



# Staff Report

PLANNING DIVISION  
COMMUNITY & NEIGHBORHOODS

To: Salt Lake City Historic Landmark Commission  
From: Carl Leith, Senior Planner  
801 535 7758 or [carl.leith@slcgov.com](mailto:carl.leith@slcgov.com)  
Date: December 6, 2018  
Re: **PLNHLC2018-00454 Alterations to Cottage and Additions to Adjacent Building at approximately 287 G Street and 480 6th Avenue, & PLNHLC2018-00880 Special Exceptions**

## ALTERATIONS TO COTTAGE & ADDITIONS TO ADJACENT BUILDING

**PROPERTY ADDRESS:** 287 G Street & 480 6<sup>th</sup> Avenue

**PARCEL ID:** 09314310140000

**HISTORIC DISTRICT:** The Avenues Local Historic District

**ZONING DISTRICT:** H Historic Preservation Overlay District (21A.34.020) & SR-1A Special Development Pattern Residential District (21A.24.080)

**MASTER PLAN:** Avenues Community Master Plan

**DESIGN GUIDELINES:** Residential Handbook and Design Guidelines

**REQUEST: Alterations to Cottage and Additions to Adjacent Building at approximately 287 G Street and 480 6th Avenue** – Rodrigo Schmeil, Smith Hyatt Architects, on behalf of owner Pamella Jones Boland, is requesting approval from the City to rehabilitate and to extend the existing cottage by removing the existing rear walls, constructing a new basement area, and constructing new additions to the adjacent commercial building to the south and the west of the cottage. Special Exception approvals will be required in association with these proposals. The cottage would be rehabilitated and extended as a commercial unit. The property is situated on the corner of G Street and 6th Avenue, lies within The Avenues Historic District (H Historic Preservation Overlay), and is zoned SR-1A (Special Development Pattern Residential District).

- a. Alterations to Cottage and Additions to Adjacent Building. Case number: **PLNHLC2018-00454**
- b. Special Exceptions requested for SR-1A Standards. Case number: **PLNHLC2018-00880**
  - i. Side Yard Setback – Building within the side yard setback by 1ft 1in (in-line addition)
  - ii. Building Coverage – Increase in building coverage from 56.5% to 60%.

### RECOMMENDATION

Based on the analysis and findings listed in this staff report, Staff recommends that the Commission approve the application for a Certificate of Appropriateness for the rehabilitation and alteration of the cottage, the construction of new additions, and approve the Special Exception requests associated with these proposals, with the following condition:

1. That approval of details is delegated to Staff.



LOCATION PLAN

**RECENT BACKGROUND**

Outline proposals for the alterations to cottage and the additions to the adjacent commercial building were reviewed in a work session by the Historic Landmark Commission at the meeting on August 2, 2018. Staff report to and discussions at this meeting are reviewed below and can be accessed in detail at the following links.

- <http://www.slcdocs.com/Planning/HLC/2018/287WS.pdf>
- <http://www.slcdocs.com/Planning/HLC/2018/802min.pdf>

Proposals presented at the work session were generally similar to the current proposals, although the south addition extended further forward and returned to meet and also enclose half of the south façade of the cottage. Two alternative options for the method of construction were presented. One of these retained and worked within the three cottage facades, while the other completely removed these walls with the intent to reinstate them after construction.



In discussion the Commission and the Applicant explored a series of points, specifically:

- How the structural integrity of the building would be maintained
- Concerns relating to the need to ensure that the contributing building retained its integrity as a building
- The impact of the proposals on the south façade of the cottage
- How proposals would be viewed by the National Park Service in relation to best practices in retaining historic integrity and preservation.



Proposals also remove the existing garage structure, rebuilding this and extending the addition towards G Street approximately one third of the way along the original south wall of the cottage. The latter addition would maintain a space between it and the cottage south façade, returning to meet the south-west corner of that façade. This new addition is designed in two sections, stepping down in height proceeding eastward. The west section of this addition would have three high level windows, with both sections faced in wood siding. The east façade of this addition would be primarily glass, framed by siding to the south and above.

Along the north face of the buildings, the linking section of façade would be increased in height.

The ground level around the north side of the cottage would be reduced, sloped away from the building and supported by a new retaining wall. The north, east and south facades of the cottage would be retained, re-supported and repaired. The roof would be removed during construction, stored, and reinstated. Existing windows would be retained and repaired. The blocked in window on the south façade would be reinstated to match existing historic windows. Refer to Attachment E for Application Materials.

Future use of the extended cottage structure is currently proposed as ‘commercial’. This will require the approval of a rezone of the parcel since SR-1A zoning standards would not permit extending a commercial use on this site to this extent. That application (PLNPCM2018-00813) is currently under consideration, with the prospect of Planning Commission review early in 2019, with ultimate decision by City Council.

### **SPECIAL EXCEPTION APPROVALS**

The building and site are within the SR-1A residential zone, although little on this site conforms with zoning dimensional standards. With the current proposals minor special exception approvals will be required. These include:

- Construction up to 1 ft 1 in within the side yard setback area, continuing the existing line of south façade of the 480 6<sup>th</sup> Avenue commercial building, and
- Increasing the building coverage on this lot from its existing 56.5% to 60%.

The impact upon the historic architectural character of the site and this setting in The Avenues is minimal. The exceptions sought closely echo the established form and layout on this site and in that respect are more compatible with the character of this site within the historic district than the current SR-1A provisions.

### **THE BUILDING, THE SITE & THE CONTEXT**

The site and building, identified as 480 6<sup>th</sup> Avenue and specifically in terms of these proposals 287 G Street, are located at the south-west corner of 6<sup>th</sup> Avenue and G Street in the Avenues Historic District. Both buildings occupy the same parcel and 287 is in part currently contiguous with the adjacent commercial 480 6<sup>th</sup> Avenue. Constructed around 1870, 287 G Street is a single story dwelling with partial basement. The building is the earliest of the current grouping of buildings on this site, it is adjacent to and physically abuts the c.1900 historic commercial store to the west, and is also immediately adjacent to a subsequent brick-built garage structure to the immediate south-west of the building. The sequence of the development of this site and the context is recorded in part in the Sanborn Maps in Attachment C.

### **Historic Architectural Surveys**

No. 287 G Street is described in the 2007/8 Reconnaissance Level Survey (RLS) of The Avenues as a ‘vernacular’ ‘cross-wing single dwelling’, dated to approximately 1870, and evaluated as a ‘B - Eligible’ contributing structure in the historic district. The construction is wood frame, with broad shiplap siding.

This ‘B – Eligible’ evaluation is described in the methodology of The Avenues RLS report as:

“Built within the historic period and retains integrity; good example of type or style, but not as well executed as “A” buildings; more substantial additions or alterations than “A”; eligible for National Register as part of a potential historic district, or primarily for historical rather than architectural reasons. [Additions do not detract and alterations may be reversible]”



287 G St. 1979 Survey Contact Print



287 S St. c.1936 Salt Lake County Archives

The building, 287 G Street, is evaluated in the earlier 1979 Avenues Survey as ‘contributory’, dated to ca. 1870, and includes the following description:

“This is a one story cottage, probably added to over the years. Possibly at one time it consisted of two gable-roofed wings forming an ‘L’. Today there is a gabled front bay and a north truncated hip-roofed section that may incorporate the rear let of the ‘L’, indicated by the strange placement of the chimneys. Windows are double hung. There is a paneled front door with a transom above. Walls are of ship-lap wood siding.”

“The materials and massing of this house contribute to the architectural character of the Avenues. Its present form may result from a late 19<sup>th</sup> century remodeling of an earlier and simpler vernacular house. It is one of the oldest houses in the Avenues.”

The Avenues 2007/8 Report identifies only 28 buildings (1%) in the Avenues Historic District from its Earliest Settlement Period, 1860 -79. This building is one of the 28. The survey extracts are included in Attachment C of this report.



2007 RL Survey View



June 2018 View

This cottage has been unoccupied and little maintained for some time, showing evidence of limited care as well as age. Damage by previous plant growth and the current ground level adjacent to the north wall is evident. Two previous structural reports on the building summarize its current structural condition. These are included for information in Attachment D to this report.

### **BACKGROUND**

The Historic Landmark Commission will recall that a proposal to change the status of this building from contributing to non-contributing was reviewed by the Historic Landmark Commission on June 2, 2016, with a view to the prospective demolition of the building. The Commission concluded that the house was a contributing structure and was restorable, with the following motion:

*Commissioner Richardson stated regarding Determination of Contributing Status of a building at approximately 480 6th Avenue & 287 G Street – based on the analysis and findings listed in the Staff Report, testimony and the request received, he moved that the Commission confirmed the current status of this building as a contributing structure in the Avenues Historic District and it was very restorable. Commissioner Quist seconded the motion. The motion passed unanimously.*

The Staff Report and the Minutes for this meeting and review can be accessed here.

<http://www.slcdocs.com/Planning/HLC/2016/4806.pdf>

<http://www.slcdocs.com/Planning/HLC/2016/62min.pdf>

Since the question regarding contributing status was raised previously and addressed in detail in the above-mentioned staff report, it is pertinent to keep this in mind in a review of the current proposals.

The Ordinance (21A.34.020.B Definitions) defines a Contributing Structure as:

*“A contributing structure is a structure or site within the H historic preservation overlay district that meets the criteria outlined in subsection C10 of this section and is of moderate importance to the city, state, region or nation because it imparts artistic, historic or cultural values. A contributing structure has its major character defining features intact and although minor alterations may have occurred they are generally reversible. Historic materials may have been covered but evidence indicates they are intact.”*

## **KEY CONSIDERATIONS**

The cottage in its present form is largely intact externally, including what is either original and/or early wood siding. Internally, the walls have been stripped back to their structural framework, exposing the original construction timbers and subsequent alterations and repairs. Five original or early windows remain and are largely intact. The window and door openings on the south façade have been fully or partially boarded up, with a window inserted within what appears to be a previous door opening. Much exterior wood trim is still evident. The chimneys mentioned in the 1979 Survey are no longer evident externally. See however the interior photographs of the building in Attachment B.

### **1. The Integrity of the Historic Buildings.**

The garage structure along the southern edge of the site would be removed, replaced and extended with these proposals. The existing structure is a later addition attached to the east wall of the commercial building, although not effectively tied into the wall of that building and currently leaning outward. The removal of the existing structure, in Staff’s conclusion, would not adversely affect the historic architectural interest of the building or the setting.

Proposals would involve the removal of sections of the rear of the cottage with the space included in a small addition between the two buildings. This area has been the subject of previous alterations, with part of the space now included as a form of rear entrance porchway to the cottage. While the removal of the rear walls will affect the historic integrity of the building, part of this structure currently lies inside the building, and external portions are not readily apparent from the public way. Proposals would otherwise retain, stabilize, and rehabilitate the exterior of the cottage, retaining and repairing existing historic windows and external materials, while reinstating a window to match on the south façade where one has been previously removed and the opening boarded up.

On balance, staff would conclude that the current proposals should ensure the future consolidation and vitality of buildings on the site, and generally preserve the character of this context within The Avenues Historic District.

### **2. The Design of the Proposed Additions**

Much of the rear addition proposed for the cottage with this application would not be readily apparent from the public way. It does not extend forward of the south-west corner of the building, as previously proposed, and is stepped back to maintain a visual break alongside the southern face of the cottage and the views of this façade from the street.

The existing eastern addition of the commercial building facing 6<sup>th</sup> Avenue would be reconstructed and increased in height by approximately four feet. Existing materials will be re-used, replaced where beyond repair, and

supplemented to match. As redesigned, this addition acts as a visual transition between the scale of the commercial building and the adjacent cottage.

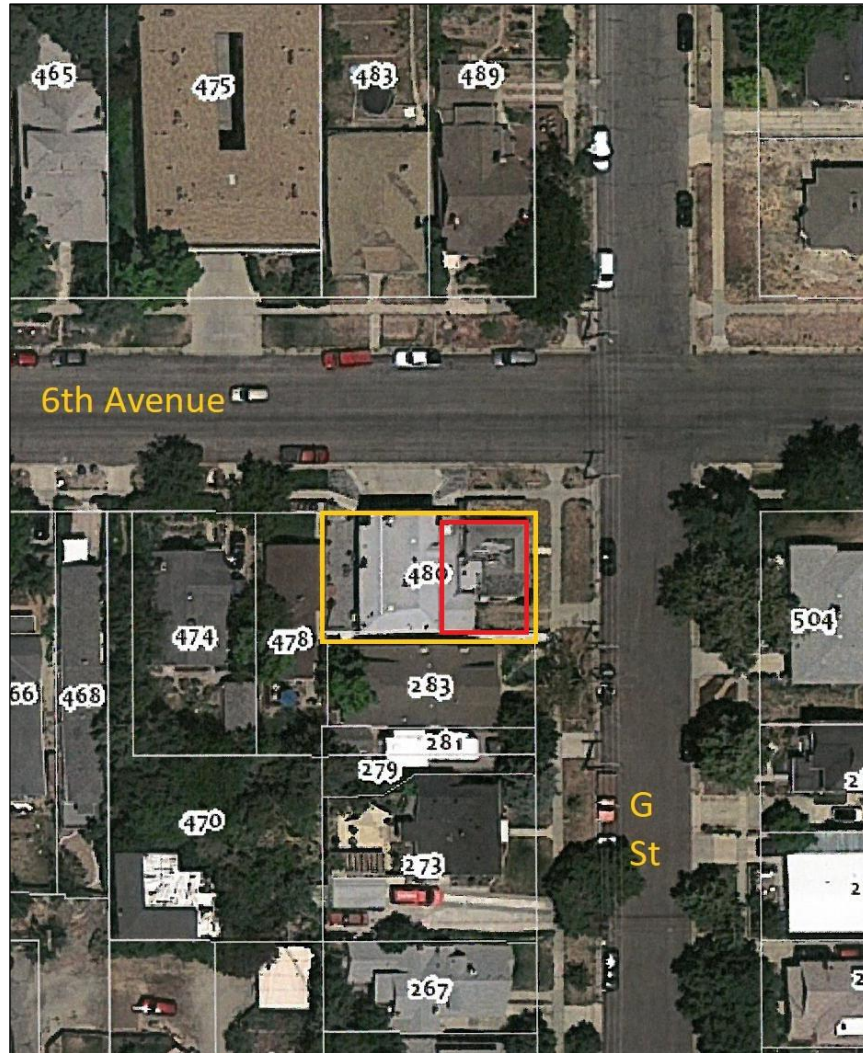
The design of the southern addition avoids fenestration which would directly face the adjacent property, adding small horizontal 'clerestory' windows high the south facade. Materials along this south facade would reflect the wood siding which features as the primary external material on both the commercial building and the cottage. This facade as proposed is also designed in two sections, stepping down as it extends eastward. The largely glazed east facade is framed by siding above and on its southern edge, and reflects the projected commercial use of this addition. This addition then steps back to maintain a space alongside the cottage, thus maintaining a visual appreciation of this cottage south facade, which would also benefit from the reinstatement of a new window to match, and the repair of the existing original window.

Staff would conclude, on balance, that the proposals would not adversely affect the character and appearance of the existing buildings, or of this site and context.

