



Staff Report

PLANNING DIVISION
COMMUNITY & ECONOMIC DEVELOPMENT

To: Salt Lake City Historic Landmark Commission
From: Carl Leith, Senior Planner
801 535 7758 or carl.leith@slcgov.com
Date: July 6, 2017
Re: PLNHLC2015-00586 Major Alterations
PLNHLC2015-00587 Special Exception

MAJOR ALTERATIONS – SINGLE FAMILY DWELLING

PROPERTY ADDRESS: 638 6th Avenue

PARCEL ID: 09323060120000

HISTORIC DISTRICT: The Avenues Local Historic District

ZONING DISTRICT: H Historic Preservation Overlay District. SR-1A Special Development Pattern Residential District

MASTER PLAN: Avenues Community Master Plan

DESIGN GUIDELINES: Residential Design Guidelines

REQUEST: New Rear Addition and Side Porch to Single Family Residence at approximately 638 6th Avenue – Thom Jakab, on behalf of owner James Williamson, is requesting approval of a two story addition with basement and garage to the rear of the existing house, and the reconstruction of a new porch to match the original. The house is a contributing building in the Avenues Historic District, is on a corner lot and the addition, porch and garage will face J Street. This proposal is being referred to the Historic Landmark Commission for decision because it is a substantial addition to this residence, and because special exception approval is required for proposals exceeding the SR-1A zone standards.

- A. **Proposed Addition and Porch** – The proposed addition and garage are situated to the rear and porch along the north and east sides of this original dwelling, and on this corner lot they face onto J Street. Case number: PLNHLC2015-00586
- B. **Special Exception** – Special Exception approval is sought for the proposed porch that would project into the corner side yard by 1'-2 1/2", an accessory building positioned within 2'-9 1/4" from an adjacent residential building, cooling equipment placed 1' from the property line within the inside yard area and proposed lot coverage of 54%. Case number: PLNHLC2015-00587

STAFF RECOMMENDATION: Based on the analysis and findings listed in this staff report, Staff recommends that the Commission approve the application for a Certificate of Appropriateness for the new addition, the reconstruction of the porch and the construction of the garage, and approve the Special Exception requests associated with these proposals, with the following condition:

1. That approval of details is delegated to Staff.

LOCATION PLAN



The Historic Landmark Commission reviewed previous proposals for a rear addition to the house on this site at Commission meeting on January 7th, February 4th, 2016, and January 5th, 2017, as summarized below. On January 7th, 2017 the proposals were tabled for further review and revision. The proposals reviewed in this report involve an alternative approach to the design for a rear addition, the reconstruction of the original porch, and an adjacent garage structure. The revised proposals are informed by and result in part from previously expressed issues and concerns identified by the Commission.

SITE & CONTEXT – THE AVENUES HISTORIC DISTRICT AT 6TH AVENUE & J STREET

The base zoning district for this site is Special Development Pattern Residential (SR-1A), and it lies within the H Historic Preservation Overlay protecting The Avenues Historic District.

As a reminder on the site and context, the residence is located at the south-west corner of 6th Avenue and J Street in the Avenues Historic District. The existing building is a 1.5 story dwelling, described in the 2007 Avenues Survey as dating to c.1900, Victorian Eclectic in style, and identified as a contributing building in the district. The rear of the house has a small two story hipped roof addition, the lower level of which is occupied by sub-standard garage space. This appears to be a later addition to the house.



The J Street façade of the house has a more recent upper deck & porch structure which detracts from the character of the building. An early Board of Adjustment decision approved the degree of encroachment of this structure within the corner side yard setback area. An earlier photograph of the house records the original ‘wrap around’ porch enclosing the north entrance and the east façade. At the time of the photograph the porch had been altered towards the south to provide upper level ‘deck’ accessed from an assumed contemporaneous door in the east facing gable. The original porch as a key element of the building has since been completely removed. The residence currently has a much more recent second story deck over an open porch serving an access door above. This is a feature which detracts from the character of the building. The early and the current arrangements can be reviewed in Attachment B: Photographs and Attachment C: Historic Photograph & Surveys.

The current garage space to the rear of the house is approached by a steep and narrow drive descending from the street level and an existing driveway on J Street. The garage is not used by the owners due to the constraints of access and dimensions. The owners summarize these issues as the short drive length, related steep drive slope with grade angles, garage door height clearance of 8’ 6”, and the periodic flooding of the basement area of the house. The City Transportation Division also confirmed that current arrangements did not qualify as a usable parking space. Current parking for the owners is consequently on the street. See Photographs in Attachment B.

The rear yard of the property abuts a previous commercial structure, 285 J Street, understood to be an early grocery store, altered and converted to multifamily use in more recent years. The latter is a building of notable scale in this context and streetscape of generally 1.5 to 2 story buildings and rises immediately adjacent to the southern boundary and the rear yard of this application site.

BACKGROUND – REVIEW OF PREVIOUS PROPOSALS

Initial Proposals - Historic Landmark Commission Meeting 1/7/16

The initial design for the addition to this house was reviewed by the Historic Landmark Commission on January 7, 2016. A public hearing was held and Mr. Kirk Huffaker, Executive Director of Utah Heritage Foundation commented that, while supporting the proposal, he was concerned about retaining the character and details of the existing building, and the effect of a proposed awning defined on the drawings. In discussion, commissioners expressed concerns regarding height, massing and design, and the number of special exceptions being sought.

Specific areas of discussion and/or concern at this meeting included:

- Height, scale and massing of the addition,
- Size and prominence of the addition relative to the primary building,
- Reduced size of the back yard,
- Design being a statement of its time,
- Compatibility or otherwise of large areas of glazing,
- Number of special exceptions sought, and
- Feasibility of off-street parking in the space available on site.



Staff confirmed at the meeting that there had been noticing errors for the application relating in part to an incorrect street number on the application drawings, resulting in the standard public notice for the public inquiry not being sent to the correct 300 foot radius of residences. Neighboring owners therefore received inadequate notice of the application and the meeting.

In the light of concerns and noticing circumstances, the commission decided to table the application to allow for review and revisions, and public notices, Commissioner Harding made the following motion:

“In the case of PLNHLC2015-00586 and PLNHLC2015-00587 New Rear Addition to Single Family Residence at approximately 638 6th Avenue, she moved that the Historic Landmark Commission table the discussion to allow the Applicant time to make changes to the proposal and the proper public notice could be sent.”

Commissioner Peters seconded the motion. The motion passed unanimously.

The Minutes of the Historic Landmark Commission meeting on 1/7/16 and the Staff Report for that meeting can be reviewed at the following links.

<http://www.slcdocs.com/Planning/HLC/2016/17min.pdf>

<http://www.slcdocs.com/Planning/HLC/2016/586.pdf>

Revised Proposals – Historic Landmark Commission Meeting 2/4/16

Informed by previous concerns in Commission review and public commentary, the proposals for the rear addition were reconsidered and revised for consideration by the Commission at the following meeting on 2/4/16.

Application revisions included:

- Revised roof form
- Revised scale, massing and volume
- Redesign of projecting bay windows
- Redesign of two story cantilevered bay

- Redesign prompted recalculation of lot coverage
- Removal of off street parking space



In addition, responding to concerns raised by adjacent residents and specifically to neighbor concern about the impact of the proposals upon solar access to their recently installed solar array on the east facing roof slope of the adjacent property, the proposals included revisions to:

- Step back the west facade of the addition
- Reduce the height of the west façade
- Alter the profile of the proposed addition towards the western lot line
- Subdivision of the west facing window.

In public commentary received prior to the 2/4/16 HLC meeting, the owners of the immediately adjacent property to the west, 634 6th Avenue, had expressed their concerns regarding the proposals. Their concerns were set out in an email included with that report as Attachment H. These were summarized as:

- Inadequate community outreach and consequent lack of neighborhood awareness.
- Concerns regarding the compatibility of the proposal with the character of the neighborhood.
- The neighboring apartment building has been increased in height and consequently not an historic building.
- An ‘unsustainable’ increase in lot coverage in relation to special exception provisions.
- Impairment of property values through loss of natural light, loss of solar production (the owners recently installed a solar array on the east facing roof slope), loss of privacy and loss of open space.

The staff report reconfirmed the noticing errors for the initial application relating to an incorrect street number and public notice, as reported verbally at the January meeting, and confirmed all the necessary noticing for the revised application and the February meeting.

Revisions to the proposals were still being submitted at the time of the completion of the Staff report for the February meeting, affording insufficient time for adequate review for the report. In the light of that circumstance, coupled with an identified need for additional time for public review, Staff recommendation to the Commission at the February meeting was to continue the public hearing to permit further time for Staff, Commission and public review of the proposals as revised.

During the public hearing five people addressed the Commission, covering points relating to the noticing of the proposals, the impact on neighboring solar panels and the incompatibility of the proposal with the existing buildings. Further time for consideration of and revisions to the proposals was requested.

In the light of public comments received, together with Staff evaluation of the revisions and inadequate time for consideration, the Commission reviewed the revised proposals and, following questions and discussion, and concurring with the Staff recommendation, Commissioner Harding made the following motion:

“Regarding PLNHLC2015-00586 and PLNHLC2015-00587, New Rear Addition to Single Family Residence, based upon the extensive and recent revisions to the proposed design for this rear addition, and the limited time for public outreach and review occasioned by these revisions and past noticing errors for these applications, she moved that the Historic Landmark Commission continues the Public Hearing and the review of the proposals to a forthcoming meeting to provide adequate time for Staff, Commission and Public review of the proposals as revised.”

Commissioner Quist seconded the motion. The motion passed unanimously.

The Staff Report and the Minutes of that meeting can be reviewed at the following links.

[http://www.slcdocs.com/Planning/HLC/2016/586\(2\).pdf](http://www.slcdocs.com/Planning/HLC/2016/586(2).pdf)

<http://www.slcdocs.com/Planning/HLC/2016/24min.pdf>

Revised Proposals – Historic Landmark Commission Meeting 1/5/17

A revised proposal for the rear addition was presented to the Commission on January 5, 2017. That application was for a two story rear addition with basement level to a completely revised design. It included the reconstruction of the original porch to the house for the north entrance and the east facade, continuing this across the frontage of the proposed addition. The existing lower ‘lean-to’ addition with garage, as previously, was removed.

The redesigned rear addition was rectangular in plan, reduced from the footprint of the previous proposals, included no projecting floor space, and was linked to the original house by a narrower section which reduced in width for each higher floor. The location of the addition stepped back from the neighboring lot line to the west to meet the standard SR-1A interior side yard setback dimension, and was further recessed on the upper floors for the link section. The east façade of the proposed addition continued the alignment of the east façade of the house beyond the recessed link. The roof was shallow pitched and ‘pyramidal’ in form, with a strong eaves line above a series of clerestory windows.



The design approach included the reconstruction of the original porch. The reinstatement of the original porch was not a proposal of the initial application previously reviewed by the Commission. The porch extended to front the proposed addition. The termination of the reconstructed porch provided stair access to the basement level of the new addition.

The fenestration proposed varied with specific sections and levels of the proposal. Materials proposed included cedar shingles with a black/brown finish, and a painted concrete foundation, with metal cladding to the link connection.

During the public hearing seven people addressed the Commission, covering points relating to a reduction in height, height precedent and averages, the adverse effect of height and volume on neighboring properties, overwhelming the existing house, lot coverage, off street parking, exceptions sought did not achieve compatibility and the need for more time to consider.

The Commission reviewed the proposals, staff evaluation together with the comments received, and discussed the following points.

- The relative merits of the current and the proposed designs
- Whether the revised design prompted consideration of the exceptions sought
- Standards and guidelines were not met
- Addition should be subordinate to the house
- Massing and scale as proposed was not appropriate
- Restricting the porch to the original house portion

In the light of Staff and Commission review and public comments received the Commissioner Harding made the following motion:

“Regarding PLNHLC2015-00586 Major Alterations PLNHLC2015-00587 Special Exception, based on the analysis and findings listed in the Staff Report, the testimony and the proposal presented, she moved that the Historic Landmark Commission table the petition to allow for revisions to achieve an addition more appropriate to the scale and character of this site and neighboring development.”

Commissioner Hyde seconded the motion. The motion passed unanimously.

The Minutes for that meeting form Attachment H to this report, and both Minutes and Staff Report can be reviewed at the following links.

<http://www.slcdocs.com/Planning/HLC/2017/15min.pdf>

<http://www.slcdocs.com/Planning/HLC/2017/00586.pdf>

CURRENT PROPOSALS

The current development proposal is for a rear addition to the original house, the reconstruction of the original porch and extension to serve the rear addition, and a new detached garage building.

The rear addition is proposed at a height of one floor and basement level, stepping back to a central higher clerestory level and volume which would continue the existing roof height, geometry and eaves lines as part of the addition. The addition would step in just over one foot from the plane of the east and the west facades of the house and would be further distinguished from the original house by a change in materials. The proposal would reconstruct the original porch, drawing upon earlier photographic evidence, and would extend this to serve and face the new addition on the main level. The existing ‘lean-to’ addition providing kitchen space with garage beneath, would be removed. To the south of the proposed addition, the revised application includes a detached single car garage separated from the rear addition by a narrow patio space.

The fenestration proposed reflects the existing house, and includes vertical sliding sash windows on the main level and upper level casement windows. On the south façade of the addition windows would be paired on the upper two levels of the south elevation, reflecting the current arrangement on the north façade of the building, and are vertical in proportion again to equate with the original residence. A new double casement window would replace the existing and later doors on the east facing gable, thus restoring some of the original character of the house.

The materials proposed for the addition include horizontal wood siding, with stone facing to the basement level on all facades. The reconstructed porch would include fiber glass columns with wood railings. Garage materials are proposed as wood siding with metal door. All molding, fascia, frieze, soffit and skirting elements are proposed as painted wood, with aluminum gutters.



The applicant describes the proposal in detail in Attachment D to this report, continuing with an evaluation of the design approach against the residential design guidelines and standards for new construction. The application also includes a detailed specification of proposed materials.

HISTORIC DESIGN STANDARDS & RESIDENTIAL DESIGN GUIDELINES

Design standards are defined by chapter 21A.34.020.G of the Ordinance, and the Residential Design Guidelines for Additions form Chapter 8 of the Preservation Handbook for Historic Residential Properties and Districts in Salt Lake City. The residential design guidelines provide more detailed advice and guidance on the design considerations defined by the design standards in the Ordinance. The design standards and pertinent guidelines are identified in Attachment F of this report, with evaluation of the proposals in relation to the standards as informed by the guidelines in Attachment G. The applicant also provides a detailed evaluation of the proposals relative to the residential design standards and guidelines (Att. G). Chapter 8 on Additions, and Chapter 5 on Porches in the Residential Design Guidelines can be accessed at the following links.

<http://www.slcdocs.com/historicpreservation/GuideRes/Ch8.pdf>

<http://www.slcdocs.com/historicpreservation/GuideRes/Ch5.pdf>

SPECIAL EXCEPTIONS

Special exceptions may be approved or denied by the Historic Landmark Commission as assessed against the historic design standards and the special exception standards in the ordinance. This is an undersized lot in the Avenues Historic District and within the SR-1A base zone district. SR-1A specifies a minimum lot area of 5000 SF, upon which the lot standards are based. This lot is 3403 SF, or approximately 68% of that SR-1A specified lot area. To construct the proposed addition, porch and garage, the applicant is consequently seeking Special Exception approval for the following:

- The reinstated porch would encroach into the corner side yard requirement of 10 feet, by 1 foot 2.5 inches. The existing two level open porch encroaches by 1 foot 7.75 inches.

- Proposed lot coverage of 54% of a lot which is approx. 68% (3403 SF) of the SR-1A maximum 40% specified for a 5000 SF lot.
- Air handling units approximately 1 foot from the western lot boundary within the 4 feet inner side yard requirement.
- Construction of a garage approx. 2 feet 9.25 inches from the adjacent residential building to the south, within the 10 feet requirement.

The proposals are reviewed against the Special Exception Standards in relation to the H Historic Preservation Overlay Zone and the SR-1A Zone in Attachment E of this report. See also preliminary zoning review dated 6/9/17 and the Applicant's response in Attachment E. Conclusions are further addressed under Key Issues below.

PUBLIC COMMENTARY

At the time of the completion of this report one request for the application materials has been received from a neighboring resident. No public commentary has been received. Any public comments or inquiries received subsequently will be forwarded to the Commission for their review.

KEY ISSUES

From the analysis of the proposals in this report and department review comments received, the following issues are identified. See in particular Attachments D, E, F & G of this report.

Issue 1: LOT COVERAGE

The lot coverage proposed in this instance is 54% of the lot area. The lot area is 3404 SF which is 68% of the zoning requirement. This is a small lot relative to the SR-1A standard of 5000 SF, with a zoning specification of 40% lot coverage. This is an in-line addition which steps in one foot from the existing west and east façades, thus coming closer to SR-1A specification of 4 feet and 10 feet respectively. The proposed reinstated front and side porch would project into the specified corner side yard by just over one foot, which is less than the projection of the existing two story porch structure, to be removed in these proposals. The minimum rear yard setback area required by zoning dimensional standards would be met. At approximately 68% of the standard lot area the lot coverage proposed in this application would be approximately 36.7% of a 5000 SF lot. Proposals are considered in this context, with a notable proportion of proposed lot coverage accounted for by the reinstated historic porch and the single car garage. Special exception approval in this instance, which avoids adverse effects upon historic context and character, recognizes the constraints of building within this historic lot area. In this instance a sound case can be made that the underlying zoning is not compatible with the existing development and lot pattern of this setting in the historic district.

Resolved with Special Exception Approval

Issue 2: DESIGN OF THE ADDITION

The form and design of the proposed addition appears to be sensitively considered as an alteration of the existing house. The addition continues existing roof slopes, ridges and eaves lines, and extends the existing geometry of the roofscape of the house. The scale and height proposed maintains the importance of the current house, and 'evolves' this in a manner which effectively integrates the proposed with the existing. Solid to void ratio, fenestration pattern, materials and detailing are designed to reflect the historic building, yet the addition would be readily distinguished as a subsequent modification, albeit a subtle one. The proposals accord with the design standards as informed by the residential design guidelines.

Resolved

Issue 3: PORCH REINSTATEMENT & EXTENSION

The proposals include the reconstruction of the original porch for the house, and its extension to serve the new addition. This aspect of the proposals would restore the single most important historic feature of the original house. Continuing the porch south several feet to serve the new addition is a logical integration of new with old and an enhancement of outdoor interactive space and use along this frontage. The owners identify some of the footings from the original porch as being apparent on site. The reconstructed porch would project less than the existing two story porch and deck structure. The projection into the corner side yard setback area is little more than a foot, with the "projection" being defined by zoning dimensional requirements applied in recent years and having no regard for, in this case, the history of this site and building. This would require separate Special

Exception approval which Staff would conclude could be readily justified by the positive impacts of restoring historic character for this house and this corner in the Avenues.

Resolved with Special Exception Approval

Issue 4: NEW GARAGE IN REAR YARD

The single car garage proposed for the rear yard area is separated from the proposed addition by a narrow patio space and is positioned 2 feet 9.25 inches away from the adjacent building to the south. The dimensions and the area of this lot provide little opportunity to achieve garage space elsewhere. This would be a single car garage, designed to be in character with similar structures in The Avenues and with this house. With the decline of the street it would equate in height with the eaves line of the reinstated porch. The proximity of the garage to the adjacent multifamily building to the south may have less impact upon the latter than the proximity and shade of existing tree cover which would be removed by this proposal. Here again, a sound case can be made that the provisions enshrined in the underlying zoning is not compatible with the existing development and lot pattern of the historic district.

Resolved with Special Exception Approval

Issue 5: AIR HANDLING UNITS WITHIN INNER SIDE YARD

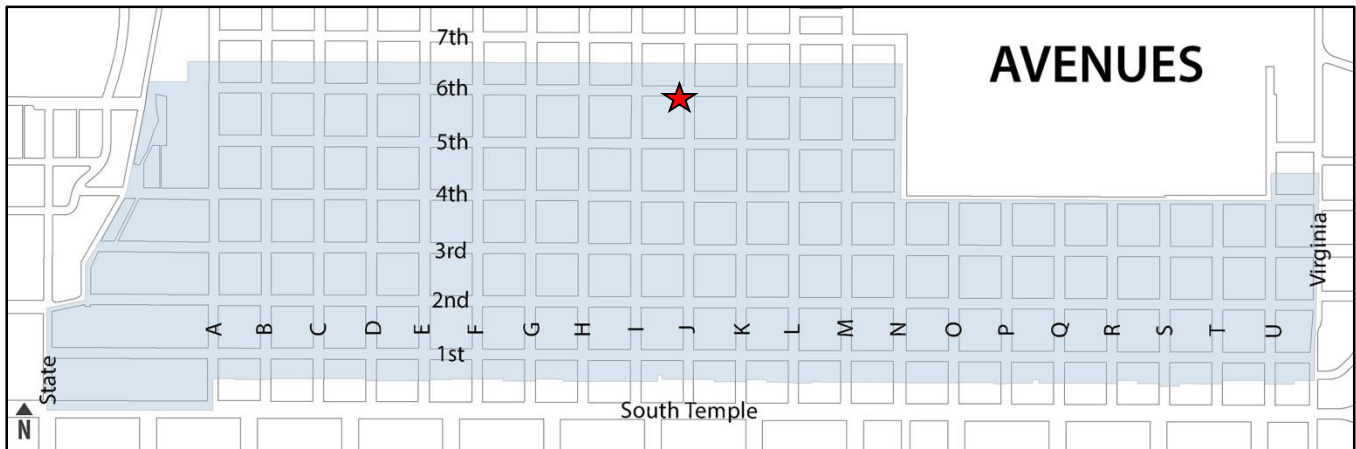
Two air conditioning units are proposed attached to the new west façade within one foot of the western property line. In this location special exception approval is required for such equipment located within the inner side yard setback area. The units would not be visible from the public way and few if any other location options appear to be available. Approval in this case, largely arising from the constraints of the lot, seems a reasonable request.

