



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY *and* NEIGHBORHOODS

To: Historic Landmark Commission

From: Michael Maloy, AICP, Senior Planner, michael.maloy@slcgov.com or (801) 535-7118

Date: December 7, 2017

Re: Petition PLNHLC2017-00560 for New Construction at 1117 E South Temple Street
Petition PLNHLC2017-00763 for Special Exceptions at 1117 E South Temple Street

NEW CONSTRUCTION & SPECIAL EXCEPTION IN HISTORIC DISTRICT

PROPERTY ADDRESS:	1117 E South Temple Street
PARCEL IDENTIFICATION NUMBER:	09-32-459-014
HISTORIC DISTRICT:	South Temple Historic District
ZONING DISTRICT:	R-MU-35 Residential/Mixed Use District
MASTER PLAN:	High Density Over 20 Dwelling Units per Gross Acre (Avenues Community Master Plan)

REQUEST:

Tariq Mughal, property owner, is requesting approval to develop 12 residential dwelling units at 1117 E South Temple Street in the South Temple Historic District. The project requires approval of the following petitions:

- PLNHLC2017-00560 - To build the project noted above, New Construction approval is required to allow development of a new principal building within the South Temple Local Historic District. The 12 unit apartment building will be approximately 35 feet high and have 12 parking spaces.
- PLNHLC2017-00763 - To build the project noted above, Special Exception approval is required to allow construction of a below-grade parking structure, and grade changes up to 7 feet, within a rear yard setback.

RECOMMENDATION:

PLNHLC2017-00560 - Based on the analysis and findings listed in this staff report, public testimony, and the proposal presented, I move that the Commission approve the request for new construction of 12 residential dwelling units located at approximately 1117 E South Temple Street, subject to the following conditions of approval:

1. Approval of final design details including building materials and lighting, as well as any other direction expressed by the Commission, shall be delegated to Planning Division staff.
2. Applicant shall submit additional documentation to demonstrate compatibility of façade window pattern and dimensions, or amend proposal, to ensure compliance with applicable regulations.
3. To ensure mechanical services are acoustically screened from nearby properties, air conditioning units must be fully screened and may not be placed on balconies.

PLNHLC2017-00763 - Based on the analysis and findings listed in this staff report, public testimony, and the proposal presented, I move that the Commission approve the request for special exception to allow below grade encroachment up to 1 foot from rear and side property lines, and grade changes up to 7 feet within a rear yard, located at approximately 1117 E South Temple Street.

BACKGROUND AND PROJECT DESCRIPTION:

The applicant, Tariq Mughal, is the owner of property located at 1117 E South Temple Street. The subject property, which is currently vacant, is zoned R-MU-35 Residential/Mixed Use District. The property is also within the H Historic Preservation Overlay District, as well as the Groundwater Source Protection District.

On July 14, 2017, the applicant submitted petition number PLNHCL2017-00560 for **“new construction” to develop an** apartment building with 12 dwelling units. On September 13, 2017, the applicant also submitted petition number PLNHLC2017-**00763 for a “special exception”** to permit construction of below-grade parking stalls that encroach within required yards, and grade changes of approximately 7 feet within the rear yard (see Attachment A – Petitions & Narratives, Attachment E – Site Plan, Attachment I – Building Elevations & Sections, and Attachment M – Floor Plans).

The subject property, which is approximately 50'-0" wide and 165'-0" deep and contains 0.189 of an acre, is within the South Temple Local Historic District. The district, which is Salt Lake **City’s oldest local historic district**, was designated by Salt Lake City on April 7, 1976, when the City Council adopted Ordinance 49 of 1976.

To facilitate the development of the subject property, the Salt Lake City Council passed Ordinance 66 of 2016 on October 4, 2016, to:

1. Rezone the subject property from RMF-35 Moderate Density Multi-Family Residential District to R-MU-35 Residential/Mixed Use District, and
2. Amend the Avenues Community Future Land Use Map for the subject property from Medium Density Residential to High Density Residential.

The ordinance also required the applicant to enter into a development agreement with the City, to ensure compliance with the following two conditions:

1. Use of the subject property is limited to residential land uses and commercial land uses are prohibited, and
2. **The “minimum front yard setback . . . is consistent with the front building line of the primary structure on the parcel immediately west of the property.”**

Following adoption of City Ordinance 66 of 2016, the applicant entered into a development agreement with the City and the ordinance was published by the City Recorder on March 8, 2017.

On July 14, 2017, the applicant submitted Petition No. PLNHLC2017-**00560 for “new construction” on the subject property. The applicant then** requested a **“work session” with the** Historic Landmark Commission to identify any concerns—and alternative solutions if necessary—before seeking formal approval from the Commission. The work session was held September 7, 2017. In preparation for the meeting, staff requested the Commission:

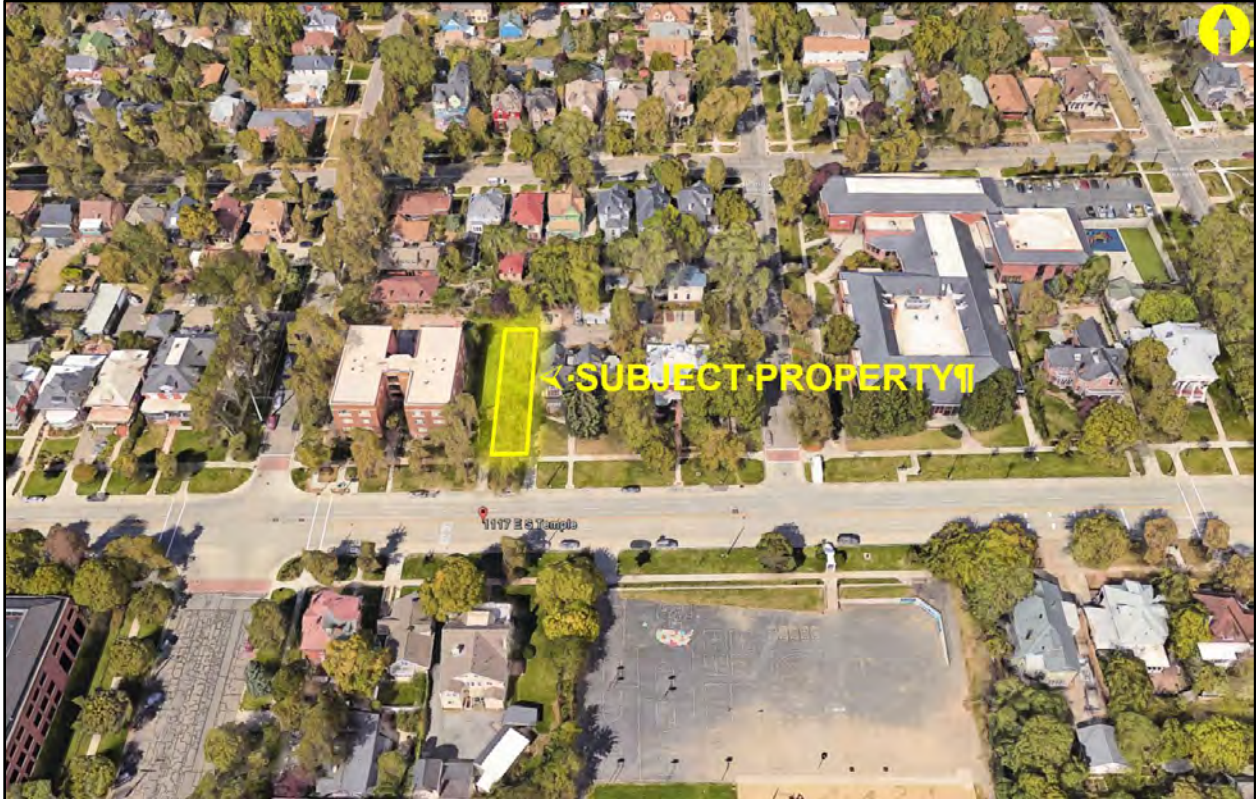
- Give direction to the applicant in regards to the proposal;
- Confirm whether information currently submitted would be sufficient for the Commission to reach conclusions, and identify additional information required for further analysis;
- Confirm whether the proposal follows the guidelines and the adopted standards;
- Provide feedback regarding the height, massing, material and detailing; and
- Identify any additional concerns not identified in the September 7, 2017 memo.

During the work session, the Historic Landmark Commission offered the following comments on the proposal (see Attachment P – Meeting Minutes):

- Comment 1 The setbacks for the proposal and if it met the standards for the zone.
Response With the exception of the below grade parking structure, staff verified that the zoning setbacks have been met (see Attachment N – Analysis of Standards).
- Comment 2 The windows located one foot from the property line and the review needed prior to approval.
Response Applicant increased the west side yard setback and limited window openings to 15% of the west façade, which satisfies the International Building Code.
- Comment 3 Rear yard grade changes should be considered to make a more functional back yard.
Response Applicant redesigned proposal with tiered open space to address this issue
- Comment 4 The garage door should be as small as possible to have a smaller impact on South Temple.
Response **Width of driveway and garage door have been designed “as small as possible” to have a “smaller impact on South Temple.”**
- Comment 5 The roof top garden was a great idea but the pergola looked like an afterthought.
Response Applicant has maintained the roof top pergola, however does not believe it complies with the zoning ordinance.
- Comment 6 The brick mass (iron stone brick) needed a rhythm to read in a much stronger way.
Response Applicant refined brick massing and pattern in response to this comment.
- Comment 7 Make sure the South Temple side fit the character of the street.
Response As per comments made by the Historic Landmark Commission during the September 7, 2017 work session, the Commission appeared to have agreed **with the applicant that the proposed façade “fit” the character** of South Temple Street.
- Comment 8 How to draw from the surrounding buildings and use architectural elements to relate to the area.
Response Again, this was heavily discussed during the September 7, 2017, work session and the Commission implied that the conceptual design did relate to surrounding buildings and architectural elements.
- Comment 9 The massing of the brick and where to locate the shade feature on the roof.
Response As described previously, this issue has been partially addressed by the applicant.
- Comment 10 The parapet, windows, front entrance, lighting, railings, materials for stairs, garage entrance, retaining walls, balconies, signage, fence design, underground parking and the glazing on the street facing façade.
Response This bullet point represents a summary or overview of various topics discussed with the applicant during the work session, many of which have been addressed by the applicant within the attached petitions and plans.
- Comment 11 Mass and scale was appropriate.
Response Again, the Commission implied acceptance of these design elements of the proposal, which staff also agrees with.

Staff also noted during the meeting that participating in a work session does not imply or guarantee project approval following a public hearing. However, when the project is submitted to the Commission for public hearing and subsequent decision, any identified issues must be sufficiently addressed, and made compliant with applicable standards and guidelines, to receive approval.

Property Photographs:



Aerial View of Subject Property and Surrounding Neighborhood



Street View of Subject Property from South Temple Street

Context:

As stated previously, the subject property is located within the H South Temple Historic Preservation Overlay District. In describing the “Historic Architectural Character” of the South Temple Local Historic, the *Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City* includes the following statement:

South Temple is frequently referred to as Utah’s premier residential boulevard, a testament to the transformation of Salt Lake City from an agricultural village to an urban center, one that could support the elegance and grandeur seen in the architecture along this street.

Although it was not until around 1900 that South Temple took on the stately appearance associated with the mansions, South Temple has played an essential role in the development of Salt Lake since the City was founded. It served as a connection between the East Bench and Downtown and provided a delineation between the small lots of the Avenues neighborhood and the larger blocks of Central City. In general, South Temple has attracted people of prominence and prosperity, but within this group residents represented a variety of religious faiths, occupations and backgrounds. People of lesser means, including skilled craftsmen and teachers, have also resided on South Temple. South Temple was not immune to the surge of citywide apartment construction that occurred from 1902 to 1931.

Based on reconnaissance level surveys on file with the City, the contributing status of each of the surrounding properties are listed below:

Direction	Address	Built	Style	Evaluation	Contributing
West	1107 E South Temple	1930	Prairie School Modern	B	Yes
Northwest	22 N Q Street	1915	Bungalow Modern	C	No
North	1022 E 1 st Avenue	1905	Victorian Eclectic	B	Yes
East	1127 E South Temple	1907	English Tudor	B	Yes
East	1135 E South Temple	1898	Victorian Eclectic	A	Yes

According to available data, the subject property is surrounded with—or nearby—the following residential and commercial land uses:

Direction	Address	Use	Height	Zone	Density
West	1107 E South Temple	Multi-family (16 units)	≈ 41’-6”	RMF-35	High
Northwest	22 N Q Street	Single family	≈ 16’-10”	SR-1A	Medium
North	1022 E 1 st Avenue	Single family	≈ 29’-8”	SR-1A	Medium
East	1127 E South Temple	Multi-family (8 units)	≈ 21’-1”	RMF-35	High
East	1135 E South Temple	Office	≈ 40’-4”	RMF-35	Not applicable

As evident from the above table, all parcels that abut the subject property have been developed and contain medium or high-density residential land uses (as defined by the *Avenues Community Master Plan*). Regarding the density and intensity of the proposed development, Planning Division staff has summarized the applicable R-MU-35 District regulations in Attachment C – Existing Conditions, and Attachment N – Analysis of Standards.

Issues:

As stated previously, the applicant requested a work session with the Historic Landmark Commission to discuss the proposal. During the September 7, 2017, work session the project architect, Brian D. McCarthy, AIA, NCARB, Director of SH Architecture, presented the proposal and solicited feedback from the Commission. Before the meeting, staff identified the following ten issues for discussion. In response, the applicant revised the proposal as noted below each issue:

Issue 1 – Pedestrian Entrance. “The current site plan indicates there will be a direct pedestrian path from South Temple Street to a common entrance located **on the ‘front’** façade. However, this entrance is recessed approximately 10 feet behind the front building plane. Although it is difficult to judge from preliminary plans, staff is concerned that the proposed front entrance (does not suitably address) applicable design guidelines. During an initial meeting with the applicant, staff encouraged the project architect to carefully consider this issue and if necessary, redesign the front entrance. Staff also requested the project architect prepare accurate perspective renderings of the proposal within the context of the block face for the **Commission’s review.**” (September 7, 2017 Historic Landmark Commission Memorandum)

Response. The applicant has refined the dimensions and materials that frame the front entry, and has prepared elevation renderings **for the Commission’s** review and consideration (see Attachment I – Building Elevations & Sections, and Attachment K – Building Renderings). However, staff continues to question whether the redesign is sufficient as the accessible ramp and railing seems to dominate both the architectural and site design of the front entry. If warranted, the visual focus of the South Temple entrance may be enhanced by adding raised planters or other architectural features.

Issue 2 – Garage Entrance. “Due to the narrow lot width, which is approximately 50'-0", there does not appear to be sufficient area to accommodate a garage entry on either side or rear elevations of the proposed building. As such, garage ingress and egress is through a mechanical door on the front façade. Careful attention to architectural and landscaping details may be required to mitigate the potential negative impact of a double-wide garage door on the front façade (and compatibility with streetscape).” (September 7, 2017 Historic Landmark Commission Memorandum)

Response. The garage entrance has been designed with the minimum width allowed by the Transportation Division for the proposed parking structure. The applicant also noted during the September 7th work session that the visual impact of the garage entrance on South Temple Street would be minimal because of site grading and building elevations.

Issue 3 – Window Pattern. “The project architect is seeking to balance the applicant’s desire to incorporate large windows for natural light with the historic **rhythm of “solids and voids”** found within South Temple Local Historic District. Staff is concerned that the windows may be too large and that the overall pattern is not consistent with the *broader context* of the district . . .” (September 7, 2017 Historic Landmark Commission Memorandum)

Response. During the work session, the project architect stated that the window pattern was compatible with the adjacent Commodore Apartment building, which also features large windows for natural light. **In support of the applicant’s position, the project architect** has submitted the following streetscape plan:



However, as evident within the above image, the Commodore Apartment building incorporates a tripartite window pattern—with a horizontal orientation—while the proposal features a vertical fixed pane and casement window, which pivots along the top sill, comprised of metal clad wood (see Attachment J – Building Materials). Unless the applicant is able to adequately demonstrate that the proposed window pattern is compatible with existing window patterns, reducing the size and proportion of the proposed windows on the front façade may be warranted.

Issue 4 – Building Materials. “Staff has requested the project architect prepare a physical and an electronic building materials sample board, but prior to publication of (the September 7) memo, this information has not been submitted by the architect. However, according to the attached project narrative and building elevations, the primary exterior building material will be brick, which is certainly appropriate for South Temple Street.” **(September 7, 2017 Historic Landmark Commission Memorandum)**

Response. Applicant has expanded and refined the proposed building materials for the **Commission’s review** with additional information on windows, lighting, and fencing (see Attachment J – Building Materials).

Issue 5 – Building Lighting. “Exterior lighting is an important architectural element of any building. Exterior light fixtures should complement building architecture as well as the historic district. While lighting should accent architectural and landscape features, as well as enhance security, lighting should be carefully controlled to avoid light pollution and glare. Staff recommends the architect submit for future review a lighting plan that includes specifications for all exterior fixtures.” **(September 7, 2017 Historic Landmark Commission Memorandum)**

Response. Applicant included proposed light fixtures in Attachment J – Building Materials. However, the City has not received a lighting plan that details the location of all fixtures.

Issue 6 – Building Signage. “The attached elevation plans do not indicate the placement of building signage, let alone type or scale of signage (if any). At a minimum, the building should be designed to accommodate a building number to ensure adequate wayfinding is provided, especially for emergency responders. Directional signage for parking and access may also be warranted.” **(September 7, 2017 Historic Landmark Commission Memorandum)**

Response. Within the revised plans attached to this staff report, the applicant identified the location of building numbers, which will be backlit, on the front façade in Attachment K – Building Renderings. The applicant also informed staff that there is no plan or intent to request additional signage.

Issue 7 – Landscape Plan. “Although the amount of planned open space exceeds the minimum requirement, accessible landscaping will be relatively minimal. As such, staff recommends the project architect work to ensure that landscaping compliments the building

and site rather than becoming an afterthought. The applicant has also expressed strong interest **in creating a ‘green roof’**—which would be a welcomed feature—but it is not clear if the rooftop garden would be accessible to all residents or restricted to a single unit. Again, a detailed landscaping and grading plan has not been submitted to the City for review yet.” (September 7, 2017 Historic Landmark Commission Memorandum)

Response. Within the revised plans attached to this staff report, the applicant submitted a **landscape plan for the Commission’s review (see Attachment G – Landscape Plan)**. The landscape plan includes the roof terrace, which will be fully accessible to all residents of the development. The final landscape plan will be reviewed for zoning compliance during building permit review, however staff finds the preliminary landscape plan is appropriate for the historic district given the limitations of the narrow site.

Issue 8 – Fence Design. “Submitted plans do not include a fence plan. If the applicant intends to have decorative, privacy, or security fencing within or along any yard, a complete fence plan with location, height, and materials must be submitted for review. If fencing is to be installed, staff encourages the applicant to coordinate planning and construction with abutting property owners.” (September 7, 2017 Historic Landmark Commission Memorandum)

Response. The applicant included fence materials in Attachment J – Building Materials, which appear to be appropriate for the South Temple Historic District.

Issue 9 – Special Exception. **“The proposed ‘underground’ parking will encroach** into the required rear yard and side yard setbacks. As such, the following City Code requires the applicant submit a petition for Special Exception, which has not been received yet:

21A.52.030.A.20. Underground building encroachments into the front, side, rear and corner side yard setbacks provided the addition is totally underground and there is no visual evidence that such an encroachment exists.

Furthermore, any grade changes in excess of 4'-0" **also require ‘special exception’ approval**, which may or may not be required, depending on the proposed grading plan, which again has not been submitted to the City for review yet.” (September 7, 2017 Historic Landmark Commission Memorandum)

Response. As stated previously, the applicant submitted a special exception petition on September 13, 2017. However, the application failed to include the existing and proposed grading plan. The applicant corrected this oversight and submitted the attached grading plan on November 16, 2017 (see Attachment F – Grading Plan).

Issue 10 – Design Standards. New construction invokes thoughtful consideration of historic **context to build compatible infill**. “As stated on page 12.1 of *Design Guidelines for Historic Apartment & Multifamily Buildings in Salt Lake City*:

The planning and design of a new apartment or other multifamily building should respect and reflect the street network and architectural patterns which help to establish **the character of the city’s older neighborhoods** and its downtown area. A new multifamily building should also contribute sensitively to the immediate setting of any of the **city’s landmarks**.

In order to achieve the objective stated **above, the City has adopted ‘zoning standards’ and an extensive list of ‘design guidelines’** that identifies for the applicant, the city, and the public, the criteria by which this proposal will be reviewed and decided. To ensure that the guidelines are being considered in the planning and design of the project, staff recommends the applicant

expand the project description and provide a written response for each applicable guideline prior to scheduling a public hearing for the petition.” (September 7, 2017 Historic Landmark Commission Memorandum)

Response. The applicant carefully reviewed all zoning regulations and design guidelines and revised the attached plans as needed (see Attachment N – Analysis of Standards). The applicant also submitted a written response to each of the applicable design guidelines (see Attachment A – Petitions & Narratives).

Public Comment

During the Planning Commission and City Council review of the master plan and zoning map amendment in 2016, neighborhood residents and members of the Greater Avenues Community Council expressed concerns regarding on-street parking and traffic on South Temple Street. In response to the Historic Landmark Commission public hearing notice, staff received one phone call that expressed similar concerns. To address this issue, staff has prepared the following information for consideration.

Salt Lake City classifies South Temple Street as an “Arterial” street, which City Code defines as:

20.08.020 Arterial Street: A street that facilitates through traffic movement over relatively long distances such as from one end of the city to the other. Arterials are generally multilane streets carrying high traffic volumes at relatively high speed limits. These are commuter streets and sometimes offer controlled access to abutting property, and curbside parking may be restricted or prohibited. Arterial streets are designated as such on the major street plan map of the transportation master plan.

Although the Salt Lake City Transportation Division reviewed the petitions for compliance with applicable parking and transportation regulations—and recommended approval subject to compliance with comments provided in Attachment D - Department Comments—Planning staff prepared the following tables on parking and trip generation using data published by the Institute of Transportation Engineers (ITE):

Parking Generation				
Type of Residential Development	Weekday Parking Demand Ratio	Proposed Number of Dwelling Units	Potential Vehicles Parked	Proposed Parking Stalls
Mid-Rise Apartments (1-4 levels)	0.66 to 1.43 parked vehicles per dwelling unit	12	7.92 to 17.16	12

As noted above, the development includes 12 off-street parking stalls, which is within the range of potential parking demand. Furthermore, the proposed number of off-street parking stalls complies with City Code.

With regard to the following table, the Institute of Transportation Engineers defines a “trip end” as:

The origin or destination of a trip. Each trip has two ends. On a daily basis, each end has two trips: one entering and one exiting for an attractor of trips, and one exiting and one entering for a producer of trips. *In this report, “trip end” refers to a two-direction vehicle movement at the origin or destination of a trip (emphasis added).*

Trip Generation			
Type of Residential Development	Weekday PM Peak Hour of Generator	Proposed Number of Dwelling Units	Potential Weekday PM Peak Hour Trip Ends
Mid-Rise Apartments (3-10 levels)	0.44 average vehicle trip ends (59% entering, 41% exiting)	12	5.28

Regarding traffic volume on South Temple Street, the Salt Lake City Transportation Division estimates that peak hour traffic during a weekday morning is approximately 1,200 vehicles, and a weekday evening of peak hour traffic is approximately 1,170 vehicles, which means the anticipated traffic of the proposed development is negligible.

In concert with the Salt Lake City Transportation review, staff finds the anticipated impacts of the proposal will have little or no adverse effect on traffic flow (or level of service) on adjacent streets. Furthermore, the proposed development will be required to comply with all vehicle access, circulation, and parking requirements of Salt Lake City Code (see Attachment D – Department Comments).

NEXT STEPS:

If the Historic Landmark Commission approves the petitions, the applicant would need to apply for a building permit. If the project is denied, the applicant may modify plans for reconsideration or file an appeal within 30 days of publication of the official record of decision.

Attachments:

- A. Petitions & Narratives
- B. Historic District Map
- C. Existing Conditions
- D. Department Comments
- E. Site Plan
- F. Grading Plan
- G. Landscape Plan
- H. Streetscape & Setback Plan
- I. Building Elevations & Sections
- J. Building Materials
- K. Building Renderings
- L. Massing & Shadow Studies
- M. Floor Plans
- N. Analysis of Standards
- O. Public Process & Comments
- P. Meeting Minutes

ATTACHMENT A: PETITIONS & NARRATIVES



HP: Major Alteration & New Construction

OFFICE USE ONLY

Project #: PLNHLC2017-00560	Received By: A Anglin	Date Received: 7/14/17	Zoning: R-MU-35
Project Name: Temple & Q St.			

PLEASE PROVIDE THE FOLLOWING INFORMATION

Request:
New Construction- Multi. Unit Residential

Address of Subject Property:
1117 E. South Temple

Name of Applicant:
Tariq Mugal

Phone:
801.484.3926

Address of Applicant:
2219 E Fisher Lane, Salt Lake City, Utah 84109

E-mail of Applicant:
tariq.mughal@eccles.utah.edu

Cell/Fax:
801.502.3611

Applicant's Interest in Subject Property:
 Owner
 Contractor
 Architect
 Other:

Name of Property Owner (if different from applicant):

E-mail of Property Owner:

Phone:

Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

AVAILABLE CONSULTATION

Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

WHERE TO FILE THE COMPLETE APPLICATION

Mailing Address: Planning Counter PO Box 145471 Salt Lake City, UT 84114	In Person: Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
--	--

REQUIRED FEE

Major Alteration: Filing fee of \$32, plus additional cost of postage for mailing notice.
New Construction: Filing fee of \$253, plus additional cost of postage for mailing notice.

SIGNATURE

If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

SALT LAKE CITY PLANNING

1117 E. SOUTH TEMPLE MULTIFAMILY DEVELOPMENT

The owner of the property at 1117 E. South Temple, Tariq Mughal, is proposing the development of an existing vacant lot to be a new multi-unit residential building intended to fit within the context of its block and neighborhood. As a positive additive feature for the community, the project is will contain 12 units on three floors, over a single level of sub-grade parking. Per the stipulations of a rezoning agreement with Salt Lake City, the RMU-35 property will have a front yard setback to match the front face of the Commodore Apartments, and the rear yard setback shall be 30'-0", with a minimum 10'-0" landscape buffer abutting the single family zoned lots to the north.

As a reflection of the local context, the approach in design has been to respect its closest and most similar neighbor, the Commodore Apartment building to the west. This and the tight site have informed a direction utilizing simple masonry massing with punched openings. The windows are proposed to be black aluminum clad windows, in a mix of fixed, awning, and sliders units. The main entry is located at the southeast corner, and emphasized by large recessed porch spaces directly above on the second and third floors. Along the east side of the lot the building is held off the property line to allow for connection of the rear landscaped and patio areas to the public way. With a tight site, an effort to maximize the open and green space has been made, additionally a roof top garden is proposed. Lastly, access to the secure sub-grade 12 stall parking lot is provided directly off of South Temple by a slight widening of an existing curb-cut through a remote operated garage door. The face of the garage door is approximately 61'-0" from the curb, and is set-back more than 25'-0" from the property line.

DESIGN GUIDELINES for HISTORIC APARTMENT & MULTIFAMILY BUILDINGS in SALT LAKE CITY

PART II; CHAPTER 12: DESIGN GUIDELINES for NEW CONSTRUCTION

To follow has been compiled in an effort to identify compliance of the proposed new multifamily building at 1117 E. South Temple with the Design Guidelines for Historic Apartment & Multifamily Buildings in Salt Lake City, where appropriate.

SITE DESIGN GUIDELINES:

SETTLEMENT PATTERNS & NEIGHBORHOOD CHARACTER

BLOCK, STREET & SITE PATTERNS

- 12.1 The historic plan of streets and alleys, essential to the historic character of a district and setting, should be preserved and promoted.
 - *The proposed project does not impact the existing streets or alley plans, and therefore they are unchanged.*
- 12.2 The historic street pattern, as the unifying framework for a varied range of lot sizes and buildings, should be preserved and reinforced.
 - *The proposed project retains the existing historic street pattern as the lot is unchanged.*
- 12.3 The historic street pattern, including the network of public and private ways within the street block, should be retained and reinforced.