**ATTACHMENTS:**

- A.** Location
- B.** Photographs
- C.** Surveys & Sanborn
- D.** Previous Structural Reports
- E.** Application Materials
- F.** SR-1A Zoning Standards & Special Exception Standards - Review
- G.** Design Standards for Alteration of a Contributing Structure & Guidelines for Additions

# ATTACHMENT A: LOCATION





## ATTACHMENT B: PHOTOGRAPHS



6<sup>th</sup> Avenue



G Street



2007 Reconnaissance Level Survey Photograph









South-East Corner



North Wall



Looking NW from South Wing



West Wall

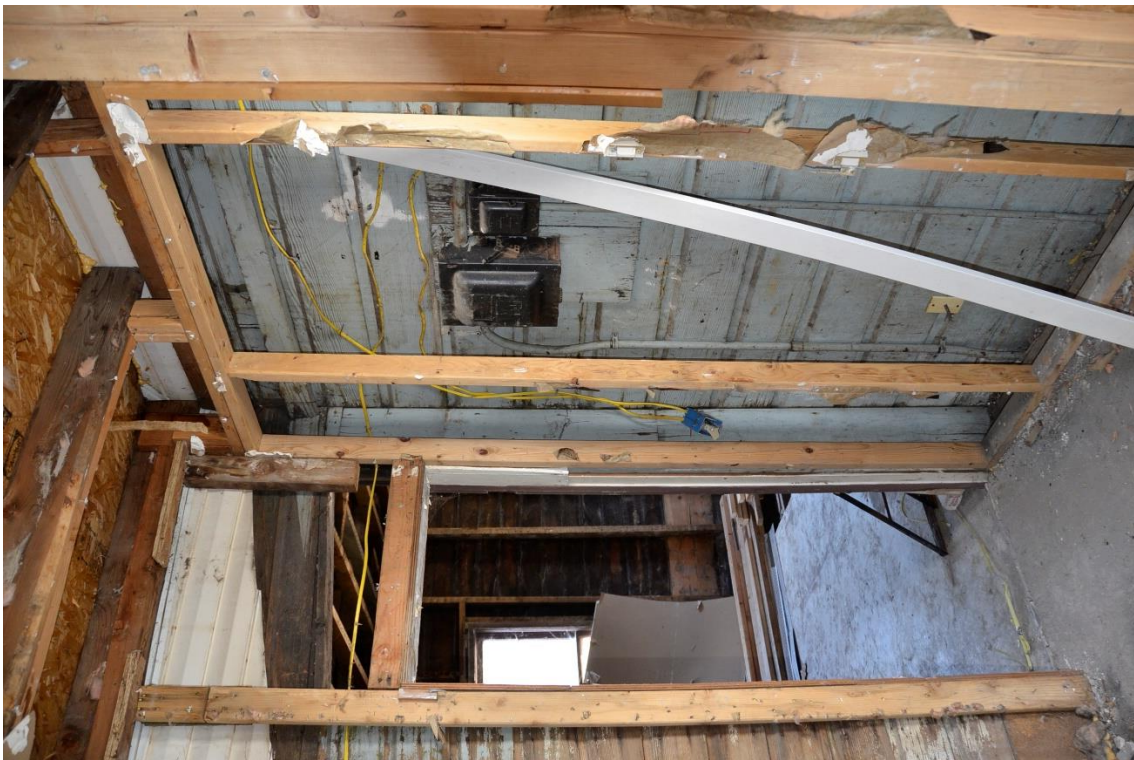


Roof Structure





Looking South West



Section of West Wall - Exterior

ATTACHMENT C: SURVEYS & SANBORN MAPS



287 G Street c.1936 County Archives



287 G Street 1979 Survey Contact Print

Researcher: Kathryn L. MacKay/Jessie Embry  
Date: July 1979/January 1979

Site No. \_\_\_\_\_

Utah State Historical Society  
Historic Preservation Research Office  
**Structure/Site Information Form**

IDENTIFICATION 1

Street Address: 287 G Street, Salt Lake City Plat D Bl. 77 Lot 4  
Name of Structure: T. R. S.  
Present Owner: UTM:  
Owner Address: Tax #:

AGE/CONDITION/USE 2

Original Owner: Samuel Sadler Construction Date: ca. 1870 Demolition Date:  
Original Use: single family  
Present Use: Occupants:  
 Single-Family  Park  Vacant  
 Multi-Family  Industrial  Religious  
 Public  Agricultural  Other  
 Commercial  
Building Condition: Integrity:  
 Excellent  Site  Unaltered  
 Good  Ruins  Minor Alterations  
 Deteriorated  Major Alterations

STATUS 3

Preliminary Evaluation: Final Register Status:  
 Significant  National Landmark  District  
 Contributory  National Register  Multi-Resource  
 Not Contributory  State Register  Thematic  
 Intrusion

DOCUMENTATION 4

Photography:  
Date of Slides: May 1979 Date of Photographs:  
Views: Front  Side  Rear  Other   
Views: Front  Side  Rear  Other   
Research Sources:  
 Abstract of Title  City Directories  LDS Church Archives  
 Plat Records  Biographical Encyclopedias  LDS Genealogical Society  
 Plat Map  Obituary Index  U of U Library  
 Tax Card & Photo  County & City Histories  BYU Library  
 Building Permit  Personal Interviews  USU Library  
 Sewer Permit  Newspapers  SLC Library  
 Sanborn Maps  Utah State Historical Society Library  Other

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

Salt Lake County records.  
Salt Lake City directory, 1869-.  
"Samuel S. Sadler," Deseret News, October 14, 1920, p. 2.

Architect/Builder:

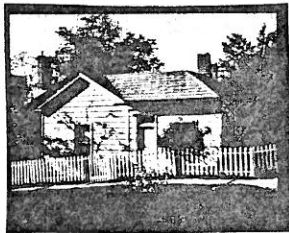
Building Materials: frame

Building Type/Style:

Description of physical appearance & significant architectural features:

(Include additions, alterations, ancillary structures, and landscaping if applicable)

This is a one-story cottage, probably added to over the years. Possibly at one time it consisted of two gable-roofed wings forming an "L". Today there is a gabled front bay and a north truncated hip roofed section that may incorporate the rear let of the "L", indicated by the strange placement of chimneys. Windows are double-hung. There is a panelled front door with a transom above. Walls are of ship-lap wood siding.



Statement of Historical Significance:

- Aboriginal Americans
- Agriculture
- Architecture
- The Arts
- Commerce

- Communication
- Conservation
- Education
- Exploration/Settlement
- Industry

- Military
- Mining
- Minority Groups
- Political
- Recreation

- Religion
- Science
- Socio-Humanitarian
- Transportation

The materials and massing of this house contribute to the architectural character of the Avenues. Its present form may result from a late 19th century remodelling of an earlier and simpler vernacular house. It is one of the oldest houses in the Avenues.

Samuel S. Sadler ( -1920) came to Utah from England in 1865. He is first listed at this location in the 1874 city directory. According to his obituaries he was a gardner and a lover of roses. His funeral was at his neighbor's house, Albert M. Olson, who lived at 283 G Street. He lived in this house for over fifty years.

Olson bought this house in 1919 from Sadler. Olson also owned the store at 480 6th Avenue. He maintained this house as rental.

Utah State Historical Society  
Historic Preservation Research Office

Site No. \_\_\_\_\_

BATCH KEY  
1804009055

Property Type: 111

Structure/Site Information Form

IDENTIFICATION 1

Street Address: 00287 G ST

UTM: 10638 10639

Name of Structure:

T. 01.0 N R. 01.0 E S. 31

Present Owner: MAYO, VANDORA D. & LENA J.  
1865 E 3780 S

Owner Address: SLC, UTAH  
84105

Year Built (Tax Record): 1905 Effective Age: 1905 Tax #: 04 1188

Legal Description 01 Kind of Building: RESIDENCE

COM AT NE COR LOT 4 BLK 77 PLAT D SLC SUR W 82.5 FT S 45.77 FT E 82.5 FT N 45.77 FT TO BEG

STATUS/USE 2

Original Owner:

Construction Date:

Demolition Date:

Original Use:

Present Use:

Building Condition:

Integrity:

Preliminary Evaluation:

Final Register Status:

- |                                       |                                |  |   |                                     |  |   |
|---------------------------------------|--------------------------------|--|---|-------------------------------------|--|---|
| <input type="checkbox"/> Excellent    | <input type="checkbox"/> Site  | <input type="checkbox"/> Unaltered         | <input type="checkbox"/> Significant      | <input type="checkbox"/> Not of the | <input type="checkbox"/> National Landmark | <input type="checkbox"/> District       |
| <input type="checkbox"/> Good         | <input type="checkbox"/> Ruins | <input type="checkbox"/> Minor Alterations | <input type="checkbox"/> Contributory     | Historic Period                     | <input type="checkbox"/> National Register | <input type="checkbox"/> Multi-Resource |
| <input type="checkbox"/> Deteriorated |                                | <input type="checkbox"/> Major Alterations | <input type="checkbox"/> Not Contributory |                                     | <input type="checkbox"/> State Register    | <input type="checkbox"/> Thematic       |

DOCUMENTATION 3

Photography:

Date of Slides:

Slide No.:

Date of Photographs:

Photo No.:

Views:  Front  Side  Rear  Other

Views:  Front  Side  Rear  Other

Research Sources:

- |  |   |  |   |
|--|---|--|---|
| <input type="checkbox"/> Abstract of Title | <input type="checkbox"/> Sanborn Maps               | <input type="checkbox"/> Newspapers                    | <input type="checkbox"/> U of U Library |
| <input type="checkbox"/> Plat Records/ Map | <input type="checkbox"/> City Directories           | <input type="checkbox"/> Utah State Historical Society | <input type="checkbox"/> BYU Library    |
| <input type="checkbox"/> Tax Card & Photo  | <input type="checkbox"/> Biographical Encyclopedias | <input type="checkbox"/> Personal Interviews           | <input type="checkbox"/> USU Library    |
| <input type="checkbox"/> Building Permit   | <input type="checkbox"/> Obituary Index             | <input type="checkbox"/> LDS Church Archives           | <input type="checkbox"/> SLC Library    |
| <input type="checkbox"/> Sewer Permit      | <input type="checkbox"/> County & City Histories    | <input type="checkbox"/> LDS Genealogical Society      | <input type="checkbox"/> Other          |

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

Researcher:

Date:





280 N “G” Street  
B



281? N “G” Street  
(outbuilding)



283 N “G” Street  
B



287 N “G” Street  
B



306 N “G” Street  
B



312 N “G” Street  
C



318 N “G” Street  
B

**Architectural Survey Data for SALT LAKE CITY**

*Utah State Historic Preservation Office*

**“G” Street — Avenues Historic District (SLC Landmark District)**

**RLS 2007-2008, PAGE 5**

Address/ Property Name	Eval/ Ht	OutB N/C	Yr.(s) Built	Materials	Styles	Plan (Type)/ Orig. Use	Survey Year RLS/ILS/Gen	Comments/ NR Status
280 N G STREET	B	1/0 2	1890	DROP/NOVELTY SIDING	VICTORIAN ECLECTIC	SIDE PASSAGE/ENTRY SINGLE DWELLING	08	RECENT REHAB N04
283 N G STREET	B	0/0 1.5	1911	CLAPBOARD SIDING STUCCO/PLASTER	BUNGALOW ARTS & CRAFTS	BUNGALOW SINGLE DWELLING	08	N04
287 N G STREET	B	0/ 1	1870	DROP/NOVELTY SIDING	VERNACULAR	CROSSWING SINGLE DWELLING	08	ATTACHED TO 480 6TH AVE N04
306 N G STREET	B	0/1 1	1940	ALUM./VINYL SIDING	EARLY RANCH (GEN.)	EARLY RANCH / SINGLE DWELLING	08	HISTORIC SIDING? N04
312 N G STREET	C	0/1 1	1940	ALUM./VINYL SIDING	POST-WWII: OTHER	OTHER RESIDENTIAL SINGLE DWELLING	08	NEW SIDING & WINDOWS N04
318 N G STREET	B	0/1 1	1940	CLAPBOARD SIDING WOOD:OTHER/UNDEF.	POST-WWII: OTHER	OTHER RESIDENTIAL SINGLE DWELLING	08	N04

?=approximate address

Evaluation Codes: A=eligible/architecturally significant B=eligible C=ineligible/alterd D=ineligible/out of period U=undetermined/lack of info X=demolished

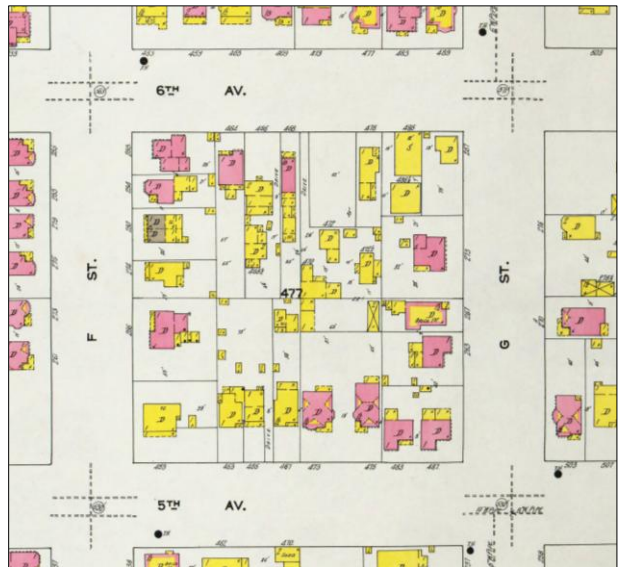


# SANBORN

1898



1911



1949



# ATTACHMENT D: PREVIOUS STRUCTURAL REPORTS



70<sup>th</sup>  
Anniversary  
1945-2015



# Structural Evaluation and Recommendations

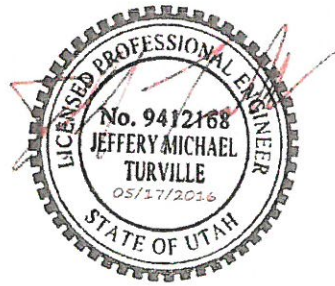
for

287 G Street  
Salt Lake City, Utah

submitted to:

Dragon Inc. c/o Ryan Willden  
1484 West Muletrain Drive  
Bluffdale, Utah

Solutions you can build on for over 70 years



contact:  
Jeff Turville, PE  
jturville@reeve-assoc.com  
5160 South 1500 West  
Riverdale, Utah 84405  
801.621.3100

May 2016  
Ref: 6547-03

---

## Table of Contents

1 Executive Summary.....	3
2 Project Overview.....	3
3 Evaluation Procedure.....	4
4 Evaluation Results & Repair Recommendations.....	4
5 Disclaimer .....	5
6 References.....	5
Appendix A Photos .....	6
Appendix B Representative Repair Details .....	15

## 1 Executive Summary

### General observations:

- Many bearing wall studs have rotted out at the connection to the floor which has caused severe settlement of the roof and main floor walls.
- Many floor joists have rotted out at the connection to the foundation walls which has contributed to the severe settlement of the main floor in the north east corner and west wall.
- The north wall and possibly a portion of the west wall appear to currently retain soil. This has likely caused the bearing wall studs and exterior sheathing to become saturated and eventually rot out to the point of failure.
- The original connection to the foundation of the bearing wall studs and floor joists was difficult to locate due to deterioration and will need to be re-established in order to provide an adequate load transfer path to the foundation.

While the repair of some elements may be considered, a large portion of the exterior bearing walls and floor framing are of particular concern and currently appear to be in a state which is likely beyond repair. The repair and/or replacement of these items, due to their location, would likely involve the removal of the structure above to simply access the damaged areas. The wall and floor structural elements do not appear to be properly attached to an adequate foundation. The current foundation is deteriorating and does not appear to provide an adequate attachment or load path to transfer the necessary forces. These items should be considered critical to the integrity of the structure. The historic nature of the structure has been noted; however the extent of the deteriorated elements will require a large portion of the structure to be replaced. It should be considered that it may be more beneficial, both economically and structurally, for all parties involved to build a new building which has a similar architectural look and feel to match the surrounding neighborhood yet meets the current code requirements.

## 2 Project Overview

The single family residence at 287 G Street in Salt Lake City, Utah is approximately 670 square feet with a partial basement. The home appears to be constructed on a rubble foundation with concrete added in some areas. The walls appear to be wood framed with a wood framed roof. The current exterior appears to be original wood siding with vinyl siding on the rear. The roof and floor sheathing appear to be horizontal lumber planks. The date of original construction is unknown but appears to have been built approximately in the early 1900's. It appears there may have been an addition or modification to the original structure at an unknown date which has partially connected the home to the adjacent garage. The addition appears to be constructed with newer, yet similar materials.