Resolved with Special Exception Approval

ATTACHMENTS:

- A. Historic District & Vicinity Maps
- B. Photographs
- C. Historic Photograph & Surveys
- D. Application Statements, Photographs & Plans
- E. SR-1A Zoning Standards & Special Exception Standards
- F. Design Standards for Alteration of a Contributing Structure & Guidelines for Additions
- G. Design Standards for Alteration of a Contributing Structure in a Historic District
- H. Previous HLC Minutes (Extract 1/5/17)
- I. Public Process and Comments

ATTACHMENT A: HISTORIC DISTRICT & VICINITY MAPS



★ *Approximate project location*



ATTACHMENT B: PHOTOGRAPHS – SITE & CONTEXT



J STREET



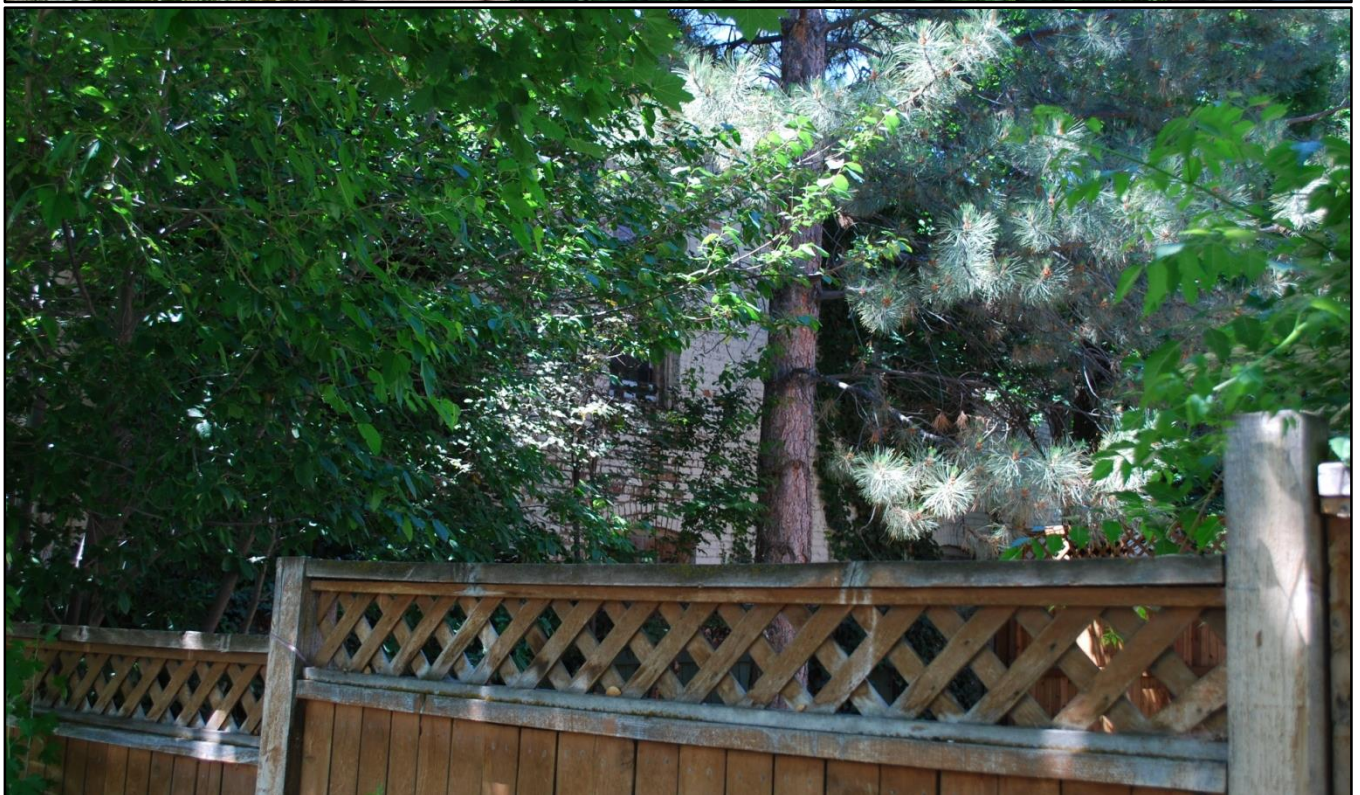


J STREET





638 6TH AVENUE – J STREET FACADE





638 6TH AVENUE





J STREET FAÇADE



LOCATION OF EXISTING & PROPOSED ADDITION ON J STREET



6TH AVENUE SETTING

ATTACHMENT C: HISTORIC PHOTOGRAPH & SURVEYS



Researcher: Lois Harris
Date: Feb. 26, 1979

Site No. _____

Utah State Historical Society
Historic Preservation Research Office
Structure/Site Information Form

1
IDENTIFICATION

Street Address: 638 6th Avenue Plat ^D Bl. 80 Lot 4
Name of Structure: T. R. S.
Present Owner: Finn, Daniel W. UTM:
Owner Address: 86 B Street, Salt Lake City Tax #: 041251

2
AGE/CONDITION/USE

Original Owner: James T. Shore Construction Date: 1900 ca Demolition Date:
Original Use: single family
Present Use: Occupants:
☒ Single-Family ☐ Park ☐ Vacant
☐ Multi-Family ☐ Industrial ☐ Religious
☐ Public ☐ Agricultural ☐ Other
☐ Commercial
Building Condition: Integrity:
☐ Excellent ☐ Site ☐ Unaltered
☒ Good ☐ Ruins ☒ Minor Alterations
☐ Deteriorated ☐ Major Alterations

3
STATUS

Preliminary Evaluation: Final Register Status:
☐ Significant ☐ National Landmark ☐ District
☒ Contributory ☐ National Register ☐ Multi-Resource
☐ Not Contributory ☐ State Register ☐ Thematic
☐ Intrusion

4
DOCUMENTATION

Photography:
Date of Slides: 5/77 Date of Photographs:
Views: Front ☒ Side ☐ Rear ☐ Other ☐ Views: Front ☐ Side ☐ Rear ☐ Other ☐
Research Sources:
☐ Abstract of Title ☒ City Directories ☐ LDS Church Archives
☒ Plat Records ☒ Biographical Encyclopedias ☐ LDS Genealogical Society
☐ Plat Map ☒ Obituary Index ☒ U of U Library
☐ Tax Card & Photo ☐ County & City Histories ☐ BYU Library
☐ Building Permit ☐ Personal Interviews ☐ USU Library
☐ Sewer Permit ☒ Newspapers ☒ SLC Library
☒ Sanborn Maps ☒ Utah State Historical Society Library ☐ Other

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

Salt Lake County Plat Abstract Records.
Polk, Salt Lake City Directory, 1898-1977.
"Shore, James T.," Deseret News, July 3, 1941, p.14.

Architect/Builder:

Building Materials: brick

Building Type/Style: Victorian eclectic

Description of physical appearance & significant architectural features:

(Include additions, alterations, ancillary structures, and landscaping if applicable)

This is a one-and-a-half story Victorian home. The main (west) part of the house has gable roofs and there is a hip-roofed east wing. The gables have returns. Upper walls are covered with patterned wood shingle siding, while the first story is brick. The sill and lintel of the front window are stone, and there is a transom. Side windows have brick arches with corbelled drip molding. A small aluminum and wrought iron front porch has been added.

-----Thomas W. Hanchett.



Statement of Historical Significance:

- | | | | |
|---|---|--|---|
| <input type="checkbox"/> Aboriginal Americans | <input type="checkbox"/> Communication | <input type="checkbox"/> Military | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Conservation | <input type="checkbox"/> Mining | <input type="checkbox"/> Science |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Minority Groups | <input type="checkbox"/> Socio-Humanitarian |
| <input type="checkbox"/> The Arts | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Political | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Industry | <input type="checkbox"/> Recreation | |

The Victorian Style and massing, characteristic complex roof shape, and wood shingle siding and brick construction of this home contribute to the architectural character of the Avenues.

According to the Plat Abstracts and the Salt Lake City Directory, this house was built for James T. Shore in 1900. James T. Shore was a native of Salt Lake, born to James and Harriet W. Shore on August 24, 1879. He lived at 275 J Street from 1893 to 1900. The Shore family owned many houses in this area including 638, 629, 633 and 627 5th Avenue. In the 1890's, James T. Shore was a blacksmith. Later he was an employee at the City Cemetery. He lived here until 1909. He died in SLC in 1941 and was survived by his wife Lily Ash Shore, two sons and two daughters.

In 1910 James T. Shore sold this house to Julius A. Hauerbach, a musician. Hauerbach lived here one year and sold it to John Hagman in 1911. Hagman, a tailor lived here until 1915. In 1918 Hagman sold the house to Kirtland D. Young. Mr. Young was the Assistant manager of the Utah Paper Box Company. He lived here from 1919 to 1925. In 1925 Albert Toronto bought this house. He was the manager of the Albert Toronto Real Estate Company and owned a number of rental properties in the Avenues.

From 1926 to 1948 John E. and Clara Oakason lived here. They purchased the house from Albert Toronto in 1932. John E. Oakason was a lieutenant in the Fire Department. From 1948 to 1952 Jesse P. and Jessie D. Bassett owned this house. The Bassetts sold this house to Eugene W. Sloan in 1952. He owned it until 1967 when it was sold to Daniel Nievaard. In 1976 Nievaard sold the house to Daniel Finn.





Architectural Survey Data for SALT LAKE CITY

Utah State Historic Preservation Office

6th Avenue — Avenues Historic District (SLC Landmark District)

RLS 2008, PAGE 9

Address/ Property Name	Eval/ Ht	OutB N/C	Yr.(s) Built	Materials	Styles	Plan (Type)/ Orig. Use	Survey Year RLS/ILS/Gen	Comments/ NR Status
618 E 6TH AVENUE	B	0/0	1907	DROP/NOVELTY SIDING	VICTORIAN: OTHER	OTHER RESIDENTIAL	08	79 SEPARATE DOUBLE HOUSE IN REAR: TAX RECORD SAYS 1903
		1			GREEK REVIVAL	SINGLE DWELLING		N04
? 618 E 6TH AVENUE	B	0/0	1907	DROP/NOVELTY SIDING	VICTORIAN: OTHER	DOUBLE HOUSE /	08	79 BEHIND 618: 618 1/2 & 1/4 6TH
		1.5			GREEK REVIVAL	MULTIPLE DWELLING		N04
621 E 6TH AVENUE	B	1/0	1899	REGULAR BRICK	VICTORIAN ECLECTIC	CENTRAL BLK W/ PROJ	08	79 UHF EASEMENT
		1				SINGLE DWELLING		N04
622 E 6TH AVENUE	B	0/0	1900	SHINGLE SIDING REGULAR BRICK	VICTORIAN ECLECTIC	RECTANGULAR BLOCK	08	79
		1.5				SINGLE DWELLING		N04
626 E 6TH AVENUE	B	0/0	1901	SHINGLE SIDING REGULAR BRICK	VICTORIAN ECLECTIC	CENTRAL BLK W/ PROJ	08	78
		1.5				SINGLE DWELLING		N04
627 E 6TH AVENUE	C	1/0	1898	REGULAR BRICK ALUM./VINYL SIDING	VICTORIAN ECLECTIC	CENTRAL BLK W/ PROJ	08	79 ROOFLINE MODIFIED c. 1975?
		1.5				SINGLE DWELLING		N04
633 E 6TH AVENUE	B	1/0	1903	SHINGLE SIDING REGULAR BRICK	VICTORIAN ECLECTIC	CENTRAL BLK W/ PROJ	08	79
		1.5				SINGLE DWELLING		N04
634 E 6TH AVENUE	B	0/0	1898	REGULAR BRICK ASBESTOS SIDING	VICTORIAN ECLECTIC	CENTRAL BLK W/ PROJ	08	79 LATER HISTORIC ROOF?
		1				SINGLE DWELLING		N04
638 E 6TH AVENUE	B	0/0	1900	SHINGLE SIDING REGULAR BRICK	VICTORIAN ECLECTIC	CENTRAL BLK W/ PROJ	08	79
		1.5				SINGLE DWELLING		N04
641 E 6TH AVENUE	B	0/0	1903	REGULAR BRICK SHINGLE SIDING	VICTORIAN ECLECTIC	CENTRAL BLK W/ PROJ	08	79
		1.5				SINGLE DWELLING		N04
653 E 6TH AVENUE	B	0/0	1945	STRIATED BRICK FLAGSTONE	POST-WWII: OTHER	ROW HOUSE	08	AKA 304 J ST
		1				MULTIPLE DWELLING		N04
657 E 6TH AVENUE	B	1/0	1901	SHINGLE SIDING REGULAR BRICK	VICTORIAN ECLECTIC	CENTRAL BLK W/ PROJ	08	79
		1				SINGLE DWELLING		N04

?=approximate address

Evaluation Codes: A=eligible/architecturally significant B=eligible C=ineligible/alterred D=ineligible/out of period U=undetermined/lack of info X=demolished

AVENUES HISTORIC DISTRICT (SLC Landmark District)
Salt Lake City, Salt Lake County, Utah

RECONNAISSANCE LEVEL SURVEY – 2008
6th Avenue, Page 9



618 E 6th Avenue
B



618? E 6th Avenue
B (in rear)



621 E 6th Avenue
B



622 E 6th Avenue
B



626 E 6th Avenue
B



627 E 6th Avenue
C



633 E 6th Avenue
B



634 E 6th Avenue
B



638 E 6th Avenue
B



641 E 6th Avenue
B



653 E 6th Avenue
(aka 304 J Street)



657 E 6th Avenue
B

ATTACHMENT D: APPLICATION STATEMENTS, PHOTOGRAPHS & PLANS

W I L L I A M S O N
A D D I T I O N & R E M O D E L

TO: Carl Leith, Senior Planner
Salt Lake City Planning Division
P.O. Box 145480
Salt Lake City, UT 84114-5480
p. 801.535.7758
e. carl.leith@slcgov.com

FROM: Thom Jakab - Architect
360 W. Broadway #233
Salt Lake City, UT 84101
p. 801.530.9867
e. thom@thomjakab.com

Representing:
Jim & Judy Williamson
638 6th Ave.
Salt Lake City, UT 84103
p. 801.244.5342 (Jim's cell)
p. 801.783.9960 (Judy's cell)
e. jwillfiddle@yahoo.com
e. judy.williamson@imail.org

DATE: May 12, 2017

RE: Historic Landmark Commission submittal for an addition and remodel of an existing residence located in the Avenues Historic District.

Dear Carl,

We are pleased to submit our proposal for a new addition and remodel of the Williamson residence located at 638 6th Ave, Salt Lake City UT, 84103. We offer to you two sets of documents: (1) this letter, which is a summary of our design objectives and; (2) a set of drawings illustrating how these objectives will be achieved. Our design objectives have been derived from the *Preservation Handbook for Historic Residential Properties and Districts in Salt Lake City*. It is our intention to organize and present our ideas in a format that reflects the given guidelines. Specifically, we will address three sections of the Handbook and concluded with a request for Special Exceptions required to execute our proposed design:

1. Part I, Section 4, Historic Context & Architectural Styles, 4:12 Victorian Eclectic
2. Part II, Chapter 8. Additions
3. Part II, Chapter 9. Accessory Structures
4. Conclusion & Request for Special Exceptions

1. Part I, Section 4, Historic Context & Architectural Styles, 4:12 Victorian Eclectic

There is sufficient stylistic evidence to conclude that the existing residence, originally built in 1903, most closely falls into the category of Victorian Eclectic. The core of the home is a "central block with projecting wings". The following characteristics listed on page 4:12 are in-line with design language of this home:

description continued

- Hipped roof over the main block; projecting wing with front-facing gable.
- Porch with shed roof on one-story; often a gable on two-story examples.
- Usually round columns.

Note:

No evidence of any tripartite, often Palladian window in upper story of gable or tripartite division of windows on projecting wing.

The image below, provided by the Utah State Historical Society, is a glimpse into the home's original massing and porch features. This image solidifies its stylistic definition as Victorian Eclectic and is the inspiration for our new design.

Exhibit A



2. Part II, Chapter 8. Additions

There have been two insignificant additions made since 1903. The first involved the demolition of the original porch, which was replaced by a smaller balcony / covered porch at the east side of the home. The second was a rear kitchen addition at the main level that included an attached, one car garage directly below the kitchen at the basement level. We consider these additions insignificant because they are not compatible with the original building and have little to no design associated with the period of historic significance.

The current balcony / covered porch is constructed with square columns that have a vertical rather than horizontal emphasis. These characteristics are contrary to the Victorian Eclectic style which often included a shed roof on one-story and round columns. The original porch certainly had a horizontal rather than a vertical emphasis. *Refer to exhibit B on next page.*

The rear kitchen addition, although subservient in scale to the primary structure, is clad in eight-inch, asphalt siding, composed of horizontal, sliding windows and enclosed by a hipped-shed roof. None of these characteristics are contributing to the Victorian Eclectic style nor do they reinforce the original design geometrically or compositionally: The defining characteristic of the original home is defined by its hipped roof, main block with three of its sides supporting gable ends. *Refer to exhibit C on next page.*

description continued

Exhibit B



Exhibit C



Design Objectives:

As noted on page 8:1 & 8.2, “the design of a new addition to a historic building should ensure that the building’s early character is maintained...with the objective of designing an addition which is sensitive to the character and integrity of the building.” To meet this objective, our proposal for a new addition and remodel of the Williamson residence is generated by the following programmatic and formalistic approach:

1. All effort has been made to build within the existing envelope. We will remove an interior bearing wall on the main level to create an “open plan” for the kitchen and dining room. At the basement level, a new rear entrance connects to a new mudroom and guest toilet - located directly below the new kitchen / dining space above.
2. A new addition to the primary structure is proposed for the rear, rather than the side of the home. To meet a desire for a master bedroom on the main level, we intend to demolish the existing rear kitchen and one car garage. In its place, a new master suite will be built adjacent to the new kitchen / dining room with a new workshop below in the basement.
3. A new wrap-around porch is integral to the addition as it shares a common roof line and reintroduces the original porch design. This new porch is more compatible with the Victorian Eclectic style: a single-story, shed roof structure with round columns.

To continue our description of the new addition and remodel, we would like to highlight and respond to each bold face guideline listed in Chapter 8, Additions, sections 8.1 thru 8.10, and Ground Level Additions, sections 8.11 thru 8.13.

8.1 An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.

- Loss or alteration of architectural details, cornices and eave lines, for example should be avoided.

RESPONSE • No architectural details, cornices or eave lines will be lost or altered.

8.2 An addition should be designed to be compatible in size and scale with the main building.

- An addition should be set back from the primary facades in order to allow the original proportions and character of the building to remain prominent.
- The addition should be kept visually subordinate to the historic portion of the building.
- If it is necessary to design an addition that is taller than the historic building, it should be set back substantially from significant facades, with a “connector” link to the original building.

RESPONSE • The addition is setback from each primary facade by one-foot, two-inches (1'-2").

- The addition is kept visually subordinate to the historic portion of the building by its setback, scale, and subtle change in material.
- The addition is not taller than the historic building.

8.3 An addition should be sited to the rear of a building or set back from the front to minimize the visual impact on the historic structure and to allow the original proportion and character to remain prominent.

- Locating an addition at the front of a structure is usually inappropriate.

RESPONSE • The addition is sited to the rear of a building.

8.4 A new addition should be designed to be recognized as a product of its own time.

- An addition should be made distinguishable from the historic building, while also remaining visually compatible with historic features.
- A change in setbacks of the addition from the historic building, a subtle change in material, or the use of modified historic or more current styles are all techniques that may be considered to help define a change from old to new construction.
- Creating a jog in the foundation between the original building and the addition may help to establish a more sound structural design to resist earthquake damage, while helping to define it as a later addition.