- *The proposed project retains the existing historic street pattern, including public and private ways.*
- 12.4 The pattern and scale of lots in a historic district should be maintained, as the basis of the historic integrity of the intricate ‘fine grain’ of the neighborhood.
- *The existing lot shall remain unaltered.*
- 12.5 A new apartment or multifamily building should be situated and designed to reinforce and enhance the established character, or master plan vision, of the context, recognizing its situation and role in the street block and building patterns.
- *The proposed building preserves and reinforces the historic character and integrity of the neighborhood. The building is placed at the front yard setback agreed upon with Salt Lake City, and through building design begins the transition of building pattern and scale between the Commodore Apartment building to the west and the more residential buildings to the east.*

THE PUBLIC REALM

- 12.6 A new building should contribute in a creative and compatible way to the public and the civic realm.
- *The proposed design of this new building works to transition the scale of the block from the large and somewhat flat faces of the Commodore Apartments building on the west to the single-family in nature residential buildings to the east. An effort has been made through fenestration and negative space to introduce a transitional scale.*
- 12.7 A building should engage with the street through a sequence of public to semi-private spaces.
- *Although the lot is not wide enough to utilize a central entry while maintaining marketable living spaces within, the design has been composed to include semi-private spaces at the southeast corner of the building creating zones for activity and visual interest.*
- 12.8 A new multifamily building should be situated and designed to define and frame adjacent streets, and public and common spaces, in ways that are characteristic of the setting.
- *The proposed design reflects the front yard setback that has been agreed upon by Salt Lake City and the property Owner. The setback is equal to that of the Commodore Apartments to the west, thus reinforcing the existing urban edge. Additionally, as noted previously, the front elevation includes balcony spaces that are inset into the building, thus softening the transition edge to the more residential structures on to the east.*
- 12.9 A building on a corner lot should be designed to define, frame and contribute to the historic character of the public realm of both adjacent streets.
- *Although this project is not upon a corner lot, the buildings to the east have a deeper front yard setback than that of the Commodore Apartments to the west, or this new building. Thus, the southeast corner of the building, and east façade, have been treated in a manner to provide a visual and appropriate transition in respect to the*

buildings to the east, and the view of the building for those travelling west bound along South Temple.

BUILDING PLACEMENT, ORIENTATION & USE

- 12.10 The established historic patterns of setbacks and building depth should be respected in the siting of a new multifamily building.
- *With a 15'-0" front yard setback, as agreed, the front facade of this new structure shall be in plane with the Commodore Apartment building to the west. However, the more residential buildings to the east have a much deeper front yard setback, and as such the southeast corner of the building opens up, creating voids for the main entry as well as outdoor balcony space.*
- 12.11 The front and the entrance of the building should orient to and engage with the street.
- *The same balconies provided at the southeast corner of the building that assist with the visual transition of the building to the eastern side buildings, also visually reinforce and enhance the building entrance.*
- 12.12 Access arrangements to the site and the building should be an integral part of the planning and design process at the earliest stage.
- *The pedestrian access to the building has been oriented to minimize, to the greatest extent possible, the vertical transition from the public way into the building.*
- 12.13 The situation, orientation, configuration and design of a new multifamily building should include provision for common exterior open spaces at ground level.
- *The project site is quite narrow, and thus common exterior area is located in an area with the greatest availability of space at the north end of the site. The location provides great opportunity for a variety of space uses, and attempts to maximize the space have been made grading and retaining.*
- 12.14 Consider additional common open space on higher terrace or roof levels to enhance residential amenity and city views.
- *In addition to the previously identified balconies, there is an intention to include a private roof garden space.*
- 12.15 Private open space for each unit, whether ground level, terrace or balcony space, should be designed to create attractive outdoor space, and to help articulate the design of the building to reduce its bulk and scale.
- *Private exterior spaces can be difficult to come by in an urban fabric, and especially upon a lot as tight as the lot at 1117 E. South Temple. In an effort to provide all units with a perceived exterior space, a number of the exterior windows have been designed as very large sliders that will provide expansive openings to allow a perception of exterior space.*
- 12.16 Common internal and external social space should be planned and designed to take advantage of solar aspect and energy efficient design.

- *As previously noted, the project site is very tight (50'-0" wide), and as such the proposed design has attempted to meet the needs and wishes of the Owner while responding to Salt Lake City's design Guidelines.*

SITE ACCESS, PARKING & SERVICES

PEDESTRIAN & BICYCLE

- 12.17 The primary public entrance to the building should be afforded priority and prominence in access from the street, and appropriately scaled in the design of the street façade.
- *The primary public entrance for the building has been reinforced visually at the southeast corner of the building.*
- 12.18 Where the secondary street or alley network is available, rear public access should be retained and used.
- *Not Applicable.*
- 12.19 Bicycle parking should be situated so that it is convenient and readily accessible within or immediately adjacent to the building, including design for secure storage.
- *Public access bicycle parking is provided adjacent to the primary public entrance, with resident secure bicycle storage being provided within the secure lower level parking of the building.*
- 12.20 Convenient storage space for each residential unit should be included to obviate the use of personal outdoor balcony space for bicycle and other storage.
- *Resident secure bicycle storage being provided within the secure lower level parking of the building.*

VEHICULAR

- 12.21 vehicular access and drive should not be combined with a pedestrian access and entrance.
- *The lower level parking access is located along the west edge of the property, away from the primary pedestrian building entrance from the public way.*
- 12.22 A vehicular access and driveway should be discreetly placed to the side or to the rear of the building.
- *As the site is only 50'-0" wide, the proposed site design utilizes a slight widening of the existing curb cut from South Temple to gain access to the lower level parking area. The garage door for the parking level is recessed more than 10'-0" north of the front street facade of the building.*
- 12.23 A single curb cut or driveway should not exceed the minimum width required.
- *The proposed curb cut for the site is 16'-6" wide.*
- 12.24 Driveways serving groups of similar uses should be consolidated to minimize visual intrusion, and to provide less interruption to the sidewalk, pedestrian character and flow.
- *The proposed curb cut for the site is 16'-6" wide.*

- 12.25 Wherever possible, vehicular parking should be situated below the building, or alternatively behind the building in a manner that does not conflict with pedestrian access from the street.
- *Parking is designed to occur below the building and below grade.*

SITE & BUILDING SERVICES & UTILITIES

- 12.26 Utility areas and other ground level building services should be situated away from the frontage of the building.
- *Electrical and gas metering shall be along the east and west elevations away from the front face of the building.*
- 12.27 Rooftop and other higher level mechanical services and utilities should be situated away from, and also screened from, street views.
- *All rooftop mechanical units shall be screened from view with a parapet.*
- 12.28 Mechanical services should be acoustically screened from nearby residential properties.
- *All exterior mechanical equipment shall be located upon the roof and screened with a parapet.*
- 12.29 Small utilities, such as air conditioning units, should be located away from primary and secondary facades of the building, unless integrated and fully concealed as part of the building design.
- *The building shall have integrated air conditioning systems, and therefore window style air conditioning units should not be required.*
- 12.30 Exhaust and intake vents and pipes on facades and roofscapes should be avoided through early and coordinated planning of facilities for common utility systems.
- *It is intended that all exhaust and ventilating stacks for mechanical and plumbing needs shall be located at the rooftop, and concealed from view.*
- 12.31 Cellular phone and other antennae, and associated equipment, should not be visible from the public way.
- *Not Applicable.*

LANDSCAPE & LIGHTING

FRONT YARD LANDSCAPE

- 12.32 The front yard landscaping for a new multifamily building should coordinate with historic and/or established patterns.
- *The proposed landscape has been designed to comply.*
- 12.33 Landscape walls and fences perpendicular to the street, which could separate front yards, should be minimized or avoided where this separation is not an inherent part of the established topographic or historic character.
- *Landscape/retaining walls have been designed to extend minimally above the existing grades so to limit their visual impact.*

- 12.34 Where it is a characteristic of the street, a front yard should be designed and graded to reflect this pattern, retaining the relationship and continuity of open space, and the sense of progression from public to private space.
- *The proposed design is intended to comply to the greatest extent possible, while providing reasonable access to the new building from the public way, and to the parking below.*
- 12.35 Where a new multifamily building includes another use/s, such as restaurant or café, seating should be considered as part of the landscape design for front yard area and/or sidewalk.
- *Not Applicable.*

LIGHTING

- 12.36 Exterior lighting should be discreetly designed to illuminate entrances and exterior spaces such as balconies, terraces or common spaces.
- *Shall comply.*
- 12.37 Where architectural lighting is appropriate, it should be designed to strengthen the historic context, providing selective visual accent to specific elements of the primary facades, using discreet and creatively designed light fittings.
- *A singular post mounted light fixture is proposed to light the entry stairs/ramp at the main entrance, and a singular wall sconce is located adjacent to the main entryway.*
- 12.38 Building lighting should be discreetly designed to integrate, in design, location and choice of fittings, with the architecture of the building.
- *Shall comply.*
- 12.39 Landscape lighting should be designed discreetly and creatively to enhance pathways and entrances, while accentuating planting design.
- *Shall comply.*
- 12.40 Conduit and electrical supply equipment for both architectural and utility light fittings should be concealed from view from all streets and adjacent properties.
- *Shall comply.*
- 12.41 Utilitarian building lighting for service areas should be concealed from view from primary and secondary streets, and from adjacent properties.
- *Shall comply.*

BUILDING DESIGN GUIDELINES:

BUILDING FORM & SCALE

THE CHARACTER OF THE STREET BLOCK

- 12.42 A new multifamily building should appear similar in scale to the scale established by the buildings comprising the current street block facade.
- *In general, the South Temple facade design, and building massing reflects a transition from the more geometric and urban composition of the Commodore Apartment building to the west across to the more residential in nature structures to the east.*
- 12.43 A new multifamily building should be designed to create and reinforce a sense of human scale.
- *The introduction of the balconies at the southeast corner is intended to emphasize the identification of the building entrance, as well as the reinforcement of scale. Additionally, the building material palette shall be traditionally sized building units, such as common brick.*
- 12.44 A new multifamily building should be designed to respect the access to light and the privacy of adjacent buildings.
- *The building has been essentially centered upon the lot in an attempt to maximize the buildable square footage of the new building, while being mindful of natural light access from within the new building as well as the existing neighbors.*

FAÇADE COMPOSITION, PROPORTION & SCALE

- 12.45 The principal elements of the front facade should reflect the scale of the buildings comprising the block face and historic context.
- *In material, composition, and form, the new building references the Commodore Apartments building to the west.*
- 12.46 The secondary elements, patterns and modeling of the facade composition should reinforce the massing and scale established by the primary elements of the facade.
- *The proposed design complies.*
- 12.47 Respect the role that architectural symmetry can play in the form of the established historic street frontage and wider setting.
- *The limited width of the site is very limiting. However, in referencing the Commodore Apartments building to the west in material, composition, and scale, the proposed building is visually balanced while not being architecturally symmetrical.*

HEIGHT

- 12.48 The building height should be compatible with the historic setting and context.
- *The proposed building is approximately the same height as the Commodore Apartments to the west.*
- 12.49 Characteristic of traditional buildings types and context, the first two floors should be designed with greater stature.

- *The proposed building does not follow what may be considered the typical “columnar” formula of building base, middle, and cap, but it does reflect the “style of the Commodore Apartments to the west, where the “base” is not as prominent, but does exist, and thus the three levels of the building are successfully designed with similar stature.*
- 12.50 Where there is a significant difference in scale with the immediate context, the building height should vary across the primary façade, and/or the maximum height should be limited to part of the plan footprint of the building.
- *Although the height of the proposed building is essentially the same as that of the Commodore Apartments to the west, the building façade has been designed to break-down the compositional scale to reinforce it as a building that is transitioning between existing scales and forms within its context.*
- 12.51 The upper floor/s should step back where a taller building will approach established neighborhoods, streets or adjacent buildings of typically lower height.
- *The building façade has been designed to break-down the compositional scale to reinforce it as a building that is transitioning between existing scales and forms within its context from west to east.*
- 12.52 The primary and secondary facades should be articulated and modulated to reduce an impression of greater height and scale, and to enhance a sense of human scale.
- *Shall comply.*

WIDTH

- 12.53 A new multifamily building should appear similar to the width established by the combination of single and multifamily historic buildings in the context.
- *Shall comply.*

MASSING

- 12.54 The overall massing of a new multifamily building should respect and reflect the established scale, form and footprint of buildings comprising the street block and historic context.
- *The building façade has been designed to break-down the compositional scale to reinforce it as a building that is transitioning between existing scales and forms within its context from west to east.*
- 12.55 The proportions and roof forms of a new multifamily building should be designed to respect and reflect the range of building forms and massing which characterize the district.
- *The building façade has been designed to break-down the compositional scale to reinforce it as a building that is transitioning between existing scales and forms within its context from west to east.*

BUILDING CHARACTER & SCALE

FAÇADE ARTICULATION, PROPORTION & VISUAL EMPHASIS

- 12.56 Roof forms should reflect those seen traditionally in the block and within the historic district.
- *The building façade has been designed to break-down the compositional scale to reinforce it as a building that is transitioning between existing scales and forms within its context from west to east.*
- 12.57 Overall facade proportions should be designed to reflect those of historic buildings in the context and neighborhood.
- *The building façade has been designed to break-down the compositional scale to reinforce it as a building that is transitioning between existing scales and forms within its context from west to east.*
- 12.58 To reduce the perceived width and scale of a larger primary or secondary façade, a vertical proportion and emphasis should be employed.
- *The building façades, primary and secondary, have been designed to break-down the compositional scale to reinforce it as a building that is transitioning between existing scales and forms within its context from west to east.*
- 12.59 A horizontal proportion and emphasis should be designed to reduce the perceived height and scale of a larger primary or secondary façade.
- *The building façades, primary and secondary, have been designed to break-down the compositional scale to reinforce it as a building that is transitioning between existing scales and forms within its context from west to east.*

SOLID TO VOID RATIO & WINDOW SCALE

- 12.60 The ratio of solid to void (wall to window) should reflect that found across the established character created by the historic structures in the district.
- *At the primary facade of the building, solid and negative architectural massing is arranged in a composition that emphasizes contextuality, and provides a focal zone related to the main entrance at the southeast corner of the building. Generally, the building's facade articulation and proportions are emphasized by the push and pull of building planes, and the slight offset and color changes of the masonry details.*
- 12.61 Window scale and proportion should be designed to reflect those characteristic of this traditional building type and setting.
- *The arrangement and proportions of the window openings, specifically along the primary elevation, are intended to reference those found upon the Commodore Apartments building to the west.*

RHYTHM & SPACING OF WINDOWS & DOORS - FENESTRATION PATTERN

- 12.62 Public and more important interior spaces should be planned and designed to face the street.
- *Building as designed complies.*

12.63 The fenestration pattern, including the proportions of window and door openings, should reflect the range associated with the buildings creating the established character of the historic context and area.

- *Building as designed reflects the fenestration patterns of its context, and therefore complies.*

BALCONIES, PORCHES & EXTERNAL ESCAPE STAIRS

12.64 Balconies, encouraged as individual semipublic outdoor spaces, should be designed as an integral part of the architectural composition and language of the building.

- *Individual balconies have been incorporated into the design of the building, are integral to the façade's compositional scale, and reinforce the transitional nature of the building and lot from west to east.*

12.65 An entrance porch, stoop or portico should be designed as a principal design focus of the composition of the facade.

- *The entry porch has been designed in concert with the individual balconies above and is reinforced by the vertical nature of this zone of the building facade.*

12.66 A secondary or escape stairway should be planned and designed as an integral part of the overall architecture of the building, and positioned at or towards the rear of the building.

- *The egress stairs required by the IBC are located centrally to the floor plates, but are pushed back off the front façade. Additionally, the exit door from the egress stair is recessed along the side elevation, providing cover from the elements as well as shielding from the public way.*

BUILDING MATERIALS, ELEMENTS & DETAILS

MATERIALS

12.67 Building materials that contribute to the traditional sense of human scale and the visual interest of the historic setting and neighborhood should be used.

- *The proposed material palette for this project is quite simple. The primary exterior finish material shall be common brick in two colors.*

12.68 Building materials that will help to reinforce the sense of visual affinity and continuity between old and new in the historic setting should be used.

- *The proposed material palette for this project is quite simple. The primary exterior finish material shall be common brick in two colors.*

12.69 Design with materials which provide a solid masonry character for lower floors and for the most public facades of the building.

- *The proposed material palette for this project is quite simple. The primary exterior finish material shall be common brick in two colors.*

12.70 Materials should have a proven durability for the regional climate, as well as the situation and aspect of the building.

- *The proposed material palette for this project is quite simple. The primary exterior finish material shall be common brick in two colors.*

WINDOWS

- 12.71 Windows should be designed to be in scale with those characteristic of the building and the historic setting.
- *The proposed window proportions and layout references the character of similar structures in the area.*
- 12.72 Windows with vertical proportion and emphasis are encouraged.
- *Although not all openings have a predominantly vertical proportion, the composition of the windows within the openings do express verticality.*
- 12.73 Window reveals should be a characteristic of masonry and most public facades.
- *The face of all glazed openings shall have a 4", minimum, reveal.*
- 12.74 Windows and doors should be framed in materials that appear similar in scale, proportion and character to those used traditionally in the neighborhood.
- *The proposed windows are intended to be aluminum clad wood windows, such as those by Marvin Windows.*

ARCHITECTURAL ELEMENTS & DETAILS

- 12.75 Building elements and details should reflect the scale, size, depth and profiles of those found historically within the district.
- *The proposed building design is intended to comply.*
- 12.76 Where used, ornamental elements, ranging from brackets to porches, should be in scale with similar historic features.
- *The proposed building design is intended to comply.*
- 12.77 Creative interpretations of traditional details are encouraged.
- *The proposed building design is intended to comply.*

SIGNAGE – PRINCIPAL & OTHER USES

- 12.78 Signs should be placed on the building or the site where they are traditionally located in the historic context.
- *The proposed signage is limited to the street number, and is placed upon the building highlighting the Main Entrance.*
- 12.79 Identify a non-residential use with a sign location, placement, form and design, which relates directly to the 'storefront' and window design.
- *Building is residential only, and therefore this guideline does not comply.*
- 12.80 Signs and lettering should be creatively designed to respect traditional sign scales and forms.
- *The street number has been placed in a vertical format for interest and visibility.*

- 12.81 Signs for the primary and any secondary use should be designed as an integral part of the architecture of the façade.
- *The proposed signage is limited to the street number, and is placed upon the building highlighting the Main Entrance.*
- 12.82 Signs should take the form of individual lettering or graphic motif with no, or minimal, illumination.
- *The proposed street number shall have minimal backlighting. The source of the light shall not be visible.*
- 12.83 Any form of illumination should relate discretely to the sign lettering, and avoid any overstated visual impact upon any residential use or historic setting.
- *The proposed street number shall have minimal backlighting. The source of the light shall not be visible.*
- 12.84 Sign materials should be durable and of architectural quality to integrate with the building design.
- *The street number shall be satin finished stainless steel or brushed aluminum.*
- 12.85 Power supply services and associated fittings should be concealed and not be readily visible on the exterior of the building.
- *All power supplies shall be concealed and weathertight.*



Special Exception NOTICE OF APPLICATION

Planning Commission

Historic Landmark Commission

OFFICE USE ONLY

Project #: <i>PUNHLC2017-00763</i>	Received By: <i>A Anglin</i>	Date Received: <i>9/13/17</i>	Zoning: <i>R-MU-35</i>
Project Name: <i>Below Grade Encroachment</i>			

PLEASE PROVIDE THE FOLLOWING INFORMATION

Type of Special Exception Requested:

21A.36.020B: BELOW GRADE ENCROACHMENT of the parking structure into the REAR YARD.

21A.36.020B: CHANGES OF ESTABLISHED GRADE TO ACCOMMODATE SITE RETENTION in the REAR YARD to increase usability.

Address of Subject Property:

1117 E. South Temple

Name of Applicant:

Brian D. McCarthy

Phone:

(801) 205-5220

Address of Applicant:

868 S. McClelland St., Suite 2, Salt Lake City, Utah 84102

E-mail of Applicant:

bmccarthy@sh-architecture.com

Cell/Fax:

(801) 205-5220

Applicant's Interest in Subject Property:

Owner Contractor Architect Other:

Name of Property Owner (if different from applicant):

Tariq Mughal

E-mail of Property Owner:

tariq.mughal@eccles.utah.edu

Phone:

(801) 502-3611

Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

WHERE TO FILE THE COMPLETE APPLICATION

Mailing Address: Planning Counter PO Box 145471 Salt Lake City, UT 84114	In Person: Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
--	--

REQUIRED FEE

Filing fee of **\$253**, plus additional cost of postage for mailing notice to abutting property owners and tenants

SIGNATURE

If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:

Date:

09-12-2017

SALT LAKE CITY PLANNING

PLNHLC2017-00560 SPECIAL EXCEPTION WRITTEN DESCRIPTION:

The proposed project shall be a new multi-unit residential building containing 12 units on three floors, over one level of parking. The proposed building is approximately 21,800 sf, inclusive of the parking level. The lot size is zoned RMU-35 with stipulations that the front yard setback of the new building shall match the front of the Commodore Apartment building to the west.

As a reflection of the local context, the approach in design has been to respect its closest and most similar neighbor, the Commodore Apartment building to the west. This and the tight site have informed a direction utilizing simple masonry massing with punched openings scaled to reflect the Commodore. The windows are proposed to be black aluminum clad windows, in a mix of fixed, awning, and sliders units. The main entry is located at the southeast corner, and emphasized by large recessed porch spaces directly above on the second and third floors. Along the east side of the lot the building is held off the property line by a little more than 7'-0" to allow for connection of the rear landscaped and patio areas to the public way. With a tight site, an effort to maximize the open and green space has been made, additionally a roof top garden is proposed. Lastly, access to the secure sub-grade 12 stall parking lot is provided directly off of South Temple by a slight widening of an existing curb-cut through a remote operated garage door. The face of the garage door is approximately 61'-0" from the curb, and is set-back more than 25'-0" from the property line.

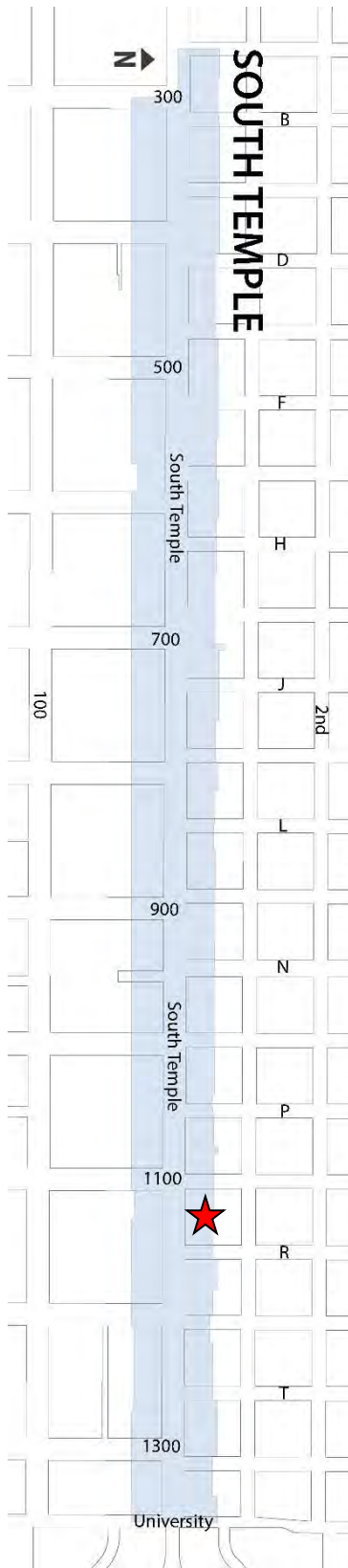
21A.36.020B - BELOW GRADE ENCROACHMENT:

To accommodate parking requirements for the proposed project, and mitigate neighborhood concerns related to on street parking, this Special Exception request is for below grade encroachment into the rear yard setback requirement of 30'-0", and will allow all 12 parking spaces for the project to be located concealed from the general public.

21A.36.020B – CHANGES OF ESTABLISHED GRADE TO ACCOMMODATE SITE RETENTION:

As suggested by the Historic Landmarks Commission during the September 7, 2017 project briefing, a Special Exception is requested to allow for modification of the existing grade within the rear yard of the site. The modification of the grade will provide for new "useable" yard for building tenants. The existing grade on adjacent properties will be retained with the construction of new retaining walls.

ATTACHMENT B: HISTORIC DISTRICT MAP



★ *Approximate Project Location*

ATTACHMENT C: EXISTING CONDITIONS

Master Plan and Zoning Map Designations

The subject property is located at 1117 E South Temple Street. The property is approximately 50'-0" wide by 165'-0" deep, and contains approximately 8,250 square feet or 0.189 of an acre. As stated previously, the applicant, Tariq Mughal, owns the property.

The subject property is located within the Avenues Community Master Plan, which the Salt Lake City Council adopted in 1987. However, to facilitate development of the subject property, the Salt Lake City Council passed Ordinance 66 of 2016 on October 4, 2016 to:

1. Rezone the subject property from RMF-35 Moderate Density Multi-Family Residential District to R-MU-35 Residential/Mixed Use District, and
2. Amend the Avenues Community Future Land Use Map for the subject property from Medium Density Residential to High Density Residential.

The ordinance also required the applicant to enter into a development agreement with the City, to ensure compliance with the following two conditions:

1. Use of the subject property is limited to residential land uses and commercial land uses are prohibited, and
2. **The “minimum front yard setback . . . is consistent with the front building line of the primary structure on the parcel immediately west of the property.”**

Following adoption of City Ordinance 66 of 2016, the applicant entered into a development agreement with the City and the ordinance was published by the City Recorder on March 8, 2017.

Zoning District Purpose Statement

According to Salt Lake City Code 21A.24.164, the purpose statement for the R-MU-35 District is:

The purpose of the R-MU-35 residential/mixed use district is to provide areas within the city for mixed use development that promote residential urban neighborhoods containing residential, retail, service commercial and small scale office uses. The standards for the district reinforce the mixed use character of the area and promote appropriately scaled development that is pedestrian oriented. This zone is intended to provide a buffer for lower density residential uses and nearby collector, arterial streets and higher intensity land uses.

With regard to land uses within the existing and proposed zoning districts, staff has provided the following excerpt from 21A.33.020 Table of Permitted and Conditional Uses for Residential Districts:

Land Use	R-MU 35
Accessory use, except those that are otherwise specifically regulated elsewhere in this title	P
Adaptive reuse of a landmark site	P
Alcohol, brewpub (2,500 square feet or less in floor area)	C ⁹
Alcohol, dining club (2,500 square feet or less in floor area)	C ⁹
Alcohol, social club (2,500 square feet or less in floor area)	C ⁹
Alcohol, tavern (2,500 square feet or less in floor area)	
Animal, veterinary office	C
Art gallery	P
Bed and breakfast inn	
Bed and breakfast manor	
Clinic (medical, dental)	P
Community garden	P
Crematorium	C
Daycare center, adult	P

Land Use	R-MU 35
Daycare center, child	P
Dwelling, accessory guest and servant's quarter	
Dwelling, accessory unit	
Dwelling, assisted living facility (large)	C
Dwelling, assisted living facility (limited capacity)	P
Dwelling, assisted living facility (small)	P
Dwelling; dormitory, fraternity, sorority	
Dwelling, group home (large)	C
Dwelling, group home (small)	P
Dwelling, manufactured home	P
Dwelling, multi-family	P
Dwelling, residential support (large)	
Dwelling, residential support (small)	C
Dwelling, rooming (boarding) house	C
Dwelling, single-family (attached)	P
Dwelling, single-family (detached)	P
Dwelling, twin home and two-family	P
Eleemosynary facility	C
Financial institution	P
Funeral home	P
Governmental facility	C
Laboratory (medical, dental, optical)	P
Library	C
Mixed use development	P
Mobile food business (operation on private property)	P
Municipal service use, including city utility use and police and fire station	C
Museum	C
Nursing care facility	
Office, excluding medical and dental clinic and office	P
Open space on lots less than 4 acres in size	P
Park	P
Parking, off site (to support nonconforming uses in a residential zone or uses in the CN or CB zones)	C
Parking, park and ride lot shared with existing use	P
Place of worship on lots less than 4 acres in size	C
Reception center	P
Recreation (indoor)	P
Restaurant	P
Restaurant with drive-through facility	
Retail goods establishment	P
Retail goods establishment, plant and garden shop with outdoor retail sales area	P
Retail service establishment	P
School, music conservatory	C
School, professional and vocational	C
School, seminary and religious institute	C
Seasonal farm stand	P
Studio, art	P
Theater, live performance	C ¹³
Theater, movie	C
Urban farm	P
Utility, building or structure	P ⁵
Utility, transmission wire, line, pipe or pole	P ⁵
Wireless telecommunications facility (see section 21A.40.090 , table 21A.40.090E of this title)	

Adjacent Land Uses

Although the subject property is currently vacant, the following residential development surrounds the property:

Property Address	Relative Location	Property Area	Current Use	Current Zone
1107 E South Temple	West	0.44 of an acre	Apartment	RMF-35 District
22 N "Q" Street	North	0.12 of an acre	Single-family	SR-1A District
1022 E 1 st Avenue	North	.016 of an acre	Single-family	SR-1A District
1127 E South Temple	East	0.31 of an acre	Apartment	RMF-35 District

Historic Preservation District Purpose Statement

As stated previously, the subject property is also located within the H South Temple Historic Preservation Overlay District. According to Salt Lake City Code 21A.34.020, the purpose statement for the H District is:

In order to contribute to the welfare, prosperity and education of the people of Salt Lake City, the purpose of the H historic preservation overlay district is to:

1. Provide the means to protect and preserve areas of the city and individual structures and sites having historic, architectural or cultural significance;
2. Encourage new development, redevelopment and the subdivision of lots in historic districts that is compatible with the character of existing development of historic districts or individual landmarks;
3. Abate the destruction and demolition of historic structures;
4. Implement adopted plans of the city related to historic preservation;
5. Foster civic pride in the history of Salt Lake City;
6. Protect and enhance the attraction of the city's historic landmarks and districts for tourists and visitors;
7. Foster economic development consistent with historic preservation; and
8. Encourage social, economic and environmental sustainability.