In April 2016, Reeve & Associates was contracted to perform a structural evaluation and provide recommendations, where possible, to return the building to a performance level as close as possible to the originally intended structural performance.

The scope of work to be performed herein includes:

1. Perform a structural observation of the site to provide a visual baseline of the current condition of the structure and its connecting elements.
2. Provide recommendations, where possible, to return the integrity of the structural connections and the wood components as close as possible to the original intent.

### 3 Evaluation Procedure

On April 26, 2016, Jeff Turville of Reeve and Associates performed a visual assessment of the current condition of the structure. Observations were made of the accessible areas of the existing building. No building plans were made available. The age of the structure was estimated based on experience. The interior finishes had been mostly removed prior to the site visit but appeared to wood lath and plaster. The roofing materials and exterior finishes were still in place as of the date of the site visit. Reinforcing and details of the concrete/rubble foundation were not available hence examination of their adequacy along with an examination of foundations is beyond the scope of services provided herein.

The structural performance basis for this evaluation comes from the International Building Code chapter 34 section 3405, which states that repairs shall be allowed which restore the building to its pre-damage state using material properties and design strengths applicable at the time of original construction. New members and connections are required to comply with current detailing standards and practices. These recommendations for repair are being requested on behalf of the owner and the Salt Lake City Building Department. The extent of the repairs to be conducted after receiving this report and recommendations are at the discretion of the Salt Lake City Building Department.

### 4 Evaluation Results & Repair Recommendations

The following table identifies structural inadequacies and recommended repair actions.

No.	Inadequacy	Recommended Repair	Photo No.	Schematic Sketch
S-1	Deteriorated bearing wall studs, lumber plank wall sheathing.	Remove rotten or damaged bearing wall studs. Replace with new studs. Remove rotten lumber wall planking, replace with new OSB sheathing or new lumber planking. New planking should be installed with at least (3) 8d nails per stud with (5) 8d nails at each plank end. Joints should offset at least one stud space and should be at least two planks between joints on the same support.	1,2,8,10	
S-2	Inadequate load path/connection at deteriorating foundation	Foundation should be replaced or repaired with adequate reinforcing to transfer both vertical and lateral forces. Provide new sill plate to attach floor framing.	5,7	
S-3	Inadequate load path at roof to wall connection.	Add blocking between rafters at top of wall, provide nailing or metal clip from roof sheathing to blocking and blocking to top of wall. Add additional stud at roof rafter bearing locations. Revise roof framing so rafters fully bear on wall and not on adjacent ceiling joist.	3,9	2
S-4	Deteriorated floor joists, non-treated wood embedded in concrete.	Remove rotten or deteriorated floor joists, new floor joists should bear on a pressure treated sill plate attached to the foundation.	1,4,5,10	3

S-5	Inadequate support at wall openings.	Provide adequate header at wall openings. Support header with trim studs and full height king studs on each side of opening.	11	1
S-6	Severe settlement/partial collapse at west wall.	Replace deteriorated studs and floor joists. Repair or replace foundation to provide adequate bearing location for framing.	10,12	
S-7	Inadequate grading and north and west side.	Wood framed walls are not intended to retain soil. Lower finished grade elevation as needed to prevent soil from bearing against exterior walls. Revise exterior grading to provide adequate drainage away from the home.	13,14	

### 5 Disclaimer

This report is based on general visual observations, national standards, and typical methods and data currently available and generally used by the structural engineering profession. No warranty is given, expressed or implied, that all conditions were observed, or that the methods used will not change or improve in the future. It is likely that during the construction phase that additional information will become available that will affect these recommendations. Contingencies should be in place to cover this possibility.

The opinions expressed in this report represent our professional view, based on the information made available to us. In developing these opinions, we have exercised a degree of care and skill commensurate with that exercised by reputable structural engineers of this location. No other warranty, expressed or implied, is made as to the professional advice included in this report.

### 6 References

ASCE, (2010), *Minimum Design Loads for Buildings and Other Structures*, ASCE 7-10, American Society of Civil Engineers, Reston, Virginia.

IBC (2012). *International Building Code*, International Code Council, Country Club Hills, IL.



Page 6  
May 12, 2016  
Structural Evaluation and Recommendations  
287 G Street

**Appendix A Photos**



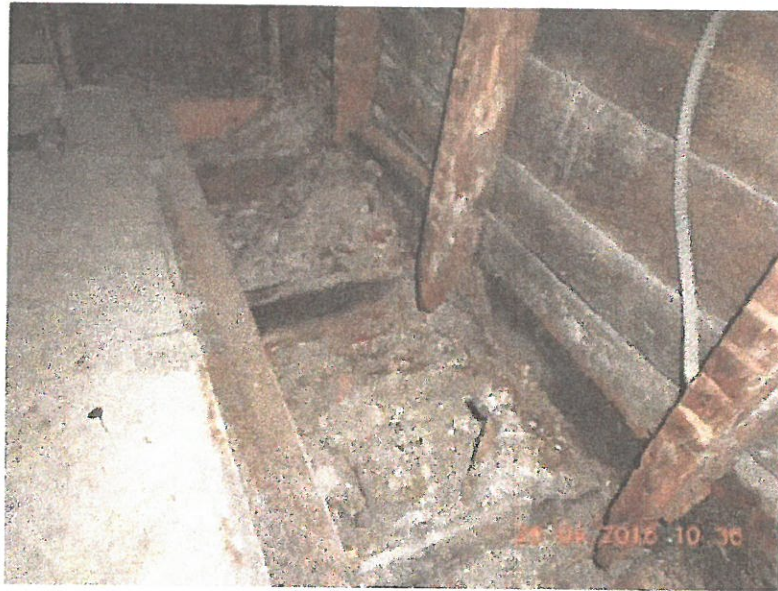


Photo 1 –Deteriorated wall studs and floor joists

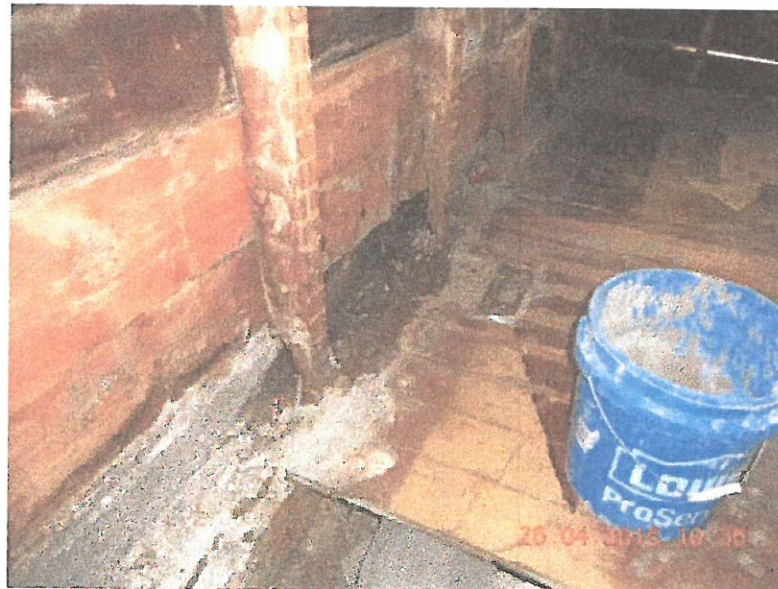


Photo 2 – Deteriorated wall studs and floor joists

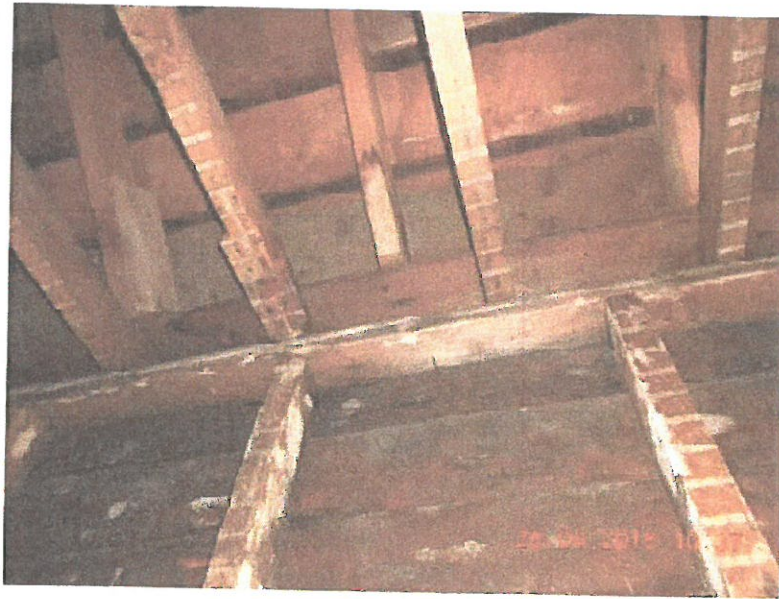


Photo 3 – Discontinuous load path at roof to wall connection

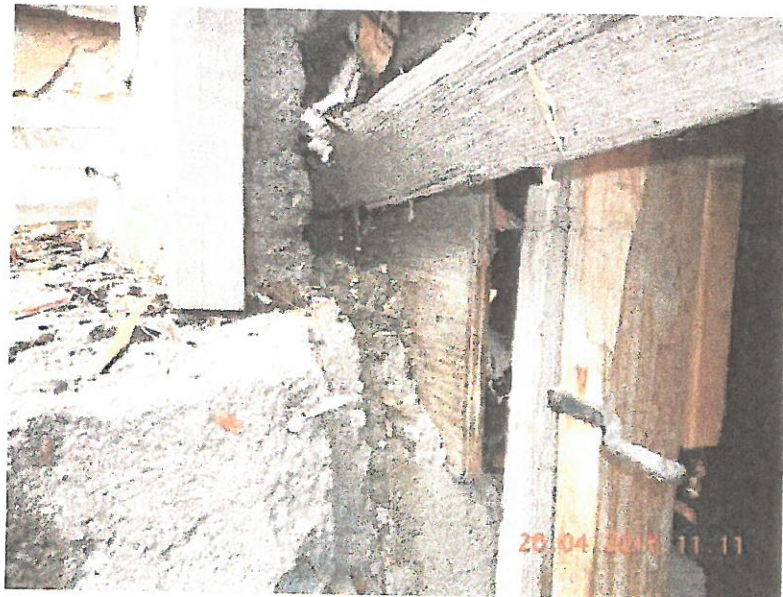


Photo 4 – Non-treated wood embedded in concrete



Photo 5 – Inadequate load transfer connection at deteriorating foundation



Photo 6 – Apparent added shoring for floor support



Photo 7 – Inadequate load transfer connection at deteriorating foundation



Photo 8 – Masonry infill in wall cavity

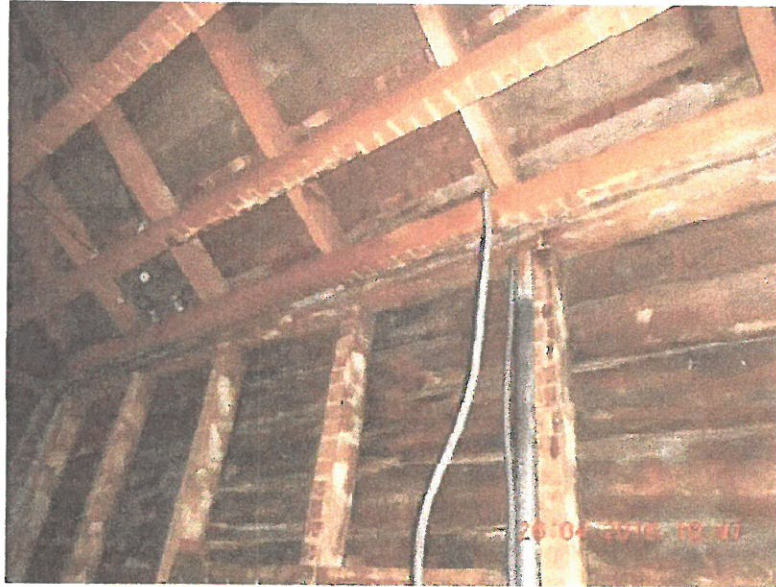


Photo 9 – Inadequate load path, rafters bearing on ceiling joist



Photo 10 – Deteriorated foundation, sill plate, studs, and floor joists



Photo 61 – No headers, king studs at wall openings



Photo 72 – Apparent settlement at west wall



Photo 13 – Retained soils at the north exterior wall



Photo 14 – Retained soils at the north exterior wall

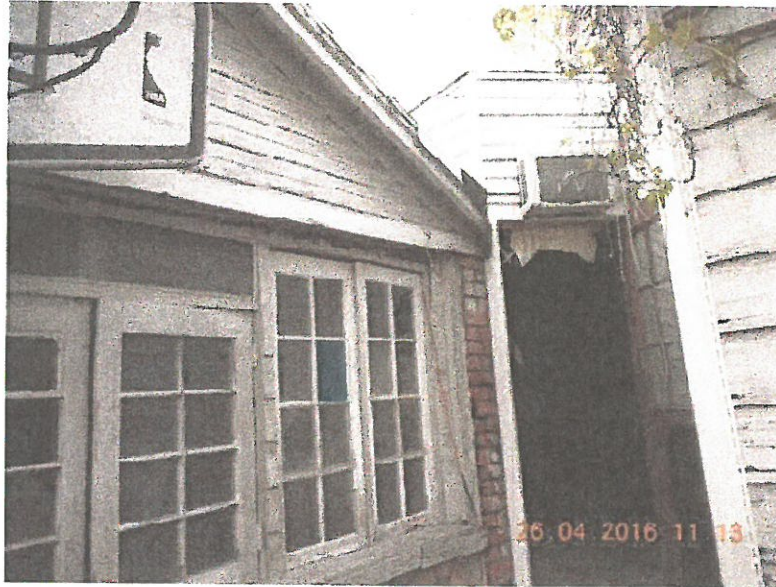


Photo 15 – Apparent addition between home and adjacent garage

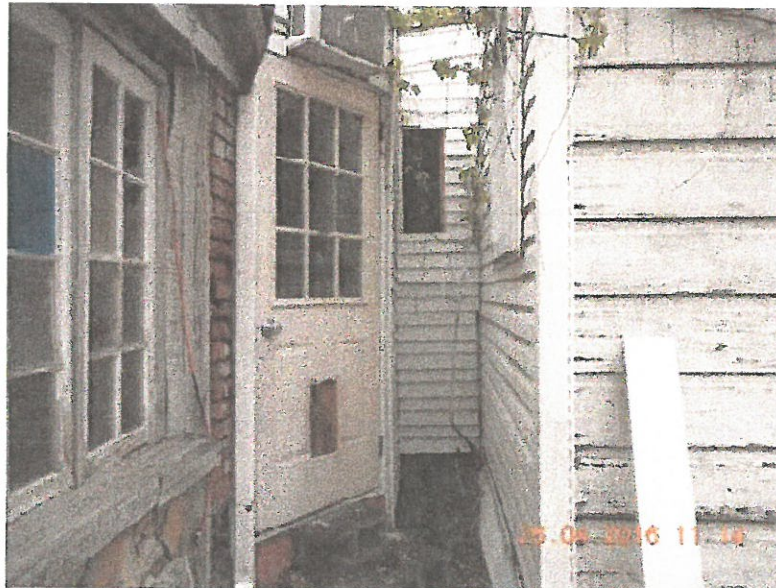


Photo 16 – Apparent addition between home and adjacent garage





**Appendix B Representative Repair Details**

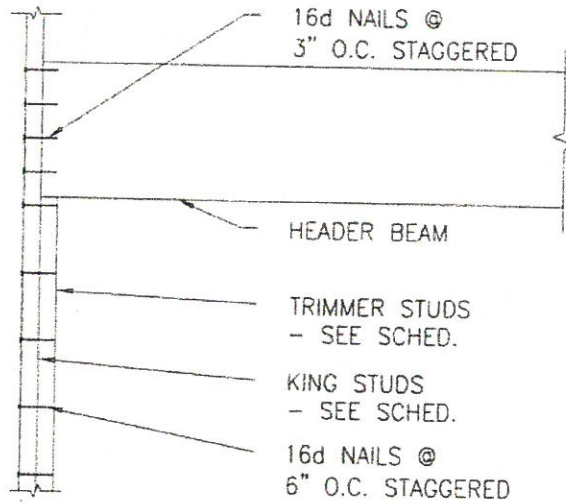


# Reeve & Associates, Inc.

5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405  
 TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-assoc.com  
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

287 G STREET  
 SALT LAKE CITY, UTAH

Date: MAY 2016	Project Number: 6547-03
Engineer: J.M.T.	Drafter: J.M.T.