RESPONSE • The addition is distinguishable from the historic building by its setback, scale and subtle change in material.
• The addition is setback from each primary facade by one-foot, two-inches (1'-2").
• There is a jog in the foundation between the original building and the addition.

8.5 A new addition should be designed to preserve the established massing and orientation of the historic building

- For example, if the building historically has a horizontal emphasis, this should be reflected in the addition.

RESPONSE • The building historically had a horizontal emphasis, however, as previously mentioned, the recent balcony / open porch on the east facade does not preserve the established massing and orientation of the historic building. Hence, our rationale for removing and rebuilding the original porch is an effort to reintroduce the horizontal emphasis.

8.6 A new addition or alteration should not hinder one's ability to interpret the historic character of the building or structure.

- A new addition that creates an appearance inconsistent with the historic character of the building is inappropriate.
- An alteration that seeks to imply an earlier period than that of the building should be avoided.
- An alteration that covers historically significant features should be avoided.

- RESPONSE
- All proposed design solutions are an attempt to reinforce the language of the Victorian Eclectic style. At its core, the addition is another projecting wing from the central block and the one-story, shed roof porch with round columns are in-line with the original style and massing of the home.
 - Any alterations do not seek to imply an earlier period.
 - No historically significant features will be covered.

8.7 When planning an addition to a building, the historic alignments and rhythms that may exist on the street should be defined and preserved.

- Some roof lines and porch eaves on historic buildings in the area may align at approximately the same height. An addition should not alter these relationships.
- Maintain the side yard spacing, as perceived from the street, if this is a characteristic of the setting.

- RESPONSE
- The addition does not alter roof lines and porch eaves.
 - The new porch is setback from the street approximately the same distance as the current balcony / open porch at the east facade. This structure will be removed and replaced with a design akin to the original 1903 shed roof porch.

8.8 Exterior materials that are similar to the historic materials of the primary building or those used historically should be considered for a new addition.

- Painted wood clapboard, wood shingle and brick are typical of many historic residential additions.
- See also the discussion of specific building types and styles, in the History and Architectural Styles section of the guidelines.
- Brick, CMU, stucco or panelized products may be appropriate for some modern buildings.

- RESPONSE
- Horizontal wood siding will be used for the addition on the main level and stone cladding will be used on the basement addition and porch foundation wall.

8.9 Original features should be maintained whenever possible when designing an addition.

- Construction methods that would cause vibration which might damage historic foundations should be avoided.
- New drainage patterns should be designed to avoid adverse impacts to historic walls and foundations.
- New alterations also should be designed in such a way that they can be removed without destroying original materials or features whenever possible.

- RESPONSE
- The foundation for the new structure will be CMU, which will minimize, if not eliminate, any construction vibration and mitigate damage to the existing foundation.
 - The existing drainage patterns will not be significantly altered. All water will run away - downhill - from the existing historic walls and foundations.
 - Although unavoidable in some areas of the design, we will attempt to minimize destroying original material.

8.10 The style of windows in the addition should be similar in character to those of the historic building or structure where readily visible.

- If the historic windows are wood, double-hung, for example, new windows should appear to be similar to them, or a modern interpretation.

RESPONSE • There are two types of windows used in the addition: aluminum-clad, double-hung and casement windows. All windows on the main level will be double-hung. We are replacing the existing french doors on the east gable dormer with a set of two casement windows. Casement windows were selected to provide proper egress out of the bedroom.

Ground Level Additions

8.11 A new addition should be kept physically and visually subordinate to the historic building.

- The addition should be set back significantly from primary facades.
- The addition should be consistent with the scale and character of the historic building or structure.
- Large additions should be separated from the historic building by using a smaller connecting element to link the two where possible.

RESPONSE • The addition is setback from each primary facade by one-foot, two-inches (1'-2").

- The addition will be consistent with the scale and character of the historic building. Please refer to comments in previous sections regarding our approach to improving / emphasizing the Victorian Eclectic style.
- Due to the scale of the addition and limits of the site, a connecting link is not feasible.

8.12 Roof forms should be similar to those of the historic building.

- Typically, gable, hip and shed roofs are appropriate.
- Flat roofs are generally inappropriate, except where the original building has a flat roof.

RESPONSE • The roof forms of the addition include a gable and hip.

- There are no flat roofs proposed.

8.13 On primary facades of an addition, a 'solid-to-void' ration that is similar to that of the historic building should be used.

- The solid-to-void is the relative percentage of wall to windows and doors seen on the facade.

RESPONSE • The solid-to-void is similar to the existing percentage of wall to window.

3. Part II, Chapter 9. Accessory Structures

We are proposing a new, detached, one-car garage at the southern end of the property. The design intent of this new accessory structure is to echo the form and detailing of the new addition, but in a scaled down, subservient manner.

4. Conclusion & Request for Special Exceptions

Thank you for reviewing our project and being our advocate during the HLC review process. It is our belief that this new design approach is more congruent with the historic guidelines and will greatly improve the quality of the home and neighborhood. In order to achieve our project goals outlined in this letter, we require some zoning exceptions. Below are sections of the SLC Zoning Ordinance for the SR-1A District that require Special Exceptions:

1. Maximum Building Height;
2. Accessory Buildings and Structures in Yards - Porches (attached, covered and unenclosed) projecting five feet (5') or less are only allowed in the rear yard;
3. Accessory Buildings and Structures in Yards - Accessory buildings shall be at least 10 feet from a principal residential building on an adjacent lot;
4. Accessory Buildings and Structures in Yards - Cooling and heating equipment shall not be located less than 4 feet from a lot line;
5. Maximum Building Coverage.

1. Maximum Building Height;

A public record, dated May 16, 2012, which was previously submitted for a neighboring property (279 J-Street) has been acquired from public records. This document provides surveying data for building heights of the houses on the west side of J-Street, between 5th and 6th Avenue. If we're granted permission to use this document for our project, the proposed addition will easily fit within the approved height limit of twenty-seven point sixty-one feet (27.61'). *This document is attached to the end of this letter.*

2. Accessory Buildings and Structures in Yards - Porches (attached, covered and unenclosed) projecting five feet (5') or less are only allowed in the rear yard;

The Corner Side Yard for SR-1A is ten feet (10'). According to Table 21A.36.020B Obstructions in Required Yards, Porches (attached, covered and unenclosed) projecting five feet (5') or less are only allowed in the rear yard. However, the existing balcony / covered porch on the east facade of the primary structure, which has a depth of six feet, six inches (6'-6") is currently eight feet, four and a quarter inches (8'- 4 1/4") from the property line. It our intention to rebuild the porch to a point no closer than eight feet, nine and one-half inches (8'-9 1/2") from the property line.

3. Accessory Buildings and Structures in Yards - Accessory buildings shall be at least 10 feet from a principal residential building on an adjacent lot;

This property is considered to be a legal, non-conforming lot. The existing lot area is 0.08 acres or three-thousand, four-hundred and three square feet (3,403 sf), which does not meet the minimum lot area of five-thousand square feet (5000 sf) or a width of fifty feet (50') for a single-family detached dwelling established on April 12, 1995. We are seeking permission to build an accessory building two feet, nine and a quarter inches (2'-9 1/4") from a principal residential building on an adjacent lot to the south.

4. Accessory Buildings and Structures in Yards - Cooling and heating equipment shall not be located less than 4 feet from a lot line;

Again, due to the limitations of the lot size noted above, we have very few options for placement of new mechanical equipment. The historic guidelines suggest that, "whenever feasible, the visual impacts of such systems should be minimized such that the historic character is not negatively affected. Locating equipment so that it is screened from public view is the best approach." Our solution to screening the new mechanical equipment is to place it behind the new addition, out of sight from the street, along the west facade of the primary structure - adjacent to the interior lot line. To achieve this screening, we are seeking approval to place the new equipment one foot (1') from the property line.

5. Maximum Building Coverage;

Lastly, the zoning ordinance for maximum building coverage does not allow the area of the combined total of principal and accessory buildings to exceed forty percent (40%) of the lot area. Currently, the existing building to lot area ratio is thirty-three percent (1119 sf / 3403 sf = 33%). The proposed addition and accessory structure results in a lot to area ratio of fifty-four percent (1854 sf / 3403 sf = 54%). If this lot were actually five-thousand square feet (5000 sf), a building area of one-thousand, eight-hundred, and fifty-four square feet (1854 sf) would result in a lot to area ration of thirty-seven percent (1854 sf / 5000 sf = 37%). Because this property and structure was in existence prior to April 12, 1995 we are seeking relief from the maximum building coverage and request approval for a fifty-four percent (54%) coverage.

279

281 J-STREET, SALT LAKE CITY, UTAH 84103

HOUSE HEIGHT AVERAGE = 27.61 FEET

Sidwell Numbers	Address	House Height [ft]	Height
09-32-306-012	638 E SIXTH AVE	27.47	
09-32-306-013	285 J-STREET	32.36	
09-32-306-014	281 J-STREET	34.48	
09-32-306-015	279 281 J-STREET	N/A	
09-32-306-016	275 J-STREET	18.82	
09-32-306-022	633 E FIFTH AVE	24.93	
TOTAL/AVERAGE	5 HOUSES	27.61	

NOTE:

heights

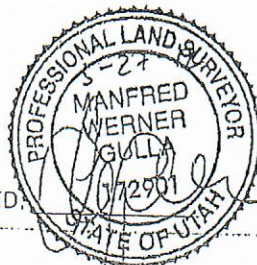
THIS IS A LIST OF HEIGHTS FOR HOUSES ON THE WEST SIDE OF J-STREET BETWEEN 5TH AND 6TH AVENUE FROM THE HIGHEST (ROOF) TO THE LOWEST (GROUND) POINT.

SURVEYORS CERTIFICATE:

SURVEYOR'S CERTIFICATE

I, Manfred W. Gulla, do hereby certify that I am a Registered Land Surveyor licensed to practice in the State of Utah and that I hold License No. 172901. I further certify that I have made a survey of the parcel of land shown and described on this map. I further certify that the survey was conducted using generally accepted surveying practices.

Manfred W. Gulla
Utah Registered Land Surveyor
License No. 172901



DATE: 5-16-2012

SIGNED:

HOUSE HEIGHT

W I L L I A M S O N

A D D I T I O N & R E M O D E L

TO: Carl Leith, Senior Planner
Salt Lake City Planning Division
P.O. Box 145480
Salt Lake City, UT 84114-5480
p. 801.535.7758
e. carl.leith@slcgov.com

FROM: Thom Jakab - Architect
360 W. Broadway #233
Salt Lake City, UT 84101
p. 801.530.9867
e. thom@thomjakab.com

Representing:
Jim & Judy Williamson
638 6th Ave.
Salt Lake City, UT 84103
p. 801.244.5342 (Jim's cell)
p. 801.783.9960 (Judy's cell)
e. jwillfiddle@yahoo.com
e. judy.williamson@imail.org

DATE: June 28, 2017

RE: Building materials addendum for the Historic Landmark Commission submittal.

New Addition

- Roof: Asphalt shingles;
- Eaves: Crown molding & fascia to be painted wood for the high roof. Painted aluminum gutters will be used in lieu of the crown molding at the lower roof;
- Soffit: Painted wood;
- Main Level Walls: Frieze board, door and window trim to be painted wood. Siding to be stained wood. Skirt board with drip cap to be painted wood;
- Doors & Windows: Shop garage door to be stained wood. New mudroom entry door to be painted fiberglass. Windows to be Aluminum clad / wood;
- Porch: Frieze board to be painted wood. Columns to be painted fiberglass. Railing system to be painted wood. Skirt board to be painted wood;
- Basement & Porch Walls - *below deck*: Stone - full veneer. Porch skirt board to be painted wood.

Garage

- Roof: Asphalt shingles;
- Eaves: Crown molding & fascia to be painted wood. Note: painted aluminum gutters to be installed at the north and south eave lines;
- Soffit: Painted wood;
- Walls: Frieze board & door trim to be painted wood. Siding to be stained wood;
- Garage Door: Painted steel.

Landscape elements

- 3' entry gate and planter box @ rear patio (see east elevation 2 / A2.1) to be rusted steel. Also planter box @ west side of rear patio (see west elevation 2 / A2.2) to be rusted steel.
- Existing cedar fencing to be repaired and replaced as needed.

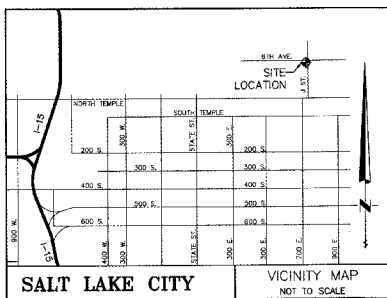
ALTA/ACSM LAND TITLE SURVEY

LOCATED IN
SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN

PREPARED FOR:
JUDY WILLIAMSON

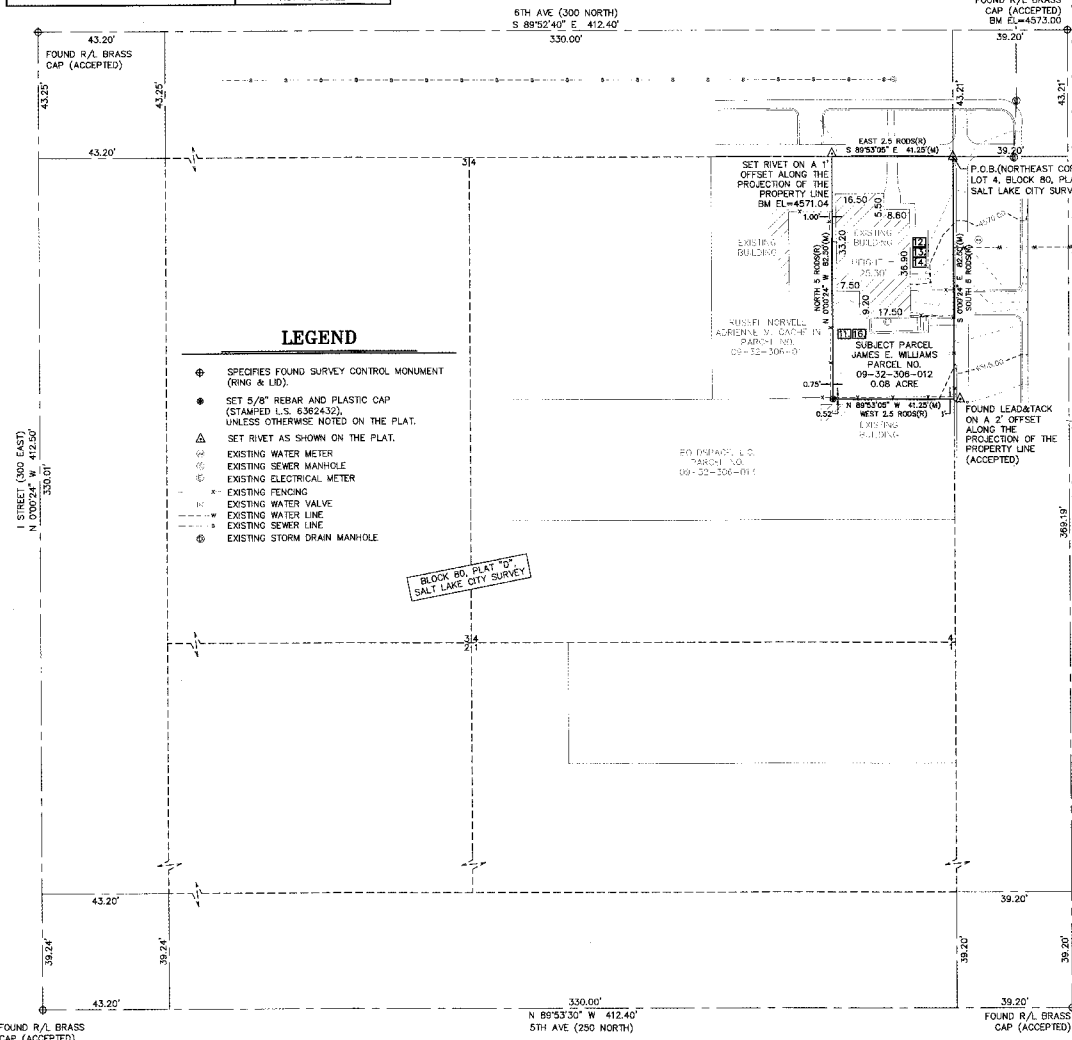
NOTES

1. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS ALTA/ACSM LAND TITLE SURVEY TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES, PLEASE CONTACT THE APPROPRIATE AGENCIES OR OTHER.
2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
3. ALL COURSES SHOWN IN PARENTHESES ARE RECORD INFORMATION TAKEN FROM DEED DESCRIPTION OR OFFICIAL MAPS OR PLATS OF RECORD. ALL OTHER COURSES ARE THE RESULT OF ACTUAL FIELD MEASUREMENTS.
4. THE FIELD WORK WAS PERFORMED ON MAY 19, 2014.



SALT LAKE CITY

VICINITY MAP
NOT TO SCALE



SURVEYOR'S CERTIFICATE

TO: LENDER, OWNER OR BUYER, TITLE COMPANIES AND THE SUCCESSORS, ASSIGNS, NOMINEES AND/OR DESIGNEES OF EACH OF THE FOREGOING NAMED PARTIES.

I, ROBERT R. HERMANDSON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD LICENSE NO. 6362432 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH AND THAT I HAVE MADE A SURVEY OF THE BOUNDARIES OF THE FOLLOWING DESCRIBED PROPERTY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2011, AND INCLUDES ITEMS 2, 3, 4, 5, 6(A), 7(A), 7(B), 7(C), 8, 9, 10(A), 11(A), 11(B), 13, 14, 16, AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF UTAH, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.



6-23-19

DATE:
BUSH AND GUDGELL, INC.

ROBERT R. HERMANDSON
REGISTERED LAND SURVEYOR
UTAH LICENSE NUMBER 6362432

BOUNDARY DESCRIPTION

COMMENCING AT THE NORTHEAST CORNER OF LOT 4, BLOCK 80, PLAT "D", SALT LAKE CITY SURVEY, AND RUNNING THENCE SOUTH 5 RODS; THENCE WEST 2.5 RODS; THENCE NORTH 5 RODS; THENCE EAST 2.5 RODS TO THE POINT OF BEGINNING.

NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO RE-ESTABLISH THE BOUNDARY CORNERS OF THE ABOVE DESCRIBED PARCEL. THE SURVEY WAS PERFORMED AT THE REQUEST OF OUR CLIENT, THE BASIS OF BEARING FOR THIS SURVEY IS S 00°24' E ALONG THE CENTER LINE OF J STREET, BETWEEN TWO RING AND LID MONUMENTS, TYPE AND LOCATIONS OF WHICH ARE SHOWN ON THIS PLAT.

WESTCOAST LAND TITLE INSURANCE COMPANY
FILE NUMBER: 14-6502, MAY 20, 2014 AT 8:00 A.M.

SCHEDULE B - SECTION 2: EXCEPTIONS

1. TAXES FOR 2014, WHICH ARE NOW A LIEN BUT ARE NOT YET DUE, AND SUBSEQUENT YEARS THEREAFTER. TAXES FOR 2013 HAVE BEEN PAID IN THE AMOUNT OF \$1,589.28 (SERIAL NO. 09-32-306-012). NOT PLOTTABLE.
2. SUBJECT REAL PROPERTY IS LOCATED WITHIN THE BOUNDS OF SALT LAKE CITY AND IS SUBJECT TO CHARGES AND ASSESSMENTS THEREOF. SPECIAL ASSESSMENTS BALANCE IS ZERO. NOT PLOTTABLE.
3. NOTICE OF LOCATION WITHIN AN HISTORIC DISTRICT, WHEREIN NOTICE IS GIVEN THAT THE SUBJECT REAL PROPERTY IS LOCATED WITHIN THE SALT LAKE CITY AVENUES HISTORIC DISTRICT; RECORDED JULY 25, 1995, AS ENTRY NO. 6129822, IN BOOK 7191, AT PAGE 2168, SALT LAKE COUNTY RECORDER. AS SHOWN.
4. TERMS AND CONDITIONS OF THAT CERTAIN ABSTRACT OF FINDINGS AND ORDER, CASE NO. 7800, RECORDED SEPTEMBER 25, 1976, AS ENTRY NO. 3172973, IN BOOK 4744, AT PAGE 1127, SALT LAKE COUNTY RECORDER. AS SHOWN.
5. TERMS AND CONDITIONS OF THAT CERTAIN ABSTRACT OF FINDINGS AND ORDER, CASE NO. 8464, RECORDED DECEMBER 2, 1980, AS ENTRY NO. 3508993, IN BOOK 5185, AT PAGE 447, SALT LAKE COUNTY RECORDER. AS SHOWN.
6. TERMS AND CONDITIONS OF THAT CERTAIN ABSTRACT OF FINDINGS AND ORDER, CASE NO. 8464, RECORDED MARCH 9, 1981, AS ENTRY NO. 3541975, IN BOOK 5222, AT PAGE 1148, SALT LAKE COUNTY RECORDER. AS SHOWN.
7. DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, ENCROACHMENTS, OVERLAPS, VARIATIONS OR SHORTAGE IN AREA OR CONTENT, PARTY WALLS AND ANY OTHER MATTERS THAT WOULD BE DISCLOSED BY A CORRECT SURVEY AND/OR PHYSICAL INSPECTION OF THE LAND. NONE OBSERVED.
8. DEED OF TRUST DATED AUGUST 1, 2011, SECURING AN INDEBTEDNESS IN THE AMOUNT OF \$200,777.00, TOGETHER WITH ANY OTHER AMOUNTS PAYABLE THEREUNDER, EXECUTED BY JAMES E. WILLIAMSON, AN UNMARRIED MAN, AS TRUSTOR(S) IN FAVOR OF MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC. ("MERS"), SOLELY AS NOMINEE FOR CITYWIDE HOME LOANS AND ITS SUCCESSORS AND ASSIGNS, AS BENEFICIARY, WITH PARAMOUNT TITLE CORPORATION, AS TRUSTEE, RECORDED AUGUST 2, 2011, AS ENTRY NO. 11222003, IN BOOK 9940, AT PAGE 7306, SALT LAKE COUNTY RECORDER. AS SHOWN.