South Temple Historic District

In addition to the above general purpose statement for the H Historic Preservation Overlay District, the *Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City*, which was recommended by the Salt Lake City Planning Commission and adopted by the City Council, **includes the following statement on the "Historic Architectural Character" on the South Temple Local Historic District:**

South Temple is **frequently referred to as Utah's premier residential boulevard, a testament to** the transformation of Salt Lake City from an agricultural village to an urban center, one that could support the elegance and grandeur seen in the architecture along this street.

Although it was not until around 1900 that South Temple took on the stately appearance associated with the mansions, South Temple has played an essential role in the development of Salt Lake since the City was founded. It served as a connection between the East Bench and Downtown and provided a delineation between the small lots of the Avenues neighborhood and the larger blocks of Central City. In general, South Temple has attracted people of prominence and prosperity, but within this group residents represented a variety of religious faiths, occupations and backgrounds. People of lesser means, including skilled craftsmen and teachers, have also resided on South Temple. South Temple was not immune to the surge of citywide apartment construction that occurred from 1902 to 1931.

Despite the impact of later development, South Temple was identified in 2007 by the American **Planning Association as one of America's Great Streets (Part III, Chapter 16, page 3).**

Groundwater Source Protection Overlay District Purpose Statement

21A.34.060.B. Purpose and Intent (of Groundwater Source Protection Overlay District): The purpose of this section is to protect, preserve, and maintain existing and potential public drinking groundwater sources in order to safeguard the public health, safety and welfare of customers and other users of the city's public drinking water supply, distribution and delivery system. The intent of this section is to establish and designate drinking water source protection zones and groundwater recharge areas for all underground sources of public drinking water which enter the city's culinary drinking water supply, distribution and delivery system, whether such sources are located within, or outside of, the city's corporate boundaries. This section establishes criteria for regulating the storage, handling, use or production of hazardous waste, petroleum product and regulated substances within identified areas where groundwater is, or could be affected by the potential contaminant source. This shall be accomplished by the designation and regulation of property uses and conditions that may be maintained within such zones or areas. Unless otherwise specified, the provisions of this section apply to new development, changes or expansion of use, and/or handling, movement, and storage of hazardous waste, petroleum products and regulated substances.

The degree of protection afforded by this section is considered adequate at the present time to address the perceived actual and potential threat to underground drinking water sources. This section does not ensure that public drinking water sources will not be subject to accidental or intentional contamination, nor does it create liability on the part of the city, or an officer or employee thereof, for any damages to the public water supplies from reliance on this section or any administrative order lawfully made hereunder.

Compliance with the terms of this section shall not relieve the person subject to the terms hereof of the obligation to comply with any other applicable federal, state, regional or local regulations, rule, ordinance or requirement.

ATTACHMENT D: DEPARTMENT COMMENTS



DEPARTMENT COMMENTS

1117 E South Temple Street

PLNHLC2017-00560

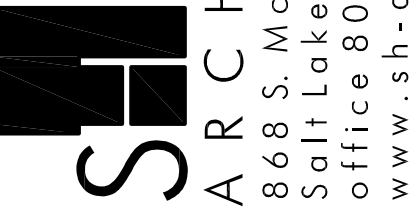
DATE	TASK/INSPECTION	STATUS/RESULT	ACTION BY	COMMENTS
9/8/2017	Walk-in	Routed to Reviewer	Baker, Patricia	Questions about openings in walls near property line.
9/8/2017	Building Code Walk-in	End Consultation	Davies, Don	Kenny asked for my assistance with a proposed project in an historical area where the new building is being proposed to be built a few inches away from the lot line and they want 45% openings on that wall. They would need at least 10 feet on that side to get that increase in openings. The adjoining lot has a drive on that side and a no build restriction could be placed on that lot at the driveway provided the adjoining owner agreed to that restriction and had it recorded. It was asked if the no build area would be taken from the centerline of the drive and I said that it would include the entire driveway.
9/11/2017	Transportation Review	Complete	Barry, Michael	The application appears to meet parking standards for quantity and dimensions. The driveway ramp should meet city standards for slope and maximum break over angles which are not shown on the plans.
9/12/2017	Building Review	Complete	Brown, Ken	<ul style="list-style-type: none"> • The site plan does not identify the existing and proposed park strip elements, park strip trees, or existing private property trees. Urban Forestry will need to be consulted regarding protection of the park strip trees and removal of private property trees (see 21A.48.135). • Any public way encroachments (steps, handrails, walls, etc.) will need to be discussed with the SLC Real Property Division in Room #425 at 451 S State Street. 801-535-7133. • See 21A.24 for general and specific regulations of the R-MU-35 zoning district such as: <ol style="list-style-type: none"> a. Front Yard Landscaping. b. Maximum building height (35'). Building height is the vertical distance, measured from the average elevation of the finished (existing) grade at each face of the building, to the highest point of the coping of the flat roof/guardrails for the rooftop garden and shall be documented by providing existing & proposed grade contour lines, on a site grading plan or site plan, shown at a minimum of two foot (2') intervals, along with spot elevations for existing and proposed grades at each inside and outside corner of the building on both the site plan and elevation drawings - documentation of the average elevation of the finished grade at each face of the building - elevation datum for the deck, roof and guardrail/parapet walls. Elevation datum is also to be provided for the roof access stairs and the rooftop garden trellis. Buildings taller than thirty five feet (35'), or elements taller than allowed by Table 21A.36.020C may be authorized through the conditional building and site design review process. Note: The Garden Trellis is not an element listed in Table 21A.36.020C. c. Landscape Buffers.

				<ul style="list-style-type: none"> For the following, see Table 21A.36.020B for Obstructions In Required Yards: <ul style="list-style-type: none"> a. Below grade encroachments (special exception required). b. Changes of established grade (unclear at this point whether special exception will be required since no existing & proposed grade contour lines have been provided). c. Ground mounted utility boxes (see 21A.40 for ground mounted utility boxes or identify how electrical is being provided to the site). See 21A.36.250 for a permanent recycling collection station and indicate the location on the plans. The planning director may approve a modification to ground floor glass requirement to forty five percent (45%) since the ground level of the building is occupied by a residential use that faces the street. This proposal documents only twenty five percent (25%). See 21A.44 for bicycle parking required/provided outside of the building and within 50' of the principle entry. See 21A.48 for documentation of park strip landscaping, front yard landscaping and landscape buffers (irrigation plans, documentation of species, size, number, hydro zone for each plant, documentation of 33% minimum plant coverage in the park strip and front yard, etc.).
9/15/2017	Fire Code Review	Complete	Christensen, Kenney	The proposed structure built on or near the property line with limited or no fire department access; will require AM&M (Alternate Means & Methods) agreement approved by the Fire Prevention Bureau (Captain Boden) prior to any permit issuance. Compliance with the information in this review does not guarantee compliance with International Fire and Building Code, nor does it guarantee issuance of a permit.
9/17/2017	Sustainability Review	Complete	Bennett, Vicky	The only item to note is that they may be required to provide recycling service also with trash collection since they have so many units; make sure they review the ordinance and understand that they will need to provide space for both types of bins if that is the case.
9/21/2017	Engineering Review	Complete	Weiler, Scott	Engineering has no objections to the proposed project. As always, if any work occurs in the public way, a Permit to Work in the Public Way must be obtained first.
10/2/2017	City Surveyor Review	Complete	Maloy, Michael	No comments or concerns received from City Surveyor.
10/2/2017	Public Utility Review	Complete	Maloy, Michael	No comments or concerns received from Public Utilities.
10/2/2017	Zoning Review	Complete	Maloy, Michael	No comments or concerns received from Zoning Review.
10/2/2017	Real Estate Services Review	Complete	Maloy, Michael	No comments or concerns received from Real Estate Services.
10/2/2017	Police Review	Complete	Maloy, Michael	No comments or concerns received from Police Department.
10/2/2017	City Attorney Review	Complete	Maloy, Michael	No comments or concerns received from City Attorney.

ATTACHMENT E: SITE PLAN

1117 E. SOUTH TEMPLE MULTI-FAMILY DEVELOPMENT

1117 E. SOUTH TEMPLE
SALT LAKE CITY, UT



ARCHITECTURE
868 S. McClelland St. Suite 2
Salt Lake City Utah 84102
office 801.883.9328
www.sh-architecture.com

STAMP
THESE DOCUMENTS HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE. REPRODUCTION OF THESE DOCUMENTS OR ANY PART THEREOF WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE IS STRICTLY PROHIBITED EXCEPT BY WRITTEN CONSENT OF SH ARCHITECTURE. COPYRIGHT © 2016 SH ARCHITECTURE

DESCRIPTION
DATE
REVISION

CLIENT / PROJECT
1117 E. SOUTH TEMPLE
MULTIFAMILY
1117 E SOUTH TEMPLE
SALT LAKE CITY, UTAH

SHEET TITLE
COVER SHEET &
VICINITY MAP
JOB NO.: 160190
ISSUE DATE: 12/07/2017
ISSUE TYPE: LANDMARKS COMM.

SHEET NO
01

Sheet Index

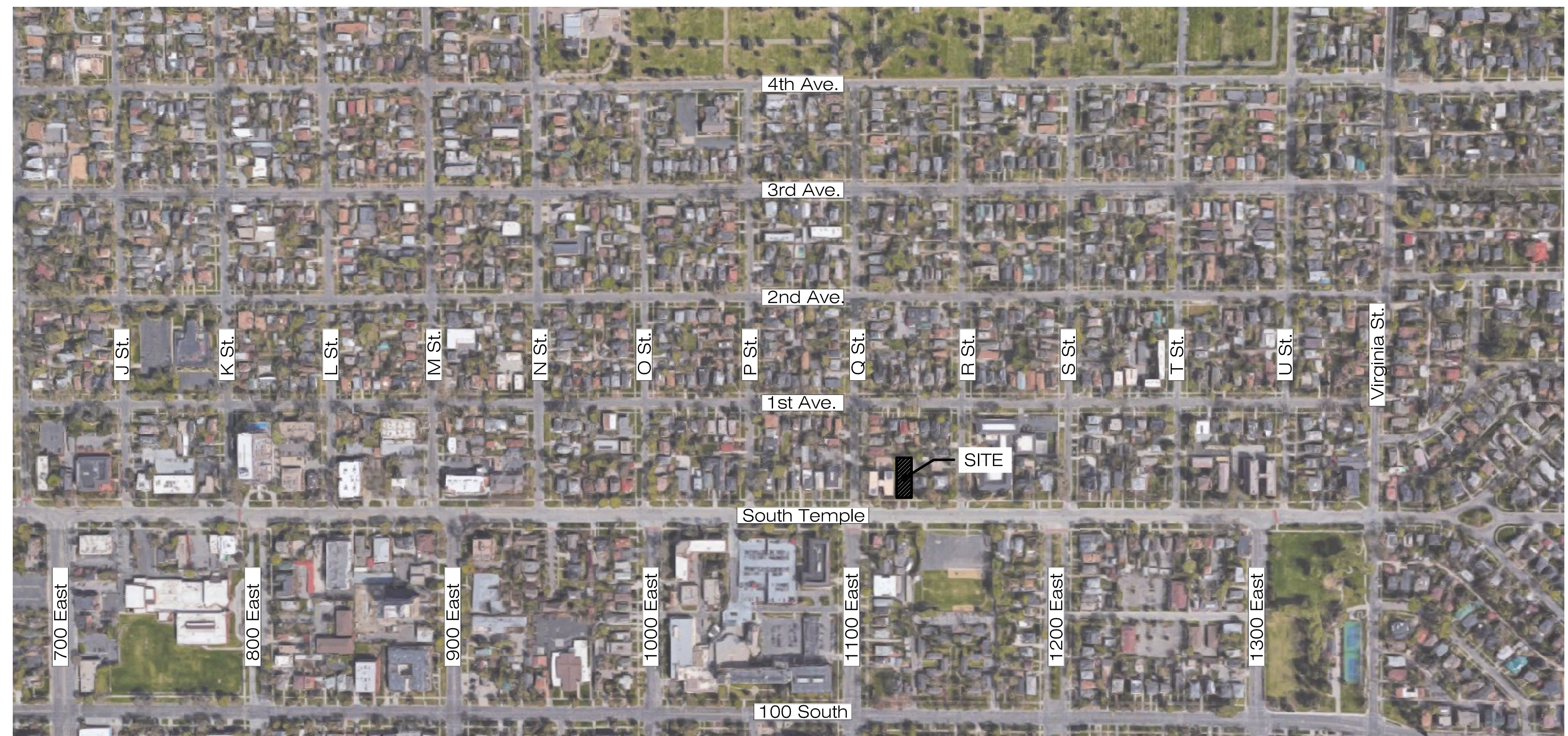
SHT.#	DESCRIPTION	DATE	DESCRIPTION
Architectural			
01	COVER SHEET & VICINITY MAP	--	--
02	SITE PLAN - ADJACENCIES	--	--
03	SITE PLAN - DEMOLITION	--	--
04	SITE PLAN - GRADING	--	--
05	SITE PLAN	--	--
06	LANDSCAPE PLAN	--	--
07	STREETSCAPE ELEVATION & PLAN	--	--
08	FLOOR PLANS	--	--
09	BUILDING ELEVATIONS	--	--
10	BUILDING SECTIONS & WALL SECTION	--	--
11	SIGNAGE, WINDOW TYPES, MATERIALS, & LIGHT FIXTURES	--	--
12	RENDERING #1	--	--
13	RENDERING #2	--	--
14	MASSING STUDIES	--	--
15	MASSING STUDIES	--	--
16	MASSING STUDIES	--	--
17	MASSING STUDIES	--	--

Project Team

OWNER
Tariq Mughal
2219 E. FISHER LANE
SALT LAKE CITY, UT

ARCHITECT
SH Architecture
868 McClelland St. E #2
Salt Lake City, UT 84102
801-883-9328

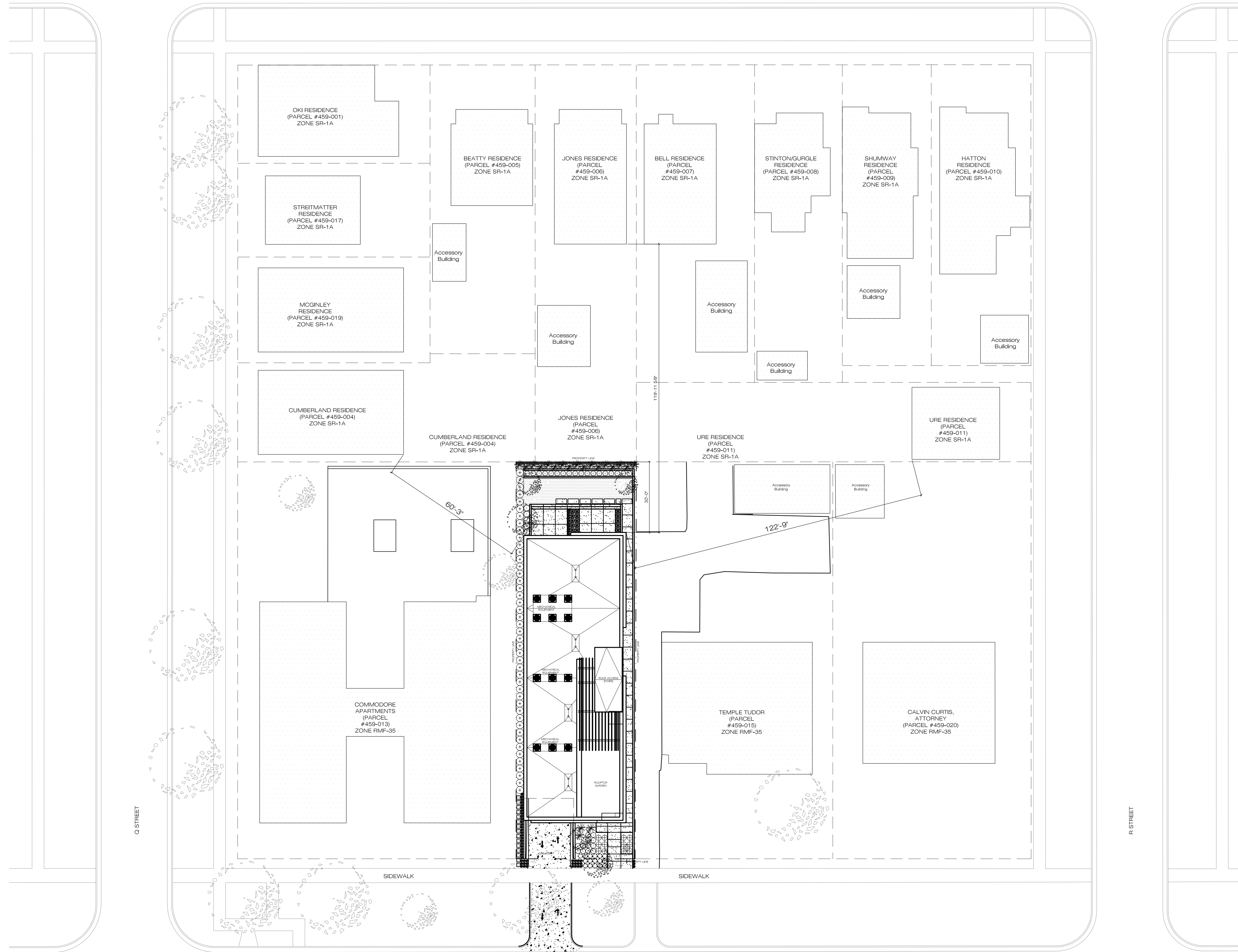
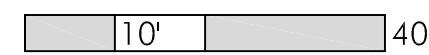
LANDSCAPE
rdl Design
1020 E. Yale Ave
Salt Lake City, UT 84105
801-647-3114



NORTH

VICINITY MAP

SITE PLAN - ADJANCIES
SCALE: 1:20



SHEET NO

02

SHEET TITLE
SITE PLAN - ADJANCIES

CLIENT / PROJECT

**1117 E. SOUTH TEMPLE
MULTIFAMILY**
1117 E SOUTH TEMPLE
SALT LAKE CITY, UTAH

REVISION

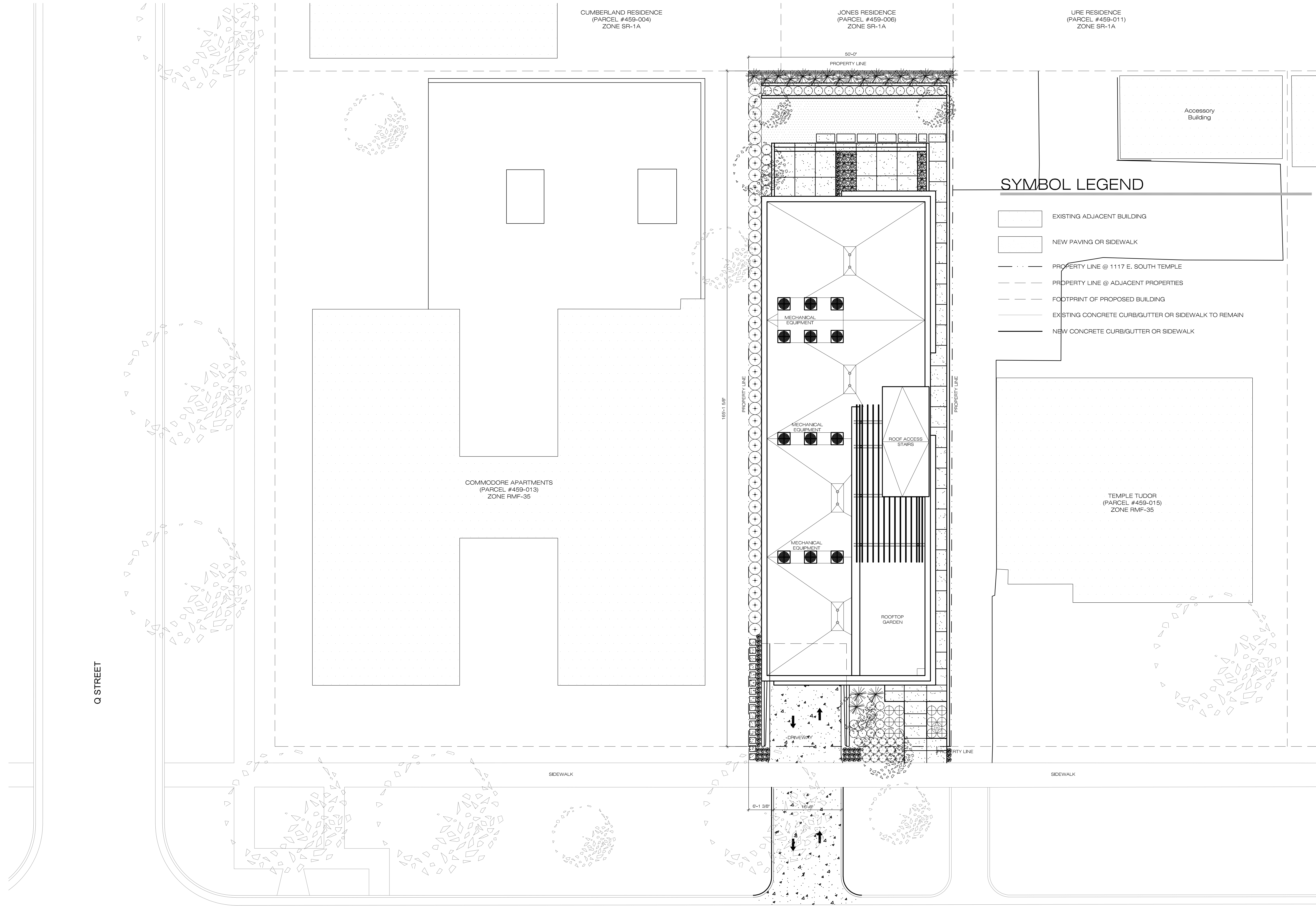
DESCRIPTION

DATE



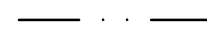




STAMP

THESE DOCUMENTS HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE. ANY REPRODUCTION OR TRANSMISSION OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE IS STRICTLY PROHIBITED EXCEPT BY WRITTEN CONSENT OF SH ARCHITECTURE.
COPYRIGHT 2016 SH ARCHITECTURE

SH ARCHITECTURE
868 S. McClelland St. Suite 2
Salt Lake City Utah 84102
office 801.883.9328
www.sh-architecture.com



SYMBOL LEGEND

-  EXISTING ADJACENT BUILDING
-  NEW PAVING OR SIDEWALK
-  PROPERTY LINE @ 1117 E. SOUTH TEMPLE
-  PROPERTY LINE @ ADJACENT PROPERTIES
-  FOOTPRINT OF PROPOSED BUILDING
-  EXISTING CONCRETE CURB/GUTTER OR SIDEWALK TO REMAIN
-  NEW CONCRETE CURB/GUTTER OR SIDEWALK

STAMP

THIS DOCUMENT HAS BEEN PROVIDED FOR THE EXCLUSIVE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS DOCUMENT. COPYRIGHT 2013 SH ARCHITECTURE

REVISION	DATE	DESCRIPTION

CLIENT / PROJECT

1117 E. SOUTH TEMPLE MULTIFAMILY
 1117 E SOUTH TEMPLE
 SALT LAKE CITY, UTAH

SHEET TITLE

SITE PLAN

ISSUE TYPE:
LANDMARKS COMM.

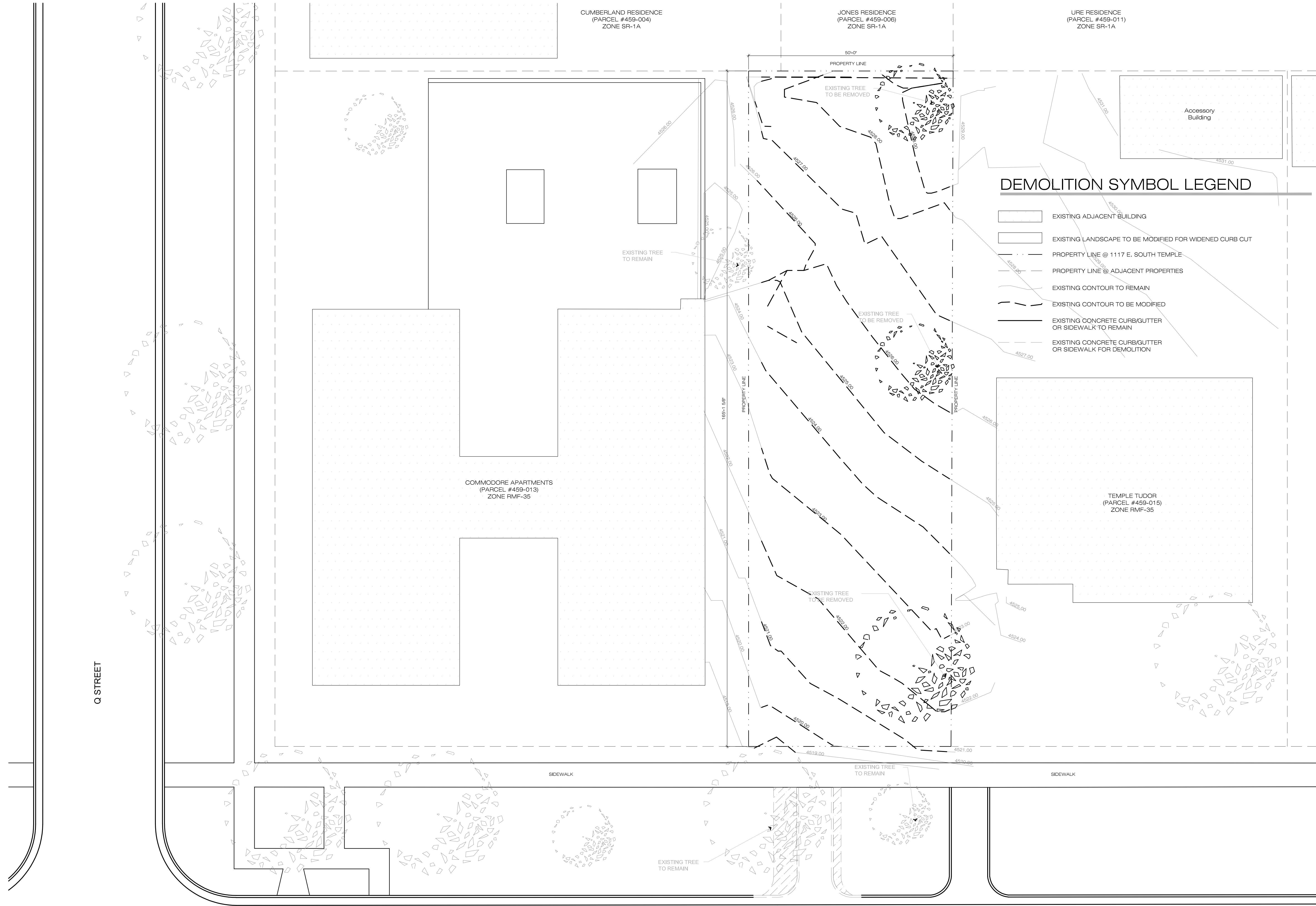
ISSUE DATE:
12/07/2017

JOB NO.:
160190

ATTACHMENT F: GRADING PLAN

SITE PLAN - DEMOLITION

SCALE: 3/32" = 1'-0" 5'-4" 64'



DEMOLITION SYMBOL LEGEND

- EXISTING ADJACENT BUILDING
- EXISTING LANDSCAPE TO BE MODIFIED FOR WIDENED CURB CUT
- PROPERTY LINE @ 1117 E. SOUTH TEMPLE
- PROPERTY LINE @ ADJACENT PROPERTIES
- EXISTING CONTOUR TO REMAIN
- EXISTING CONTOUR TO BE MODIFIED
- EXISTING CONCRETE CURB/GUTTER OR SIDEWALK TO REMAIN
- EXISTING CONCRETE CURB/GUTTER OR SIDEWALK FOR DEMOLITION

SH
ARCHITECTURE
868 S. McClelland St. Suite 2
Salt Lake City Utah 84102
office 801.883.9328
www.sh-architecture.com

