



# Staff Report

PLANNING DIVISION  
COMMUNITY & ECONOMIC DEVELOPMENT

To: Salt Lake City Historic Landmark Commission  
From: Carl Leith, Senior Planner  
801 535 7758 or [carl.leith@slcgov.com](mailto:carl.leith@slcgov.com)  
Date: March 16, 2017  
Re: PLNHLC2017-00033 New Construction

## NEW CONSTRUCTION – SINGLE FAMILY RESIDENCE

**PROPERTY ADDRESS:** 165 West 600 North

**PARCEL ID:** 0836232008

**HISTORIC DISTRICT:** Capitol Hill Local Historic District

**ZONING DISTRICT:** H Historic Preservation Overlay District. SR-1A (Special Development Pattern Residential District)

**MASTER PLAN:** Capitol Hill Master Plan

**DESIGN GUIDELINES:** A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City

**REQUEST:** **New Single Family Dwelling at approximately 165 West 600 North** - Angela Dean, AMD Architecture, representing owner Jack Rhinehart, is requesting approval from the City to construct a single family residence at the above address. The lot is currently zoned SR-1A (Special Development Pattern Residential) and lies within the Capitol Hill Historic District protected by the H Historic Preservation Overlay. The proposed development requires Certificate of Appropriateness approval from the Historic Landmark Commission for new construction in an historic district. It also requires Special Exception approval for height in excess of the SR-1A maximum and projection of the upper floor into the rear and corner side yard setback requirement.

- a. **New Construction – Single Family Residence.** In order to construct the proposed residential building a Certificate of Appropriateness for new construction must be approved by the Historic Landmark Commission. Case number **PLNHLC2017-00033**
- b. **Special Exception Approval.** In order to construct the new single family residence as proposed within the area and configuration of this lot, and to reduce adverse effect upon neighboring mature trees, special exception approval is sought for the following departures from the base zoning dimensional standards.  
Case Number **PLNHLC2017-00111**
  - i. Construction of the building to a maximum height of 20 feet which is 4 feet in excess of the SR-1A requirement for a flat roof building.
  - ii. Construction of the building with a projection of up to 2 feet at the south west corner into the rear and corner side yard setback area.

**RECOMMENDATION:** Based on the analysis and findings listed in this staff report, Staff recommends that the Commission approve this application for a Certificate of Appropriateness for New Construction, and the associated Special Exception approvals, subject to the following conditions:

1. That detailed design approval is delegated to Staff.

**MOTION – Certificate of Appropriateness:** Based on the analysis and findings listed in the staff report, testimony and the proposal presented, I move that the Commission approve this application for a Certificate of Appropriateness for New Construction, subject to the condition:

1. That detailed design approval is delegated to Staff.

**MOTION – Special Exceptions:** Based on the analysis and findings listed in the staff report, testimony and the proposal presented, I move that the Commission approve this application for Special Exceptions for a new single family dwelling, subject to the condition:

1. That detailed design approval is delegated to Staff.

## CAPITOL HILL HISTORIC DISTRICT CONTEXT

The irregularly shaped, under sized lot is currently vacant and is located on the south side of 600 North on the corner with Alida Place. Although primarily single family structures the context also includes examples of early multi-family dwellings to the immediate east. Structures within this section of 600 North and Alida Place are primarily contributing within the Capitol Hill Historic District. The general scale of the buildings in this context, on 600 North and within Alida Place, ranges from one to one and a half stories. Construction materials include a spectrum encompassing masonry in the form of brick and stucco, and wood in the form of horizontal and shingle siding. Roof forms tend to be pitched with gables or hipped roof forms. Orientation varies from street facing on 600 North to a re-orientation parallel with the line of the street frontage on this section of Alida Place. See Attachment B: 2006/7 R L Survey & Attachment C: Photographs.