2x4 WALL FRAMING		
OPENING SIZE	KING STUDS	TRIMMER STUDS
UP TO 6'-0"	(1) 2x4	(2) 2x4

1

## HEADER CONNECTION DETAIL

SCALE: NONE



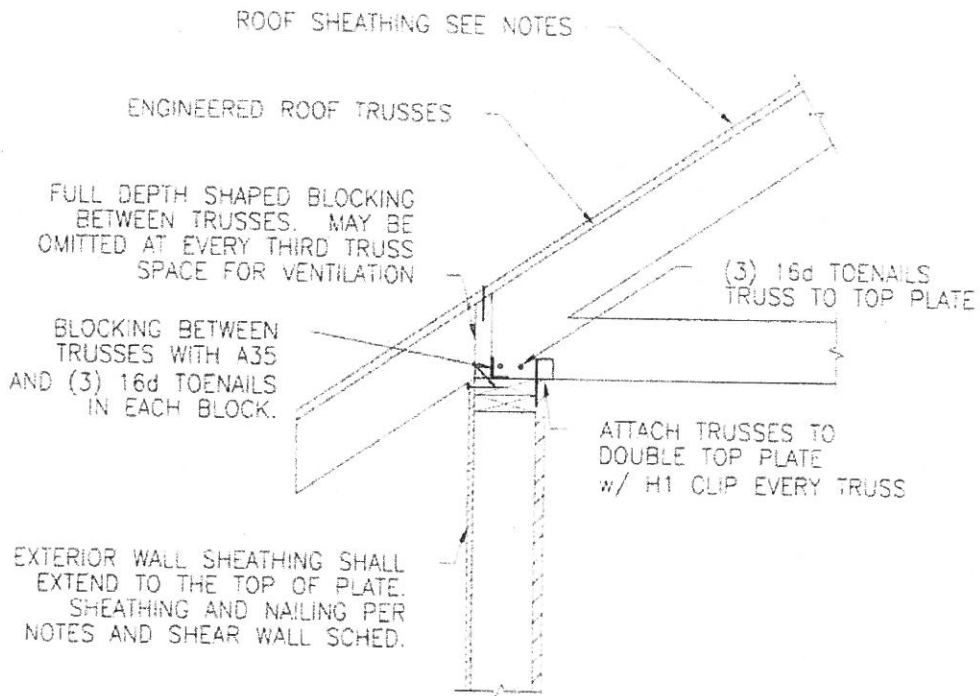
# Reeve & Associates, Inc.

5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405  
TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-assoc.com

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

287 G STREET  
SALT LAKE CITY, UTAH

Date:	MAY 2016	Project Number:	6547-03
Engineer:	J.M.T.	Drafter:	J.M.T.
		Sheet	
		Sheets	



2

## TRUSS AT EXTERIOR WALL, TYP.

SCALE: NONE



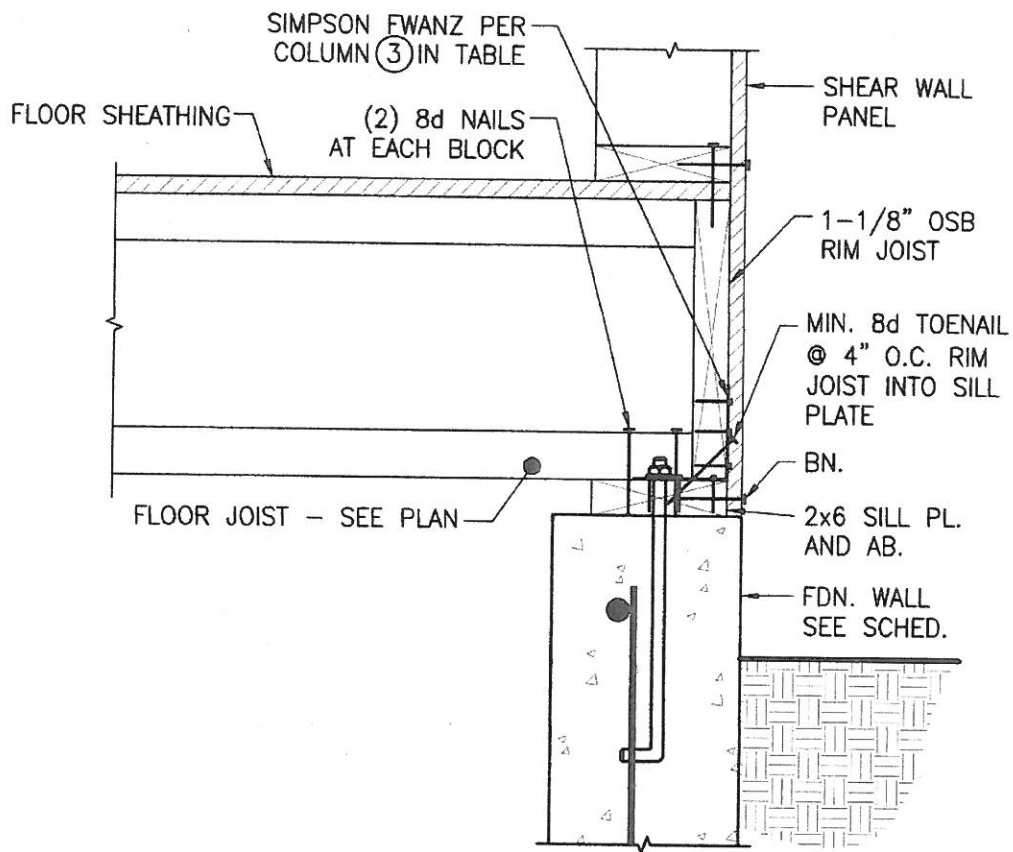
# Reeve & Associates, Inc.

5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405  
TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-assoc.com

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

287 G STREET  
SALT LAKE CITY, UTAH

Date:	MAY 2016	Project Number:	6547-03
Engineer:	J.M.T.	Drafter:	J.M.T.
		Sheet	
			Sheets



**3** TYPICAL FLOOR JOIST CONNECTION  
SCALE: NONE

Solutions you can build on



contact:  
Jeff Turville, PE  
5160 South 1500 West  
Riverdale, Utah 84405  
801.621.3100



Structural Engineering Inc  
442 Main Street, Suite 200  
Bountiful, UT 84010  
801.298.1118 F 801.298.1122

## Letter of Findings

---

**Project:** 6<sup>th</sup> and G Avenue

**Date:** October 3, 2017

---

### Findings/Observations:

WCA Structural Engineering was contacted by James Christensen of Smith Hyatt Architecture to evaluate the safety of the existing home at the corner of 6<sup>th</sup> and G Avenue in Salt Lake City. On September 22, 2017, WCA meet on site to observe the condition of the home. The existing home is constructed with wood framed roof, walls and floors sitting on rock foundations. Framing is typical of the era of when it was built, but most of the framing is insufficient based on current code and deterioration due to water infiltration. The roof framing lacks adequate connection between members. Double top plates have been cut for plumbing. The grade around the building is higher than the floor, and the wood walls are retaining soil. The wood stud walls retaining soil have deteriorated and now the north bearing wall is not continuous to the foundation. The roofing material is old and shows significant signs of failure. Portions of the roof drain into the west wall and into the home. There exists significant water damage and deterioration due to water infiltration. The floor framing in the basement is solid 2x members supported on a 4x4 wood beam and posts. The wood floor beam is inadequate, in strength and head height. The foundation walls are cobble stones set in grout. Based on the approximate year of construction the foundation walls most likely lack any steel reinforcing, and the grout appears to be deteriorating in locations.

---

### Recommendations/Conclusion:

Based on the observations made, this home is unsafe to occupy. The building lacks a continuous load path for both gravity and lateral loading. To bring this building up to current code, would require new footings, new and taller foundations, floor beams, spot footings, columns, wall framing, wall sheathing, roof trusses, roof sheathing, along with all interior and exterior finishes. The roof structure would need to be reframed to divert water away from portions of the building and provide proper roof drainage. The only thing salvageable would be the floor joists, and small portions of the roof framing. WCA recommends that this home be raised and a new structure be designed to be built in its place. The new structure would need to have foundations walls which extended a minimum of 6" above the surrounding grade. Typical photos of deficiencies are attached below.



Structural Engineering Inc  
442 Main Street, Suite 200  
Bountiful, UT 84010  
801.298.1118 F 801.298.1122

*If you have any questions or further concerns please give us a call.*

Respectfully,  
Travis Thurgood S.E.  
WCA Structural Engineering, Inc.



Structural Engineering Inc  
442 Main Street, Suite 200  
Bountiful, UT 84010  
801.298.1118 F 801.298.1122



**Photo 1: Deteriorated walls studs**



**Photo 2: Water damage from improper roof drainage**





Structural Engineering Inc  
442 Main Street, Suite 200  
Bountiful, UT 84010  
801.298.1118 F 801.298.1122



**Photo 3: Under sized floor beam and cobble foundations.**



**Photo 4: Home constructed below grade.**

# ATTACHMENT E: APPLICATION MATERIALS

**PROJECT INFORMATION:**

Address: 480 6th Avenue - Salt Lake City  
Parcel ID: 09314310140000  
Name of property owner : Pamella Jones Bloland  
Architect: Smith Hyatt Architects  
Point of contact: Rodrigo Schmeil  
Contact number: (801) 298-5777

**PROJECT DESCRIPTION:**

Located in the heart of Salt Lake City, this historical cottage house located in the avenues has been neglected for several years. The main goal of the project is to retain, restore and ensure the future of this historic cottage, updating the deteriorated property, retaining as much of the historical integrity as possible and restoring its original charm. Our proposal includes the following goals:

Re-grade the north side of the property to reach 8" min below top of the existing foundation wall, grade slope away from the building, and add a new retaining wall to the NE side of the historical cottage house. (See A1.0 for more details) Also part of the proposal is to remove existing roof, with extreme care to not damage it, salvage and store it for future use, restoring and using as much of the original as possible. The cottage house needs a complete new foundation. For this reason we are proposing to remove the rear wall adjacent to 480 6th Avenue and also demolish the garage structure to the south west of the cottage house and build a new addition extending eastward in place of the south façade of the cottage. With the removal of the back walls (as shown on plans A1.0 - Demo Site Plan) and the garage, building the new foundation/basement will be possible.

The North, East and South walls of the cottage house will be restored to its original look, and remain on its existing location, laying on a new foundation. The south wall of the historical house, will be restored, to include the openings that are now boarded up with siding, with matching original windows.

We believe that after this project is concluded the Historical cottage house will be a great contributing structure in the historic district.

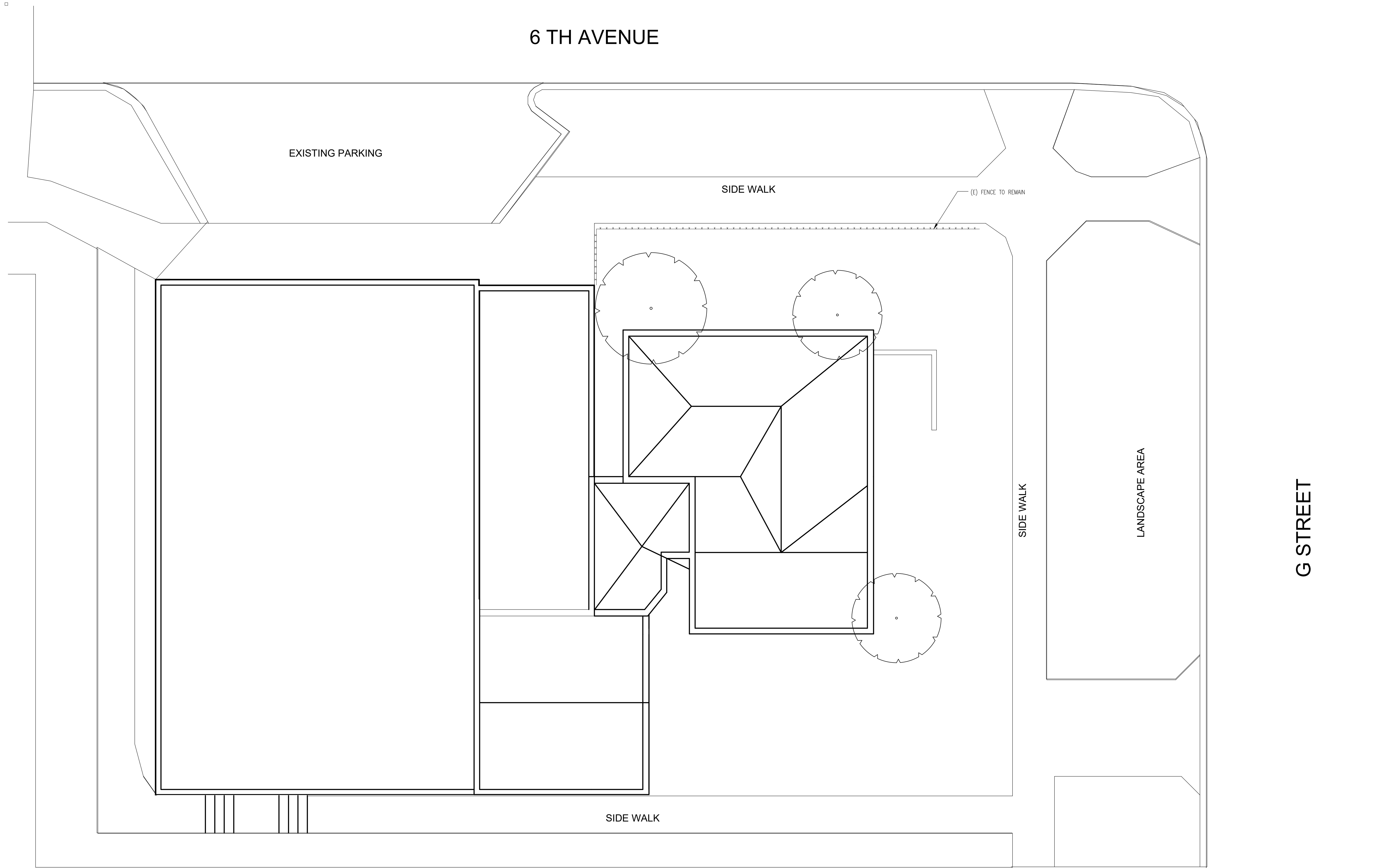
**PROJECT INFORMATION:**

Address: 480 6th Avenue - Salt Lake City  
Parcel ID: 09314310140000  
Name of property owner : Pamella Jones Bloland  
Architect: Smith Hyatt Architects  
Point of contact: Rodrigo Schmeil  
Contact number: (801) 298-5777