TABLE "A" REQUIREMENTS

1. THE SURVEYED PROPERTY ADDRESS IS: 638 EAST 6TH AVENUE, SALT LAKE CITY, UT.
2. THE SURVEYED PROPERTY IS LOCATED WITHIN ZONE "X", "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"; ACCORDING TO THE FLOOD INSURANCE RATE MAP WITH COMMUNITY PANEL NO. 49035C01630.
3. GROSS LAND AREA = 3,403 SQUARE FEET OR 0.08 ACRE.
4. VERTICAL RELIEF WITH THE SOURCE OF INFORMATION (E.G. GROUND SURVEY OR AERIAL MAP), CONTOUR INTERVAL, DATUM, AND ORIGINATING BENCHMARK IDENTIFIED.
5. THIS PROPERTY IS IN BUILDING ZONE "SR-1A", SPECIAL DEVELOPMENT PATTERN RESIDENTIAL.
6. (A). EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL AS SHOWN.
(B). EXTERIOR FOOTPRINT OF ALL BUILDINGS, AT GROUND LEVEL AS SHOWN.
(C). BUILDING HEIGHTS, AS SHOWN.
7. OBSERVED SUBSTANTIAL VISIBLE IMPROVEMENTS, SIGNS, PARKING, STRUCTURES AND UTILITIES, AS SHOWN.
8. THERE ARE 0 REGULAR AND 0 HANDICAP PARKING STALLS ON SITE.
9. (A). OBSERVED IMPROVEMENTS ALONG ALL PROPERTY LINES ARE AS SHOWN.
10. (A). OBSERVED EVIDENCE OF UTILITIES ARE AS SHOWN.
11. (B). OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLANS OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT, AND MARKINGS BY UTILITY COMPANIES AND OTHER APPROPRIATE SOURCES ARE AS SHOWN.
12. NAMES OF ADJOINING OWNERS OF PLATTED LANDS WITH SIDWELL NO. AND/OR RECORDING DATA, AS SHOWN.
13. DISTANCE TO THE NEAREST INTERSECTING STREET, AS SHOWN.
14. NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
15. NO OBSERVED EVIDENCE OF SITE BEING USED AS A SOLID WASTE DUMP.

BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors
1000 West 1000 South, Suite 100
Salt Lake City, UT 84119
Phone: (801) 588-1100 Fax: (801) 588-1199



Drawn: JBL Date: 1/2014
Checked: JBL
Approved: JBL
Scale: 1"=200'
Sheet No: 1/2000

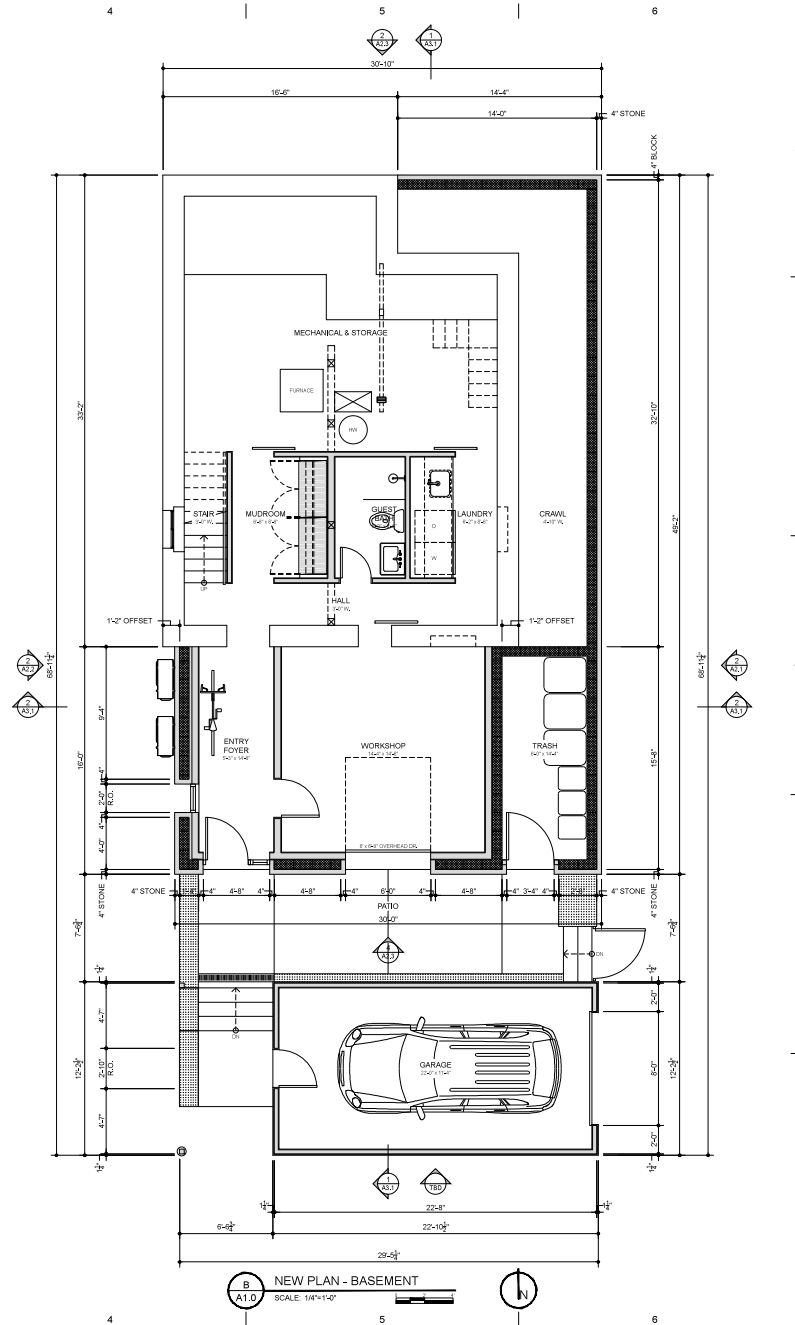
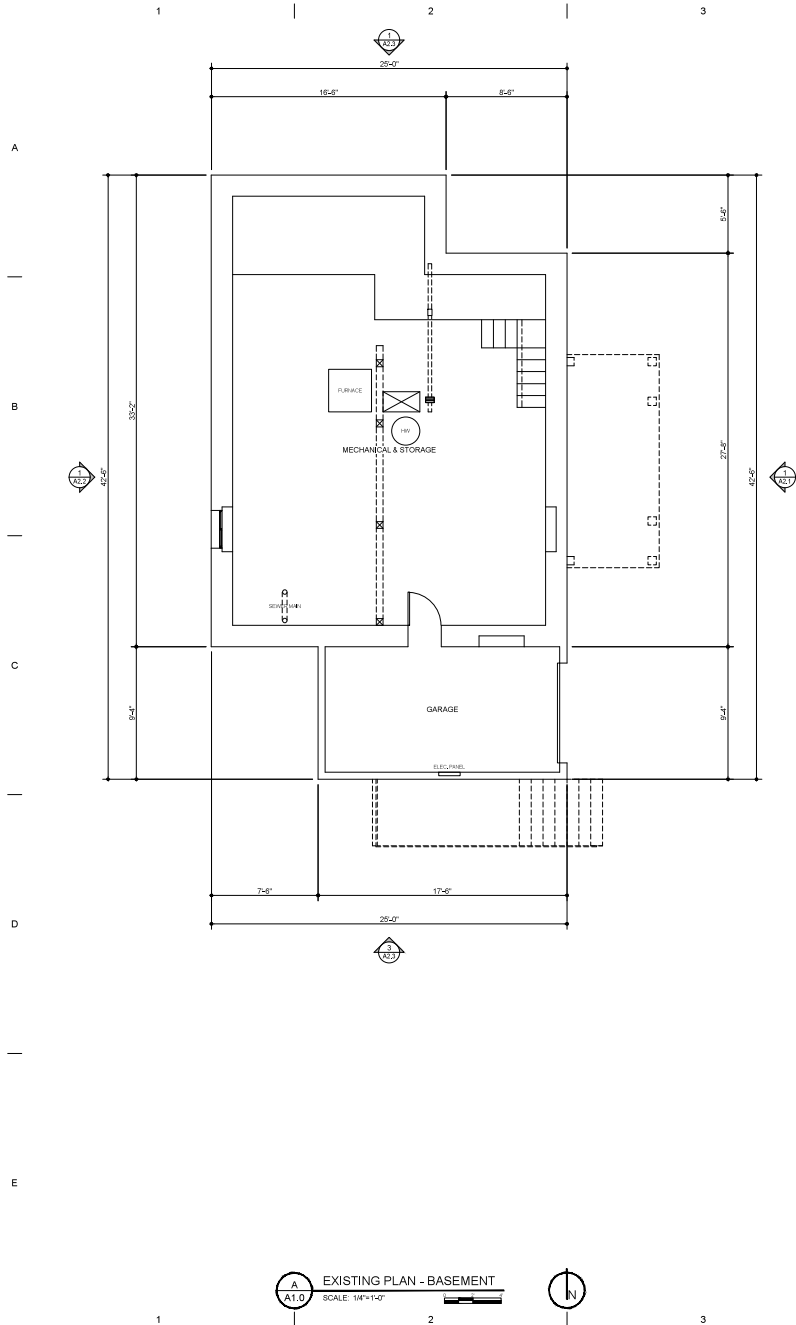
ALTA/ACSM LAND TITLE SURVEY
LOCATED IN
SW 1/4 OF SECTION 32, T-1-N, R-1-E, S-4E-AM
638 EAST 6TH AVENUE, SALT LAKE CITY, UTAH
PREPARED FOR: JUDY WILLIAMSON

SHEET

1

1

FILE: 142050



FLOOR PLANS - BASEMENT
EXISTING & NEW
SCALE: 1/4" = 1'-0"

HLC SUBMITTAL

WILLAMSON ADDITION & REMODEL
688 5TH AVENUE
SALT LAKE CITY, UT 84103

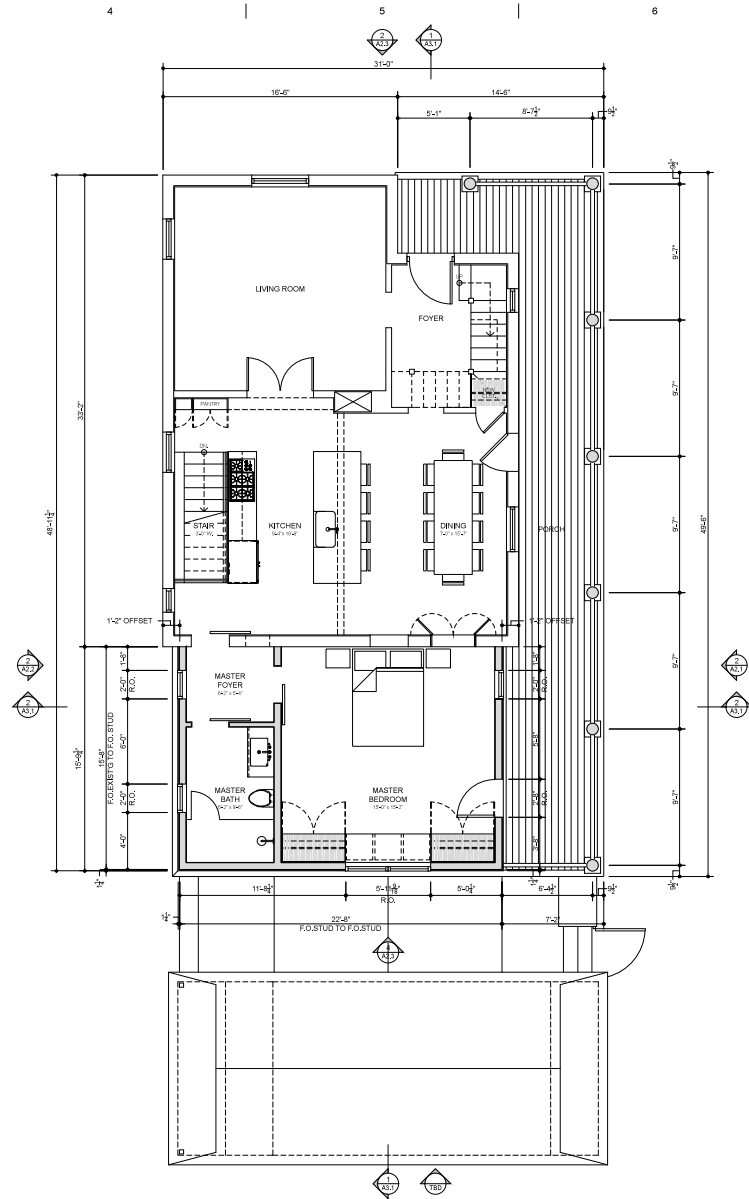
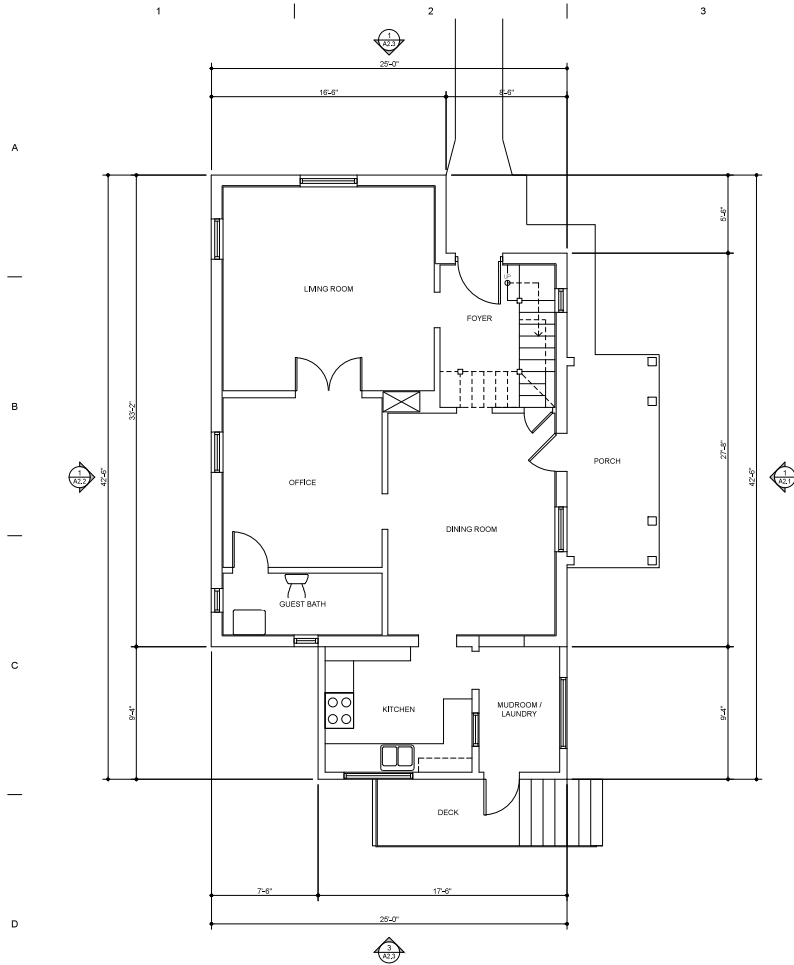
THOM JAKAB - AIA
550 WEST BROADWAY
SALT LAKE CITY, UT 84101

THESE DRAWINGS
ARE THE PROPERTY
OF THOM JAKAB
ARCHITECT, INC.
AND SHALL REMAIN
THE PROPERTY OF
THOM JAKAB
ARCHITECT, INC.
NO PART OF THESE
DRAWINGS SHALL
BE REPRODUCED
OR TRANSMITTED
IN ANY FORM OR
BY ANY MEANS
ELECTRONIC OR
MECHANICAL,
INCLUDING
PHOTOCOPYING,
RECORDING, OR
BY ANY INFORMATION
SYSTEM, WITHOUT
THE WRITTEN
CONSENT OF
THOM JAKAB
ARCHITECT, INC.

042017

06.21.17

A1.0



FLOOR PLANS - MAIN LEVEL
EXISTING & NEW

SCALE: 1/4" = 1'-0"

HLC SUBMITTAL

WILLIAMSON ADDITION & REMODEL
688 6TH AVENUE
SALT LAKE CITY, UT 84103

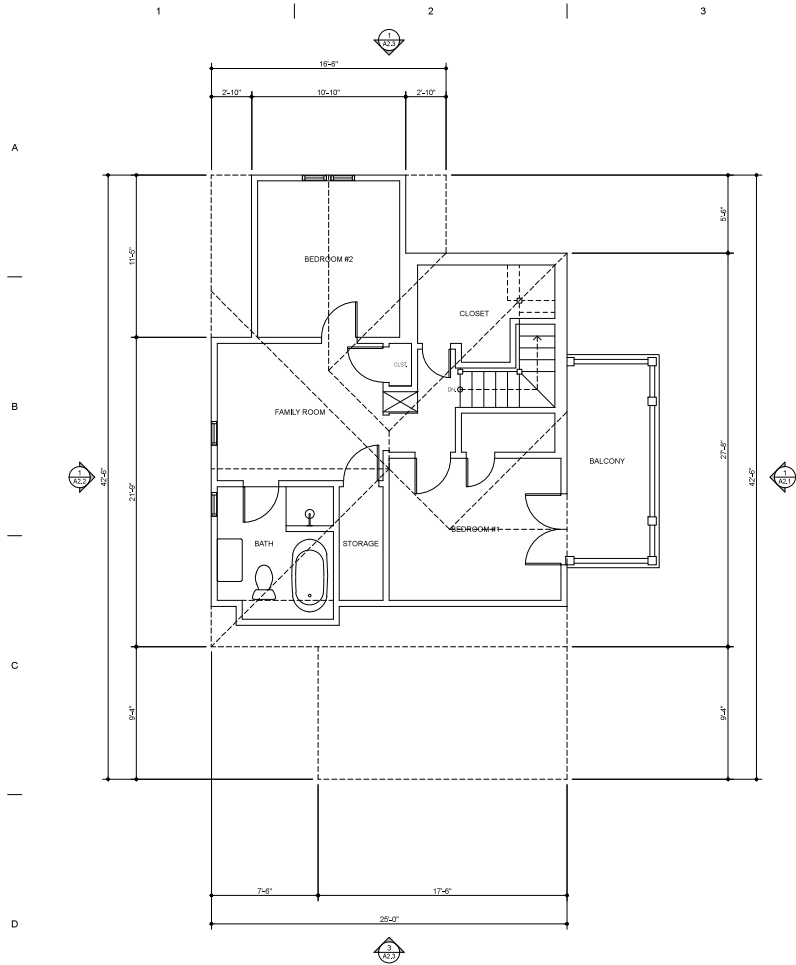
THOM JAKAB - AIA
550 WEST BROADWAY #213
SALT LAKE CITY, UTAH 84101

THESE DOCUMENTS
ARE THE PROPERTY
OF THOM JAKAB
ARCHITECT, INC.
AND SHALL REMAIN
THE PROPERTY OF
THOM JAKAB
ARCHITECT, INC.
IF YOU ARE NOT
THE ARCHITECT,
YOU MAY NOT
REPRODUCE OR
TRANSMIT THESE
DOCUMENTS IN
ANY FORM OR BY
ANY MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THOM JAKAB ARCHITECT, INC.