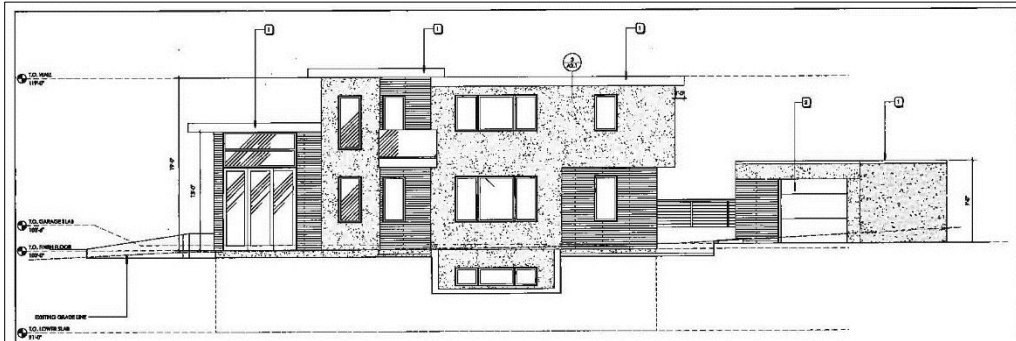
## LOCATION PLAN





Several mature and semi-mature trees contribute to the character of the street, as street trees and within several private lots. Immediately adjacent to the application site on the neighboring lot to the east, are two mature elm trees. This lot is defined as a legal complying lot, as recently confirmed in Administrative Interpretation decision PLN2AD2016-00589.

## CURRENT DEVELOPMENT PROPOSALS



The proposed development is for a flat roof single family dwelling of two stories with basement, with detached single flat roofed garage to the rear accessed from Alida Place. Initial designs included significant excavation of the site primarily to contain the height of the proposal, with excavation for a retaining wall and window wells immediately alongside the eastern boundary of the site. The residence would face 600 North, and would be accessed by an entrance off Alida Place, identified in part by a change in materials and a small balcony on the floor above. The footprint of the building would largely meet the setback requirements of the zone, and the second level would project beyond this footprint to achieve additional space at that level. The second level projection would require Special Exception approval for the south-west corner of the proposal.

The massing of the proposed development creates several volumes with differing roof heights, stepping up towards the central section of the structure, and visually accentuated using a strong series of projecting eaves. The proposal would be articulated using several changes in wall plane reflecting the volumes of the massing. The fenestration pattern combines large areas of subdivided glazed wall and patio doors, with a series of individual 'hole in the wall' vertically proportioned windows, contrasting with several strongly horizontal window openings. Lower level windows are lit by window wells on the east, south and west sides. The proposed materials focus on stucco and wood siding, with aluminum clad windows.

The rear detached single car garage is designed with a flat roof, using similar materials and is positioned in line with the southern boundary of the site, at an angle to the rear of the house.

Although not directly within their realm of responsibility, the City's Urban Forestry Division was consulted for their expertise on the potential impact of the initial application proposals upon the immediately adjacent mature trees. The City Forester confirmed the likely adverse impact of the proposals, as initially received, upon the future health and survival of the trees. See Attachment G.

Responding primarily to the concerns regarding the survival of the trees on the immediately adjacent site, the applicant has redesigned the development proposals. The redesign avoids or reduces excavation of the site immediately adjacent to the neighboring property to reduce the adverse impact upon the neighboring trees. As revised, the development would avoid the initial degree of excavation of the site and is now higher than previously proposed. The basement window locations have also been revised, moving excavation for light well access further away from the neighboring trees. The plan form of the proposal has also been revised to reduce the degree of encroachment into the side and rear yard setback areas. Refer to Attachment D for revised and initial applications drawings.

Special Exception approval will be required to achieve the proposed height, which is approximately four feet above the SR-1A maximum for a flat roofed building. A slight encroachment into the corner side yard and rear yard setback areas will also require Special Exception approval. See Attachment E.

The applicant, in their design statement, describes the proposal as follows. Refer to Attachment D for Application materials.