STAMP

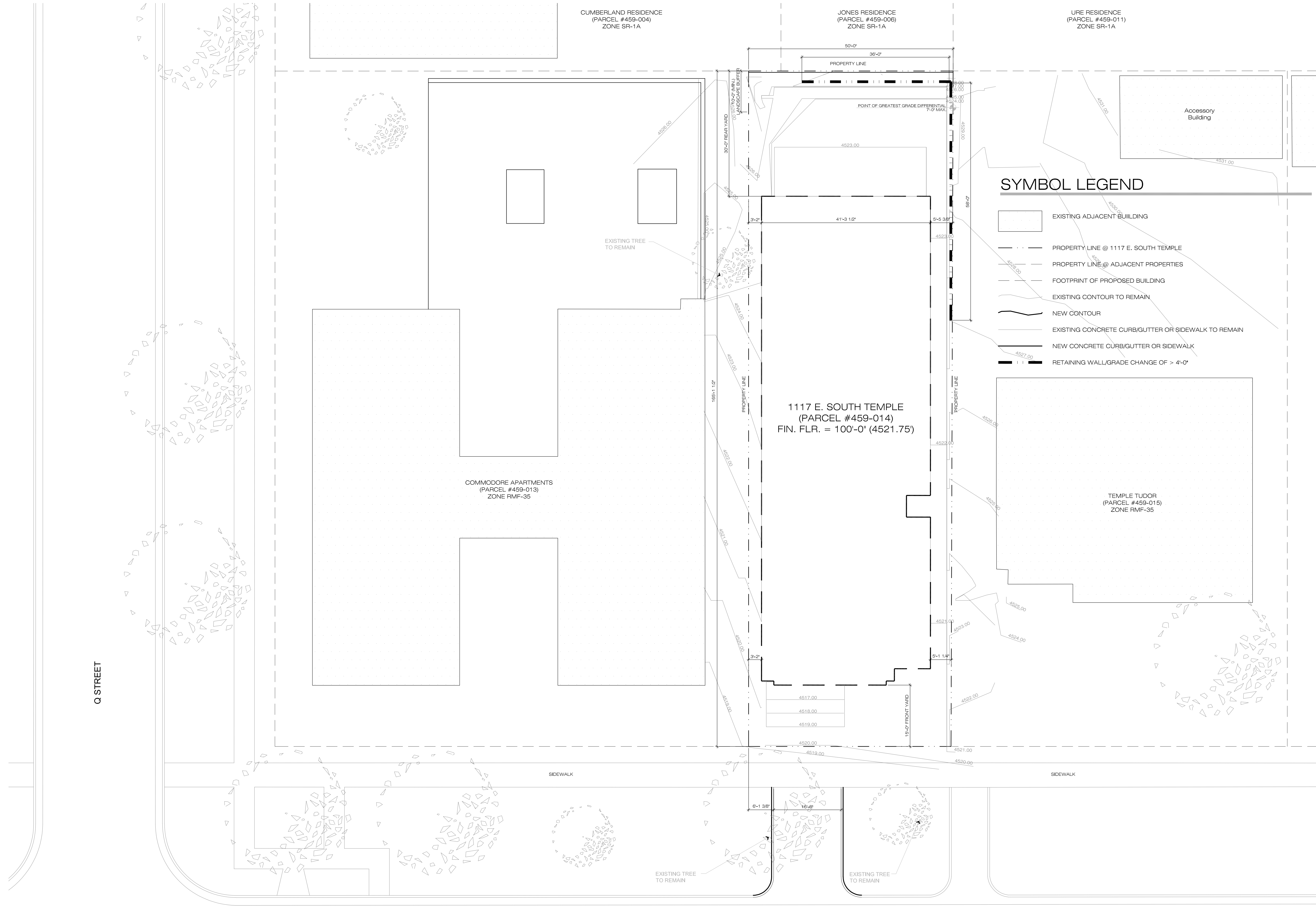
THIS DOCUMENT IS THE PROPERTY OF SH ARCHITECTURE AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY SH ARCHITECTURE. THE DESIGNER IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS. COPYRIGHT 2013 SH ARCHITECTURE

REVISION	DATE	DESCRIPTION


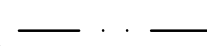







CLIENT / PROJECT
**1117 E. SOUTH TEMPLE
MULTIFAMILY**
1117 E SOUTH TEMPLE
SALT LAKE CITY, UTAH

SHEET TITLE
SITE PLAN - DEMOLITION

ISSUE DATE: 12/07/2017
ISSUE TYPE: LANDMARKS COMM.
JOB NO.: 160190



SYMBOL LEGEND

-  EXISTING ADJACENT BUILDING
-  PROPERTY LINE @ 1117 E. SOUTH TEMPLE
-  PROPERTY LINE @ ADJACENT PROPERTIES
-  FOOTPRINT OF PROPOSED BUILDING
-  EXISTING CONTOUR TO REMAIN
-  NEW CONTOUR
-  EXISTING CONCRETE CURB/GUTTER OR SIDEWALK TO REMAIN
-  NEW CONCRETE CURB/GUTTER OR SIDEWALK
-  RETAINING WALL/GRADE CHANGE OF > 4'-0"

STAMP

THIS DOCUMENT AND ANY INFORMATION CONTAINED HEREIN IS THE PROPERTY OF SH ARCHITECTURE. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DESCRIPTION

DATE

REVISION

CLIENT / PROJECT
**1117 E. SOUTH TEMPLE
MULTIFAMILY
1117 E SOUTH TEMPLE
SALT LAKE CITY, UTAH**

SHEET TITLE
SITE PLAN - GRADING

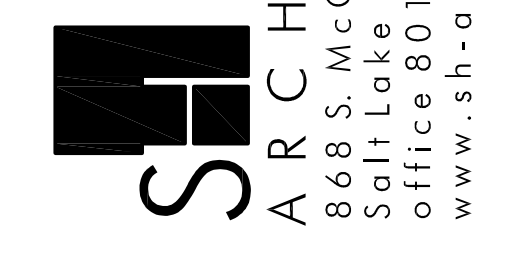
ISSUE DATE:
12/07/2017

JOB NO.:
160190

ISSUE TYPE:
LANDMARKS COMM.

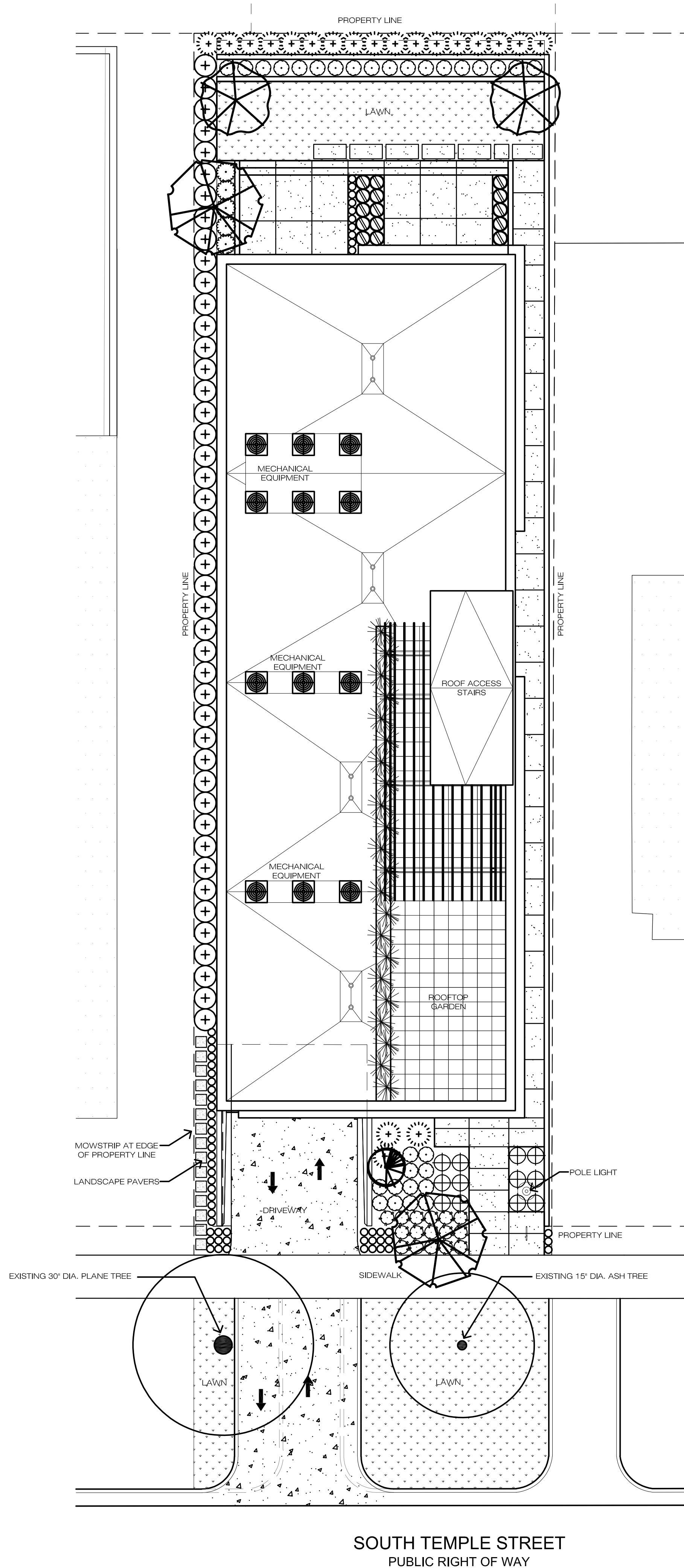
SHEET NO

04



SH ARCHITECTURE
868 S. McClelland St. Suite 2
Salt Lake City Utah 84102
office 801.883.9328
www.sh-architecture.com

ATTACHMENT G: LANDSCAPE PLAN



SOUTH TEMPLE STREET
PUBLIC RIGHT OF WAY

PLANT LIST (TREES)

Quan.	Symbol	Botanical Name	Common Name	Size
1	(Symbol)	Acer palmatum	Japanese Maple (Variety)	15 Gal. / 5-6 Ft.
2	(Symbol)	Celtis occidentalis 'Pairie Sentinel'	Prairie Sentinel Hackberry	2" Cal. / 10-12 Ft.
1	(Symbol)	Liquidambar sty. 'Slender Silhouette'	Slender Silhouette Sweet Gum	2" Cal. / 10-12 Ft.
2	(Symbol)	Syringa reticulata 'Ivory Silk'	Ivory Silk Flowering Tree Lilac	2" Cal. / 8-10 Ft.

PLANT LIST (SHRUBS/PERENNIALS)

Quan.	Symbol	Botanical Name	Common Name	Size
30	(Symbol)	Buxus sempervirens 'Green Velvet'	Green Velvet Boxwood	5 Gallon / 15"-18"
5	(Symbol)	Cornus alba 'Ivory Halo'	Ivory Halo Dogwood	5 Gallon / 18"-24"
45	(Symbol)	Cornus stolonifera 'Kelsey'	Kelsey Dwarf Dogwood	5 Gallon / 15"-18"
16	(Symbol)	Euonymus japonica 'Microphyllus'	Boxleaf Euonymus	5 Gallon / 15"-18"
15	(Symbol)	Mahonia repens	Creeping Oregon Grape	5 Gallon / 15"-18"
1	(Symbol)	Rosa 'Knock Out Red'	Knock Out Red Rose	5 Gallon / 18"-24"
12	(Symbol)	Spiraea japonica 'Little Princess'	Little Princess Spiraea	5 Gallon / 15"-18"
20	(Symbol)	Taxus media 'Hicksii'	Hicks Yew	5 Gallon / 24"-30"
58	(Symbol)	Perennial Color	Perennials / Variety	1 Gallon / Full Can

** Plant material quantities are provided for convenience ONLY! The contractor shall provide and install all plant materials either shown or noted, and in the container sizes and overall plant size as specified.

PLANTING NOTES

- All lawn areas shall receive a 4 inch depth of topsoil, all shrub planting areas shall receive an 8 inch depth of topsoil. Topsoil material is not expected to be available at the site and must be imported from an approved local source. All topsoil material shall be of a sandy loam mix.
- Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches, by the use of mechanical means, in order to create a transition layer between existing and new soils.
- All lawn areas shall be sodded using high grade material of a water conservative mixture, and shall be composed of drought tolerant Bluegrass & Fescue. Prior to installation, all areas shall receive a starter fertilizer applied at the rate recommended by the manufacturer.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site.
- Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to installation. There should be a designated pile of backfill mix on-site.
- Plant fertilizer shall be 'Agriform' brand 21 gram tablets used as per manufacturers recommendations.
- All trees located in lawn areas shall receive an 'Arbor Guard' trunk protector, or equal, and have a 36 inch diameter sod-free ring. All trees shall be staked for wind protection, unless otherwise indicated.
- Upon completion of planting operations, all shrub pits and tree wells shall receive a four inch depth of fine ground bark mulch mixture as a cover. The overall shrub beds themselves shall receive a 4" depth of decorative stone surfacing over Pro-5 weed barrier fabric. The decorative stone materials to be "BID" shall be "Calico" (or equal) in sizes as specified. This material is available through several local suppliers. The final material type will be chosen once the building colors are determined on the project.
- In decorative stone beds, cut the fabric from around the water well of each plant, then apply fine ground bark inside water well. The remainder of the planter bed shall receive the depth of decorative stone.
- Landscape maintenance shall be required for a period through the second mowing of the lawn (30 days minimum) and shall include mowing, weeding, pruning and one fertilization. In addition to the initial maintenance period, the landscape contractor shall provide a separate price as an additive alternate to extend the maintenance period through the one-year warranty period. The one-year contract will be between the landscape contractor and the Owner.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

GENERAL NOTES

- All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscape and irrigation projects, and be able to supply the necessary staff to perform all tasks associated with these drawings, and in a professional and timely manner.
- The landscape contractor, at all times, shall have personnel on-site experienced in being able to interpret the drawings correctly, and accurately measure the design layout using the specified scale.
- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning work. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2" below all walks, curbs, etc.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications.
- The contractor shall plant all plants per the planting details, stake/guy as shown. The top of the rootballs shall be planted flush with the finish grade.

SUBMITTAL REQUIREMENTS

- The contractor shall provide to the Owner/Engineer product samples of all landscape materials such as boulders, decorative stone, bark mulches, weed barrier fabric, soil amendments & import topsoil in order to obtain approval to be used on the project, and prior to any shipment to the site. Failure to provide this in a timely manner will in no way affect or delay the construction schedule and time for project completion.
- All plant materials shall be secured for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to planting of the project. No substitutions will be considered following this time period.

SUB-GRADE REQUIREMENTS

- LAWN AREAS : Six (6) inches below finish grade. This will allow for the installation of a four inch depth of topsoil along with the sodding material, leaving it slightly below finish grade and concrete areas.
- SHRUB AREAS : Twelve (12) inches below finish grade. This will allow for the installation of an eight inch depth of topsoil along with a four inch depth of bark mulch or decorative stone, leaving it slightly below finish grade and concrete areas.
- NOTE : The landscape contractor shall coordinate early on in the construction schedule with the earthwork contractor, in order to ensure that all sub-grade elevations mentioned above are achieved prior to topsoil installation. Failure to do this will not relieve the contractor from provide the specified topsoil depths.

LANDSCAPE PLAN

SCALE: 1:10 10' 40'

TREE PROTECTION GUIDELINES FOR CONSTRUCTION SITES

- Tree protection practices will include establishing the tree protection zone (herein known as TPZ). The TPZ will be 1 foot radius from the base of the tree's trunk for each 1 inch of the tree's diameter measured at 4.5 feet above grade (referred to as dbh).

TREE PROTECTION ZONE

Tree Diameter	Tree Protection Zone Radius	Total Protection Zone Diameter Including Trunk
2 Inches	2 Feet	4+ Feet
6 Inches	6 Feet	13 Feet
20 Inches	20 Feet	42 Feet
46 Inches	46 Feet	96 Feet

The TPZ will be defined by 6' tall chain link fencing. Fencing will be erected with free standing posts, NOT posts driven into the root system. There shall be appropriate signage posted on each linear span of the fence. Signage shall be laminated on 8.5"x11" paper. The TPZ fencing and signage will remain until the project is complete or certificate of occupancy has been authorized.

THERE WILL BE NO DIGGING, TRENCHING, GRADING, OR STORING OF MATERIALS OR EQUIPMENT IN THE TPZ.

- All trees are to remain protected, unless given approval and permitted for removal by the Urban Forestry Office. If tree removal is permitted a fee will be required. If trees are damaged or destroyed (above ground or below ground) due to construction activity, the contractor will be assessed the appraised value of the trees payable to Salt Lake City. A permit is required for all removal and pruning of city trees approved and issued by the Salt Lake City Urban Forestry Office. (801-972-7818) A minimum 36 hours notice must be given to the Urban Forestry Program prior to any request for onsite meetings.
- Trees to be preserved during all construction activities shall have a TPZ as shown on the plans. The TPZ shall be clearly marked on the site plan, demo plan and landscape plan.
- Only tunneling or boring will be allowed in the TPZ at a depth of 36 inches minimum. The access pit must be located outside of the TPZ. If this is not feasible, written authorization must be obtained from the Urban Forestry office PRIOR to altering the TPZ.
- No equipment (except for a sod cutter) shall be allowed inside the tree protection zone. If special provision for excavation is approved by the Urban Forestry Office, it shall be done by hand or a soil vacuum.
- Use tunneling or boring for irrigation and utilities. No roots larger than 4" in diameter will be cut. All roots will be cut cleanly with a saw. In situations where a root has been damaged, a clean cut shall be made on the root at the edge of the trench closest to the tree trunk.
- If replacing the sidewalk, no roots larger than 4" in diameter shall be cut. Other alternatives such as ramping or a radius or arch around the existing trees will be used. Roots will not be ripped out with a back hoe. Cuts on tree roots shall be smooth and clean, made with a saw. Any exposed cut roots will be covered as quickly as possible to prevent them from drying out and the tree should be watered immediately. If tree roots are to remain exposed for more than four to six hours, they must be covered with burlap and kept moist at all times.
- Tree care contractors providing services to public trees shall be certified arborists with the International Society of Arboriculture, licensed to do business in Salt Lake City and be registered with the Utah Division of Commercial Code, insured against personal injury and property damage. Prior to beginning work on tree(s) the tree care contractor shall contact the City's Urban Forestry program to obtain appropriate public property tree work permit(s).
- Trees shall not be used to support any scaffolding, signs, temporary utility, or any other device. Sidewalks and paving levels should be contoured whenever possible to avoid root cutting. If damage occurs to a protected tree, immediate contact shall be made with the City Forester.
- Do not change the soil grade by cutting or filling in the TPZ.
- Do not do any additional planting within 10' of the trunk.
- Trees shall be watered according to the following guidelines:
 - Established trees need deep watering once every two weeks with low pressure at the drip line to ensure that the ground is soaked to a depth of at least 8 inches. Generally 5 gallons per inch of trunk diameter at breast height.
 - Young or newly planted trees need to be watered every 3-4 days, depending on temperature.

UNDERGROUND UTILITY WORK

When given approval by the Urban Forestry office to work in the TPZ to replace or restore underground utilities, use only a soil vacuum or hand dig, leaving roots larger than 4" in diameter untouched.

- Where possible when replacing existing utilities such as water or sewer lines very near to preserved trees, abandon the lines and reinstall farther away from the tree.
- Tunneling or boring will always be done at a minimum depth of 36". This shall be performed in a manner and location least damaging to tree roots.
- Where large anchorage roots are encountered, hand digging and bridging of roots shall be done, leaving roots intact.
- When encountering roots over 4" in diameter the Salt Lake City Urban Forestry office will be consulted prior to cutting to find some other course of action. Any cutting of tree roots shall give due consideration to future welfare of the tree. Proper action shall be taken so as to protect, and preserve the roots. Roots will not be ripped out with a back hoe. Cuts on tree roots shall be smooth and clean, made with a saw.

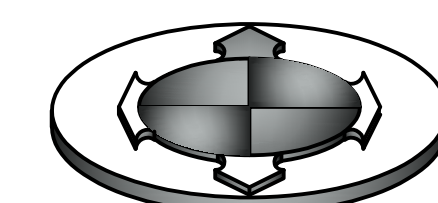
TREE PRUNING

- All pruning on public trees will be approved by the Urban Forestry with the issuance of a permit. No pruning will be allowed that will compromise the aesthetics or structural integrity of a preserved tree. Tree care contractor providing services to public trees shall be a certified arborist with the International Society of Arboriculture, licensed to do business in Salt Lake City, and be registered with the Utah Division of Commercial Code, insured against personal injury and property damage. Prior to beginning work on tree(s) the tree care contractor shall contact the City's Frestry Division to receive authorizing tree permits.

LEGEND

Symbol	Description	Remarks
(Symbol)	4" x 6" Flat Extruded Mowstrip Natural Concrete Color.	Install In True Lines, Flush To All Concrete Edges & Between All Lawn & Shrub Areas. Compact Sub-grade Prior To Installation.
(Symbol)	New Lawn Areas. Use Drought Tolerant Mixture.	Over Specified Topsoil Depth For Areas Outside TPZ. With TPZ, Topsoil Only As Needed To Smooth Out Existing Grade.
(Symbol)	Shrub Bed / Bark Mulch To Be Fine Ground Or Shredded	Install Specified Material To A Depth Of 4 Inches, With Optional 'DeWitt' Pro-5 Weed Barrier Fabric, Secured Per Specifications.

NORTH



LANDSCAPE ARCHITECT

rdl Design Company, Inc.
1020 East Yale Avenue
Salt Lake City, Utah 84105
Phone : 801-647-3114
Email : rldesign@comcast.net

STAMP

THIS DOCUMENT HAS BEEN INCORPORATED AS AN INSTRUMENT OF SERVICE AND ONE OF THE PROJECT RECORDS OF THE ARCHITECT'S OFFICE. IT IS THE PROPERTY OF THE ARCHITECT AND IS TO BE KEPT IN THE ARCHITECT'S OFFICE. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

DESCRIPTION
DATE
REVISION

CLIENT / PROJECT
1117 E. SOUTH TEMPLE
MULTIFAMILY
1117 E SOUTH TEMPLE
SALT LAKE CITY, UTAH

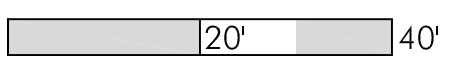
SHEET TITLE
LANDSCAPE PLAN

SHEET NO.

ATTACHMENT H: STREETScape & SETBACK PLAN



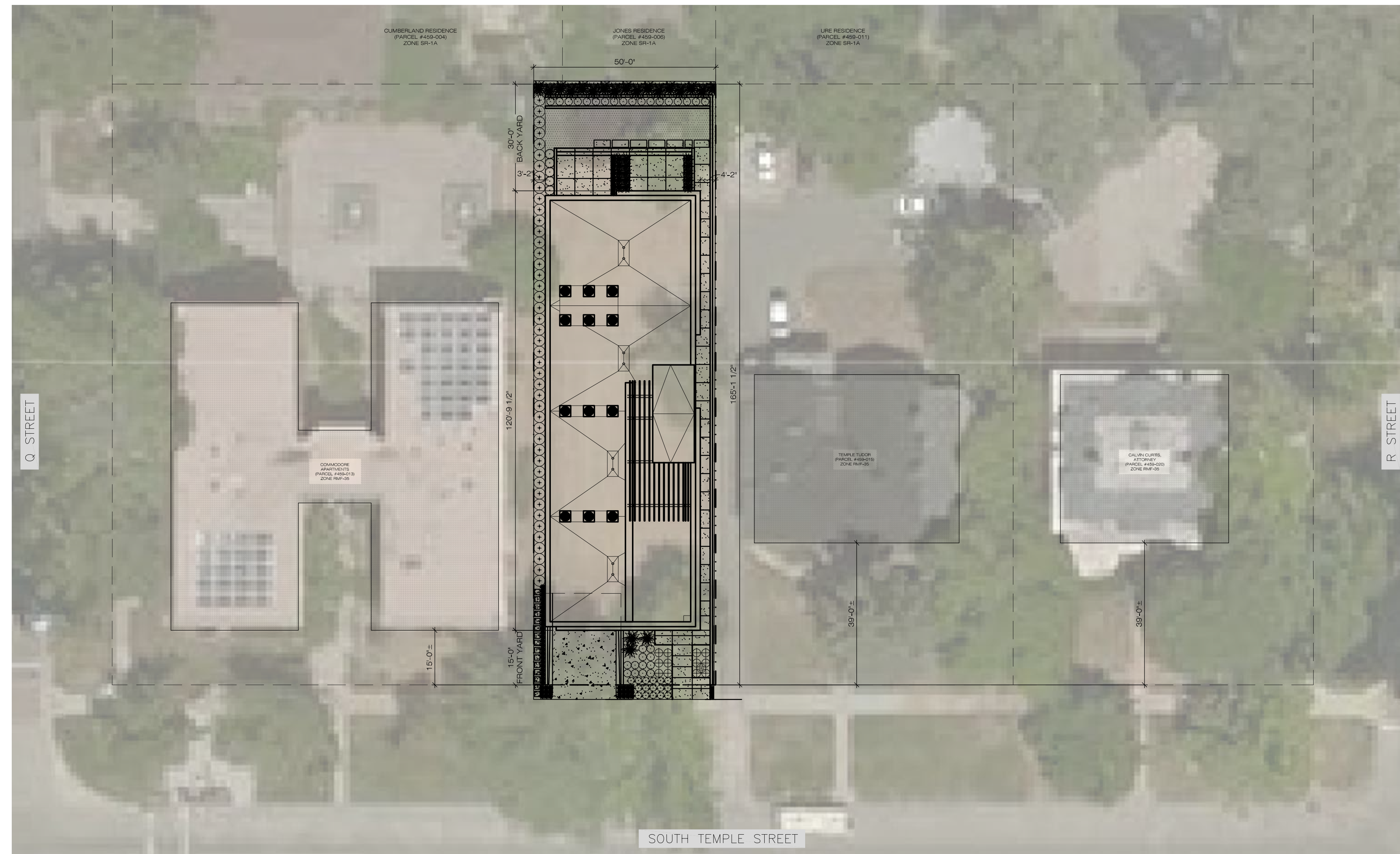
STREETSCAPE - SOUTH TEMPLE BETWEEN Q AND R

SCALE: 1:20 

ZONING INFORMATION - SALT LAKE CITY			
ZONE	RMU-35	Residential/Mixed Use District	
USE	Multi-Family Residential (12 units)	Permitted Use	
		REQUIRED	PROVIDED
Min. Lot Size	No min. for existing lots	0.19 acres (8,256 SF)	
Max. Building Height	35'-0"	35'-0"	
Min. Front Yard	5' min. / 15' max.	15'-0"	
Min. Rear Yard	25% of depth / 30' max.	30'-0" < 25% of depth	
Min. Interior Side Yard	None required	3'-2" west / 5'-5 3/8" east	
Landscape Buffer (per Chapt. 21A-48)	10'-0" min.	17'-8" +	
Open Space Requirements (20% (min.) of the lot area: 8,256 SF X 20% =	1,652 SF min.	2,330 SF (28% of lot area)	
PARKING		REQUIRED	PROVIDED
1) MINIMUM PARKING REQUIREMENTS (21A.44.030) RESIDENTIAL (RMU-35): 1 space per dwelling unit (21A.44.030; G.2) 12 dwelling units X 1 space = 12 spaces (1 Accessible space; 21A.44.020; D)		12 SPACES (1 ACCESSIBLE)	

ZONING - 21A.37.060: DESIGN STANDARDS REQUIRED		
STANDARD (Code Section)	REQUIRED	PROVIDED
Ground floor use (%) (21A.37.050 A1): On the ground floor of a new principal building, a permitted or conditional use other than parking shall occupy a minimum portion of the length of any street facing building facade. All portions of such ground floor spaces shall extend a minimum of twenty five feet (25') into the building.	75% min.	100% Residential
Building materials: ground floor (%) (21A.37.050 B1): Other than windows and doors, a minimum amount of the ground floor facade's wall area of any street facing facade shall be clad in durable materials. Durable materials include stone, brick, masonry, textured or patterned concrete, and fiber cement board.	80% min.	100% Brick / Masonry
Glass: ground floor (%) (21A.37.050 C1): The ground floor building elevation of all new buildings facing a street shall have a minimum amount of glass between three and eight feet above grade. (60%) Exception: Residential uses that face the street, in which case the specified minimum glass requirement may be reduced by fifteen percent (15%).	45% of 206 sf = 93 sf	89 sf (43%) of glass is provided in zone between 3'-0" and 8'-0" a.f.l., however the total area of glass at the main floor is 109 sf.
Building entrances (feet) (21A.37.050 D): At least one operable building entrance on the ground floor is required for every street facing facade. Additional operable building entrances shall be required, at a minimum, at each specified length of street facing building facade according to section 21A.37.060, table 21A.37.060 of this chapter.	1 entrance / 75'-0"	1 entrance / 50'-0"
Blank wall: maximum length (feet) (21A.37.050 E): At the ground level of street facing facades, the maximum length of any blank wall uninterrupted by fenestration, art or architectural detailing shall be as specified by section 21A.37.060. Changes in plane, texture, materials, scale of materials, patterns, art, or other architectural detailing are acceptable methods.	15'-0" max.	13'-0" max.
Screening of mechanical equipment (21A.37.050 J): All equipment for a building shall be screened from public view and sited to minimize their visibility and impact.	X	Complies - rooftop units
Screening of service areas (21A.37.050 K): Service areas, refuse containers, and similar areas shall be fully screened from public view.	X	Complies

DESIGN GUIDELINES (ZONING)



STREETSCAPE - SETBACK PLAN

SCALE: 1:20 

STAMP

THESE DOCUMENTS HAVE BEEN PROVIDED FOR THE PURPOSE OF REVIEW ONLY. ANY USE OF THESE DOCUMENTS OR USE OF ANY INFORMATION CONTAINED HEREIN IS PROHIBITED EXCEPT BY WRITTEN CONSENT OF SH ARCHITECTURE. COPYRIGHT 2016 SH ARCHITECTURE.