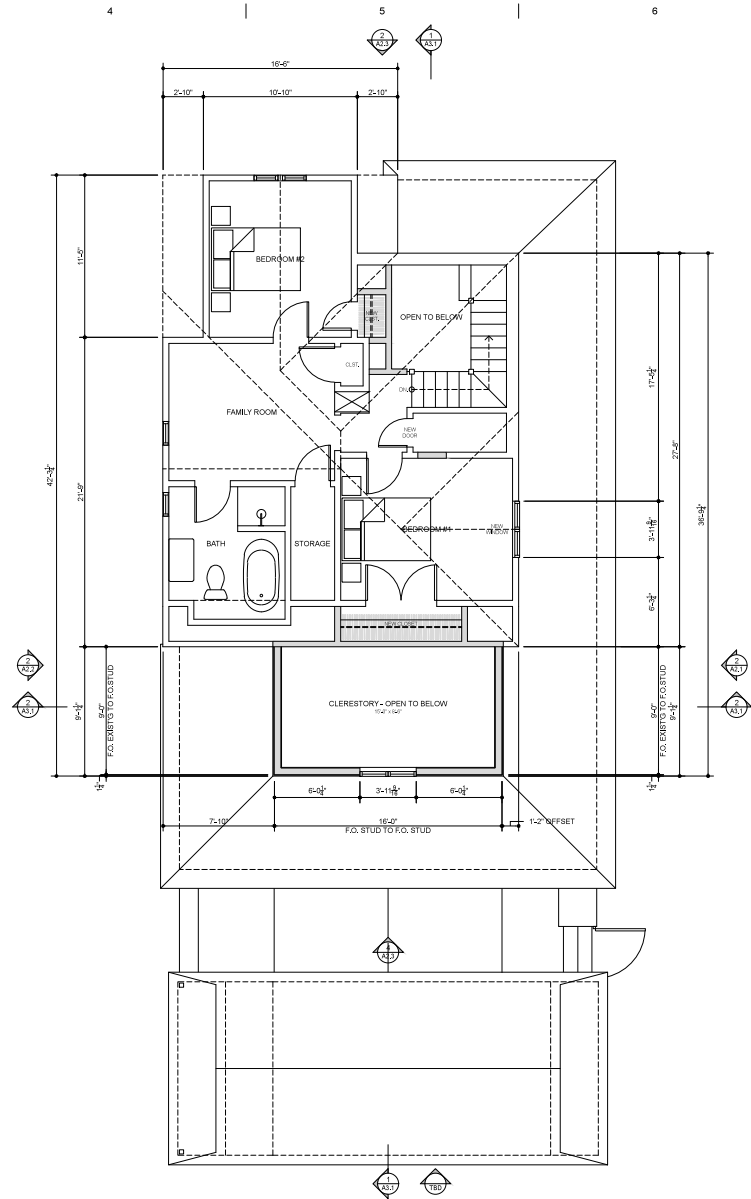
042017

06.21.17

A1.1

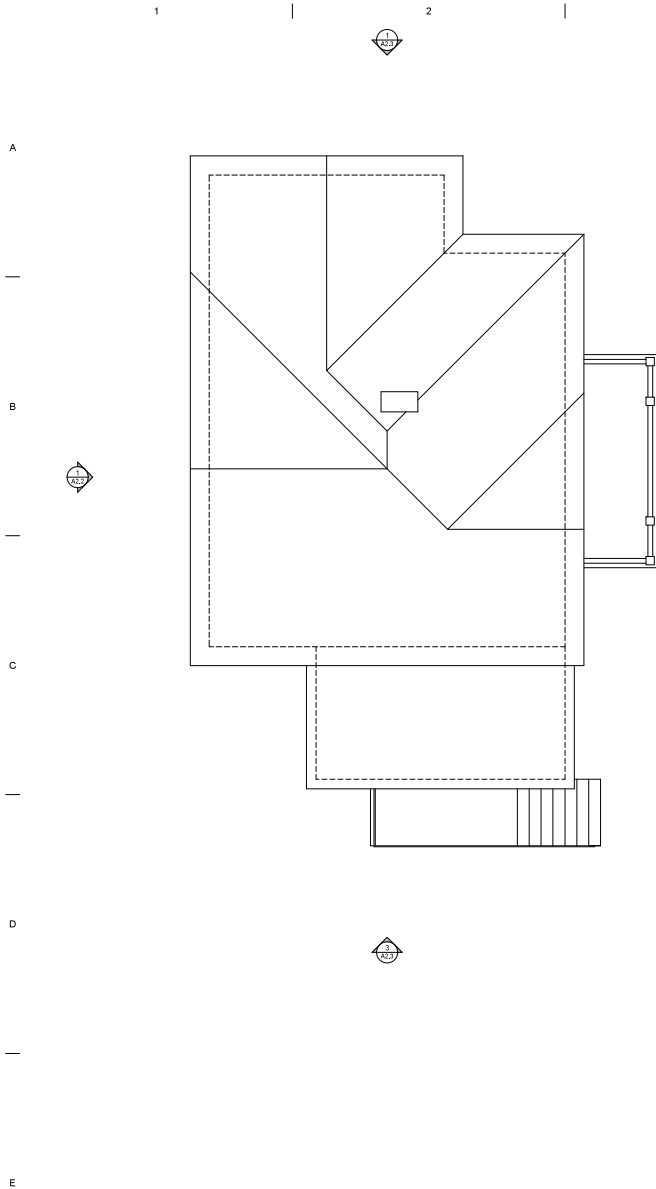


A
A1.2
EXISTING PLAN - UPPER LVL.
SCALE: 1/4"=1'-0"

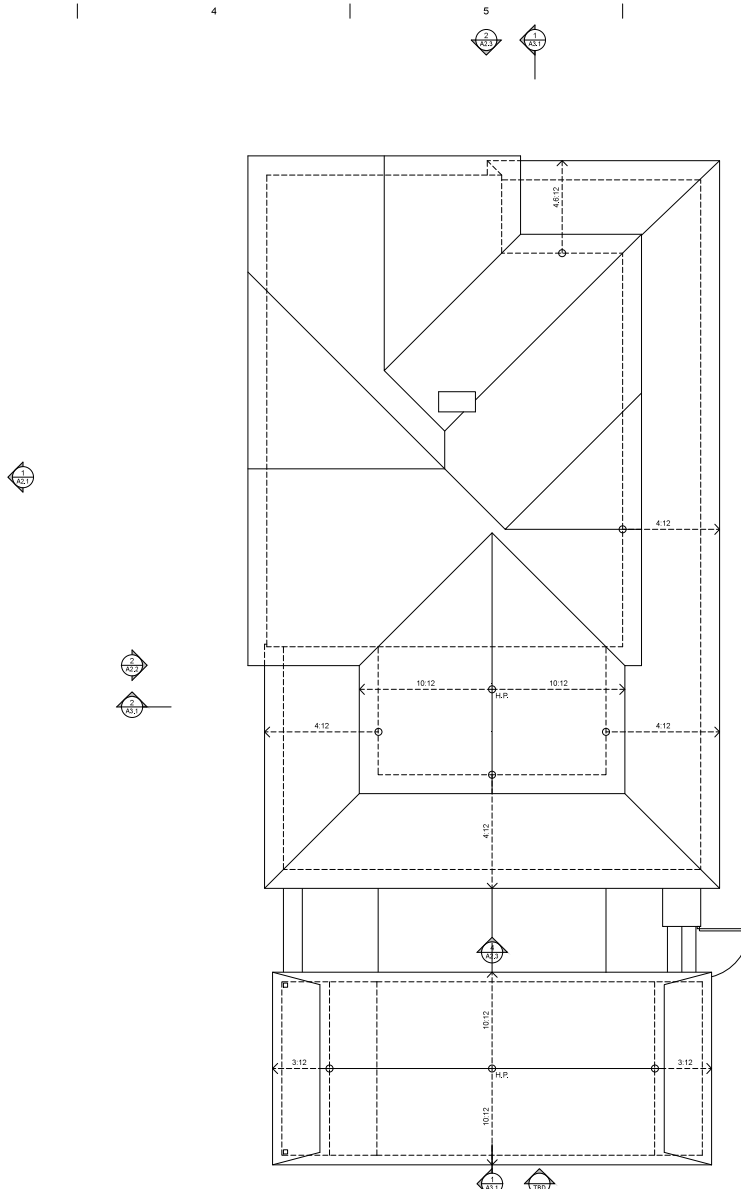


B
A1.2
NEW PLAN - UPPER LVL.
SCALE: 1/4"=1'-0"

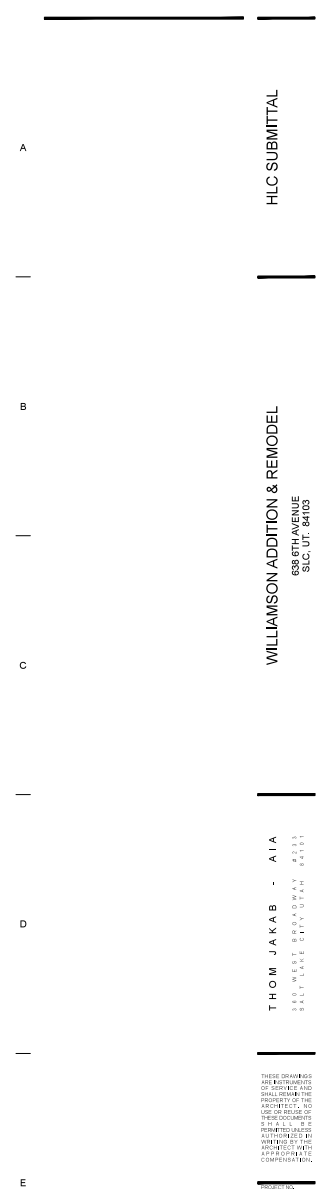
FLOOR PLANS - UPPER LEVEL
EXISTING & NEW
SCALE: 1/4" = 1'-0"



A
A1.3
EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



B
A1.3
NEW ROOF PLAN
SCALE: 1/4" = 1'-0"



ROOF PLANS
EXISTING & NEW
SCALE: 1/4" = 1'-0"

HLC SUBMITTAL

WILLAMSON ADDITION & REMODEL
688 6TH AVENUE
SALT LAKE CITY, UT 84103

THOM JAKAB - AIA
SALT LAKE CITY, UTAH 84103
SALT LAKE CITY, UTAH 84103

THESE DOCUMENTS
ARE THE PROPERTY OF
THE ARCHITECT. NO
COPYING OR
REPRODUCTION
IS PERMITTED
WITHOUT THE
ARCHITECT'S
WRITTEN CONSENT.

PROJECT NO.

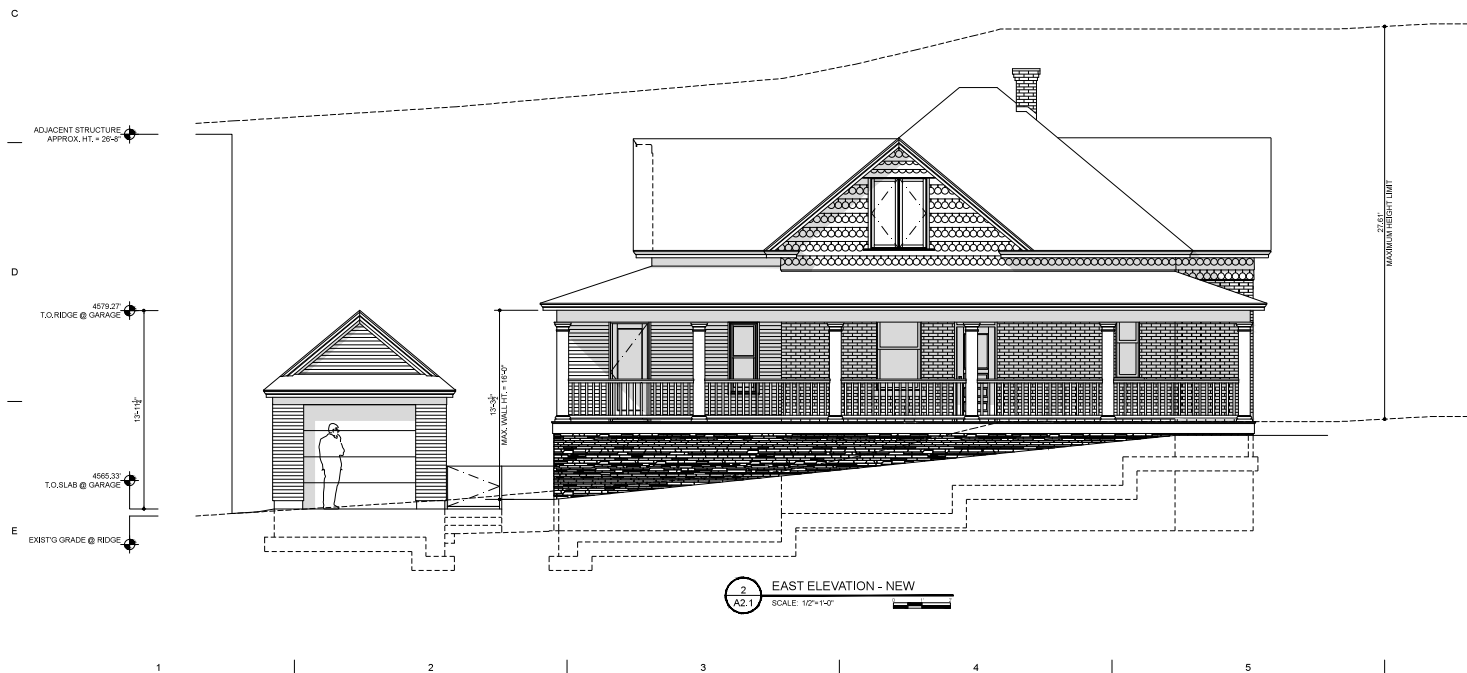
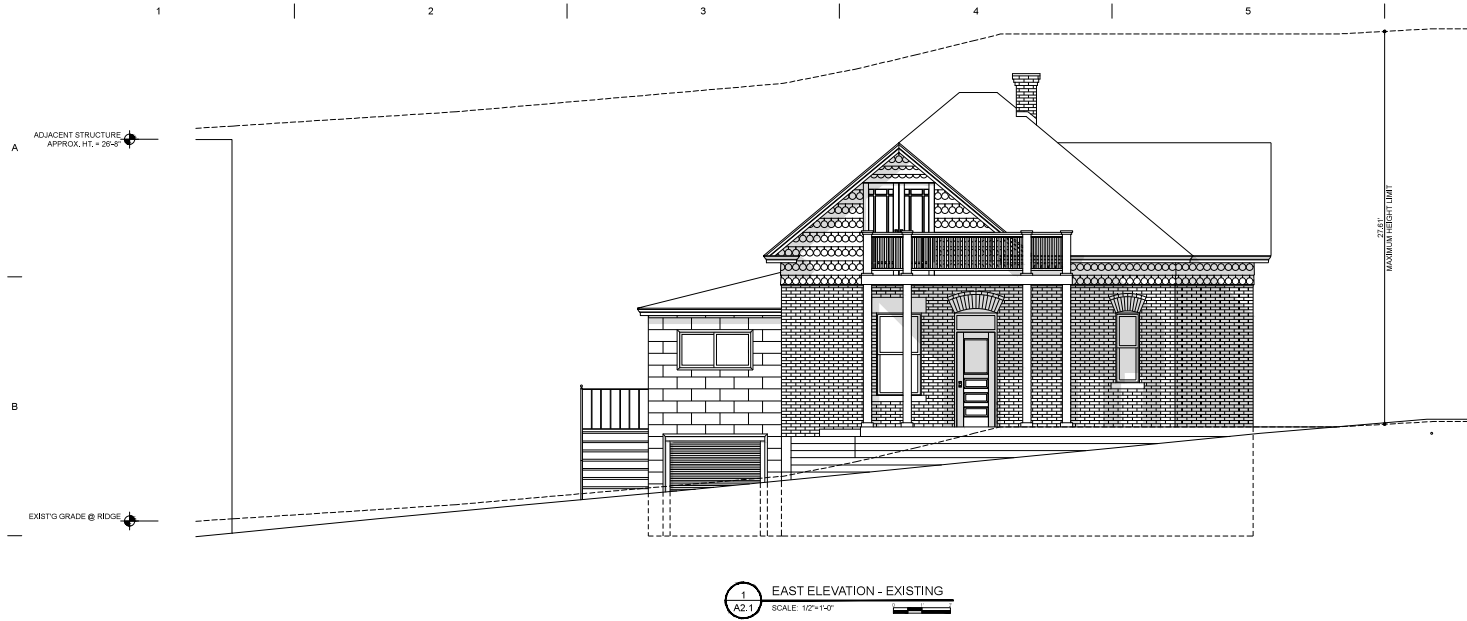
042017

DATE

06.21.17

BY

A1.3



EXTERIOR ELEVATIONS
EXISTING & NEW
SCALE: 1/4" = 1'-0"

HLC SUBMITTAL

WILLIAMSON ADDITION & REMODEL
688 4TH AVENUE
SALT LAKE CITY, UT 84103

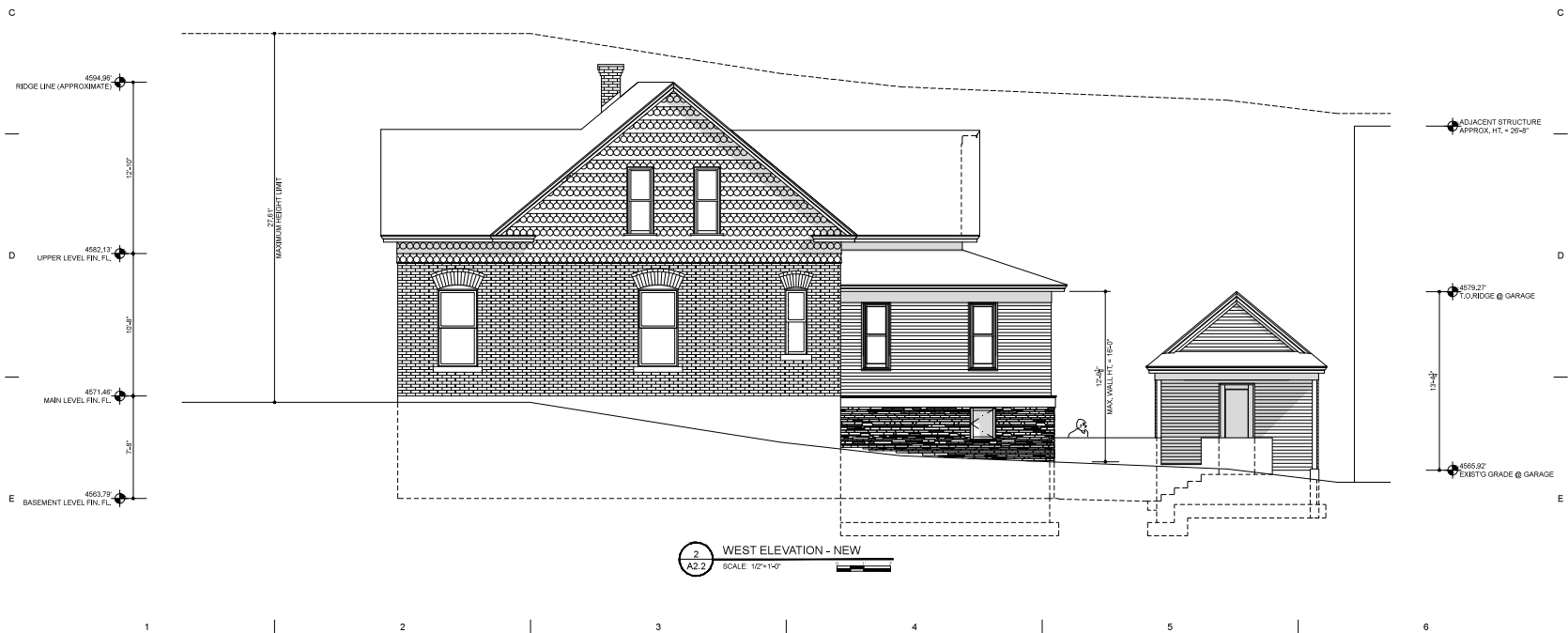
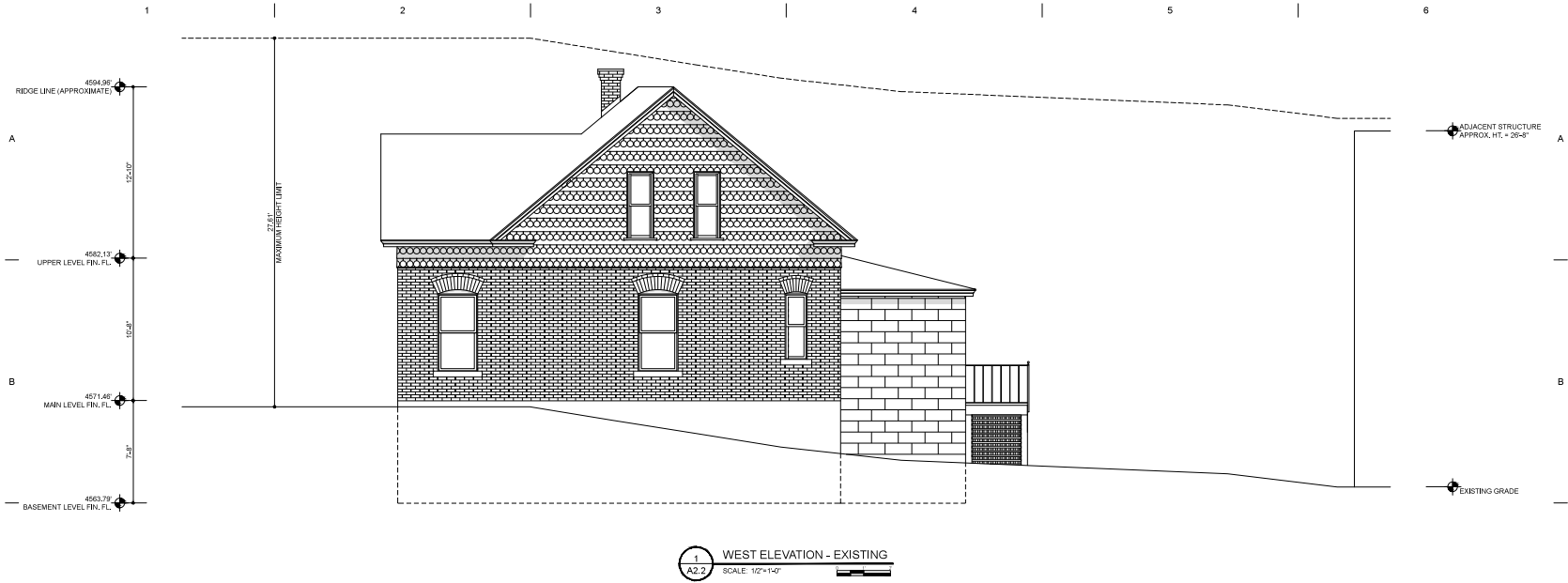
THOM JAKAB - AIA
510 WEST BROADWAY #211
SALT LAKE CITY, UTAH 84111