“The primary building materials of wood siding and hard coat stucco are in keeping with the surrounding neighborhood, as is the building massing and solid/void ratios. The façade is modulated with varying planes, as is the roof. A division into three roofs is preferred to break up the massing. The overall building façade is emphasized by vertical building elements and windows. Larger, wider window openings will be subdivided with mullions to provide a vertical emphasis as well as a nod to traditional tripartite layouts. Windows and exterior doors will be aluminum clad wood construction.

## **SR-1A ZONE DISTRICT STANDARDS & SPECIAL EXCEPTION APPROVALS**

The provisions for the SR-1A (Special Development Pattern Residential) base zone district are defined by chapter 21A.24.080 and are set out in detail in Attachment E. Special Exception standards are defined by chapter 21A.52 of the ordinance and are also addressed in Attachment E of this report. Two Special Exception approvals would be required with this proposal, for additional height and for a slight encroachment into the required setback areas at the south-west corner of the proposed dwelling. No additional issues with SR-1A zoning standards are identified.

## **DESIGN STANDARDS & DESIGN GUIDELINES FOR NEW CONSTRUCTION WITHIN THE HISTORIC PRESERVATION OVERLAY DISTRICT**

New Construction Design Standards are defined by chapter 21A.34.020.H of the Ordinance, addressing three key aspects of contextual design – Scale & Form, Composition of Principal Facades & Relationship to the Street, as well as the Subdivision of Lots. A Preservation Handbook for Historic Residential Properties and Districts in Salt Lake City, Chapter 12 New Construction, provides more detailed advice and guidance on these design considerations and they are used to inform and analyze the design standards in the ordinance. The proposed development is reviewed in detail in the context of these design standards, as they are informed by the design guidelines, in Attachment F of this report.

## **PUBLIC COMMENTARY**

At the time of the publication of this staff report one public comment from a neighboring resident in support of the proposal has been received, although not subsequently confirmed as to identity. Any additional public commentary will be forwarded directly to the Commission and will be posted on the meeting agenda website. See Attachment G.

## **KEY ISSUES:**

From an analysis of the proposed development in this report Staff would identify the following issues.

### **1. Lot Dimensions & Configuration**

Developing within the existing under-sized legal nonconforming lot, coupled with designing to reduce the impact on adjacent mature trees, prompts the need to consider minor special exception approvals. Such approvals recognize the constraints of the site while enabling a design approach which is compatible with the character of this setting. Issue resolved.

### **2. Side & Rear Setbacks – South-West Corner**

A minor encroachment into the corner side yard and rear yard setback areas is proposed. In relation to the current SR-1A requirements minor special exception approval is required. Such approval is entirely consistent with compatible development of this lot. Issue resolved.

### **3. Height**

Special exception approval is required for an proposed building height in excess of the SR-1A maximum. The additional height arises from avoiding excavation of the site to reduce the adverse impact upon adjacent mature trees. Their retention and survival is in the interest of retaining the mature character of this setting and streetscape within the Capitol Hill Historic District and will enhance the integration and compatibility of the new building. Issue resolved.

**ATTACHMENTS:**

- A.** Vicinity & Historic District Maps
- B.** 2006/7 Reconnaissance Level Survey Extract – Capitol Hill Historic District
- C.** Photographs
- D.** Application Materials – Revised & Initial Drawings
- E.** SR-1A Zoning Standards & Special Exception Standards
- F.** Design Standards & Guidelines for New Construction in a Historic District
- G.** Public Process and Comments
- H.** Motions