DESCRIPTION

REVISION DATE

CLIENT / PROJECT
1117 E. SOUTH TEMPLE MULTIFAMILY
1117 E SOUTH TEMPLE
SALT LAKE CITY, UTAH

JOB NO.: 160190

ISSUE DATE: 12/07/2017

ISSUE TYPE: LANDMARKS COMM.

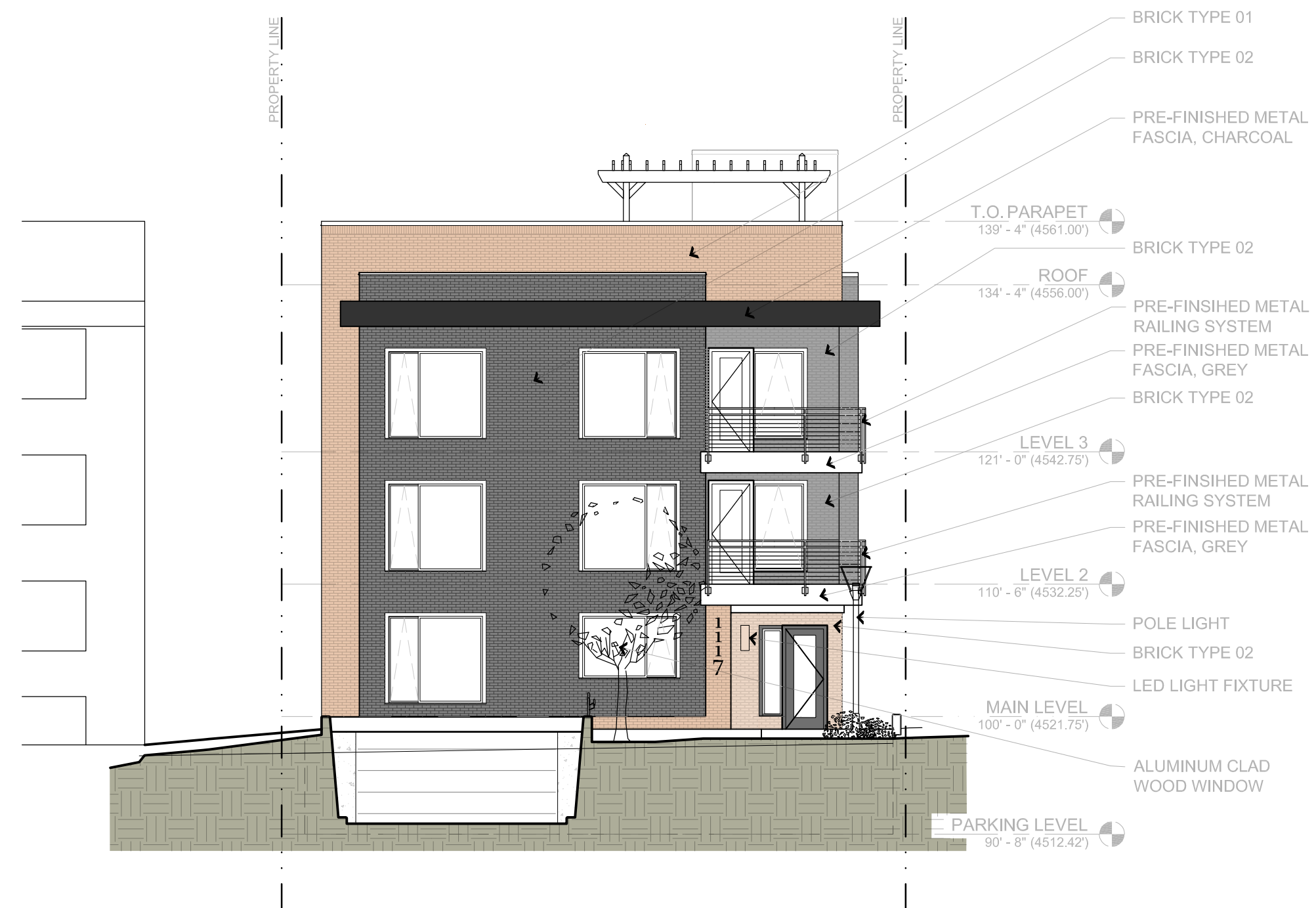
SHEET TITLE

SHEET NO

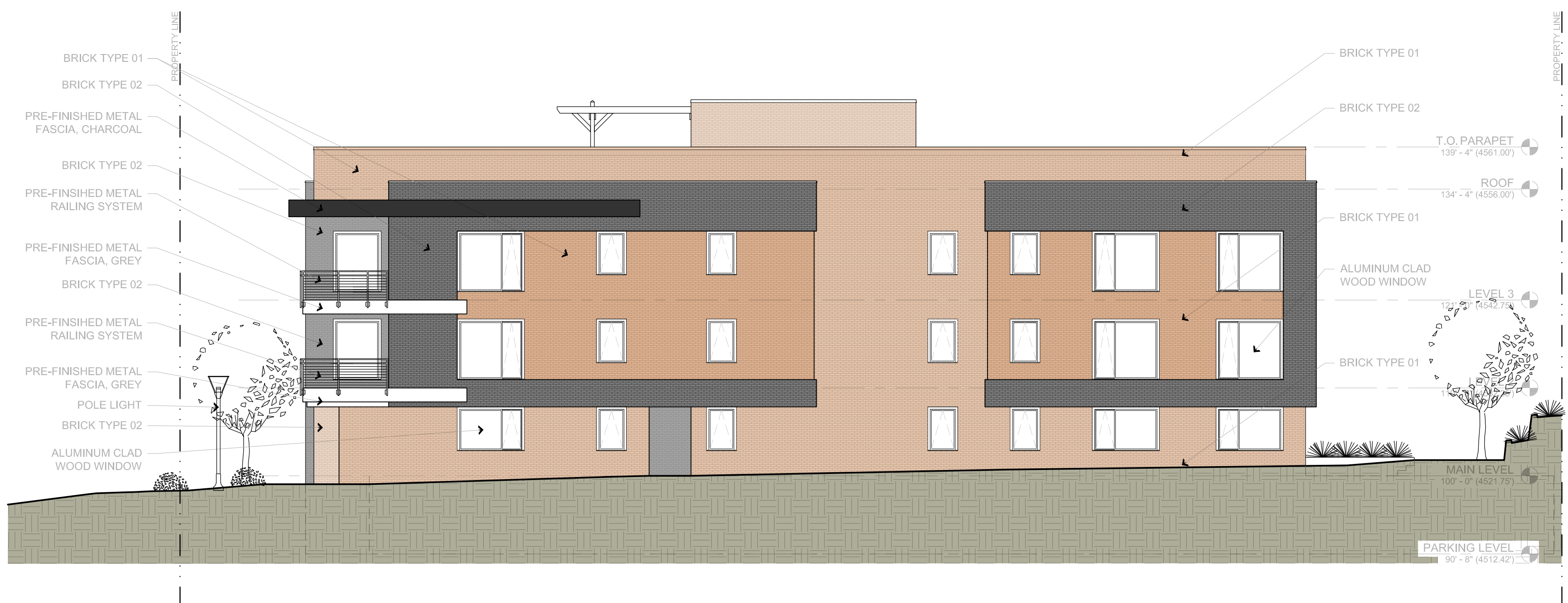
STREETSCAPE
ELEVATION & PLAN

07

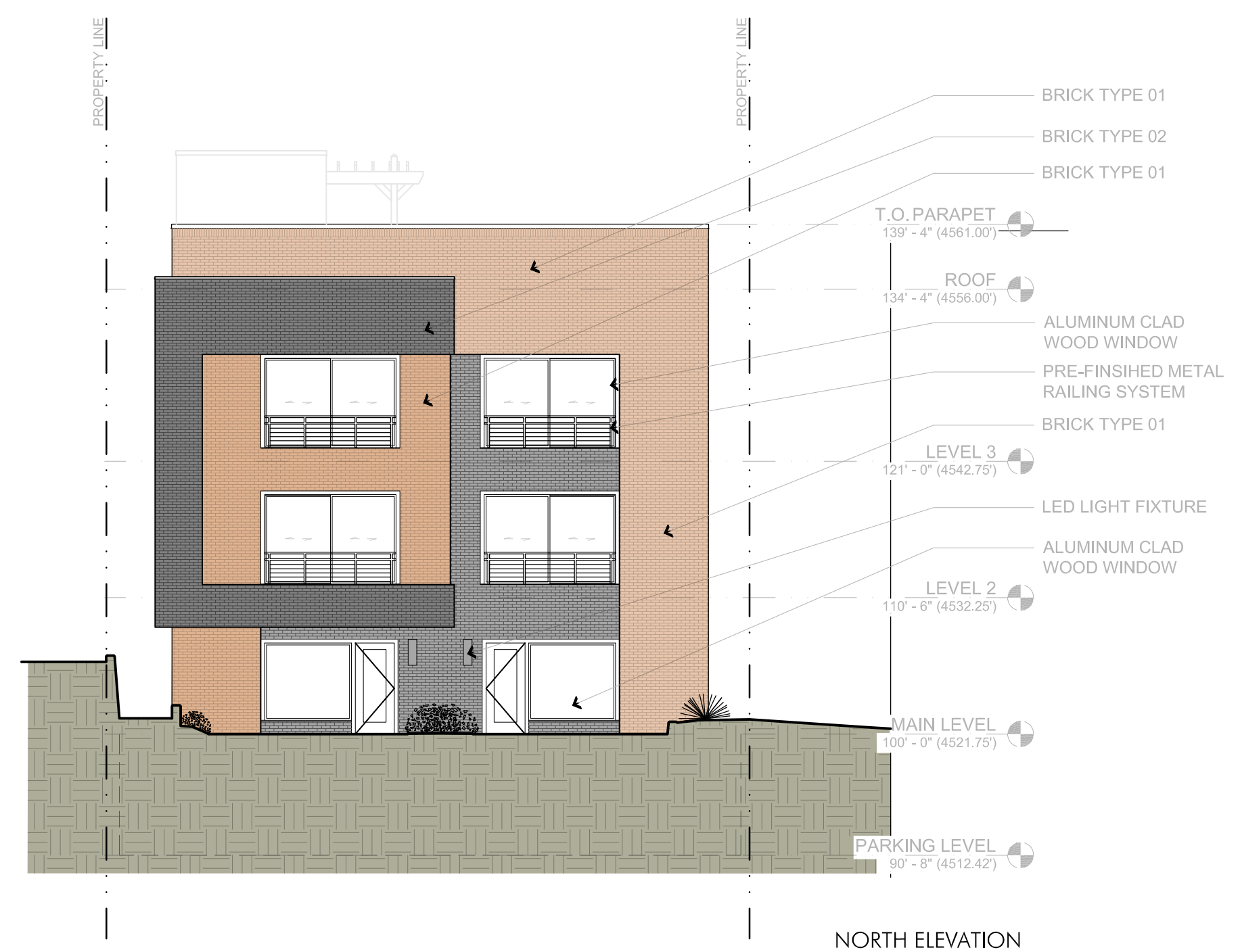
ATTACHMENT I: BUILDING ELEVATIONS & SECTIONS



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

ELEVATIONS

SCALE: 1:10



REVISION	DATE	DESCRIPTION

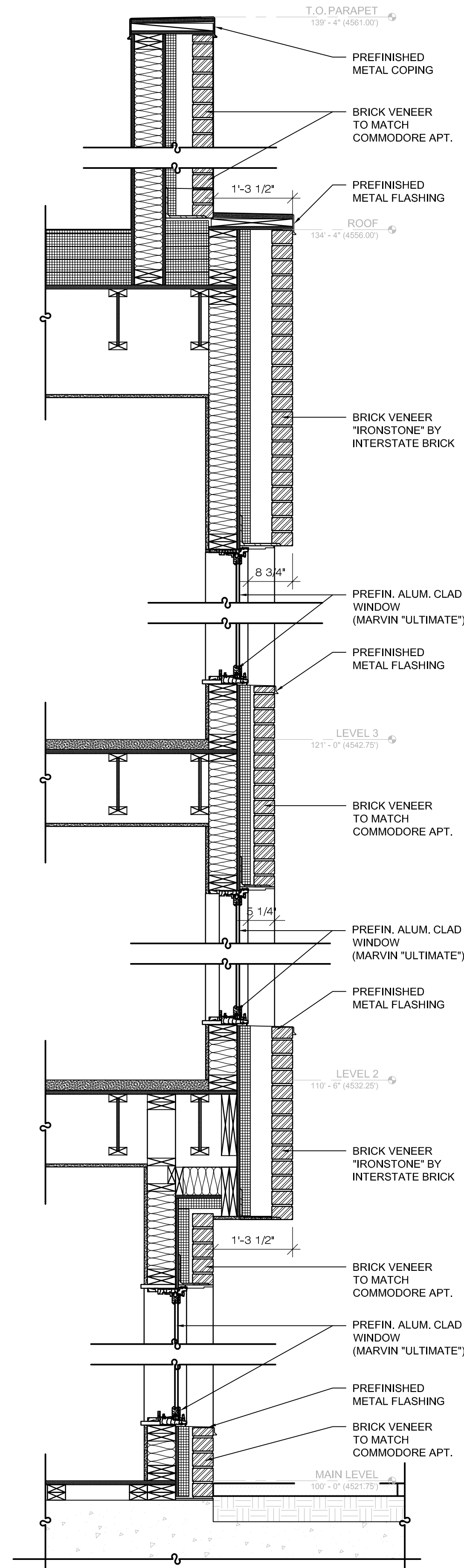
STAMP

THESE DOCUMENTS HAVE BEEN PROVIDED FOR THE PURPOSE OF THE PROJECT. SH ARCHITECTURE AS THE ARCHITECT ASSUMES NO LIABILITY FOR ANY USE OF THESE DOCUMENTS OR FOR ANY INFORMATION CONTAINED HEREIN. ANY REPRODUCTION OR TRANSMISSION OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE IS STRICTLY PROHIBITED. © 2016 SH ARCHITECTURE

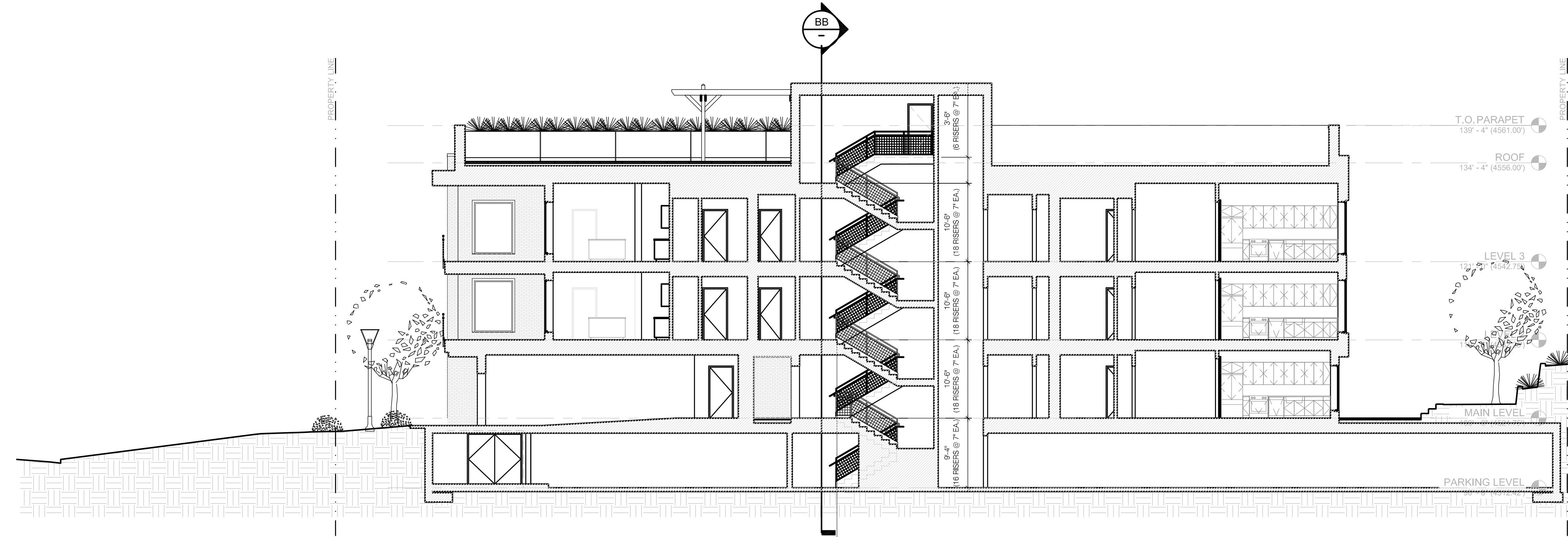
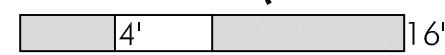
CLIENT / PROJECT
1117 E. SOUTH TEMPLE MULTIFAMILY
 1117 E SOUTH TEMPLE
 SALT LAKE CITY, UTAH

SHEET TITLE
BUILDING ELEVATIONS

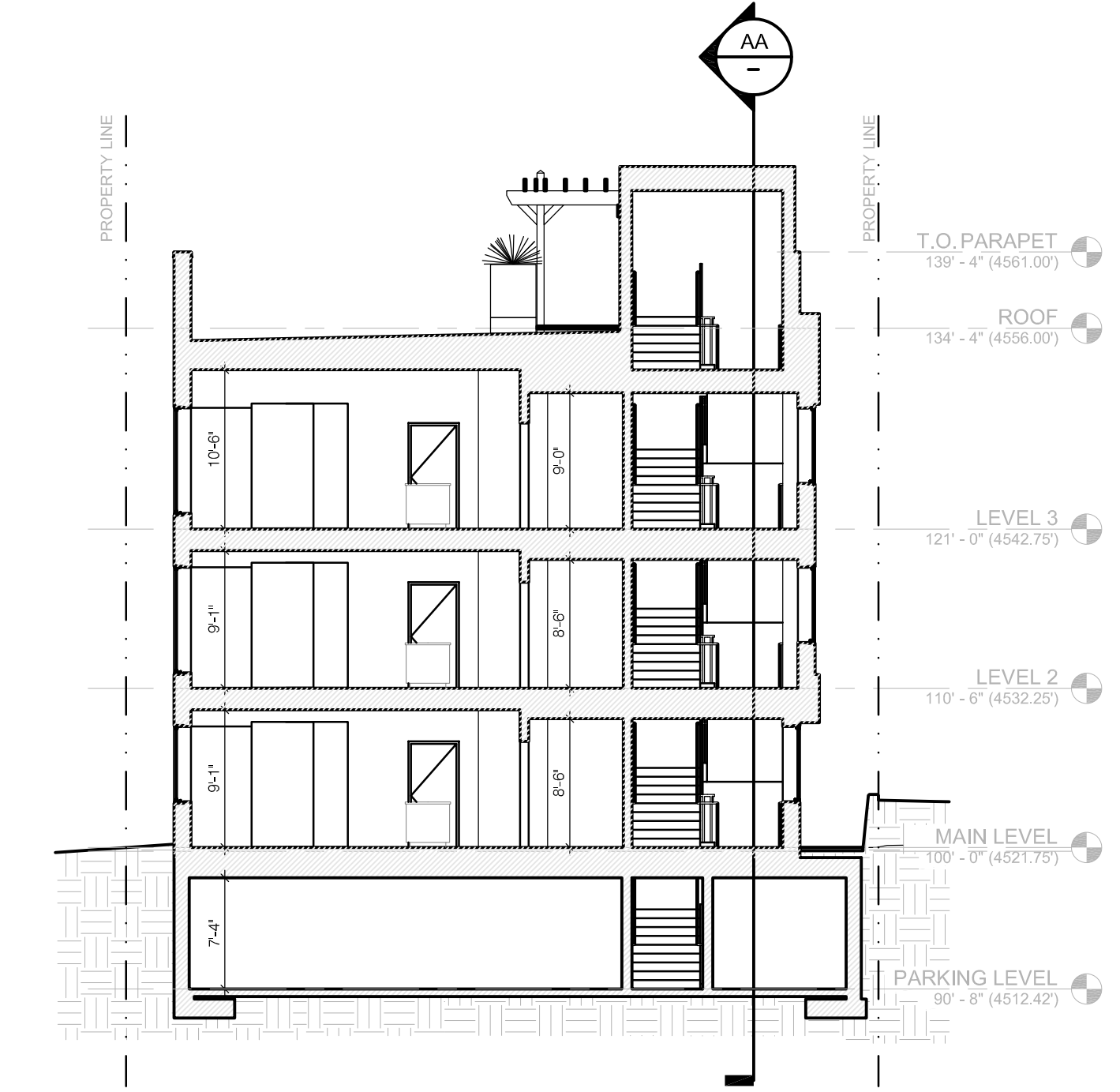
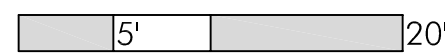
ISSUE DATE: 12/07/2017
 JOB NO.: 160190
 ISSUE TYPE: LANDMARKS COMM.



WALL SECTION (TYP.)
SCALE: 3/4" = 1'-0"



SECTION - AA
SCALE: 1:10



SECTION - BB
SCALE: 1:10



THESE DOCUMENTS HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE. REPRODUCTION OF THESE DOCUMENTS IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE IS STRICTLY PROHIBITED EXCEPT BY ORDER OF SH ARCHITECTURE. COPYRIGHT 2016 SH ARCHITECTURE

REVISION	DATE	DESCRIPTION

CLIENT / PROJECT
**1117 E. SOUTH TEMPLE
MULTIFAMILY**
1117 E SOUTH TEMPLE
SALT LAKE CITY, UTAH

SHEET TITLE
**BUILDING SECTIONS
& WALL SECTION**

ISSUE TYPE: LANDMARKS COMM.
ISSUE DATE: 12/07/2017
JOB NO.: 160190

ATTACHMENT J: BUILDING MATERIALS

MONTAGE PLUS



ORNAMENTAL STEEL FENCE

Montage Plus ornamental steel fence has the versatility to fit many different project applications. With its ability to traverse varying grades, variety of distinct product styles and unmatched coating performance, Montage Plus is the preferred choice for ornamental fence.

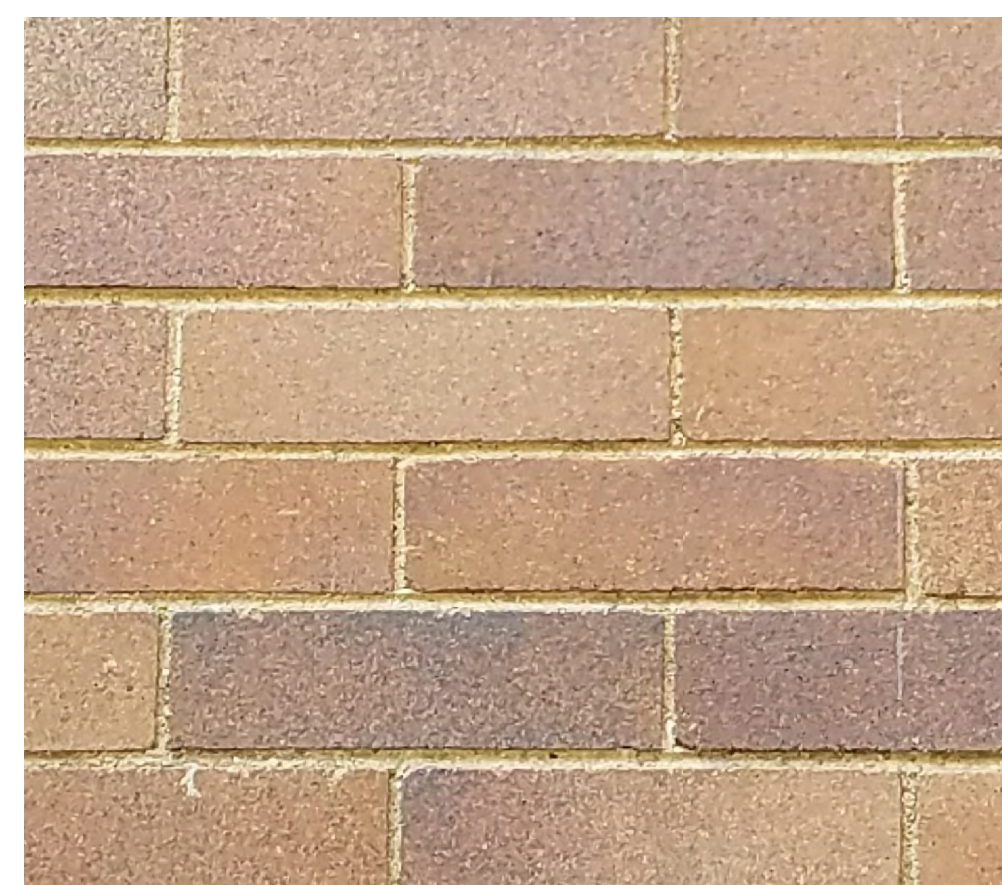
PRIMARY APPLICATIONS

- Commercial Developments
- Self Storage
- Apartments (Multi-Family)
- Parks & Recreation
- Schools & Universities

FENCE PRODUCTS
AMERISTARFENCE.COM | 888-333-3422
ASSA ABLOY, the global leader in door opening solutions

AMERISTAR
ASSA ABLOY

FENCING
(AMERISTAR MONTAGE PLUS "MAJESTIC" - 6'-0")



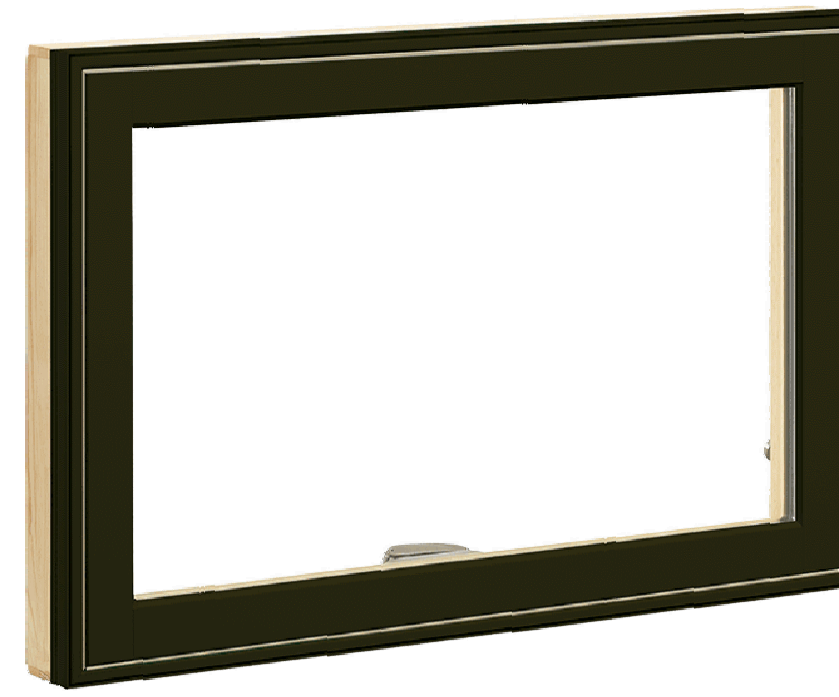
BRICK #01
(TO MATCH COMMODORE APARTMENTS)