**PROJECT DESCRIPTION:**

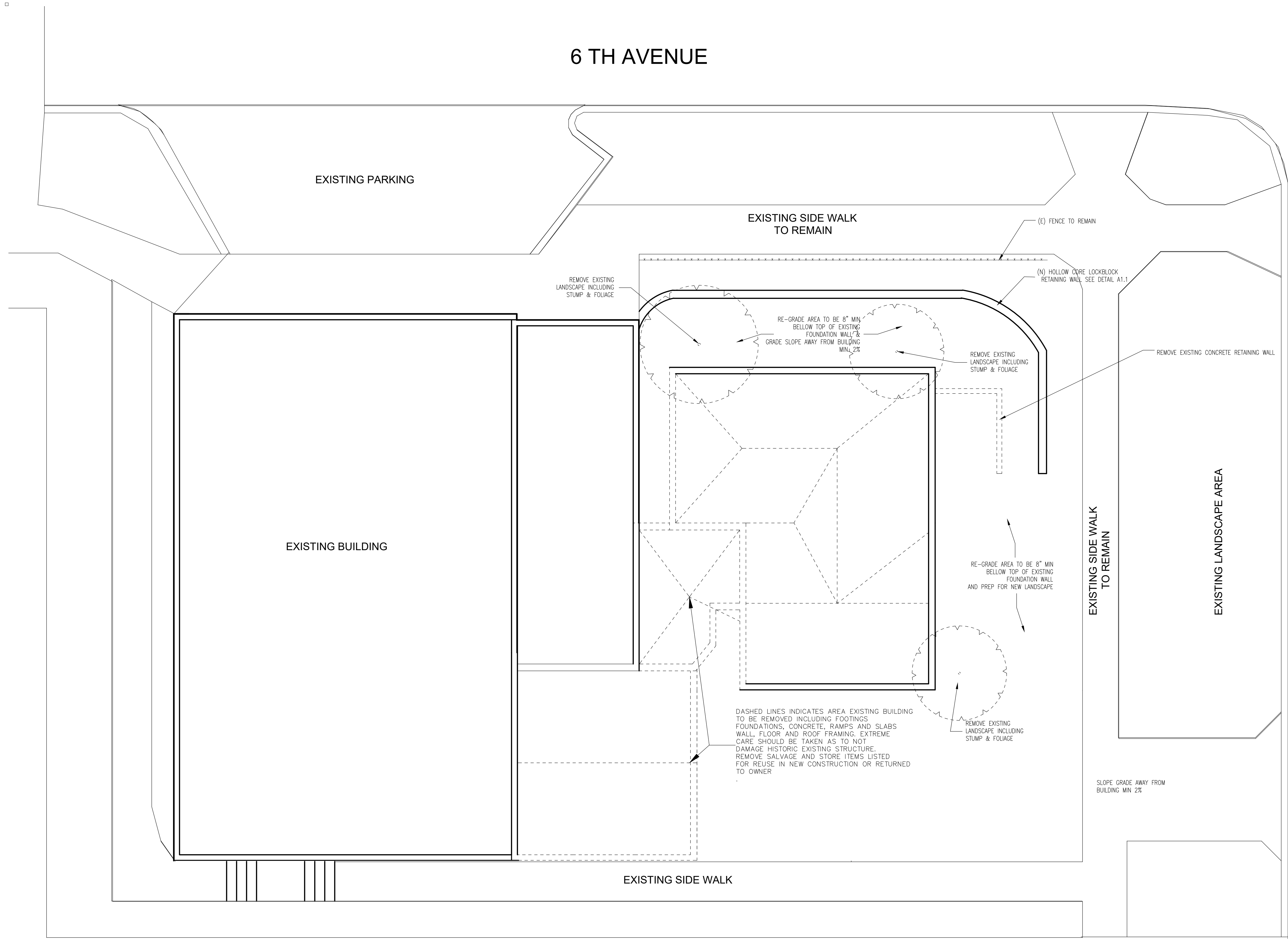
The purpose of this amendment is to list the Special Request that the owner is asking for the property located at approximately 480 6th Avenue.

The property is located in the heart of the avenues, and it is a small lot, with 2 building attached to each other. The west building is zoned as non-conforming SR-1A. Based on the Salt Lake City Sterling codifiers chapter 21A.24.080, we are asking for a special request on the south side of the property ( the inside corner ) setback to be reduced, from 4'-0" to 2'-11" (The existing construction is already in the setback, and the new construction would be lined up with the existing building.). The other exception that we are asking for is the maximum building coverage, the existing building is already exceeding the 40% max that is set for the zone, (existing coverage is 56.5%) and we are proposing a increase of that coverage by 3.5% resulting in a Total coverage of 60% of the site. Please review the Site plan for more details.



1 EXISTING SITE  
 1/4"=1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT.  
 USE GRAPHIC SCALE ACCORDINGLY.

No	DATE	DESCRIPTION



6 TH AVENUE

EXISTING PARKING

EXISTING SIDE WALK TO REMAIN

EXISTING BUILDING

EXISTING SIDE WALK

G STREET

1. STRUCTURAL ASSEMENT OF EXISTING BUILDING TO INCLUDE:
  - A. PLAN FOR BRACING STABILIZATION WITH FRAMED WALL
  - B. ANALYSIS AND REPAIR OF EXISTING FOUNDATION AND SUB-GRADE SUPPORT.
  - C. RE-STRUCTURING OF EXISTING WALLS



NOV. 14th / 2018

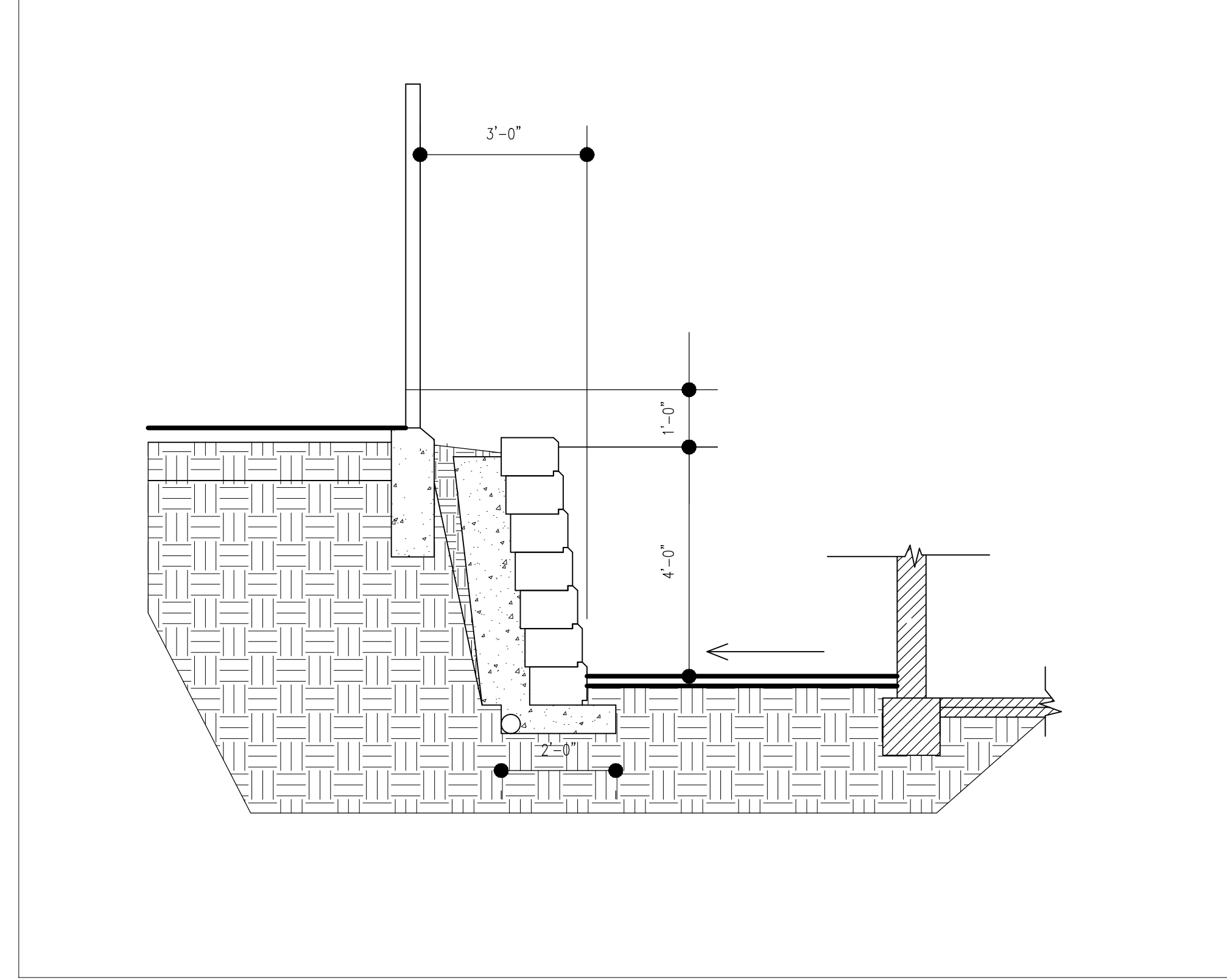
6TH AND G STREET  
SALT LAKE CITY, UT

No	DATE	DESCRIPTION

DEMO  
SITE PLAN

**1** DEMOLITION SITE PLAN  
1/4"=1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

**A1.0**  
17069-A

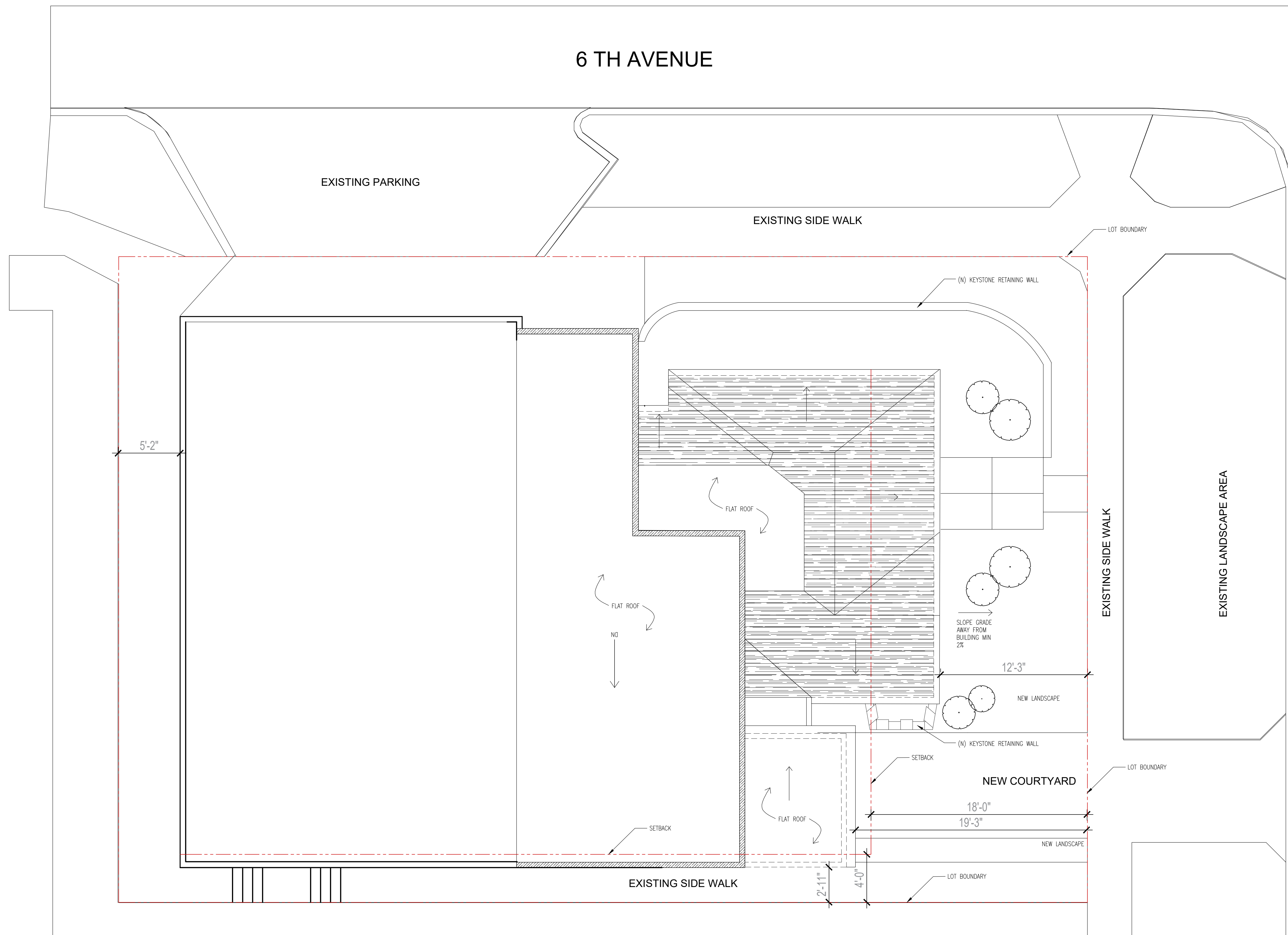


1 KEYSTONE RETAINING WALL

1/2" = 1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

No	DATE	DESCRIPTION

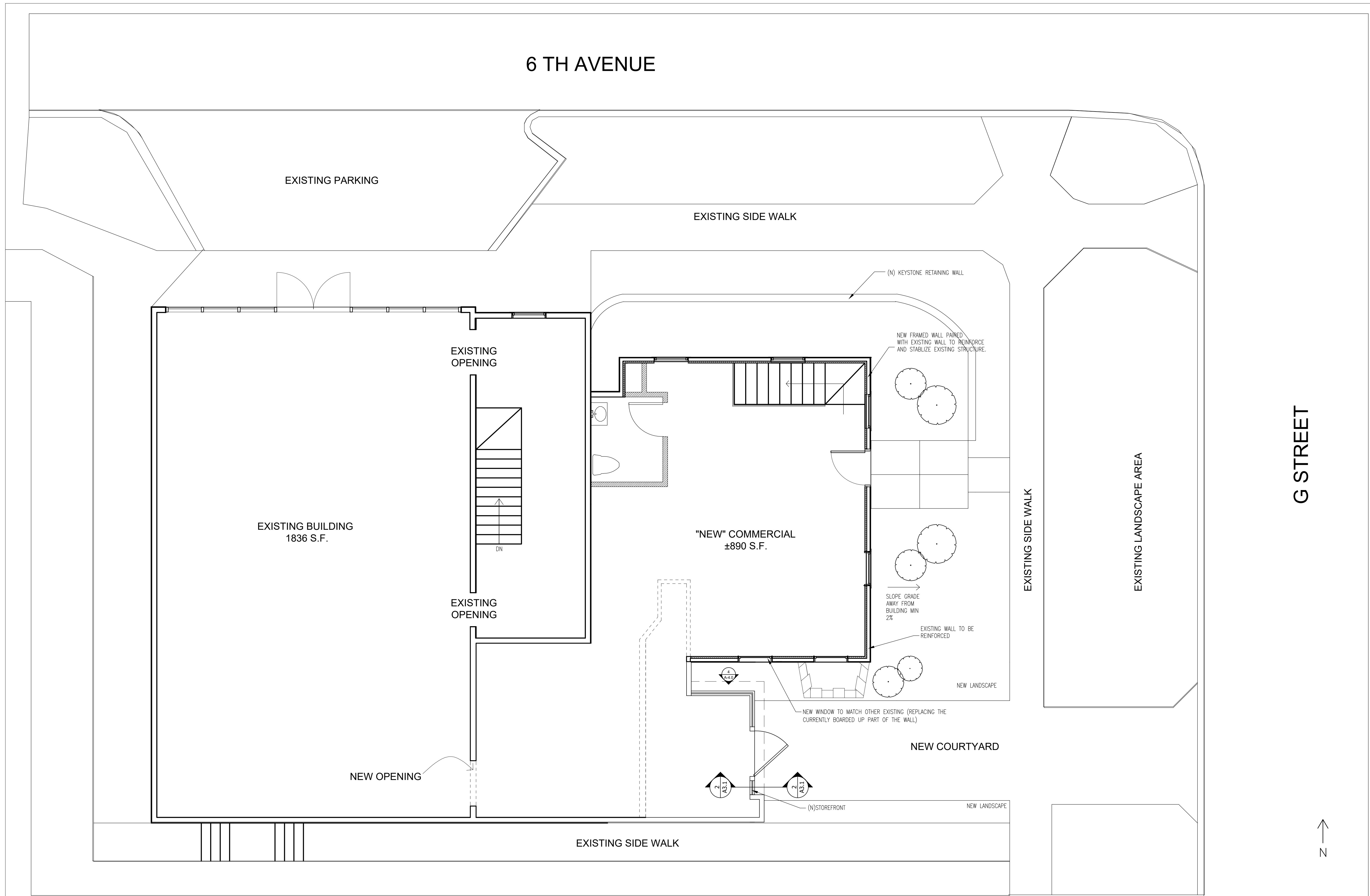
No	DATE	DESCRIPTION



NOTES:  
 EXISTING BUILDING COVERAGE : 56.5%  
 PROPOSED BUILDING COVERAGE : 60%

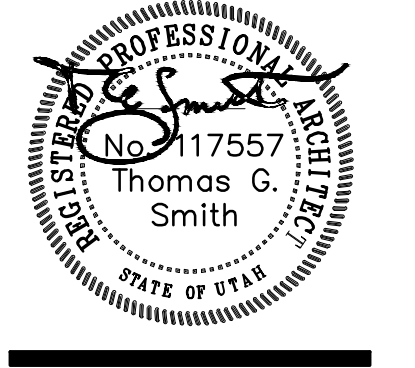
**2 PROPOSED SITE PLAN**  
 1/4"=1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT.  
 USE GRAPHIC SCALE ACCORDINGLY.





