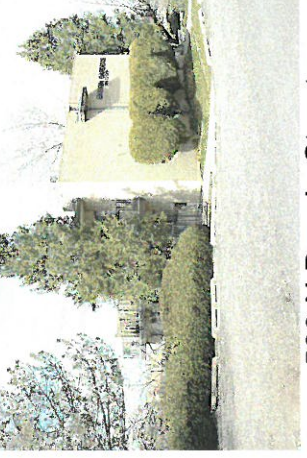
Evaluation Codes: A=eligible/architecturally significant B=eligible C=ineligible/out of period U=undetermined/lack of info X=demolished



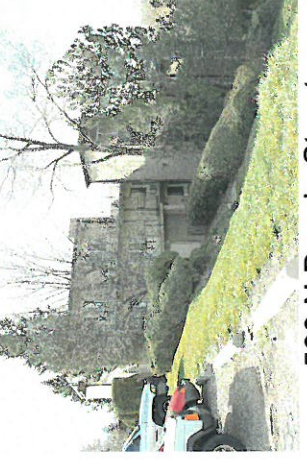
537-535 N Darwin Street
B



579 N Darwin Street
B



599 N Darwin Street
D



599 N Darwin Street
(alternate view)

EAST CAPITOL STREET



233 N East Capitol Street
B



233 N East Capitol Street
(alternate view)



235 N East Capitol Street
A



239 N East Capitol Street
C (aka 114 E Hillside Avenue)



273 N East Capitol Street
B

Architectural Survey Data for SALT LAKE CITY

Utah State Historic Preservation Office

Address/ Property Name	Eval/ Ht	OutB N/C	Yr.(s) Built	Materials	Styles	Plan (Type)/ Orig. Use	Survey Year R/S/D/S/Gen	Comments/ NR Status
537 N DARWIN STREET	B	/	C. 1888	BRICK:OTHER/UNDEF.	CLASSICAL: OTHER	OTHER RESIDENTIAL	06	MAJOR ALTERATIONS; ORIGINALLY ONE-STORY HIGH; 535-537 N
WILSON, HENRY, HOUSE	2		c. 1930	STUCCO/PLASTER	PERIOD REVIVAL: OTHER	SINGLE DWELLING	05	N05
579 N DARWIN STREET	B	0/1	c. 1960	REGULAR BRICK	RANCH/RAMBLER (GEN.)	RANCH/RAMBLER SINGLE DWELLING	06 05	N05
599 N DARWIN STREET	D	0/0	c. 1975	REGULAR BRICK	MODERN: OTHER	OTHER APT./HOTEL MULTIPLE DWELLING	06 05	N05
ENSIGN GARDENS	2.5							
235 E EAST CAPITOL	A	0/0	1937	STUCCO/PLASTER	INTERNATIONAL	OTHER RESIDENTIAL	06	STREAMLINE/MODERNE RESIDENCES TR
RICHARD BIRD HOUSE	2				ART MODERNE	SINGLE DWELLING		N05
233 N EAST CAPITOL	B	0/1	C. 1908	REGULAR BRICK	BUNGALOW	BUNGALOW	06	ALTERATIONS TO GABLE WINDOWS
JESSDEL, ALBERT D., HOUSE	1.5			SHINGLE SIDING CLINKER BRICK	DUTCH COLONIAL REV.	SINGLE DWELLING	05	N05
239 N EAST CAPITOL	C	0/0	1936	STUCCO/PLASTER	PERIOD REVIVAL: OTHER	PERIOD COTTAGE	06	ATTACHED TO 114 E HILLSIDE; POOL ADDED 1985
GEORGE A. FISHER HOUSE	1.5		1985		SPANISH COLONIAL REV	SINGLE DWELLING		N05
273 N EAST CAPITOL	B	1/0	1917	REGULAR BRICK	FEDERAL	CENTRAL PASSAGE	06	WINDOWS CHANGED; SLC REGISTER; REHAB FOR B & B
DICKSON-GARDNER-WOLFE	2.5				CLASSICAL: OTHER NEOCLASSICAL	SINGLE DWELLING		N05

ATTACHMENT D: PREVIOUS PROPOSALS & REVIEW HISTORY

FROM STAFF REPORT TO JANUARY 3, 2019, HLC MEETING

<http://www.slcdocs.com/Planning/HLC/2019/0069600930SR.pdf>

“The Historic Landmark Commission will recall that a development proposal for this site was presented for discussion with the Commission at a work session on January 4, 2018. That proposal was for seven buildings comprising 14 twin home units, with the majority accessed from a private road crossing the site.

No recommendation or decision on the development was made at that meeting, with the principal points of discussion summarized below. The Staff Memorandum for that work session and the Minutes of that meeting can be reviewed via the following links.

<http://www.slcdocs.com/Planning/HLC/2018/696.pdf>

<http://www.slcdocs.com/Planning/HLC/2018/14min.pdf>

As previously proposed, the development required Planned Development due to the number of units and residential units not facing a public street, and Preliminary Plat approvals. The Planned Development and subdivision applications were reviewed at a public hearing by the Planning Commission on May 23, 2018. The Commission voted to table the applications seeking additional information on compatibility, traffic generation and traffic impact. The Staff Report to this meeting and the Minutes of the meeting can be reviewed via the following links.

<http://www.slcdocs.com/Planning/Planning%20Commission/2018/00179.pdf>

<http://www.slcdocs.com/Planning/Planning%20Commission/2018/0523min.pdf>

The Planning Commission subsequently approved the 14 unit development proposal at their meeting on June 13, 2018. The Staff Report to this meeting and the Minutes of the meeting can be reviewed via the following links.

<http://www.slcdocs.com/Planning/Planning%20Commission/2018/0613Memo.pdf>

<http://www.slcdocs.com/Planning/Planning%20Commission/2018/0613min.pdf>

An application (PLNAPP2018-00480) appealing the Planning Commission decision was submitted by neighboring owners on June 26, 2018. This appeal is currently still pending.

Upon further consideration, and in consultations with neighboring owners, the applicants have revised the proposal, resulting in the current layout and design before you now for review and approval. The principal changes to the development include reducing the development density to twelve twin homes arranged in six buildings, the elimination of any private access road, and the reconfiguration of the site layout to place four of the buildings, eight twin home units, directly facing Darwin Street. The area of the development site within the SR-1A zone provides capacity for this number of units and lots. Since a Planned Development application and approval is no longer required, any variation in building setbacks, form and height from the standard SR-1A zoning dimensional requirements are now covered by the accompanying Special Exception application.

Previous Historic Landmark Commission Discussion – January 2018

The main discussion points from the Historic Landmark Commission’s Work Session review in January 2018 are summarized below (see Minutes of previous HLC meeting). Those directly relating to the previously proposed private road or the Planned Development application, neither of which are now under consideration, are **grayed out** below, retaining reference while maintaining discussion continuity.

- The requested setbacks for the proposal.
- Commission stated they were concerned a wide variety in architectural character would not be achieved with the basic design of the buildings.
- There needed to be greater expression in the details of the buildings.
- Willing to work with the Applicant to shift the buildings to allow for the distinctive expression of each building.
- Willing to push the setbacks to integrate the variety and buildings to fit the area.
- Looking for fourteen individual looks and not seven.

- The setbacks need to be considered building by building to address the surrounding structures.
- Show the context of the site as best possible to help the Commission see how the buildings would affect their surroundings.
- It would be difficult for the proposal to not stick out when it should blend in with the area.
- The relationship of the proposal to the homes on West Capitol.
- The connectivity of the project to the neighborhood that would give it a walkable feel.
- The proposed roof heights and where additional height may be requested.
- If the proposal was too dense for the site.
- The ways further development would better help the buildings fit the site and neighborhood.
- The parking for the proposal.
- What could be constructed on the property without going through the planned development process?
- The eclectic nature of the area.
- If all of the units should have two car garages.
- The way the structures fight the grade and address the streets.
- If single family homes would be a better solution for the site.
- If the Planning Director had reviewed the subdivision.
- May have an issue with twin homes due to the massing.
- The time frame for the proposal.

Previous Planned Development & Internal Roadway Discussion Points

- Building number fifteen, its shape and number of units.
- If the roadway would be private.
- The easements for the neighboring roadway.
- If roads could be in a required front yard.
- The approval process for each aspect of the proposal, including the Planned Development process.”

“Key Considerations & Issues

To maintain continuity in evaluation, the points and questions identified in the previous Staff Memo (January 2018) and at the moment in *italic*, retain the same areas of focus identified for the previous Work Session. Current evaluation retains these design criteria. They are not mutually exclusive, with one or more consideration/s often overlapping, or having an impact upon others. These are reviewed in detail in Attachment G to this report.

1. Settlement Pattern

- *Questions this might pose, amongst others, are the options which might be employed to integrate this form of development within the established development patterns of this historic context, as a contemporary and compatible contribution to the Capitol Hill Historic district?*

This can be defined as the street pattern established by and responding to the terrain of the setting, the lot pattern, the lot configuration, orientation and relationships, and the plan footprints of the buildings, their orientation within their respective lot and their relationships to each other.

The current proposals are revised in density with the removal of two lots, have no continuous internal roadway or drive, and the arrangement of lots now address both public streets more directly. With this redesign of the master plan, the proposed development reflects more of the characteristics of this settlement pattern as the ‘infrastructure’ of the current character of this part of Capitol Hill. The constraints of combining the narrow lots with the steep terrain of the site and direct access to both streets determine a configuration for the main entrance to the dwellings which does not directly face the street, although some design consideration has been given to the legibility of these entrances, albeit along the side façade of the residence. Established patterns and orientations otherwise tend to be respected where a distinct pattern can be readily defined. On Darwin Street the current plan would establish a pattern where none currently exists within the current disparate arrangement of buildings.

2. Topography

- *Questions this might pose would be concerned with the degree of regrading required of this site and whether, in terms of the established historic development patterns, this proposal suggests a greater concentration of buildings within this challenging site?*

Due to the steep topography in this context and across this site, creating a viable and compatible form of contemporary residential development, is a challenge. There is a difference in levels from West Capitol to Darwin Streets of upwards of 50 feet, warranting extensive regrading to achieve any development. The density of the proposed development has been revised to reduce the number of units, to remove the internal street, and to arrange the lots and buildings to more closely address the two existing streets. In doing so, the challenges of developing the lot with this configuration increase. Eight of the twelve units, four of the buildings, are pushed back into the steepest side of the development site, prompting notably more excavation than might have previously been anticipated. At the same time however, the proposals appear to have identified a more compatible density of development while more directly addressing the primary street frontage along Darwin Street. The integration of the current site plan and the more considered development designs with the steep terrain do provide both challenge and opportunity. The extent to which this weaves the development form and scale into the site and the setting helps to achieve an appreciable degree of sensitive compatibility with the context. At the same time, the need to integrate new buildings with this landscape provides a medium to temper the impact and enhance the compatibility of new development in this established setting. Designing the new dwellings to echo the existing terrain, with resulting terraced massing, helps to reduce the scale of the proposals and enhance the sense of compatibility.

3. Scale

- *Questions arising might focus on whether the scale of lots and buildings proposed with this development would readily integrate with existing character, and the options which might be employed to achieve compatible development scale, as the designs for this proposal are taken to the next stage?*

The building scales of the context are well established, encompass a considerable range and anchor the character as being primarily single family residential although interspersed with occasional larger apartment buildings. Patterns emerge within the scale of lots and buildings but are periodically fragmented by a less regular, more 'organic' series of lot and building scales and configurations.

Further consideration of the site and the context, informed by discussions with the Commission and the neighborhood, have prompted a revised building configuration and form which uses the change in grade to positive advantage. The present development design helps to create a building scale and a degree of compatibility with the site and the setting which should help to preserve and also enhance the existing character of this part of Capitol Hill. Terracing the proposed buildings with a regrading and terracing of the hillside, staggering the residential unit footprints within each building, and then varying the building massing, roof forms and architectural expression help to soften and reduce the sense of scale associated with the buildings.

4. Design Variety

- *Questions emerging might concentrate on the ways to create sufficient variety within a series of 14 (now 12) residential units arranged in seven (now six) relatively similar buildings? Repeating a single building design, at the scale proposed, seems unlikely to integrate readily into this context, prompting considerations of options to achieve a much greater sense of variety across the sequence of buildings.*

Current historic and architectural character across this part of Capitol Hill is very eclectic, very variable in building form and design, tempered to a degree by a shared sense of building scale; to the degree that this can be readily discerned within this generally dramatic and mature landscape.

The applicant, in reviewing previous discussions, and in developing the design and arrangement of buildings on this site, has identified a varied series of buildings focused around three particular models. The arrangement of dwelling footprints is consciously staggered in the placement of the units. Building design options proposed also include a variation in roof forms which also step down with the slope. Both help considerably to sculpt, reduce and vary the massing as the buildings step down with the grade. The modulation of the building forms, and the articulation and detailing of facades has been considered in the context of design guideline advice, and should complement the degree of variety in the overall design. Combined with the proposed design and material palettes, the overall design approach helps to reduce the sense of visual scale, and to create a development pattern and form with an impression of greater compatibility with the character of this setting within the Capitol Hill Historic District.

5. Roof Form

- *Questions prompted might include, again speaking in part to the challenge of creating architectural variety, the degree and the options to engage in creating both varied and compatible roof forms across the development?*

While roof forms across this context vary considerably, they have a predominance of pitched roof configurations and roof massing expressed in the form of porch roofs, attic stories and dormer windows. In the light of recent discussions, several roof forms and variations in building massing have been developed. The variety of roof forms are then complemented by the terracing of the buildings, with a series of associated terrace, deck and balcony spaces. Combined with the configuration of building footprints and the varied series of building designs the complexity created by roof forms and massing should help to integrate the proposed buildings within this setting.”

ATTACHMENT E: APPLICATION MATERIALS



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VIA EMAIL

CARL O. LEITH MRTPI IHBC
Senior Historic Preservation Planner

PLANNING DIVISION
COMMUNITY *and* NEIGHBORHOODS
SALT LAKE CITY CORPORATION

RE: Certificate of Appropriateness, New Construction
EVO Subdivision, 578 & 610 N West Capitol Street

Mr. Leith,

Enclosed is the revised narrative and materials for our application on EVO. Please let me know if you have any questions or comments upon review. Included you will find an revised table for the special exceptions application we made previously, and should help with the review of each lot. We have also attempted to bullet-form for arguments so as to streamline the narrative.

Best regards,

Dustin Holt, Co-Founder
dbURBAN Communities

Enlosures

Narrative
Special Exception table (revised)
Plans and details

dbURBAN Communi**TIES**

211 E. Broadway Ste 218 | Salt Lake City, UT 84111 | bryce@dburbancommunities.com | 801.828.0068



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HISTORIC PRESERVATION OVERLAY PURPOSE STATEMENT

In order to contribute to the welfare, prosperity and education of the people of Salt Lake City, the purpose of the Historic preservation overlay district is to:

1. Provide the means to protect and preserve areas of the city and individual structures and sites having historic, architectural or cultural significance;
 - The proposed project completes the development of a neighborhood of some of the oldest homes in the City. This last infill location in this part of the neighborhood completes the street frontage of both West Capitol Street and Darwin Avenue. It also eliminates the potential for improper use of a deadend street as it provides for an active and vibrant use.
2. Encourage new development, redevelopment and the subdivision of lots in historic districts that is compatible with the character of existing development of historic districts or individual landmarks;
 - Each lot will be linear in its design so as to maintain compatibility and continuity with the adjacent historic structures. No building façade along Darwin Street and or West Capitol Street will be taller than 2 stories. The height of a new 2 story building will integrate seamlessly with adjacent two and three story single family homes and apartment buildings.
 - Due to the challenging topography of the site, these two infill parcels have remained vacant, providing opportunity for less desirable activities to prevail. This development completes the block face on both Darwin and West Capitol Streets and provides new activity to the area.
 - One of the many unique design elements used for the eVo Twin Homes is accomplished by sliding the homes closer to the front yard setback as to create more separation from the twin homes to the historic homes below. This additional separation will provide up to 120 ft of extra breathing room between the new twin homes and already existing historic homes.
3. Abate the destruction and demolition of historic structures;
 - The proposed twin homes for EVO will be built on vacant lots that do not currently have any existing structures on any of the sites; as a result, nothing will be demolished during the construction period of this project.
4. Implement adopted plans of the city related to historic preservation;
 - Both parcels are currently located within the Capitol Hill Local Historic District boundary and the applicant previously conducted a work session with the Historic Landmark Commission in January 2018, and then a hearing on January 3, 2019. The applicant went before the Planning Commission as it related specifically to a Planned Development and a Preliminary Plat specific to the site plan and building orientation. The PC unanimously approved a 7 building, 14 unit twin-home



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subdivision.

5. Foster civic pride in the history of Salt Lake City;
 - Each of the 12 units consist of building materials commonly found in historic Salt Lake City neighborhoods-specifically within Capitol Hill. These materials match the nearby historic homes by incorporating materials such as brick walls, hardi-board, and minimal amounts of stucco.
6. Protect and enhance the attraction of the city's historic landmarks and districts for tourists and visitors;
 - By filling in the current vacant lots where eVo is proposed to be built, the Capitol Hill neighborhood will be more attractive to tourists and visitors who frequent places such as: Ensign Peak, The Capitol Building, and other historic structures on Capitol Hill by appearing to be more built out and well established. This is because vacant lots deter visitors by instead providing places where crime such as trespassing, illegal dumping, and vagrance frequently occur.
7. Foster economic development consistent with historic preservation; and
 - Great attention to detail was taken when designing the eVo Townhomes. Preliminary designs were submitted for public comment and significant changes have been made to both architectural design and site plans in accordance with those comments. By listening to the public, we have therefore been able to provide a product that fits in much better with the historic nature of their nearby homes.
8. Encourage social, economic and environmental sustainability.
 - Providing more housing within the central city- specifically within well established neighborhoods- provides opportunities that previously did not exist for new- young families to move into those neighborhoods rather than further out into the suburbs. This also allows for new residents to have significantly shorter commutes thereby cutting down carbon emissions and decreasing congestion along major traffic arterials. Finally, building the twin homes keeps the construction cycle moving within Salt Lake City which will provide both blue and white color jobs, boosting the local economy.



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DESIGN GUIDELINES – HISTORIC DISTRICT

Design Approach:

The proposed project is located at 578 North and 610 North West Capitol Street currently consisting of two parcels total area of 1.42 acres and makes this a sizable infill development project given the nature of the existing structures and development pattern. The project design includes six (6) structures, incorporating twelve (12) individual units of twin-homes, per the SR-1A zone. Each independent lot exceeds the minimum lot area with no exception. The topography of the site is addressed by nestling the building massing into the existing grade and stepping the structures with the slopes. Adjacencies to existing structures, especially historical structures have been considered to allow the greatest feasible setbacks. Architectural styles vary to ensure the project does not contain a monotonous theme or use of building massing.

Site Design:

Street & Block Patterns

1. Minimize driveways through shared motor courts and shared driveways
2. Lots are now long and slender, matching historical context
3. Sidewalks and pedestrian access to front doors from ROW
4. Reducing the overall lots accessible to West Capitol Street minimizes traffic impacts on that narrow, one-way road.
5. Breaking down the larger parcel into lots of varying sizes matches more closely the lot size and orientation of the district.

Building Placement And Orientation

1. Buildings are now oriented to the street, but stagger between reduced setback distances and recessed distances providing variety and variation to the street frontage, while maintaining the block's overall character of porchs, walkways and narrow driveways.
2. Placement of structures, though staggered to break up massing, are situated to address the street.
3. Staggered building footprints in key areas to preserve sunlight to neighbors or minimize lockin view corridors.

Building Scale Guidelines:

Mass & Scale

1. Staggered units break up perceived scale and massing
2. Heights from Rights of Way are designed to conform with overall street presentation of structures.
3. Varying roof forms provide variety to buildings as well as minimize heights with the varying slopes.



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Height

1. Except as identified in the special exceptions, care has been taken to minimize overall height impacts, given the grade changes across the property.
2. Wall heights have been stepped to account for grade and minimize wall heights
3. Where exceptions for heights are requested, they are located within the back of the unit, not directly visible from the public way, or are in an area the grade would otherwise impede further mitigation.

Width

1. Steps and recesses have been added to minimize the overall appearance of the building widths, especially when viewed from the public way.
2. Sidewalls have also received further detailing to minimize the appearance of blank walls or long areas devoid of detailing.

Solid to Void Ratio

1. Window Detailing, including size and mullions to break up the plane, have been incorporated into the overall design.
2. Solid walls have been detailed to break up the plane.

Building Form Guidelines:

Form & Visual Emphasis

1. Porches, narrow sidewalks and limited, narrow driveways are characteristic of this area, and the neighboring structures.
2. Rooflines include pitched, flat and hip, all elements seen within the district.
3. Rooflines are used adjacent to existing structures to complement forms, and in some cases are used to minimize impact on view/access to sunlight, to or from adjacent structures.

Proportion & Façade Elements

1. Porch and fenestration in building facades provide visual context to the front of the structure as well as highlight entries.
2. Window selection provides recessed window and sill details.

Rhythm & Spacing Windows & Doors

1. Where visible from the public way, garages have been split to break the massing of the entry and provide a façade in context with the rhythm of adjacent structures.
2. Window lines match the context of the neighborhood from the public way and break up, but not detract from the naturally recurring themes of the district.



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Building Materials & Details:

Materials

1. Exterior materials of Stucco, Allura Cementitious Panel, brick
2. Railings are powder coated metal or, stainless with glass

Windows

1. Anderson 100 Series, windows to provide reveal.

Architectural Elements & Details

2. Translucent garage doors to break up solid elements.
3. Pedestrian walkways to delineate pathways to front doors
4. Site lighting (i.e. bollards) to provide visual queues to pathways.



Real Estate
Advisory Services

Entitlement
Preconstruction

Acquisitions &
Development

Owner's Rep

Financial
Modeling

Ownership

SPECIAL EXCEPTIONS TABLE

[ATTACHED]

Evo Twinhomes - Special Exception Table

1/17/19

Lot #1 Special Exception			
Item	Required	Proposed	Exception
Front Setback	20'-0"	47'-1"	
Sideyard Setback	10'-0"	9'-2"	-8"
Interior Sideyard Setback	0'-0"	0'-0"	
Building Height	23'-0"	23'-0"	
Wall Height			
East Elevation (Rear)	16'-0"	< 16'-0"	
West Elevation (Front)	16'-0"	< 16'-0"	
South Elevation (Side)	16'-0"	19'-0"	+3'-0"
North Elevation (Side)	16'-0"	19'-0"	+3'-0"

Lot #7 Special Exception			
Item	Required	Proposed	Exception
Front Setback	20'-0"	6'-0"	-14'-0"
Sideyard Setback	10'-0"	5'-0"	-5'-0"
Interior Sideyard Setback	0'-0"	0'-0"	
Building Height	23'-0"	23'-0"	
Wall Height			
East Elevation (Front)	16'-0"	< 16'-0"	
West Elevation (Rear)	16'-0"	< 16'-0"	
South Elevation (Side)	16'-0"	< 16'-0"	
North Elevation (Side)	16'-0"	19'-0"	+3'-0"

Lot #2 Special Exception			
Item	Required	Proposed	Exception
Front Setback	20'-0"	23'-7"	
Sideyard Setback	10'-0"	22'-10"	
Interior Sideyard Setback	0'-0"	0'-0"	
Building Height	23'-0"	24'-5"	+1'-5"
Wall Height			
East Elevation (Rear)	16'-0"	19'-0"	+3'-0"
West Elevation (Front)	16'-0"	< 16'-0"	
South Elevation (Side)	16'-0"	19'-0"	+3'-0"
North Elevation (Side)	16'-0"	< 16'-0"	

Lot #8 Special Exception			
Item	Required	Proposed	Exception
Front Setback	20'-0"	28'-6"	
Sideyard Setback	10'-0"	5'-0"	-5'-0"
Interior Sideyard Setback	0'-0"	0'-0"	
Building Height	23'-0"	25'-0"	+2'-0"
Wall Height			
East Elevation (Front)	16'-0"	< 16'-0"	
West Elevation (Rear)	16'-0"	< 16'-0"	
South Elevation (Side)	16'-0"	19'-0"	+3'-0"
North Elevation (Side)	16'-0"	19'-0"	+3'-0"

Lot #3 Special Exception			
Item	Required	Proposed	Exception
Front Setback	20'-0"	5'-6"	-14'-6"
Sideyard Setback	10'-0"	14'-1"	
Interior Sideyard Setback	0'-0"	0'-0"	
Building Height	23'-0"	26'-10"	+3'-10"
Wall Height			
East Elevation (Front)	16'-0"	< 16'-0"	
West Elevation (Rear)	16'-0"	< 16'-0"	
South Elevation (Side)	16'-0"	< 16'-0"	
North Elevation (Side)	16'-0"	24'-0"	+8'-0"

Lot #9 Special Exception			
Item	Required	Proposed	Exception
Front Setback	20'-0"	28'-6"	
Sideyard Setback	10'-0"	5'-0"	-5'-0"
Interior Sideyard Setback	0'-0"	0'-0"	
Building Height	23'-0"	24'-0"	+1'-0"
Wall Height			
East Elevation (Front)	16'-0"	< 16'-0"	
West Elevation (Rear)	16'-0"	< 16'-0"	
South Elevation (Side)	16'-0"	< 16'-0"	
North Elevation (Side)	16'-0"	19'-0"	+3'-0"

Lot #4 Special Exception			
Item	Required	Proposed	Exception
Front Setback	20'-0"	27'-11"	
Sideyard Setback	10'-0"	5'-0"	-5'-0"
Interior Sideyard Setback	0'-0"	0'-0"	
Building Height	23'-0"	29'-0"	+6'-0"
Wall Height			
East Elevation (Front)	16'-0"	< 16'-0"	
West Elevation (Rear)	16'-0"	< 16'-0"	
South Elevation (Side)	16'-0"	20'-9"	+4'-9"
North Elevation (Side)	16'-0"	20'-3"	+4'-3"

Lot #10 Special Exception			
Item	Required	Proposed	Exception
Front Setback	20'-0"	6'-3"	-13'-9"
Sideyard Setback	10'-0"	5'-0"	-5'-0"
Interior Sideyard Setback	0'-0"	0'-0"	
Building Height	23'-0"	23'-0"	
Wall Height			
East Elevation (Front)	16'-0"	< 16'-0"	
West Elevation (Rear)	16'-0"	< 16'-0"	
South Elevation (Side)	16'-0"	19'-0"	+3'-0"
North Elevation (Side)	16'-0"	< 16'-0"	

Lot #5 Special Exception			
Item	Required	Proposed	Exception
Front Setback	20'-0"	28'-2"	
Sideyard Setback	10'-0"	5'-0"	-5'-0"
Interior Sideyard Setback	0'-0"	0'-0"	
Building Height	23'-0"	24'-6"	+1'-6"
Wall Height			
East Elevation (Front)	16'-0"	< 16'-0"	
West Elevation (Rear)	16'-0"	< 16'-0"	
South Elevation (Side)	16'-0"	20'-3"	+4'-3"
North Elevation (Side)	16'-0"	22'-9"	+6'-9"

Lot #11 Special Exception			
Item	Required	Proposed	Exception
Front Setback	20'-0"	46'-9"	
Sideyard Setback	10'-0"	9'-1"	-0'-11"
Interior Sideyard Setback	0'-0"	0'-0"	
Building Height	23'-0"	23'-0"	
Wall Height			
East Elevation (Rear)	16'-0"	< 16'-0"	
West Elevation (Front)	16'-0"	< 16'-0"	
South Elevation (Side)	16'-0"	19'-0"	+3'-0"
North Elevation (Side)	16'-0"	16'-10"	+0'-10"

Lot #6 Special Exception			
Item	Required	Proposed	Exception
Front Setback	20'-0"	5'-10"	-14'-2"
Sideyard Setback	10'-0"	5'-0"	-5'-0"
Interior Sideyard Setback	0'-0"	0'-0"	
Building Height	23'-0"	23'-0"	
Wall Height			
East Elevation (Front)	16'-0"	< 16'-0"	
West Elevation (Rear)	16'-0"	< 16'-0"	
South Elevation (Side)	16'-0"	19'-0"	+3'-0"
North Elevation (Side)	16'-0"	< 16'-0"	

Lot #12 Special Exception			
Item	Required	Proposed	Exception
Front Setback	20'-0"	23'-9"	
Sideyard Setback	10'-0"	22'-11"	
Interior Sideyard Setback	0'-0"	0'-0"	
Building Height	23'-0"	24'-0"	+1'-0"
Wall Height			
East Elevation (Rear)	16'-0"	19'-0"	+3'-0"
West Elevation (Front)	16'-0"	< 16'-0"	
South Elevation (Side)	16'-0"	19'-0"	+3'-0"
North Elevation (Side)	16'-0"	< 16'-0"	

SHEET LIST	
Sheet Number	Sheet Name

0 C1	COVER PAGE
0 C2	LOT INFORMATION
0 C3	SITE PLAN
0 C4	STREETFRONT ELEVATION
0 C4.5	STREETFRONT ELEVATION
0 C5	SITE SECTION
0 C6	TYPICAL ELEVATION
1 & 2 A	LOT 1 & 2 SITE PLAN
1 & 2 B	LOT 1 & 2 FLOOR PLANS
1 & 2 C1	LOT 1 & 2 ELEVATIONS
1 & 2 C2	LOT 1 & 2 ELEVATIONS
1 & 2 D	LOT 1 & 2 SECTIONS
1 & 2 E	LOT 1 & 2 ISO
1 & 2 F	LOT 1 & 2 RENDERING
3 & 4 A	LOT 3 & 4 SITE PLAN
3 & 4 B	LOT 3 & 4 FLOOR PLANS
3 & 4 C1	LOT 3 & 4 ELEVATIONS
3 & 4 C2	LOT 3 & 4 ELEVATIONS
3 & 4 D	LOT 3 & 4 SECTIONS
3 & 4 E	LOT 3 & 4 ISO
3 & 4 F1	LOT 3 & 4 RENDERING
3 & 4 F2	LOT 3 & 4 RENDERING
3 & 4 F3	LOT 3 & 4 RENDERING
5 & 6 A	LOT 5 & 6 SITE PLAN
5 & 6 B	LOT 5 & 6 FLOOR PLANS
5 & 6 C1	LOT 5 & 6 ELEVATIONS
5 & 6 C2	LOT 5 & 6 ELEVATIONS
5 & 6 D	LOT 5 & 6 SECTIONS
5 & 6 E	LOT 5 & 6 ISO

SHEET LIST	
Sheet Number	Sheet Name

5 & 6 F1	LOT 5 & 6 RENDERING
5 & 6 F2	LOT 5 & 6 RENDERING
5 & 6 F3	LOT 5 & 6 RENDERING
7 & 8 A	LOT 7 & 8 SITE PLAN
7 & 8 B	LOT 7 & 8 FLOOR PLANS
7 & 8 C1	LOT 7 & 8 ELEVATIONS
7 & 8 C2	LOT 7 & 8 ELEVATIONS
7 & 8 D	LOT 7 & 8 SECTIONS
7 & 8 E	LOT 7 & 8 ISO
7 & 8 F1	LOT 7 & 8 RENDERING
7 & 8 F2	LOT 7 & 8 RENDERING
7 & 8 F3	LOT 7 & 8 RENDERING
9 & 10 A	LOT 9 & 10 SITE PLAN
9 & 10 B	LOT 9 & 10 FLOOR PLANS
9 & 10 C1	LOT 9 & 10 ELEVATIONS
9 & 10 C2	LOT 9 & 10 ELEVATIONS
9 & 10 D	LOT 9 & 10 SECTIONS
9 & 10 E	LOT 9 & 10 ISO
9 & 10 F1	LOT 9 & 10 RENDERING
9 & 10 F2	LOT 9 & 10 RENDERING
9 & 10 F3	LOT 9 & 10 RENDERING
11 & 12 A	LOT 11 & 12 SITE PLAN
11 & 12 B	LOT 11 & 12 FLOOR PLANS
11 & 12 C1	LOT 11 & 12 ELEVATIONS
11 & 12 C2	LOT 11 & 12 ELEVATIONS
11 & 12 D	LOT 11 & 12 SECTIONS
11 & 12 E	LOT 11 & 12 ISO
11 & 12 F	LOT 11 & 12 RENDERING

VICINITY MAP



RUSSELL PLATT
ARCHITECTURE

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EVO

COVER PAGE

Project number		0 C1
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale

LOT 1		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	47' - 1"
SIDEYARD NORTH	10' - 0"	9' - 2"
SIDEYARD SOUTH	0' - 0"	0' - 0"
REAR SETBACK	20' - 0"	70' - 11"
HEIGHT VARIANCE	23' - 0"	0' - 0"

LOT 2		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	23' - 7"
SIDEYARD NORTH	0' - 0"	0' - 0"
SIDEYARD SOUTH	10' - 0"	22' - 10"
REAR SETBACK	20' - 0"	95' - 1"
HEIGHT VARIANCE	23' - 0"	1' - 2"

LOT 3		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	5' - 6"
SIDEYARD NORTH	10' - 0"	14' - 1"
SIDEYARD SOUTH	0' - 0"	0' - 0"
REAR SETBACK	20' - 0"	74' - 1"
HEIGHT VARIANCE	23' - 0"	3' - 10"

LOT 4		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	27' - 11"
SIDEYARD NORTH	0' - 0"	0' - 0"
SIDEYARD SOUTH	10' - 0"	5' - 0"
REAR SETBACK	20' - 0"	51' - 10"
HEIGHT VARIANCE	23' - 0"	6' - 0"

LOT 5		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	28' - 2"
SIDEYARD NORTH	10' - 0"	5' - 0"
SIDEYARD SOUTH	0' - 0"	0' - 0"
REAR SETBACK	20' - 0"	51' - 10"
HEIGHT VARIANCE	23' - 0"	1' - 6"

LOT 6		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	5' - 10"
SIDEYARD NORTH	0' - 0"	0' - 0"
SIDEYARD SOUTH	10' - 0"	5' - 0"
REAR SETBACK	20' - 0"	74' - 1"
HEIGHT VARIANCE	23' - 0"	0' - 0"

LOT 7		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	6' - 0"
SIDEYARD NORTH	10' - 0"	5' - 0"
SIDEYARD SOUTH	0' - 0"	5' - 0"
REAR SETBACK	20' - 0"	74' - 1"
HEIGHT VARIANCE	23' - 0"	0' - 0"

LOT 8		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	28' - 6"
SIDEYARD NORTH	0' - 0"	0' - 0"
SIDEYARD SOUTH	10' - 0"	5' - 0"
REAR SETBACK	20' - 0"	51' - 10"
HEIGHT VARIANCE	23' - 0"	2' - 0"

LOT 9		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	28' - 6"
SIDEYARD NORTH	10' - 0"	5' - 0"
SIDEYARD SOUTH	0' - 0"	0' - 0"
REAR SETBACK	20' - 0"	51' - 10"
HEIGHT VARIANCE	23' - 0"	1' - 0"

LOT 10		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	6' - 3"
SIDEYARD NORTH	0' - 0"	0' - 0"
SIDEYARD SOUTH	10' - 0"	5' - 0"
REAR SETBACK	20' - 0"	74' - 11"
HEIGHT VARIANCE	23' - 0"	0' - 0"

LOT 11		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	46' - 9"
SIDEYARD NORTH	10' - 0"	9' - 1"
SIDEYARD SOUTH	0' - 0"	0' - 0"
REAR SETBACK	20' - 0"	33' - 10"
HEIGHT VARIANCE	23' - 0"	0' - 0"

LOT 12		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	23' - 9"
SIDEYARD NORTH	0' - 0"	0' - 0"
SIDEYARD SOUTH	10' - 0"	22' - 11"
REAR SETBACK	20' - 0"	79' - 9"
HEIGHT VARIANCE	23' - 0"	1' - 0"



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LOT INFORMATION		
Project number		0 C2
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale

LOT ELEVATION'S	
Name	Garage Floor Elevation

LOT #1	4410' - 0"
LOT #2	4410' - 0"
LOT #3	4452' - 0"
LOT #4	4452' - 0"
LOT #5	4454' - 0"
LOT #6	4454' - 0"
LOT #7	4458' - 0"
LOT #8	4458' - 0"
LOT #9	4458' - 0"
LOT #10	4458' - 0"
LOT #11	4416' - 0"
LOT #12	4416' - 0"



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SITE PLAN	
Project number	
Date	1-22-19
Drawn by	
Checked by	
0 C3	
Scale 1" = 40'-0"	

DARWIN STREET



WEST CAPITOL STREET (EAST SIDE OF THE STREET)



WEST CAPITOL (WEST SIDE OF THE STREET)

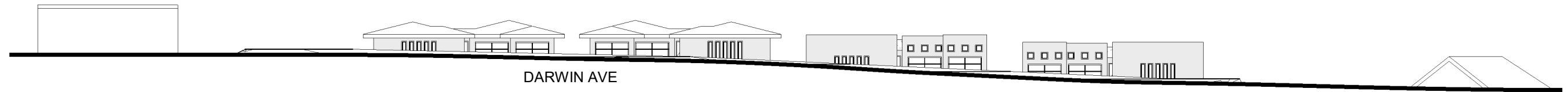


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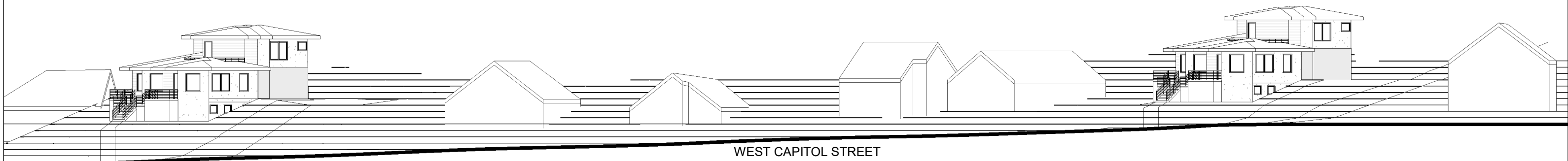
STREETFRONT ELEVATION

Project number		0 C4
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



DARWIN AVE

② DARWIN AVE ELEVATION
1" = 30'-0"



WEST CAPITOL STREET

① WEST CAPITOL STREET ELEVATION
1" = 30'-0"



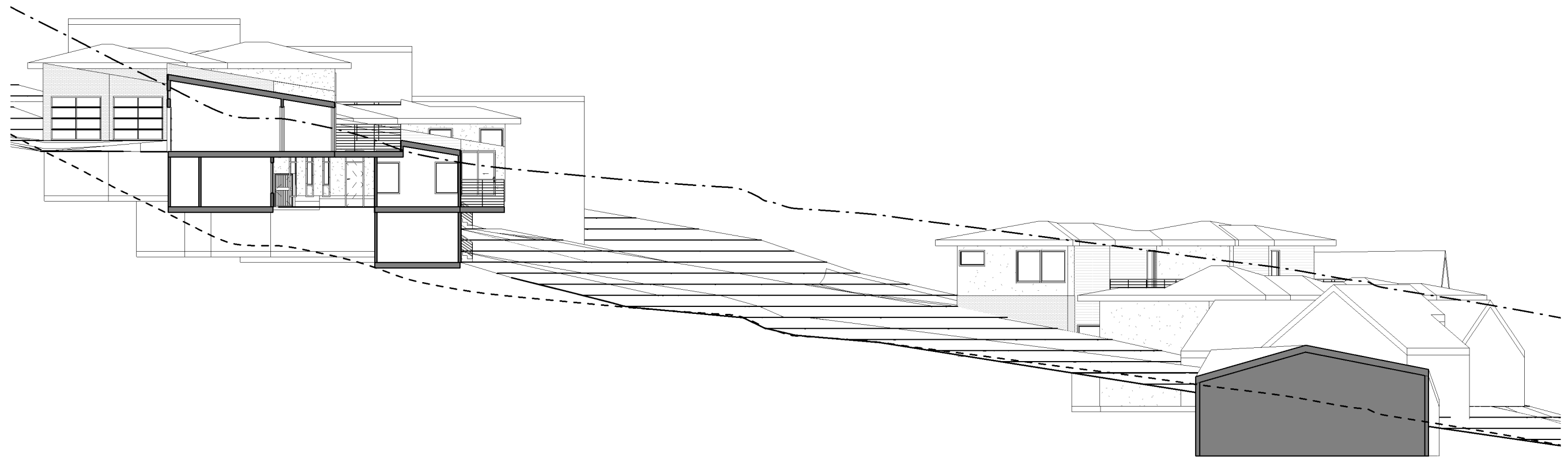
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STREETFRONT ELEVATION

Project number		0 C4.5
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
Scale		1" = 30'-0"



① SITE SECTION
1" = 20'-0"

GRADE LEGEND

- FINAL GRADE
- - - EXISTING GRADE (ESTABLISHED)
- · - · 23' OFFSET LINE

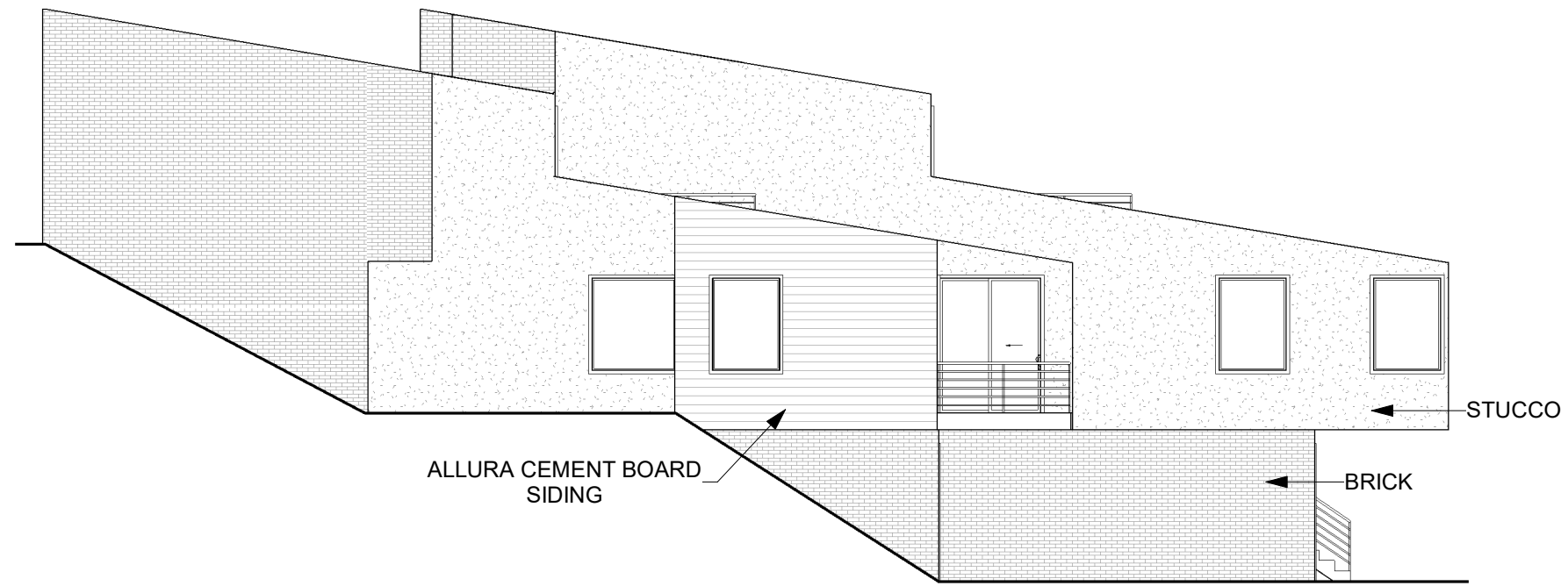


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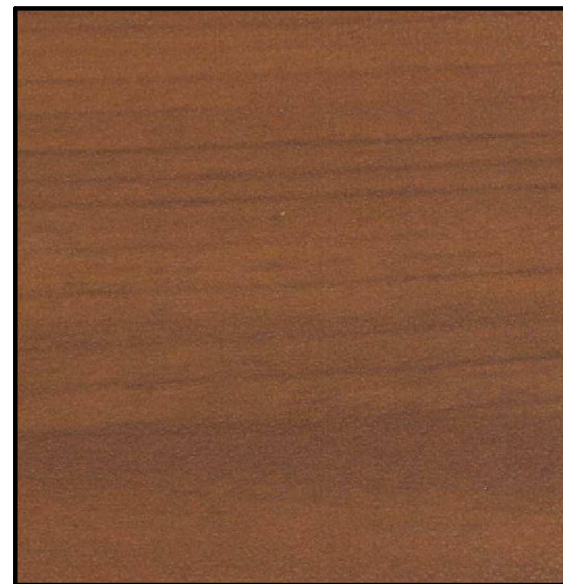
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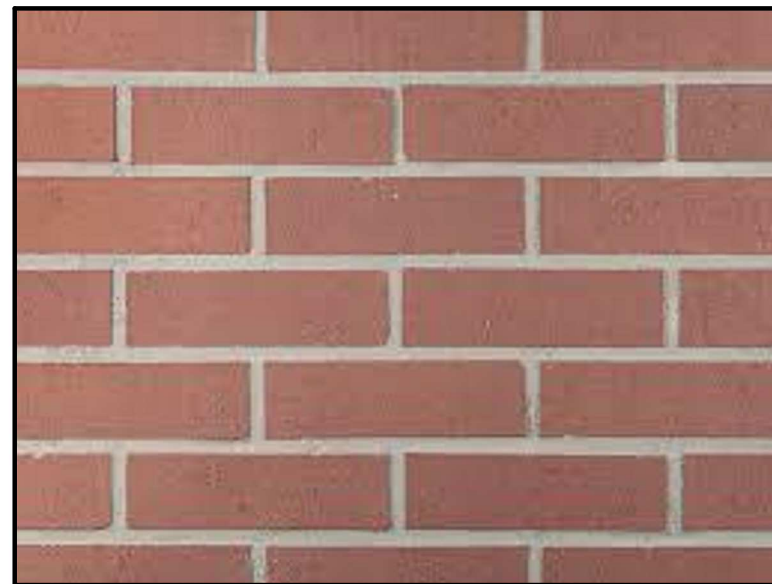
SITE SECTION		
Project number		0 C5
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