THESE DRAWINGS
OF RECORD AND
SHALL REMAIN THE
PROPERTY OF THE
ARCHITECT. NO
COPY OR REUSE OF
THESE DOCUMENTS
IS PERMITTED
WITHOUT THE
WRITTEN CONSENT
OF THE ARCHITECT.
APPROPRIATE
COMPARISON

042017

06.21.17

A2.1



EXTERIOR ELEVATIONS
EXISTING & NEW
SCALE: 1/4" = 1'-0"

HLC SUBMITTAL

WILLIAMSON ADDITION & REMODEL
688 6TH AVENUE
SALT LAKE CITY, UT 84103

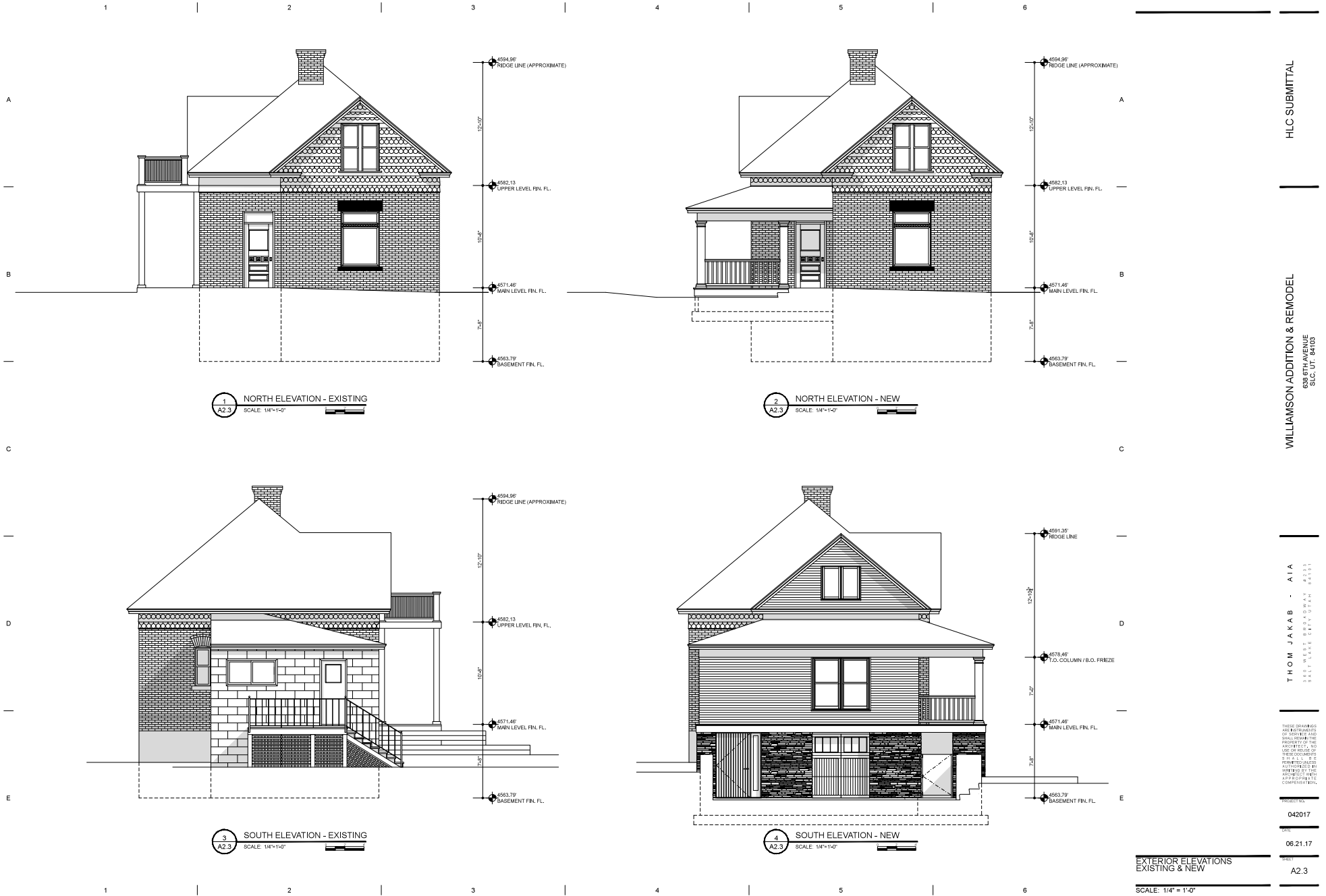
THOM JAKAB - AIA
SALT LAKE CITY, UTAH 84103

THESE DRAWINGS
ARE THE PROPERTY
OF THOM JAKAB
ARCHITECT, INC.
AND ARE NOT TO
BE REPRODUCED
OR COPIED IN
ANY MANNER
WITHOUT THE
WRITTEN CONSENT
OF THOM JAKAB
ARCHITECT, INC.

042017

06.21.17

A2.2



HLC SUBMITTAL

WILLIAMSON ADDITION & REMODEL
688 6TH AVENUE
SALT LAKE CITY, UT 84103

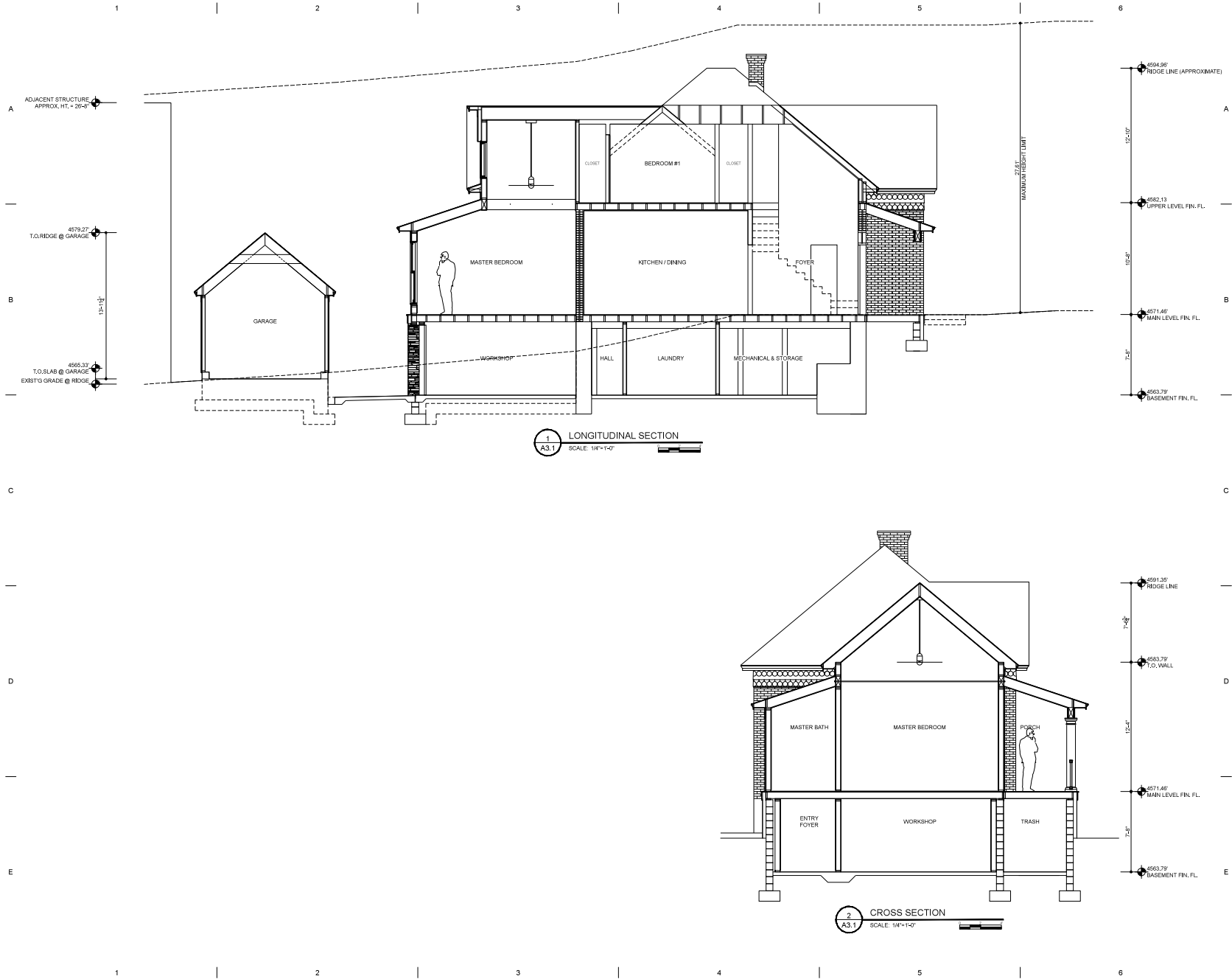
THOM JAKAB - AIA
510 WEST BROADWAY
SALT LAKE CITY, UTAH 84101

THESE DOCUMENTS
OF RECORD AND
SHALL REMAIN THE
PROPERTY OF THE
ARCHITECT. NO
COPY OR REUSE OF
THESE DOCUMENTS
IS ALLOWED. IF
ANY REUSE OR
COPYING IS
NECESSARY, THE
ARCHITECT MUST
BE CONTACTED
FOR PERMISSION.

042017

06.21.17

A2.3



BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

HLC SUBMITTAL

WILLAMSON ADDITION & REMODEL
688 6TH AVENUE
SALT LAKE CITY, UT 84103

THOM JAKAB - AIA
550 WEST BROADWAY
SALT LAKE CITY, UTAH 84101

THESE DOCUMENTS
ARE THE PROPERTY OF
THE ARCHITECT. NO
COPYING OR
REPRODUCTION
IS PERMITTED
WITHOUT THE
ARCHITECT'S
WRITTEN
CONSENT.

PROJECT NO.

042017

DATE

06.21.17

DATE

A3.1

ATTACHMENT E: SR-1A ZONING STANDARDS SPECIAL EXCEPTION STANDARDS - REVIEW

The proposals are reviewed in relation to the Historic Design Standards and Design Guidelines in Attachment H of this report.

Existing Condition

The site is currently occupied by a single family dwelling with small rear addition. This is an undersized lot in the Avenues Historic District and within the SR-1A base zone district. SR-1A specifies a minimum lot area of 5000 SF. This lot is 3403 SF, or approximately 68% of that standard lot area.

Zoning Ordinance Standards for SR-1A (Special Development Pattern Residential District) (21A.24.180)

Purpose Statement: The purpose of the SR-1 special development pattern residential district is to maintain the unique character of older predominantly single-family and two-family dwelling neighborhoods that display a variety of yards, lot sizes and bulk characteristics. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

Standard	Proposed	Finding
Minimum Lot Area: 5000 sq ft	Current: 3403 sq ft (c.68%)	Undersized lot – No Change
Minimum Lot Width: 50 ft	Current: 41 ft	Undersized lot – No Change
Setbacks: Front Yard - Average or 20 ft Corner Side Yard - 10 ft (Current side porch & 2 nd floor deck - 8 ft 2.75 ins) Inner Side Yard - 4 ft Existing - 1 ft 1.25 ins Rear Yard: 25% lot depth (undersized lot) = 20 ft 8 in	c.13 ft 6 in No Change Reconstructed Porch - 8 ft 9.5 ins In-Line Addition - 2 ft 5.5 ins 2 x AC Units - 1 ft from lot boundary Rear Yard Setback – 20 ft 8 ins to 21 ft 0.125 ins	No Change Special Exception Required Special exception Required Special Exception Required Complies
Maximum Building Height for Pitched Roof – 23 ft or Average of Buildings on Block Face - 27 ft 7.3 ins Wall Height at adjacent interior side yard – 16 ft	24 ft 6 ins Max 12 ft 9.125 ins max - SW corner	Complies Complies
Maximum Building Coverage: 40% of lot area (Existing lot area 3403 SF / c.68% of 5000 SF Std)	54% Proposed	Special Exception Required
Current Garage under 2 story lean-to rear addition (sub-standard dimension & drive slope - to be removed for new addition) No viable parking exists on the site	New Garage proposed in Rear Yard - within 10 ft of neighboring structure.	Special Exception Required for location

See also preliminary Zoning Review of proposals dated 6/9/17 (attached) & Applicant Response in Attachment D.

Historic Landmark Commission - Jurisdiction & Authority relating to Special Exceptions (21A.06.050.C.6)

The Historic Landmark Commission has the jurisdiction and authority to review and approve or deny certain special exceptions for properties located within an H historic preservation overlay district. The certain special exceptions are listed as follows:

- a. Building wall height;
- b. Accessory structure wall height;
- c. Accessory structure square footage;
- d. Fence height;
- e. Overall building and accessory structure height;
- f. Signs pursuant to section [21A.46.070](#) of this title; and
- g. Any modification to bulk and lot regulations of the underlying zoning district where it is found that the underlying zoning would not be compatible with the historic district and/or landmark site.

Zoning Ordinance Definition & Standards for Special Exceptions – 21A.52.060

Special Exception Definition

A "special exception" is an activity or use incidental to or in addition to the principal use(s) permitted in a zoning district or an adjustment to a fixed dimension standard permitted as exceptions to the requirements of this title of less potential impact than a conditional use but which requires a careful review of such factors as location, design, configuration and/or impacts to determine the desirability of authorizing its establishment on any given site.

Special Exception Standards

- A. **Compliance with Zoning Ordinance and District Purposes:** The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.

Historic Preservation Overlay Purpose Statement: In order to contribute to the welfare, prosperity and education of the people of Salt Lake City, the purpose of the H historic preservation overlay district is to:

1. Provide the means to protect and preserve areas of the city and individual structures and sites having historic, architectural or cultural significance;
2. Encourage new development, redevelopment and the subdivision of lots in historic districts that is compatible with the character of existing development of historic districts or individual landmarks;
3. Abate the destruction and demolition of historic structures;
4. Implement adopted plans of the city related to historic preservation;
5. Foster civic pride in the history of Salt Lake City;
6. Protect and enhance the attraction of the city's historic landmarks and districts for tourists and visitors;
7. Foster economic development consistent with historic preservation; and
8. Encourage social, economic and environmental sustainability.

Finding

The special exceptions sought in this case include:

- Projection into the corner side yard for the reconstruction of the original porch (the current recent two story porch and deck project further),
- Projection into four feet inner side yard for AC equipment – projection reduced because proposed new addition is set back one foot from the west façade of the existing building),
- Construction of a new and usable garage within 10 feet of the adjacent building, and
- A total proposed lot coverage of 54% of a lot area of 3404 SF (measured against the SR-1A lot coverage standard of 40% for a lot of 5000 SF).

Given the constraints of the current lot area, it would be reasonable to anticipate the need for some special exception approvals to develop any new rear addition, to reinstate the original porch and to build an accessory structure on this lot. Special exception approval would require such proposals to be compatible with the purpose and design standards of the H Historic Preservation Overlay in the context of the zoning being incompatible with the historic development patterns of the setting.

- The reconstruction of the original porch provides the opportunity to recreate both exterior semi-private/public space and reinstate a distinctive element of what is undoubtedly a notable element of the original form of the house. The porch projection by 1 foot 2.5 inches into the corner side yard setback requirement of 10 feet, is less than the projection of the existing and recent two story porch and deck. The special exception sought is marginal and achieves a reinstatement of the character of the house, thus meeting the intent and objectives of the H Historic Preservation Overlay standards. This would have the effect of restoring a significant original feature of the building, consequently enhancing the historic architectural character of this corner context within The Avenues Historic District.
- The lot coverage sought exceeds the 40% specified for a 5000 SF lot, with 54% of a 3404 SF lot coverage sought, or 1836 SF. This is a notably under-sized lot, at approximately 68% of the latterly applied zone standard, which in this case as with many is an inaccurate fir for existing historic development patterns. Placed in this historic context, the 1836 SF sought would be 36.72% of a 5000 SF lot, applied within the rationale of the SR-1A zoning standards.
- The current application proposes a single car garage in the limited rear yard area, with the objective of creating a usable, compared with the existing unusable arrangement, off-street parking space. The proposal would place the garage, within the limited rear yard area available, close to an adjacent building. The form and design of the garage would be characteristic of the house, the proposed addition, and The Avenues context. It would also meet the SR-1A dimensional requirements for an accessory structure.
- The proposals would place two air handling units approximately one foot from the western lot line, attached to the proposed addition, which itself would step back approximately one foot from the current western façade of the house. The units would not be visible from the public way.

Staff would conclude that the special exceptions sought for this development would meet the objectives of the historic district purpose and standards, and generally either be compatible with or would enhance the historic character of existing development in this context within The Avenues Historic District.

***SR-1A Purpose Statement:** The purpose of the SR-1 special development pattern residential district is to maintain the unique character of older predominantly single-family and two-family dwelling neighborhoods that display a variety of yards, lot sizes and bulk characteristics. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.*

Finding

The special exceptions sought in this case include:

- Projection into the corner side yard for the reconstruction of the original porch (current recent two story porch and deck projects further),
- Projection into four feet inner side yard for AC equipment – projection reduced because proposed new addition is set back one foot from the west façade of the existing building),
- Construction of a new and usable garage within 10 feet of the adjacent building, and
- A total proposed lot coverage of 54% of a lot area of 3404 SF (against SR-1A standard of 40% of a lot of 5000 SF).

The proposals, including the special exceptions sought, are designed in the context of the variety of lot sizes found in the Avenues and the constraints arising from this particular lot dimensions and area, as well as existing development patterns and scale. As such the development would be in harmony with the purposes of the preservation overlay and would not conflict with the purposes of the SR-1A zoning district or the objectives of the special exception standard. This special exception standard would be met by these proposals.

- B. No Substantial Impairment of Property Value:** The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.

***Historic Preservation Overlay Purpose Statement:** The purposes of the H Historic Preservation Overlay is outlined above.*

Finding

Proposals recognize the existing character of the house, the site and its context and the design approach to complement those characteristics in this setting in the historic district. The design of the addition, the garage

and the reinstatement of the original porch should enhance the contribution of this building and site in this corner context. Overall the proposals should not diminish or impair neighborhood property values. Consequently, Staff would conclude that proposals in this context would meet this standard.

SR-1A Purpose Statement:

The purpose of the SR-1 special development pattern residential district are outlined above.

Finding

This application, as redesigned, recognizes both the individual character of the house and its immediate setting, with its variety of one to two story residences. Proposals reflect the existing roof forms and geometry, as well as the existing massing of the structure. Exceptions sought in this case are prompted in part by the tight constraints of the site and its setting, while seeking to achieve an increase in living space and parking/garage space in a form which should neither dominate nor detract from the character of the historic context. Staff would conclude that this standard is met.

- C. **No Undue Adverse Impact:** The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.

Historic Preservation Overlay Purpose Statement:

The purposes of the H Historic Preservation Overlay is outlined above.

Finding

This context on J Street and 6th Avenue is characterized by a variety in building scale. The proposals appear to be well considered in the immediate context of both the setting and the existing house. Although the proposed garage would be close to the adjacent property to the south, its construction would remove a substantial existing tree, thus open this side of the building to an enhanced level of daylight. Staff would conclude that the proposals would have no material adverse effect upon area character, nor upon public health, safety or general welfare. This standard is met.