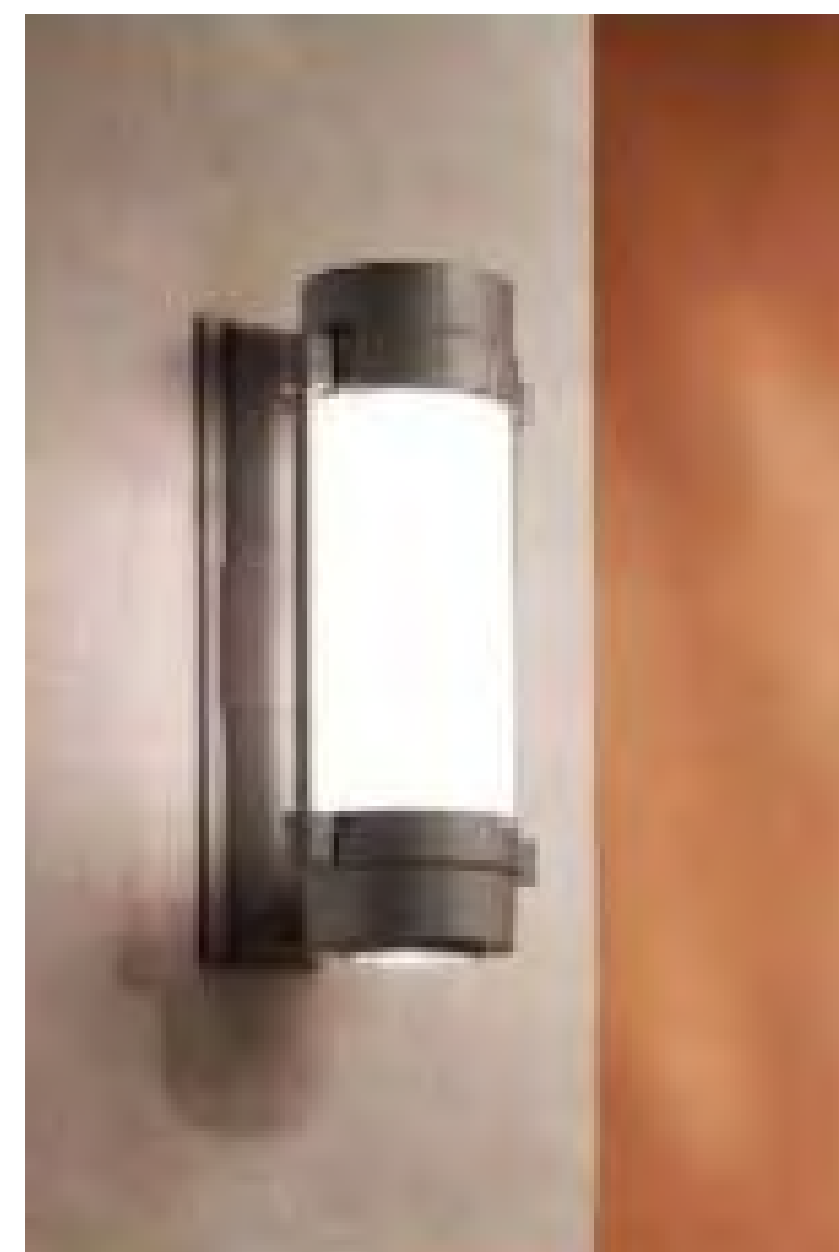
BRICK #02
(INTERSTATE BRICK "IRONSTONE")

1
1
1
7

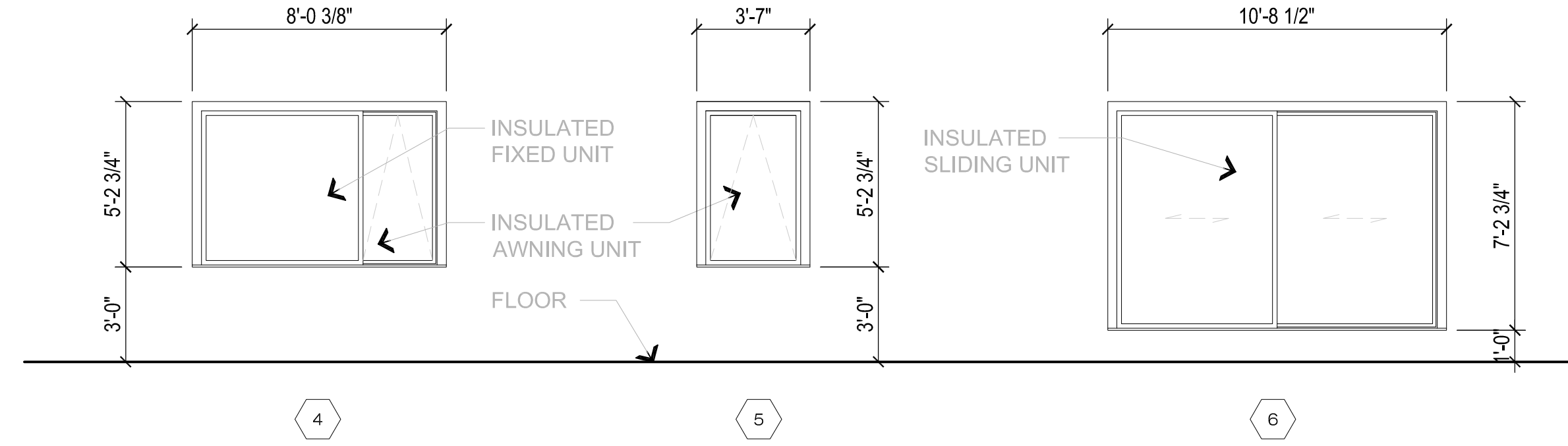
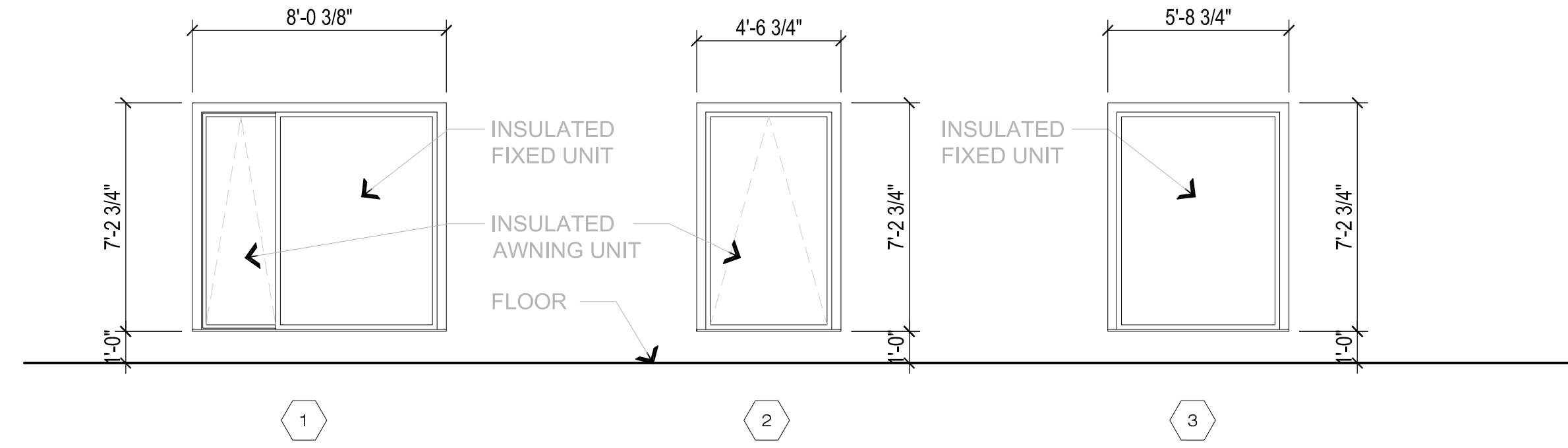
BUILDING NUMBERS
(STAINLESS STEEL - "CONSTANTIA" TEXT STYLE)



WINDOWS
(MARVIN "ULTIMATE" WINDOWS)



ENTRY WALL SCONCE
(AAL VENERE SERIES WALL SCONCE)



POLE MOUNTED LIGHT
(AAL CUBIC INDIRECT POLE LIGHT)



RECESSED CAN LIGHT
(LITHONIA "WAFFER" LED RECESSED DOWNLIGHT)

STAMP

THESE DOCUMENTS HAVE BEEN PRODUCED FOR THE PROJECT OF THE ARCHITECTURE AS THE PROPERTY OF SH ARCHITECTURE. ANY REUSE OF THESE DOCUMENTS OR USE OF ANY INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE IS STRICTLY PROHIBITED. © 2016 SH ARCHITECTURE

REVISION	DATE	DESCRIPTION

CLIENT / PROJECT
**1117 E. SOUTH TEMPLE
MULTIFAMILY**
1117 E SOUTH TEMPLE
SALT LAKE CITY, UTAH

SHEET TITLE
**SIGNAGE, WINDOW
TYPES, MATERIALS &
LIGHT FIXTURES**

ISSUE DATE: 12/07/2017
LANDMARKS COMM.
JOB NO.: 160190

ATTACHMENT K: BUILDING RENDERINGS



RENDERING #01 - from southeast across N. Temple

STAMP

THESE DOCUMENTS HAVE BEEN PRODUCED FOR THE ARCHITECT'S CLIENT AND ARE THE PROPERTY OF SH ARCHITECTURE. ANY REUSE OR REPRODUCTION OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE IS STRICTLY PROHIBITED. ANY USE OF THESE DOCUMENTS OR USE OF THE INFORMATION CONTAINED HEREIN IN ANY MANNER NOT DESCRIBED HEREIN BY WHOMEVER OR PART OF SH ARCHITECTURE IS STRICTLY PROHIBITED. ANY SUCH VIOLATION WILL BE CONSIDERED A BREACH OF CONTRACT AND SUBJECT TO LEGAL ACTION. COPYRIGHT 2016 SH ARCHITECTURE

DESCRIPTION

REVISION DATE

CLIENT / PROJECT
**1117 E. SOUTH TEMPLE
 MULTIFAMILY**
 1117 E SOUTH TEMPLE
 SALT LAKE CITY, UTAH

SHEET TITLE
RENDERING #01

SHEET NO

ISSUE TYPE: LANDMARKS COMM.
 ISSUE DATE: 12/07/2017
 JOB NO.: 160190



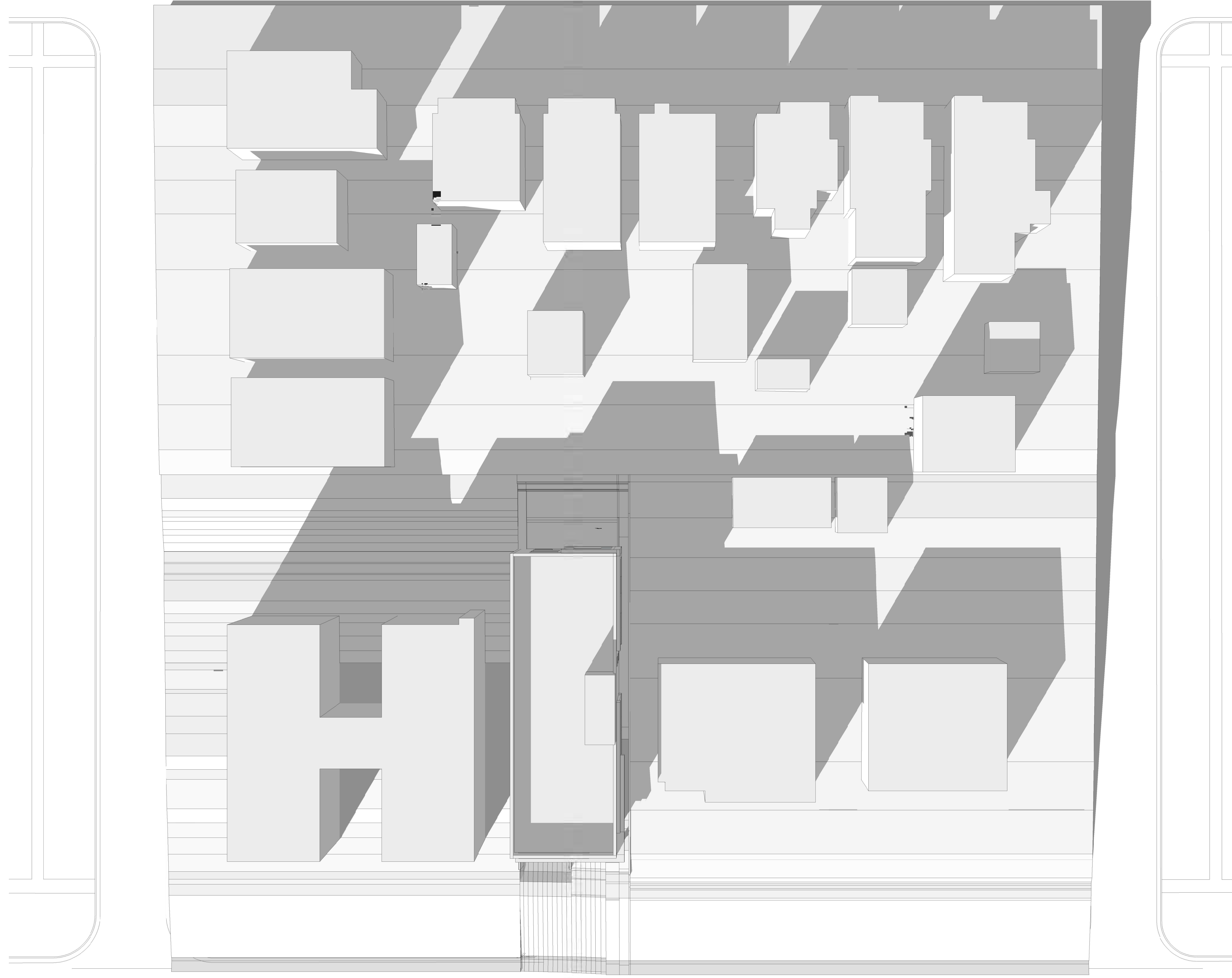
RENDERING #02 - from east along N. Temple

THESE DOCUMENTS HAVE BEEN PRODUCED FOR THE ARCHITECTURE FIRM SH ARCHITECTURE, INC. AND ARE THE PROPERTY OF SH ARCHITECTURE, INC. ANY USE OF THESE DOCUMENTS OR USE OF ANY INFORMATION CONTAINED HEREIN FOR THE PURPOSES OF THE PROJECT, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE, INC. IS STRICTLY PROHIBITED. © 2016 SH ARCHITECTURE, INC. ALL RIGHTS RESERVED.

ATTACHMENT L: MASSING & SHADOW STUDIES

MASSING/SHADOW STUDY #01

(December 21 @ 2:00 pm)



SHEET NO

14

SHEET TITLE
**MASSING/SHADOW
 STUDY**

ISSUE TYPE:
 LANDMARKS COMM.

ISSUE DATE:
 12/07/2017

JOB NO.:
 160190

CLIENT / PROJECT

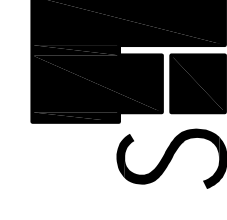
**1117 E. SOUTH TEMPLE
 MULTIFAMILY**

1117 E SOUTH TEMPLE
 SALT LAKE CITY, UTAH

REVISION DATE DESCRIPTION

STAMP

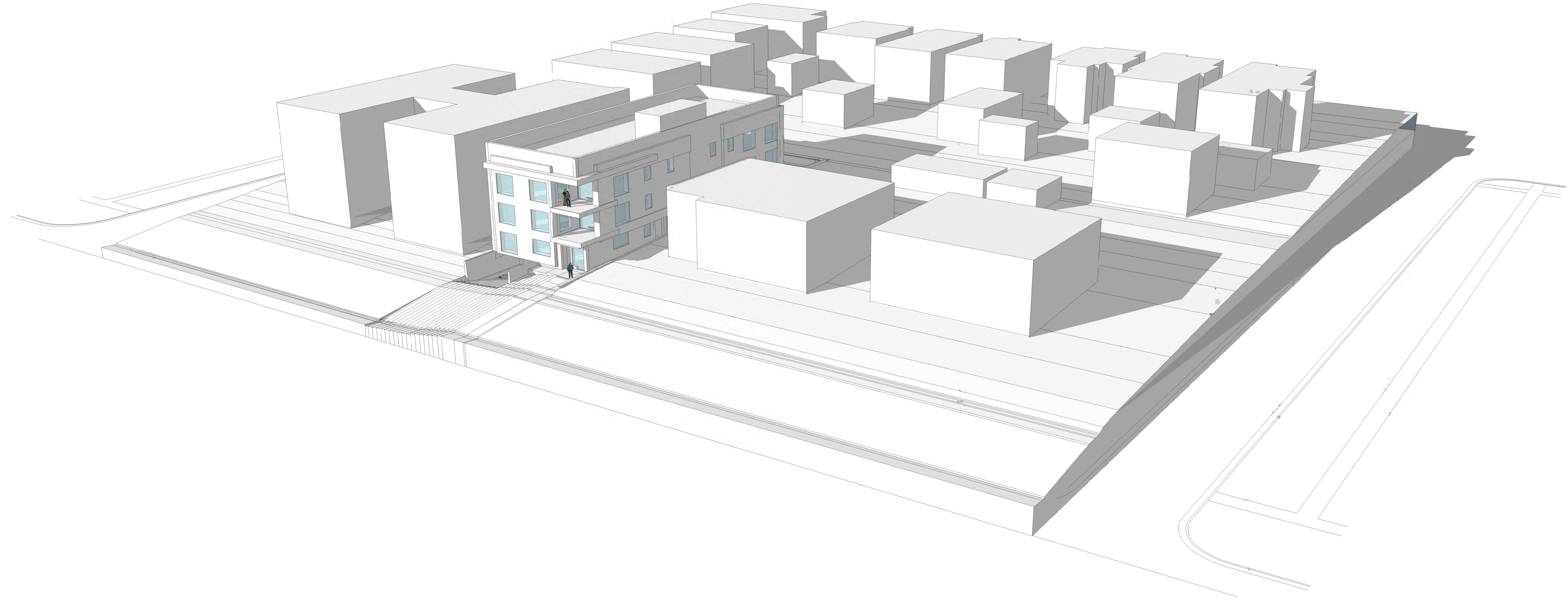
THESE DOCUMENTS HAVE BEEN PROVIDED FOR THE PURPOSE OF INFORMATION ONLY. THEY ARE NOT TO BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE. ANY REVISIONS TO THESE DOCUMENTS SHALL BE MADE BY SH ARCHITECTURE. ANY UNAUTHORIZED REVISIONS SHALL BE THE SOLE RESPONSIBILITY OF THE USER. THESE DOCUMENTS ARE THE PROPERTY OF SH ARCHITECTURE AND SHALL BE KEPT IN CONFIDENCE. ANY UNAUTHORIZED DISCLOSURE OR REPRODUCTION OF THESE DOCUMENTS IS STRICTLY PROHIBITED. CONTACT: SH ARCHITECTURE, 868 S. McLELLAND ST., SUITE 200, SALT LAKE CITY, UT 84102. PHONE: 801.883.9328. WWW.SH-ARCHITECTURE.COM. COPYRIGHT 2016 SH ARCHITECTURE



SH ARCHITECTURE
 868 S. McClelland St. Suite 200
 Salt Lake City Utah 84102
 office 801.883.9328
 www.sh-architecture.com

MASSING/SHADOW STUDY #02

(December 21 @ 2:00 pm)



SHEET NO

15

SHEET TITLE

MASSING/SHADOW STUDY

CLIENT / PROJECT

1117 E. SOUTH TEMPLE
MULTIFAMILY
1117 E SOUTH TEMPLE
SALT LAKE CITY, UTAH

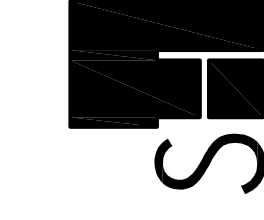
REVISION

DATE

DESCRIPTION

STAMP

THESE DOCUMENTS HAVE BEEN PROVIDED FOR THE EXCLUSIVE USE OF THE CLIENT AND ARE NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE. ANY USE OF THESE DOCUMENTS OR THE INFORMATION CONTAINED HEREIN FOR ANY OTHER PROJECT OR PURPOSE IS STRICTLY PROHIBITED. THE CLIENT AGREES TO HOLD SH ARCHITECTURE HARMLESS FROM AND TO INDEMNIFY SH ARCHITECTURE AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE CLIENT'S USE OF THESE DOCUMENTS. COPYRIGHT 2016 SH ARCHITECTURE



ARCHITECTURE
868 S. McClelland St. Suite 2
Salt Lake City Utah 84102
office 801.883.9328
www.sh-architecture.com

MASSING/SHADOW STUDY #03

(December 21 @ 2:00 pm)



SHEET NO

16

SHEET TITLE

MASSING/SHADOW STUDY

CLIENT / PROJECT

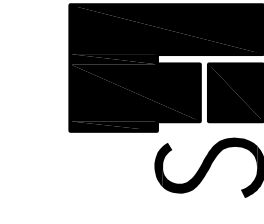
1117 E. SOUTH TEMPLE
MULTIFAMILY
1117 E SOUTH TEMPLE
SALT LAKE CITY, UTAH

REVISION

DATE

DESCRIPTION

THESE DOCUMENTS HAVE BEEN PRODUCED FOR THE EXCLUSIVE USE OF THE CLIENT AND ARE NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE. ANY USE OF THESE DOCUMENTS OR THE INFORMATION CONTAINED THEREIN FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE DOCUMENTS. COPYRIGHT 2016 SH ARCHITECTURE



SH ARCHITECTURE
868 S. McClelland St. Suite 2
Salt Lake City Utah 84102
office 801.883.9328
www.sh-architecture.com



MASSING/SHADOW STUDY #04
 (December 21 @ 2:00 pm)

SHEET NO

17

SHEET TITLE

**MASSING/SHADOW
 STUDY**

ISSUE TYPE:
 LANDMARKS COMM.

ISSUE DATE:
 12/07/2017

JOB NO.:

160190

CLIENT / PROJECT

**1117 E. SOUTH TEMPLE
 MULTIFAMILY**
 1117 E SOUTH TEMPLE
 SALT LAKE CITY, UTAH

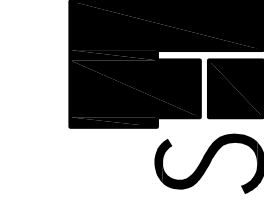
DESCRIPTION

REVISION

DATE

STAMP

THESE DOCUMENTS HAVE BEEN PRODUCED FOR THE EXCLUSIVE USE OF THE CLIENT AND ARE NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE. ANY USE OF THESE DOCUMENTS OR USE OF THE INFORMATION CONTAINED HEREIN FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE IS STRICTLY PROHIBITED. CONTACT: SH ARCHITECTURE, 868 S. MCCLELLAND ST., SUITE 200, SALT LAKE CITY, UT 84102. TEL: 801.883.9328. WWW.SH-ARCHITECTURE.COM. COPYRIGHT 2016 SH ARCHITECTURE.



SH ARCHITECTURE
 868 S. McClelland St. Suite 200
 Salt Lake City, Utah 84102
 office 801.883.9328
 www.sh-architecture.com

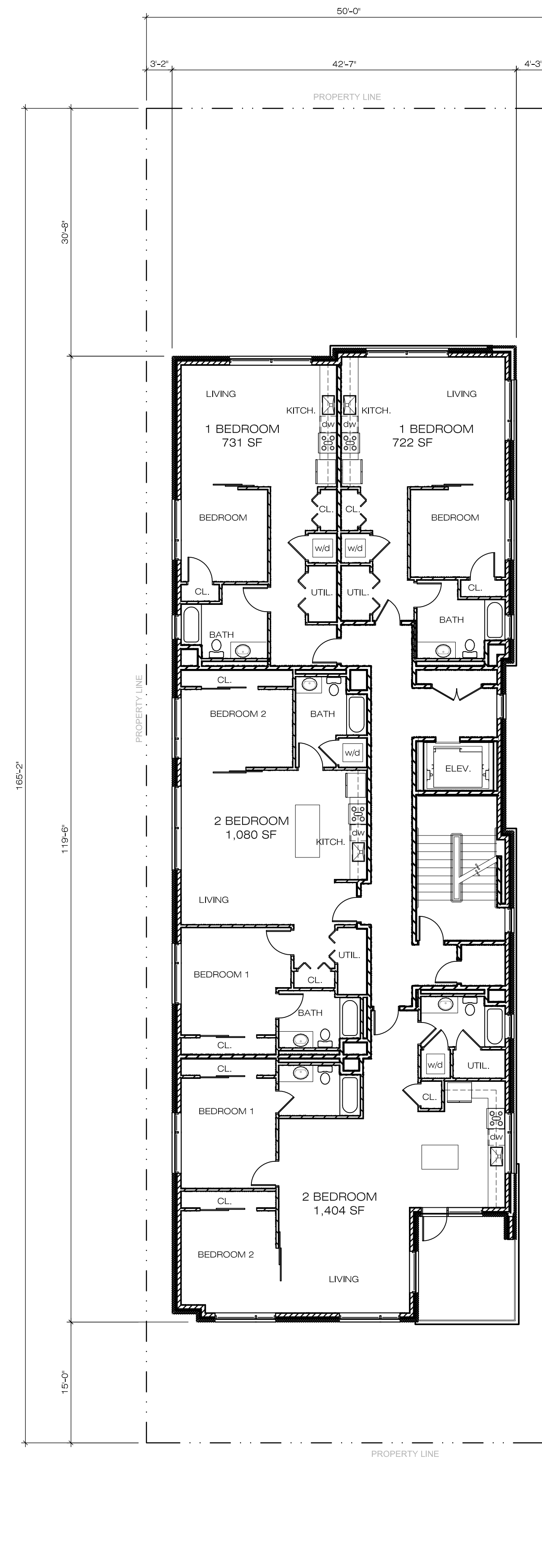
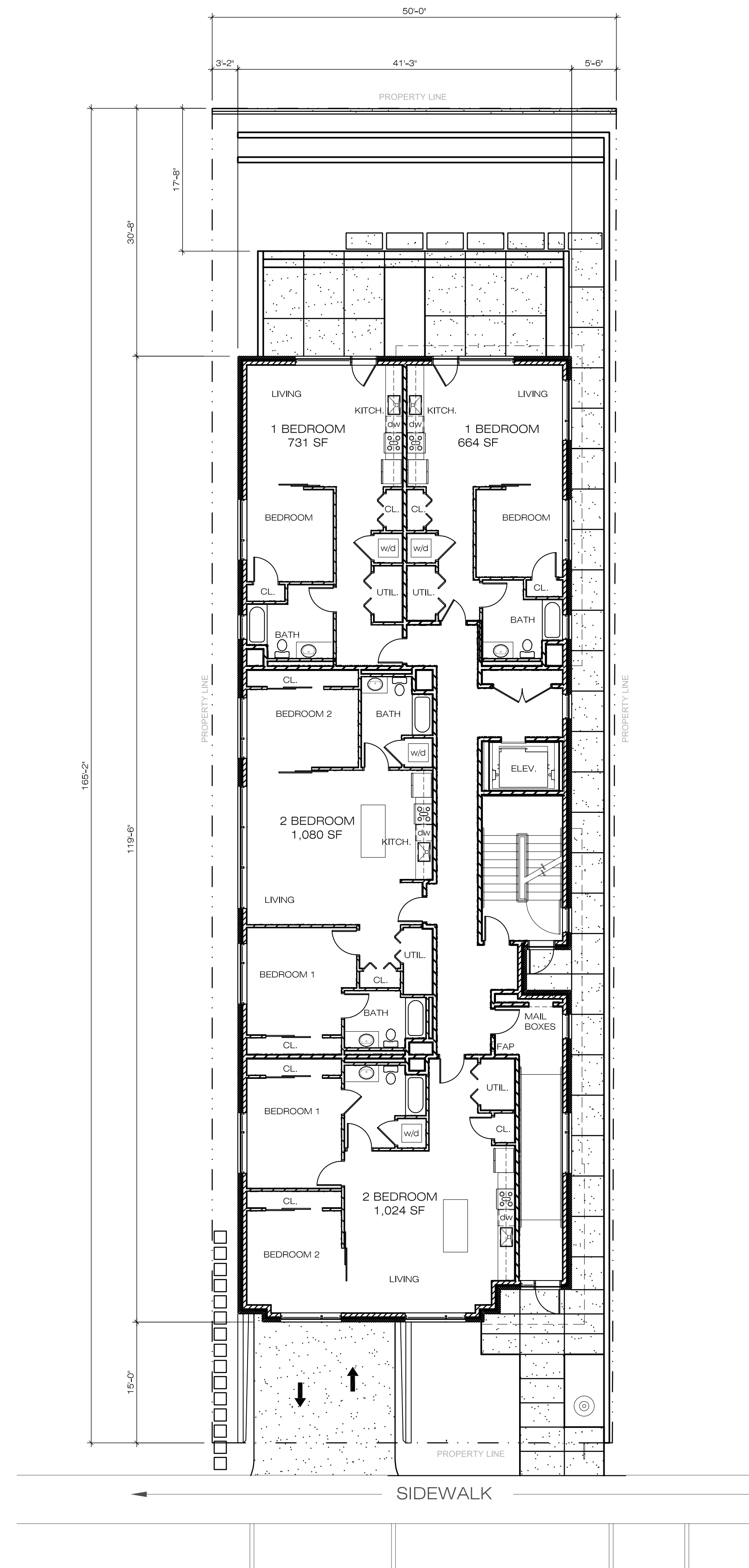
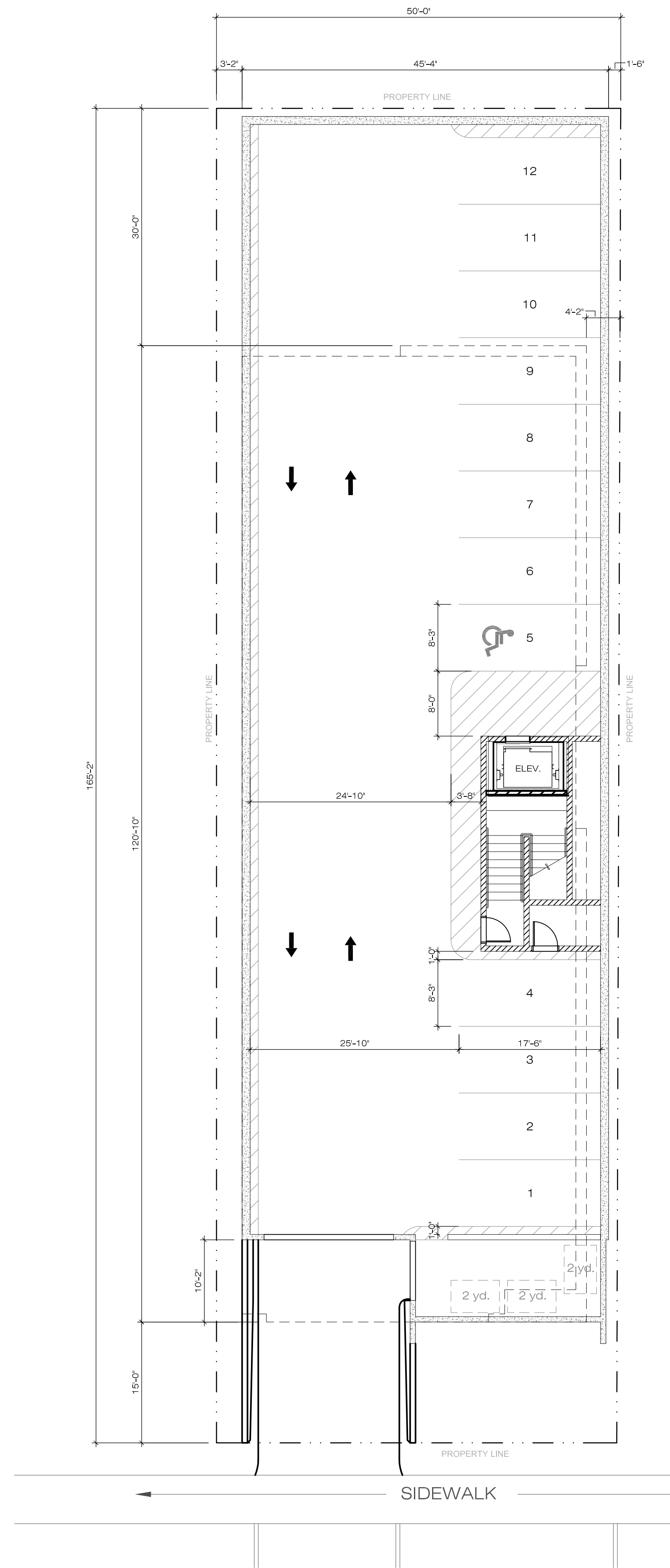
ATTACHMENT M: FLOOR PLANS