ALLURA CEMENT BOARD SIDING



BRICK



STUCCO

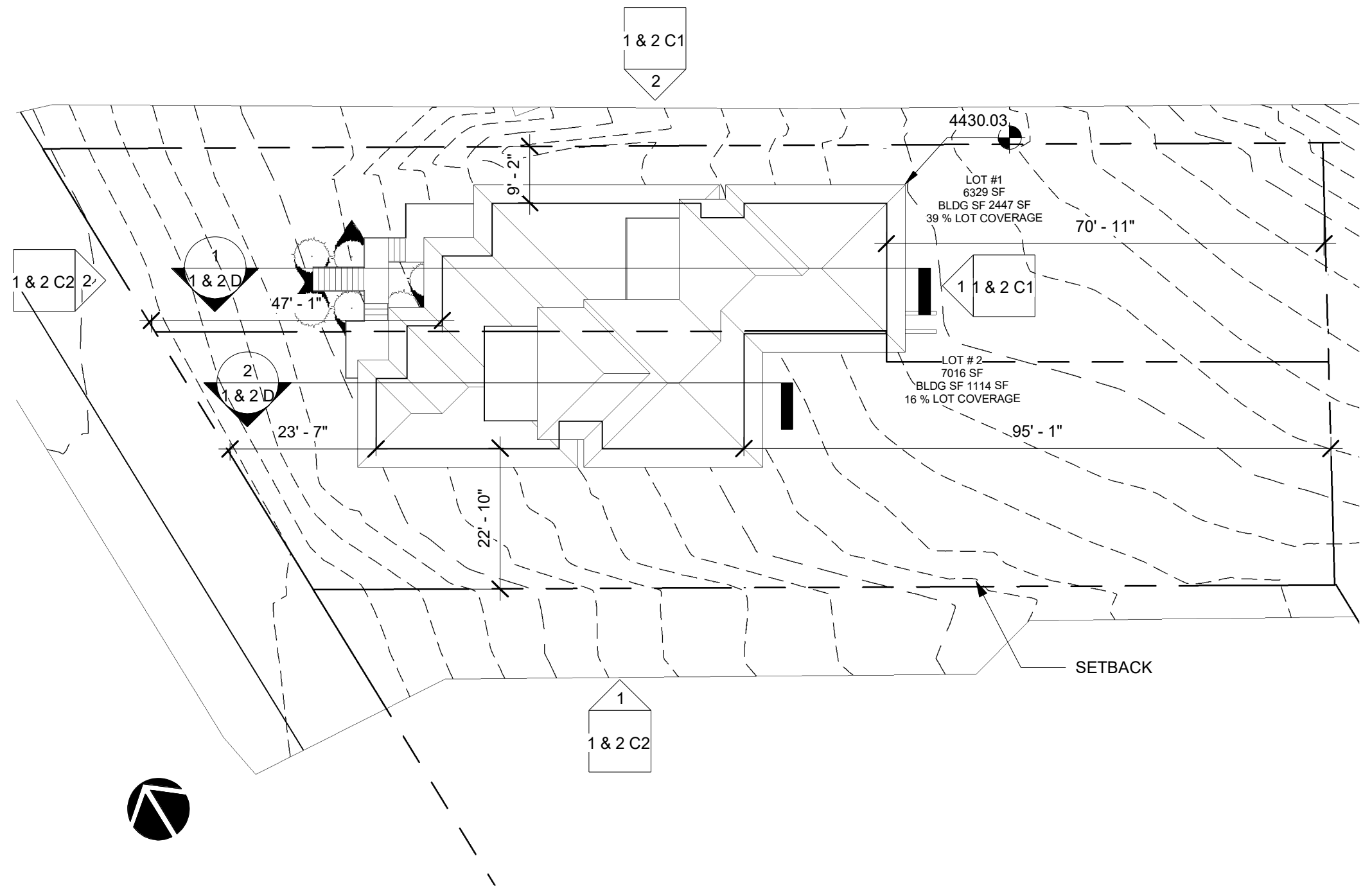


LOT 1		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	47' - 1"
SIDEYARD NORTH	10' - 0"	9' - 2"
SIDEYARD SOUTH	0' - 0"	0' - 0"
REAR SETBACK	20' - 0"	70' - 11"
HEIGHT VARIANCE	23' - 0"	0' - 0"

LOT 2		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	23' - 7"
SIDEYARD NORTH	0' - 0"	0' - 0"
SIDEYARD SOUTH	10' - 0"	22' - 10"
REAR SETBACK	20' - 0"	95' - 1"
HEIGHT VARIANCE	23' - 0"	1' - 2"



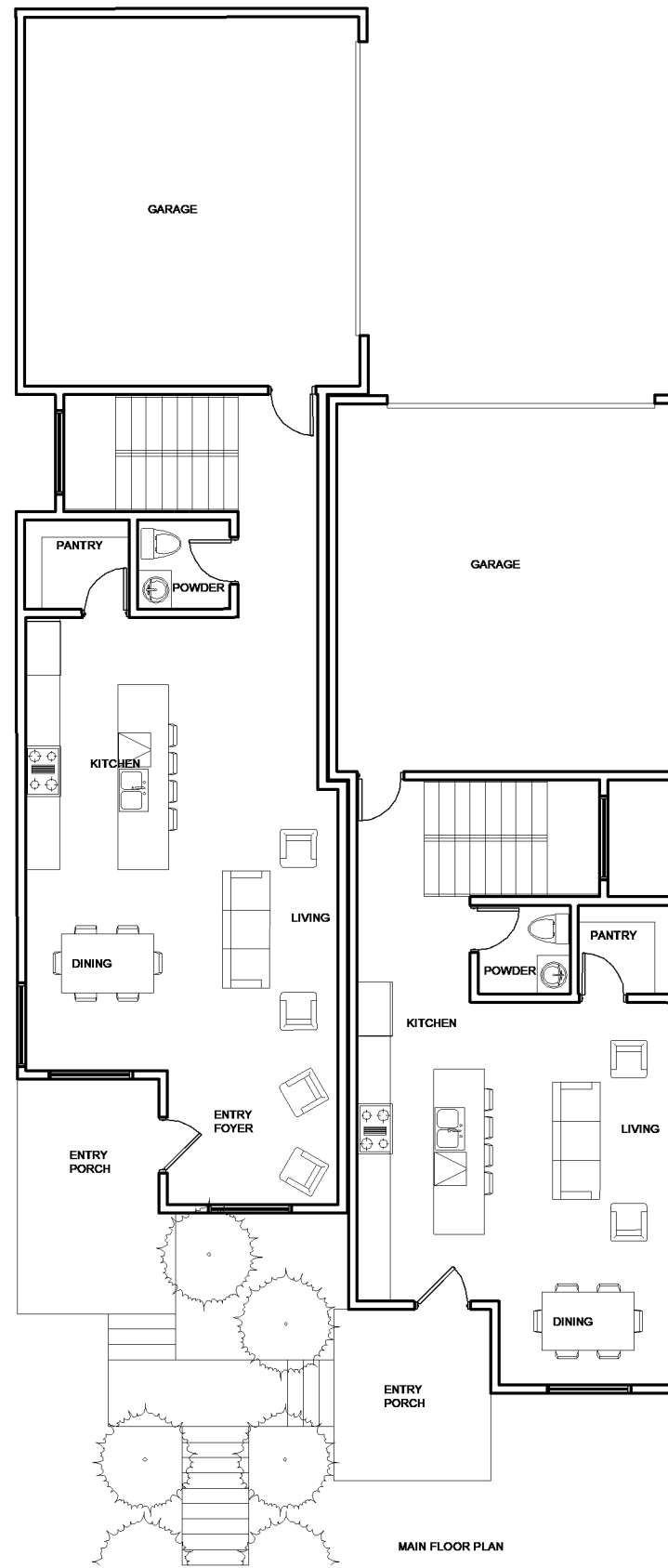
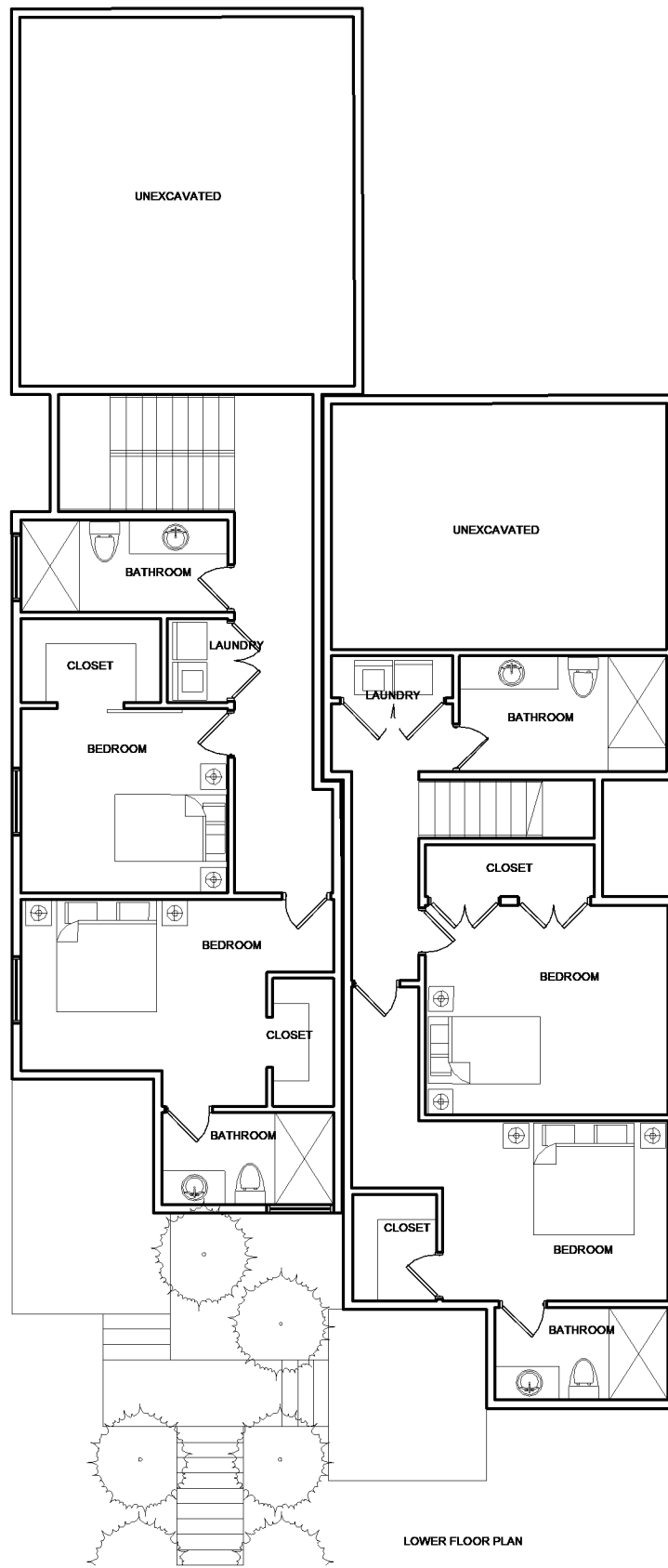
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EVO

LOT 1 & 2 SITE PLAN

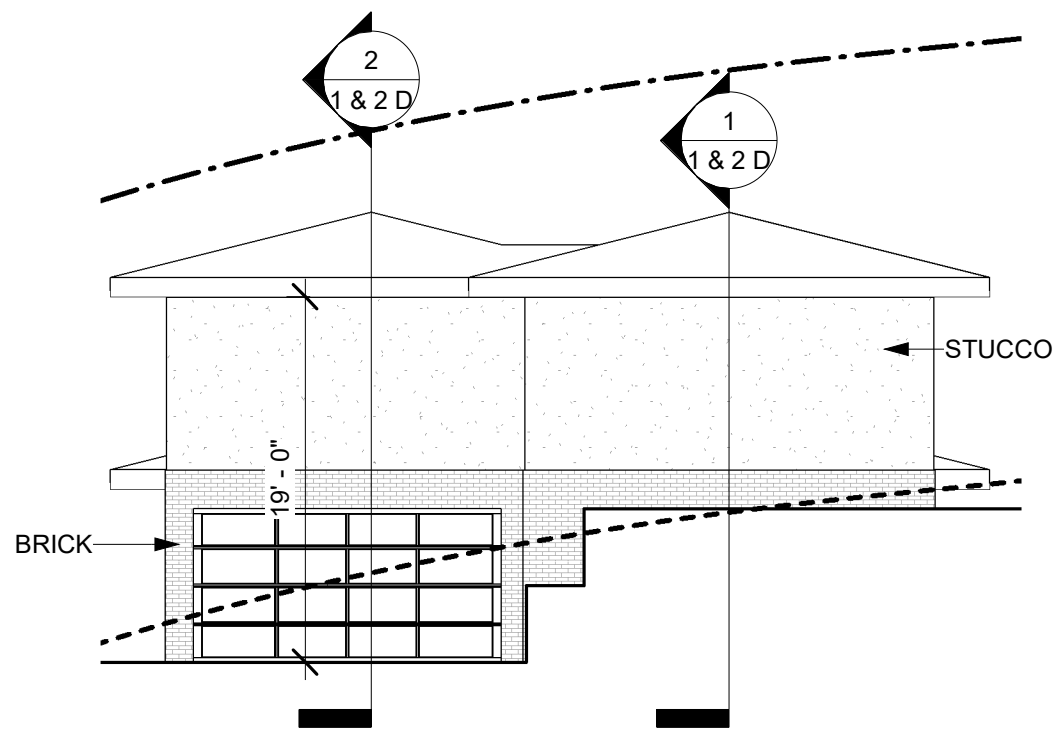
Project number		1 & 2 A
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
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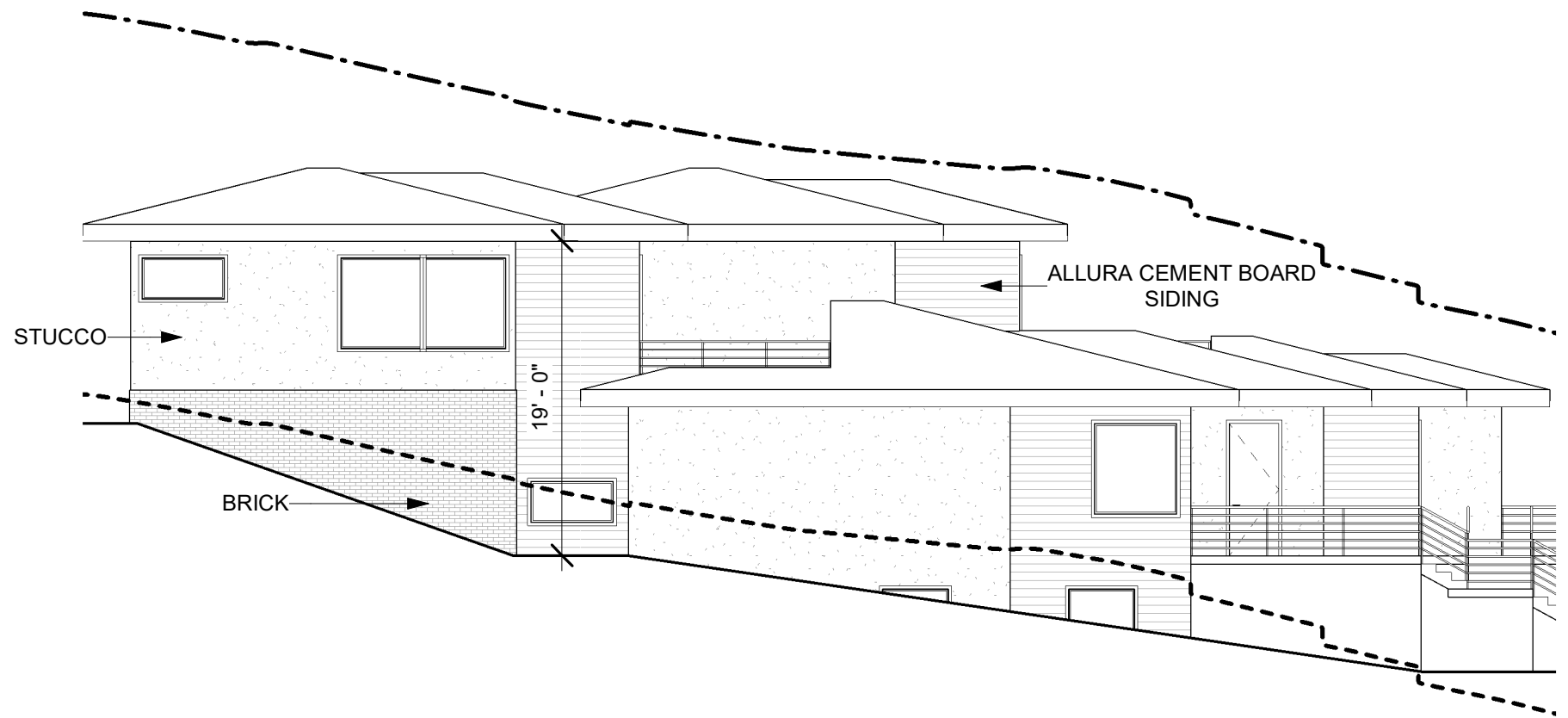
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EVO

LOT 1 & 2 FLOOR PLANS		
Project number		1 & 2 B
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale 3/32" = 1'-0"



① LOT 1 & 2 EAST ELEVATION
1" = 10'-0"



② LOT 1 & 2 NORTH ELEVATION
1" = 10'-0"

GRADE LEGEND

- FINAL GRADE
- EXISTING GRADE (ESTABLISHED)
- · - · - 23' OFFSET LINE

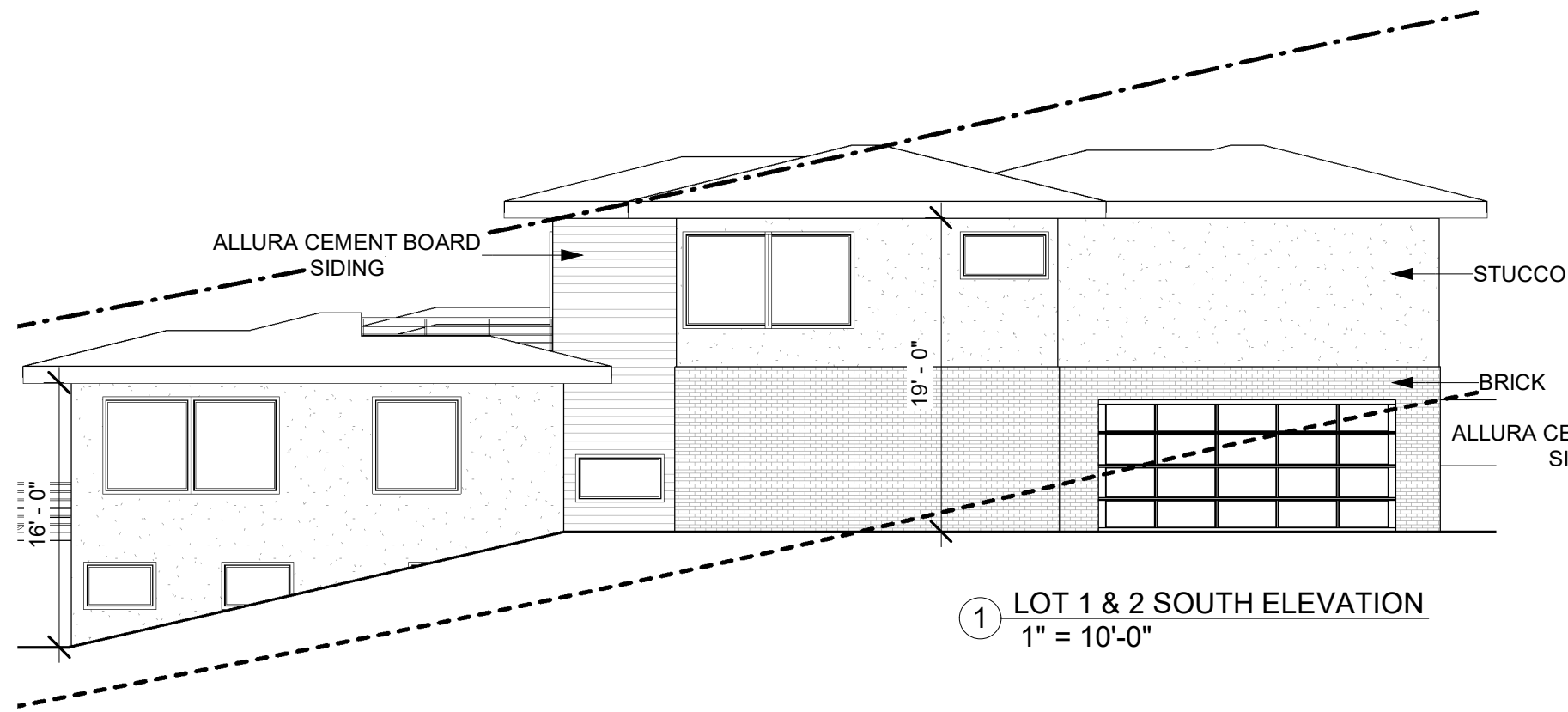


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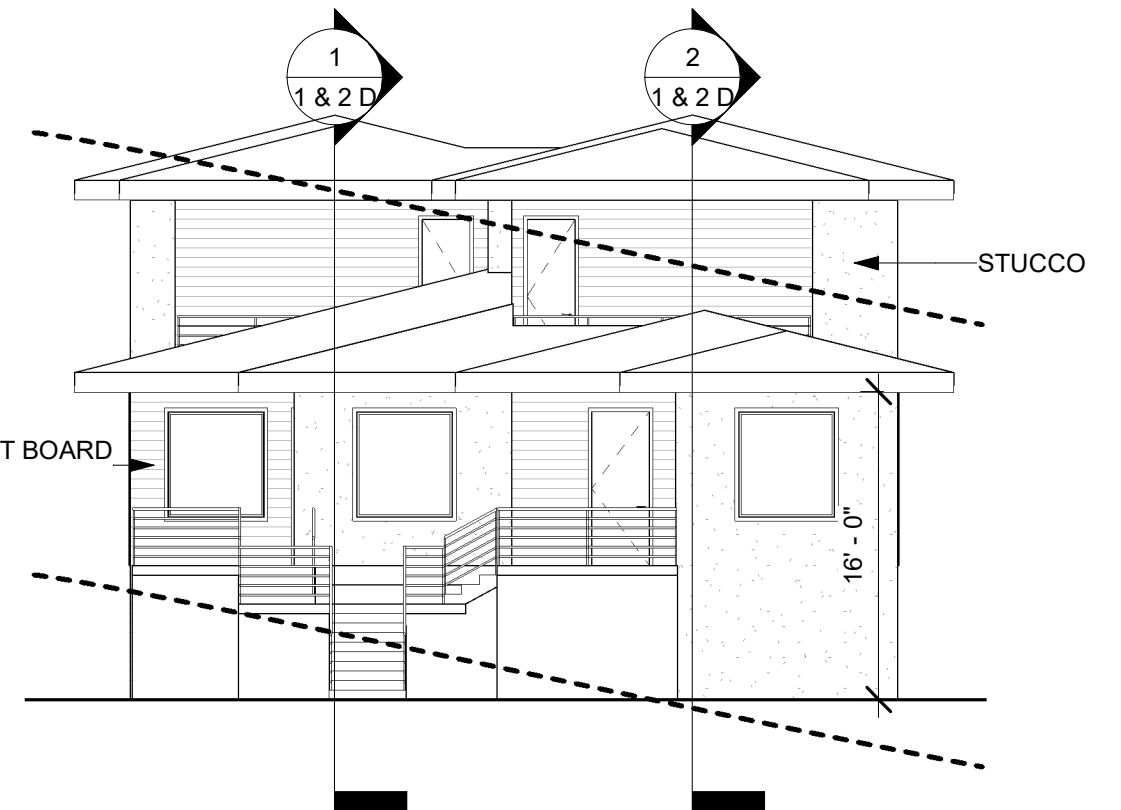
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EVO

LOT 1 & 2 ELEVATIONS		
Project number		1 & 2 C1
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



① LOT 1 & 2 SOUTH ELEVATION
1" = 10'-0"



② LOT 1 & 2 WEST ELEVATION
1" = 10'-0"

GRADE LEGEND

- FINAL GRADE
- EXISTING GRADE (ESTABLISHED)
- - - - - 23' OFFSET LINE



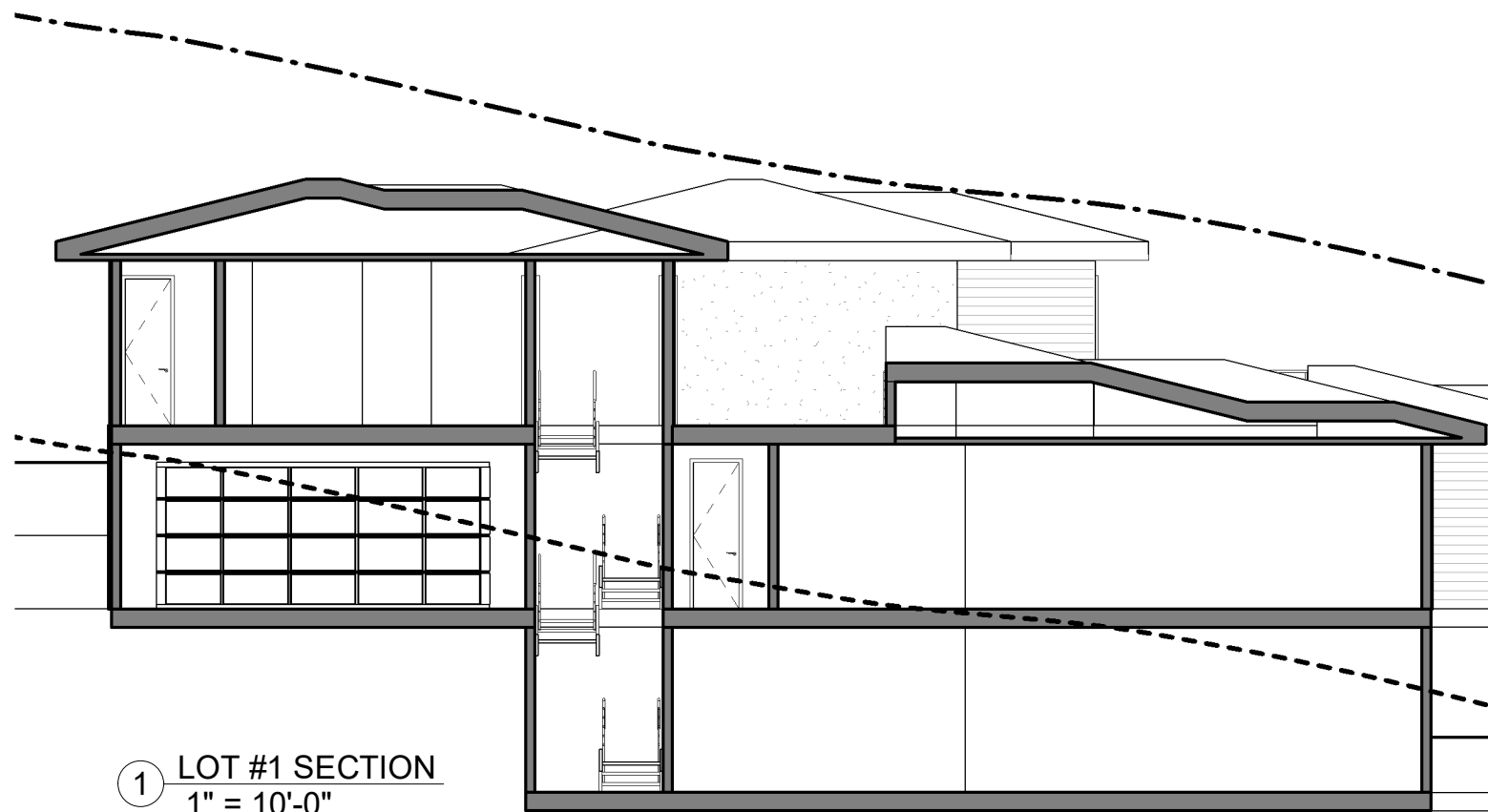
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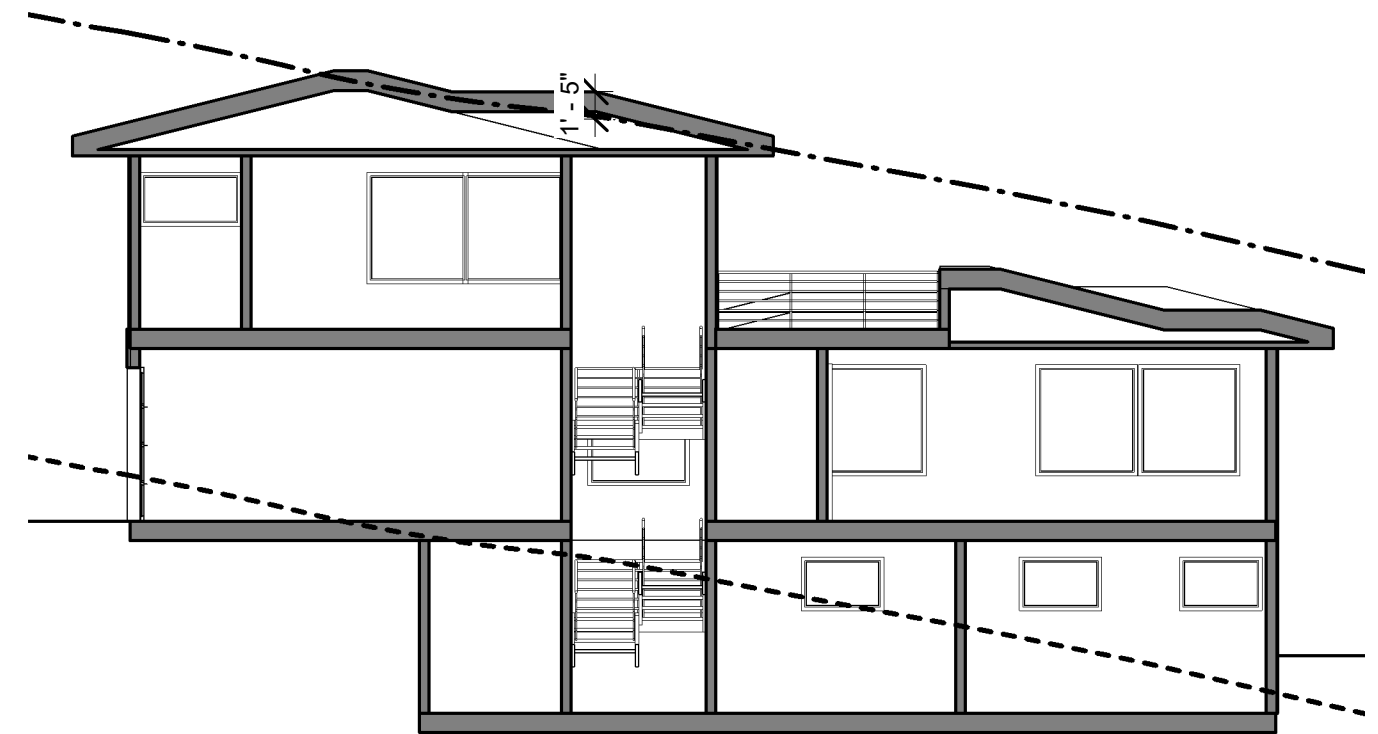
EVO

LOT 1 & 2 ELEVATIONS

Project number		1 & 2 C2
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



① LOT #1 SECTION
1" = 10'-0"



② LOT #2 SECTION
1" = 10'-0"

GRADE LEGEND

- FINAL GRADE
- EXISTING GRADE (ESTABLISHED)
- - - - 23' OFFSET LINE



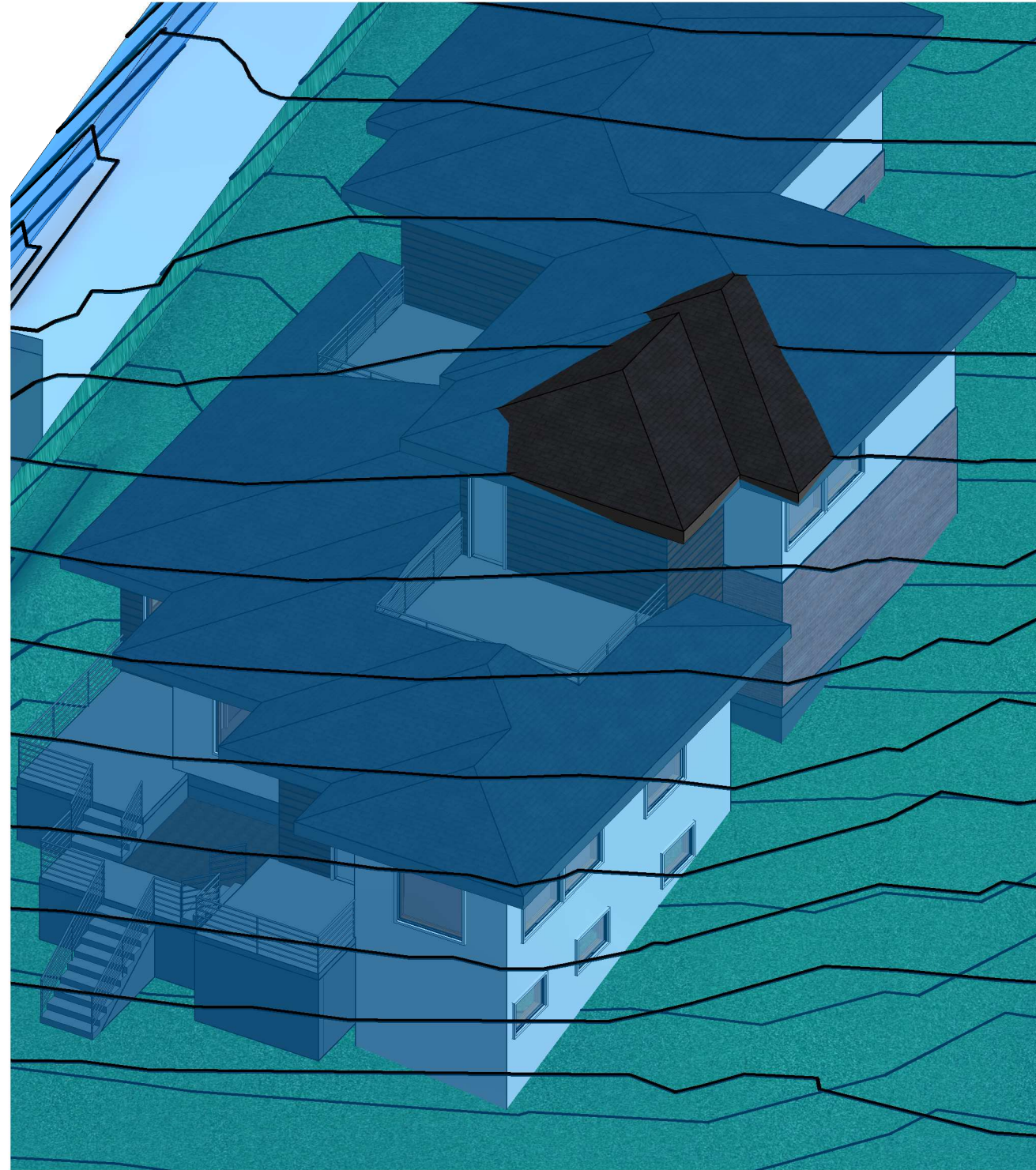
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EVO

LOT 1 & 2 SECTIONS

Project number		1 & 2 D
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



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EVO

LOT 1 & 2 ISO

Project number		1 & 2 E
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	



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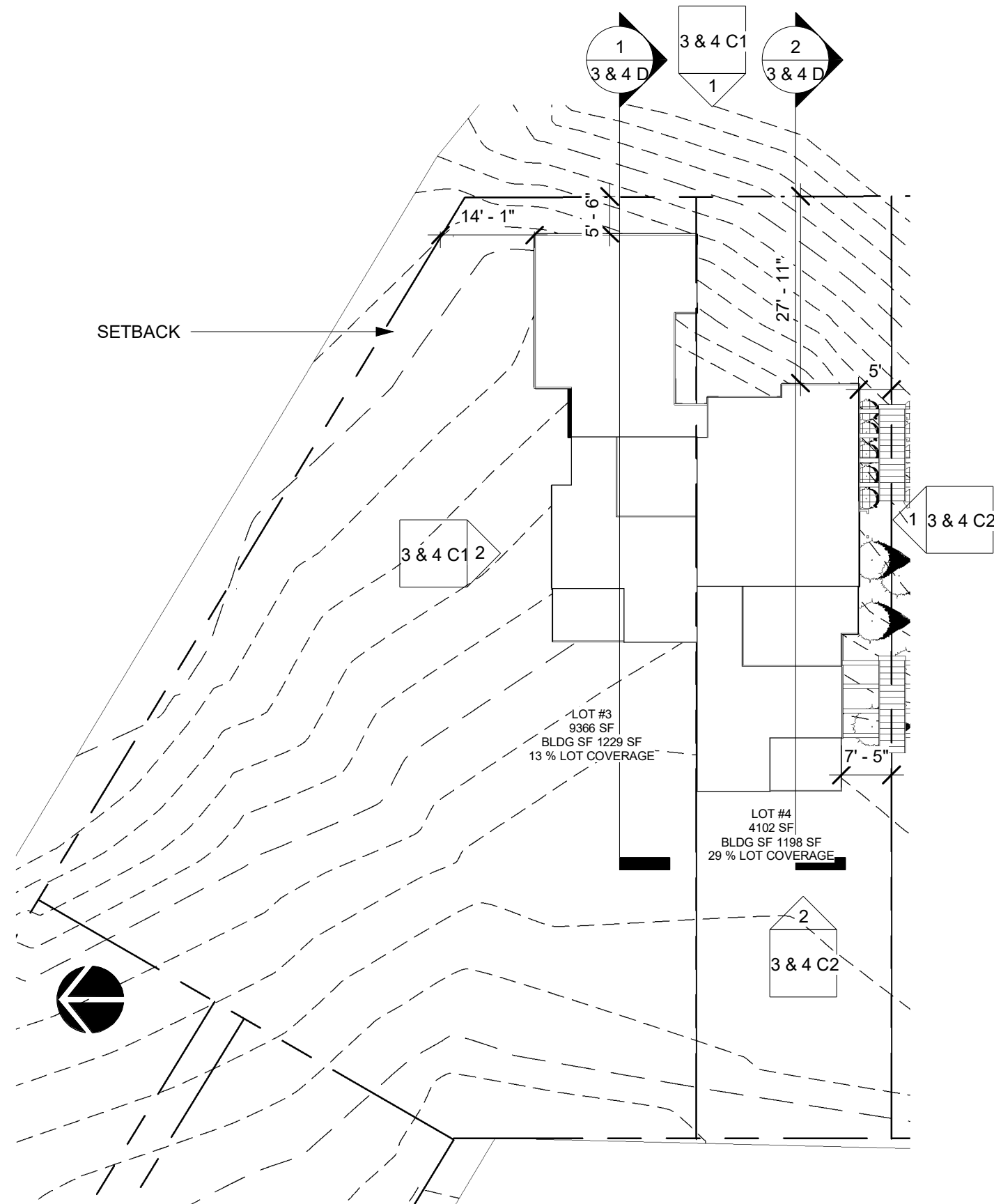
EVO

LOT 1 & 2 RENDERING

Project number		1 & 2 F
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
Scale		

LOT 3		
SETBACKS	REQUIRED	PROPOSED
FRONT SETBACK	20' - 0"	5' - 6"
SIDEYARD NORTH	10' - 0"	14' - 1"
SIDEYARD SOUTH	0' - 0"	0' - 0"
REAR SETBACK	20' - 0"	74' - 1"
HEIGHT VARIANCE	23' - 0"	3' - 10"