**1** GROUND FLOOR PLAN  
 1/4" = 1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT.  
 USE GRAPHIC SCALE ACCORDINGLY.

**SMITH HYATT ARCHITECTS**  
 846 SOUTH MAIN STREET BOUNTIFUL, UTAH (801) 296-5777



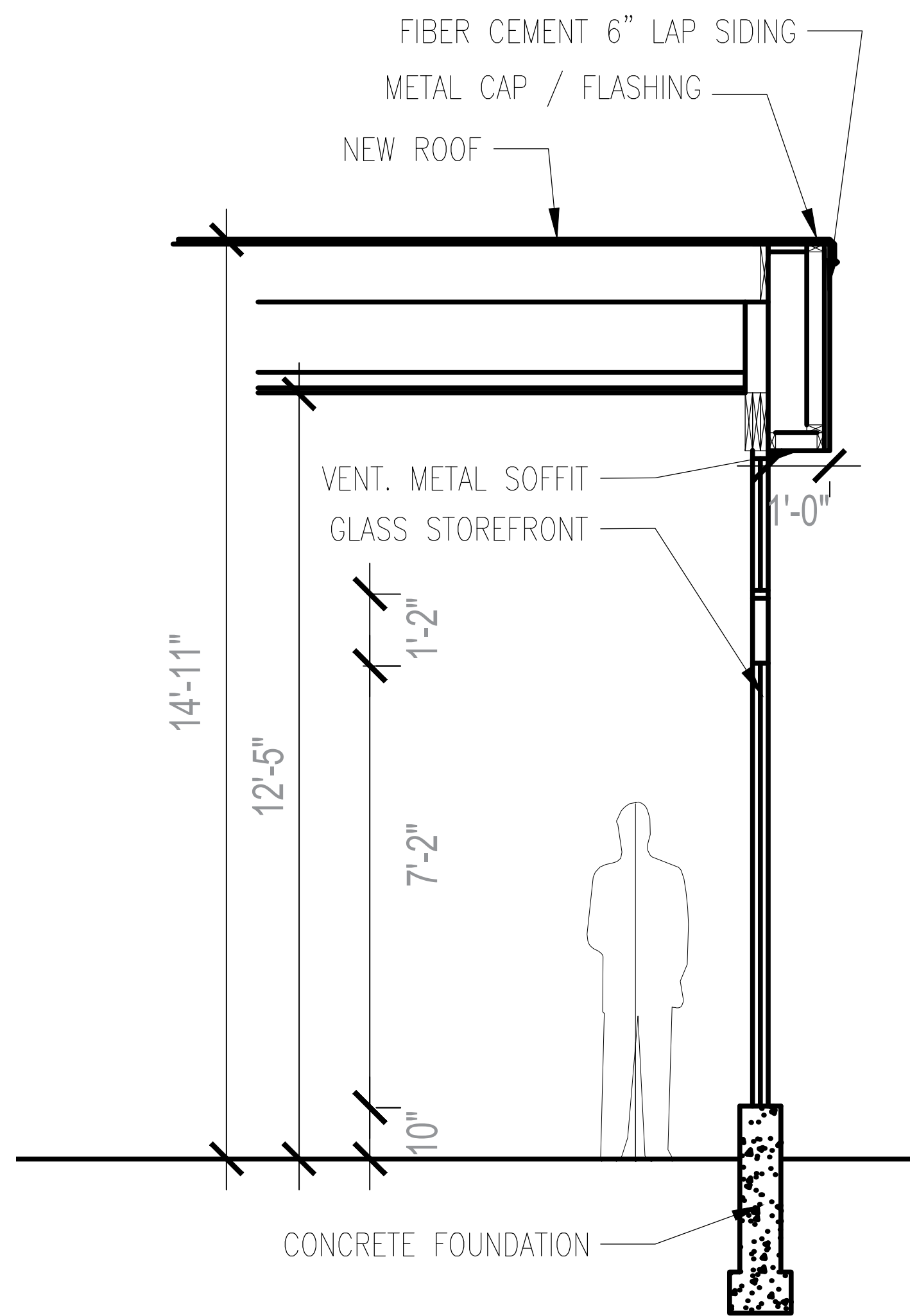
JUNE, 12th / 2018

**6TH AND G STREET  
 SALT LAKE CITY, UT  
 PROPOSAL #2**

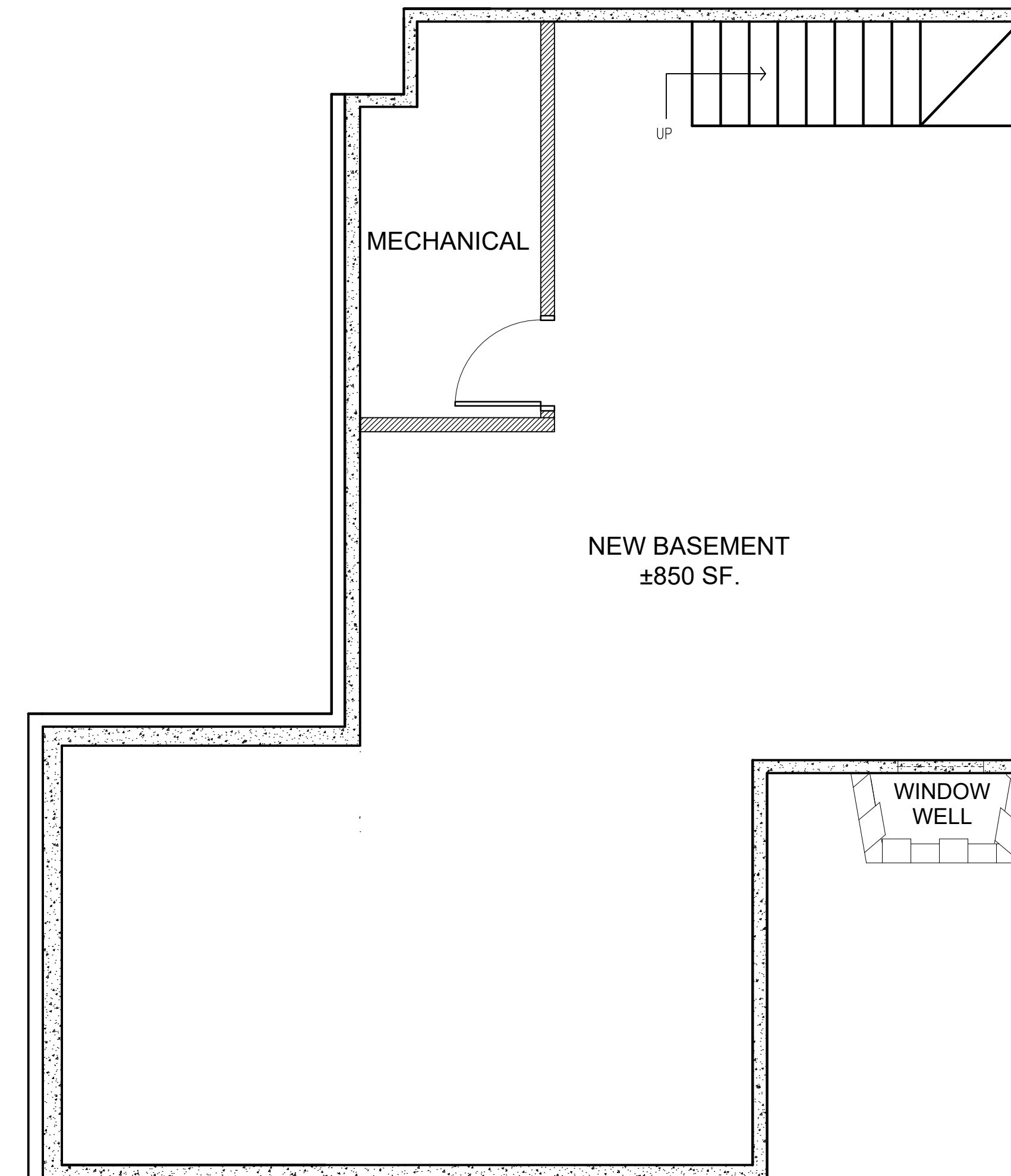
No	DATE	DESCRIPTION

**SCHEMATIC  
 PROPOSED  
 FLOOR  
 PLAN**

**A3.0**  
 17069-A



**2** NEW ADDITION SCHEMATIC SECTION  
 1/2" = 1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT.  
 USE GRAPHIC SCALE ACCORDINGLY.



**1** GROUND FLOOR PLAN  
 1/4" = 1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT.  
 USE GRAPHIC SCALE ACCORDINGLY.

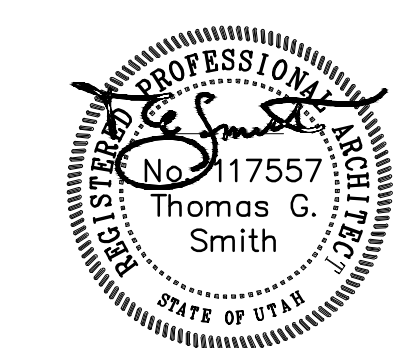
No	DATE	DESCRIPTION

**SCHEMATIC  
 BASEMENT  
 FLOOR  
 PLAN**

**A3.1**  
 17069-A

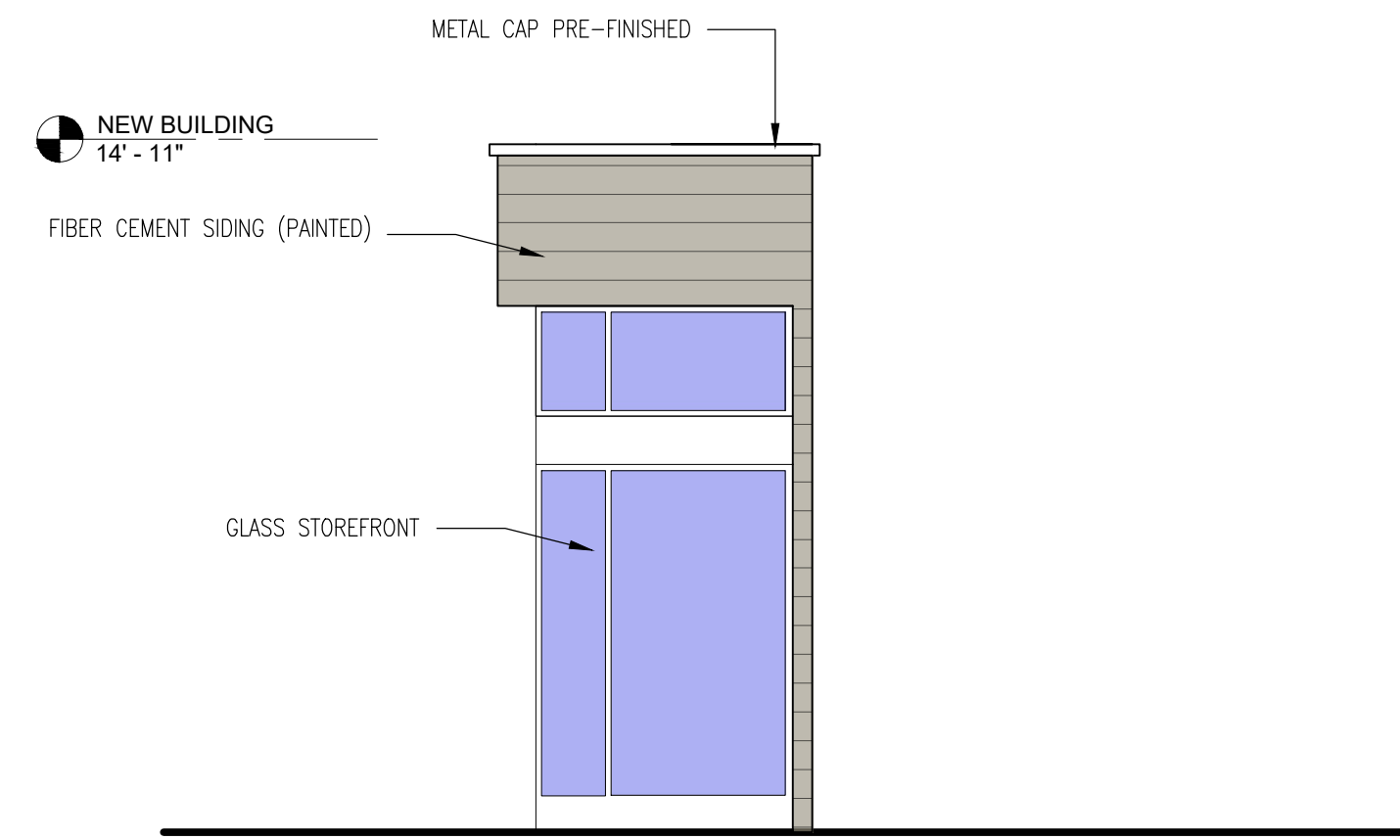
**6TH AND G STREET  
 SALT LAKE CITY, UT  
 PROPOSAL #2**

JUNE. 12th / 2018



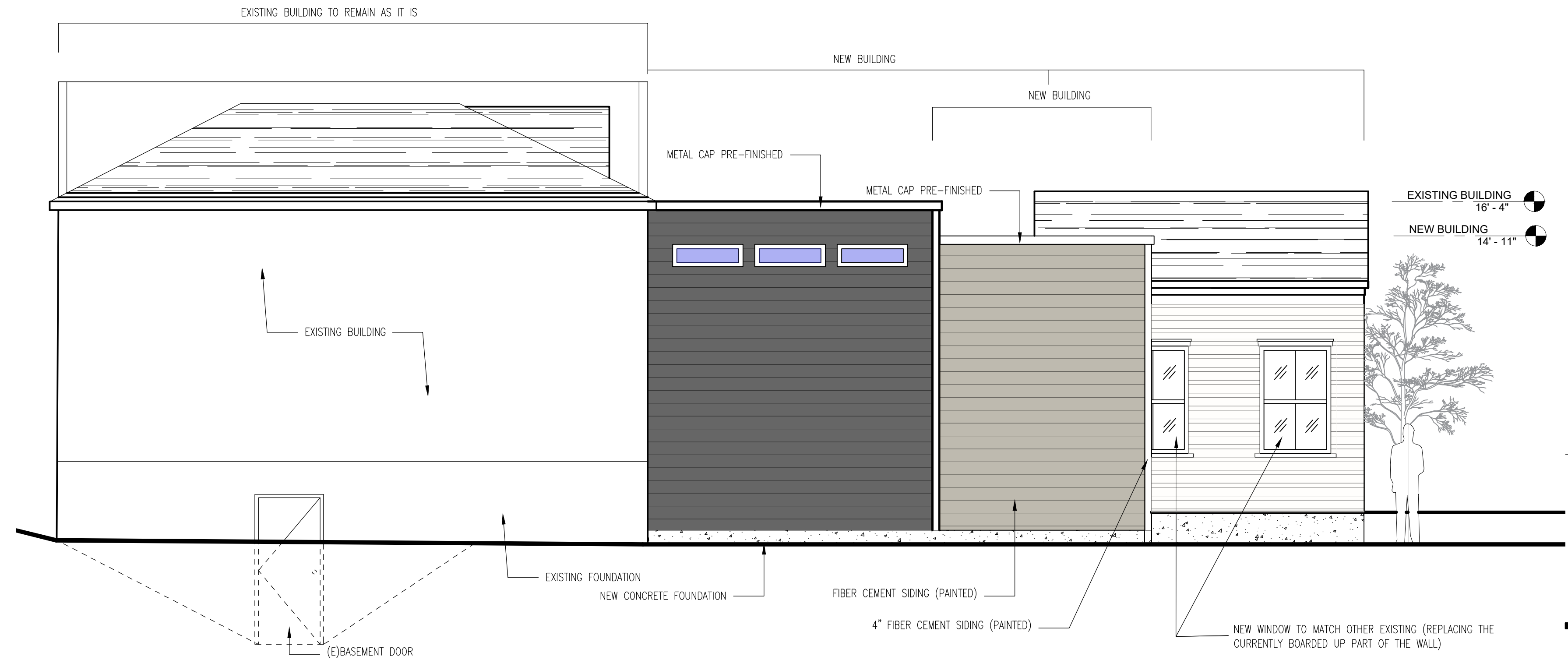
**SMITH HYATT ARCHITECTS**  
 845 SOUTH MAIN STREET BOUNTIFUL, UTAH (801) 296-5777

THIS DESIGN AND ANY IDEAS PORTRAYED IN THIS SET OF DRAWINGS ARE SOLE PROPERTY OF SMITH HYATT ARCHITECTS. NO PART OF THIS DESIGN OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION FROM AN AUTHORIZED REPRESENTATIVE IS PROHIBITED.