FLOOR PLANS

SCALE: 1"=10'-0"



PARKING PLAN



SHEET NO

FLOOR PLANS

08

CLIENT / PROJECT

1117 E. SOUTH TEMPLE
MULTIFAMILY
1117 E SOUTH TEMPLE
SALT LAKE CITY, UTAH

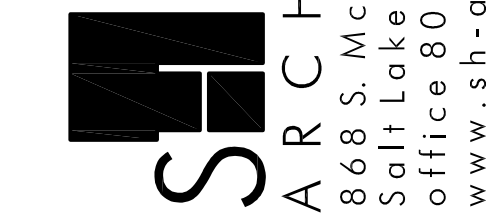
REVISION

DATE

DESCRIPTION

STAMP

THESE DOCUMENTS HAVE BEEN PROVIDED FOR THE EXCLUSIVE USE OF THE CLIENT AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF SH ARCHITECTURE. ANY USE OF THESE DOCUMENTS OR THE INFORMATION CONTAINED HEREIN FOR ANY OTHER PROJECT OR PURPOSE IS STRICTLY PROHIBITED. CONTACT: SH ARCHITECTURE, 868 S. McCLALLAND ST., SUITE 200, SALT LAKE CITY, UT 84102. TEL: 801.883.9328. WWW.SH-ARCHITECTURE.COM



SH ARCHITECTURE
868 S. McCLALLAND St. Suite 200
Salt Lake City Utah 84102
office 801.883.9328
www.sh-architecture.com

JOB NO.:

160190

ISSUE DATE:

12/07/2017

ISSUE TYPE:

LANDMARKS COMM.

ATTACHMENT N: ANALYSIS OF STANDARDS

21A.52.060 General Standards and Considerations for Special Exceptions:

No application for a special exception shall be approved unless the planning commission, historic landmark commission, or the planning director determines that the proposed special exception is appropriate in the location proposed based upon its consideration of the general standards set forth below and, where applicable, the specific conditions for certain special exceptions.

Standards	Finding	Rational
Compliance with Zoning Ordinance and District Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.	COMPLIANT	The proposed use is permitted within the R-MU-35 District and is in harmony with the general and specific purposes of the zoning title and applicable district regulations.
No Substantial Impairment of Property Value: The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.	COMPLIANT	Whereas the proposed use and development is similar to existing uses within the neighborhood, staff finds the proposed use and development will not substantially diminish or impair the value of adjacent properties.
No Undue Adverse Impact: The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.	COMPLIANT	Whereas the proposed use and development is similar to existing uses within the neighborhood, staff finds the proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.
Compatible with Surrounding Development: The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.	COMPLIANT	Based upon the applicable standards of review, including the <i>Design Guidelines for Historic Apartment & Multifamily Buildings in Salt Lake City</i> , staff recommends the proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.
No Destruction of Significant Features: The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.	COMPLIANT	Whereas the subject property is vacant, the proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.
No Material Pollution of Environment: The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.	COMPLIANT	The development will comply with city enforced environmental standards. Furthermore, the proposed use, which is permitted within the R-MU-35 District, will not cause material air, water, soil or noise pollution or other types of pollution.
Compliance with Standards: The proposed use and development complies with all additional standards imposed on it pursuant to this chapter. 12. Grade changes and retaining walls are subject to the regulations and standards of chapter 21A.36 of this title. 20. Underground building encroachments into the front, side, rear and corner side yard setbacks provided the addition is totally underground and there is no visual evidence that such an encroachment exists.	COMPLIANT	The proposed use and development, which includes a special exception request for grade changes greater than four feet and an underground building encroachment, comply with the additional standards imposed by Chapter 21A.52 Special Exceptions.

21A.24.164.C-G: Summary of Zoning Regulations for R-MU-35 Residential/Mixed Use District

Regulation	Standard	Finding	Rational
Minimum Lot Area (in feet-square)	No minimum for existing lots	COMPLIANT	Lot contains 8,256 square feet
Minimum Lot Width (in feet)	Multi-family: 50'-0"	COMPLIANT	Lot width is 50'-0" (as per legal description). Compliance will be verified during final plan review.
Max Building Height	35'-0" for residential	COMPLIANT	Maximum building height is 35'-0", however parapet walls and mechanical equipment may exceed height limit. Compliance will be verified during final plan review.
Minimum Front Yard Requirement	Multi-family & mixed use: 5'-0"	COMPLIANT	Front yard setback is 15'-0". Compliance will be verified during final plan review.
Maximum Front Yard Requirement	Multi-family & mixed use: 15'-0"	COMPLIANT	Front yard setback is 15'-0". Compliance will be verified during final plan review.
Minimum Interior Side Yard Requirement	Multi-family: None required unless it abuts a single or two-family residential district. If it is required, 10'-0" minimum plus another foot per foot increase in height above 25'-0". (Side yard does not abut a single or two-family residential district.)	COMPLIANT	3'-2" for west side yard, and 5'-1" for east side yard. Compliance will be verified during final plan review.
Minimum Open Space	For residential uses not less than 20% lot area shall be open space (20% of 8,256 square feet = 1,652 square feet)	COMPLIANT	2,330 square feet, which is approximately 28% of lot area. Compliance will be verified during final plan review.
Landscape Buffers	Where a lot abuts a lot in a single-family or two-family residential district, a 10'-0" wide landscape buffer shall be provided in accordance with chapter 21A.48 of the Zoning title.	COMPLIANT	10'-0" landscape buffer along rear property line which abuts SR-1A District. Compliance will be verified during final plan review.

21A.34.020.H Standards for Certificate of Appropriateness Involving New Construction or Alteration of a Noncontributing Structure:

In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the historic landmark commission, or planning director, when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually compatible with surrounding structures and streetscape and is in the best interest of the city:

Standard	Finding	Rationale
<p>Standard 1: Scale and Form:</p> <p>a) Height and Width: The proposed height and width shall be visually compatible with surrounding structures and streetscape;</p> <p>b) Proportion of Principal Facades: The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape; and,</p> <p>c) Roof Shape: The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and</p> <p>d) Scale of a Structure: The size and mass of the structure shall be visually compatible with the size and mass of surrounding structures and streetscape</p>	<p>COMPLIANT</p>	<p>As demonstrated in Attachment E – Site Plan, Attachment K – Building Renderings, and Attachment L – Massing & Shadow Studies, the proposed development is visually compatible with the height and width of abutting structures on South Temple Street. The proposed flat roof, is also compatible with surrounding structures on the block face. The appropriate scale and mass is further reinforced through the use of quality building materials and the proposed solid to void ratio.</p>
<p>Standard 2: Composition of Principal Facades:</p> <p>a) Proportion of Openings: The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;</p> <p>b) Rhythm of Solids to Voids In Facades: The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;</p> <p>c) Rhythm of Entrance Porch and Other Projections: The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and</p> <p>d) Relationship of Materials: The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.</p>	<p>COMPLIANT (with conditions)</p>	<p>While the applicant claims the proportion of openings, and the rhythm of solids to voids, on the proposed facade will be visually compatible with surrounding structures and the streetscape, staff questions this element of the proposal (see response to Issue 3 on page 7) and recommends that this be addressed as a condition of approval. However, staff finds the rhythm of the entrance porch and other projections, and the relationship of facade materials, will be visually compatible with surrounding structures.</p>

<p>Standard 3: Relationship to Street:</p> <p>a) Walls of Continuity: Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;</p> <p>b) Rhythm of Spacing and Structures on Streets: The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;</p> <p>c) Directional Expression of Principal Elevation: A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and</p> <p>d) Streetscape; Pedestrian Improvements: Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.</p>	<p>COMPLIANT</p>	<p>The proposed structure will be sited on the subject property in a manner that is similar to other multifamily developments on the block face and will contribute to the established “wall of continuity” on the street.</p>
<p>Standard 4: Subdivision of Lots:</p> <p>The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).</p>	<p>COMPLIANT</p>	<p>No subdivision of the subject property is required to facilitate the proposed development.</p>

Design Guidelines for New Construction. The following guidelines are from Chapter 12, which is entitled **“New Construction in Historic Districts,”** in the *Design Guidelines for Historic Apartment & Multifamily Buildings in Salt Lake City*:

Standards for Certificate of Appropriateness	Design Guidelines for New Construction
<p>1. Scale & Form</p> <p>1.a Height & Width: The proposed height and width shall be visually compatible with surrounding structures and streetscape;</p>	<p>Building Façade Composition, Proportion & Scale: Height - Design Objective</p> <p>The maximum height of a new multifamily building should not exceed the general height and scale of its historic context, or be designed to reduce the perceived height where a taller building might be appropriate to the context.</p> <p>12.48 The building height should be compatible with the historic setting and context.</p>

	<ul style="list-style-type: none"> • The immediate and wider historic contexts are both of importance. • The impact upon adjacent historic buildings will be paramount in terms of scale and form. <p>12.50 Where there is a significant difference in scale with the immediate context, the building height should vary across the primary façade, and/or the maximum height should be limited to part of the plan footprint of the building.</p> <ul style="list-style-type: none"> • Step back the upper floor/s of a taller building to achieve a height similar to that historically characteristic of the district. • Restrict maximum building height to particular sections of the depth and length of the building. <p>12.51 The upper floor/s should step back where a taller building will approach established neighborhoods, streets or adjacent buildings of typically lower height.</p> <p>12.52 The primary and secondary facades should be articulated and modulated to reduce an impression of greater height and scale, and to enhance a sense of human scale.</p> <ul style="list-style-type: none"> • Design a distinctive and a taller first floor for the primary and secondary facades. • Design a distinct top floor to help terminate the façade, and to complement the architectural hierarchy and visual interest. • Design a hierarchy of window height and/or width, when defining the fenestration pattern. • Consider designing for a distinctive projecting balcony arrangement and hierarchy. • Use materials and color creatively to reduce apparent height and scale, and maximize visual interest. <p>Width - Design Objective</p> <p>The design of a new multifamily building should articulate the patterns established by the buildings in the historic context to reduce the perceived width of a wider building and maintain a sense of human scale.</p> <p>12.53 A new multifamily building should appear similar to the width established by the combination of single and multifamily historic buildings in the context.</p> <ul style="list-style-type: none"> • Reflect the modulation width of larger historic apartment buildings. • If a building would be wider overall than structures seen historically, the facade should be subdivided into significantly subordinate planes which are similar in width to the building facades of the context. • Step back sections of the wall plane to create the impression of similar façade widths to those of the historic setting.
<p>1.b Proportion of Principal Facades: The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape;</p>	<p>Building Form & Scale</p> <p>The Character of the Street Block – Design Objective</p> <p>The form, scale and design of a new multifamily building in a historic district should equate with and complement</p>

	<p>the established patterns of human scale characteristics of the immediate setting and/or broader context.</p> <p>12.42 A new multifamily building should appear similar in scale to the scale established by the buildings comprising the current street block facade.</p> <ul style="list-style-type: none"> • Subdivide a larger mass into smaller “modules” which are similar in size to buildings seen traditionally. • The scale of principal elements, such as entrances, porches, balconies and window bays, are critical to creating and maintaining a compatible building scale. <p>12.43 A new multifamily building should be designed to create and reinforce a sense of human scale. In doing so consider the following:</p> <ul style="list-style-type: none"> • Design building massing and modulation to reflect traditional forms, e.g. projecting wings and balcony bays. • Design a solid-to-void (wall to window/door) ratio that is similar to that seen traditionally. • Design window openings that are similar in scale to those seen traditionally. • Articulate and design balconies that reflect traditional form and scale. • Design an entrance, porch or stoop that reflects the scale characteristic of similar traditional building types. • Use building materials of traditional dimensions, e.g. brick, stone, terracotta. • Choose materials that express a variation in color and/or texture, either individually or communally. <p>Building Façade Composition Proportion & Scale</p> <p>12.45 The principal elements of the front facade should reflect the scale of the buildings comprising the block face and historic context.</p> <ul style="list-style-type: none"> • The primary plane/s of the front facade should not appear to be more than a story higher than those of typical historic structures in the block and context. • Where the proposed building would be taller than those in the historic context, the upper floor/s should step back from the plane of the façade below. • A single wall plane or bay of the primary or secondary facades should reflect the typical maximum facade width in the district.
<p>1.c Roof Shape: The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape;</p>	<p>Building Form & Scale Massing</p> <p>12.54 The overall massing of a new multi-family building should respect and reflect the established scale, form and footprint of buildings comprising the street block and historic context.</p> <ul style="list-style-type: none"> • Modulate the building where height and scale are greater than the context. • Arrange the massing to step down adjacent to a smaller scale building. • Respect, and/or equate with the more modest scale of center block buildings and residences where they provide the immediate context.

	<p>12.55 The proportions and roof forms of a new multifamily building should be designed to respect and reflect the range of building forms and massing which characterize the district.</p> <ul style="list-style-type: none"> • Focus on maintaining a sense of human scale. • The variety often inherent in the context can provide a range of design options for compatible new roof forms. • Vary the massing across the street façade/s and along the length of the building on the side facades. • Respect adjacent lower buildings by stepping down additional height in the design of a new building.
--	--

<p>1.d Scale of a Structure: The size and mass of the structures shall be visually compatible with the size and mass of surrounding structures and streetscape.</p>	<p>Building Façade Composition Proportion & Scale</p> <p>Height - Design Objective</p> <p>The maximum height of a new multifamily building should not exceed the general height and scale of its historic context, or be designed to reduce the perceived height where a taller building might be appropriate to the context.</p> <p>12.48 The building height should be compatible with the historic setting and context.</p> <ul style="list-style-type: none"> • The immediate and wider historic contexts are both of importance. • The impact upon adjacent historic buildings will be paramount in terms of scale and form. <p>12.50 Where there is a significant difference in scale with the immediate context, the building height should vary across the primary façade, and/or the maximum height should be limited to part of the plan footprint of the building.</p> <ul style="list-style-type: none"> • Step back the upper floor/s of a taller building to achieve a height similar to that historically characteristic of the district. • Restrict maximum building height to particular sections of the depth and length of the building. <p>12.51 The upper floor/s should step back where a taller building will approach established neighborhoods, streets or adjacent buildings of typically lower height.</p> <p>12.52 The primary and secondary facades should be articulated and modulated to reduce an impression of greater height and scale, and to enhance a sense of human scale.</p> <ul style="list-style-type: none"> • Design a distinctive and a taller first floor for the primary and secondary facades. • Design a distinct top floor to help terminate the façade, and to complement the architectural hierarchy and visual interest. • Design a hierarchy of window height and/or width, when defining the fenestration pattern. • Consider designing for a distinctive projecting balcony arrangement and hierarchy. <p>Width - Design Objective</p> <p>The design of a new multifamily building should articulate the patterns established by the buildings in the</p>
---	---

	<p>historic context to reduce the perceived width of a wider building and maintain a sense of human scale.</p> <p>12.53 A new multifamily building should appear similar to the width established by the combination of single and multifamily historic buildings in the context.</p> <ul style="list-style-type: none"> • Reflect the modulation width of larger historic apartment buildings. • If a building would be wider overall than structures seen historically, the facade should be subdivided into significantly subordinate planes which are similar in width to the building facades of the context. • Step back sections of the wall plane to create the impression of similar façade widths to those of the historic setting. <p>Massing</p> <p>12.54 The overall massing of a new multi-family building should respect and reflect the established scale, form and footprint of buildings comprising the street block and historic context.</p> <ul style="list-style-type: none"> • Modulate the building where height and scale are greater than the context. • Arrange the massing to step down adjacent to a smaller scale building. • Respect, and/or equate with the more modest scale of center block buildings and residences where they provide the immediate context. <p>13.1 The traditional historic development pattern should be recognized and maintained in new development.</p> <ul style="list-style-type: none"> • The relationship between buildings, landscape features and open space should relate to existing front yard setbacks and spacing of side yard setbacks within the block. <p>13.6 The massing characteristics of the area should form the basis for the scale of new development.</p> <ul style="list-style-type: none"> • If a new building would be wider than the buildings along the block, consider dividing the building into parts that are similar in scale to buildings seen historically.
<p>2. COMPOSITION OF PRINCIPAL FACADES</p> <p>2.a Proportion of Openings: The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;</p>	<p>Building Character & Scale</p> <p>Solid to Void Ratio, Window Scale & Proportion – Design Objective</p> <p>The design of a new multifamily building in a historic context should reflect the scale established by the solid to void ratio traditionally associated with the setting and with a sense of human scale.</p> <p>12.61 Window scale and proportion should be designed to reflect those characteristic of this traditional building type and setting.</p> <p>Rhythm & Spacing of Windows & Doors - Fenestration – Design Objective</p> <p>The window pattern, the window proportion and the proportion of the wall spaces between, should be a central consideration in the architectural composition of the facades, to achieve a coherence and an affinity with the established historic context.</p>

	<p>12.62 Public and more important interior spaces should be planned and designed to face the street.</p> <ul style="list-style-type: none"> • Their fenestration pattern consequently becomes a significant design element of the primary facade/s. • Avoid the need to fenestrate small private functional spaces on primary facades, e.g. bathrooms, kitchens, bedrooms. <p>12.63 The fenestration pattern, including the proportions of window and door openings, should reflect the range associated with the buildings creating the established character of the historic context and area.</p> <ul style="list-style-type: none"> • Design for a similar scale of window and window spacing. • Reflect characteristic window proportions, spacing and patterns. • Design for a hierarchy within the fenestration pattern to relieve the apparent scale of a larger facade, and especially if this is a characteristic of the context. • Arrange and/or group windows to complement the symmetry or proportions of the architectural composition. • Emphasize the fenestration pattern by distinct windows reveals. • Consider providing emphasis through the detailing of window casing, trim, materials, and subdivision, using mullions and transoms, as well as the profiles provided by operable/ opening windows. See also guideline 12.71-74 on window detailing. <p>13.13 The design of a new building should include three basic building elements; a base, a middle and a top.</p> <p>13.16 Consider building designs that emphasize floor levels.</p>
<p>2.b Rhythm of Solids to Voids in Facades: The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;</p>	<p>Building Character & Scale Solid to Void Ratio, Window Scale & Proportion – Design Objective</p> <p>The design of a new multifamily building in a historic context should reflect the scale established by the solid to void ratio traditionally associated with the setting and with a sense of human scale.</p> <p>12.60 The ratio of solid to void (wall to window) should reflect that found across the established character created by the historic structures in the district. Consider the following:</p> <ul style="list-style-type: none"> • Achieve a balance, avoiding areas of too much wall or too much window. • Large surfaces of glass can be inappropriate in a context of smaller residential buildings. • Design a larger window area with framing profiles and subdivision which reflect the scale of the windows in the established context. • Window mullions can reduce the apparent scale of a larger window. • Window frame and mullion scale and profiles should be designed to equate with the composition. <p>12.61 Window scale and proportion should be designed to reflect those characteristic of this traditional building type and setting.</p>

	<p>Rhythm & Spacing of Windows & Doors - Fenestration – Design Objective</p> <p>The window pattern, the window proportion and the proportion of the wall spaces between, should be a central consideration in the architectural composition of the facades, to achieve a coherence and an affinity with the established historic context.</p> <p>12.63 The fenestration pattern, including the proportions of window and door openings, should reflect the range associated with the buildings creating the established character of the historic context and area.</p> <ul style="list-style-type: none"> • Design for a similar scale of window and window spacing. • Reflect characteristic window proportions, spacing and patterns. • Design for a hierarchy within the fenestration pattern to relieve the apparent scale of a larger facade, and especially if this is a characteristic of the context. • Arrange and/or group windows to complement the symmetry or proportions of the architectural composition. • Emphasize the fenestration pattern by distinct windows reveals. <p>Consider providing emphasis through the detailing of window casing, trim, materials, and subdivision, using mullions and transoms, as well as the profiles provided by operable/ opening windows. See also guideline 12.71-74 on window detailing.</p>
<p>2.c Rhythm of Entrance Porch and Other Projections: The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape;</p> <p>2.c Rhythm of Entrance Porch and Other Projections: The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape;</p>	<p>Building Character & Scale Façade Articulation, Proportion & Visual Emphasis</p> <p>Visual Emphasis – Design Objective</p> <p>The design of a new multifamily building should relate sensitively to the established historic context through a thorough evaluation of the scale, modulation and emphasis, and attention to these characteristics in the composition of the facades.</p> <p>12.57 Overall facade proportions should be designed to reflect those of historic buildings in the context and neighborhood.</p> <ul style="list-style-type: none"> • The “overall proportion” is the ratio of the width to the height of the building, especially the front facade. • The modulation and articulation of principal elements of a facade, e.g. projecting wings, balcony sequence and porches, can provide an alternative and a balancing visual emphasis. • With townhouse development, the individual houses should be articulated to identify the individual unit sequence and rhythm. • See the discussion of individual historic districts (PART III) and the review of typical historic building styles (PART I) for more information on district character and facade proportions. <p>12.58 To reduce the perceived width and scale of a larger primary or secondary façade, a vertical proportion and emphasis should be employed. Consider the following:</p>

- Vary the planes of the façade for all or part of the height of the building.
- Subdivide the primary façade into projecting wings with recessed central entrance section in character with the architectural composition of many early apartment buildings.
- Modulate the height down toward the street, and/or the interior of the block, if this is the pattern established by the immediate context and the neighborhood.
- Modulate the façade through the articulation of balcony form, pattern and design, either as recessed and/or projecting elements.
- Vary the planes of the primary and secondary facades to articulate further modeling of the composition.
- Design for a distinctive form and stature of primary entrance.

- Compose the fenestration in the form of vertically proportioned windows.
- Subdivide horizontally proportioned windows using strong mullion elements to enhance a sense of vertical proportion and emphasis.

12.59 A horizontal proportion and emphasis should be designed to reduce the perceived height and scale of a larger primary or secondary façade. Consider the following:

- The interplay of horizontal and vertical emphasis can create an effective visual balance, helping to reduce the sense of building scale.
- Step back the top or upper floors where a building might be higher than the context along primary and/or secondary facades as appropriate.
- Design for a distinctive stature and expression of the first floor of the primary, and if important in public views, the secondary facades.
- Design a distinct foundation course.
- Employ architectural detailing and/or a change in materials and plane to emphasize individual levels in the composition of the facade.
- Design the fenestration to create and/or reflect the hierarchy of the façade composition.
- Change the materials and/or color to distinguish the design of specific levels.

Balconies, Porches & External Escape Stairs – Design Objective

The design of a new multifamily building in a historic context should recognize the importance of balcony and primary entrance features in achieving a compatible scale and character.

12.64 Balconies, encouraged as individual semi-public outdoor spaces, should be designed as an integral part of the architectural composition and language of the building.

- Use projecting and/or recessed balcony forms to complement and embellish the design composition of

	<p>the facades, and to establish visual emphasis and architectural accent.</p> <ul style="list-style-type: none"> • Use a balcony or a balcony arrangement to echo and accentuate the fenestration pattern of the building. • Design balcony forms to be transparent or semi-transparent, using railings and/or glass to avoid solid balcony enclosures. • Select and design balcony materials and details as a distinct enrichment of the building facade/s. <p>12.65 An entrance porch, stoop or portico should be designed as a principal design focus of the composition of the facade.</p> <ul style="list-style-type: none"> • Design for greater stature to enhance visual focus, presence and emphasis. • Design for a distinct identity, using different wall planes, materials, details, texture and color. • Consider designing the name of the apartment building into the facade or the porch/stoop.
<p>2.d Relationship of Materials: The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.</p>	<p>Building Materials, Windows, Elements & Detailing</p> <p>Materials – Design Objective</p> <p>The design of a new multifamily building should recognize and reflect the palette of building materials which characterize the historic district, and should help to enrich the visual character of the setting, in creating a sense of human scale and historical sequence.</p> <p>12.67 Building materials that contribute to the traditional sense of human scale and the visual interest of the historic setting and neighborhood should be used.</p> <ul style="list-style-type: none"> • This helps to complement and reinforce the palette of materials of the neighborhood and the sense of visual continuity in the district. • The choice of materials, their texture and color, their pattern or bond, joint profile and color, will be important characteristics of the design. • Creative design, based on analysis of the context, will be invaluable in these respects. <p>12.68 Building materials that will help to reinforce the sense of visual affinity and continuity between old and new in the historic setting should be used.</p> <ul style="list-style-type: none"> • Use external materials of the quality, durability and character found within the historic district. <p>12.69 Design with materials which provide a solid masonry character for lower floors and for the most public facades of the building. Consider the following:</p> <ul style="list-style-type: none"> • Use brick and/or natural stone, in preference to less proven alternatives for these areas. • Limit panel materials to upper levels and less public facades. • Where panel materials are considered, use high quality architectural paneling with a proven record of durability in the regional climate. • Synthetic materials, including synthetic stucco, should be avoided on grounds of limited durability and longevity, and weathering characteristics.