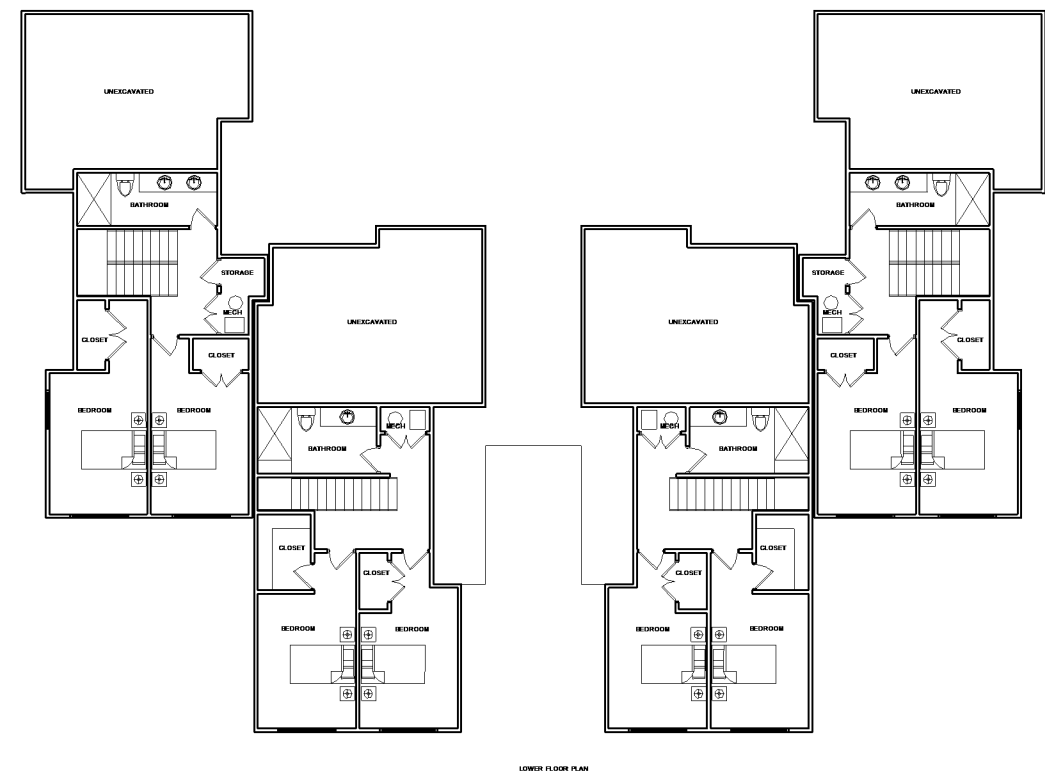
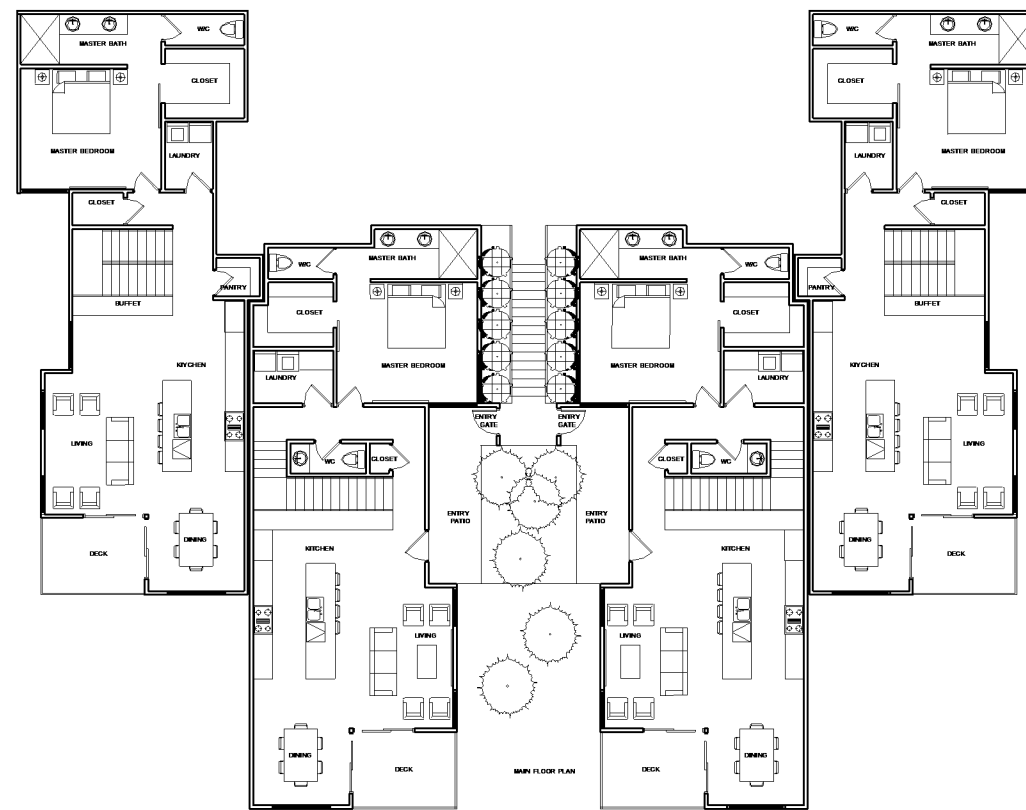
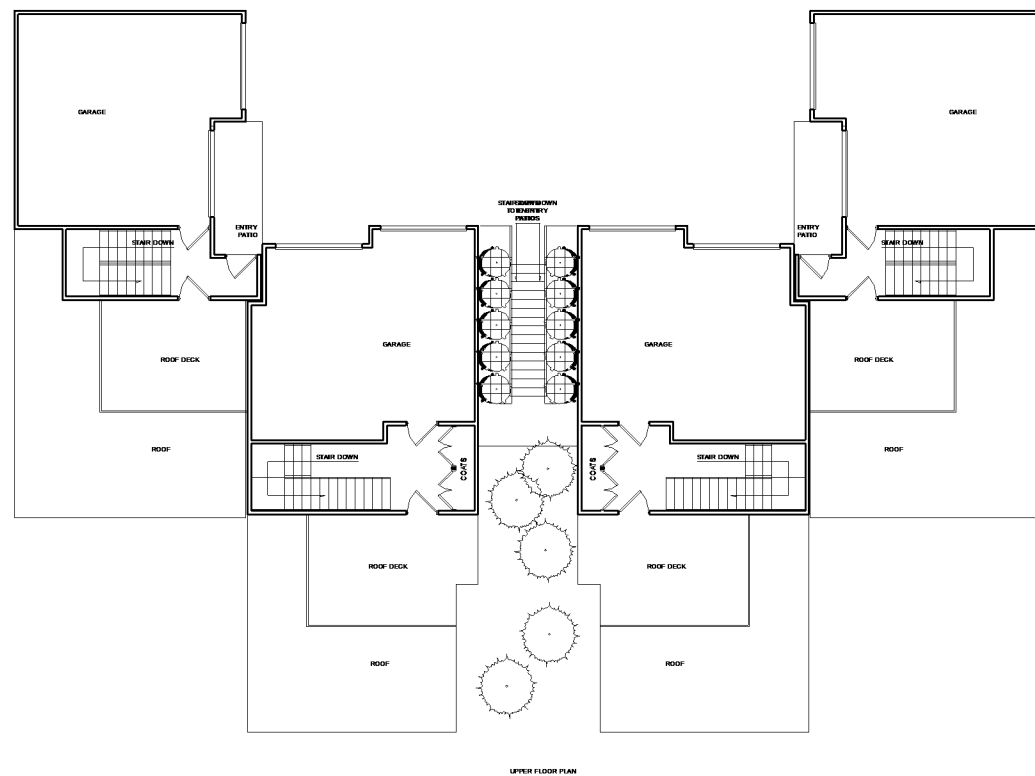
LOT 4		
SETBACKS	REQUIRED	PROPOSED
FRONT SETBACK	20' - 0"	27' - 11"
SIDEYARD NORTH	0' - 0"	0' - 0"
SIDEYARD SOUTH	10' - 0"	5' - 0"
REAR SETBACK	20' - 0"	51' - 10"
HEIGHT VARIANCE	23' - 0"	6' - 0"



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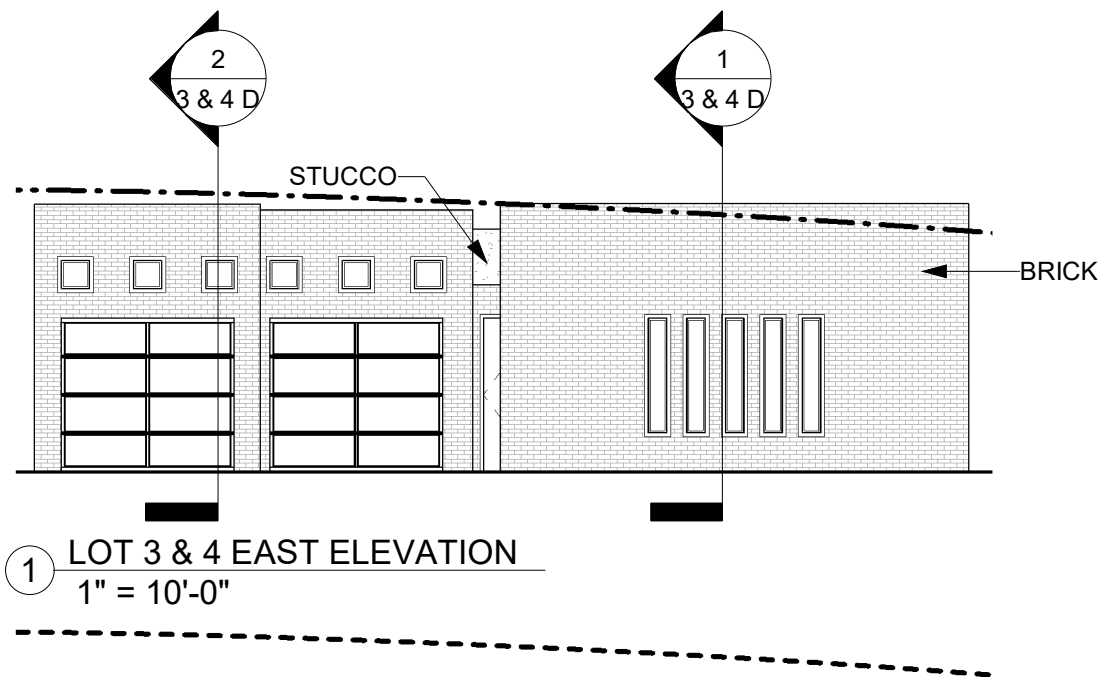
LOT 3 & 4 SITE PLAN		
Project number		3 & 4 A
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale 1" = 20'-0"



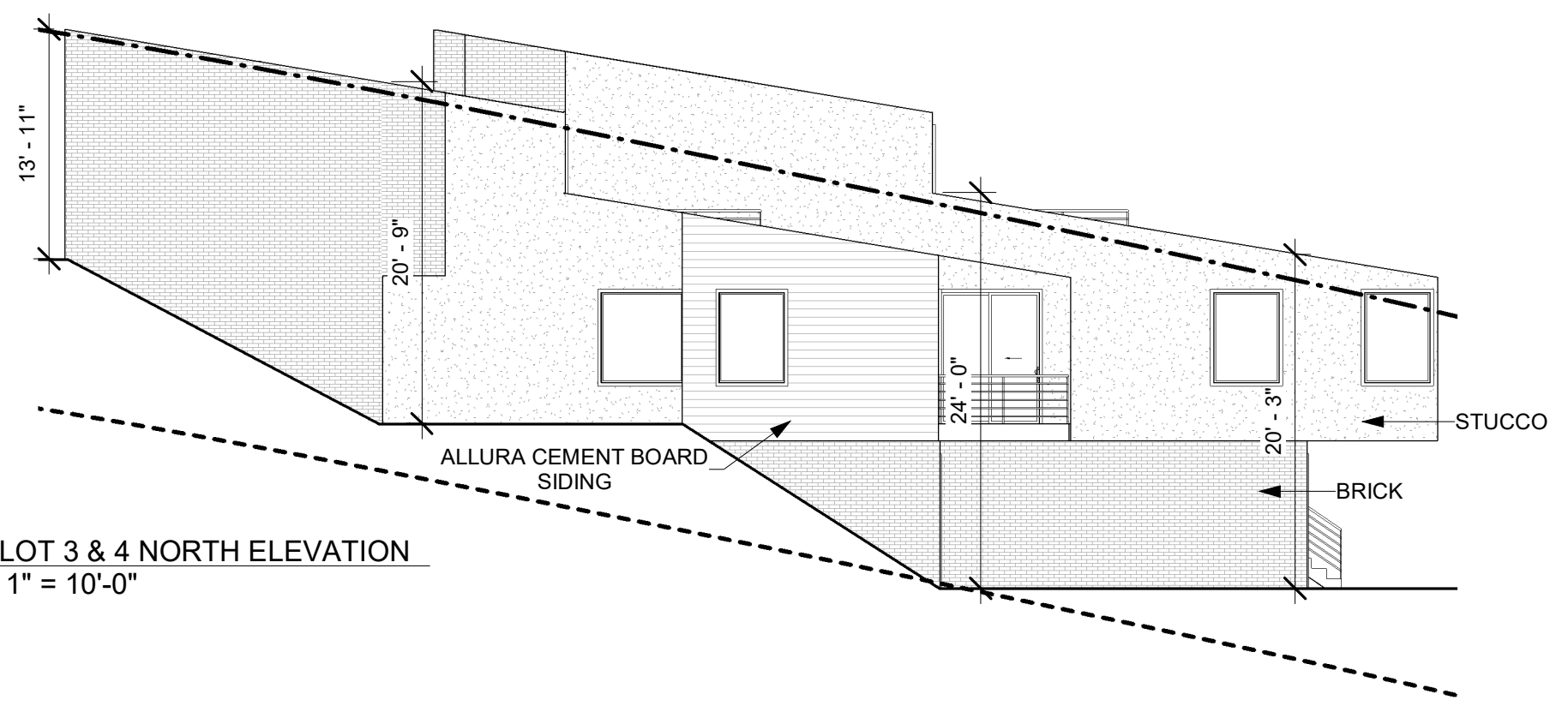
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LOT 3 & 4 FLOOR PLANS		
Project number		3 & 4 B
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale 1" = 20'-0"



① LOT 3 & 4 EAST ELEVATION
1" = 10'-0"



② LOT 3 & 4 NORTH ELEVATION
1" = 10'-0"

GRADE LEGEND

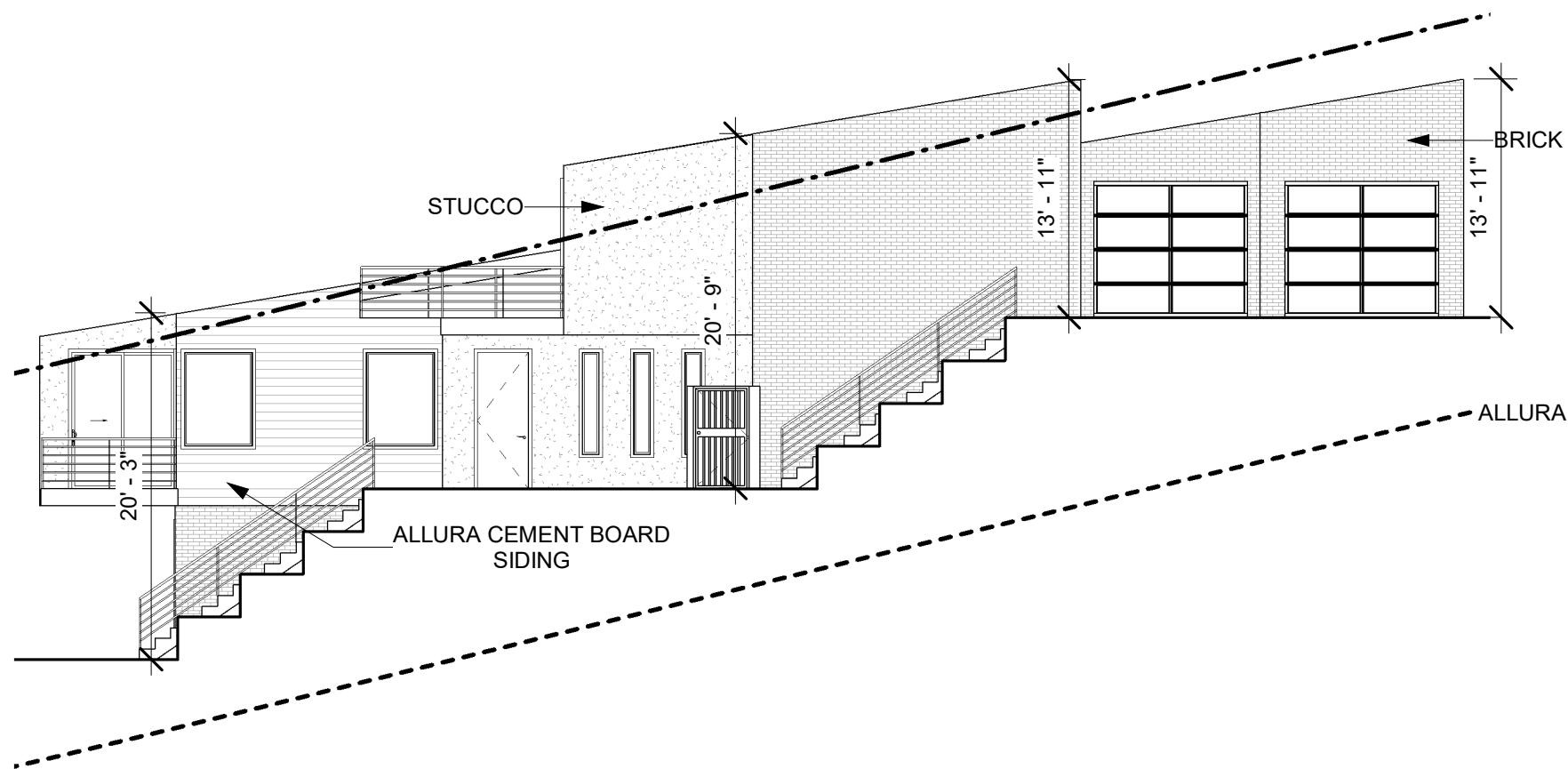
- FINAL GRADE
- EXISTING GRADE (ESTABLISHED)
- - - - - 23' OFFSET LINE



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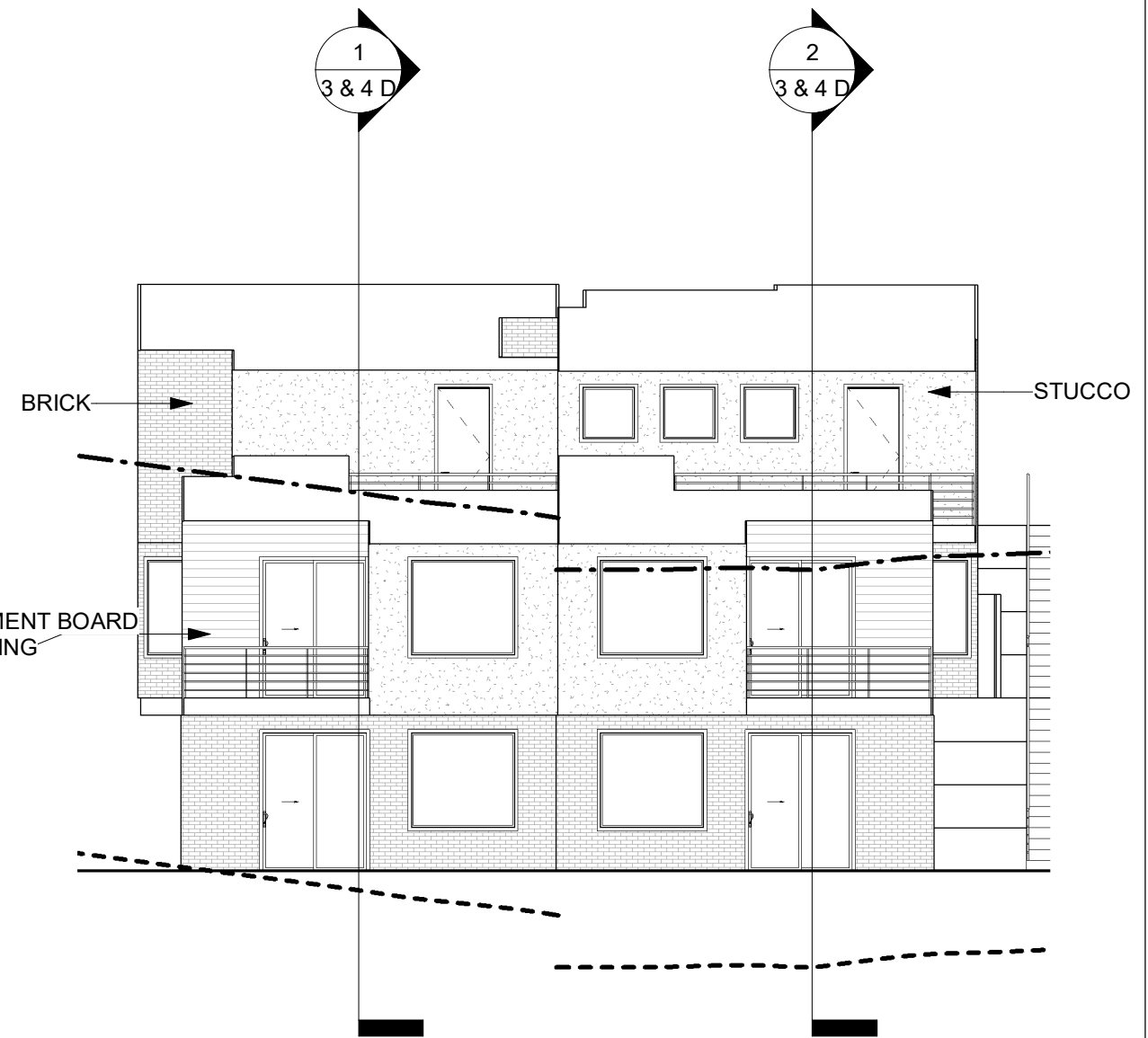
EVO

LOT 3 & 4 ELEVATIONS		
Project number		3 & 4 C1
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



① LOT 3 & 4 SOUTH ELEVATION
GRADE LEGEND

- FINAL GRADE
- - - EXISTING GRADE (ESTABLISHED)
- · - · 23' OFFSET LINE



② LOT 3 & 4 WEST ELEVATION
1" = 10'-0"



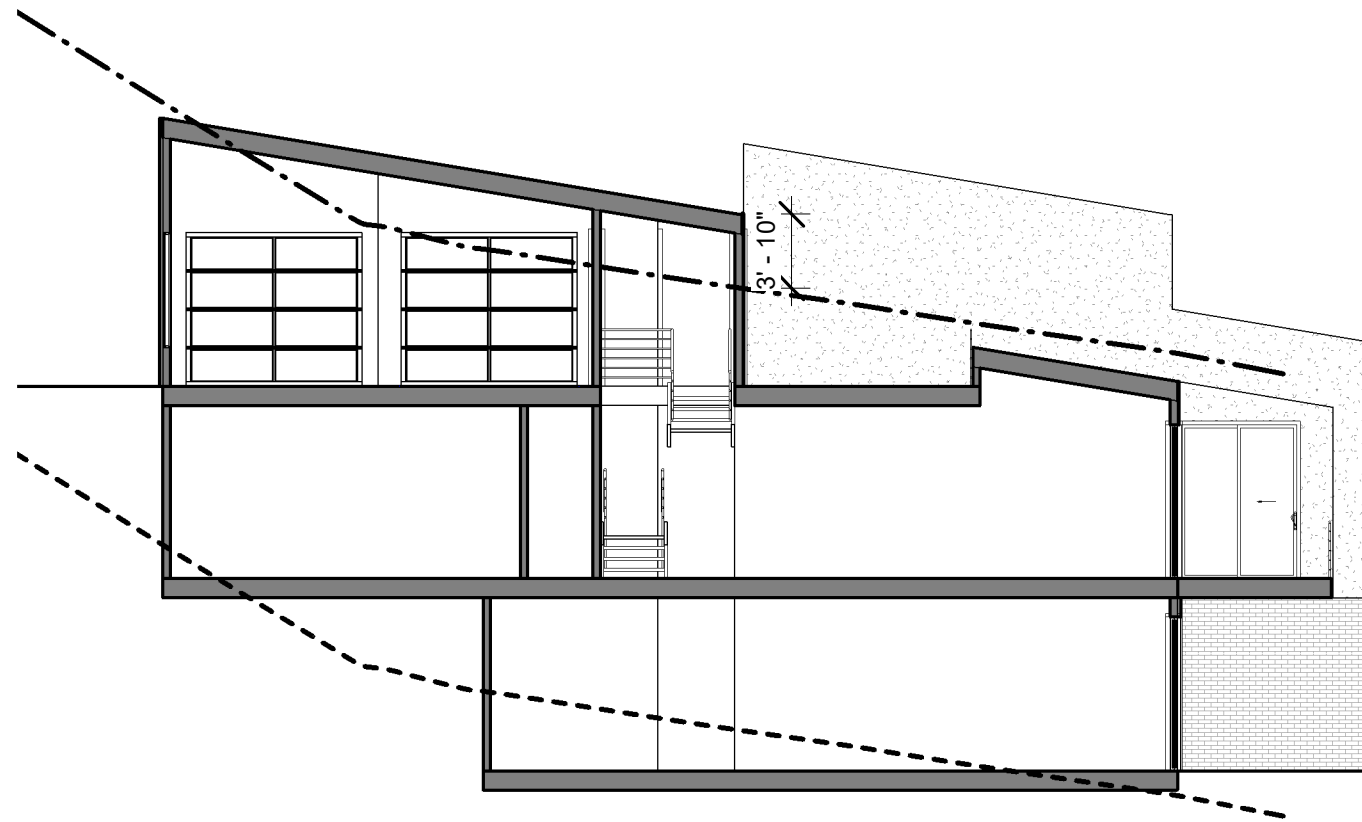
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LOT 3 & 4 ELEVATIONS

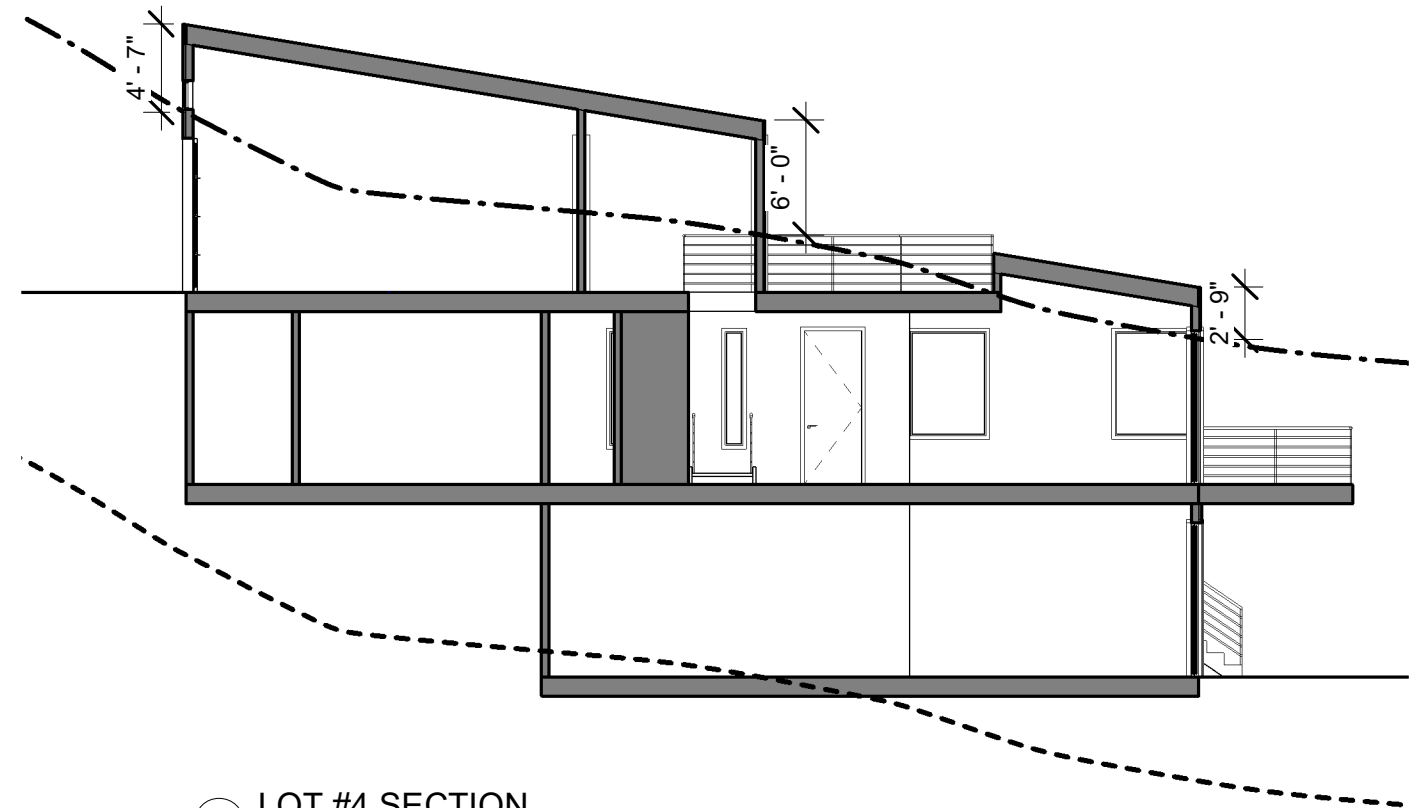
Project number		3 & 4 C2
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
Scale As indicated		



① LOT #3 SECTION
1" = 10'-0"

GRADE LEGEND

- FINAL GRADE
- EXISTING GRADE (ESTABLISHED)
- · - · - 23' OFFSET LINE



② LOT #4 SECTION
1" = 10'-0"



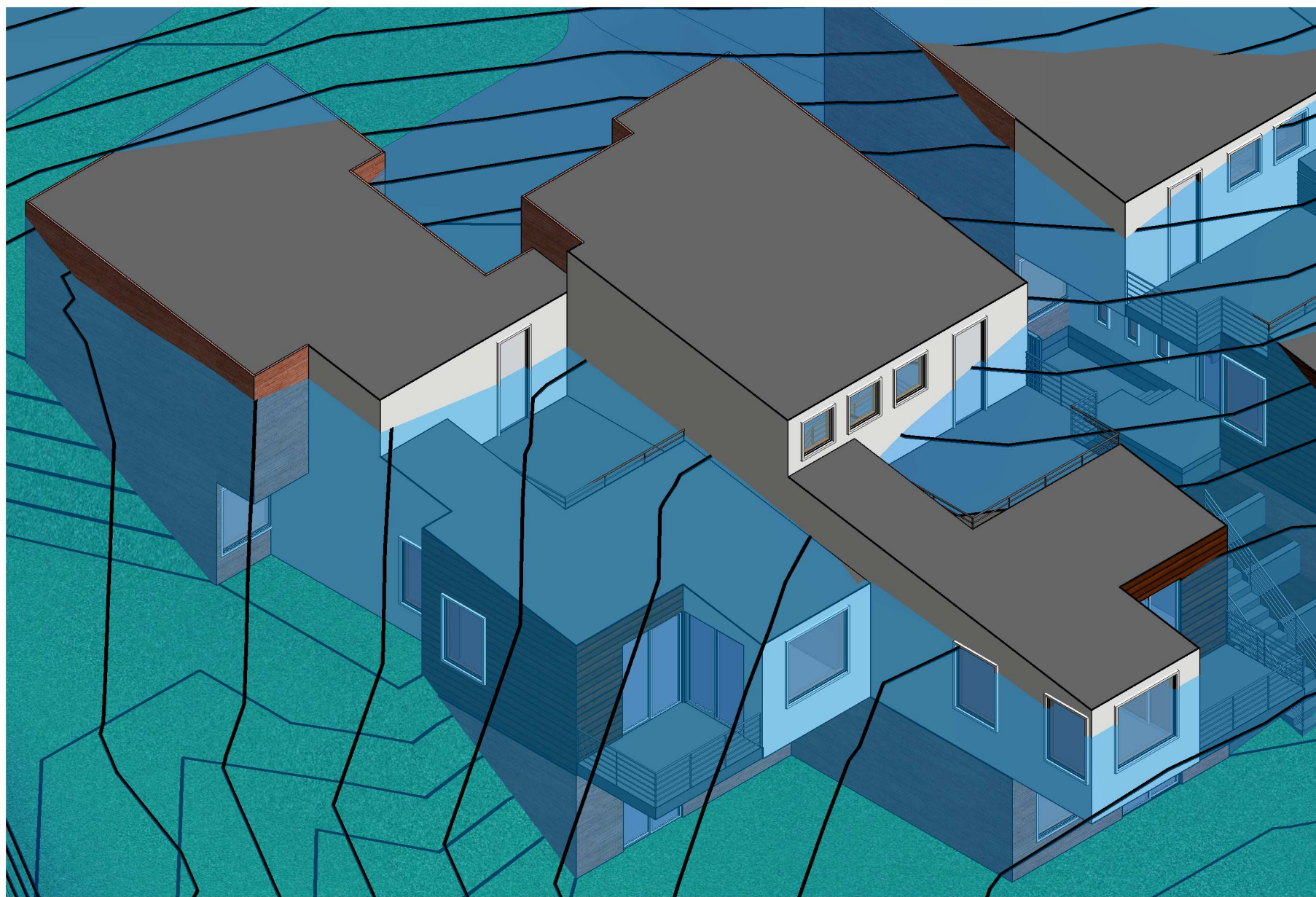
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LOT 3 & 4 SECTIONS

Project number		3 & 4 D
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



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LOT 3 & 4 ISO

Project number		3 & 4 E
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
Scale		



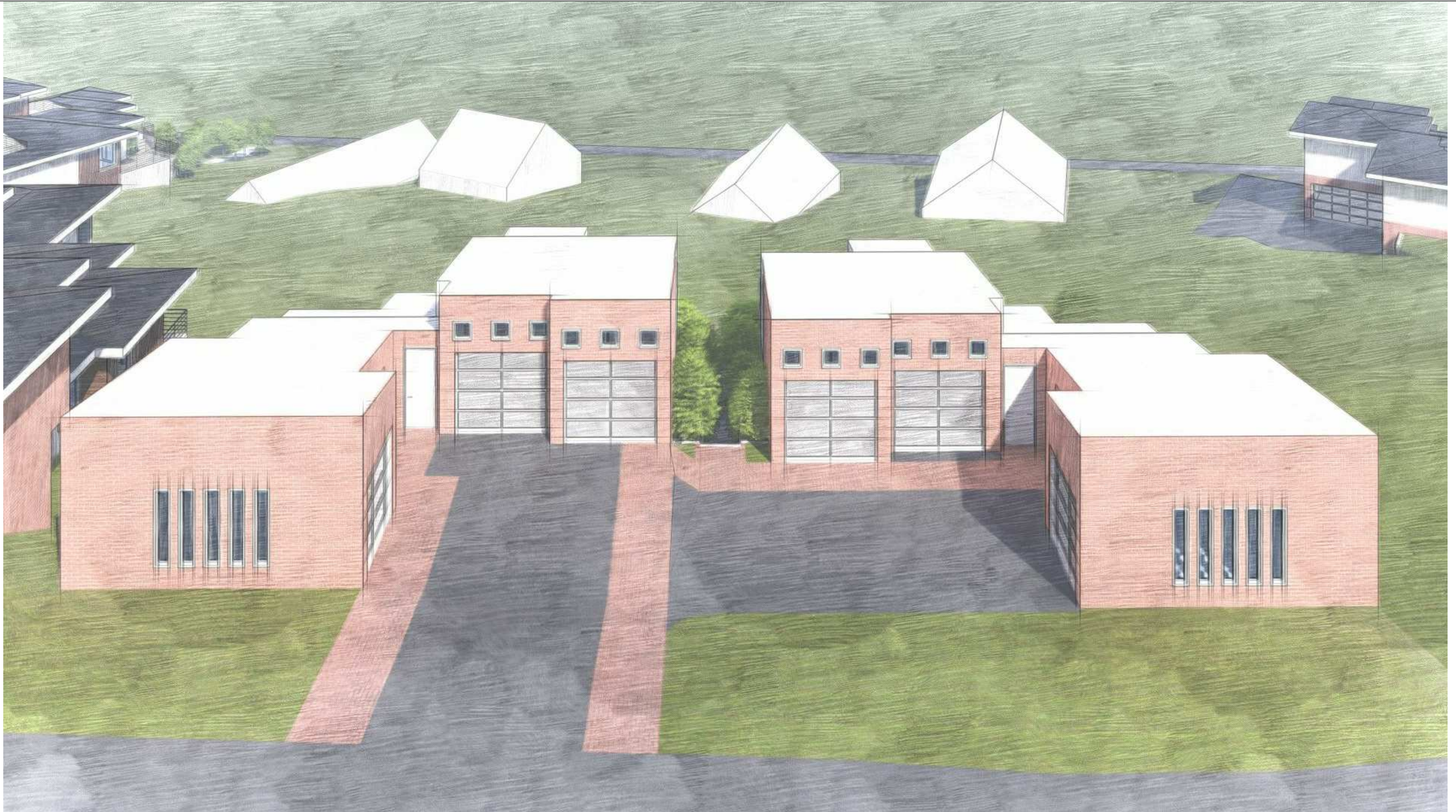
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LOT 3 & 4 RENDERING

Project number		3 & 4 F1
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	



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LOT 3 & 4 RENDERING

Project number		3 & 4 F2
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	



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LOT 3 & 4 RENDERING

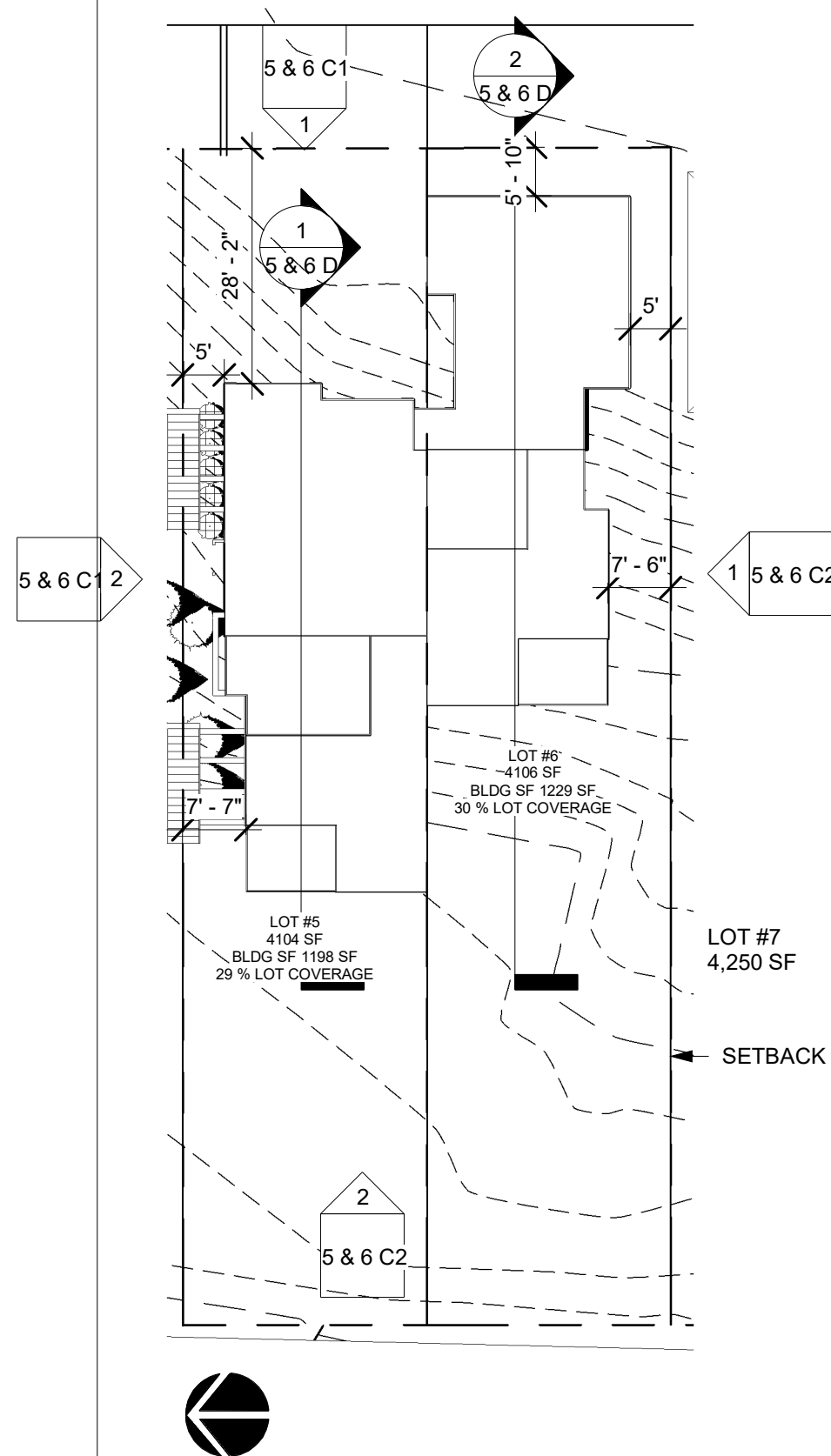
Project number		3 & 4 F3
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	

LOT 5		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	28' - 2"
SIDEYARD NORTH	10' - 0"	5' - 0"
SIDEYARD SOUTH	0' - 0"	0' - 0"
REAR SETBACK	20' - 0"	51' - 10"
HEIGHT VARIANCE	23' - 0"	1' - 6"