SR-1A Purpose Statement:

The purpose of the SR-1 special development pattern residential district are outlined above.

Finding

Similarly, staff would conclude that the proposals would no adverse material effect upon area character, public health, safety or general welfare. The proposals meet this standard.

- D. **Compatible with Surrounding Development:** The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.

Historic Preservation Overlay Purpose Statement:

The purposes of the H Historic Preservation Overlay is outlined above.

Finding

The proposals appear to be carefully considered in the context of the use and development of neighboring property and to achieve a compatibility with that character and setting. Exceptions sought are limited, given the constraints of this site, and in many respects should enhance existing surroundings. In that context the proposals would meet this special exception standard.

SR-1A Purpose Statement:

The purpose of the SR-1 special development pattern residential district are outlined above.

Finding

The particular characteristics of this context within the SR-1A zone and the historic district appear to have informed this development approach and the design of the additions. Staff would conclude that the proposals meet the objectives of this standard.

- E. **No Destruction of Significant Features:** The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.

Historic Preservation Overlay Purpose Statement:

The purposes of the H Historic Preservation Overlay is outlined above.

Finding

Staff is unaware of any destruction to natural, scenic or historic features of significant importance resulting from the current proposals. Reviewed in the context of the purpose and standards for the historic district overlay, the proposals would not have an adverse impact, and this special exception standard is met.

SR-1A Purpose Statement:

The purpose of the SR-1 special development pattern residential district are outlined above.

Finding

Staff is unaware of any destruction to natural, scenic or historic features of significant importance as a result of the current proposals. In relation to the purpose and standards for the SR-1A district, Staff would conclude that this special exception standard is met.

- F. **No Material Pollution of Environment:** The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.

Historic Preservation Overlay Purpose Statement:

The purposes of the H Historic Preservation Overlay is outlined above.

Finding

The proposals are not thought to be a likely source of any material pollution of the environment. In relation to the purpose and standards for the historic overlay district Staff would conclude that this standard is met.

SR-1A Purpose Statement:

The purpose of the SR-1 special development pattern residential district are outlined above.

Finding

The proposals are not thought to be a likely source of any material pollution of the environment. In relation to the purpose and standards for the SR-1A district Staff would conclude that this standard is met.

- G. **Compliance with Standards:** The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.

Historic Preservation Overlay Purpose Statement:

The purposes of the H Historic Preservation Overlay is outlined above.

Finding

In relation to the purpose and standards for the historic district overlay, no additional standards of this chapter are identified by Staff, and in that respect this special exception standard is met.

SR-1A Purpose Statement:

The purpose of the SR-1 special development pattern residential district are outlined above.

Finding

In relation to the purpose and standards for the SR-1A district, no additional standards of this chapter are identified by Staff, and in that respect this special exception standard is met.

SALT LAKE CITY CORPORATION

*Department of Community and Neighborhoods
Building Services Division*

ZONING REVIEW CORRECTION SHEET

Log Number: -----

Project Name: Williamson Addition & Remodel

Project Address: 638 E. 6th Ave.

Contact Person: Carl Leith

Telephone: 801-535-7758

E-Mail: Carl.Leith@slcgov.com

Date: 6/9/2017

Zoning District: SR-1A

Overlay District: Historic

Reviewer: Scott Browning

Telephone: 801-535-7283

E-mail: scott.browning@slcgov.com

Please respond in writing to each of the items below. Revise plans where appropriate. For follow-up review attach written responses to the revised plans and resubmit to this P-Dox. Please call me directly if you have questions or concerns.

COMMENTS

1. The Historic Landmarks Commission will need to approve the demolition of the existing garage and the proposed addition. Please upload your Historic Landmarks Commission approvals to the "city required forms" folder in project documents when submitting your plans.
2. A [special exception](#) for an in-line addition on the north side of the property will be required because the property is less than the minimum setback distance. Also, all mechanical equipment needs to be a minimum of 4' from the property line. This can be added to the special exception for the in-line addition.
3. Any man caused grade changes in the required yards of more than 4' will require a [special exception](#) according to section [21A.24.010](#).P.6 of the ordinance. If any are made, please seek planning is assistance in filing the special exception.
4. As per section [21A.24.080](#).F, the total building and accessory building lot coverage may not exceed 40%. On the site plan, please document the size of the lot, the size of the new main structure, and the size of the accessory structure.
5. As per the zoning ordinance, [21A.24.080](#).E.3.b.i, if a lot is less than 47' in width, setbacks need to equate 30% of the interior side yard setback, although corner side yards still shall be 10'.
6. The wall height, as per section [21A.24.080](#).3.b, may not exceed 16'. Please show height measurements to the rooftop on your elevations reflecting this requirement. Also, please be sure to place either spot elevations or a string measurement at that is at the Southeast and the Southwest corners of the home, or the tallest portion of the main structure.

7. The Salt Lake City Engineering Department will need to be consulted and give their approval and a permit since the existing driveway approach is going to be moved to the South in the proposed site plan. They can be reached at 801-535-6396 and are located at 349 S. 200 E. According to section [21A.44.020](#).F.7.a.2 of the ordinance, the approach nor driveway may be closer than 6' to a property line and 5' to any public utility infrastructure.
8. On the site plan, please show the measurement from the driveway to the property line and show what the small circle is next to the driveway approach.
9. The accessory structure must be 20' from the corner side yard to a public sidewalk according to [21A.40.050](#).A.2.
10. Please show that the accessory structure meets the height of 14' according to section [21A.40.050](#).C.2.a (if additional height is needed, a special exception can be applied for according to section [21A.40.050](#).C.2.c of the ordinance.)
11. Please show that the accessory structure meeting the 50% of the rear yard coverage for an accessory structure according to section [21A.40.050](#).B.1.a.
12. As per section [21A.40.050](#).A.5, accessory structures may not be less than 10' to the nearest principal dwelling structure on any adjacent lot.
13. Public utilities will need to approve the project. If it is submitted in paper to the Salt Lake City building department, it will need to have stamped and 2 signed sets of blueprints. If it is submitted online to project documents, it will automatically be assigned to them and you may forgo this statement.

WILLIAMSON ADDITION & REMODEL
SALT LAKE CITY ZONING REVIEW
PLAN REVIEW COMMENTS_01

NOTE:

ALL SPECIAL EXCEPTIONS REQUIRED FOR HISTORIC LANDMARK COMMISSION APPROVAL ARE INDICATED IN BOLD FACE FONT.

1. The Historic Landmarks Commission will need to approve the demolition of the existing garage and the proposed addition. Please upload your Historic Landmarks Commission approvals to the "city required forms" folder in project documents when submitting your plans.

RESPONSE Once approvals are met, the documents will be uploaded.

2. A special exception for an in-line addition on the north side of the property will be required because the property is less than the minimum setback distance. Also, all mechanical equipment needs to be a minimum of 4' from the property line. This can be added to the special exception of the in-line addition.

RESPONSE **SPECIAL EXCEPTIONS REQUIRED**

Two special exceptions required.

- In-line addition on the north side of the property.
- Mechanical equipment 1'-0" from property line. The equipment is located along the west interior lot line, adjacent to the new addition. Please refer to Sheet AS1.0 for location.

3. Any man caused grade changes in the required yards of more than 4' will require a special exception according to section 21A.24.010.P.6 of the ordinance. If any are made please seek planning assistance in filing the special exception.

RESPONSE No special exception required. Grade changes in required yards of more than 4' are not requested.

4. As per section 21A.24.080.F, the total building and accessory building lot coverage may not exceed 40%. On the site plan, please document the size of the lot, the size of the new main structure, and the size of the accessory structure.

RESPONSE **SPECIAL EXCEPTION REQUIRED**

- Maximum building coverage - exceeds 40%

Please refer to the zoning summary on the right hand side of sheet AS1.0_Site Plans. The maximum building coverage is listed for the existing and new building areas. This property is known to be a legal, non-conforming lot and was in existence prior to April 12, 1995. It's area and dimensions are less than what is considered to be a legal lot. We are seeking special exception for a new coverage of 54%.

5. As per the zoning ordinance, 21A.24.080.E.3.b.i, if a lot is less than 47' in width, setbacks need to equate 30% of the interior side yard setback, although corner side yards still shall be 10'.

WILLIAMSON ADDITION & REMODEL
SALT LAKE CITY ZONING REVIEW
PLAN REVIEW COMMENTS CONT.

RESPONSE **SPECIAL EXCEPTION REQUIRED**

- Interior side yard and corner side yard setbacks - less than 30% of lot width.

The existing interior side yard setback is 1'-1 1/4" and the existing corner side yard is 8'-4 1/4". With a lot width of 41'-3" this equates to 23%. For the new addition, the interior side yard setback remains at 1'-1 1/4" and the new corner side yard will be 8'-9 1/2". This equates to 24%. Our proposed design requests to rebuild the original 1903 porch with the intent of working within the existing setbacks established by the original accessory structures.

6. The wall height, as per section 21A.24.080.3.b, may not exceed 16'. Please show height measurements to the rooftop on your elevations reflecting this requirement. Also, please be sure to place either spot elevations or a string measurement at the Southeast and Southwest corners of the home, or the tallest portion of the main structure.

RESPONSE We understand that 21A.24.080.3.b states the maximum allowable wall height adjacent to interior side yards, placed at the building setback, shall be sixteen feet (16'). New dimensions have been added to the east and west elevations. Please refer elevation 2 / A2.1 and 2 / A2.2. The wall height indicated on the east elevation is 13'-2 1/2" and on the west elevation is 12'-9 1/8". Both wall heights meet this ordinance.

7. The Salt Lake Engineering Department will need to be consulted and give their approval and a permit since the existing driveway approach is going to be moved to the South in the proposed site plan. They can be reached at 801-535-6396 and are located at 349 S. 200 E.. According to section 21A.44.020.F.7.a.2 of the ordinance, the approach nor driveway may be closer than 6' to the property line and 5' to any public utility infrastructure.

RESPONSE **SPECIAL EXCEPTION REQUIRED**

- New driveway location - less than 6' from property line and less than 5' from a public utility.

Due to space limitations, we request to install a new driveway 1'-6" from the rear property line. The only known public utility adjacent to the proposed driveway is an existing sewer line. This sewer line is running in a southeasterly direction, away from the proposed driveway.

8. On the site plan, please show the measurement from the driveway to the property line and show what the small circle is next to the driveway approach.

RESPONSE A dimension is now indicating the measurement from the driveway to the property line. The small circle is the approximate location of an existing tree.

9. The accessory structure must be 20' from the corner side yard to a public sidewalk according to 21A.40.050.A.2.

RESPONSE **SPECIAL EXCEPTION REQUIRED**

- Accessory structure setback from the public sidewalk - less than 20'.

Due to space limitations, we request to install a new accessory structure 9'-8 5/8" from the public sidewalk.

WILLIAMSON ADDITION & REMODEL
SALT LAKE CITY ZONING REVIEW
PLAN REVIEW COMMENTS CONT.

10. Please show that the accessory structure meets the height of 14' according to section 21A.40.050.C.2.a (if additional height is needed, a special exception can be applied for according to section 21A.40.050C.2.c of the ordinance).

RESPONSE The proposed accessory structure meets the height limit of 14'. No special exception is needed. Please refer to the east elevation on sheet A2.1. A dimension on the left-hand side of elevation 2 / A2.1 indicates a height of 13'-11 1/4".

11. Please show that the accessory structure meets the 50% of the rear yard coverage for an accessory structure according to section 21A.40.050.B.1.a.

RESPONSE The rear yard is 851 SF. ($82.5' \times 25\% = 20'.625' \times 41.25'$). The accessory structure in the rear yard is 352 SF. $352 \text{ SF} / 851 \text{ SF} = 42\%$. The accessory structure meets the 50% rear yard coverage.

12. As per section 21A.40.050.A.5, accessory structures may not be less than 10' to the nearest principal dwelling structure on any adjacent lot.

RESPONSE **SPECIAL EXCEPTION REQUIRED**

- Accessory structure less than 10' from the nearest principal dwelling structure on any adjacent lot.

Due to space limitations, we request a reduced setback of 2'-9 1/4" away from the principal dwelling structure to the south of the proposed accessory structure.

13. Public utilities will need to approve the project. If it is submitted in paper to the Salt Lake City Building Department, it will need to have stamped and 2 signed sets of blueprints. If it is submitted online to project documents, it will be automatically be assigned to them and you may forgo this statement.

RESPONSE The documents will be submitted online. Thank you.

ATTACHMENT F: DESIGN STANDARDS FOR ALTERATION OF A CONTRIBUTING STRUCTURE & GUIDELINES FOR ADDITIONS

A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City, Chapter 8 Additions, and Chapter 5 Porches, are the relevant historic design guidelines for this design review, and are identified here as they relate to the corresponding Historic Design Standards for alteration to a contributing structure in the Avenues Historic District (21A.34.020.G).

<http://www.slcdocs.com/historicpreservation/DesignGuidelines/DesignGuidelines.pdf>

<http://www.slcdocs.com/historicpreservation/DesignGuidelines/DesignGuidelines.pdf>

<http://www.slcdocs.com/historicpreservation/DesignGuidelines/DesignGuidelines.pdf>

Design Standards for Alteration of a Contributing Structure	Design Guidelines for Additions
1. A <u>property shall be used</u> for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment;	No specific design guidelines for Additions relate to the use of the building.
2. <u>The historic character of a property shall be retained and preserved.</u> The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;	<p>Design Objective for Additions The design of a new addition to a historic building should ensure that the building's early character is maintained. Older additions that have taken on significance also should be preserved.</p> <p>8.1 An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.</p> <ul style="list-style-type: none"> Loss or alteration of architectural details, cornices and eave lines, for example, should be avoided. <p>8.2 An addition should be designed to be compatible in size and scale with the main building.</p> <ul style="list-style-type: none"> An addition should be set back from the primary facades in order to allow the original proportions and character of the building to remain prominent. The addition should be kept visually subordinate to the historic portion of the building. If it is necessary to design an addition that is taller than the historic building, it should be set back substantially from significant facades, with a "connector" link to the original building. <p>8.3 An addition should be sited to the rear of a building or set back from the front to minimize the visual impact on the historic structure and to allow the original proportions and character to remain prominent.</p> <ul style="list-style-type: none"> Locating an addition at the front of a structure is usually inappropriate. <p>8.5 A new addition should be designed to preserve the established massing and orientation of the historic building.</p> <ul style="list-style-type: none"> For example, if the building historically has a horizontal emphasis, this should be reflected in the addition. <p>8.7 When planning an addition to a building, the historic alignments and rhythms that may exist on the street should be defined and preserved.</p> <ul style="list-style-type: none"> Some roof lines and porch eaves on historic buildings in the area may align at approximately the same height. An addition should not alter these relationships. Maintain the side yard spacing, as perceived from the street, if this is a characteristic of the setting.

	<p>8.8 Exterior materials that are similar to the historic materials of the primary building or those used historically should be considered for a new addition.</p> <ul style="list-style-type: none"> • Painted wood clapboard, wood shingle and brick are typical of many historic residential additions. • See also the discussion of specific building types and styles, in the History and Architectural Styles section of the guidelines. • Brick, CMU, stucco or panelized products may be appropriate for some modern buildings <p>8.9 Original features should be maintained wherever possible when designing an addition.</p> <ul style="list-style-type: none"> • Construction methods that would cause vibration which might damage historic foundations should be avoided. • New drainage patterns should be designed to avoid adverse impacts to historic walls and foundations. • New alterations also should be designed in such a way that they can be removed without destroying original materials or features wherever possible. <p>8.10 The style of windows in the addition should be similar in character to those of the historic building or structure where readily visible.</p> <ul style="list-style-type: none"> • If the historic windows are wood, double-hung, for example, new windows should appear to be similar to them, or a modern interpretation. <p>Ground Level Additions</p> <p>8.11 A new addition should be kept physically and visually subordinate to the historic building.</p> <ul style="list-style-type: none"> • The addition should be set back significantly from primary facades. • The addition should be consistent with the scale and character of the historic building or structure. • Large additions should be separated from the historic building by using a smaller connecting element to link the two where possible. <p>8.12 Roof forms should be similar to those of the historic building.</p> <ul style="list-style-type: none"> • Typically, gable, hip and shed roofs are appropriate. • Flat roofs are generally inappropriate, except where the original building has a flat roof. <p>8.13 On primary facades of an addition, a ‘solid-to-void’ ratio that is similar to that of the historic building should be used.</p> <ul style="list-style-type: none"> • The solid-to-void ratio is the relative percentage of wall to windows and doors seen on the facade.
<p>3. All sites, structures and objects shall be recognized as <u>products of their own time</u>. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed;</p> <p>8. <u>Contemporary design</u> for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment;</p>	<p>Design Objective for Additions</p> <p>The design of a new addition to a historic building should ensure that the building’s early character is maintained. Older additions that have taken on significance also should be preserved.</p> <p>8.4 A new addition should be designed to be recognized as a product of its own time.</p> <ul style="list-style-type: none"> • An addition should be made distinguishable from the historic building, while also remaining visually compatible with historic features. • A change in setbacks of the addition from the historic building, a subtle change in material, or the use of modified historic or more current styles are all techniques that may be considered to help define a change from old to new construction. • Creating a jog in the foundation between the original building and the addition may help to establish a more sound structural design to resist earthquake damage, while helping to define it as a later addition. <p>8.6 A new addition or alteration should not hinder one’s ability to interpret the historic character of the building or structure.</p> <ul style="list-style-type: none"> • A new addition that creates an appearance inconsistent with the historic character of the building is inappropriate. • An alteration that seeks to imply an earlier period than that of the building should be avoided. • An alteration that covers historically significant features should be avoided.

<p>4. Alterations or additions that have acquired <u>historic significance</u> in their own right shall be retained and preserved;</p>	<p>Design Objective for Additions The design of a new addition to a historic building should ensure that the building's early character is maintained. Older additions that have taken on significance also should be preserved.</p> <p>8.1 An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.</p> <ul style="list-style-type: none"> • Loss or alteration of architectural details, cornices and eave lines, for example, should be avoided. <p>8.6 A new addition or alteration should not hinder one's ability to interpret the historic character of the building or structure.</p> <ul style="list-style-type: none"> • A new addition that creates an appearance inconsistent with the historic character of the building is inappropriate. • An alteration that seeks to imply an earlier period than that of the building should be avoided. • An alteration that covers historically significant features should be avoided.
<p>5. <u>Distinctive features, finishes and construction techniques or examples of craftsmanship</u> that characterize a historic property shall be preserved;</p>	<p>Design Objective for Additions The design of a new addition to a historic building should ensure that the building's early character is maintained. Older additions that have taken on significance also should be preserved.</p> <p>8.1 An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.</p> <ul style="list-style-type: none"> • Loss or alteration of architectural details, cornices and eave lines, for example, should be avoided. <p>8.3 An addition should be sited to the rear of a building or set back from the front to minimize the visual impact on the historic structure and to allow the original proportions and character to remain prominent.</p> <ul style="list-style-type: none"> • Locating an addition at the front of a structure is usually inappropriate. <p>8.6 A new addition or alteration should not hinder one's ability to interpret the historic character of the building or structure.</p> <ul style="list-style-type: none"> • A new addition that creates an appearance inconsistent with the historic character of the building is inappropriate. • An alteration that seeks to imply an earlier period than that of the building should be avoided. • An alteration that covers historically significant features should be avoided.
<p>6. <u>Deteriorated architectural features</u> shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects;</p>	<p>Design Objective for Porches Where a porch has been a primary character-defining feature of a front facade, this emphasis should continue. A new (replacement) porch should be in character with the historic building, in terms of scale, materials and detailing.</p> <p>5.3 If porch replacement is necessary, reconstruct it to match the original in form and detail when feasible.</p> <ul style="list-style-type: none"> • Use materials similar to the original where possible. • On contributing buildings, for which no evidence of the historic porch exists, a new porch may be considered that is similar in character to those found on comparable buildings. • Avoid applying decorative elements that are not known to have been used on the house or others like it. • Matching original materials is the first choice. Yet if detailed correctly and painted appropriately, new materials such as fiberglass columns and composite decking may be acceptable alternatives. • The height of the railing and the spacing of balusters should appear similar to those used historically.