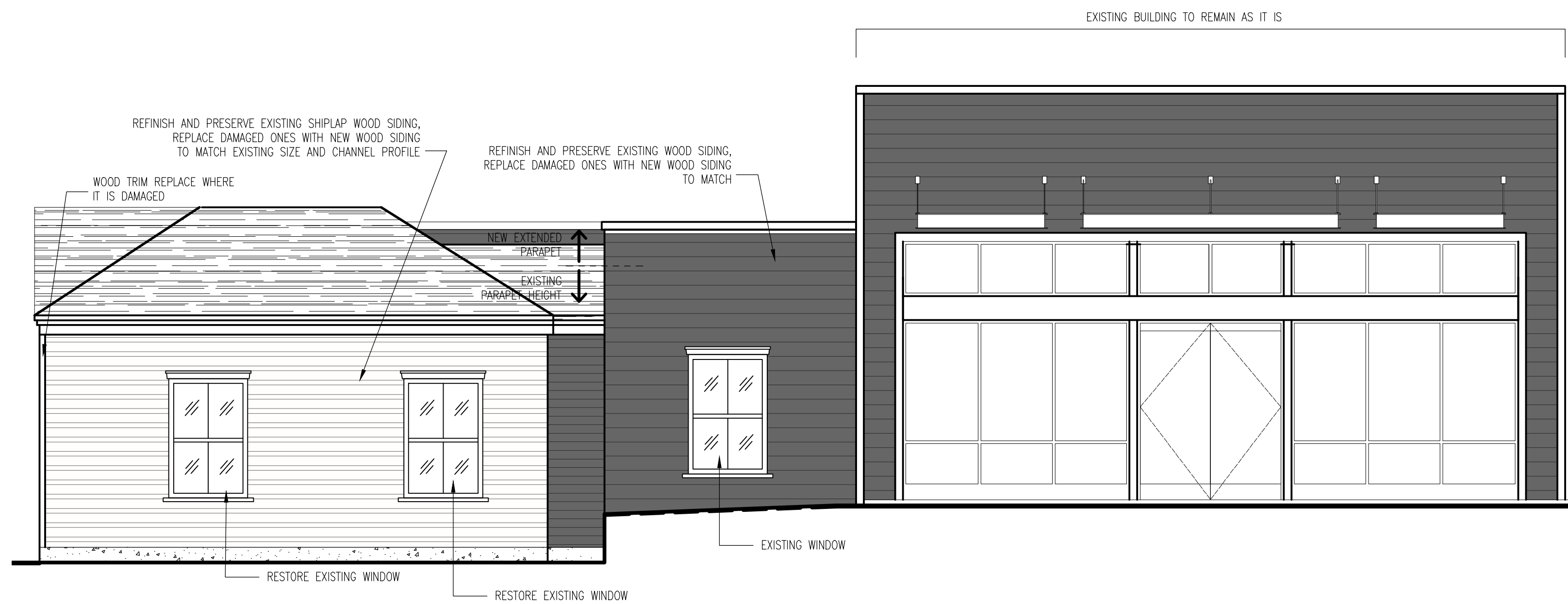
**4 NORTH ELEVATION (NEW ADDITION)**

1/4"=1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.



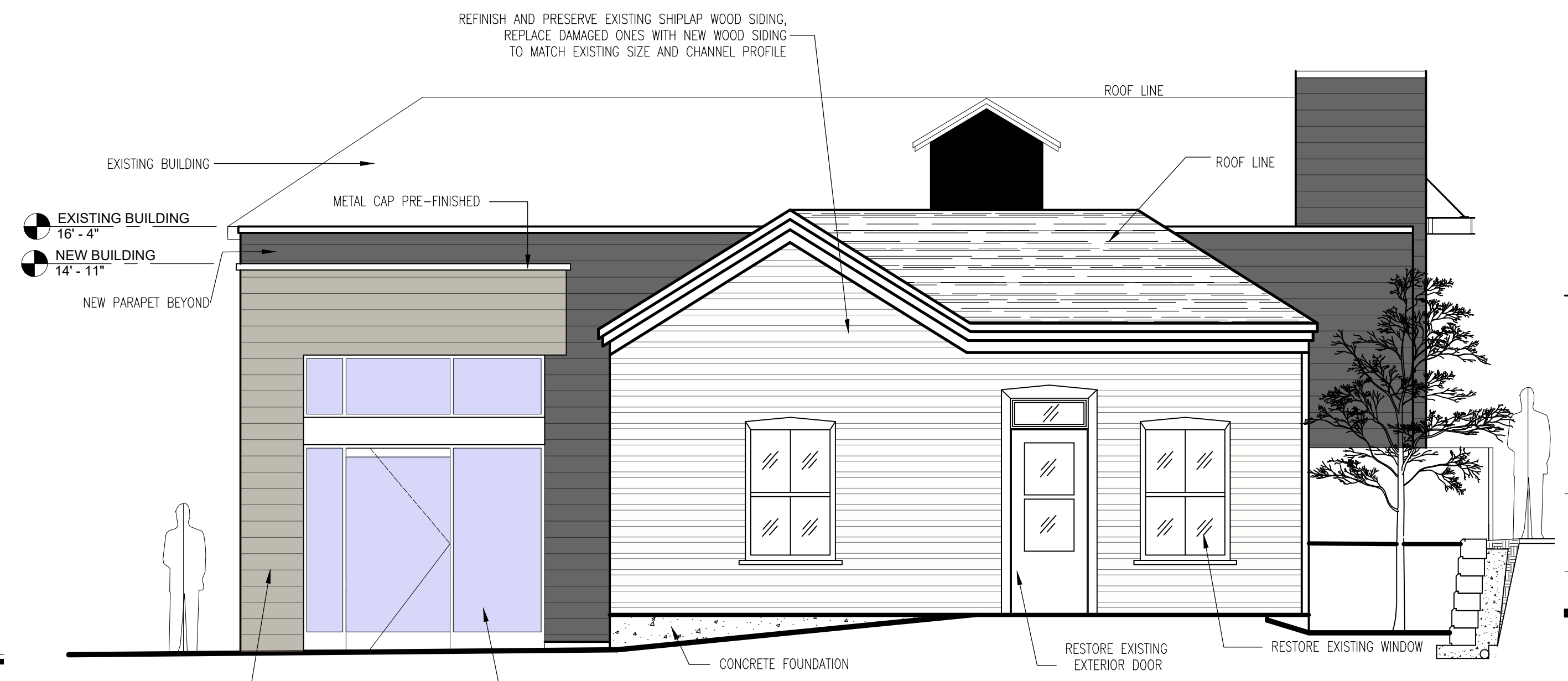
**3 SOUTH ELEVATION**

1/4"=1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.



**1 6th AVE ELEVATION**

1/4"=1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.



**2 G STREET ELEVATION**

1/4"=1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

No	DATE	DESCRIPTION

# ATTACHMENT F: SR-1A ZONING STANDARDS SPECIAL EXCEPTION STANDARDS - REVIEW

The proposals are reviewed in relation to the Historic Design Standards and Design Guidelines in Attachment F of this report.

## **Existing Condition**

The lot is currently occupied by a commercial building and an adjacent cottage building dating to c.1900 and c.1870 respectively within the Avenues Historic District and the SR-1A base zone district.

## **Zoning Ordinance Standards for SR-1A (Special Development Pattern Residential District) (21A.24.180)**

Purpose Statement: The purpose of the SR-1 special development pattern residential district is to maintain the unique character of older predominantly single-family and two-family dwelling neighborhoods that display a variety of yards, lot sizes and bulk characteristics. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

Standard	Proposed	Finding
Minimum Lot Area: 5000 sq ft	No Change	No Change
Minimum Lot Width: 50 ft	No Change	No Change
Setbacks: Front Yard - Average or 20 ft	No Change	No Change
Inner Side Yards - 4 ft	In-Line Addition - 2 ft 11 ins East side	Special Exception Required
Rear Yard: 25% lot depth - need not exceed 30 ft	No Change	No Change
Maximum Building Height for Flat Roof – 20 ft	14 ft 11 ins	Complies
Wall Height at adjacent interior side yard – 16 ft	No Change	No Change
Maximum Building Coverage: 40% of lot area	Current: 56.5% Proposed: 60% (+3.5%)	Special Exception Required

## **Historic Landmark Commission - Jurisdiction & Authority relating to Special Exceptions (21A.06.050.C.6)**

The Historic Landmark Commission has the jurisdiction and authority to review and approve or deny certain special exceptions for properties located within an H historic preservation overlay district. The certain special exceptions are listed as follows:

- a. Building wall height;
- b. Accessory structure wall height;
- c. Accessory structure square footage;
- d. Fence height;
- e. Overall building and accessory structure height;
- f. Signs pursuant to section [21A.46.070](#) of this title; and
- g. Any modification to bulk and lot regulations of the underlying zoning district where it is found that the underlying zoning would not be compatible with the historic district and/or landmark site.

## **Zoning Ordinance Definition & Standards for Special Exceptions – 21A.52.060**

### Special Exception Definition

A "special exception" is an activity or use incidental to or in addition to the principal use(s) permitted in a zoning district or an adjustment to a fixed dimension standard permitted as exceptions to the requirements of this title of less potential impact than a conditional use but which requires a careful review of such factors as location, design, configuration and/or impacts to determine the desirability of authorizing its establishment on any given site.

### Special Exception Standards

- A. **Compliance with Zoning Ordinance and District Purposes:** The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.

*Historic Preservation Overlay Purpose Statement: In order to contribute to the welfare, prosperity and education of the people of Salt Lake City, the purpose of the H historic preservation overlay district is to:*

1. *Provide the means to protect and preserve areas of the city and individual structures and sites having historic, architectural or cultural significance;*
2. *Encourage new development, redevelopment and the subdivision of lots in historic districts that is compatible with the character of existing development of historic districts or individual landmarks;*
3. *Abate the destruction and demolition of historic structures;*
4. *Implement adopted plans of the city related to historic preservation;*
5. *Foster civic pride in the history of Salt Lake City;*
6. *Protect and enhance the attraction of the city's historic landmarks and districts for tourists and visitors;*
7. *Foster economic development consistent with historic preservation; and*
8. *Encourage social, economic and environmental sustainability.*

*SR-1A Purpose Statement: The purpose of the SR-1 special development pattern residential district is to maintain the unique character of older predominantly single-family and two-family dwelling neighborhoods that display a variety of yards, lot sizes and bulk characteristics. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.*

### **Finding**

The special exceptions sought in this case include:

- Projection into 4 foot inner side yard of 1 foot 1 inch.
- Building coverage on this lot would increase from 56.5% to 60% (40% SR-1A requirement)

Both buildings occupy the same lot and both buildings in various respects do not conform to current SR-1A standards. The south addition proposed in this case continue the existing wall plane within the inner side yard setback in the form of an in-line addition. Combined, the additions increase the building coverage on this site by 3.5%, with little appreciable impact upon current form and configuration. Staff would conclude that the special exceptions sought for this development would meet the objectives of the historic district purpose and standards, would not conflict with the purposes of the SR-1A zoning district or the objectives of the special exception standard and generally would be compatible with the historic character of existing development in this context within The Avenues Historic District.

- B. **No Substantial Impairment of Property Value:** The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.

*Historic Preservation Overlay Purpose Statement:*

*The purposes of the H Historic Preservation Overlay is outlined above.*

*SR-1A Purpose Statement:*

*The purpose of the SR-1 special development pattern residential district are outlined above.*

### **Finding**

Overall the proposals should not diminish or impair neighborhood property values. Consequently, Staff would conclude that proposals in this context would meet this standard.

- C. **No Undue Adverse Impact:** The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.  
Historic Preservation Overlay Purpose Statement:  
*The purposes of the H Historic Preservation Overlay is outlined above.*  
SR-1A Purpose Statement:  
*The purpose of the SR-1 special development pattern residential district are outlined above.*  
**Finding**  
 The proposals, in Staff's evaluation, are designed with reference to the existing buildings and in character and scale with the context. Staff would conclude that the proposals would have no material adverse effect upon area character, nor upon public health, safety or general welfare. This standard is met.
- D. **Compatible with Surrounding Development:** The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.  
Historic Preservation Overlay Purpose Statement:  
*The purposes of the H Historic Preservation Overlay is outlined above.*  
SR-1A Purpose Statement:  
*The purpose of the SR-1 special development pattern residential district are outlined above.*  
**Finding**  
 The proposals appear to be considered in the context of the use and development of neighboring property and to achieve a compatibility with that character and setting. Exceptions sought are limited, given the constraints of this site, and in many respects should harmonize with existing surroundings. In that context the proposals would meet this special exception standard.
- E. **No Destruction of Significant Features:** The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.  
Historic Preservation Overlay Purpose Statement:  
*The purposes of the H Historic Preservation Overlay is outlined above.*  
SR-1A Purpose Statement:  
*The purpose of the SR-1 special development pattern residential district are outlined above.*  
**Finding**  
 Staff is unaware of any destruction of natural, scenic or historic features of significant importance resulting from the current proposals. Reviewed in the context of the purpose and standards for the historic district overlay, the proposals would not have an adverse impact, and this special exception standard is met.
- F. **No Material Pollution of Environment:** The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.  
Historic Preservation Overlay Purpose Statement:  
*The purposes of the H Historic Preservation Overlay is outlined above.*  
SR-1A Purpose Statement:  
*The purpose of the SR-1 special development pattern residential district are outlined above.*  
**Finding**  
 The proposals are not thought to be a likely source of any material pollution of the environment. In relation to the purpose and standards for the historic overlay district Staff would conclude that this standard is met.
- G. **Compliance with Standards:** The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.  
Historic Preservation Overlay Purpose Statement:  
*The purposes of the H Historic Preservation Overlay is outlined above.*  
SR-1A Purpose Statement:  
*The purpose of the SR-1 special development pattern residential district are outlined above.*  
**Finding**  
 In relation to the purpose and standards for the historic district overlay, no additional standards of this chapter are identified by Staff, and in that respect this special exception standard is met.