LOT 6		
SETBACKS	REQUIRED	PROPOSED

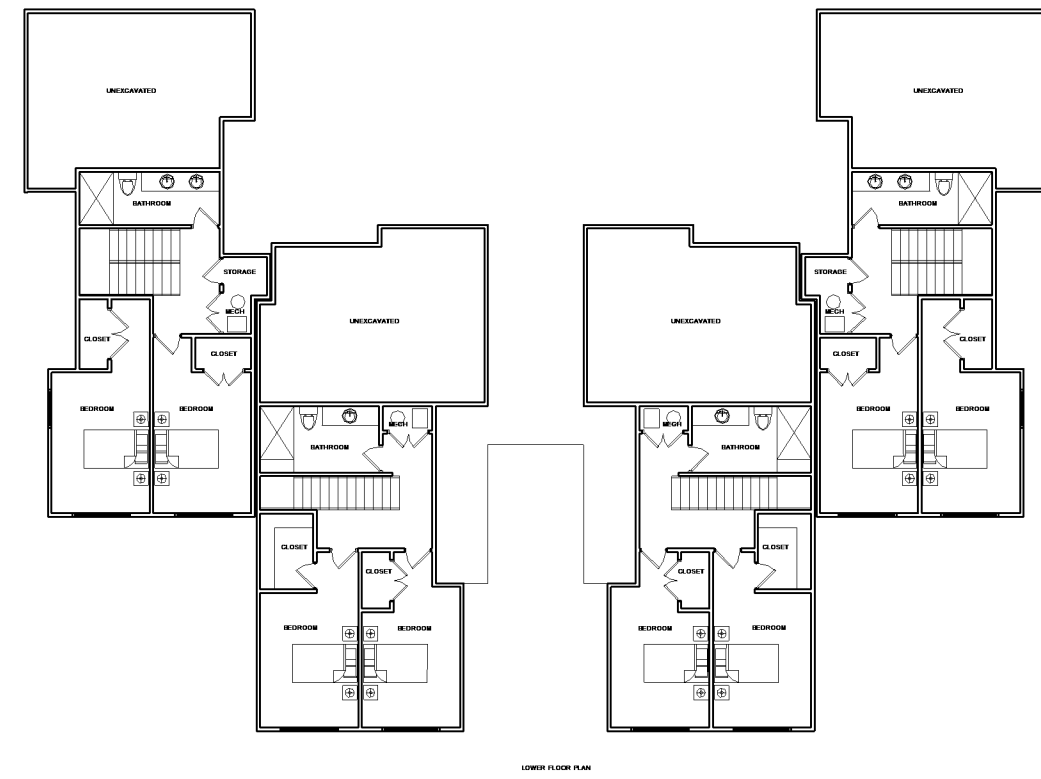
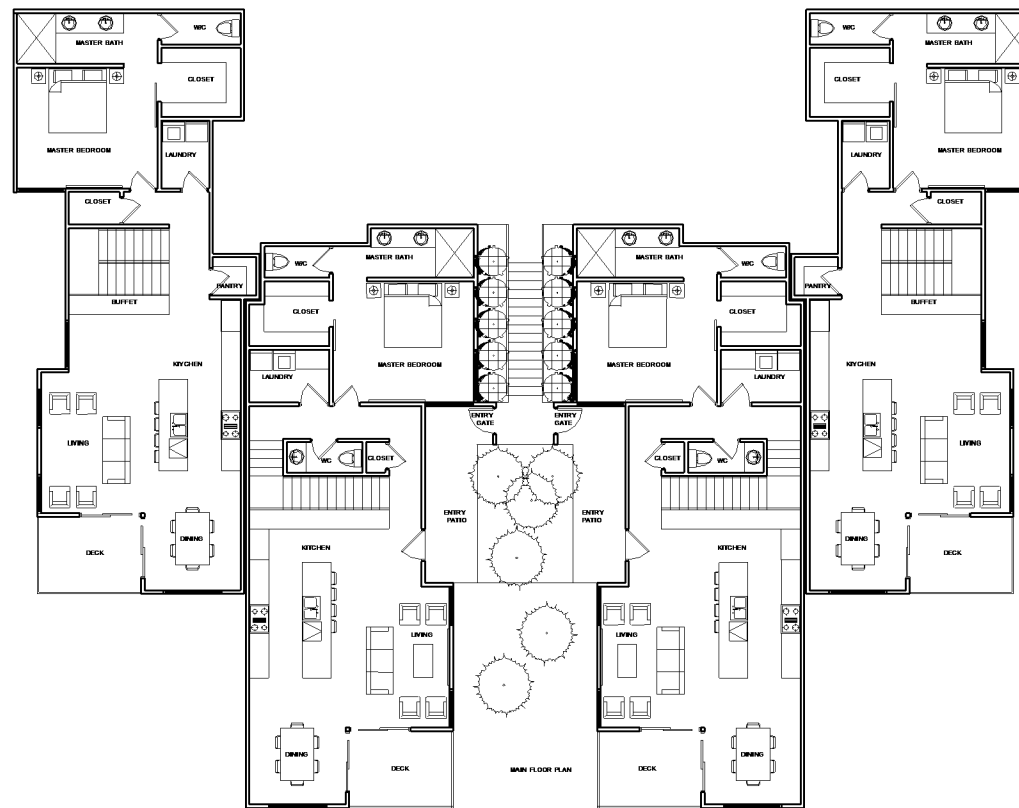
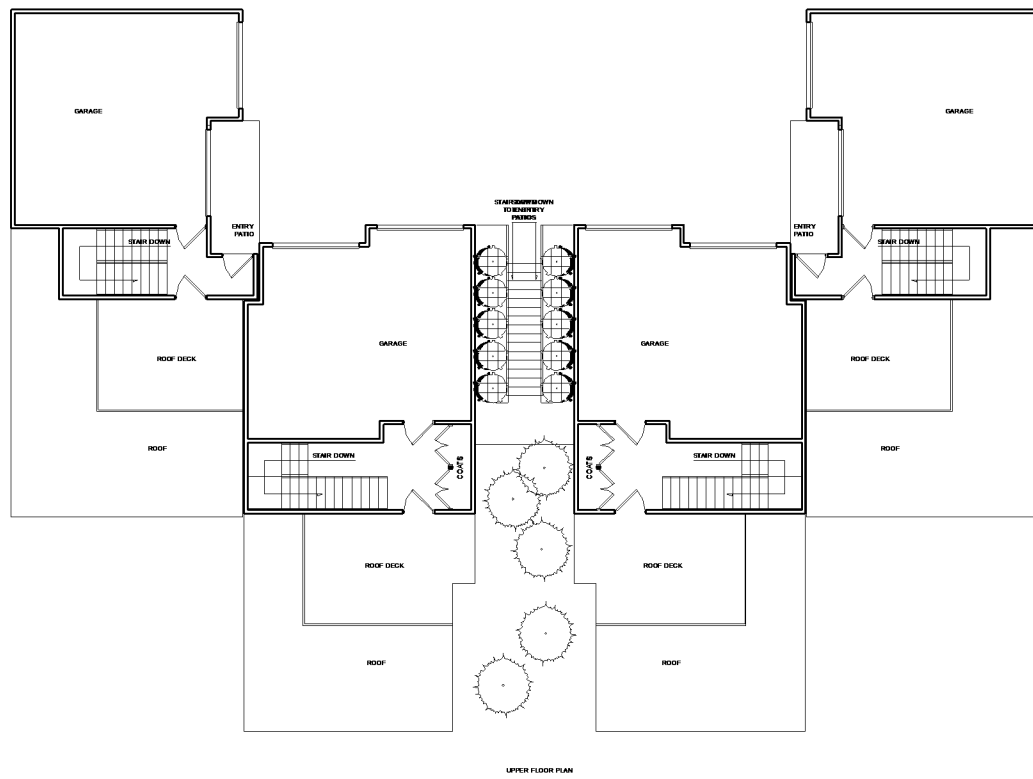
FRONT SETBACK	20' - 0"	5' - 10"
SIDEYARD NORTH	0' - 0"	0' - 0"
SIDEYARD SOUTH	10' - 0"	5' - 0"
REAR SETBACK	20' - 0"	74' - 1"
HEIGHT VARIANCE	23' - 0"	0' - 0"



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LOT 5 & 6 SITE PLAN		
Project number		5 & 6 A
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale 1" = 20'-0"



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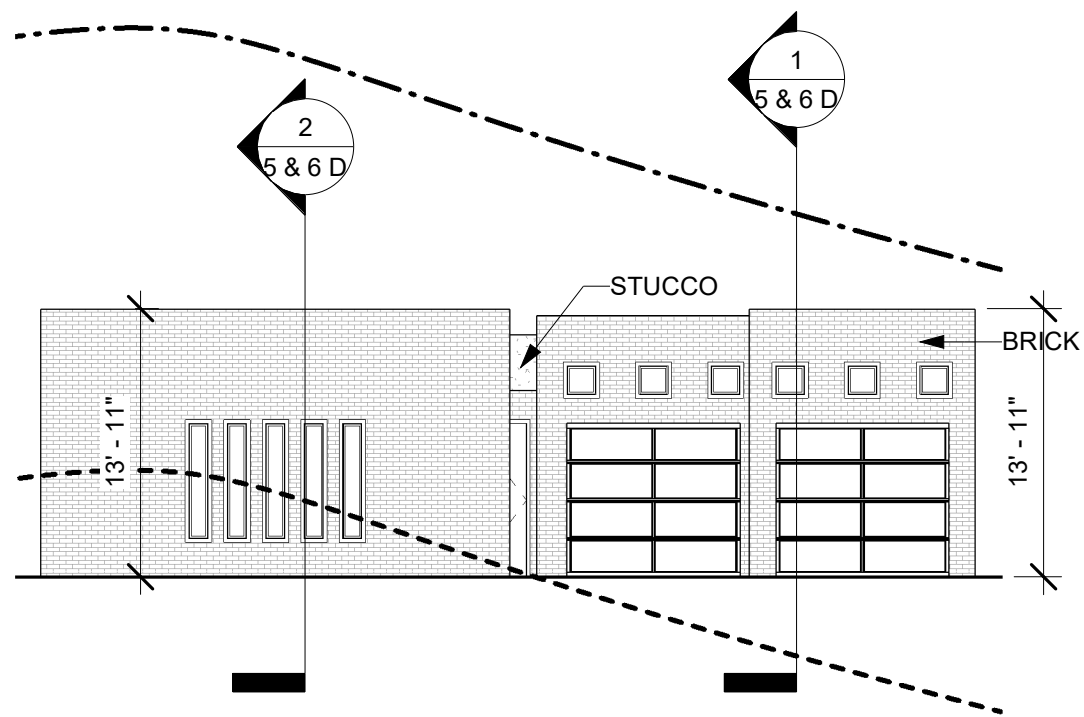
EVO

LOT 5 & 6 FLOOR PLANS

Project number	
Date	1-22-19
Drawn by	Author
Checked by	Checker

5 & 6 B

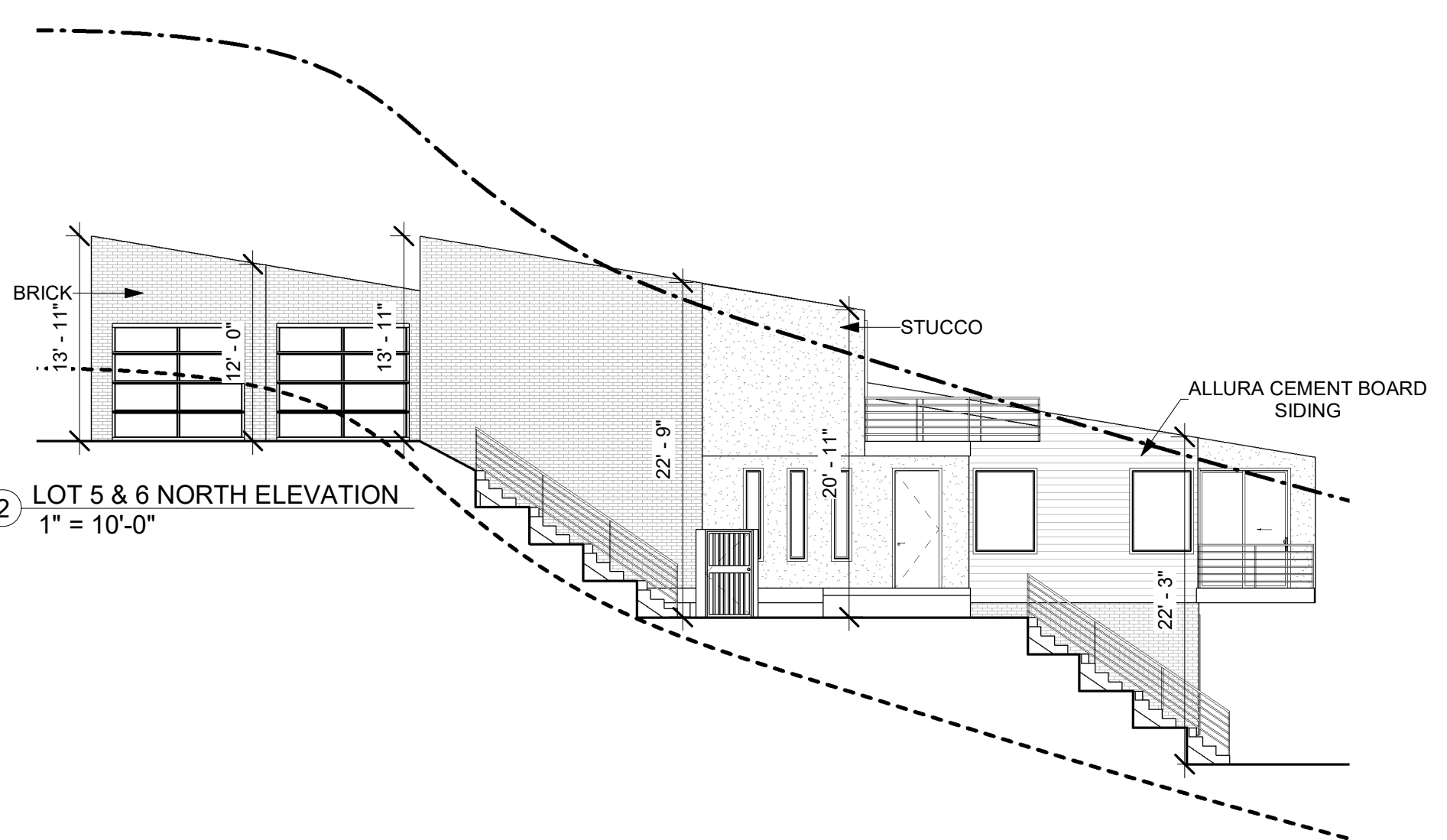
Scale 1" = 20'-0"



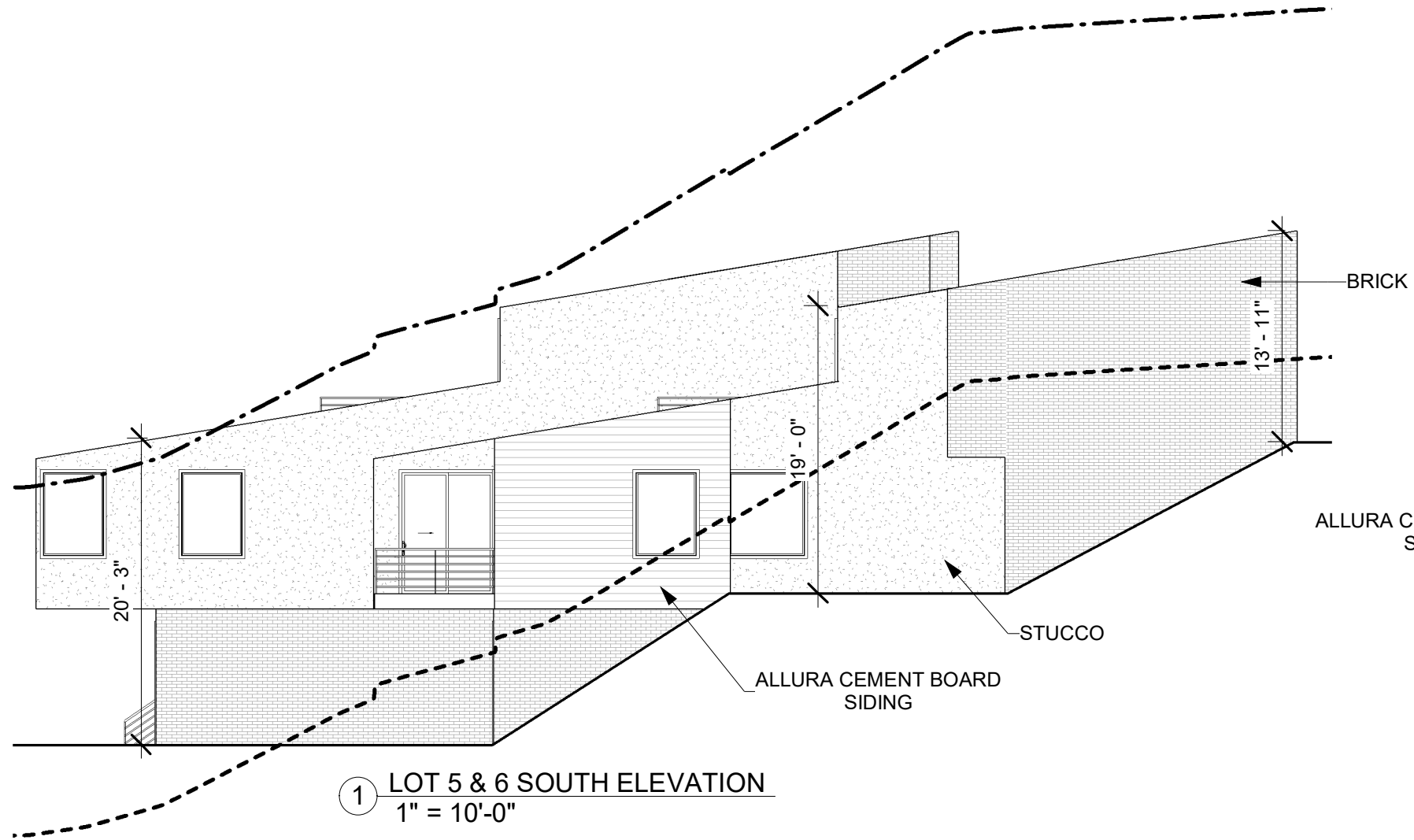
① LOT 5 & 6 EAST ELEVATION
1" = 10'-0"

GRADE LEGEND

- FINAL GRADE
- EXISTING GRADE (ESTABLISHED)
- - - - 23' OFFSET LINE



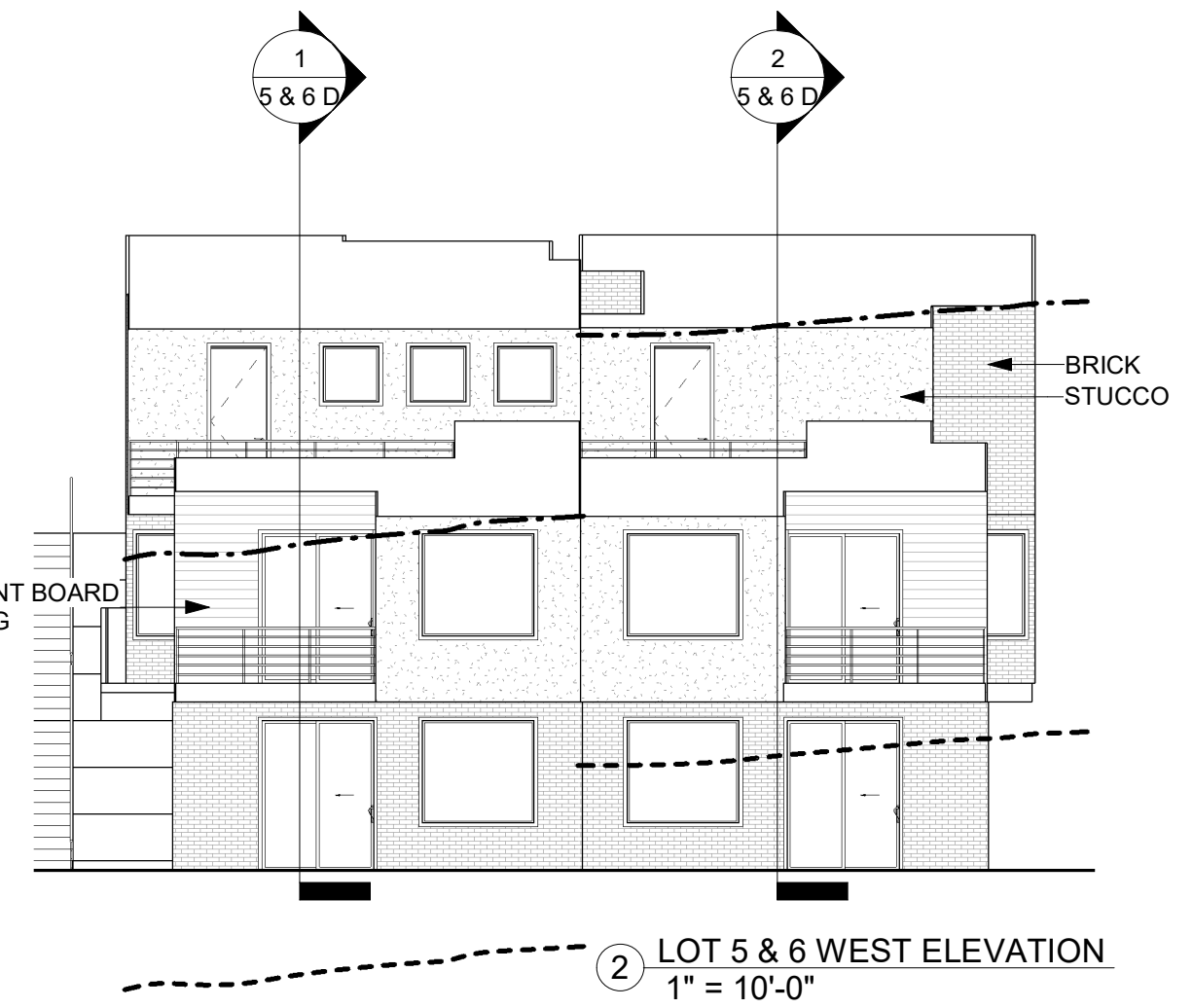
② LOT 5 & 6 NORTH ELEVATION
1" = 10'-0"



① LOT 5 & 6 SOUTH ELEVATION
1" = 10'-0"

GRADE LEGEND

- FINAL GRADE
- - - EXISTING GRADE (ESTABLISHED)
- · - · 23' OFFSET LINE



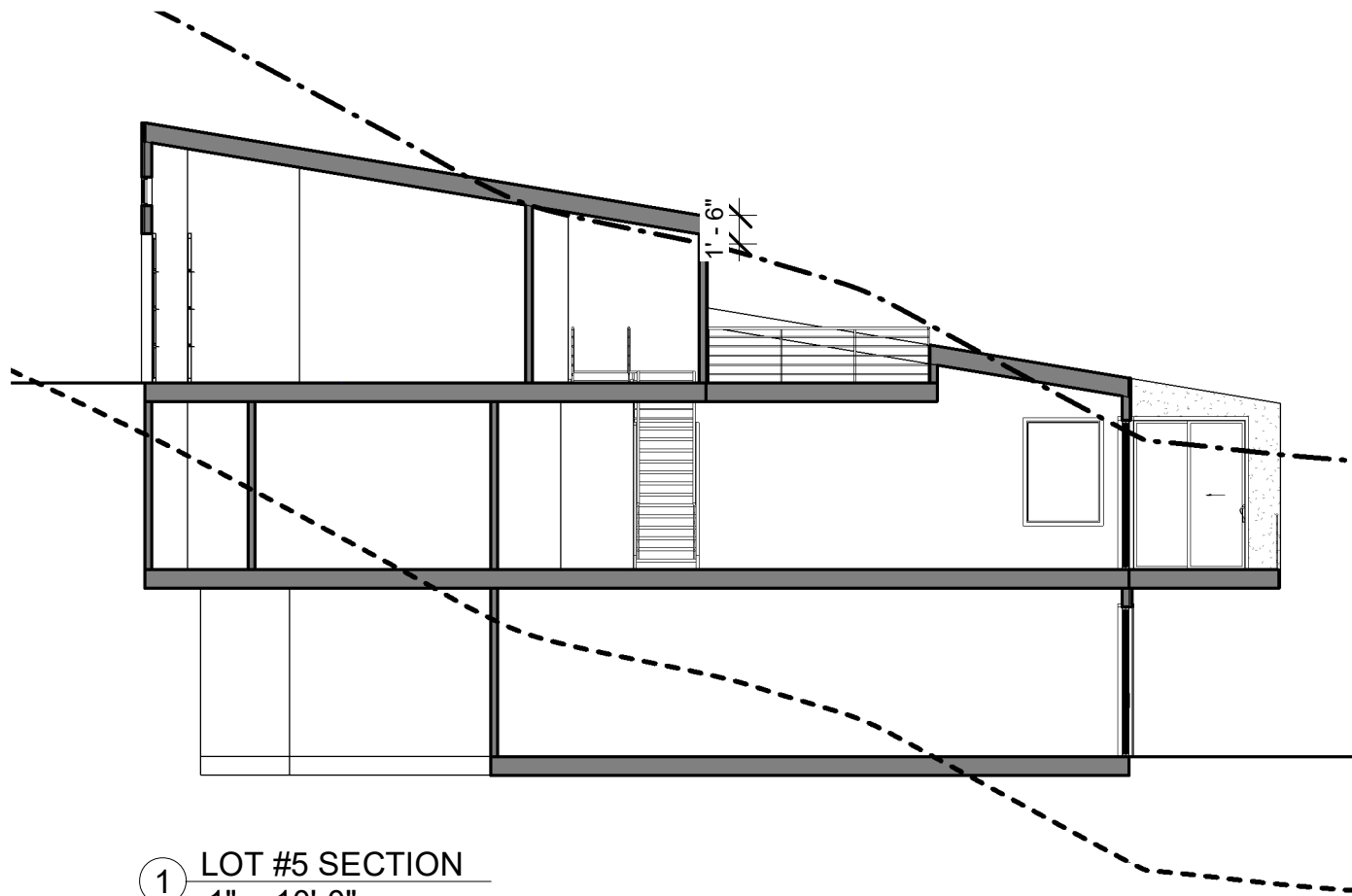
② LOT 5 & 6 WEST ELEVATION
1" = 10'-0"



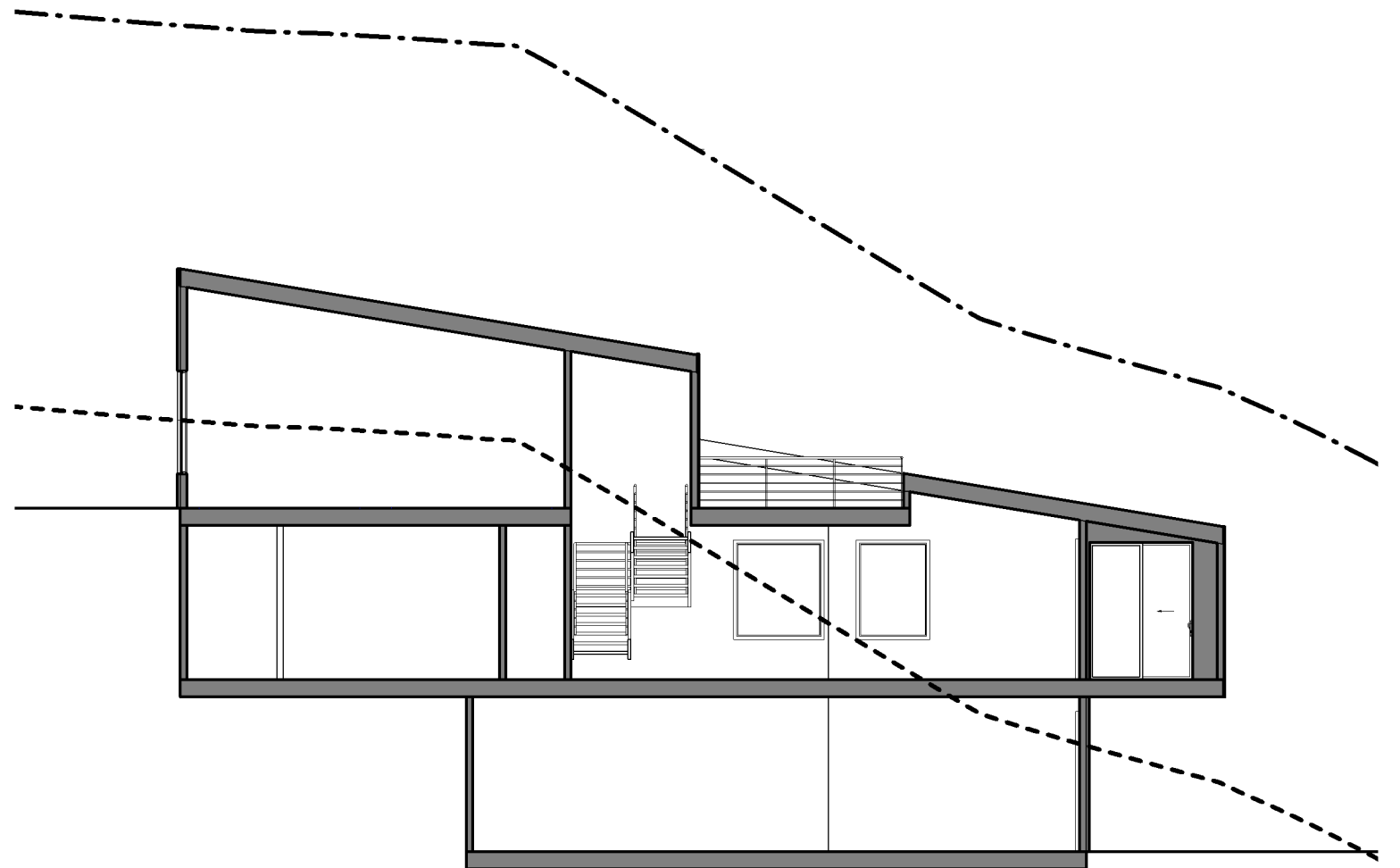
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LOT 5 & 6 ELEVATIONS		
Project number		5 & 6 C2
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



① LOT #5 SECTION
1" = 10'-0"



② LOT #6 SECTION
1" = 10'-0"

GRADE LEGEND

- FINAL GRADE
- EXISTING GRADE (ESTABLISHED)
- · - · - 23' OFFSET LINE

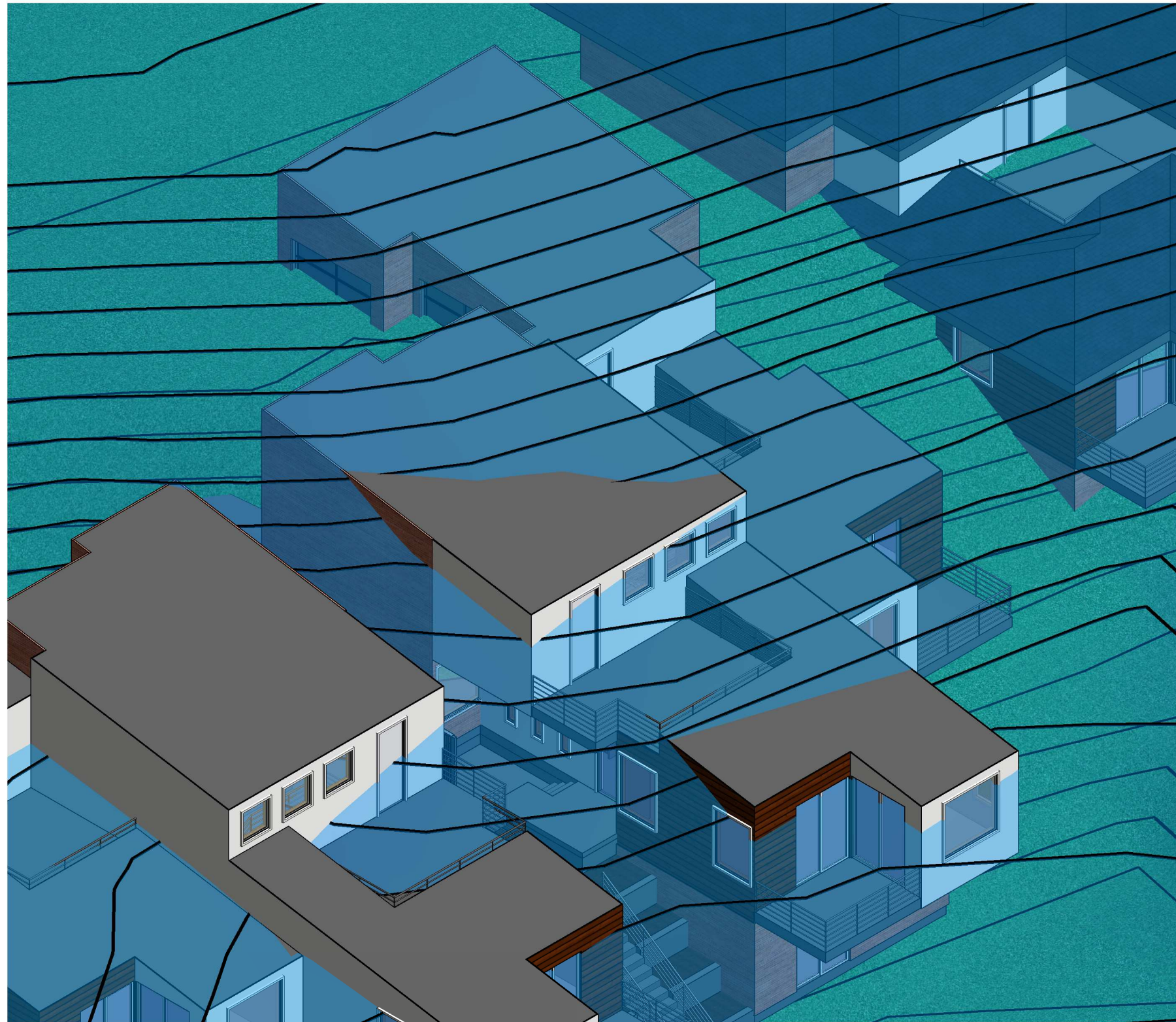


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LOT 5 & 6 SECTIONS		
Project number		5 & 6 D
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



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LOT 5 & 6 ISO

Project number		5 & 6 E
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	



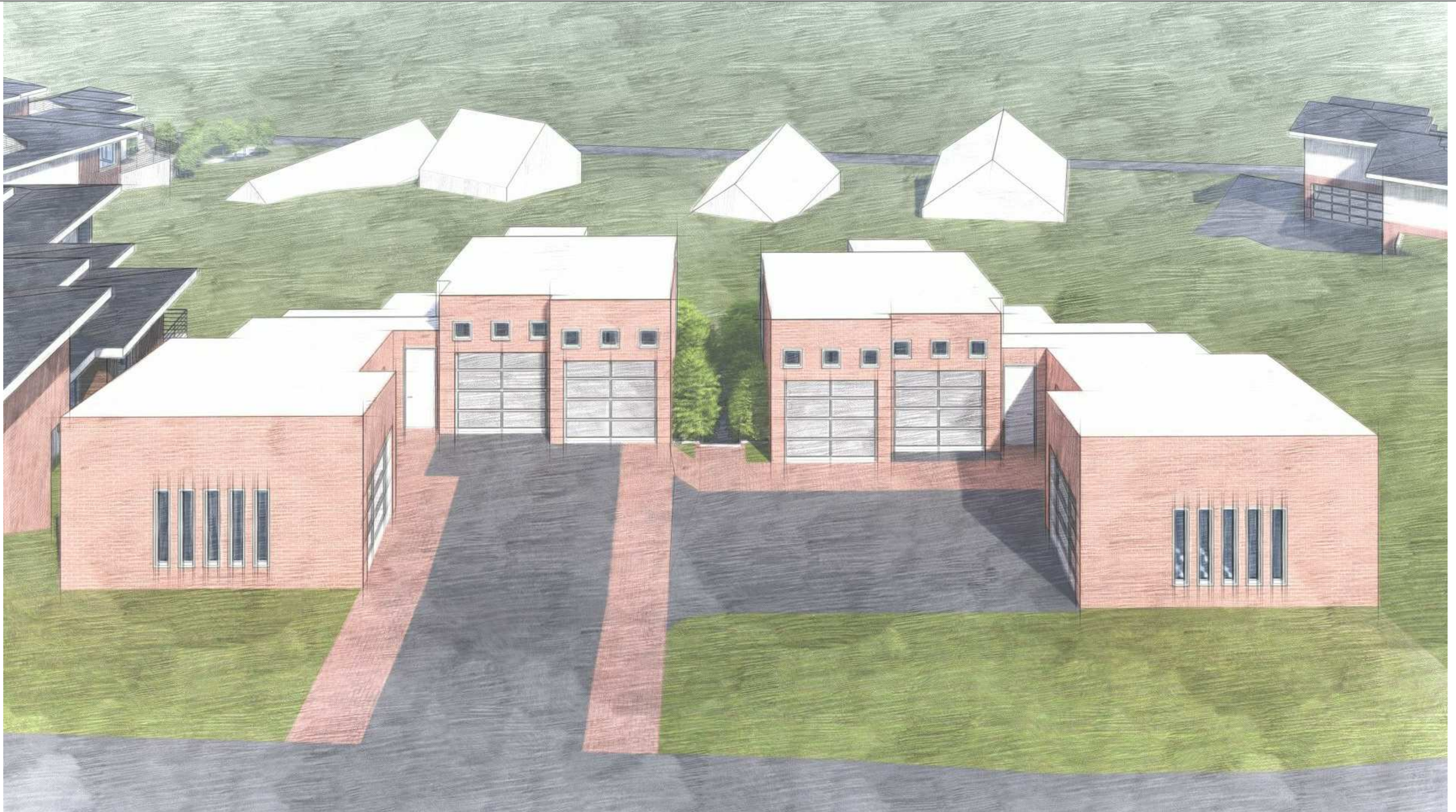
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LOT 5 & 6 RENDERING

Project number		5 & 6 F1
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	



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LOT 5 & 6 RENDERING

Project number		5 & 6 F2
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale



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LOT 5 & 6 RENDERING

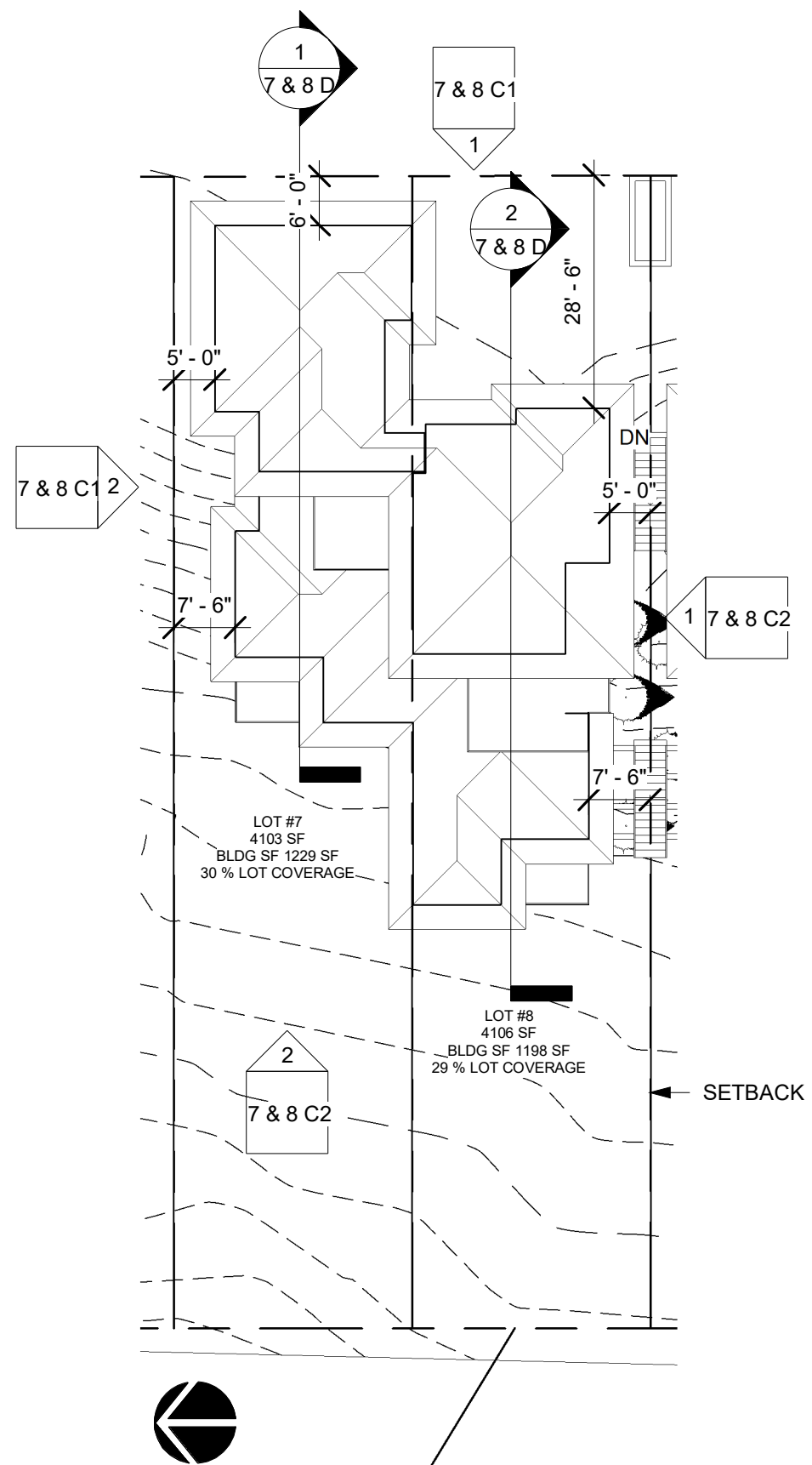
Project number		5 & 6 F3
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	

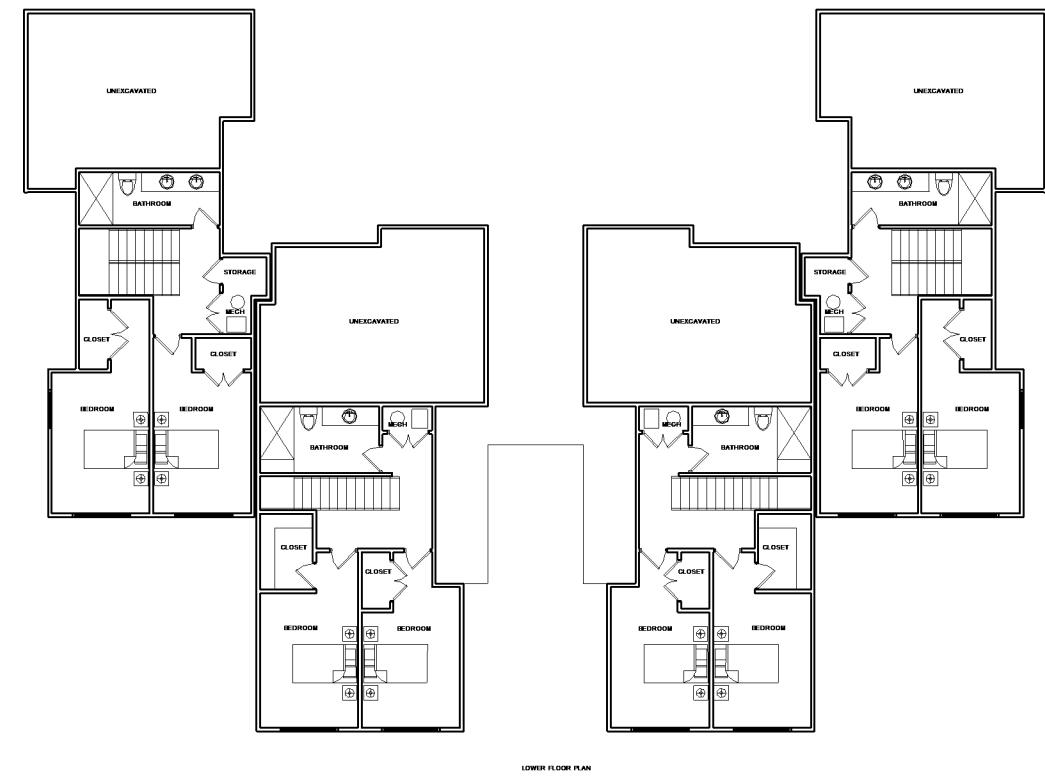
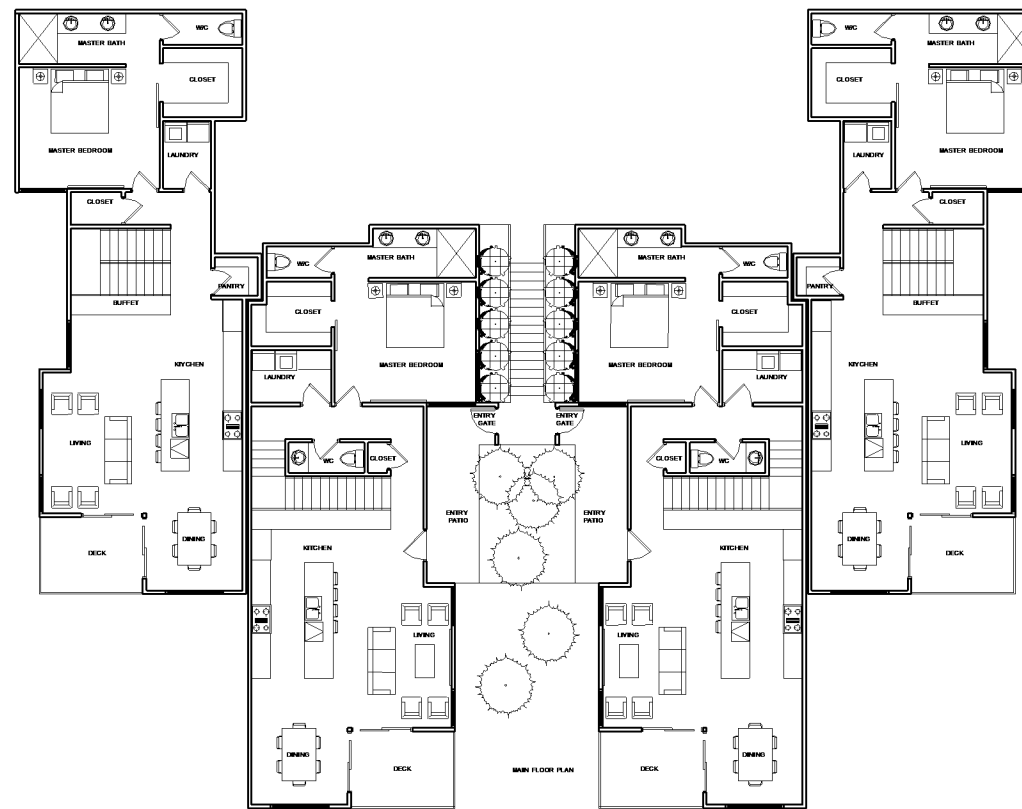
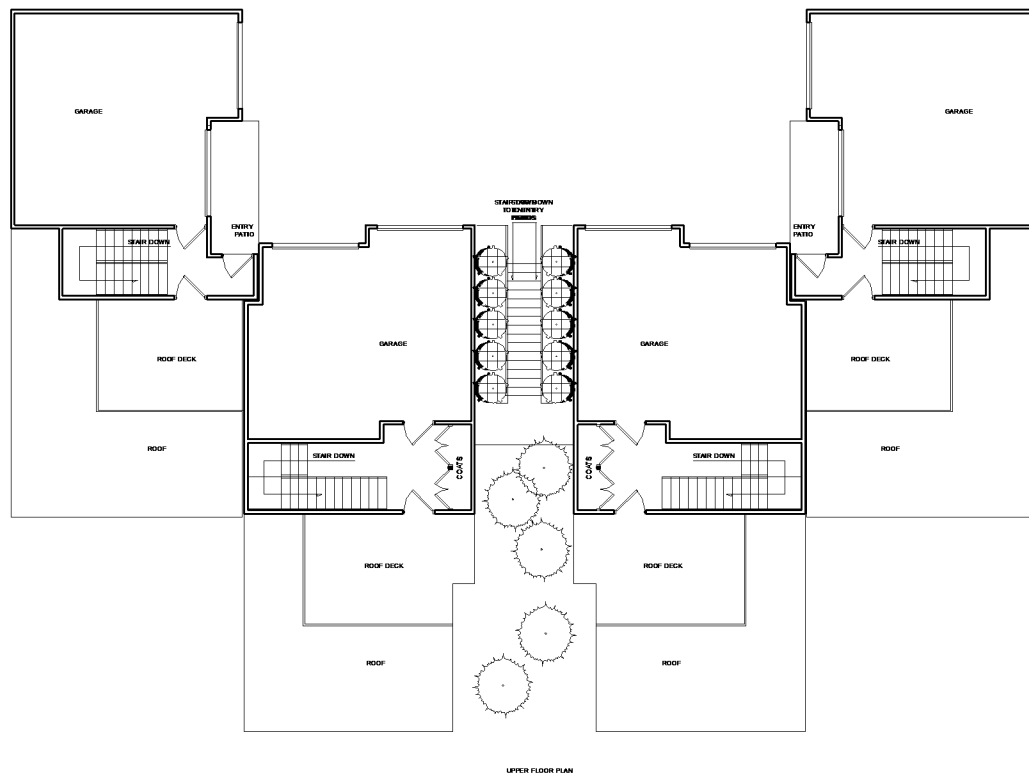
LOT 7		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	6' - 0"
SIDEYARD NORTH	10' - 0"	5' - 0"
SIDEYARD SOUTH	0' - 0"	5' - 0"
REAR SETBACK	20' - 0"	74' - 1"
HEIGHT VARIANCE	23' - 0"	0' - 0"