<p>7. <u>Chemical or physical treatments</u>, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;</p>	<p>This standard does not apply in this case.</p>
<p>9. <u>Additions or alterations</u> to structures and objects shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment;</p>	<p>Design Objective for Additions The design of a new addition to a historic building should ensure that the building's early character is maintained. Older additions that have taken on significance also should be preserved.</p> <p>8.1 An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.</p> <ul style="list-style-type: none"> • Loss or alteration of architectural details, cornices and eave lines, for example, should be avoided. <p>8.3 An addition should be sited to the rear of a building or set back from the front to minimize the visual impact on the historic structure and to allow the original proportions and character to remain prominent. Locating an addition at the front of a structure is usually inappropriate.</p> <p>8.7 When planning an addition to a building, the historic alignments and rhythms that may exist on the street should be defined and preserved.</p> <ul style="list-style-type: none"> • Some roof lines and porch eaves on historic buildings in the area may align at approximately the same height. An addition should not alter these relationships. • Maintain the side yard spacing, as perceived from the street, if this is a characteristic of the setting. <p>8.9 Original features should be maintained wherever possible when designing an addition.</p> <ul style="list-style-type: none"> • Construction methods that would cause vibration which might damage historic foundations should be avoided. • New drainage patterns should be designed to avoid adverse impacts to historic walls and foundations. <p>New alterations also should be designed in such a way that they can be removed without destroying original materials or features wherever possible.</p> <p>Ground Level Additions</p> <p>8.11 A new addition should be kept physically and visually subordinate to the historic building.</p> <ul style="list-style-type: none"> • The addition should be set back significantly from primary facades. • The addition should be consistent with the scale and character of the historic building or structure. • Large additions should be separated from the historic building by using a smaller connecting element to link the two where possible.
<p>10. Certain <u>building materials</u> are <u>prohibited</u> including the following: Aluminum, asbestos, or vinyl cladding when applied directly to an original or historic material.</p>	<p>This standard does not apply in this case.</p>

<p>11. Any new <u>sign</u> and any change in the appearance of any existing sign located on a landmark site or within the H historic preservation overlay district, which is visible from any public way or open space shall be consistent with the historic character of the landmark site or H historic preservation overlay district and shall comply with the standards outlined in chapter 21A.46 of this title.</p>	<p>This standard does not apply in this case.</p>
---	---

ATTACHMENT G: DESIGN STANDARDS FOR ALTERATION OF A CONTRIBUTING STRUCTURE IN A HISTORIC DISTRICT

H Historic Preservation Overlay District – Standards for a Certificate of Appropriateness for Alteration of a Contributing Structure in a Historic District (21A.34.020.G)

In considering an application for a Certificate of Appropriateness for alteration of a contributing structure in a historic district, the Historic Landmark Commission shall find that the project substantially complies with all of the general standards that pertain to the application and that the decision is in the best interest of the City. The proposal is reviewed in relation to those that pertain in the following table. A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City, Chapter 8 Additions, are the relevant historic design guidelines for this design review. The Design Objectives and related design guidelines are referenced in the following review where they relate to the corresponding Historic Design Standards for Alteration of a Contributing Structure (21A.34.020.G), and can be accessed via the links below. Design Guidelines as they relate to the Design Standards are identified in Attachment F to this report.

<http://www.slcgov.com/historic-preservation/historic-preservation-residential-design-guidelines>
<http://www.slcdocs.com/historicpreservation/GuideRes/Ch8.pdf>
<http://www.slcdocs.com/historicpreservation/GuideRes/Ch5.pdf>

The proposals are reviewed and evaluated in relation to SR-1A and Special Exception Standards in Attachment E of this report.

Standard	Analysis	Finding
<p>Retain Historic Character</p> <p>2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;</p>	<p><u>Retain Historic Character</u> Design Objective for Additions <i>The design of a new addition to a historic building should ensure that the building's early character is maintained. Older additions that have taken on significance also should be preserved.</i> <i>RDGs for Additions 8.1, 8.2, 8.3, 8.5, 8.7, 8.8, 8.9, 8.10, 8.11, 8.12, 8.13</i></p> <p>The proposed addition replaces the current lower lean-to rear addition (not of historic interest) and maintains rear yard on this site in accordance with minimum zone standards. The addition is situated to the rear of the house (RDG 8.3) and designed to be compatible with the house in size and scale, while retaining the prominence and importance of the current building. (RDG 8.2) The walls of the addition would step in approx. one foot from the plane of the existing east and west facades of the house. The roof height, pitch and form of the existing building is continued in the proposed addition, with the upper profile extending in gable form southward in the form of interior clerestory space and volume. In doing so, it would preserve and echo the established massing and orientation of the house. (RDG 8.5) The fenestration pattern and the materials proposed also reflect those of the existing house (RDG 8.8, 8.10)</p> <p>The reconstruction of the porch provides the opportunity to reinstate some of the original character of the house, with positive impact upon both the building and its role in this corner setting. The porch would be extended to serve the new addition. The existing two story open porch and deck, which is of no historic interest and detracts from the character of the residence, would be removed. (RDG 5.3)</p> <p>A new single car garage is proposed in the rear yard in the remaining space between the addition and the southern lot boundary, and is designed to be in character with the house and historic context.</p> <p>External materials proposed include horizontal wood siding for the addition and garage, fiber glass columns and wood railings for the reconstructed porch.</p> <p>The proposals would not destroy, obscure or adversely affect significant architectural features of the building. The early character is retained and is also reinstated. (RDG 8.1)</p>	<p><u>Historic Character</u></p> <p>Staff would conclude that the form, massing and design of the proposed addition would respect the historic character of the house.</p> <p>The reconstruction of the original porch would restore a significant historic feature of the property.</p> <p>As designed fronting both the house and the new addition, it would help to integrate both original and contemporary elements.</p> <p>The new garage would not adversely affect characteristic spaces.</p> <p>The proposals would accord with the objectives of this standard.</p>

<p>Of Their Own Time 3. All sites, structures and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed;</p> <p>Contemporary Design 8. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment;</p>	<p><u>Contemporary Design</u> Design Objective for Additions <i>The design of a new addition to a historic building should ensure that the building's early character is maintained. Older additions that have taken on significance also should be preserved.</i> <i>RDGs for Additions 8.4, 8.6</i></p> <p>The proposed addition is designed to be sensitive to the historic character of the property, yet to be distinct from it. The design of the addition includes a new and recessed wall plane on both the east and the west facades. It also includes a change in material from the existing brick to new wood siding. The addition is unlikely to be confused with an historic section of the building. (RDG 8.4)</p> <p>The reconstruction of the original porch remedies the adverse impact of its previous loss upon the character of the house. Sufficient evidence exists to inform the historic detailing of this element, although it is unlikely to be regarded as an original surviving historic feature. No false sense of history or architecture would result.</p> <p>Contemporary construction, irrespective of its detailing, is unlikely to be confused with historic fabric dating back in excess of 100 years. Contemporary design does not have to create marked contrast in either design or materials to be considered contemporary. In this case the proposals are sensitive and compatible in terms of scale, color, materials and character.</p>	<p><u>Contemporary Design</u></p> <p>Proposals would accord with the objectives of this standard.</p>
<p>Historically Significant Alterations / Additions 4. Alterations or additions that have acquired historic significance in their own right shall be retained and preserved;</p>	<p><u>Historically Significant Alterations / Additions</u> Design Objective for Additions <i>The design of a new addition to a historic building should ensure that the building's early character is maintained. Older additions that have taken on significance also should be preserved.</i> <i>RDGs for Additions 8.1, 8.6</i></p> <p>The existing addition is not considered to be an element which is either original or which has achieved significance in its own right over time. Its replacement would not adversely affect the historic character of the building.</p> <p>A limited area of external materials and detailing would be lost to the rear façade of the building but the latter would otherwise retain its historic character.</p> <p>The reconstruction of the original porch would reinstate a significant historic element of the building. The proposals would not hinder the ability to interpret the age of the building or the new addition.</p>	<p><u>Historically Significant Alterations / Additions</u></p> <p>The proposal would accord with the objectives of this design standard.</p>

<p>Preserve Historic Features 5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved;</p>	<p><u>Preserve Historic Features</u> Design Objective for Additions <i>The design of a new addition to a historic building should ensure that the building's early character is maintained. Older additions that have taken on significance also should be preserved.</i> <i>RDGs for Additions 8.1, 8.2, 8.3, 8.6, 8.9</i></p> <p>The proposed addition would not adversely affect the distinctive features, finishes or craftsmanship of the existing building. (RDG 8.1) The exception would be where the new addition would link with the existing rear façade of the building, although in the form and massing of the proposal this would be minimized.</p> <p>Associated with this proposal is the intention to remove the existing and recent porch and deck structure facing J Street. With its removal, and its replacement with a reconstruction of the original porch, a major historic feature of the building would be reinstated.</p> <p>No historic features would be lost to the building or the site with these proposals. Conversely, a major distinctive historic feature would be reinstated.</p>	<p><u>Preserve Historic Features</u></p> <p>The proposals would accord with the objectives of this standard.</p>
<p>Deteriorated architectural features 6. Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or <u>replacement of missing architectural features</u> should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects;</p>	<p><u>Deteriorated architectural features</u> Design Objective for Porches Where a porch has been a primary character-defining feature of a front facade, this emphasis should continue. A new (replacement) porch should be in character with the historic building, in terms of scale, materials and detailing. <i>RDGs for Porches 5.3</i></p> <p>The proposal is to reconstruct the original porch which has been lost to this house in the past, removing and replacing a relatively recent and uncharacteristic two story porch structure. The design for the reconstruction is based on historic photographic evidence, sufficient to provide adequate information for generally historically accurate form and detailing. (RDG 5.3) The reinstatement of the porch, as perhaps the single most important architectural element of the building, will restore some its historic character, as well as enhancing the character and presence of this house in this corner location.</p>	<p><u>Deteriorated architectural features</u></p> <p>The proposals accord with the objectives of this standard as they apply to the reinstatement of the porch.</p>

<p>Reversibility, Differentiation & Compatibility</p> <p>9. Additions or alterations to structures and objects shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment;</p>	<p><u>Reversibility, Differentiation & Compatibility</u> Design Objective for Additions <i>The design of a new addition to a historic building should ensure that the building's early character is maintained. Older additions that have taken on significance also should be preserved.</i> <i>RDGs for Additions 8.1, 8.3, 8.7, 8.9, 8.11</i></p> <p>Proposals identify a proportion of the existing rear walls of the primary building being retained. Should removing the addition be contemplated in the future, some of the original building would remain intact. Proposals would be largely reversible if such were to be contemplated in the future.</p> <p>Proposals consider in detail the differentiation between the new and the old, with both a change in wall plane and materials. The design appears compatible with the building and its setting. The historic integrity of the original building would be retained. (RDG 8.11) The character of the setting would be retained and enhanced by a combination of the new addition and the reconstruction of the porch.</p>	<p><u>Reversibility, Differentiation & Compatibility</u></p> <p>Proposals would accord with the objectives of this standard.</p>
---	--	--

ATTACHMENT H: PREVIOUS HLC MINUTES (1/5/17 - EXTRACT)

SALT LAKE CITY HISTORIC LANDMARK COMMISSION
Meeting Minutes
451 South State Street, Room 326
January 5, 2017

A roll is kept of all who attended the Historic Landmark Commission Meeting. The meeting was called to order at [5:33:34 PM](#). Audio recordings of the Historic Landmark Commission meetings are retained in the Planning Office for an indefinite period of time.

Present for the Historic Landmark Commission meeting were: Chairperson Charles Shepherd; Vice Chairperson Kenton Peters; Commissioners Thomas Brennan, Sheleigh Harding, Robert Hyde and Paul Svendsen. Commissioners Stanley Adams, Rachel Quist, David Richardson and Kim Wirthlin were excused.

Planning Staff members present at the meeting were: Michaela Oktay, Planning Manager; Carl Leith, Senior Planner; Katia Pace, Principal Planner; Amy Thompson, Associate Planner, Michelle Moeller, Administrative Secretary and Paul Nielson, Senior City Attorney.

FIELD TRIP NOTES:

A field trip was held prior to the meeting. Historic Landmark Commissioner present were Robert Hyde and Charles Shepherd. Staff members in attendance were Michaela Oktay, Amy Thompson, Katia Pace and Carl Leith.

The following site was visited:

- **183 Fourth Ave** – Staff gave an overview of the proposals.
- **638 6th Avenue** – Staff gave an overview of the proposals.
- **35 S 900 East** – Staff gave an overview of the proposals.
- **715 South 500 East** – Staff gave an overview of the proposals.

APPROVAL OF THE DECEMBER 1 and DECEMBER 8, 2016 MINUTES. [5:35:17 PM](#)

Commissioner Peters moved to approve the minutes from the December 1 and December 8, 2016, meetings. Commissioner Brennan seconded the motion. The motion passed unanimously.

REPORT OF THE CHAIR OR VICE CHAIR [5:35:31 PM](#)

Chairperson Shepherd stated he had nothing to report.

Vice Chairperson Peters stated he had nothing to report.

DIRECTOR'S REPORT

Ms. Michaela Oktay, Planning Manager, reviewed the date change for the Historic Landmark Commission meetings for March 2, 16 and April 20. She reviewed the updates on the Trolley Square rezone, that the Developer had withdrawn the Development Agreement and was currently only requesting the rezone. Ms. Oktay reviewed the recent

[6:35:39 PM](#)

New Rear Addition and Side Porch to Single Family Residence at approximately 638 6th Avenue – Ken Pollard, on behalf of owner James Williamson, is requesting approval of a two story addition with basement to the rear of the existing house and the reconstruction of a new porch to match the original. The house is a contributing building in the Avenues Historic District, is on a corner lot and the addition will face onto J Street. The subject property is zoned SR1-A (Special Development Pattern Residential District) and is located in City Council District 3, represented by Stan Penfold. This proposal is being referred to the Historic Landmark Commission for decision because it is a substantial addition to this residence, and because special exception approval is required for proposals exceeding the SR-1A zone standards. (Staff contact: Carl Leith, (801) 535-7758 or carl.leith@slcgov.com)

- a. **Proposed Addition and Porch** – The proposed addition is situated to the rear and porch along the east side of this original dwelling on a corner lot, both facing onto J Street. Case Number PLNHLC2015-00586
- b. **Special Exception** – Special Exception approval is sought for a section of the proposed porch and stair that is proposed to taper to a maximum of two feet within the side yard setback area, increased lot coverage to 48.4 percent, wall height adjacent to the interior side yard of 9.5 feet, rear yard depth of 15 feet and grade changes in excess of four feet to provide access to the proposed addition in the rear and corner side yard setbacks. Case Number PLNHLC2015-00587

Mr. Carl Leith, Senior Planner, gave an overview of the proposal as outlined in the Staff Report (located in the case file). He stated Staff was recommending the Historic Landmark Commission consider whether a reduction in height and/or bulk would achieve an addition more appropriate to the scale and character of this site and neighboring development, and if the Commission concurred with that conclusion, to table this proposal to allow for revisions accordingly.

The Commission and Staff discussed the following:

- The percentages of lot coverage with and without the porch and in the previous proposal.
- The proposed height of the structure and how it compared to the surrounding area.
- The history of the structure and its contributory status.

Mr. Ken Pollard, architect, reviewed the layout of the proposed structure, changes in the design, the average height of the surrounding structures, the shadow study for the property and how those shadows would affect the neighboring property. He stated the addition was in the proposed location to protect and retain the existing mature historic trees. Mr. Pollard reviewed the reasoning for the height request and roof design.

The Commission and Applicant discussed the following:

- The evolution of the roof design.
- The difference in height between the previous design and the current design.
- The architects preferred design for the home.
- The reason the lot coverage increased in the current proposal.
- The porch was recreating a historic element and extending that element which was contrary to the guidelines and ordinance.
- How to differentiate the new and historic portions of the porch.
- The compatibility of the design with the area and existing home.
- The definition of a sheer wall and how it applied to this proposal.
- The street elevations and how they related to the height of the structure.
- How the proposal addressed the street and the location of the front yard.
- How to mitigate the look of a large concrete wall created by the foundation.
- If there was consideration of lowering the floors to lessen the height of the house.

PUBLIC HEARING [7:30:02 PM](#)

Chairperson Shepherd opened the Public Hearing.

The following individuals spoke to the petition: Mr. Dave Alderman, Ms. Adrienne Cachelin, Mr. Kirk Henrichsen, Mr. Russell Norvell, Ms. Angela Dean, Mr. Tim Brown and Ms. Brandi Chase.

The following comments were made:

- Supported the statements of Staff regarding a reduction in height.
- Property owners should be allowed to develop their properties but not at the cost of the neighbors.
- Proposed additional height should be denied as it was too large for the area.
- Addition was too large for the home and would overwhelm it.
- The proposed lot coverage should include off street parking.
- The neighboring structure may be of illegal height and needed to be reviewed.
- The proposed addition would dominate the existing home from the north and east.
- Would set a precedent for the area in terms of height.
- Neighbors needed time to review the effects of the proposal on their solar usage.
- Supported the home owner wanting to redo the south addition as it was not safe.
- The height should remain one story to remain compatible with the existing home and not dominate the historic structure.
- Strongly support the excavation of a basement for the addition instead of additional height.
- Proposal asked for five exceptions but was not exceptional in design or need.
- All exceptions were not necessary and did not make the home compatible with the area.
- Do not table the petition but make a decision to deny or approve the proposal.

- Was the average height taken into consideration?
- The porch extension did not push the lot coverage the addition did.
- SR1A and the historic district were there to protect the neighborhood and exceptions should be made only if the lot pushed the need not the design.
- Proposal would be a detriment to the neighboring home.

Chairperson Shepherd closed the Public Hearing.

The Applicants stated SR1A read 23 feet or the average height which the proposal was under, the compatibility was centering notice on the pioneer home and mitigated the height of whether the structure to the south was legal or illegal. They stated the neighboring building to the south was on the property line, the view of the addition from the east, with the mature trees, would be minimal and the reasoning for the color was to lessen the view of the home and it would not stand out.

Mr. Leith reviewed the definition of sheer height used in the Staff Report and that it was referring to total wall height.

The Commission and Staff discussed the following:

- The average block height and how the front yard was determined.
- If the exception for height was required.
- The side yard setback and why the request was being made.
- How setbacks were regulated in historic districts.

The Commission discussed and stated the following:

- What are the benefits of this proposal to the community?
- The design changed but was still pushing the edges.
- If the design was a benefit to the area that required all of the exceptions.
- The standards, listed in the Staff Report that were not met.
- The massing and scale of the addition was not appropriate.
- The previous design met the standards better than the current design.
- There are guidelines and compatibility issues that needed to be addressed.
- Tabling the petition was a better idea than denying it.
- Leave the porch on the historic portion of the home and do not add it to the addition.
- The addition needed to be subordinate to the historic home.
- The modern form and aesthetic were appropriate for the design.

MOTION [8:08:45 PM](#)

Commissioner Harding stated regarding PLNHLC2015-00586 Major Alterations PLNHLC2015-00587 Special Exception, based on the analysis and findings listed in the Staff Report, the testimony and the proposal presented, she moved that the Historic Landmark Commission table the petition to allow for revisions to achieve an addition more appropriate to the scale and character of this site and neighboring development.

The Commission discussed the following:

- The difference between tabling versus denying the petition.
- The direction the applicant could go to make the proposal met the standards
- Holding a work session or a subcommittee to review the petition.

Commissioner Hyde seconded the motion. The motion passed unanimously.

[8:11:24 PM](#)

The Commission took a short break.

[8:18:24 PM](#)

New Construction and Special Exceptions at approximately 35 S 900 East - Dustin Holt, who represents the property owner, is requesting approval from the City to construct a three story multi-family apartment building in the South Temple Local Historic District. The base zoning for the property is RMF-35 (Moderate Density Multi-Family Residential). The subject property is located within Council District 4, represented by Derek Kitchen. (Staff contact is Amy Thompson (801) 535-7281 or amy.thompson@slcgov.com)

- a. New Construction - In order to build the proposed apartment building a New Construction application must be approved by the Historic Landmark Commission. Case Number PLNHLC2016-00771.**
- b. Special Exception - In order to construct the development as proposed, special exception approval is sought for an encroachment of 5 feet into the required front yard to accommodate the proposed design of the main entry. Case Number PLNHLC2016-00925**

Ms. Amy Thompson, Principal Planner, gave an overview of the proposal as outlined in the Staff Report (located in the case file). She stated Staff was recommending the Historic Landmark Commission approve the petition as presented.

The Commission and Staff discussed the following:

- If the portion of the building, not under the Historic Landmark Commission's purview, could be changed prior to the building permit being issued.
- The Commission's purview over the building and if conditions could be put on the entire project.
 - The Commission could not address compatibility of the non-historic area.
- The proposed modifications to the windows.
 - Staff would like direction from the Commission on the windows.

Mr. Dustin Holt, Mr. Heath Gregory, Mr. Benj Baird, applicants, reviewed the changes to the design, and stated the intent was to make the entire building compatible with the historic district. They reviewed the history of the property and proposal, how the comments from the November work session were incorporated into the current design and asked the Commission for approval on the proposal.

ATTACHMENT I: PUBLIC PROCESS AND COMMENTS

Notice of the public hearing for the proposal include:

- Notice mailed on June 22, 2017.
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on June 22, 2017
- Site notice posted on June 26, 2017

Public Inquiries

One request from a neighboring resident for information on the application has been received. No follow-up or further comments have been received.

Any comments received following the publication of this report will be forwarded to the Commission.