# ATTACHMENT G: DESIGN STANDARDS FOR ALTERATION OF A CONTRIBUTING STRUCTURE. DESIGN GUIDELINES FOR ADDITIONS, & BUILDING MATERIALS & FINISHES

A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City, Chapter 8 Additions & Chapter 2 Building Materials & Finishes are the relevant historic design guidelines for this design review. They are identified here as they relate to the corresponding Historic Design Standards for alteration to a contributing structure in the Avenues Historic District (21A.34.020.G).

<http://www.slcdocs.com/historicpreservation/GuideRes/ResidentialGuidelines.pdf>

<http://www.slcdocs.com/historicpreservation/GuideRes/Ch8.pdf>

<http://www.slcdocs.com/historicpreservation/GuideRes/Ch2.pdf>

Design Standards for Alteration of a Contributing Structure	Design Guidelines & Analysis	Finding
<p>1. A <u>property shall be used</u> for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment;</p>	<p><b>Historic Preservation Principles</b>                      The following preservation principles and practice reflect national philosophy and should be applied to all historic properties in Salt Lake City.  <b>Seek uses that are compatible with the historic character of the building.</b>                      Building uses that are closely related to the original use are preferred. Every reasonable effort should be made to provide a compatible use that will require minimal alteration to the building and its site.</p> <p>While the use of the building/s is primarily a consideration of the Planning Commission, the implications for the physical fabric of the building become a consideration of the Historic Landmark Commission. The building was built as a residence and has been used as such for most of its life. While future residential use was considered, the decision to pursue future commercial use of the building was the conclusion, prompting a re-zone of the site to be shortly reviewed by Planning Commission. The proposed alterations to the existing building and new additions are similar for each option. This ‘adaptive reuse’, with some alteration, should ensure the repair, rehabilitation and future vitality of the building. It could be concluded that the ‘change to the defining characteristics of the building and its site and environment’ might be minimal.</p>	<p>The proposals generally accord with the Preservation Principles of RDGs.</p>

<p>2. <u>The historic character of a property shall be retained and preserved.</u> The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;</p>	<p><b>Design Objective for Additions</b>  The design of a new addition to a historic building should ensure that the building’s early character is maintained. Older additions that have taken on significance also should be preserved.</p> <p><b>8.1 An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.</b></p> <ul style="list-style-type: none"> <li>• Loss or alteration of architectural details, cornices and eave lines, for example, should be avoided.</li> </ul> <p><b>8.2 An addition should be designed to be compatible in size and scale with the main building.</b></p> <ul style="list-style-type: none"> <li>• An addition should be set back from the primary facades in order to allow the original proportions and character of the building to remain prominent.</li> <li>• The addition should be kept visually subordinate to the historic portion of the building.</li> <li>• If it is necessary to design an addition that is taller than the historic building, it should be set back substantially from significant facades, with a “connector” link to the original building.</li> </ul> <p><b>8.3 An addition should be sited to the rear of a building or set back from the front to minimize the visual impact on the historic structure and to allow the original proportions and character to remain prominent.</b></p> <ul style="list-style-type: none"> <li>• Locating an addition at the front of a structure is usually inappropriate.</li> </ul> <p><b>8.5 A new addition should be designed to preserve the established massing and orientation of the historic building.</b></p> <ul style="list-style-type: none"> <li>• For example, if the building historically has a horizontal emphasis, this should be reflected in the addition.</li> </ul> <p><b>8.7 When planning an addition to a building, the historic alignments and rhythms that may exist on the street should be defined and preserved.</b></p> <ul style="list-style-type: none"> <li>• Some roof lines and porch eaves on historic buildings in the area may align at approximately the same height. An addition should not alter these relationships.</li> <li>• Maintain the side yard spacing, as perceived from the street, if this is a characteristic of the setting.</li> </ul>	
--	--	--



	<p><b>8.8 Exterior materials that are similar to the historic materials of the primary building or those used historically should be considered for a new addition.</b></p> <ul style="list-style-type: none"> <li>• Painted wood clapboard, wood shingle and brick are typical of many historic residential additions.</li> <li>• See also the discussion of specific building types and styles, in the History and Architectural Styles section of the guidelines.</li> <li>• Brick, CMU, stucco or panelized products may be appropriate for some modern buildings</li> </ul> <p><b>8.9 Original features should be maintained wherever possible when designing an addition.</b></p> <ul style="list-style-type: none"> <li>• Construction methods that would cause vibration which might damage historic foundations should be avoided.</li> <li>• New drainage patters should be designed to avoid adverse impacts to historic walls and foundations.</li> <li>• New alterations also should be designed in such a way that they can be removed without destroying original materials or features wherever possible.</li> </ul> <p><b>8.10 The style of windows in the addition should be similar in character to those of the historic building or structure where readily visible.</b></p> <ul style="list-style-type: none"> <li>• If the historic windows are wood, double-hung, for example, new windows should appear to be similar to them, or a modern interpretation.</li> </ul> <p><b>Ground Level Additions</b></p> <p><b>8.11 A new addition should be kept physically and visually subordinate to the historic building.</b></p> <ul style="list-style-type: none"> <li>• The addition should be set back significantly from primary facades.</li> <li>• The addition should be consistent with the scale and character of the historic building or structure.</li> <li>• Large additions should be separated from the historic building by using a smaller connecting element to link the two where possible.</li> </ul> <p><b>8.12 Roof forms should be similar to those of the historic building.</b></p> <ul style="list-style-type: none"> <li>• Typically, gable, hip and shed roofs are appropriate.</li> <li>• Flat roofs are generally inappropriate, except where the original building has a flat roof.</li> </ul> <p><b>8.13 On primary facades of an addition, a ‘solid-to-void’ ratio that is similar to that of the historic building should be used.</b></p> <ul style="list-style-type: none"> <li>• The solid-to-void ratio is the relative percentage of wall to windows and doors seen on the facade.</li> </ul> <p>The existing building has undergone various alterations in the past, although many of these have been towards the rear and less apparent as the building is appreciated from the street. The current proposals to an extent adopt a similar principle, infilling the existing space between the cottage and the commercial structure. The new addition to the south, extending the footprint of the existing garage structure, has been revised in these proposals to extend eastward only to the initial third of the Cottage south façade. Revisions also achieve a step back in this addition from the south façade of the cottage to ensure that its integrity is both retained and apparent, in contrast with the previous proposals. Consequently, the proposed additions minimize the loss of apparent historic fabric and retain views of a rehabilitated south cottage façade. They equate relatively closely with the existing scale, and avoid adverse impact upon massing and orientation, and should be visually subordinate. Materials reflect the predominant wood siding which is characteristic of both the historic cottage and the adjacent commercial building, while a strongly framed glazed frontage reflects the projected future use. Roof forms differ in part from the commercial but do so to minimize height and bulk. Overall the character of the property, as appreciated from the street, will be retained and preserved.</p>	<p>Overall, the proposals as revised would accord with the objectives of Std. 2.</p>
--	--	--

<p>3. All sites, structures and objects shall be recognized as <u>products of their own time</u>. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed;</p> <p>8. <u>Contemporary design</u> for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment;</p>	<p><b>Design Objective for Additions</b> The design of a new addition to a historic building should ensure that the building’s early character is maintained. Older additions that have taken on significance also should be preserved.</p> <p><b>8.4 A new addition should be designed to be recognized as a product of its own time.</b></p> <ul style="list-style-type: none"> <li>• An addition should be made distinguishable from the historic building, while also remaining visually compatible with historic features.</li> <li>• A change in setbacks of the addition from the historic building, a subtle change in material, or the use of modified historic or more current styles are all techniques that may be considered to help define a change from old to new construction.</li> <li>• Creating a jog in the foundation between the original building and the addition may help to establish a more sound structural design to resist earthquake damage, while helping to define it as a later addition.</li> </ul> <p><b>8.6 A new addition or alteration should not hinder one’s ability to interpret the historic character of the building or structure.</b></p> <ul style="list-style-type: none"> <li>• A new addition that creates an appearance inconsistent with the historic character of the building is inappropriate.</li> <li>• An alteration that seeks to imply an earlier period than that of the building should be avoided.</li> <li>• An alteration that covers historically significant features should be avoided.</li> </ul> <p>The proposed additions could be readily recognized as a later phase of development and should not hinder the future interpretation of the historic character of the site and buildings. The design approach is compatible with the size, scale, materials and character of the buildings and the context. Form and design have been revised to ensure that the proposed addition does not cover the historically significant feature of the south cottage façade, while the original window will be reinstated.</p>	<p>The proposals would accord with the objectives of Stds. 3 &amp; 8</p>
<p>4. Alterations or additions that have acquired <u>historic significance</u> in their own right shall be retained and preserved;</p>	<p><b>Design Objective for Additions</b> The design of a new addition to a historic building should ensure that the building’s early character is maintained. Older additions that have taken on significance also should be preserved.</p> <p><b>8.1 An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.</b></p> <ul style="list-style-type: none"> <li>• Loss or alteration of architectural details, cornices and eave lines, for example, should be avoided.</li> </ul> <p><b>8.6 A new addition or alteration should not hinder one’s ability to interpret the historic character of the building or structure.</b></p> <ul style="list-style-type: none"> <li>• A new addition that creates an appearance inconsistent with the historic character of the building is inappropriate.</li> <li>• An alteration that seeks to imply an earlier period than that of the building should be avoided.</li> <li>• An alteration that covers historically significant features should be avoided.</li> </ul> <p>The existing garage structure attached to the commercial building would be removed, to be replaced by the new addition. The existing is not identified as a structure of historic interest or importance, and consequently its loss would not adversely affect the historic character of the site and the buildings.</p>	<p>The proposals would accord with the objectives of Std. 4</p>

<p>5. <u>Distinctive features, finishes and construction techniques or examples of craftsmanship</u> that characterize a historic property shall be preserved;</p>	<p><b>Design Objective for Additions</b>  The design of a new addition to a historic building should ensure that the building’s early character is maintained. Older additions that have taken on significance also should be preserved.</p> <p><b>8.1 An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.</b></p> <ul style="list-style-type: none"> <li>• Loss or alteration of architectural details, cornices and eave lines, for example, should be avoided.</li> </ul> <p><b>8.3 An addition should be sited to the rear of a building or set back from the front to minimize the visual impact on the historic structure and to allow the original proportions and character to remain prominent.</b></p> <ul style="list-style-type: none"> <li>• Locating an addition at the front of a structure is usually inappropriate.</li> </ul> <p><b>8.6 A new addition or alteration should not hinder one’s ability to interpret the historic character of the building or structure.</b></p> <ul style="list-style-type: none"> <li>• A new addition that creates an appearance inconsistent with the historic character of the building is inappropriate.</li> <li>• An alteration that seeks to imply an earlier period than that of the building should be avoided.</li> <li>• An alteration that covers historically significant features should be avoided.</li> </ul> <p>No distinctive features, finishes, construction techniques or craftsmanship characterizing these buildings, as they are apparent from the public realm, would be lost with these proposals.</p>	<p>The proposals would accord with the objectives of Std. 5</p>
<p>6. <u>Deteriorated architectural features</u> shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects;</p>	<p><b>Design Objective for Building Materials &amp; Finishes</b>  Primary historic building materials should be preserved in place whenever feasible. When the material is damaged, then limited replacement, matching the original, may be considered. Primary building materials should never be covered or subjected to harsh cleaning treatments.</p> <p><b>2.1 Primary historic building materials should be retained in place whenever feasible.</b></p> <ul style="list-style-type: none"> <li>• Limit replacement to those materials that cannot be repaired.</li> <li>• When the material is damaged beyond repair, match the original wherever feasible.</li> <li>• Covering historic building materials with new materials should be avoided.</li> <li>• Avoid any harsh cleaning treatments, since these may cause permanent damage to the material.</li> </ul> <p><b>2.8 Original wood siding should be preserved.</b></p> <ul style="list-style-type: none"> <li>• Avoid removing siding that is in good condition or that can be repaired in situ.</li> <li>• Only remove the siding which has deteriorated beyond repair.</li> <li>• Match the dimensions, form, style, profile, detail and finish of the original or existing siding, if new siding is required.</li> </ul> <p>With these proposals the majority of the exterior of the cottage would be retained, it would be repaired in terms of foundation, structure and facing materials. It is proposed to reinstate the window which has been lost on the south façade of the cottage, designed to match the existing windows. The existing windows would be retained and repaired.</p>	<p>The proposals would accord with the objectives of Std. 6</p>
<p>7. <u>Chemical or physical treatments</u>, such as sandblasting, that cause damage to</p>	<p>This standard does not apply in this case.</p>	

<p>historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;</p>		
<p>9. <u>Additions or alterations</u> to structures and objects shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment;</p>	<p><b>Design Objective for Additions</b>  The design of a new addition to a historic building should ensure that the building's early character is maintained. Older additions that have taken on significance also should be preserved.</p> <p><b>8.1 An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.</b></p> <ul style="list-style-type: none"> <li>Loss or alteration of architectural details, cornices and eave lines, for example, should be avoided.</li> </ul> <p><b>8.3 An addition should be sited to the rear of a building or set back from the front to minimize the visual impact on the historic structure and to allow the original proportions and character to remain prominent.</b></p> <ul style="list-style-type: none"> <li>Locating an addition at the front of a structure is usually inappropriate.</li> </ul> <p><b>8.7 When planning an addition to a building, the historic alignments and rhythms that may exist on the street should be defined and preserved.</b></p> <ul style="list-style-type: none"> <li>Some roof lines and porch eaves on historic buildings in the area may align at approximately the same height. An addition should not alter these relationships.</li> <li>Maintain the side yard spacing, as perceived from the street, if this is a characteristic of the setting.</li> </ul> <p><b>8.9 Original features should be maintained wherever possible when designing an addition.</b></p> <ul style="list-style-type: none"> <li>Construction methods that would cause vibration which might damage historic foundations should be avoided.</li> <li>New drainage patterns should be designed to avoid adverse impacts to historic walls and foundations.</li> <li>New alterations also should be designed in such a way that they can be removed without destroying original materials or features wherever possible.</li> </ul> <p><b>Ground Level Additions</b></p> <p><b>8.11 A new addition should be kept physically and visually subordinate to the historic building.</b></p> <ul style="list-style-type: none"> <li>The addition should be set back significantly from primary facades.</li> <li>The addition should be consistent with the scale and character of the historic building or structure.</li> <li>Large additions should be separated from the historic building by using a smaller connecting element to link the two where possible.</li> </ul> <p>The proposed addition to the rear of the cottage would in this case remove the historic west walls, adversely affecting the historic integrity of the building. Some of this fabric has already been internalized and obscured by later additions, while the rest are not readily apparent from the public way. To the extent that future removal might arise, the original form of the rear of the cottage could be rebuilt and its physical, if not its historical integrity, restored. The proposal is otherwise compatible and is unlikely to be confused with older construction, detail or materials.</p>	<p>The proposals would accord in part with the objectives of Std. 9</p>

<p>10. Certain <u>building materials</u> are <u>prohibited</u> including the following: Aluminum, asbestos, or vinyl cladding when applied directly to an original or historic material.</p>	<p>This standard does not apply in this case.</p>	
<p>11. Any new <u>sign</u> and any change in the appearance of any existing sign located on a landmark site or within the H historic preservation overlay district, which is visible from any public way or open space shall be consistent with the historic character of the landmark site or H historic preservation overlay district and shall comply with the standards outlined in chapter 21A.46 of this title.</p>	<p>This standard does not apply in this case.</p>	