LOT 8		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	28' - 6"
SIDEYARD NORTH	0' - 0"	0' - 0"
SIDEYARD SOUTH	10' - 0"	5' - 0"
REAR SETBACK	20' - 0"	51' - 10"
HEIGHT VARIANCE	23' - 0"	2' - 0"



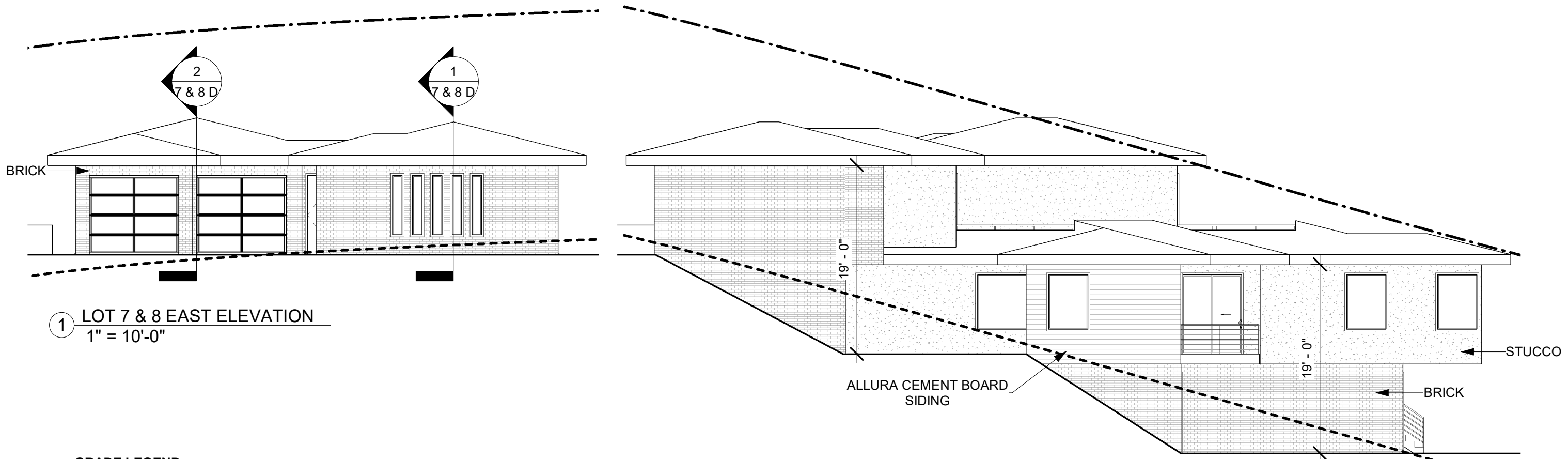


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LOT 7 & 8 FLOOR PLANS

Project number		7 & 8 B
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale 1" = 20'-0"



① LOT 7 & 8 EAST ELEVATION
1" = 10'-0"

② LOT 7 & 8 NORTH ELEVATION
1" = 10'-0"

GRADE LEGEND

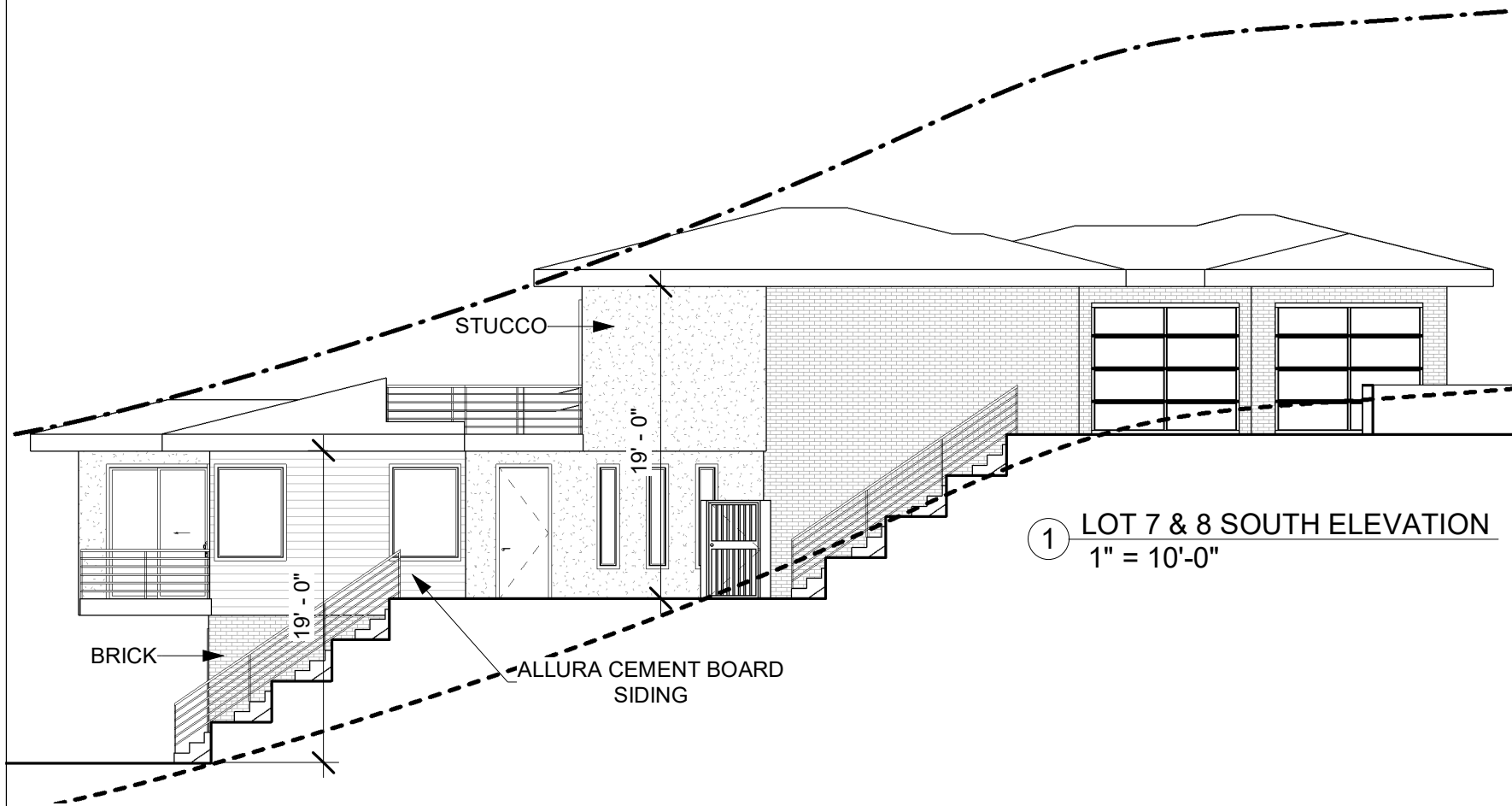
- FINAL GRADE
- EXISTING GRADE (ESTABLISHED)
- - - - - 23' OFFSET LINE

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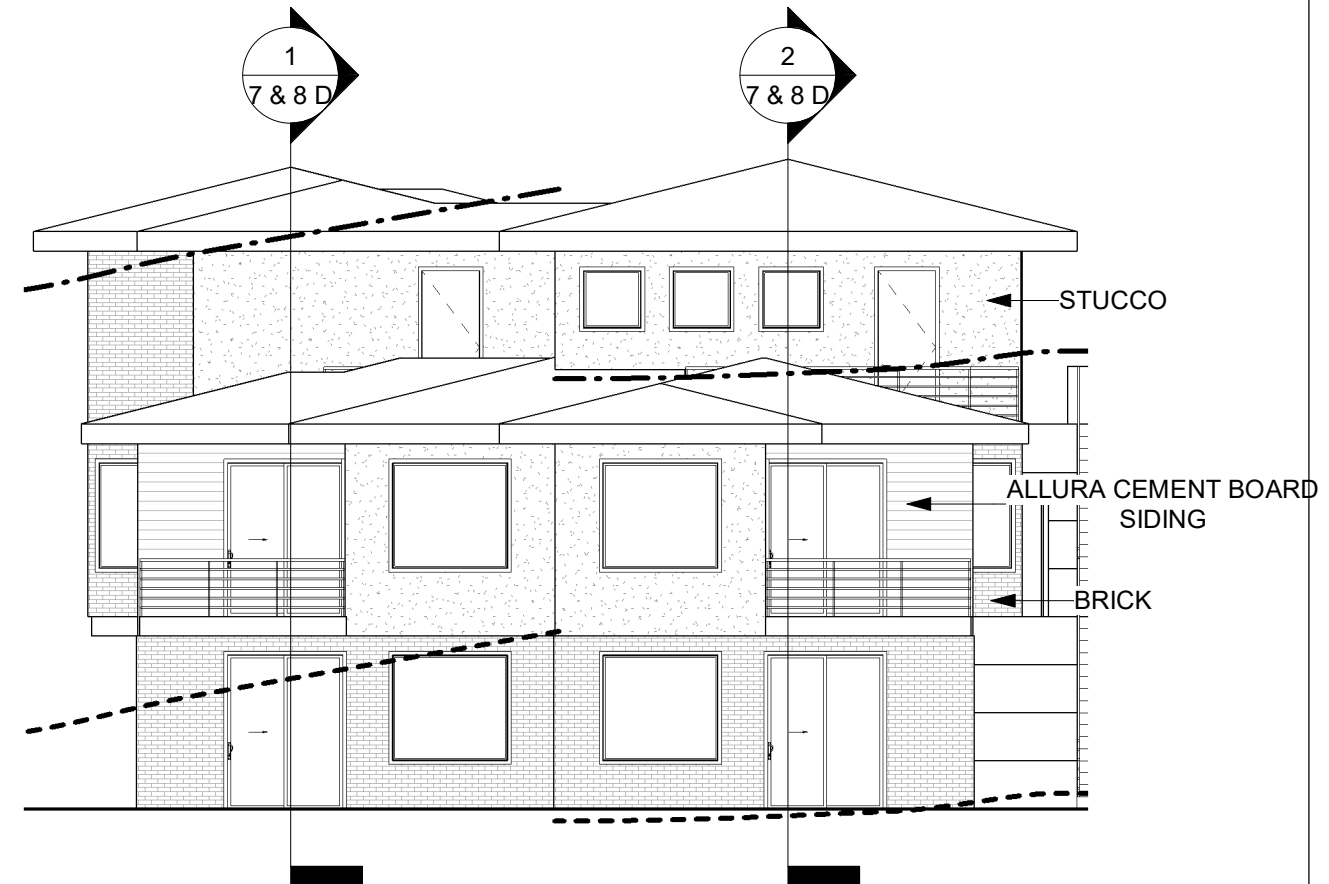
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LOT 7 & 8 ELEVATIONS		
Project number		7 & 8 C1
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



① LOT 7 & 8 SOUTH ELEVATION
1" = 10'-0"



② LOT 7 & 8 WEST ELEVATION
1" = 10'-0"

GRADE LEGEND

- FINAL GRADE
- EXISTING GRADE (ESTABLISHED)
- · - · - 23' OFFSET LINE



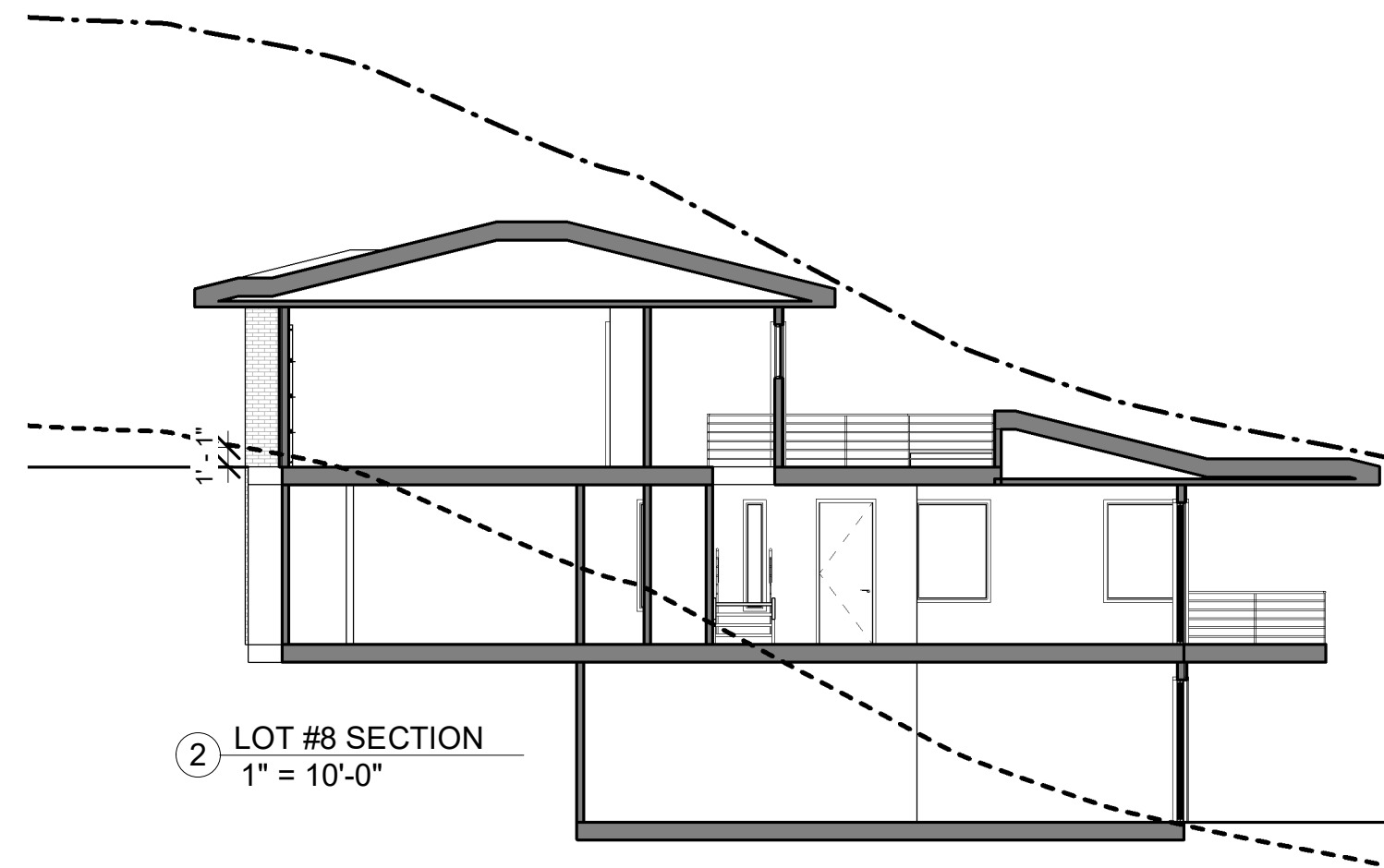
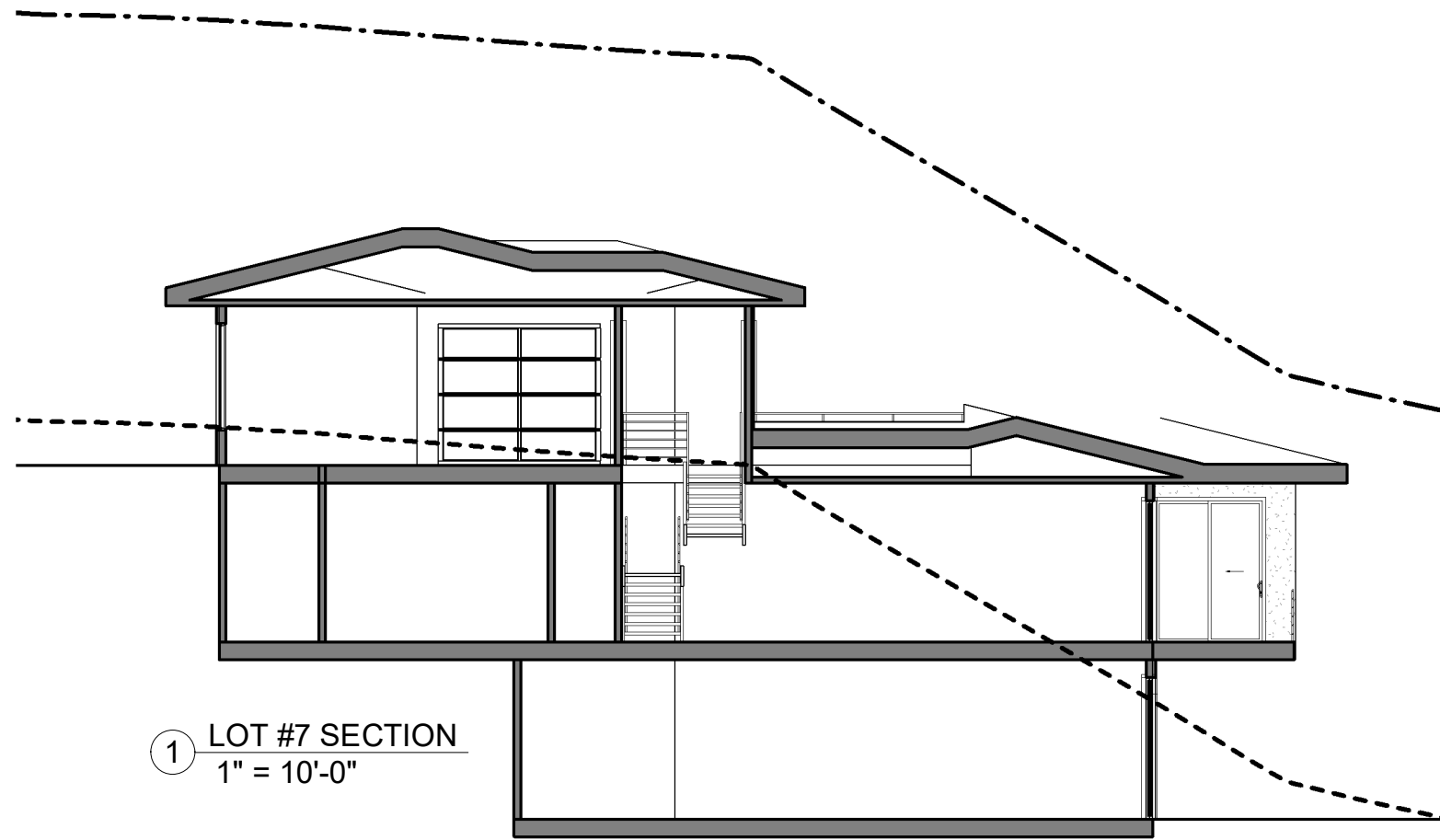
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EVO

LOT 7 & 8 ELEVATIONS

Project number		7 & 8 C2
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



GRADE LEGEND

- FINAL GRADE
- - - - EXISTING GRADE (ESTABLISHED)
- · - · 23' OFFSET LINE



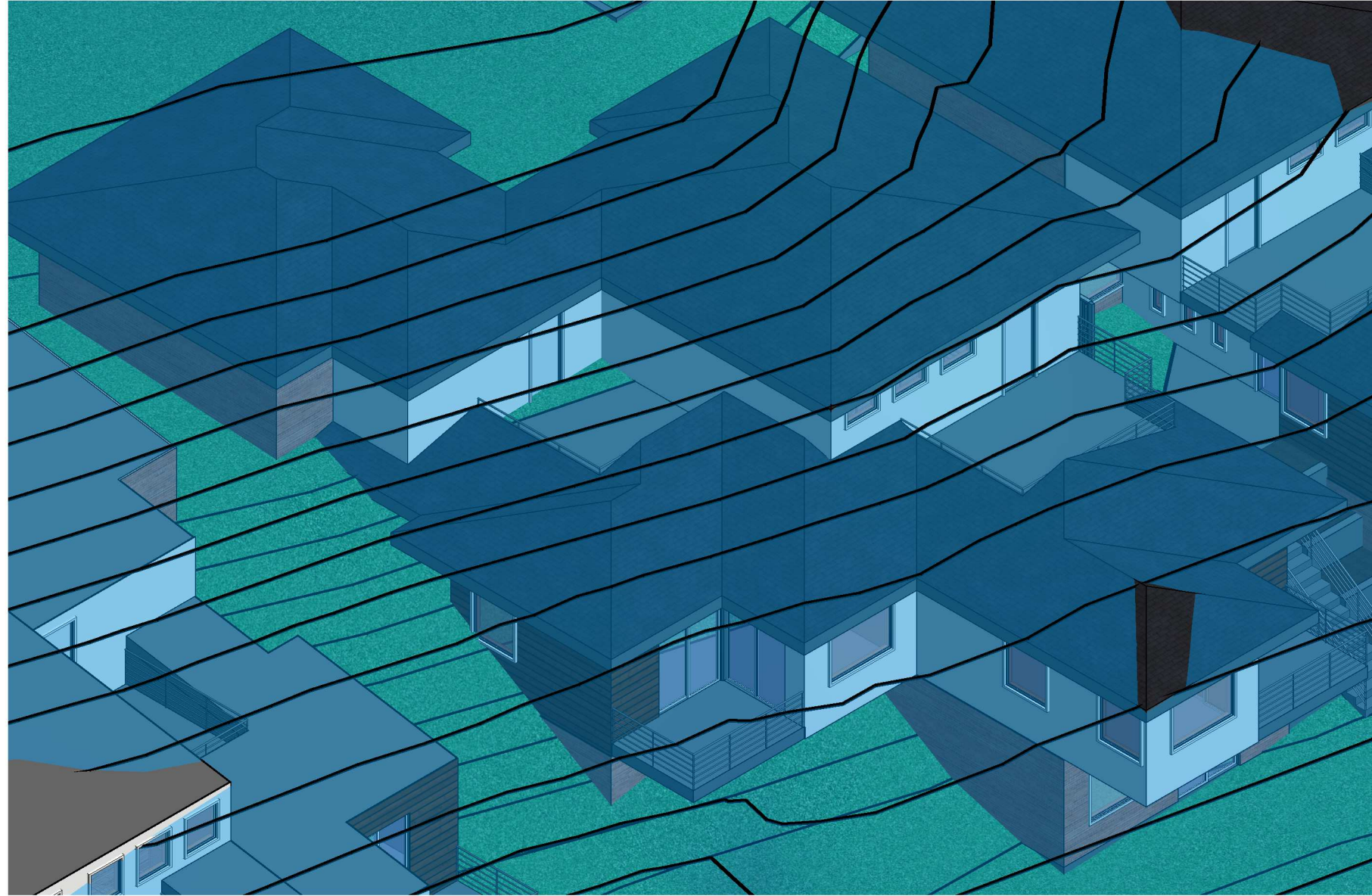
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EVO

LOT 7 & 8 SECTIONS

Project number		7 & 8 D
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
Scale As indicated		



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EVO

LOT 7 & 8 ISO

Project number		7 & 8 E
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	



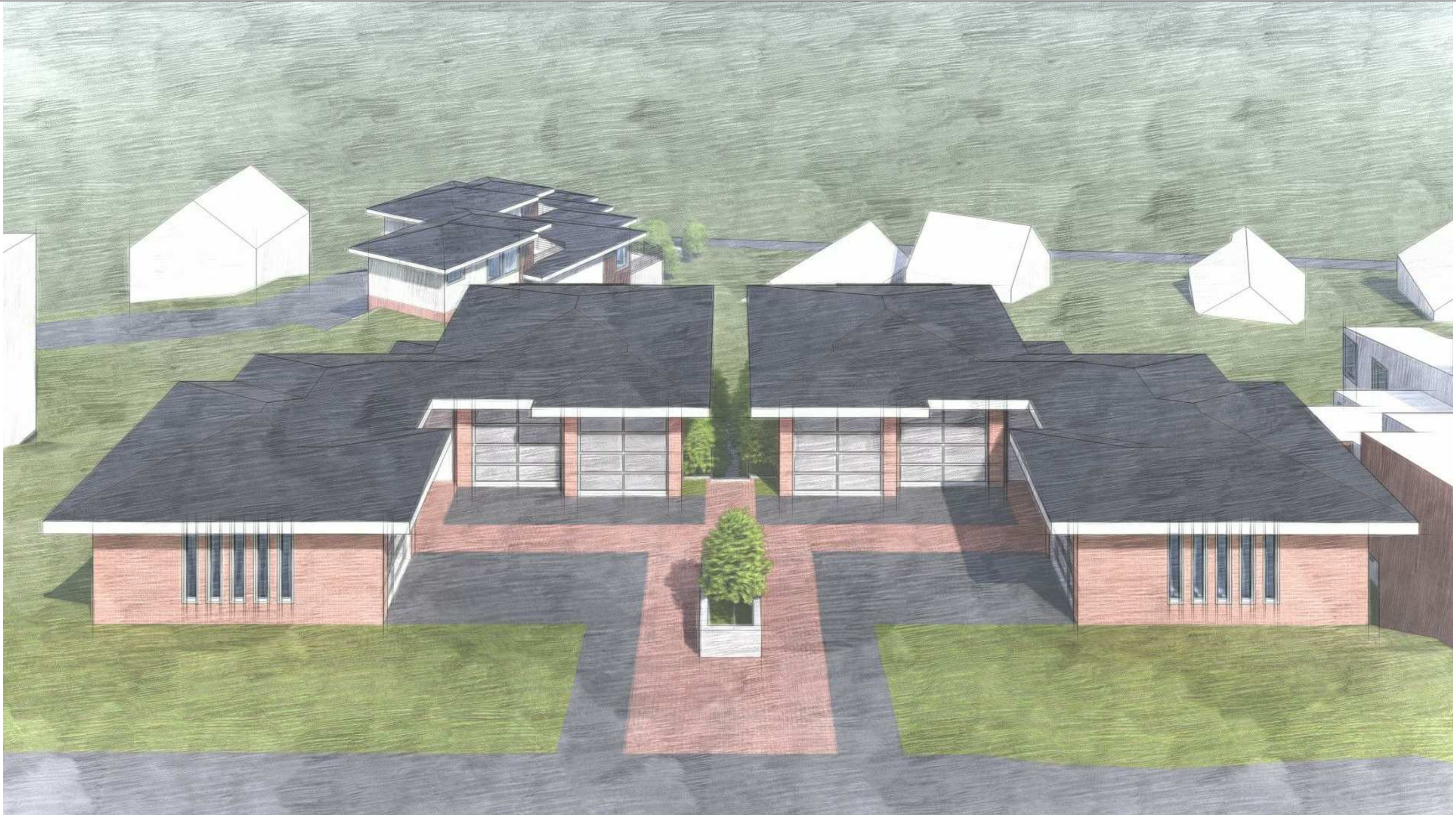
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LOT 7 & 8 RENDERING

Project number		7 & 8 F1
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	



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EVO

LOT 7 & 8 RENDERING

Project number		7 & 8 F2
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	



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LOT 7 & 8 RENDERING

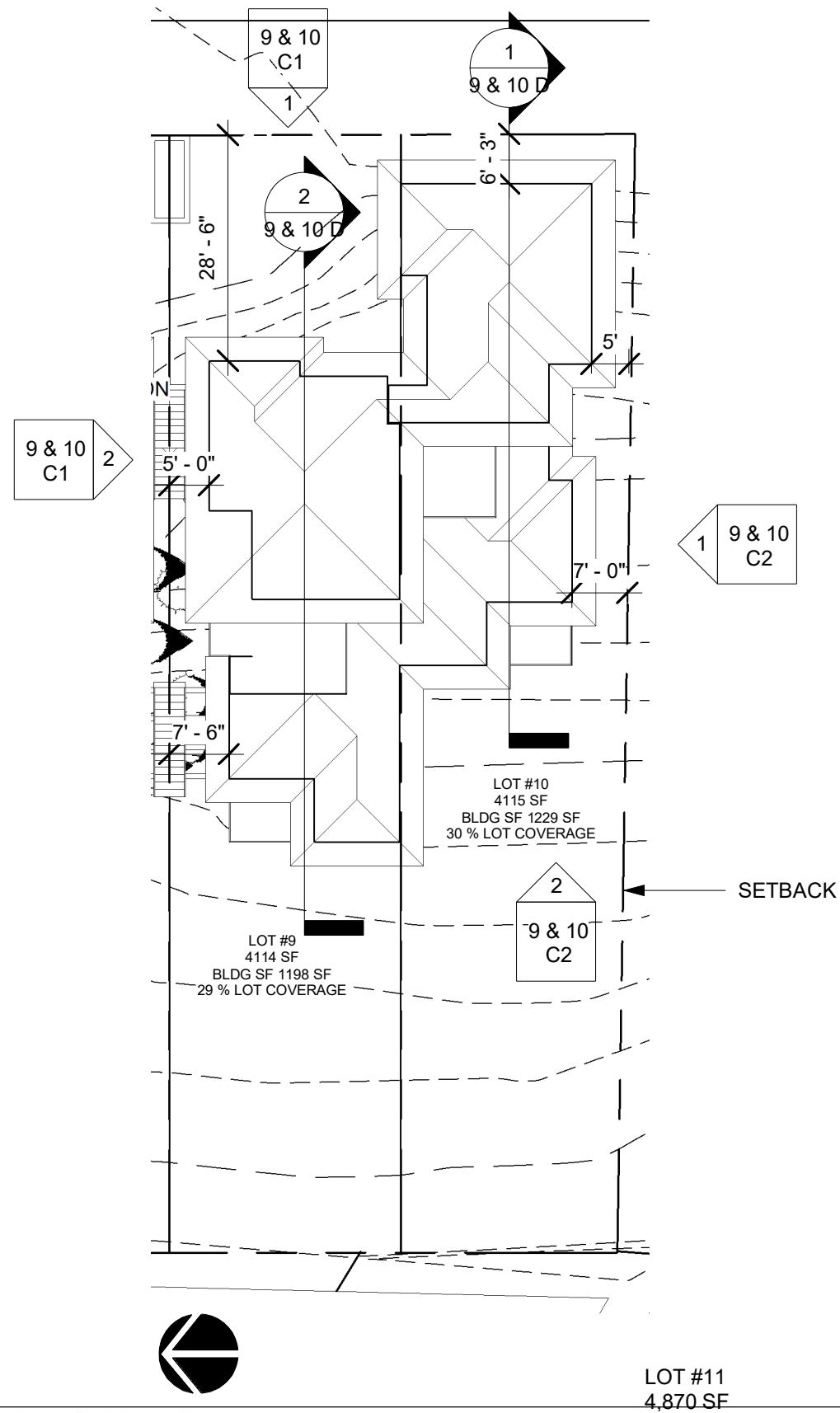
Project number		7 & 8 F3
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	

LOT 9		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	28' - 6"
SIDEYARD NORTH	10' - 0"	5' - 0"
SIDEYARD SOUTH	0' - 0"	0' - 0"
REAR SETBACK	20' - 0"	51' - 10"
HEIGHT VARIANCE	23' - 0"	1' - 0"

LOT 10		
SETBACKS	REQUIRED	PROPOSED

FRONT SETBACK	20' - 0"	6' - 3"
SIDEYARD NORTH	0' - 0"	0' - 0"
SIDEYARD SOUTH	10' - 0"	5' - 0"
REAR SETBACK	20' - 0"	74' - 11"
HEIGHT VARIANCE	23' - 0"	0' - 0"



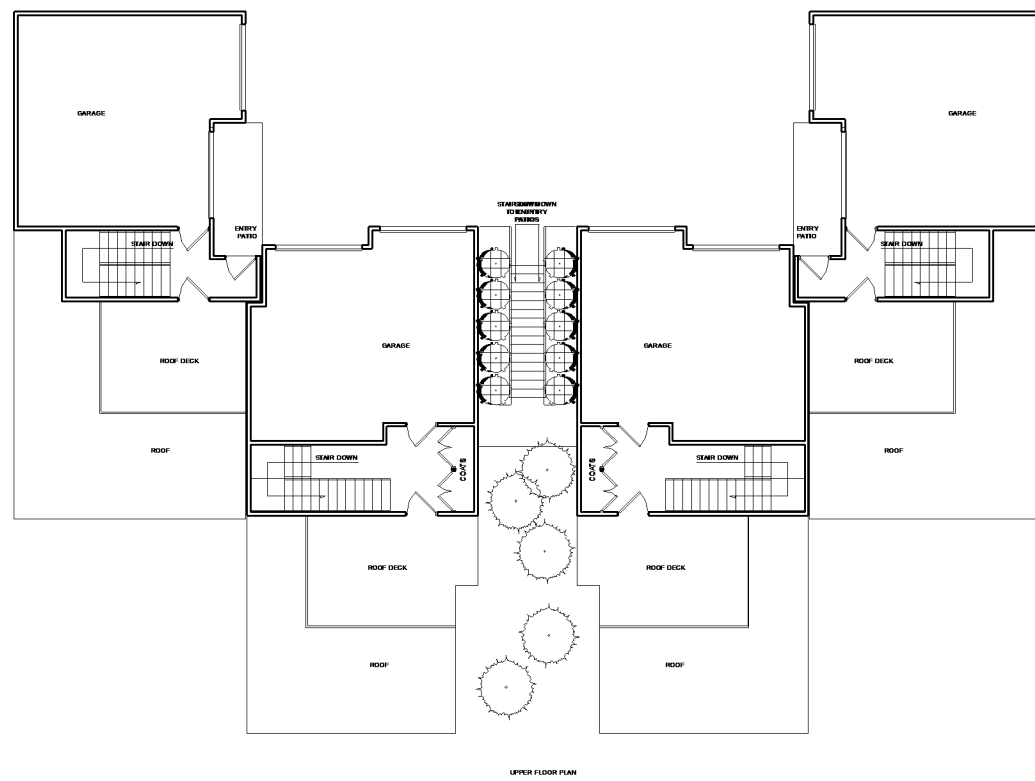
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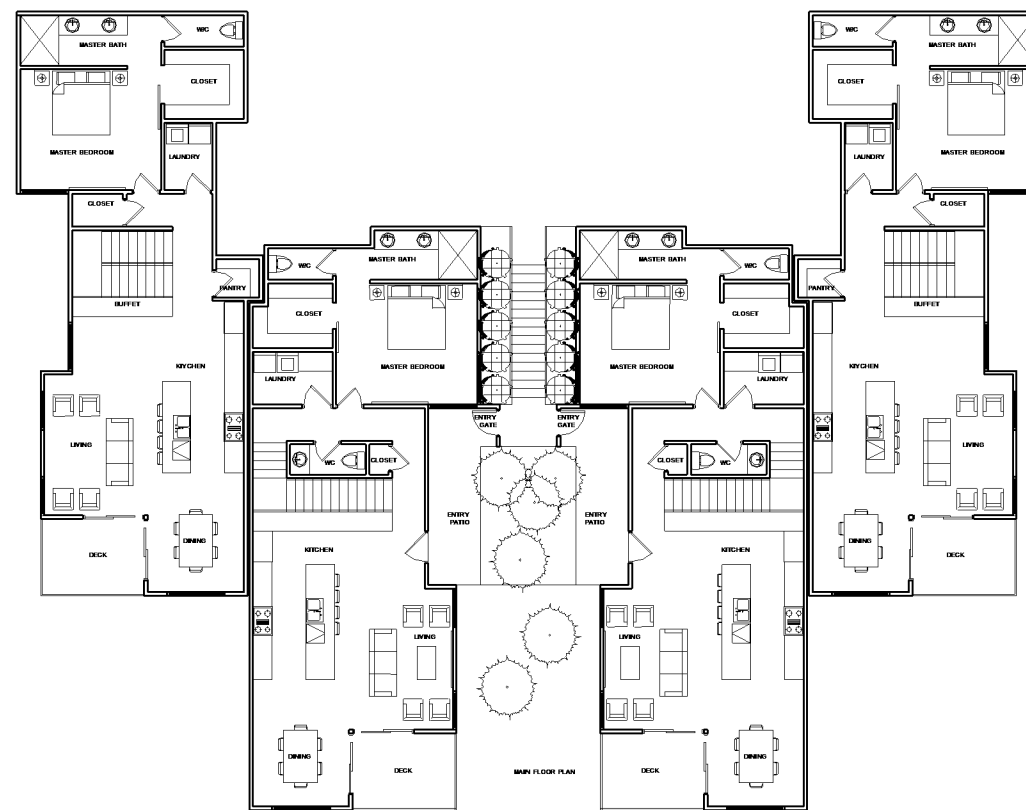
EVO

LOT 9 & 10 SITE PLAN

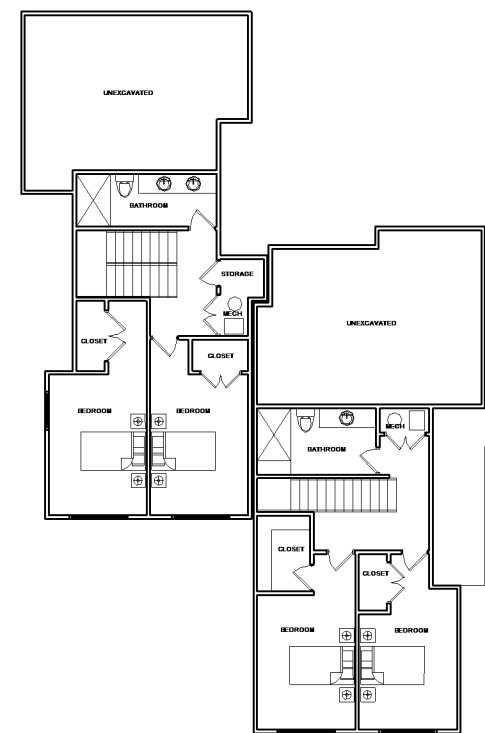
Project number		9 & 10 A
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale 1" = 20'-0"