	<p>12.70 Materials should have a proven durability for the regional climate, as well as the situation and aspect of the building.</p> <ul style="list-style-type: none"> • Avoid materials which merely create the superficial appearance of authentic, durable materials. • The weathering characteristics of materials become important as the building ages, in that they should complement rather than detract from the building and historic setting as they weather and mature. • New materials, which have a proven track record of durability in the regional climatic conditions, may be considered. <p>Windows – Design Objective The design of a new multifamily building should include window design subdivision, profiles, materials, finishes and details which ensure that the windows play their characteristic positive role in defining the proportion and character of the building and its contribution to the historic context.</p> <p>12.71 Windows should be designed to be in scale with those characteristic of the building and the historic setting.</p> <ul style="list-style-type: none"> • Excessive window scale in a new building, whether vertical or horizontal, will adversely affect the sense of human scale and affinity with buildings in the district. • Subdivide a larger window area to form a group or pattern of windows creating more appropriate proportions, dimensions and scale. <p>12.72 Windows with vertical proportion and emphasis are encouraged.</p> <ul style="list-style-type: none"> • A vertical proportion is likely to have greater design affinity with the historic context. • It helps to create a stronger vertical emphasis which can be valuable integrating the design of a larger scale building within its context. • See also the discussion of the character of the relevant historic district and architectural styles (PART I).
<p>2.d Relationship of Materials: The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.</p>	<p>12.73 Window reveals should be a characteristic of masonry and most public facades.</p> <ul style="list-style-type: none"> • These help to express the character of the facade modeling and materials. • Window reveals will enhance the degree to which the building integrates with its historic setting. • A reveal should be recessed into the primary plane of the wall, and not achieved by applying window trim to the façade. • This helps to avoid the impression of superficiality which can be inherent in some more recent construction, e.g. with applied details like window trim and surrounds. • A hierarchy of window reveals can effectively complement the composition of the fenestration and facades. <p>12.74 Windows and doors should be framed in materials that appear similar in scale, proportion and character to those used traditionally in the neighborhood.</p>

	<ul style="list-style-type: none"> • Frame profiles should project from the plane of the glass creating a distinct hierarchy of secondary modeling and detail for the window opening and the composition of the facade. • Durable frame construction and materials should be used. • Frame finish should be of durable architectural quality, chosen to compliment the building design. • Vinyl should be avoided as a non-durable material in the regional climate. • Dark or reflective glass should be avoided. • See also the rehabilitation section on windows (PART II, Ch.3) as well as the discussions of specific historic districts (PART III) and relevant architectural styles (PART I). <p>Architectural Elements & Details – Design Objective</p> <p>The design of a new multifamily building should reflect the rich architectural character and visual qualities of buildings of this type within the district.</p> <p>12.75 Building elements and details should reflect the scale, size, depth and profiles of those found historically within the district.</p> <ul style="list-style-type: none"> • These include windows, doors, porches, balconies, eaves, and their associated decorative composition, supports and/or details. <p>12.76 Where used, ornamental elements, ranging from brackets to porches, should be in scale with similar historic features.</p> <ul style="list-style-type: none"> • The scale, proportion and profiles of elements, such as brackets or window trim, should be functional as well as decorative. <p>12.77 Creative interpretations of traditional details are encouraged.</p> <ul style="list-style-type: none"> • New designs for window moldings and door surrounds, for example, can create visual interest and affinity with the context, while conveying the relative age of the building. • The traditional and characteristic use of awnings and canopies should be considered as an opportunity for creative design which can reinforce the fenestration pattern and architectural detail, while being a sustainable shading asset in reducing energy consumption. See also PART IV on Sustainable Design.
<p>3. RELATIONSHIP TO THE STREET</p> <p>3.a Walls of Continuity: Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;</p>	<p>Settlement Patterns & Neighborhood Character</p> <p>The Public Realm - Design Objective</p> <p>A new multifamily building should respect the characteristic placement, setbacks, massing and landscape character of the public realm in the immediate context and the surrounding district.</p> <p>12.6 A new building should contribute in a creative and compatible way to the public and the civic realm.</p> <p>12.7 A building should engage with the street through a sequence of public to semi-private spaces.</p>

	<p>12.8 A new multifamily building should be situated and designed to define and frame adjacent streets, and public and common spaces, in ways that are characteristic of the setting.</p> <ul style="list-style-type: none"> • Reflect and/or strengthen adjacent building quality, setbacks, heights and massing. • Reinforce the historic streetscape patterns of the facing primary and secondary streets and/ or alleys. <p>12.9 A building on a corner lot should be designed to define, frame and contribute to the historic character of the public realm of both adjacent streets.</p> <ul style="list-style-type: none"> • The street character will also depend on the adjacent street blocks and frontage. • Building setbacks may be different. • The building scale may also vary between the streets. <p>Building Placement, Orientation & Use - Design Objective</p> <p>A new multifamily building should reflect the established development patterns, directly address and engage with the street, and include well planned common and private spaces, and access arrangements.</p> <p>12.10 The established historic patterns of setbacks and building depth should be respected in the siting of a new multifamily building.</p> <p>12.11 The front and the entrance of the building should orient to and engage with the street.</p> <ul style="list-style-type: none"> • A new building should be oriented parallel to lot lines, maintaining the traditional, established development pattern of the block. • An exception might be where early settlement has introduced irregular street patterns and building configurations, e.g. parts of Capitol Hill. <p>12.12 Access arrangements to the site and the building should be an integral part of the planning and design process at the earliest stage.</p> <p>12.13 The situation, orientation, configuration and design of a new multifamily building should include provision for common exterior open spaces at ground level. Site and design such space/s to address the following:</p> <ul style="list-style-type: none"> • Reducing the bulk and the scale of the building. • Configuration for residential amenity and casual social interaction. • Shelter from traffic and traffic noise. • Plan for solar access and seasonal shade. • Landscape and light to enhance residential relaxation, enjoyment and neighboring environmental quality. <p>12.14 Consider additional common open space on higher terrace or roof levels to enhance residential amenity and city views.</p> <ul style="list-style-type: none"> • Locate and design to preserve neighboring privacy. • Plan and design for landscape amenity and best practices in sustainable design. (PART IV)
<p>3. RELATIONSHIP TO THE STREET</p> <p>3.a Walls of Continuity: Facades and site structures, such as walls, fences and landscape</p>	<p>12.15 Private open space for each unit, whether ground level, terrace or balcony space, should be designed to</p>

<p>masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;</p>	<p>create attractive outdoor space, and to help articulate the design of the building to reduce its bulk and scale.</p> <ul style="list-style-type: none"> • Private space should be contiguous with the unit. • Private space should be clearly distinguished from common open space. <p>Site Access, Parking & Services - Design Objective</p> <p>The site planning and situation of a new multi-family building should prioritize access to the site and building for pedestrians and cyclists, motorized vehicular access and parking should be discreetly situated and designed, and building services and utilities should not detract from the character and appearance of the building, the site and the context.</p> <p>12.17 The primary public entrance to the building should be afforded priority and prominence in access from the street, and appropriately scaled in the design of the street façade/s.</p> <ul style="list-style-type: none"> • Avoid combining with any vehicular access or drive. • Provide direct access to the sidewalk and street. • Landscape design should reinforce the importance of the public entrance. <p>12.24 Driveways serving groups of similar uses should be consolidated to minimize visual intrusion, and to provide less interruption to the sidewalk, pedestrian character and flow.</p> <ul style="list-style-type: none"> • Curb cuts should be shared between groups of buildings and uses where possible. • Joint driveway access is encouraged. <p>12.25 Wherever possible, vehicular parking should be situated below the building, or alternatively behind the building in a manner that does not conflict with pedestrian access from the street.</p> <ul style="list-style-type: none"> • Surface parking areas should be screened from views from the street and adjacent residential properties. <p>13.26 Landscaping should be integrated with surface parking to screen the view of parked vehicles from the street.</p> <ul style="list-style-type: none"> • New parking areas should be screened through the use of planed areas, fences, hedges, and decorative walls.
<p>3.b Rhythm of Spacing and Structures on Streets: The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;</p>	<p>Building Placement, Orientation & Use - Design Objective</p> <p>A new multifamily building should reflect the established development patterns, directly address and engage with the street, and include well planned common and private spaces, and access arrangements.</p> <p>12.10 The established historic patterns of setbacks and building depth should be respected in the siting of a new multifamily building.</p> <p>12.11 The front and the entrance of the building should orient to and engage with the street.</p> <ul style="list-style-type: none"> • A new building should be oriented parallel to lot lines, maintaining the traditional, established development pattern of the block.

	<ul style="list-style-type: none"> • An exception might be where early settlement has introduced irregular street patterns and building configurations, e.g. parts of Capitol Hill. <p>12.12 Access arrangements to the site and the building should be an integral part of the planning and design process at the earliest stage.</p> <p>12.13 The situation, orientation, configuration and design of a new multifamily building should include provision for common exterior open spaces at ground level. Site and design such space/s to address the following:</p> <ul style="list-style-type: none"> • Reducing the bulk and the scale of the building. • Configuration for residential amenity and casual social interaction. • Landscape and light to enhance residential relaxation, enjoyment and neighboring environmental quality.
<p>3.c Directional Expression of Principal Elevation: A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street;</p>	<p>Building Placement, Orientation & Use - Design Objective</p> <p>A new multifamily building should reflect the established development patterns, directly address and engage with the street, and include well planned common and private spaces, and access arrangements.</p> <p>12.10 The established historic patterns of setbacks and building depth should be respected in the siting of a new multifamily building.</p> <p>12.11 The front and the entrance of the building should orient to and engage with the street.</p> <ul style="list-style-type: none"> • A new building should be oriented parallel to lot lines, maintaining the traditional, established development pattern of the block. • An exception might be where early settlement has introduced irregular street patterns and building configurations, e.g. parts of Capitol Hill. <p>12.12 Access arrangements to the site and the building should be an integral part of the planning and design process at the earliest stage.</p> <p>Vehicular – Cars & Motorcycles</p> <p>12.22 A vehicular access and driveway should be discreetly placed to the side or to the rear of the building.</p> <ul style="list-style-type: none"> • A vehicular entrance which incorporates a ramp should be screened from street views. • Landscape should be designed to minimize visual impact of the access and driveway. <p>12.23 A single curb cut or driveway should not exceed the minimum width required.</p> <ul style="list-style-type: none"> • Avoid curb cuts and driveways close to street corners. <p>12.24 Driveways serving groups of similar uses should be consolidated to minimize visual intrusion, and to provide less interruption to the sidewalk, pedestrian character and flow.</p> <ul style="list-style-type: none"> • Curb cuts should be shared between groups of buildings and uses where possible. • Joint driveway access is encouraged. <p>12.25 Wherever possible, vehicular parking should be situated below the building, or alternatively behind the</p>

	<p>building in a manner that does not conflict with pedestrian access from the street.</p> <ul style="list-style-type: none"> • Surface parking areas should be screened from views from the street and adjacent residential properties. <p>12.43 A new multifamily building should be designed to create and reinforce a sense of human scale. In doing so consider the following:</p> <ul style="list-style-type: none"> • Design building massing and modulation to reflect traditional forms, e.g. projecting wings and balcony bays. • Design a solid-to-void (wall to window/door) ratio that is similar to that seen traditionally. • Design window openings that are similar in scale to those seen traditionally. • Articulate and design balconies that reflect traditional form and scale. • Design an entrance, porch or stoop that reflects the scale characteristic of similar traditional building types. • Use building materials of traditional dimensions, e.g. brick, stone, terracotta. • Choose materials that express a variation in color and/or texture, either individually or communally. <p>12.44 A new multifamily building should be designed to respect the access to light and the privacy of adjacent buildings.</p>
<p>3.d Streetscape; Pedestrian Improvements: Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.</p>	<p>Settlement Patterns & Neighborhood Character Block & Street Patterns - Design Objective The urban residential patterns created by the street and alley network, lot and building scale and orientation, are a unique characteristic of every historic setting in the city, and should provide the primary design framework for planning any new multifamily building.</p> <p>12.5 A new apartment or multifamily building should be situated and designed to reinforce and enhance the established character, or master plan vision, of the context, recognizing its situation and role in the street block and building patterns.</p> <ul style="list-style-type: none"> • Respect and reflect the scale of lots and buildings associated with both primary and secondary street frontages. • Site a taller building away from nearby small scale buildings. • A corner site traditionally might support a larger site and building. • A mid-block location may require careful design consideration to integrate a larger building with an established lower building scale. • Respect and reflect a lower scale where this is characteristic of the inner block. <p>The Public Realm - Design Objective A new multifamily building should respect the characteristic placement, setbacks, massing and landscape character of the public realm in the immediate context and the surrounding district.</p> <p>12.6 A new building should contribute in a creative and compatible way to the public and the civic realm.</p>

12.7 A building should engage with the street through a sequence of public to semi-private spaces.

12.8 A new multifamily building should be situated and designed to define and frame adjacent streets, and public and common spaces, in ways that are characteristic of the setting.

- Reflect and/or strengthen adjacent building quality, setbacks, heights and massing.
 - Reinforce the historic streetscape patterns of the facing primary and secondary streets and/ or alleys.
- 12.9 A building on a corner lot should be designed to define, frame and contribute to the historic character of the public realm of both adjacent streets.
- The street character will also depend on the adjacent street blocks and frontage.
 - Building setbacks may be different.
 - The building scale may also vary between the streets.

Building Placement, Orientation & Use - Design Objective

A new multifamily building should reflect the established development patterns, directly address and engage with the street, and include well planned common and private spaces, and access arrangements.

12.11 The front and the entrance of the building should orient to and engage with the street.

- A new building should be oriented parallel to lot lines, maintaining the traditional, established development pattern of the block.
- An exception might be where early settlement has introduced irregular street patterns and building configurations, e.g. parts of Capitol Hill.

12.12 Access arrangements to the site and the building should be an integral part of the planning and design process at the earliest stage.

Vehicular – Cars & Motorcycles

12.22 A vehicular access and driveway should be discreetly placed to the side or to the rear of the building.

- A vehicular entrance which incorporates a ramp should be screened from street views.
- Landscape should be designed to minimize visual impact of the access and driveway.

12.23 A single curb cut or driveway should not exceed the minimum width required.

- Avoid curb cuts and driveways close to street corners.

12.24 Driveways serving groups of similar uses should be consolidated to minimize visual intrusion, and to provide less interruption to the sidewalk, pedestrian character and flow.

- Curb cuts should be shared between groups of buildings and uses where possible.
- Joint driveway access is encouraged.

12.25 Wherever possible, vehicular parking should be situated below the building, or alternatively behind the building in a manner that does not conflict with pedestrian access from the street.

- Surface parking areas should be screened from views from the street and adjacent residential properties.

4. Subdivision of Lots:

The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

Settlement Patterns & Neighborhood Character
Block & Street Patterns - Design Objective

The urban residential patterns created by the street and alley network, lot and building scale and orientation, are a unique characteristic of every historic setting in the city, and should provide the primary design framework for planning any new multifamily building.

12.4 The pattern and scale of lots in a historic district should be maintained, as the basis of the historic **integrity of the intricate 'fine grain' of the neighborhood.**

- Avoid assembling or subdividing lots where this would adversely affect the integrity of the historic settlement pattern.

12.5 A new apartment or multifamily building should be situated and designed to reinforce and enhance the established character, or master plan vision, of the context, recognizing its situation and role in the street block and building patterns.

- Respect and reflect the scale of lots and buildings associated with both primary and secondary street frontages.

- Site a taller building away from nearby small scale buildings.

- A corner site traditionally might support a larger site and building.

- A mid-block location may require careful design consideration to integrate a larger building with an established lower building scale.

- Respect and reflect a lower scale where this is characteristic of the inner block.

ATTACHMENT O: PUBLIC PROCESS & COMMENTS

Planning Division staff routed Petition No. PLNHLC2017-00560 for New Construction to all applicable City Departments and Divisions for review and comment on September 11, 2017. All comments have been summarized in Attachment D – Department Comments.

The following is a list of public meetings the City held for the proposed development.

Notice of September 7, 2017, Public Meeting:

- Public meeting notice of Historic Landmark Commission briefing posted on City and State websites and Planning Division list serve on August 24, 2017
- Public meeting notice of Historic Landmark Commission briefing emailed to Planning Division list serve on August 24, 2017

Notice of December 7, 2017, Public Hearing:

- Public hearing notice posted on property on November 22, 2017
- Public hearing notice mailed to all property owners and residents within 300 feet of subject property on November 22, 2017
- Public notice posted on City and State websites and Planning Division list serve on November 22, 2017

Public Input:

Prior to publication of the Historic Landmark Commission Staff Report on November 30, 2017, Planning Division staff had not received any public comments for or against the petitions.

ATTACHMENT P: Meeting Minutes

SALT LAKE CITY HISTORIC LANDMARK COMMISSION
Meeting Minutes
451 South State Street, Room 326
September 7, 2017

A roll is kept of all who attended the Historic Landmark Commission Meeting. The meeting was called to order at [5:34:44 PM](#). Audio recordings of the Historic Landmark Commission meetings are retained in the Planning Office for an indefinite period of time.

Present for the Historic Landmark Commission meeting were: Chairperson Charles Shepherd; Commissioners Stanley Adams, Thomas Brennan, Rachel Quist, David Richardson, Esther Stowell and Paul Svendsen. Vice Chairperson Kenton Peters and Commissioner Sheleigh Harding and Robert Hyde were excused.

Planning Staff members present at the meeting were: Joel Paterson, Zoning Administrator; Wayne Mills, Planning Manager; Carl Leith, Senior Planner; Michael Maloy, Senior Planner; Anthony Riederer, Principal Planner; Amy Thompson, Principal Planner; Deborah Severson, Administrative Secretary and Paul Nielson, Senior City Attorney.

FIELD TRIP NOTES:

A field trip was held prior to the meeting. Historic Landmark Commissioners present were Rachel Quist, David Richardson and Charles Shepherd. Staff members in attendance were Joel Paterson, Wayne Mills, Carl Leith, Michael Maloy, Anthony Riederer and Amy Thompson.

The following sites were visited:

- **134 G Street** - Staff gave an overview of the proposal.
- **134 N C Street** - Staff gave an overview of the proposal.
- **1205 Second Avenue** - Staff gave an overview of the proposal.
- **1117 E South Temple** - Staff gave an overview of the proposal.

APPROVAL OF THE AUGUST 3, 2017, MINUTES. [5:35:29 PM](#)

MOTION [5:35:32 PM](#)

Commissioner Richardson moved to approve the minutes from the August 3, 2017, meeting. Commissioner Adams seconded the motion. Commissioners Adams, Richardson and Stowell voted “aye”. Commissioners Brennan, Quist and Svendsen abstained from voting as they were not present at the subject meeting. The motion passed unanimously.

REPORT OF THE CHAIR OR VICE CHAIR [5:37:03 PM](#)

Chairperson Shepherd stated he had nothing to report.

DIRECTOR’S REPORT [5:37:13 PM](#)

Mr. Joel Paterson, Zoning Administrator, stated that the appeal for the Bishop Place

Demolition would be held on September 26.

The Commission and Staff discussed the following:

- If Commission member needed to attend that meeting.
 - Staff stated it was not required for Commissioners to attend and a Public Hearing would not be held for the items.
- The nature of the appeal.

PUBLIC COMMENT PERIOD [5:38:42 PM](#)

Chairperson Shepherd opened the Public Comment Period, seeing no one wished to speak; Chairperson Shepherd closed the Public Comment Period.

[5:40:36 PM](#)

Window Replacement at approximately 134 G Street - Rusty Carson, a contractor applying on the behalf of the property owner, is requesting a certificate of appropriateness from the City to replace three street-facing historic windows with new replacement windows of contemporary manufacture. The property is a single-family residence and is zoned SR-1A (Special Development Pattern Single Family Residential) and is listed as a contributing building in the Avenues Local Historic District. This type of project must be reviewed as a Minor Alteration. The subject property is within Council District 3, represented by Stan Penfold. (Staff contact: Anthony Riederer at (801)535-7625 or anthony.riederer@slcgov.com.) Case number: PLNHLC2017-00540

Mr. Anthony Riederer, Principal Planner, gave an overview of the proposal as outlined in the Staff Report (located in the case file). He stated Staff was recommending that the Historic Landmark Commission deny the petition as presented.

The Commission and Staff discussed the following:

- If the windows were on a rear facing dormer what would Staff's recommendation be.
- Why the windows are proposed to be replaced and the type of replacement window used.
- If the Applicant provided comparative window sections in their proposal.

Mr. Rusty Carson, applicant, reviewed the proposal, efficiency of the new windows versus the original windows. He stated one could not tell the difference between the replacement and the original other than a slight loss in glass.

The Commission and Applicant discussed the following:

- The options of window design and construction that would reflect the historic windows.
- The frame dimensions of the new window versus the original window.

PUBLIC HEARING [5:54:54 PM](#)

Chairperson Shepherd opened the Public Hearing, seeing no one wished to speak; Chairperson Shepherd closed the Public Hearing.

The Commissioners discussed the following:

- The history of window replacement approvals and the regulations the Commission held to in the past.
- Would ask Staff to work with the Applicant to find a replacement that was in keeping with the historic windows.
- The replaced windows were original and with care they could last another hundred years.
- The issue of losing glass surface,

MOTION [5:58:13 PM](#)

Commissioner Brennan stated based on the information in the Staff Report, the information presented, and the input received during the public hearing, he moved that the Commission deny the request for a Certificate of Appropriateness to replace the historic front-facing windows as proposed in petition PLNHLC2017-00540. Commissioner Quist seconded the motion. Commissioners Adams, Brennan, Quist, Richardson, Stowell and Svendsen voted “aye”. The motion passed unanimously.

[5:59:23 PM](#)

Special Exception & Minor Alterations at approximately 134 N C Street - Vincent Oles, the architect representing the owner of the property, is requesting Special Exception and associated Minor Alteration approval from the City for a new two-story accessory structure that is closer than 10 feet to a primary structure on an adjacent lot. The base zoning for the property is RMF-35 (Moderate Density Multi-Family Residential). The Historic Landmark Commission has the authority to modify lot and bulk regulations through the Special Exception process. The subject property is within Council District 3, represented by Stan Penfold. (Staff contact: Amy Thompson at (801)535-7281 or amy.thompson@slcgov.com.)

- a. **Special Exception - Modifications to bulk regulations for a new accessory structure located closer than 10 feet to a primary structure on an adjacent lot. Case number: PLNHLC2017-00604**
- b. **Minor Alterations - Request for a Certificate of Appropriateness for demolition of the existing accessory structure and the proposed new accessory structure. Case number: PLNHLC2017-00458**

Ms. Amy Thompson, Principal Planner, gave an overview of the proposal as outlined in the Staff Report (located in the case file). She stated Staff was recommending that the Historic Landmark Commission table the petition as presented.

The Commission and Staff discussed the following:

- If accessory structures were considered contributing structures.
- The standards and process for demolishing an accessory structure.
- How the surveys affected the Commission's decision regarding status of a structure and demolition.
- The height of the neighboring homes.
- The standards that applied to the proposal.

Mr. Vincent Oles, architect and Mr. Norman Weightsman reviewed the proposal, the history of the property and the reasoning behind the request.

The Commission, Applicant and Staff discussed the following:

- If there were plans to use the proposed space as a rental unit or Air B and B
 - The applicant stated not at all.
- Was there consideration to only add the hobby shop and not have it over a garage?
- Staff's recommendation to table the petition and if the Applicant was amicable to tabling.
- The impact the structure would have on the surrounding homes.
- Different designs and layouts that were considered.

PUBLIC HEARING [6:39:11 PM](#)

Chairperson Shepherd opened the Public Hearing, seeing no one wished to speak; Chairperson Shepherd closed the Public Hearing.

The Commissioners discussed and stated the following:

- The design was appropriate for the neighborhood and would enhance the area.
- The current garage didn't comply and the only exception being requested was for the setback.
- The proposal did not meet standard eight regarding compatibility with the primary structure.
- The vertical footprint was too much for the site.
- The standards that the proposal met and did not meet.
- The impacts to the surrounding homes needed to be taken into consideration.
- The proposed height and if it fit or did not fit with the character of the neighborhood.
- If there was options to build out and not up.

MOTION [6:55:01 PM](#)

Commissioner Brennan stated based on the analysis and findings listed in the Staff Report, the information presented, and the input received during the public hearing, he moved that the Commission table the request for a Special Exception to modify the bulk requirements for a new accessory structure located closer than 10 feet to a primary structure on an adjacent lot, petition PLNHLC2017-00604, and associated Minor Alterations, including demolition of the existing accessory

structure, petition PLNHLC2017-00458, to allow for revisions to the height that achieve an new accessory structure more appropriate to the scale and character of the site and surrounding development, to provide further study regarding the impacts to the structure to the east. Commissioner Quist seconded the motion. Commissioners Brennan, Quist, Richardson and Stowell voted “aye”. Commissioner Adams and Svendsen voted “nay”. The motion passed 4-2.

[6:57:21 PM](#)

Commissioner Richardson stated he was the applicant for the next item and therefore needed to recuse himself from the meeting.

Work Session [6:57:35 PM](#)

New Garage under West Porch at approximately 1205 Second Avenue –David Richardson, Capitol Hill Construction, is requesting a work session to get preliminary review of a request to construct a garage under the west porch and section of the house, with a new driveway off U Street. This will be a work session review, no formal public hearing will be held and a decision will not be made at this meeting. The subject property lies within The Avenues Historic District (H Historic Preservation Overlay), is zoned SR-1A (Special Development Pattern Residential District) within Council District 3, represented by Stan Penfold. (Staff contact: Carl Leith, (801)535-7758 or carl.leith@slcgov.com) Case number: PLNHLC2017-00682

Mr. Carl Leith, Senior Planner, gave an overview of the proposal as outlined in the Staff Report (located in the case file). He stated Staff was requesting input from the Historic Landmark Commission regarding the petition.

The Commission and Staff discussed the following:

- The nature of the structures surrounding the site.
- The way the driveway interacted with the street gutter and if it was allowed under new construction
- If the applicant had considered a garage loaded off the driveway.

Mr. Damian Dingley reviewed the history of the property, the proposal, ~~the~~, how it met the standards and improved the area.

The Commission, Applicant and Staff discussed the following:

- It was hard to have a home this grand and not have a place to park but then again the home was one of the best in the lower avenues, completely intact and to impact it was not the right thing to do.
- The proposal was probably the best way to add the desired parking to the site.
- Preserving the street tree was critical.
- The existing vegetation would shield the garage.

- If digging from the back of the home was an option.
- A full site plan would help the Commission evaluate the proposal.
- Consider removing the pool and put the driveway back in its original place.
- The proposal was not detracting from the home and improving historic homes was a good thing.
- Consider the character of the neighborhood regarding the impact of the driveway.
- Using similar materials as the home to help integrate the garage.
- Would like a more neighborhood context in the proposal.
- The oval window at the top of the garage made it feel out of balance.
- The lack of driveways on the street scape is a character-defining feature.

[7:37:08 PM](#)

The Commission took a short break.

[7:43:44 PM](#)

The Commission reconvened.

Commissioner Richardson returned to the meeting.

The Commissioners reviewed their interaction with the applicants and stated they did not have a financial benefit from the proposal.

New Construction Briefing at approximately 1117 E South Temple - Tariq Mughal is requesting a work session to get preliminary review of a request to develop a 12 unit apartment building with 12 parking spaces at the above listed address. This will be a work session review, no formal public hearing will be held and a decision will not be made at this meeting. This type of project must be reviewed as new construction in a local historic district. The subject property lies within the South Temple Historic District (H Historic Preservation Overlay), is zoned RMU-35 (Moderate Density Residential District) within Council District 3, represented by Stan Penfold. (Staff contact: Michael Maloy at (801)535-7118 or michael.maloy@slcgov.com.) Case number: PLNHLC2017-00560

Mr. Michael Maloy, Senior Planner, gave an overview of the proposal as outlined in the Staff Report (located in the case file). He stated Staff was requesting input from the Historic Landmark Commission regarding the petition.

Mr. Brian McCarthy, Mr. Luke Mughal and Mr. David Arnett reviewed the proposal, the design, and the history of the property.

The Commission, Applicants, and Staff discussed the following:

- The Special Exceptions required for the proposal.

- The setbacks for the proposal and if it met the standards for the zone.
- The windows located one foot from the property line and the review needed prior to approval.
- Rear yard grade changes should be considered to make a more functional back yard.
- The garage door should be as small as possible to have a smaller impact on South Temple.
- The roof top garden was a great idea but the pergola looked like an afterthought.
- The brick mass (iron stone brick) needed a rhythm to read in a much stronger way.
- Make sure the South Temple side fit the character of the street.
- How to draw from the surrounding buildings and use architectural elements to relate to the area.
- The massing of the brick and where to locate the shade feature on the roof.
- The parapet, windows, front entrance, lighting, railings, materials for stairs, garage entrance, retaining walls, balconies, signage, fence design, underground parking and the glazing on the street facing façade.
- Mass and scale was appropriate.

[8:36:15 PM](#)

September 2017 Chair and Vice Chair Elections - The Commission will nominate and vote in a Chair and Vice Chairperson. These individuals will serve in the positions from September 2017 to September 2018.

The Commissioners discussed nominations for Chair and Vice Chair

MOTION [8:36:38 PM](#)

Commissioner Svendsen made a motion to appoint Charles Shepherd as Chair and Kenton Peters as Vice Chair. Commissioner Richardson seconded the motion. Commissioners Adams, Brennan, Quist, Richardson, Stowell and Svendsen voted “aye”. The motion passed unanimously.

The meeting adjourned at [8:36:58 PM](#)