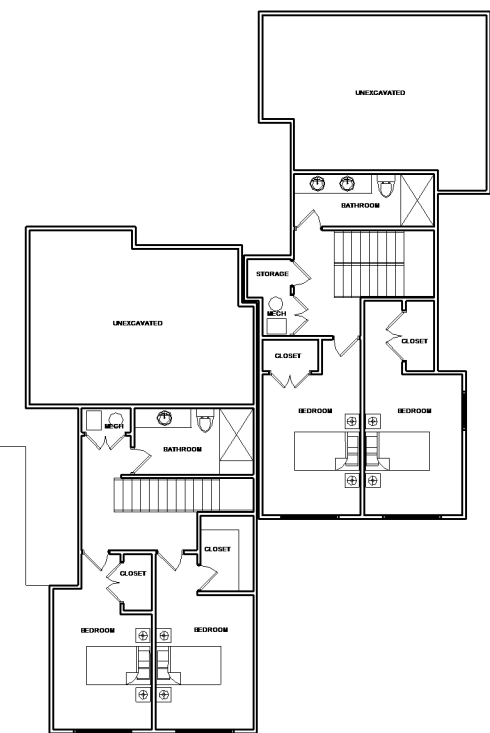
UPPER FLOOR PLAN



MAIN FLOOR PLAN



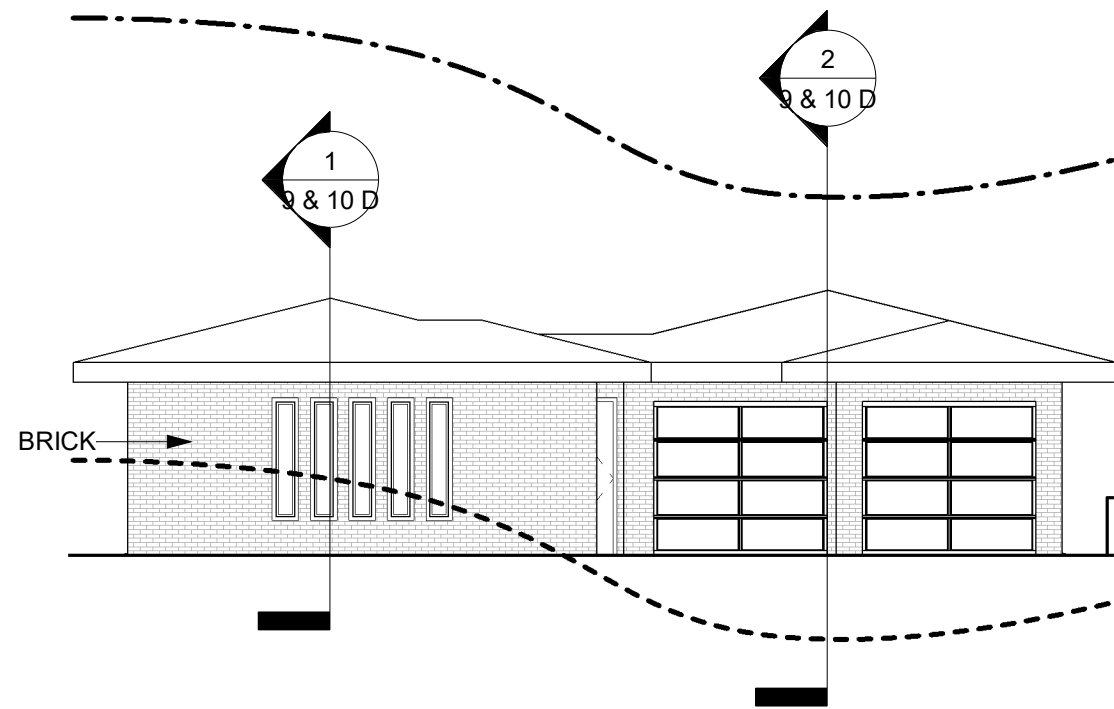
LOWER FLOOR PLAN



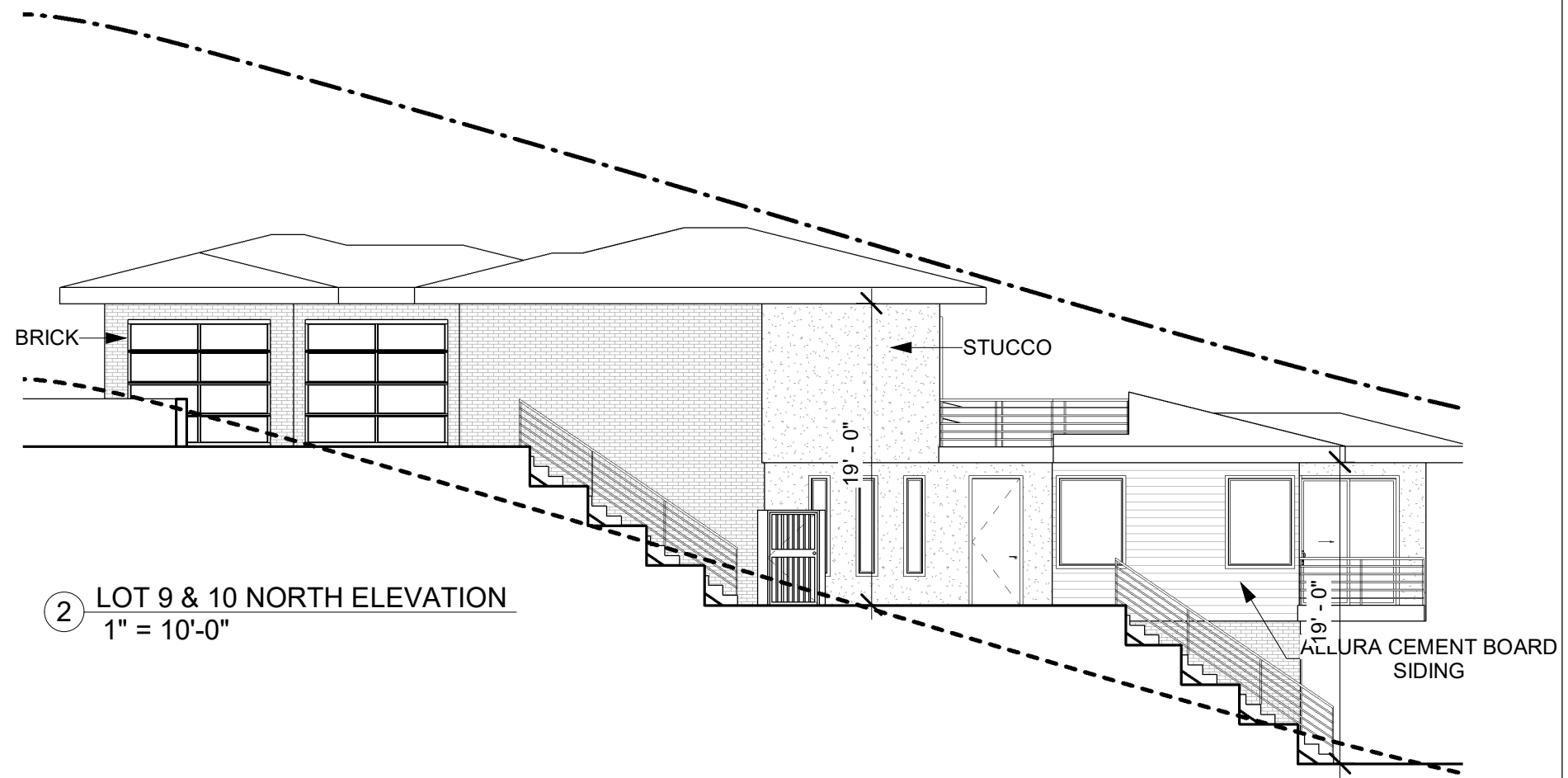
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LOT 9 & 10 FLOOR PLANS		
Project number		9 & 10 B
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale 1" = 20'-0"



① LOT 9 & 10 EAST ELEVATION
1" = 10'-0"



② LOT 9 & 10 NORTH ELEVATION
1" = 10'-0"

GRADE LEGEND

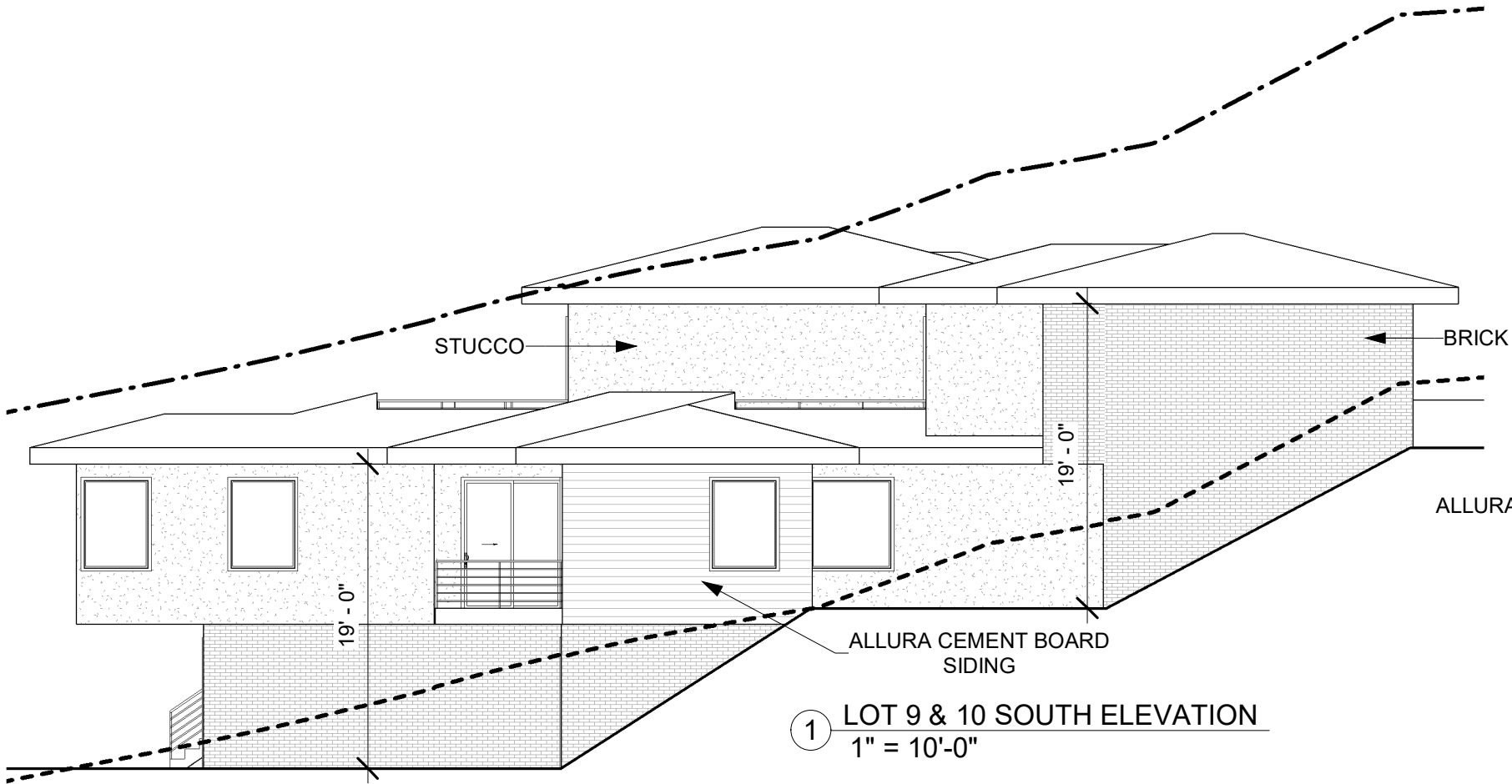
- FINAL GRADE
- EXISTING GRADE (ESTABLISHED)
- .-.-.- 23' OFFSET LINE



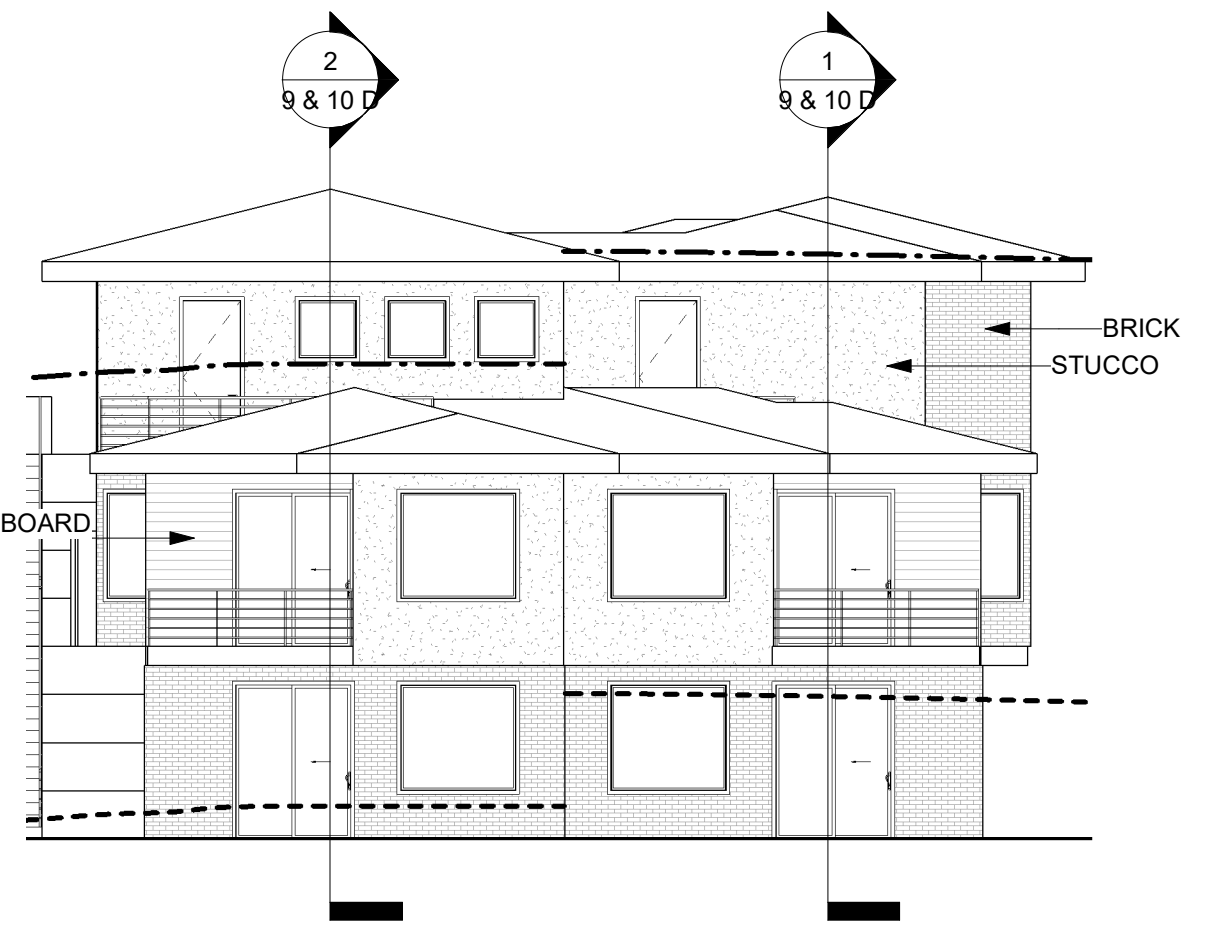
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EVO

LOT 9 & 10 ELEVATIONS		
Project number		9 & 10 C1
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



① LOT 9 & 10 SOUTH ELEVATION
1" = 10'-0"



② LOT 9 & 10 WEST ELEVATION
1" = 10'-0"

GRADE LEGEND

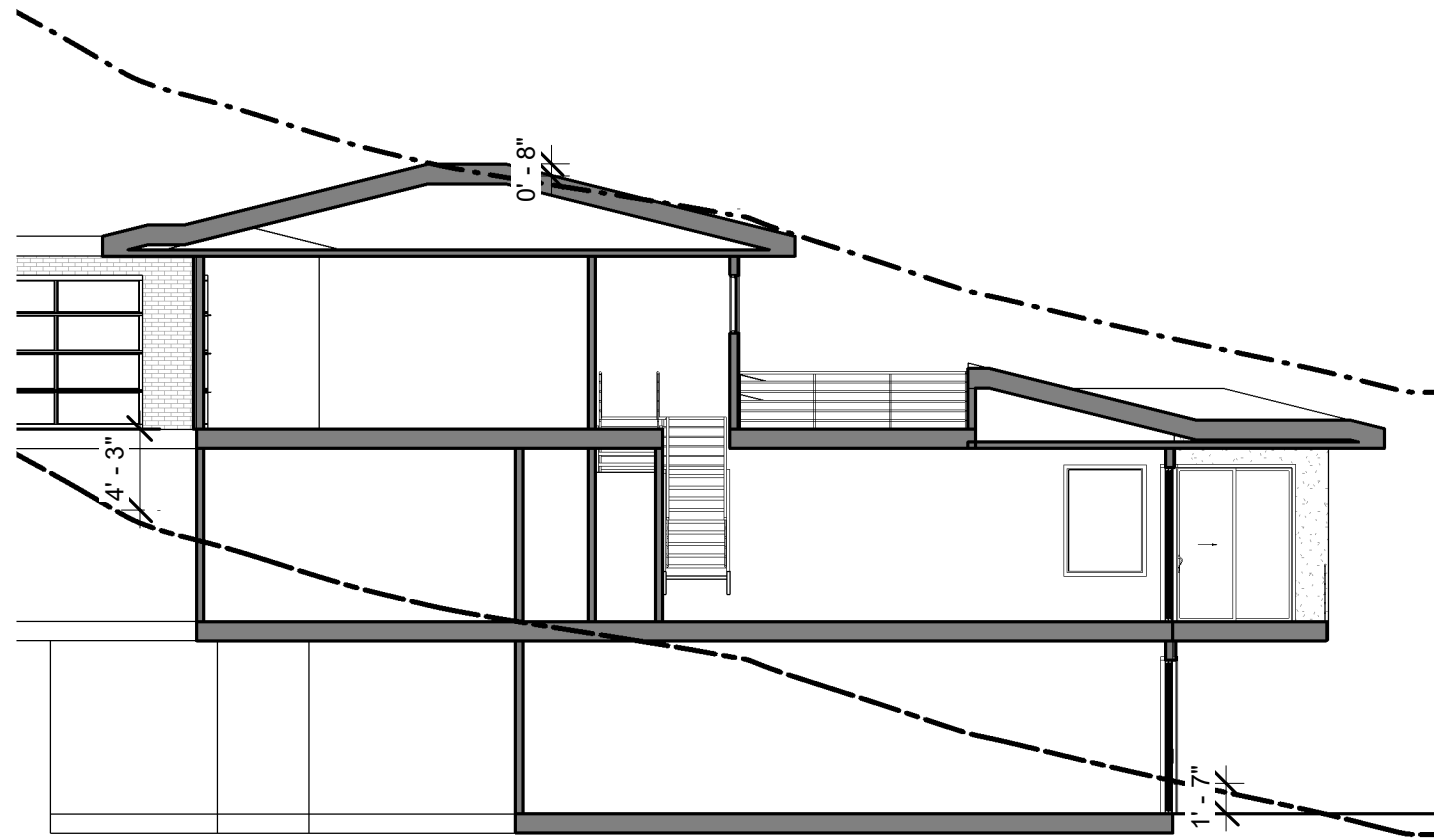
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- EXISTING GRADE (ESTABLISHED)
- · - · - 23' OFFSET LINE



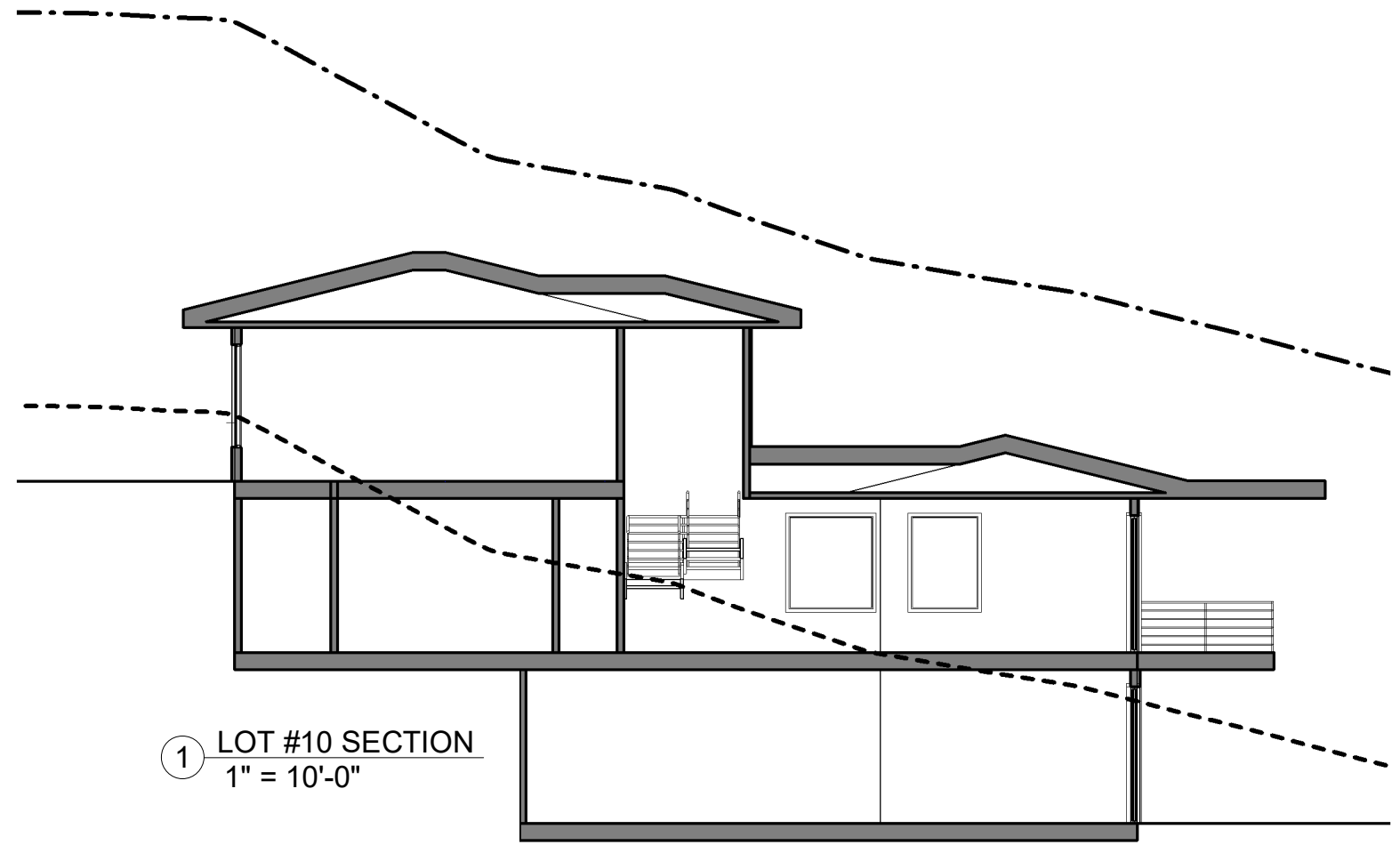
Russell Platt Architecture
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EVO

LOT 9 & 10 ELEVATIONS		
Project number		9 & 10 C2
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



② LOT #9 SECTION
1" = 10'-0"



① LOT #10 SECTION
1" = 10'-0"

GRADE LEGEND

- FINAL GRADE
- - - EXISTING GRADE (ESTABLISHED)
- · - · 23' OFFSET LINE



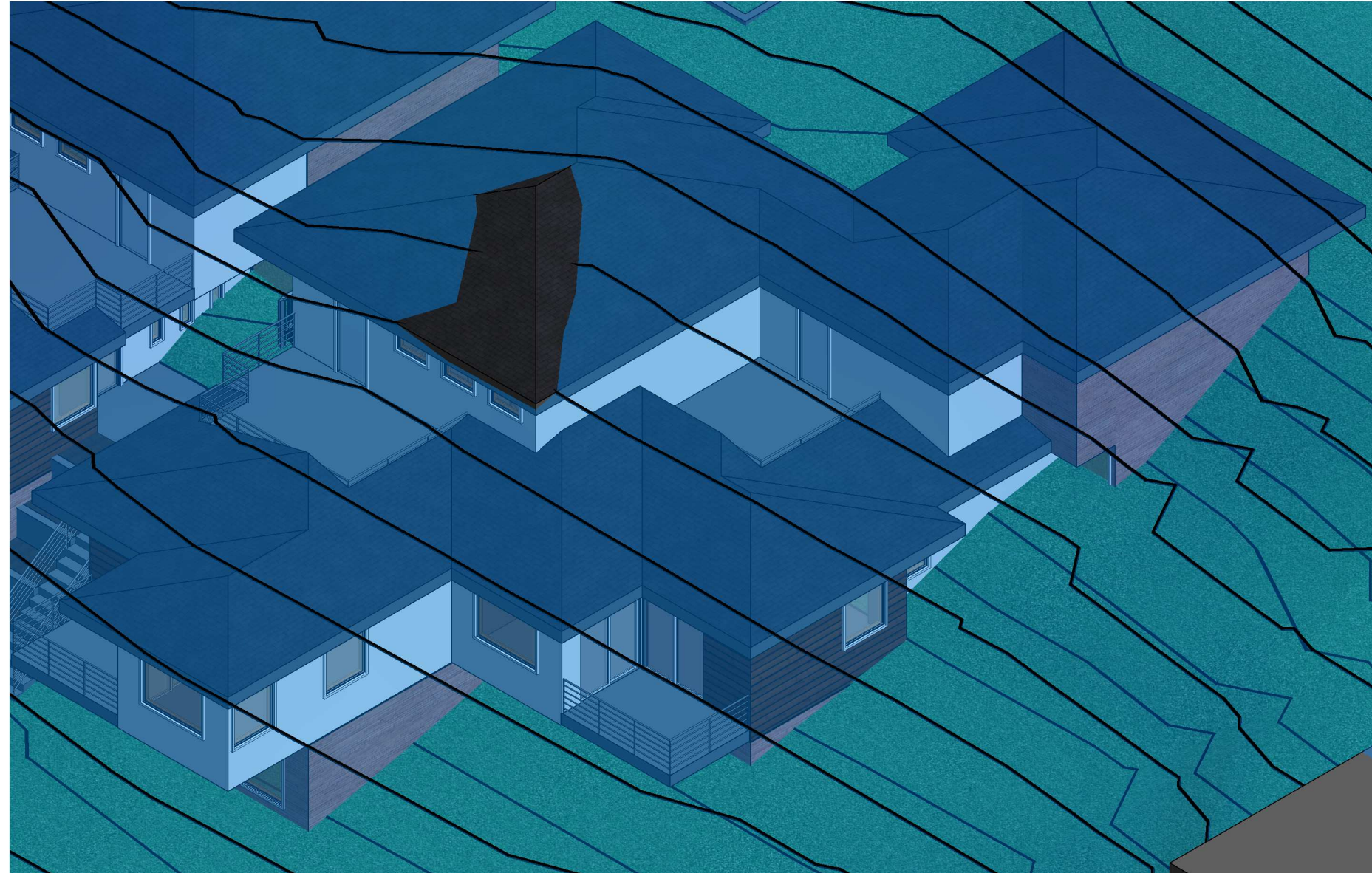
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LOT 9 & 10 SECTIONS

Project number		9 & 10 D
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



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EVO

LOT 9 & 10 ISO

Project number		9 & 10 E
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	



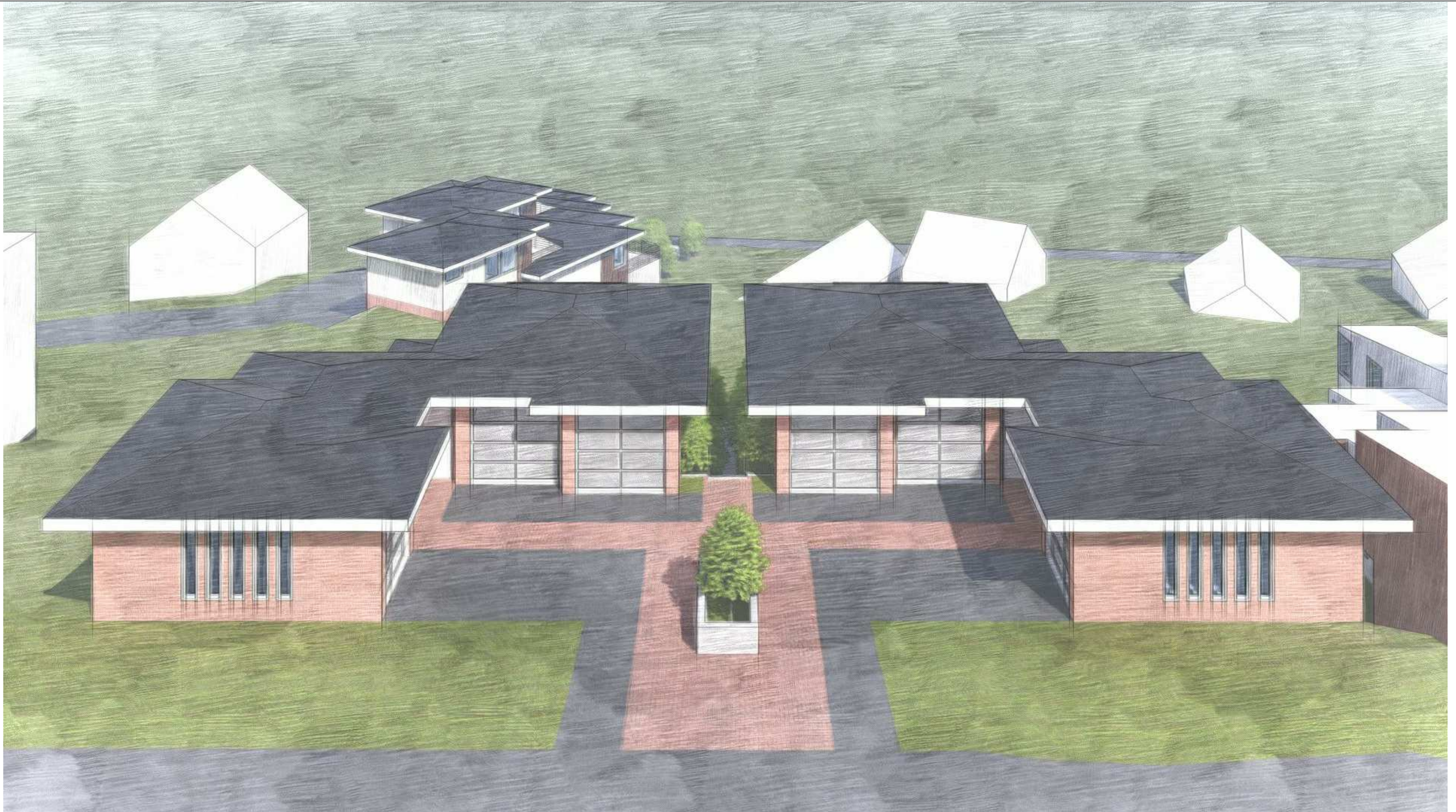
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LOT 9 & 10 RENDERING

Project number		9 & 10 F1
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	



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LOT 9 & 10 RENDERING

Project number		9 & 10 F2
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	Scale



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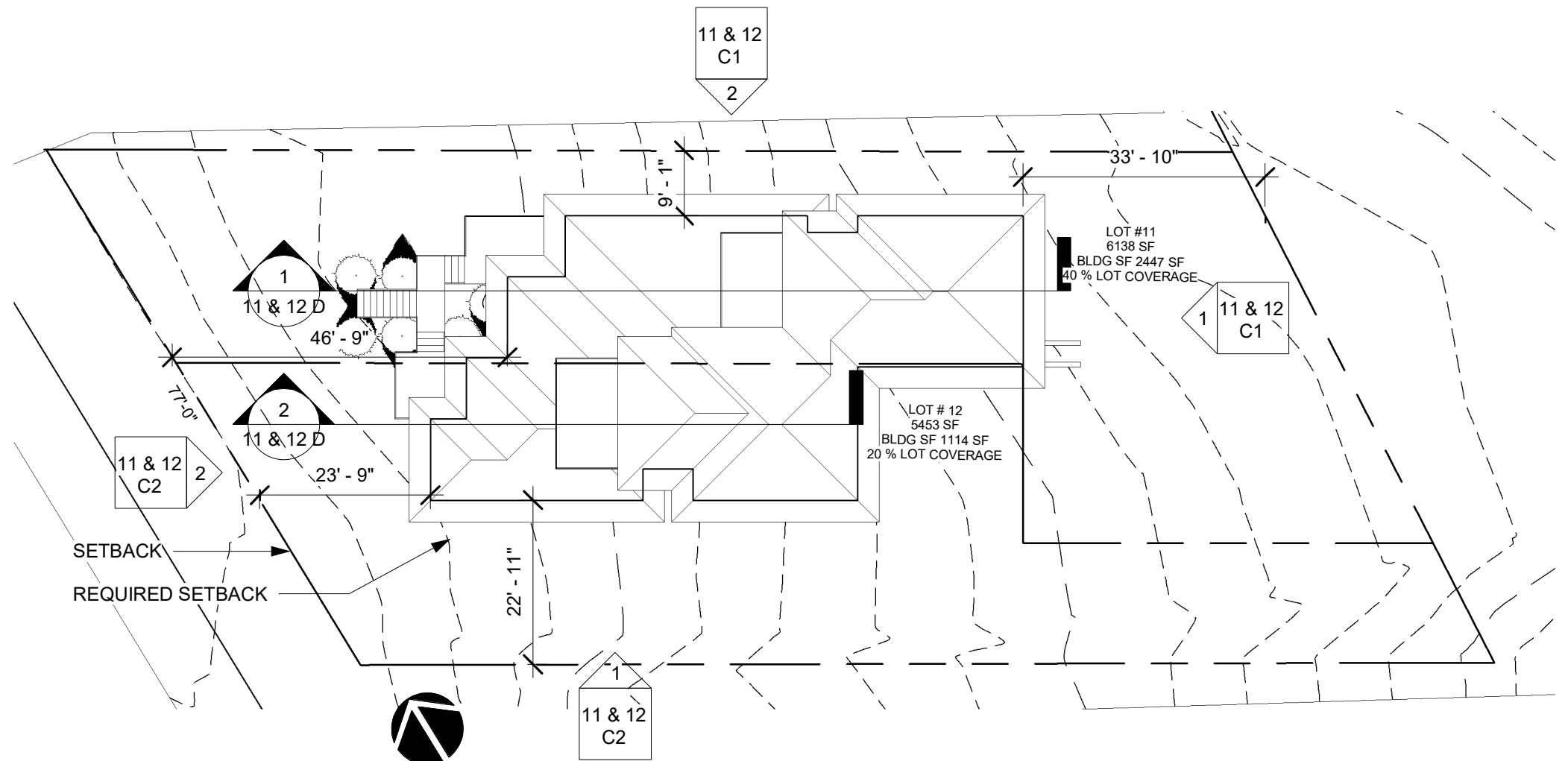
EVO

LOT 9 & 10 RENDERING

Project number		9 & 10 F3
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	

LOT 11		
SETBACKS	REQUIRED	PROPOSED
FRONT SETBACK	20' - 0"	46' - 9"
SIDEYARD NORTH	10' - 0"	9' - 1"
SIDEYARD SOUTH	0' - 0"	0' - 0"
REAR SETBACK	20' - 0"	33' - 10"
HEIGHT VARIANCE	23' - 0"	0' - 0"

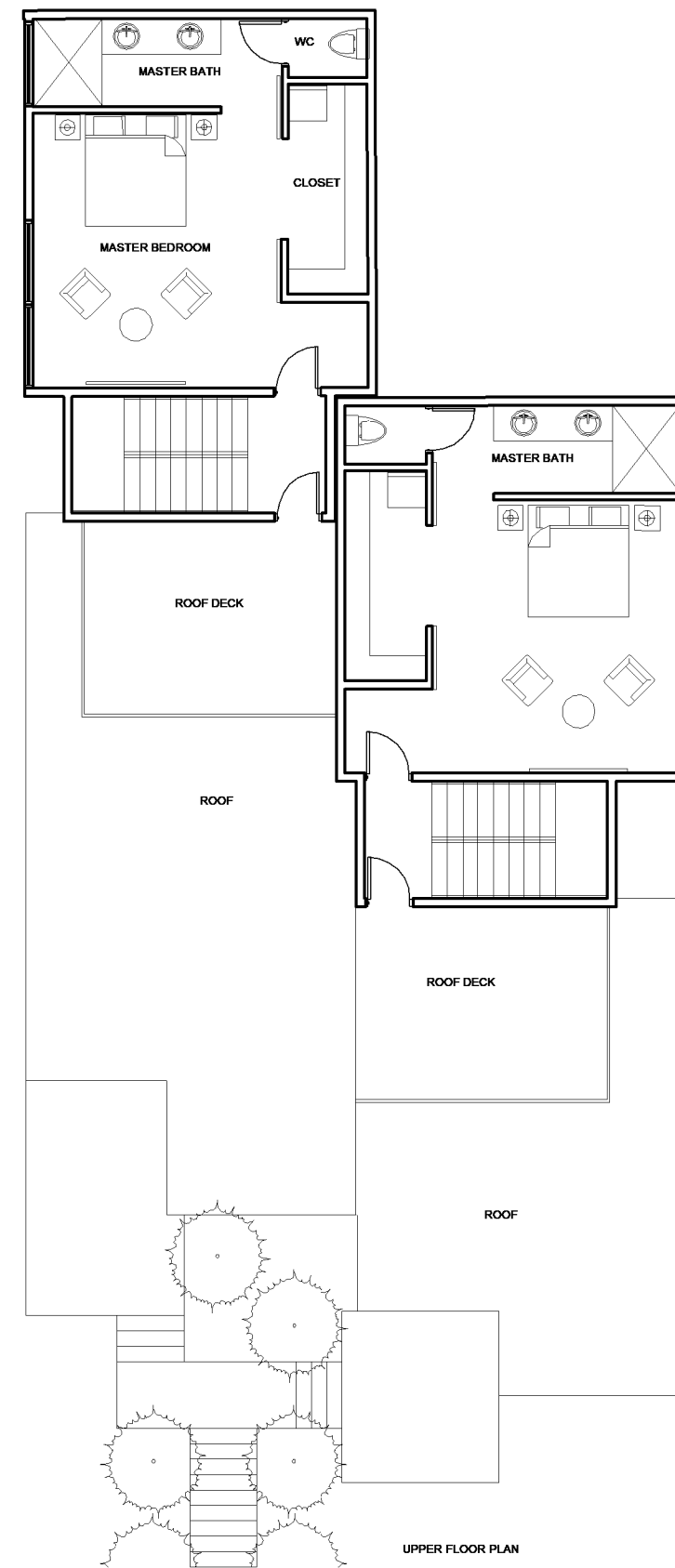
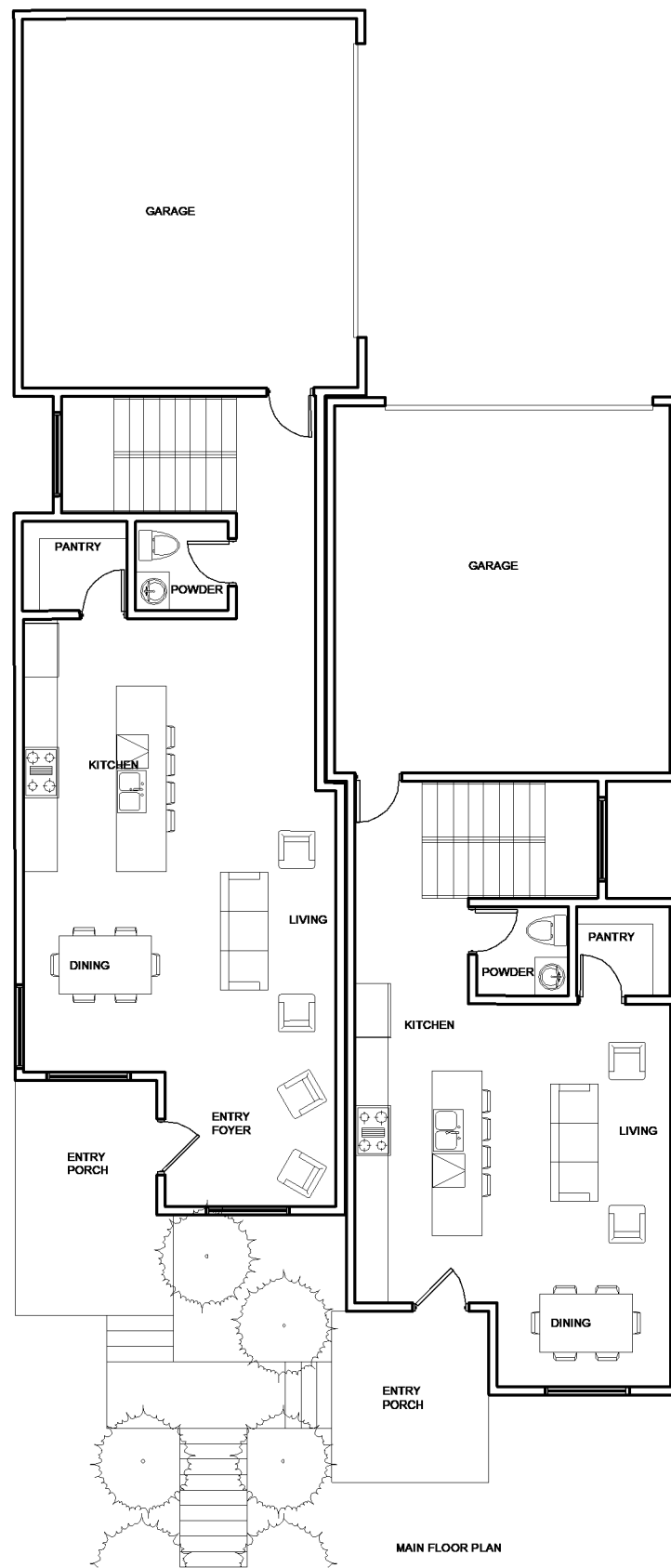
LOT 12		
SETBACKS	REQUIRED	PROPOSED
FRONT SETBACK	20' - 0"	23' - 9"
SIDEYARD NORTH	0' - 0"	0' - 0"
SIDEYARD SOUTH	10' - 0"	22' - 11"
REAR SETBACK	20' - 0"	79' - 9"
HEIGHT VARIANCE	23' - 0"	1' - 0"



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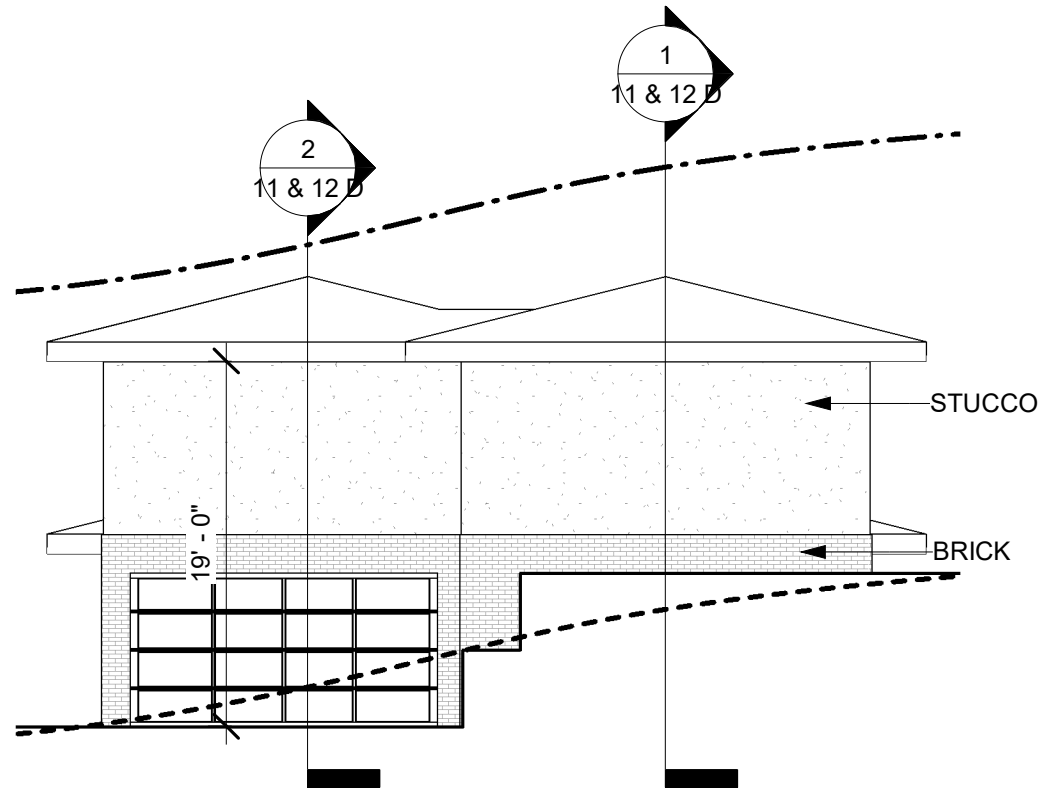
LOT 11 & 12 SITE PLAN		
Project number		11 & 12 A
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
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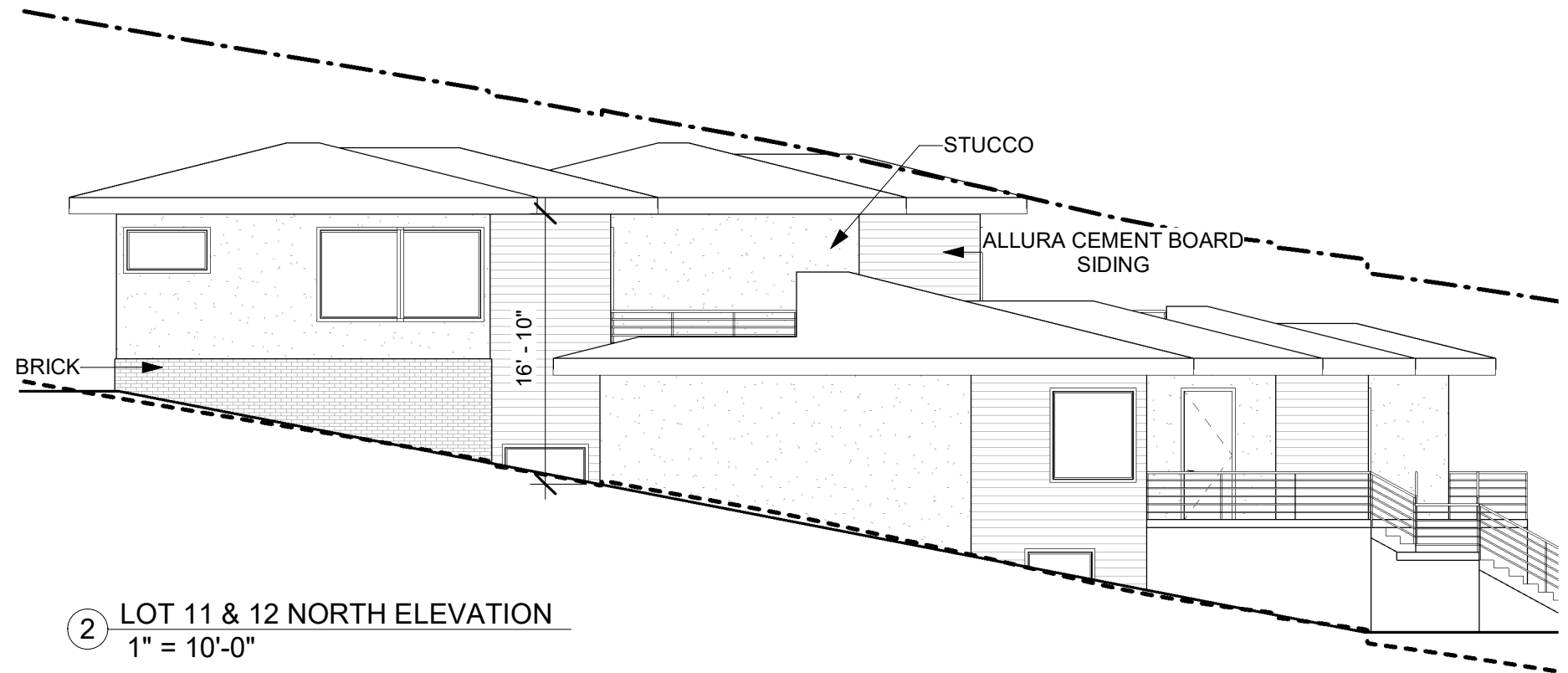
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EVO

LOT 11 & 12 FLOOR PLANS		
Project number		11 & 12 B
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale 3/32" = 1'-0"



① LOT 11 & 12 EAST ELEVATION
1" = 10'-0"



② LOT 11 & 12 NORTH ELEVATION
1" = 10'-0"

GRADE LEGEND

- FINAL GRADE
- - - EXISTING GRADE (ESTABLISHED)
- · - · - 23' OFFSET LINE

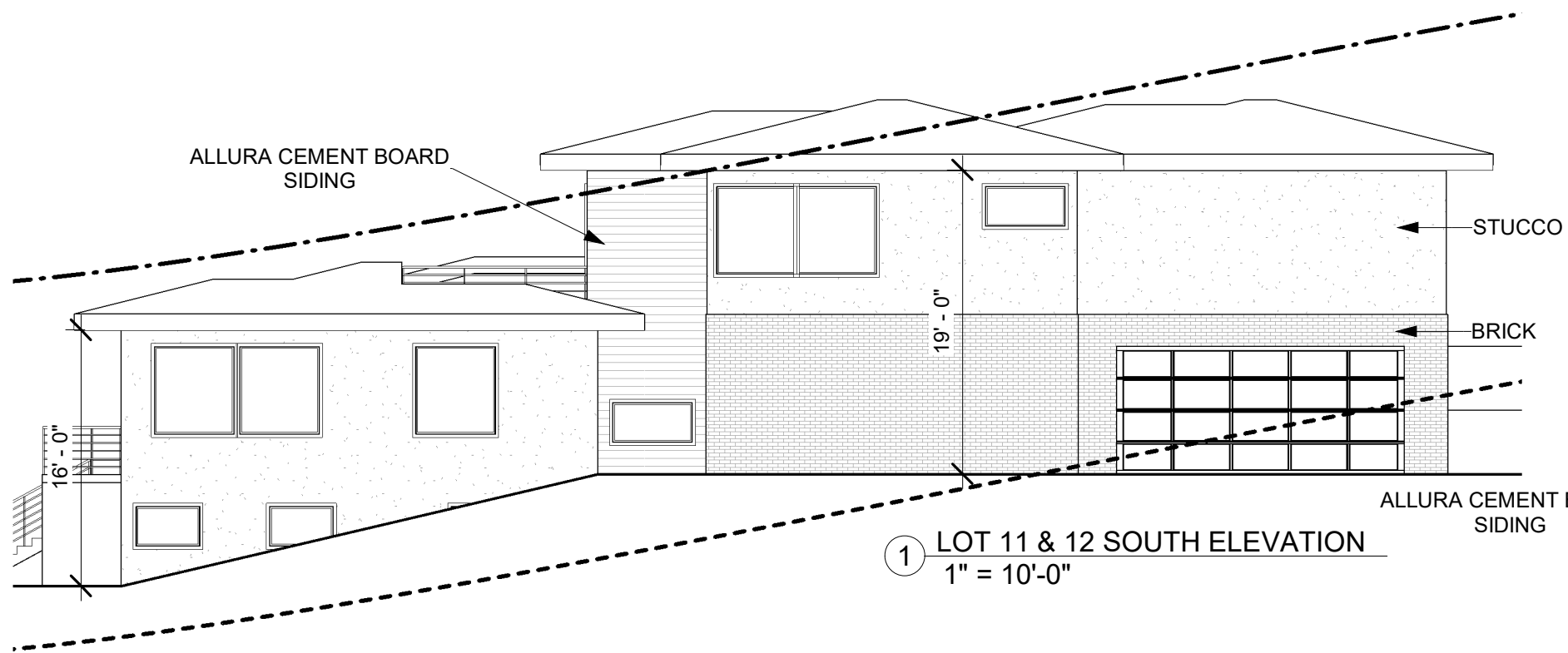


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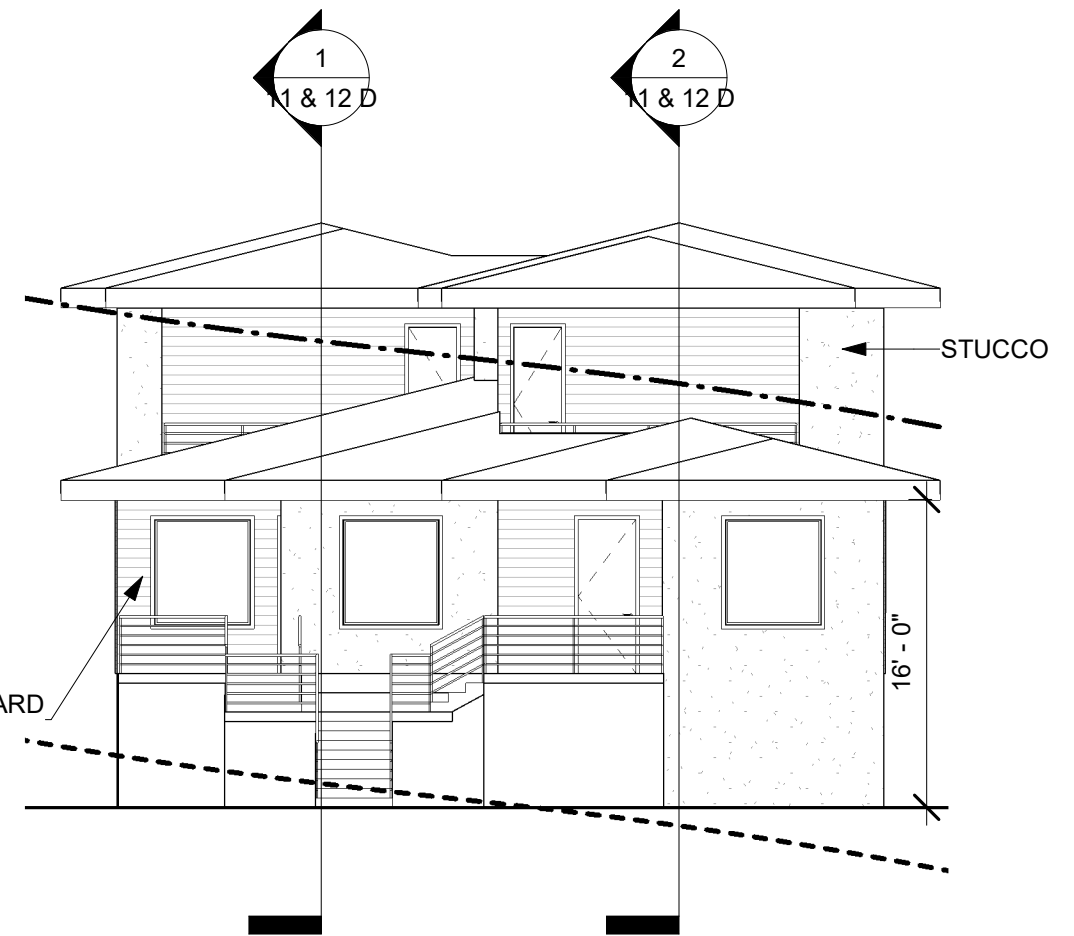
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LOT 11 & 12 ELEVATIONS		
Project number		11 & 12 C1
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



① LOT 11 & 12 SOUTH ELEVATION
1" = 10'-0"



② LOT 11 & 12 WEST ELEVATION
1" = 10'-0"

GRADE LEGEND

- FINAL GRADE
- EXISTING GRADE (ESTABLISHED)
- · - · - 23' OFFSET LINE

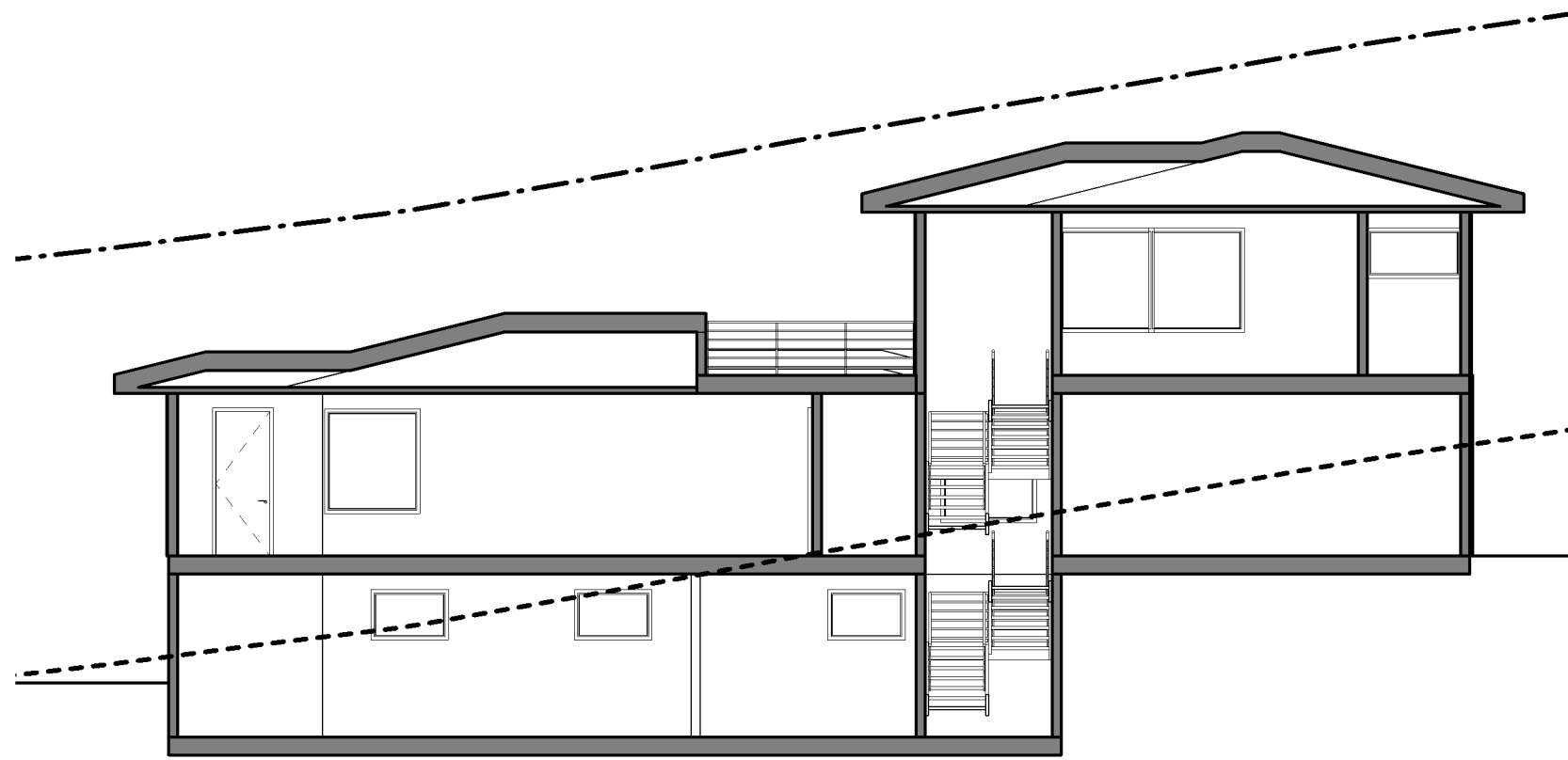


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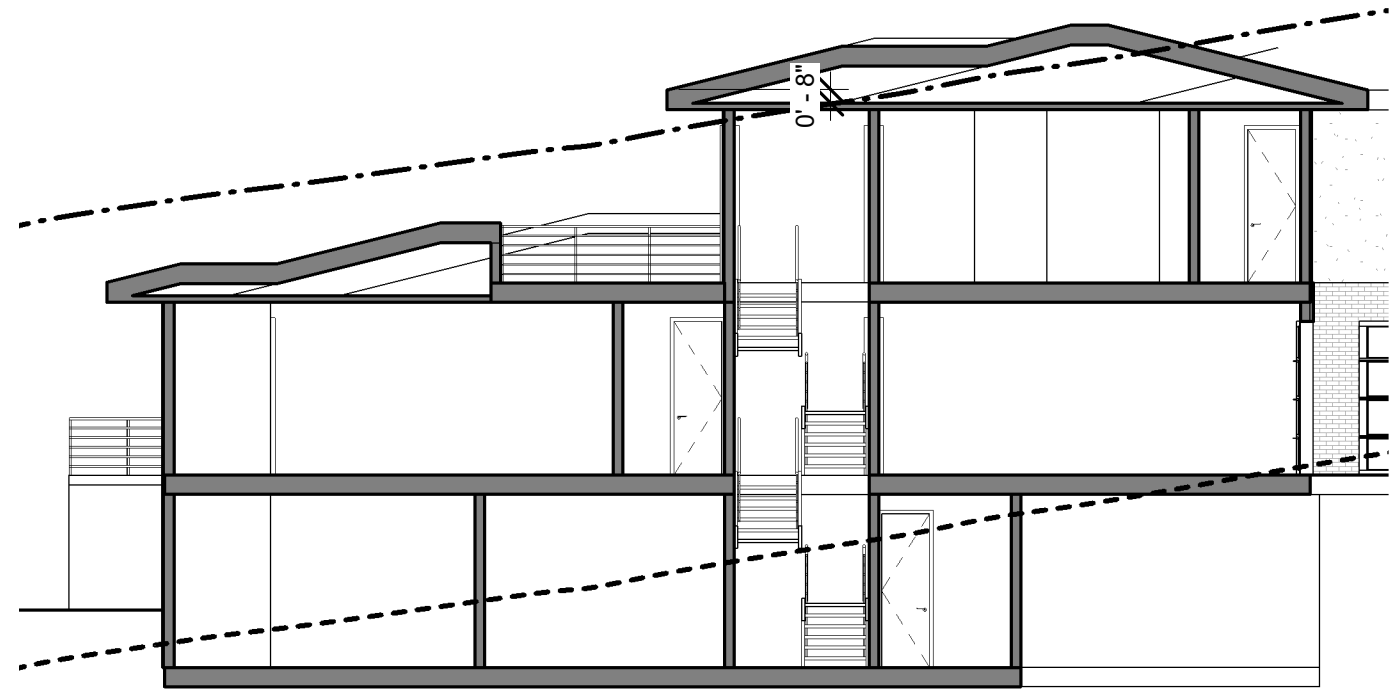
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LOT 11 & 12 ELEVATIONS		
Project number		11 & 12 C2
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



① LOT #11 SECTION
1" = 10'-0"



② LOT #12 SECTION
1" = 10'-0"

GRADE LEGEND

- FINAL GRADE
- - - - EXISTING GRADE (ESTABLISHED)
- · - · 23' OFFSET LINE



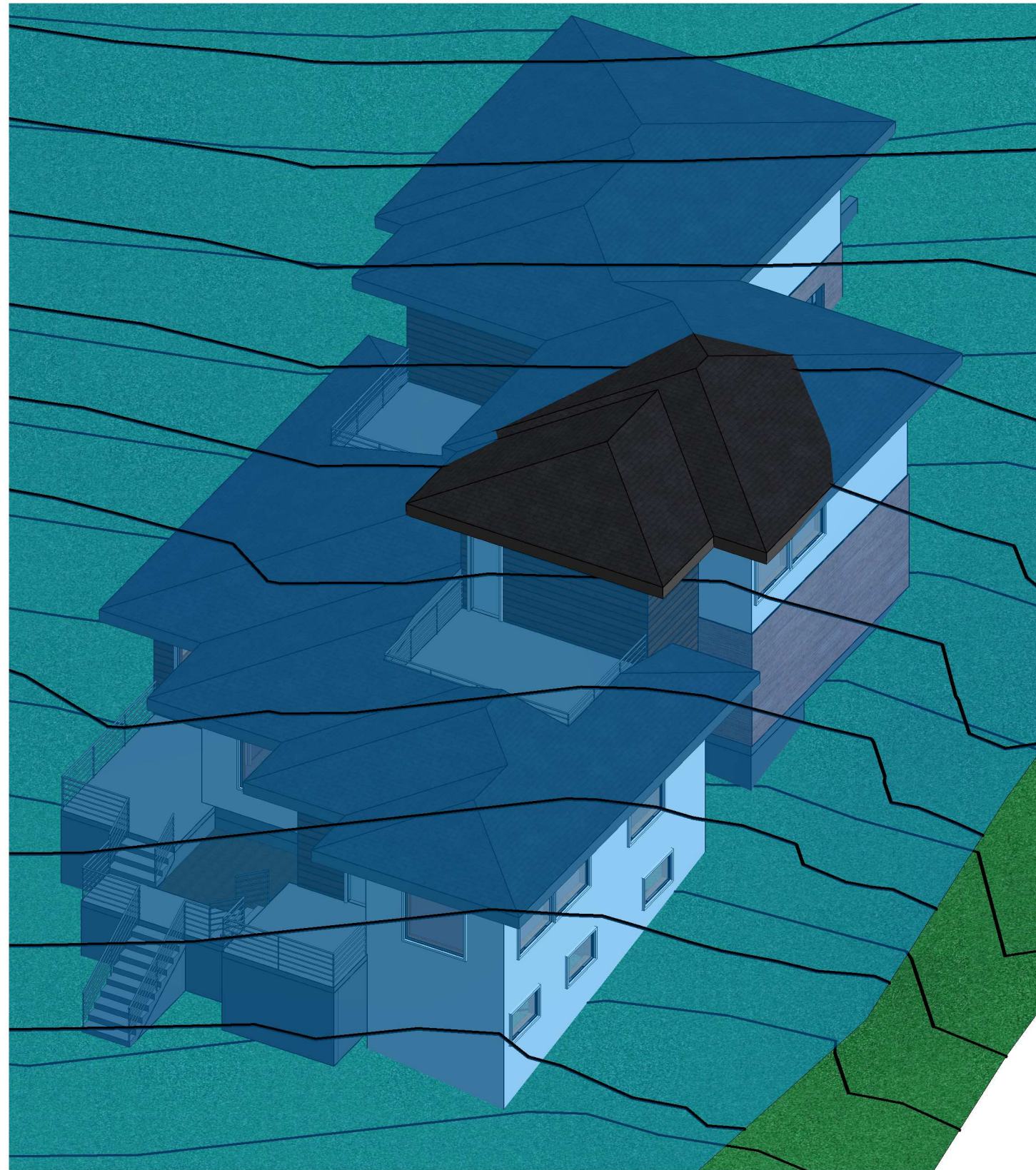
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LOT 11 & 12 SECTIONS

Project number		11 & 12 D
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
Scale As indicated		



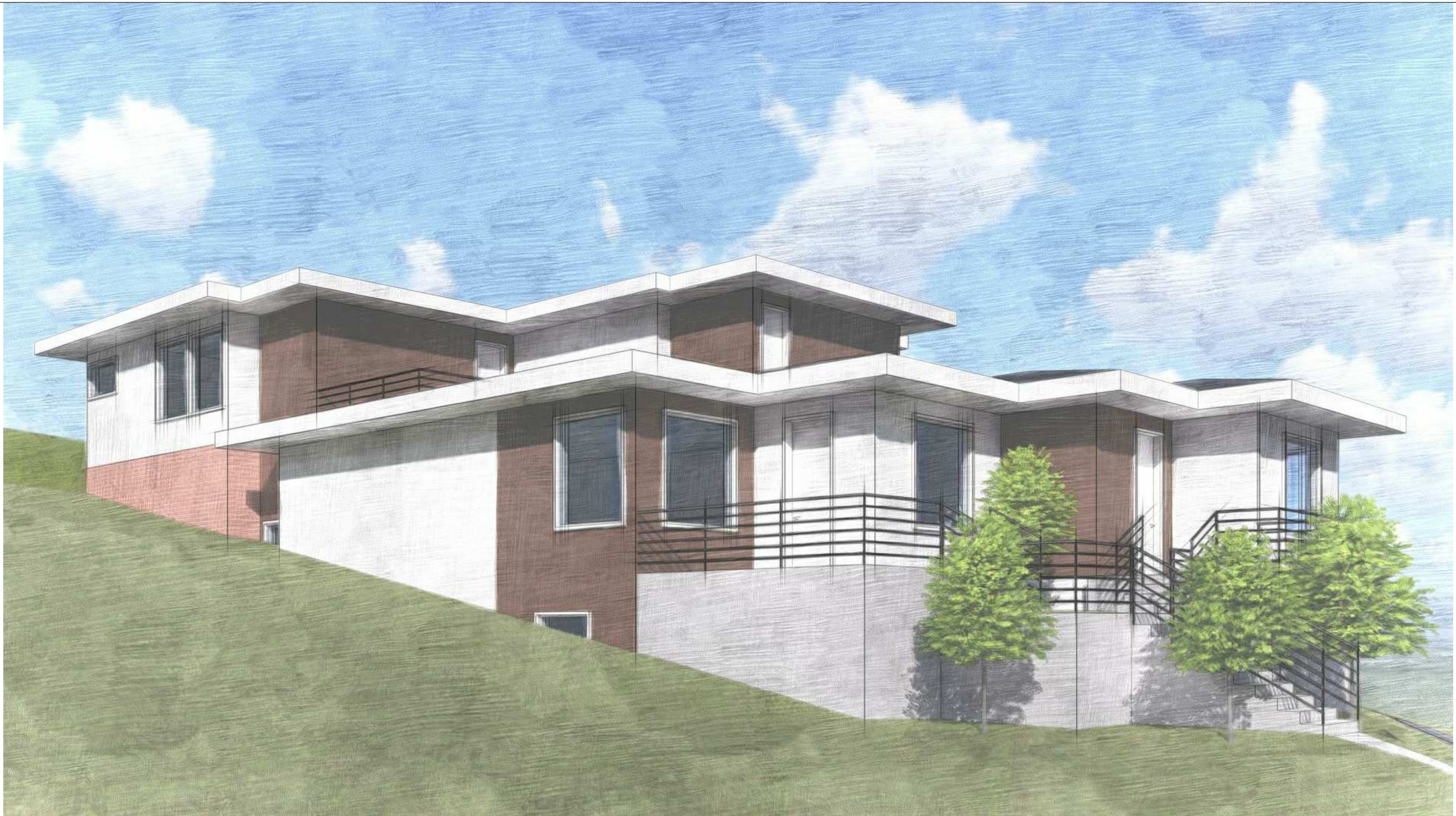
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LOT 11 & 12 ISO

Project number		11 & 12 E
Date	1-22-19	
Drawn by		
Checked by		
Scale		



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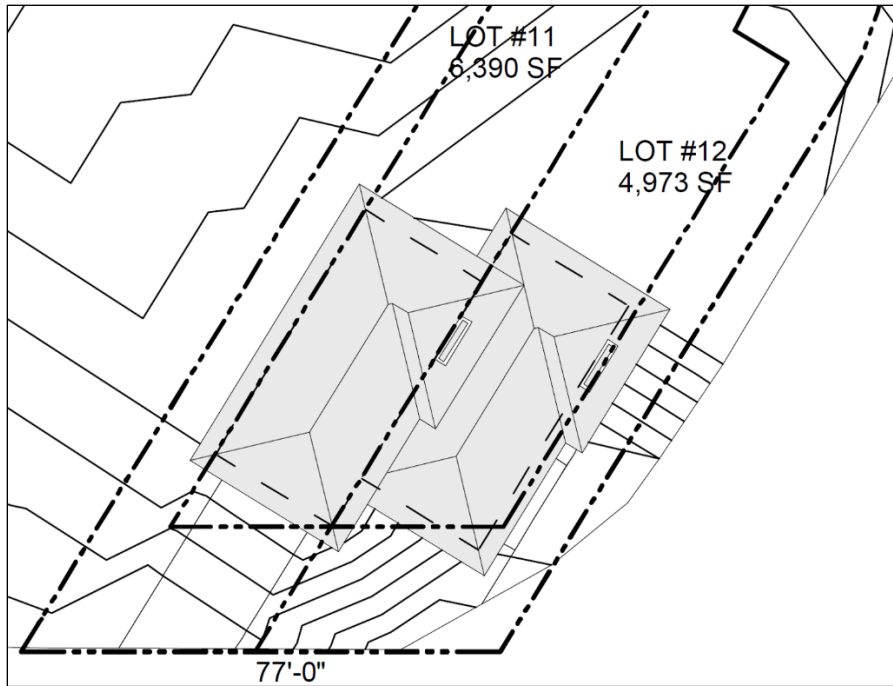
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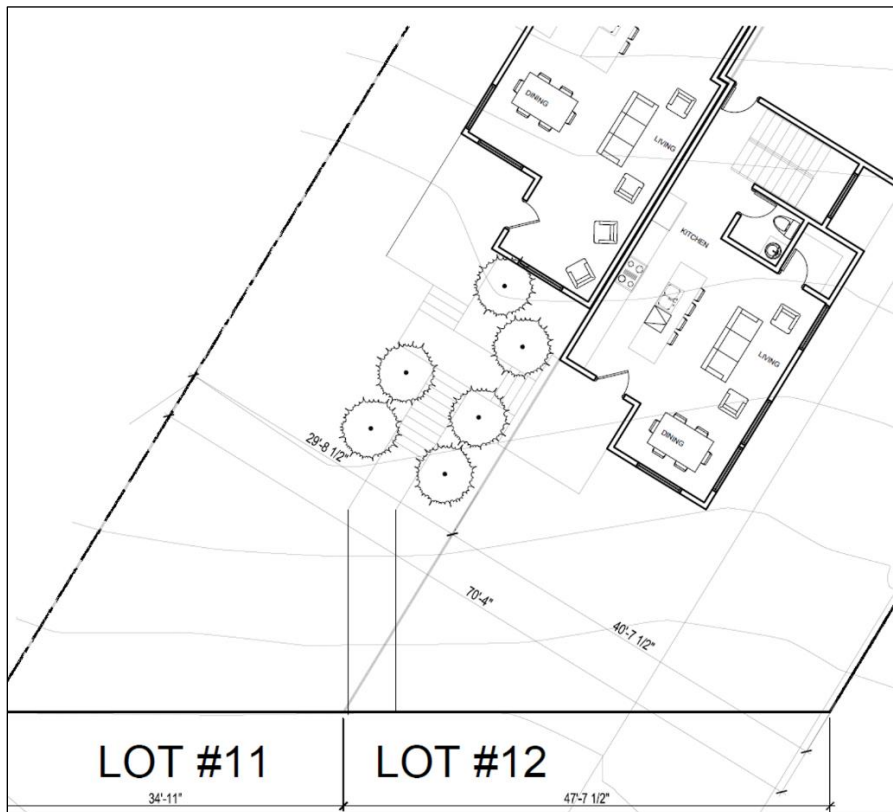
LOT 11 & 12 RENDERING

Project number		11 & 12 F
Date	1-22-19	
Drawn by	Author	
Checked by	Checker	
	Scale	

REVISED LOT WIDTHS, BUILDING SETBACKS, LOCATION & WIDTH – LOTS 11 & 12



PREVIOUS



CURRENT

ATTACHMENT F: SR-1A ZONING STANDARDS & SPECIAL EXCEPTION STANDARDS – REVIEW

The proposals are reviewed in relation to the Historic Design Standards and Design Guidelines in Attachment G of this report.

Existing Condition

The development site currently comprises two vacant lots.

Zoning Ordinance Standards for SR-1A (Special Development Pattern Residential District) (21A.24.180)

Purpose Statement: The purpose of the SR-1 special development pattern residential district is to maintain the unique character of older predominantly single-family and two-family dwelling neighborhoods that display a variety of yards, lot sizes and bulk characteristics. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

Standard	Proposed	Finding
Minimum Lot Area: 4000 sq ft	4250 SF x 7 6704 SF x 1 6722 SF x 1 6788 SF x 1 6334 SF x 1 4870 SF x 1	Complies
Minimum Lot Width: 25 ft	Darwin - 29 ft 2 ins x 7 - 35 ft x 1 W Capitol - 34 ft 7 ins x 1 - 35 ft x 1 - 49 ft x 1 - 50 ft x 1	Complies
Setbacks: Front Yard - Average or 20 ft	See Attachment E – Special Exception Table	Complies
Inner Side Yards - 10 ft one side & 0 ft other	See Attachment E – Special Exception Table	Special Exception Required
Rear Yard: 25% lot depth - need not exceed 30 ft	See Attachment E – Special Exception Table	Complies
Maximum Building Height for Pitched Roof – 23 ft	See Attachment E – Special Exception Table	Special Exception Required
Wall Height at adjacent interior side yard – 16 ft	See Attachment E – Special Exception Table	Special Exception Required
Maximum Building Coverage: 40% of lot area	<40%/40%	Complies

Historic Landmark Commission - Jurisdiction & Authority relating to Special Exceptions (21A.06.050.C.6)

The Historic Landmark Commission has the jurisdiction and authority to review and approve or deny certain special exceptions for properties located within an H historic preservation overlay district. The certain special exceptions are listed as follows:

- a. Building wall height;
- b. Accessory structure wall height;
- c. Accessory structure square footage;
- d. Fence height;
- e. Overall building and accessory structure height;
- f. Signs pursuant to section [21A.46.070](#) of this title; and
- g. Any modification to bulk and lot regulations of the underlying zoning district where it is found that the underlying zoning would not be compatible with the historic district and/or landmark site.

Zoning Ordinance Definition & Standards for Special Exceptions – 21A.52.060

Special Exception Definition

A "special exception" is an activity or use incidental to or in addition to the principal use(s) permitted in a zoning district or an adjustment to a fixed dimension standard permitted as exceptions to the requirements of this title of less potential impact than a conditional use but which requires a careful review of such factors as location, design, configuration and/or impacts to determine the desirability of authorizing its establishment on any given site.

Special Exception Standards

A. **Compliance with Zoning Ordinance and District Purposes:** The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.

Historic Preservation Overlay Purpose Statement: In order to contribute to the welfare, prosperity and education of the people of Salt Lake City, the purpose of the H historic preservation overlay district is to:

1. Provide the means to protect and preserve areas of the city and individual structures and sites having historic, architectural or cultural significance;
2. Encourage new development, redevelopment and the subdivision of lots in historic districts that is compatible with the character of existing development of historic districts or individual landmarks;
3. Abate the destruction and demolition of historic structures;
4. Implement adopted plans of the city related to historic preservation;
5. Foster civic pride in the history of Salt Lake City;
6. Protect and enhance the attraction of the city's historic landmarks and districts for tourists and visitors;
7. Foster economic development consistent with historic preservation; and
8. Encourage social, economic and environmental sustainability.

SR-1A Purpose Statement: The purpose of the SR-1 special development pattern residential district is to maintain the unique character of older predominantly single-family and two-family dwelling neighborhoods that display a variety of yards, lot sizes and bulk characteristics. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

Special Exceptions Sought & Findings

The special exceptions sought are detailed in the application drawings and the associated special exception tables. They are summarized above and set out in detail in Attachments E.1 & 2. Special Exception approval is sought for this development for both building height and wall height, and for side yard setbacks. Additionally, the development of the site will require extensive excavation and regrading, requiring special exception approval for changes in grade in excess of four feet in the case of each of the new buildings.

Building Height:

Specifically, seven of the proposed residential units exceed maximum building height ranging from 1 foot to 6 feet.

Wall Height:

In terms of wall height, each of the buildings on one or two facades exceed the maximum wall height ranging from 10 inches to 8 feet.

The steep topography from west to east on this site, with an elevational gain of c.70 feet, creates significant challenges in designing a series of buildings to comply in all respects with the SR-1A maximum building and wall heights. Given that context though, the proposed buildings are designed to be generally close to the basic zoning standards, coupled with a conscious design objective to vary the roof heights and profiles to create an eclectic and more characteristic series of buildings. Staff would conclude that the proposals, in terms of building and wall heights, would be in harmony with the general and specific purposes of the residential zone and historic preservation overlay.

Side Yard Setbacks:

Building side yard setbacks would meet zoning requirements for three lots, and in the case of nine would not meet the zoning maximum where side yard setback is required. The proposed reduction in side setbacks ranges from 5 feet on seven lots to a matter of inches on two lots. The latter two lots are the infill lots on West Capitol St. where current proposals are designed to virtually meet the setback requirements. The greater reductions sought are for the side yard setback requirements on the cluster of buildings along Darwin Street, where the development proposals essentially establish a street facade where none currently exists, and where the placement of the buildings would not directly impact adjacent development. Staff would conclude that the proposals, in terms of side yard setbacks, would be in harmony with the general and specific purposes of the residential zone and historic preservation overlay.

Building Coverage:

All proposed residential units meet and are mostly well within the SR-1A building coverage maximum of 40%. No special exception approval would be required.

Front Yard Setbacks:

Along Darwin Street the building frontage for the eight units alternates between c.6 feet to c.29 feet front setback creating an average 17 feet front yard setback. The proposal effectively creates a front setback average where one is currently ill-defined, and in its relationship to and creation of the generic 20 feet or average standard, would not require a specific special exception approval. This alternating building placement creates an articulation and modulation which helps to minimize the scale of each building, avoids a continuous building wall which would be out of character in this 'semi-urban' setting. The varied street frontage helps to frame and enclose vehicular access and garage doorways, and a reinterpretation of the generally eclectic character of this setting.

On West Capitol Street the proposed building frontage is staggered to reduce the impression of building scale and to enhance the visual compatibility with the immediate largely single family scale and proximity. Setbacks proposed are approximately 24 feet and 47 feet. A definable average in the current context would be approximately 45 feet, from a range between 21 feet and 79 feet. No special exception approval would be required in the context of front yard setbacks proposed for West Capitol St.

- B. No Substantial Impairment of Property Value:** The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.

Historic Preservation Overlay Purpose Statement:

The purposes of the H Historic Preservation Overlay is outlined above.

SR-1A Purpose Statement:

The purpose of the SR-1 special development pattern residential district are outlined above.

Finding

The proposed development has been redesigned to reduce unit and building density on the site and to pull the proposed buildings away from neighboring buildings. No additional private road is now proposed. The development of this open, unmanaged and vacant site can be viewed as an improvement of the immediate context, and an improvement which should reflect, complement and enhance the established character of the setting. Overall, the proposals should not diminish or impair neighborhood property values. Staff would conclude that proposals in this context would meet this standard.

- C. No Undue Adverse Impact:** The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.

Historic Preservation Overlay Purpose Statement:

The purposes of the H Historic Preservation Overlay is outlined above.

SR-1A Purpose Statement:

The purpose of the SR-1 special development pattern residential district are outlined above.

Finding

The proposals, in Staff's evaluation, are designed with particular reference to the existing pattern of settlement, lots and buildings despite being designed for an extremely challenging site. Siting of proposed buildings appears to respect existing patterns by concentrating development away from the existing buildings to a notable extent, and to be generally designed in character and in scale with the context. Staff would conclude that the proposals would have no material adverse effect upon area character, or upon public health, safety or general welfare. This standard is met.

- D. **Compatible with Surrounding Development:** The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.

Historic Preservation Overlay Purpose Statement:

The purposes of the H Historic Preservation Overlay is outlined above.

SR-1A Purpose Statement:

The purpose of the SR-1 special development pattern residential district are outlined above.

Finding

The proposals appear to be considered in the context of the use and development of neighboring property and to achieve a design compatibility with that character and setting. Exceptions sought are limited, given the constraints of this site, and in many respects should help to harmonize the proposals with existing surroundings. In that context the proposals would meet this special exception standard.

- E. **No Destruction of Significant Features:** The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.

Historic Preservation Overlay Purpose Statement:

The purposes of the H Historic Preservation Overlay is outlined above.

SR-1A Purpose Statement:

The purpose of the SR-1 special development pattern residential district are outlined above.

Finding

This development site includes an elevation rise of c.70 feet between West Capitol to Darwin Street. The majority of this comprises previously worked and altered terrain across an original gradient, which appears to include nothing of significant importance. Development of the two lots will require extensive regrading of this site. Staff is not aware of the destruction of natural, scenic or historic features of significant importance resulting from the current proposals. Reviewed in the context of the purpose and standards for the historic district overlay, the proposals would not have an adverse impact, and this special exception standard is met.

- F. **No Material Pollution of Environment:** The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.

Historic Preservation Overlay Purpose Statement:

The purposes of the H Historic Preservation Overlay is outlined above.

SR-1A Purpose Statement:

The purpose of the SR-1 special development pattern residential district are outlined above.

Finding

The proposals are not thought to be a likely source of any material pollution of the environment. In relation to the purpose and standards for the historic overlay district Staff would conclude that this standard is met.

- G. **Compliance with Standards:** The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.

Historic Preservation Overlay Purpose Statement:

The purposes of the H Historic Preservation Overlay is outlined above.

SR-1A Purpose Statement:

The purpose of the SR-1 special development pattern residential district are outlined above.

Finding

In relation to the purpose and standards for the historic district overlay, no additional standards of this chapter are identified by Staff, and in that respect this special exception standard is met.

ATTACHMENT G: STANDARDS & DESIGN GUIDELINES FOR NEW CONSTRUCTION IN AN HISTORIC DISTRICT

H Historic Preservation Overlay District – Standards for Certificate of Appropriateness for New Construction (21A.34.020.H)

In considering an application for a Certificate of Appropriateness involving new construction, or alterations of noncontributing structures, the Historic Landmark Commission, or Planning Director when the application involves the alteration of a noncontributing structure shall, using the adopted design guidelines as a key basis for evaluation, determine whether the project substantially complies with each of the following standards that pertain to the application to ensure that the proposed project fits into the established context in ways that respect and contribute to the evolution of Salt Lake City’s architectural and cultural traditions:

Design Guidelines for Historic Apartment & Multifamily Buildings in Salt Lake City, Chapter 12 New Construction, are the relevant historic design guidelines for this design review. The Design Objectives and related design guidelines are referenced in the following review where they relate to the corresponding Historic Design Standards for New Construction (21A.34.020.H), and can be accessed directly via the links below.

[Historic Apartment & Multifamily Buildings in Salt Lake City](#)

[Historic Apartment & Multifamily Buildings in Salt Lake City, Chapter 12 New Construction](#)

Design Standards for New Construction

Design Guidelines for New Construction

1. Settlement Patterns & Neighborhood Character

a. Block and Street Patterns

The design of the project preserves and reflects the historic block, street, and alley patterns that give the district its unique character. Changes to the block and street pattern may be considered when advocated by an adopted city plan.

b. Lot and Site Patterns

The design of the project preserves the pattern of lot and building site sizes that create the urban character of the historic context and the block face. Changes to the lot and site pattern may be considered when advocated by an adopted city plan.

c. The Public Realm

The project relates to adjacent streets and engages with sidewalks in a manner that reflects the character of the historic context and the block face. Projects should maintain the depth of yard and height of principal elevation of those existing on the block face in order to support consistency in the definition of public and semi-public spaces.

d. Building Placement

Buildings are placed such that the project maintains and reflects the historic pattern of setbacks and building depth established within the historic context and the block face. Buildings should maintain the setback demonstrated by existing buildings of that type constructed in the district or site's period of significance.

e. Building Orientation

The building is designed such that principal entrances and pathways are oriented such that they address the street in the pattern established in the historic context and the block face.

Site Design Guidelines

Street & Block Patterns

12.1 The plan of alleys and streets in a historic district is essential to its historic character and should be preserved.

- Most historic parts of the city developed in traditional grid patterns, with the exception of Capitol Hill which has a more irregular street pattern.
- In Capitol Hill, the street system initially followed the steep topography, and later a grid system was overlaid with limited regard for the topography.
- The grid plan also takes different forms, with for example the much tighter pattern of urban blocks in the Avenues being one its distinctive characteristics and attractions.
- Closing streets or alleys and aggregating lots into larger properties would adversely affect the integrity of the historic street pattern.
- Refer to the specific design guidelines for the historic district for additional detail. (PART III of these guidelines).

12.2 The role of the street pattern, including the layout of the individual block, as a unifying framework and setting for a variety of lot sizes and architecture, should be retained.

- The orientation, scale and form of a building has a role in supporting a coherent street pattern.

Building Placement and Orientation

12.3 When designing a new building, the historic settlement patterns of the district and context should be respected.

- A new building should be situated on its site in a manner similar to the historic buildings in the area.
- This includes consideration of building setbacks, orientation and open space. (See also the individual district guidelines in PART III.)

12.4 The front and the entrance of a primary structure should orient to the street.

- A new building should be oriented parallel to the lot lines, maintaining the traditional grid pattern of the block.
- An exception might be where early developments have introduced irregular or curvilinear streets, such as in Capitol Hill.

<p><u>2. Site Access, Parking & Services</u></p> <p>a. Site Access The design of the project allows for site access that is similar, in form and function, with patterns common in the historic context and the block face.</p> <p>(1) Pedestrian Safe pedestrian access is provided through architecturally highlighted entrances and walkways, consistent with patterns common in the historic context and the block face.</p> <p>(2) Vehicular Vehicular access is located in the least obtrusive manner possible. Where possible, garage doors and parking should be located to the rear or to the side of the building.</p> <p>b. Site and Building Services and Utilities. Utilities and site/building services (such as HVAC systems, venting fans, and dumpsters) are located such that they are to the rear of the building or on the roof and screened from public spaces and public properties.</p>	<p>General Design Guidelines</p> <p>Accessibility</p> <p>11.1 These guidelines should not prevent or inhibit compliance with laws on access.</p> <ul style="list-style-type: none"> • All new construction should comply completely with the ADA. • Owners of historic properties should comply to the fullest extent possible, while also preserving the integrity of the character-defining features of their buildings. • Special provisions for historic buildings exist in the law that allow some alternatives in meeting the ADA standards. <p>Mechanical Equipment</p> <p>11.2 The visual impacts of mechanical equipment as seen from the public way should be minimized.</p> <ul style="list-style-type: none"> • Mechanical equipment should be screened from view. • Ground mounted units should be screened with fences, walls, or hedges. • Where roof top units are visible, provide screening with materials that are compatible with those of the building itself. • Window air conditioning units should not be located on a primary facade. • Use low-profile mechanical units on rooftops to avoid visibility from the street or alley. • The visual impacts of utility connections and service boxes should be minimized. • Use smaller satellite dishes, mounted low to the ground, and away from front yards, significant building facades or highly visible roof planes when feasible. • Muted colors on telecommunications and mechanical equipment should be used to minimize appearance and blend with the background.
<p><u>3. Landscape and Lighting</u></p> <p>a. Grading of Land The site's landscape, such as grading and retaining walls, addresses the public way in a manner that reflects the character of the historic context and the block face.</p> <p>b. Landscape Structures Landscape structures, such as arbors, walls, fences, address the public way in a manner that reflects the character of the historic context and the block face.</p> <p>c. Lighting Where appropriate lighting is used to enhance significant elements of the design and reflects the character of the historic context and the block face.</p>	<p>Landscaping</p> <p>11.6 The use of traditional site structures is encouraged.</p> <ul style="list-style-type: none"> • Constructing retaining walls and fences that are similar in scale, texture and finish to those used historically is appropriate. • See also PART II, Ch.1 Site Features.

<p>4. Building Form and Scale a. Character of the Street Block The design of the building reflects the historic character of the street facade in terms of scale, composition, and modeling.</p> <p>(1) Height The height of the project reflects the character of the historic context and the block face. Projects taller than those existing on the block face step back their upper floors to present a base that is in scale with the historic context and the block face.</p> <p>(2) Width The width of the project reflects the character of the historic context and the block face. Projects wider than those existing on the block face modulate the facade to express a series of volumes in scale with the historic context and the block face.</p> <p>(3) Massing The shape, form, and proportion of buildings, reflects the character of the historic context and the block face.</p> <p>(4) Roof Forms The building incorporates roof shapes that reflect forms found in the historic context and the block face.</p>	<p>Building Scale Guidelines</p> <p>Mass & Scale</p> <p>12.5 A new building should be designed to reinforce a sense of human scale.</p> <ul style="list-style-type: none"> • A new building may convey a sense of human scale by employing techniques such as these: <ul style="list-style-type: none"> • Using building materials that are of traditional dimensions. • Providing a porch, in form and in depth, that is similar to that seen traditionally • Using a building mass that is similar in size to those seen traditionally. • Using a solid-to-void (wall to window/door) ratio that is similar to that seen traditionally. • Using window openings that are similar in size to those seen traditionally. <p>12.6 A new building should appear similar in scale to the established scale of the current street block.</p> <ul style="list-style-type: none"> • Larger masses should be subdivided into smaller “modules” similar in size to buildings seen traditionally, wherever possible. • The scale of principal elements such as porches and window bays is important in establishing and continuing a compatibility in building scale. <p>12.7 The roof form of a new building should be designed to respect the range of forms and massing found within the district.</p> <ul style="list-style-type: none"> • This can help to maintain the sense of human scale characteristic of the area. • The variety often inherent in the context can provide a range of design options for compatible new roof forms. <p>12.8 A front facade should be similar in scale to those seen traditionally in the block.</p> <ul style="list-style-type: none"> • The front facade should include a one-story element, such as a porch or other single-story feature characteristic of the context or the neighborhood. • The primary plane of the front facade should not appear taller than those of typical historic structures in the block. • A single wall plane should not exceed the typical maximum facade width in the district. <p>Height</p> <p>12.9 Building heights should appear similar to those found historically in the district.</p> <p>12.10 The back side of a building may be taller than the established norm if the change in scale would not be perceived from the public way.</p> <p>Width</p> <p>12.11 A new building should appear similar in width to that established by nearby historic buildings.</p> <ul style="list-style-type: none"> • If a building would be wider overall than structures seen historically, the facade should be divided into subordinate planes that are similar in width to those of the context. • Stepping back sections of wall plane helps to create an impression of similar width in such a case.
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5. Building Character
a. Facade Articulation and Proportion

The design of the project reflects patterns of articulation and proportion established in the historic context and the block face. As appropriate, facade articulations reflect those typical of other buildings on the block face. These articulations are of similar dimension to those found elsewhere in the context, but have a depth of not less than 12 inches.

(1) Rhythm of Openings

The facades are designed to reflect the rhythm of openings (doors, windows, recessed balconies, etc.) established in the historic context and the block face.

(2) Proportion and Scale of Openings

The facades are designed using openings (doors, windows, recessed balconies, etc.) of similar proportion and scale to that established in the historic context and the block face.

(3) Ratio of Wall to Openings

Facades are designed to reflect the ratio of wall to openings (doors, windows, recessed balconies, etc.) established in the historic context and the block face.

(4) Balconies, Porches, and External Stairs

The project, as appropriate, incorporates entrances, balconies, porches, stairways, and other projections that reflect patterns established in the historic context and the block face.

Building Scale Guidelines

Solid to Void Ratio

12.12 The ratio of wall-to-window (solid to void) should be similar to that found in historic structures in the district.

- Large surfaces of glass are usually inappropriate in residential structures.
- Divide large glass surfaces into smaller windows.

Building Form Guidelines

Form & Visual Emphasis

12.13 Building forms should be similar to those seen traditionally on the block.

- Simple rectangular solids are typically appropriate.
- These might characteristically be embellished by front porch elements, a variation in wall planes, and complex roof forms and profiles.

12.14 Roof forms should be similar to those seen traditionally in the block and in the wider district.

- Visually, the roof is the single most important element in the overall form of the building.
- Gable and hip roofs are characteristic and appropriate for primary roof forms in most residential areas.
- Roof pitch and form should be designed to relate to the context.
- Flat roof forms, with or without a parapet, are an architectural characteristic of particular building types and styles.
- In commercial areas, a wider variety of roof forms might be appropriate for residential uses.

Proportion & Emphasis of Building Façade Elements

12.15 Overall facade proportions should be designed to be similar to those of historic buildings in the neighborhood.

- The “overall proportion” is the ratio of the width to height of the building, especially the front facade.
- The design of principal elements of a facade, for example projecting bays and porches, can provide an alternative and balancing visual emphasis.
- See the discussions of individual historic districts (PART III), and the review of typical historic building styles (PART I, Section 4), for more details about facade proportions.

Rhythm & Spacing of Windows & Doors

12.16 The pattern and proportions of window and door openings should fall within the range associated with historic buildings in the area.

- This is an important design criterion, because these details directly influence the compatibility of a building within its context.
- Where there is a strong fenestration relationship between the current historic buildings, large expanses of glass, either vertical or horizontal, may be less appropriate in a new building.

<p><u>6. Building Materials, Elements and Detailing</u></p> <p>a. Materials Building facades, other than windows and doors, incorporate no less than 80% durable material such as, but not limited to, wood, brick, masonry, textured or patterned concrete and/or cut stone. These materials reflect those found elsewhere in the district and/or setting in terms of scale and character.</p> <p>b. Materials on Street-facing Facades The following materials are not considered to be appropriate and are prohibited for use on facades which face a public street: vinyl siding and aluminum siding.</p>	<p>Building Materials and Details</p> <p>Materials</p> <p>12.17 Use building materials that contribute to the traditional sense of human scale of the setting.</p> <ul style="list-style-type: none"> • This approach helps to complement and reinforce the traditional palette of the neighborhood and the sense of visual continuity in the district. <p>12.18 Materials should have a proven durability for the regional climate and the situation and aspect of the building.</p> <ul style="list-style-type: none"> • Materials which merely create the superficial appearance of authentic, durable materials should be avoided, e.g. fiber cement siding stamped with wood grain. • The weathering characteristics of materials become important as the building ages; they can either add to or detract from the building and setting, depending on the type and quality of material and construction, e.g. cedar shingles <p>12.19 New materials that are similar in character to traditional materials may be acceptable with appropriate detailing.</p> <ul style="list-style-type: none"> • Alternative materials should appear similar in scale, proportion, texture and finish to those used historically.
<p><u>6. Building Materials, Elements and Detailing</u></p> <p>c. Windows Windows and other openings are incorporated in a manner that reflects patterns, materials, and detailing established in the district and/or setting.</p>	<p>Windows</p> <p>12.20 Windows with vertical emphasis are encouraged.</p> <ul style="list-style-type: none"> • A general rule is that the height of a vertically proportioned window should be twice the dimension of the width in most residential contexts. • Certain styles and contexts, e.g. the bungalow form, will often be characterized by horizontally proportioned windows. • See also the discussions of the character of the relevant historic district (PART III) and architectural styles (Ch.4, PART I). <p>12.21 Window reveals should be a characteristic of most masonry facades.</p> <ul style="list-style-type: none"> • This helps to emphasize the character of the facade modeling and materials. • It should enhance the degree to which the building integrates with its historic setting. • It also helps to avoid the impression of superficiality which can be inherent in some more recent construction, e.g. with applied details like window surrounds. <p>12.22 Windows and doors should be framed in materials that appear similar in scale, proportion and character to those used traditionally in the neighborhood.</p> <ul style="list-style-type: none"> • Double-hung windows with traditional reveal depth and trim will be characteristic of most districts. • See also the rehabilitation section on windows (PART II, Ch.3) as well as the discussions of specific historic districts (PART III) and relevant architectural styles (PART I, Ch.4).

<p><u>6. Building Materials, Elements and Detailing</u> d. Architectural Elements and Details The design of the building features architectural elements and details that reflect those characteristic of the district and/or setting.</p>	<p>12.23 Building components should reflect the size, depth and shape of those found historically along the street.</p> <ul style="list-style-type: none"> • These include eaves, windows, doors, and porches, and their associated decorative composition and details. <p>12.24 Where they are to be used, ornamental elements, ranging from brackets to porches, should be in scale with similar historic features.</p> <ul style="list-style-type: none"> • The proportion of elements such as brackets for example should appear to be functional as well as decorative. <p>12.25 Contemporary interpretations of traditional details are encouraged.</p> <ul style="list-style-type: none"> • New designs for window moldings and door surrounds, for example, can provide visual interest and affinity, while helping to convey the fact that the building is new. • Contemporary details for porch railings and columns are other examples. • New soffit interest and visual compatibility, while expressing a new, complementary form or style. <p>12.26 The replication of historic styles is generally discouraged.</p> <ul style="list-style-type: none"> • Replication may blur the distinction between old and new buildings, clouding the interpretation of the architectural evolution of a district or setting. • Interpretations of a historic form or style may be appropriate if it is subtly distinguishable as new.
<p><u>7. Signage Location</u> Locations for signage are provided such that they are an integral part of the site and architectural design and are complimentary to the principal structure.</p>	<p>Not applicable to this project.</p>

ATTACHMENT H: DESIGN STANDARDS & GUIDELINES FOR NEW CONSTRUCTION - EVALUATION

H Historic Preservation Overlay District – Standards for Certificate of Appropriateness for New Construction (21A.34.020.H)

In considering an application for a Certificate of Appropriateness involving new construction, or alterations of noncontributing structures, the Historic Landmark Commission, or Planning Director when the application involves the alteration of a noncontributing structure shall, using the adopted design guidelines as a key basis for evaluation, determine whether the project substantially complies with each of the following standards that pertain to the application to ensure that the proposed project fits into the established context in ways that respect and contribute to the evolution of Salt Lake City’s architectural and cultural traditions:

The Design Guidelines for Historic Apartment & Multifamily Buildings in Salt Lake City, which include consideration of duplex type dwellings, Chapter 12 New Construction, are the relevant historic design guidelines for this design review. The Design Objectives and related design guidelines are referenced in the following review where they relate to the corresponding Historic Design Standards for New Construction (21A.34.020.H), and can be accessed directly via the links below.

[Historic Apartment & Multifamily Buildings in Salt Lake City](#)

[Historic Apartment & Multifamily Buildings in Salt Lake City, Chapter 12 New Construction](#)

Standard	Analysis	Finding
<p><u>1. Settlement Patterns & Neighborhood Character</u> a. Block and Street Patterns The design of the project preserves and reflects the historic block, street, and alley patterns that give the district its unique character. Changes to the block and street pattern may be considered when advocated by an adopted city plan.</p>	<p>MFDGs Design Objective - Block, Street & Site Patterns <i>The urban residential patterns created by the street and alley network, lot and building scale and orientation, are a unique characteristic of every historic setting in the city, and should provide the primary design framework for planning any new multifamily building.</i></p> <p>Refer to revised site plan which identifies the street and sidewalk relationship of the proposed development on Darwin and West Capitol Streets.</p> <p>The current development does not alter or add to the street pattern and retains the existing definition of the ‘historic street block’. Proposed development along and accessed from Darwin Street will create new street frontage and definition, and should enhance the coherence and character of the street pattern on this eastern edge of the Capitol Hill Historic District.</p>	<p>The proposals accord with the objectives of Std.1.a</p>

<p><u>1. Settlement Patterns & Neighborhood Character</u> b. Lot and Site Patterns The design of the project preserves the pattern of lot and building site sizes that create the urban character of the historic context and the block face. Changes to the lot and site pattern may be considered when advocated by an adopted city plan.</p>	<p>MFDGs Design Objective - Block, Street & Site Patterns <i>The urban residential patterns created by the street and alley network, lot and building scale and orientation, are a unique characteristic of every historic setting in the city, and should provide the primary design framework for planning any new multifamily building.</i></p> <p>Refer to the revised application drawing series, including site plan with identification of neighboring buildings, street elevations and photo-montages, sections through the development site, and sections through each proposed building.</p> <p>Subdivision The subdivision of the development lots provides for 6 buildings and 12 individual residences. General and specific placement and relationship of the buildings has evolved in several stages from the initially proposed pattern, in consultation with the Commission and the neighborhood, to the current more considered and refined configuration. The majority of the buildings are now concentrated in two symmetrically staggered formations off Darwin Street, pulled notably away from existing buildings to the west, the north and the south. The infill lots on West Capitol, closely related to existing buildings, reflect a similar lot configuration to that sequence, on slightly narrower lots. Each proposed lot includes a characteristic proportion of open space, with additional open area retained to north and south. As such, the arrangement of buildings within the wider open setting of this development site, should not disrupt the existing balance of building to open setting which is characteristic of this part of the historic district. Residential unit density proposed, at approx. 8.4 units per acre, falls within the 5-15 units identified and anticipated by the Capitol Hill Master Plan.</p> <p>Directional Expression The proposed lots facing West Capitol Street address the street at an angle, echoing the predominant existing pattern along this section of the street. The four building units and eight lots, addressing Darwin Street are perpendicular to this 240 ft frontage. This reflects the orientation of the adjacent apartment building and contrasts with the diagonal orientation of the few other lots in this vicinity, within a relatively eclectic settlement pattern. The proposed building footprints are staggered in an alternate placement and setback pattern, avoiding a continuous building wall which would be uncharacteristic of this context.</p> <p>Grading Development of the steepest slope on the site along Darwin Street will require substantial excavation of the existing grade to nestle the proposed buildings into this hillside and to generally reflect both existing and standard-prescribed building heights.</p>	<p>The proposed development would generally accord with the objectives of Std.1.b</p>
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<p><u>1. Settlement Patterns & Neighborhood Character</u> c. The Public Realm The project relates to adjacent streets and engages with sidewalks in a manner that reflects the character of the historic context and the block face. Projects should maintain the depth of yard and height of principal elevation of those existing on the block face in order to support consistency in the definition of public and semi-public spaces.</p>	<p>MFDGs Design Objective – The Public Realm <i>A new multifamily building should respect the characteristic placement, setbacks, massing and landscape character of the public realm in the immediate context and the surrounding district.</i></p> <p>Refer to the revised application drawing series, inc. site plan, street elevations and photo-montages, as well as sections through the overall site, and plans of and sections through each proposed building.</p> <p>Rhythm & Height of Spacing & Structures on the Street Established historic development patterns in the district, in particular where this engages with steeper topography, create a close relationship between each building and its immediate site. Buildings are rather set into the landscape, with more extensive open space than would be experienced across the western, more urban, sections of the Capitol Hill Historic District. The proposed development pattern and associated setbacks maintain the diagonal orientation of buildings along West Capitol St. while alternately stepping back the frontage of the dwellings, retaining front yard space and reducing apparent building scale, yet coping with a steep incline on each site. Building height and massing is varied, helping to integrate the proposed with the existing. Setbacks equate with the average created by the variable setbacks along this street frontage.</p> <p>On Darwin Street the 8 dwelling units are now arranged in two symmetrical groups, each of 4 units, framing a pedestrian and vehicular access court. The average front setback of the buildings equates closely with the zoning standard, yet should avoid creating the impression of a continuous ‘urban’ frontage despite the relatively close proximity of the residential units. Access courts include hardscape and a degree of planting, which is continued in the descending arrangement of joint pedestrian access between the buildings. Elevations on Darwin are limited to single story. New sidewalk is identified along Darwin St. where none currently exists.</p>	<p>The proposed development generally accords with the objectives of Std.1.c</p>
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<p><u>1. Settlement Patterns & Neighborhood Character</u></p> <p>d. Building Placement Buildings are placed such that the project maintains and reflects the historic pattern of setbacks and building depth established within the historic context and the block face. Buildings should maintain the setback demonstrated by existing buildings of that type constructed in the district or site's period of significance.</p> <p>e. Building Orientation The building is designed such that principal entrances and pathways are oriented such that they address the street in the pattern established in the historic context and the block face.</p>	<p>MFDGs Design Objective – Building Placement, Orientation & Use <i>A new multifamily building should reflect the established development patterns, directly address and engage with the street, and include well planned common and private spaces, and access arrangements.</i></p> <p>Refer to the revised site plan, street elevations & photo-montages, sections through the development site, and more detailed drawings for each proposed building.</p> <p>Walls of Continuity With recent revisions to the development site plan, individual building placement and building designs, the arrangement now more directly addresses each street. The established development pattern on West Capitol provides immediate reference and yet some scope for compatible setback, massing and design. Lot and building orientation as proposed tends to echo the existing diagonal pattern, yet steps back one unit alongside the other to temper the sense of width and scale. The buildings directly address the street, yet share driveway access and have distinct pedestrian pathways to entrances on the street frontage.</p> <p>The character of Darwin St. is one focused on the missing middle which this development proposal is potentially creating. Diagonal lot arrangement changes to perpendicular alongside this site on its south side, and perpendicular is the model adopted by the current proposals. Recent revisions now group the 8 dwelling units on Darwin into two groups of two units, each group centered upon a vehicular access court also providing pedestrian access to either an entrance on that level, or shared stairs to a common lower level landscaped entrance patio space. Building placement should ensure that the concentrated grouping of new buildings does not immediately read as such from the street. This should help to reduce the sense of the building scale and what might otherwise be a discordant continuous street façade, in a setting where that would be an uncharacteristic form. The proposed buildings are designed to address the street and yet to nestle into the site.</p>	<p>The proposed development would generally accord with the objectives of Stds.1.d & 1.e</p>
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<p><u>2. Site Access, Parking & Services</u> a. Site Access The design of the project allows for site access that is similar, in form and function, with patterns common in the historic context and the block face.</p> <p>(1) Pedestrian Safe pedestrian access is provided through architecturally highlighted entrances and walkways, consistent with patterns common in the historic context and the block face.</p> <p>(2) Vehicular Vehicular access is located in the least obtrusive manner possible. Where possible, garage doors and parking should be located to the rear or to the side of the building.</p>	<p>MFDGs Design Objective – Site Access, Parking & Services <i>The site planning and situation of a new multi-family building should prioritize access to the site and building for pedestrians and cyclists, motorized vehicular access and parking should be discreetly situated and designed, and building services and utilities should not detract from the character and appearance of the building, the site and the context.</i></p> <p>Refer to the revised site plan, street elevations / photo-montages, sections through the development site, and the detailed drawing set for each proposed building.</p> <p>Streetscape & Pedestrian Improvement The current revisions to the development proposals make a number of changes and/or clarifications to the site access arrangements. The four dwelling units facing onto West Capitol St. would use shared access drives and include a distinct shared pedestrian walkway to the buildings. The garages are placed to the rear of the buildings with doors facing the side, avoiding the visual impact of double car garages facing the street.</p> <p>On Darwin St., acknowledging design guidance and recent Commission concerns, the garage and vehicular access arrangements have been redesigned to create two enclosed garage courts. Garages closest to the street face the side and interior of the court and are designed with two doors, each on a different plane. The garages set back within the court are also designed with two garage doors, with one garage façade set behind the other. The design of each court includes attention to hardscape and planting, helping to engage with the street, and also helping to demarcate pedestrian access to both entrance doors on this level and descending common stairs beyond.</p>	<p>The proposed development would generally accord with the objectives of Stds.2.a.1 & 2.a.2</p>
<p><u>2. Site Access, Parking & Services</u> b. Site and Building Services and Utilities. Utilities and site/building services (such as HVAC systems, venting fans, and dumpsters) are located such that they are to the rear of the building or on the roof and screened from public spaces and public properties.</p>	<p>MFDGs Design Objective – Site & Building Services & Utilities <i>The visual impact of common and individual building services and utilities, as perceived from the public realm and nearby buildings, should be avoided or completely integrated into the design of the building.</i></p> <p>While details of specific arrangements for services and utilities do not form part of the current plans, this matter would be reviewed at the detailed planning approval and building permit stages. Such review will in part seek to ensure that utilities etc. detract from the appearance of the buildings and their relationship with the streets.</p>	<p>The proposed development would generally accord with the objectives of Std.2.b</p>
<p><u>3. Landscape and Lighting</u> a. Grading of Land The site’s landscape, such as grading and retaining walls, addresses the public way in a manner that reflects the character of the historic context and the block face.</p>	<p>MFDGs Design Objective – Front Yard Landscape <i>The design of residential and commercial front yard landscapes should contribute to a coherent and creative public realm.</i></p> <p>Substantial regrading of this site is anticipated to enable construction, provide building plan arrangements, private open space, and pedestrian and vehicular site access. Steep terracing of the site and the building units off Darwin Street creates a means to achieve low building heights facing the street, and then stepping the residence with the slope, accessed in part via designed common stairs descending to the lower floors of the buildings. These stairs become a shared landscaped focus for both groups of buildings off Darwin St. A series of retaining walls will be a feature of each site.</p>	<p>The proposed development would generally accord with the objectives of Std.3.a</p>

<p><u>3. Landscape and Lighting</u> b. Landscape Structures Landscape structures, such as arbors, walls, fences, address the public way in a manner that reflects the character of the historic context and the block face.</p>	<p>MFDGs Design Objective – Front Yard Landscape <i>The design of residential and commercial front yard landscapes should contribute to a coherent and creative public realm.</i></p> <p>Some consideration has been given to the landscape design of the access arrangements from West Capitol and from Darwin Streets. More detailed landscaping proposals will be reviewed at the detailed approval stage of the permitting process.</p>	<p>To the extent that information is available, the proposed development would generally accord with the objectives of Std.3.b</p>
<p><u>3. Landscape and Lighting</u> c. Lighting Where appropriate lighting is used to enhance significant elements of the design and reflects the character of the historic context and the block face.</p>	<p>MFDGs Design Objective – Landscape & Lighting <i>External lighting of the building and site should be carefully considered for architectural accent, for basic lighting of access and service areas, and to avoid light trespass.</i></p> <p>No specific information on lighting is currently available, but will be reviewed at the detailed approval stages.</p>	<p>Not currently addressed but will be reviewed in detail subsequently.</p>

<p>4. Building Form and Scale a. Character of the Street Block The design of the building reflects the historic character of the street facade in terms of scale, composition, and modeling.</p> <p>(1) Height The height of the project reflects the character of the historic context and the block face. Projects taller than those existing on the block face step back their upper floors to present a base that is in scale with the historic context and the block face.</p> <p>(2) Width The width of the project reflects the character of the historic context and the block face. Projects wider than those existing on the block face modulate the facade to express a series of volumes in scale with the historic context and the block face.</p> <p>(3) Massing The shape, form, and proportion of buildings, reflects the character of the historic context and the block face.</p> <p>(4) Roof Forms The building incorporates roof shapes that reflect forms found in the historic context and the block face.</p>	<p>MFDGs Design Objective - Building Form & Scale <i>The form, scale and design of a new multifamily building in a historic district should equate with and complement the established patterns of human scale characteristics of the immediate setting and/or broader context.</i></p> <p>MFDGs Design Objective - Height <i>The maximum height of a new multifamily building should not exceed the general height and scale of its historic context, or be designed to reduce the perceived height where a taller building might be appropriate to the context.</i></p> <p>Refer to the revised site plan, street elevations / photo-montages, sections through the development site, and the detailed drawing set for each proposed building.</p> <p>Height Following previous discussion, the basis of the ‘established grade’ across the site has been agreed with the City, and forms the basis for height definitions and special exception requests. The SR-1A zoning standards either provide a ceiling to building height, or combined with setting new buildings into this steep site, they provide a guide to what might be defined as an overall contextual building height and scale. Bearing in mind that a number of the existing buildings may fall outside these standards. The setting is characterized by a spectrum of building height and scale, providing a framework for potential compatibility in these respects. The proposed development adopts several roof forms, building heights and levels. The application description and drawings identify departures from the maximum zone heights as relatively minimal. As such, the building height, tempered by terracing to reflect the slope, is thought to accord with the building heights characterizing this context.</p> <p>MFDGs Design Objective - Width <i>The design of a new multifamily building should articulate the patterns established by the buildings in the historic context to reduce the perceived width of a wider building and maintain a sense of human scale.</i></p> <p>Width The building widths proposed are influence by the twin home configuration. At the same time the staggered arrangement of each joint unit effectively reduces and redefines the expression of building width to ensure that the full width of a twin home building would be rarely if ever appreciated from the street. The facades are effectively modulated and in this case to express a series of volumes, often by varying the setbacks from the street.</p> <p>Façade Proportion The context is characterized by a spectrum of building form and scale, while façade proportions also demonstrate considerable variety. Variation in proportion and massing has been employed to equate new building form and scale with the established context. At the same time, adopting a range of different building types helps to enhance the variety in façade proportions and also in the form and massing.</p> <p>Roof Shape Again a variety of roof shapes and forms can be defined within this context. In the proposals as revised, a variation in roof form and height, and thus building massing, has been employed as a medium to effectively reduce the sense of scale associated with the construction of this series of buildings. This should help to enhance their degree of compatibility with this setting.</p>	<p>The proposed development, in terms of the heights, widths, proportions, massing and roof forms proposed, and hence the range of building scales, should accord with the Form and Scale objectives of Stds.4.a.1, 2, 3 & 4</p>
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	<p>Scale of a Structure</p> <p>As defined above, there are a variety of ways to design a range of new buildings to integrate effectively with the existing character of the setting. Perhaps much of this translation hinges on just that, variety across the series of buildings, as achieved through the spectrum of building configuration, terracing, massing and design. The combination should help to enhance the compatibility of the perceived scale of this development, set as it is within this steep terrain and eclectic architectural context.</p>	
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<p>5. Building Character a. Façade Articulation and Proportion The design of the project reflects patterns of articulation and proportion established in the historic context and the block face. As appropriate, façade articulations reflect those typical of other buildings on the block face. These articulations are of similar dimension to those found elsewhere in the context, but have a depth of not less than 12 inches.</p> <p>(1) Rhythm of Openings The façades are designed to reflect the rhythm of openings (doors, windows, recessed balconies, etc.) established in the historic context and the block face.</p> <p>(2) Proportion and Scale of Openings The façades are designed using openings (doors, windows, recessed balconies, etc.) of similar proportion and scale to that established in the historic context and the block face.</p> <p>(3) Ratio of Wall to Openings Façades are designed to reflect the ratio of wall to openings (doors, windows, recessed balconies, etc.) established in the historic context and the block face.</p> <p>(4) Balconies, Porches, and External Stairs The project, as appropriate, incorporates entrances, balconies, porches, stairways, and other projections that reflect patterns established in the historic context and the block face.</p>	<p>MFDGs Design Objective - Façade Articulation, Proportion & Visual Emphasis <i>The design of a new multifamily building should relate sensitively to the established historic context through a thorough evaluation of the scale, modulation and emphasis, and attention to these characteristics in the composition of the façades.</i></p> <p>MFDGs Design Objective - Solid to Void Ratio, Window Scale & Proportion <i>The design of a new multifamily building in a historic context should reflect the scale established by the solid to void ratio traditionally associated with the setting and with a sense of human scale.</i></p> <p>MFDGs Design Objective - Fenestration <i>The window pattern, the window proportion and the proportion of the wall spaces between, should be a central consideration in the architectural composition of the façades, to achieve a coherence and an affinity with the established historic context.</i></p> <p>MFDGs Design Objective - Balconies & Entrance <i>The design of a new multifamily building in a historic context should recognize the importance of balcony and primary entrance features in achieving a compatible scale and character.</i></p> <p>Refer to the revised site plan, street elevations / photo-montages, and the detailed drawing set for each of the proposed buildings.</p> <p>The building designs have been revised. Variation in articulation, proportion and solid to void ratios are engaged in the composition of the revised designs. The degree of architectural variety has been revised to maintain varied forms, massing, and roof profiles within a more cohesive design approach. The degree of variety should help to avoid an uncharacteristic repetition and to integrate this new construction more readily within the eclectic character of this site and setting.</p> <p>In terms of the fenestration patterns, the scale and proportion of windows, and solid to void ratios, include echoes of existing character but, as revised, both define departures from and additions to that character. The development is designed to integrate and equate with the steep terrain, with building heights descending with the slope creating a sequence of residential balconies and decks.</p> <p>The sharply defined variations in level, access stairs, building massing and articulation, and the definition of projections, add visual complexity and interest, reducing the apparent scale of the buildings while settling them into each site. Current revisions have also stepped away from expansive open terraces, to integrate and frame the residential deck and balcony spaces within the form and massing of the building envelope, responding to previous Commission discussions.</p> <p>Design refinements on Darwin St. have reconfigured street frontage and garage disposition into two coherent garage access courts, which pivot the nearest street facing garages to face the interior and design all four garage doors in each court in a dual plane, and thus with two garage doors. In doing so the designs avoid the visual impact of a double garage door, reduce the perceived scale of the street façades, and create a more positive engagement with the new street frontage. Garage arrangements on West Capitol St. are now located to the rear of each building unit, avoiding street facing garage doors and using a joint driveway.</p>	<p>The proposed development, in its articulation, proportions, fenestration and solid to void ratio, accords with the objectives of Stds.5.a.1, 2, 3 & 4</p>
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<p><u>6. Building Materials, Elements and Detailing</u> a. Materials Building facades, other than windows and doors, incorporate no less than 80% durable material such as, but not limited to, wood, brick, masonry, textured or patterned concrete and/or cut stone. These materials reflect those found elsewhere in the district and/or setting in terms of scale and character. b. Materials on Street-facing Facades The following materials are not considered to be appropriate and are prohibited for use on facades which face a public street: vinyl siding and aluminum siding.</p>	<p>MFDGs Design Objective - Materials <i>The design of a new multifamily building should recognize and reflect the palette of building materials which characterize the historic district, and should help to enrich the visual character of the setting, in creating a sense of human scale and historical sequence.</i></p> <p>This context within the Capitol Hill Historic District is characterized by a palette of materials that includes brick, stucco, wood siding. The range of materials is reflected by the current development proposals, substituting fiber-cement for traditional wood siding. As employed with the variation in building design and configuration, the material palette should help to reduce the apparent scale of the buildings and contribute to visual complexity, while achieving some compatibility with the spectrum of building materials characteristic of the existing setting. The new building frontage facing Darwin St. will effectively create much of the character of this west side of the street. Brickwork is proposed as the primary facing material, framing translucent garage doorways which are now articulated in individual car access widths.</p>	<p>The development proposals should generally accord with the objectives of Stds.6.a & 6.b</p>
<p><u>6. Building Materials, Elements and Detailing</u> c. Windows Windows and other openings are incorporated in a manner that reflects patterns, materials, and detailing established in the district and/or setting.</p>	<p>MFDGs Design Objective - Windows <i>The design of a new multifamily building should include window design subdivision, profiles, materials, finishes and details which ensure that the windows play their characteristic positive role in defining the proportion and character of the building and its contribution to the historic context.</i></p> <p>The window designs proposed reflect some aspects of existing contextual patterns and introduce additional patterns which help to define the specific elements of the designs proposed. Window proportions vary but are designed as simple openings, while window reveals are also identified as a characteristic of the more detailed design proposals.</p>	<p>The development proposals generally accord with the objectives of Std.6.c</p>
<p><u>6. Building Materials, Elements and Detailing</u> d. Architectural Elements and Details The design of the building features architectural elements and details that reflect those characteristic of the district and/or setting.</p>	<p>MFDGs Design Objective – Architectural Elements & Details <i>The design of a new multifamily building should reflect the rich architectural character and visual qualities of buildings of this type within the district.</i></p> <p>The design range proposed uses three primary materials, with considerable modulation and articulation. Design details will reside with window framing, architectural metalwork in balcony and stair railings, choice and detailing of brickwork, and the stratified definition provided by horizontal siding. Strong deep eaves lines also feature as a key design characteristic.</p>	<p>The development proposals generally accord with the objectives of Std.6.d</p>

<p><u>7. Signage Location</u> Locations for signage are provided such that they are an integral part of the site and architectural design and are complimentary to the principal structure.</p>	<p>MFDGs Design Objective - Signs <i>Signs for a new multifamily building, and for any non-residential use associated with it, should compliment the building and setting in a subtle and creative way, as a further architectural detail.</i></p> <p>No signage is currently anticipated for this development.</p>	<p>Std.7 does not apply in this case.</p>
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ATTACHMENT I: PUBLIC COMMENTARY

At the time of the publication of this report no further comments regarding the proposed development have been received. Previous written and public hearing comments can be found in the previous Staff Report and the Minutes to previous meeting. Comments received following the publication of this report will be forwarded to the Commission.

ATTACHMENT J: DEPARTMENTAL CONSULTATION & REVIEW

1. DEVELOPMENT REVIEW TEAM MEETING 10/5/17

Engineering Review - Josh Thompson

Certified address required prior to building permit issuance. See Alice Montoya at 801-535-7248. Public Way Permit is required for drive approaches and road cuts on public streets. Licensed, bonded and insured Contractor to obtain permit to install or repair required street improvements. Public way improvements shall be per APWA plans and specifications. Approved site plan required. Submit approved site plan to Engineering Permits Office @ 349 South 200 East.

Contact Josh Thompson @ 801-535-6396 for Permit information.

Public Utilities Review - Nathan Page

Nathan Page, nathan.page@slcgov.com, 801-483-6828 Utilities cannot cross property lines without appropriate easements and agreements. Public Utility permit, connection, survey and inspection fees will apply. All utility design and construction must comply with APWA Standards and SLCPU Standard Practices. All utilities must be separated by a minimum of 3ft horizontally and 18" vertically. Water and sewer lines require 10ft minimum horizontal separation. One culinary water meter and one fire line are permitted per parcel. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Each service must have a separate tap to the main. Applicant must provide fire flow and culinary water demands to SLCPU for review. The public water system will be modeled with these demands. If the demand is not adequately delivered, a water main upsizing will be required at the property owner's expense. Required improvements on the public water system will be determined by the Development Review Engineer. New water mains must cross the entire frontage of the property. A plan and profile and Engineer's cost estimate must be submitted for review. The property owner is required to bond for the amount of the approved cost estimate. Projects larger than one acre require that a Storm Water Pollution Prevention Plan (SWPPP) and Technical Drainage Study are submitted for review. Storm water detention is required for this project. The allowable release rate is 0.2 cfs per acre. Detention must be sized using the 100 year 3 hour design storm using the farmer Fletcher rainfall distribution. Provide a complete Technical Drainage Study including all calculations, figures, model output, certification, summary and discussion. Contact SLCPU Street Light Program Manager, Dave Pearson (801-483-6738), for information regarding street lights. Applicant must provide sewer demand calculations to SLCPU for review. The expected maximum daily flow (gpd) from the development will be modeled to determine the impacts on the public sewer system. If one or more reaches of the sewer system reach capacity as a result of the development, sewer main upsizing will be required at the property owner's expense. Required improvements on the public sewer system will be determined by the Development Review Engineer. A plan and profile and Engineer's cost estimate must be submitted for review. The property owner is required to bond for the amount of the approved cost estimate. Please submit site utility and grading plans for review. Other plans such as erosion control plans and plumbing plans may also be required depending on the scope of work. Submit supporting documents and calculations along with the plans.

Transportation Review - Michael Barry

Proposal for seven (7) twin homes.

References to General parking regulations are provided below *****

Provide a site plan, drawn to scale and fully dimensioned, showing any off street parking or loading facilities to be provided; see also: • General Off Street Parking Regulations (21A.44.020) • Driveway Standards (21A.44.020.F.7) • Driveway construction per 2012 APWA Standards; specify driveway type (example: Plan 225) • Parking Restrictions in Required yards (21A.44.060) • Regulation of Fences, Walls, and Hedges: Height Restrictions and Gates (21A.40.120.E) Provide complete parking calculations on site plan indicating the following: • Each type of use and associated parking ratio per Table 21A.44.030; and square footage (or other specified basis of measurement) of each type of use. • Minimum number of ADA parking spaces required (21A.44.020.D) • Minimum number of passenger vehicle parking spaces required (21A.44.030.G) • Maximum number of passenger vehicles parking spaces allowed (21A.44.030.H) • Minimum number of bicycle parking spaces required (21A.44.050.B.3) •

Number of parking spaces provided •

Any modifications to parking requirements (21A.44.040) Please feel free to contact me if you have any questions.

Michael Barry, PE SLC

Transportation Division 801-535-7147

email: michael.barry@slcgov.com

Zoning Review - Ken Brown

SR-1A Zone / Groundwater Source Protection Overlay / Capitol Hill Historic District - Seven (7) twin home residences, 4 of which oriented to a public right of way and the other 3 oriented toward a private drive. Homes will be no taller than 2 stories and will provide indoor & outdoor living between 1,800 - 2,200 SQ FT. All homes will have a 2 car garage and will be 3 or 4 bedrooms with 2.5-3.5 baths. The homes will be FOR SALE residences. • This proposal will require submittal of a planned development, subdivision and historic application. These applications may be obtained from the Planning Desk in the Building Permits Office or from the planning website. • The planned development process may need to address lot width, lot area, minimum setbacks, etc. • This property lies within a seismic special study area. • This proposal will need to be discussed with the building and fire code personnel in Room #215. • A Certified Address is to be obtained from the Engineering Dept. for use in the plan review process and a separate address for each lot for permit issuance. • See 21A.24 for general and specific regulations of the SR-1A Zone zoning district. • See 21A.34 for overlay district regulations for the groundwater Source Protection Overlay. • See 21A.40 for Accessory Uses, Buildings and Structures, and including ground mounted utility boxes. • See 21A.44 for parking and maneuvering. • See 21A.48 for landscaping and including removal/protection of private property trees. • See 21A.55 for planned developments. • See 21A.58 for site plan review.

Ken Brown Senior Development

Review Planner 801-535-6179 email:

ken.brown@slcgov.com

2. DEVELOPMENT REVIEW TEAM MEETING 12/4/18

Engineering Review - Chen Hwang

Subdivision or Condominium plat required. Certified address required prior to building permit issuance. See Alice Montoya at 801-535-7248. Public Way Permit is required for project completion. Licensed, bonded and insured Contractor to obtain permit to install or repair required street improvements. Site Plan Review – Required Maintain clearances from other utilities as required.

Public Utilities Review - Jason Draper

DRT Review - Public Utilities - December 4 2018 610 North West Capitol - Proposed residential development. There is currently no sewer or water service to the two properties. There is an 8" water main in Darwin and in West Capitol. There is an 8" Sewer Main in West Capitol. There is currently sewer service coming 578 N for two properties along Darwin. Sewer service will be difficult and will likely require shared sewer service and easements for sewer service. Shared sewer service requires an exception and a private sewer main will require an agreement and HOA and plat notation concerning maintenance and management of the private main. Shared water will likely be the best option for the properties along Darwin. 12 Individual property meters may not be most effective. The proposed use may require standards exception. Drainage will need to be carefully considered to avoid drainage onto neighboring properties. Although detention is not required for residential properties a technical drainage study will be required because of the slopes and drainage concerns. Utilities cannot cross property lines without appropriate easements and agreements. Planned Development or Preliminary Plat approval does not provide Utility development permits and approval or building approval. Public Utility permit, connection, survey and inspection fees will apply. Please submit site utility and grading plans for review. Other plans such as erosion control plans and plumbing plans may also be required depending on the scope of work. Submit supporting documents and calculations along with the plans. All utility design and construction must comply with APWA Standards and SLCPU Standard Practices. Street lights will be required near the curb cuts evenly spaced between 300 feet depending on photometric design along the street frontage. Projects larger than one acre require that a Storm Water Pollution Prevention Plan (SWPPP) and Technical Drainage Study are submitted for review.

Zoning Review - Alan Hardman

SR-1A Zone (Capitol Hill Historic District). This project has changed since the last DRT meeting held on 10/5/2017 (DRT2017-00240). Those same zoning comments still apply. The proposal now is for 6 twin home residences (12 homes), 4 of which are oriented to West Capitol Street and the other 8 are oriented to Darwin Street (the previously proposed interior private road has been eliminated). Homes will be 2 stories and will provide indoor living space between 1,500 - 1,750 SQ FT. All homes will have a 2 car garage and will be 3 or 4 bedrooms with 2.5-3.5 baths. The homes will be FOR SALE residences. • There are several Planning petitions that are in process, which will now be required to be amended and approved based on this latest proposal. • The planned development process may need to address building height, lot width, lot area, minimum setbacks, grade changes, attached garage widths, etc. The subdivision should address any grades exceeding 30% slopes and provide setbacks on the plat showing buildable areas. • This property lies within a seismic fault rupture study area. Provide a site specific natural hazard report for the lots. • This proposal will need to be discussed with the building code personnel in Room #215. • A Certified Address is to be obtained from the Engineering Dept. for use in the plan review process and a separate address for each home for permit issuance. • See 21A.24.080 for general and specific regulations of the SR-1A Zone zoning district. • See 21A.34 for overlay district regulations for the groundwater Source Protection Overlay. • Provide a completed Impact Fee Assessment Worksheet. • See 21A.44 for parking and maneuvering. • See 21A.48 for landscaping and including removal/protection of private property trees.

Alan Hardman Senior Development Review Planner 801-535-7742 alan.hardman@slcgov.com

Fire Review - Edward Itchon

D105.1 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. D105.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof. D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official. D105.4 Obstructions. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official.

This project has R-3 occupancies which fronts on two streets, West Capitol & Darwin Streets. Both existing streets do not meet the requirements of the International Fire Code, for dimensions. Darwin St. is also a dead end road without a turn around. The renderings shown depict the structures to be in excess of 30 ft. tall. This height requires that the structures be provided with an additional fire department access road to facilitate aerial apparatus access. The above items need to be addressed for the project to be constructed. The following codes are given for reference. 503.1.1 Buildings and facilities. Approved (as per FPB (6-8-18) the height of the structure times 70 % plus 4 feet will be the dimension measured from the exterior wall.) fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. 503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm). 503.2.4 Turning radius. The required turning radius of a fire apparatus access road shall be (20' inside & 45' outside) determined by the fire code official. 503.2.5 Dead ends. Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus.

Transportation Review - Scott Vaterlaus

See 21A.44 for parking, maneuvering and driveway requirements. Scott Vaterlaus 801-535-7129 scott.vaterlaus@slcgov.com