## ATTACHMENT A: VICINITY & HISTORIC DISTRICT MAPS



★ Approximate Project Location





**ATTACHMENT B: 2006/7 RECONNAISSANCE LEVEL SURVEY –  
CAPITOL HILL HISTORIC DISTRICT - Extract**

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600 NORTH



135 W 600 North  
A



136-146 W 600 North  
B



146-136 W 600 North  
B



141 W 600 North  
B (in rear on Alida Place)



143 W 600 North  
A



149 W 600 North  
A



150 W 600 North  
B



155 W 600 North  
B



158 W 600 North  
B



172 W 600 North  
A



174 W 600 North  
A

# Architectural Survey Data for SALT LAKE CITY

## Utah State Historic Preservation Office

Address/ Property Name	Eval/ Ht	OutB N/C	Yr.(s) Built	Materials	Styles	Plan (Type)/ Orig. Use	Survey Year RLS/ILS/Gen	Comments/ NR Status
135 W 600 NORTH	A	0/0	c. 1890	REGULAR BRICK ROCK-FACED BRICK	VICTORIAN ECLECTIC GREEK REVIVAL	SIDE PASSAGE/ENTRY SINGLE DWELLING	06	UHF EASEMENT N05
136 W 600 NORTH JAMES J. WYATT	B	0/0 1	1885	BRICK:OTHER/UNDEF.	VICTORIAN ECLECTIC	ROW HOUSE MULTIPLE DWELLING	06	136-146 W N05
141 W 600 NORTH	B	0/1	c. 1910	REGULAR BRICK	VICTORIAN ECLECTIC	RECTANGULAR BLOCK	06	CONSTRUCTION DATE: 1904- 1910; ACCESS FROM ALIDA PLACE; BEHIND 143 W N05
RALEIGH, GEORGE R., HOUSE	1.5					SINGLE DWELLING	05	
143 W 600 NORTH RALEIGH, GEORGE R., HOUSE	A	0/1 1	c. 1907	REGULAR BRICK	VICTORIAN ECLECTIC	CENTRAL BLK W/ PROJ SINGLE DWELLING	06	GARAGE ON ALIDA PLACE N05
149 W 600 NORTH	A	0/1 1	1896	REGULAR BRICK	VICTORIAN ECLECTIC	CENTRAL BLK W/ PROJ SINGLE DWELLING	06	OUTBUILDING ON ALIDA PLACE N05
150 W 600 NORTH	B	0/1 1	c. 1890	STUCCO/PLASTER	VICTORIAN: OTHER	CROSSWING SINGLE DWELLING	06	
155 W 600 NORTH OLSEN, JOSEPH & MARY	B	0/0 1	c. 1899	STUCCO/PLASTER	VICTORIAN: OTHER	RECTANGULAR BLOCK SINGLE DWELLING	06	N05
158 W 600 NORTH ADKINS, GEORGE F., HOUSE	B	0/0 1	c. 1892	STUCCO/PLASTER BRICK:OTHER/UNDEF.	VICTORIAN ECLECTIC	CENTRAL BLK W/ PROJ SINGLE DWELLING	06	LARGE REAR ADDITION N05
172 W 600 NORTH ADKINS, EARNEST B., HOUSE	A	0/1 1.5	c. 1899	REGULAR BRICK	VICTORIAN ECLECTIC	CENTRAL BLK W/ PROJ SINGLE DWELLING	06	NICE BALCONY N05
174 W 600 NORTH ROMNEY, GASKELL, HOUSE	A	0/1 1	1927	REGULAR BRICK	CLIPPED-GABLE COTTAGE	CLIPPED-GABLE COTTAGE SINGLE DWELLING	06	CONSTRUCTION DATE: 1926-1927 N05

?=approximate address

Evaluation Codes: A=eligible/architecturally significant B=eligible C=ineligible/alttered D=ineligible/out of period U=undetermined/lack of info X=demolished



262-264 W 700 North  
B



268 W 700 North  
B



276-272 W 700 North  
B



141 W 600 North  
(rear on Alida Place)



141-143 W 600 North  
(garages on Alida Place)



?150 W Alida Place  
B (outbuilding)

## ALIDA PLACE



162 W Alida Place  
B

## ALMOND STREET



217-219 N Almond Street\*  
A

\*Buildings in SLC Landmark district, but not in NR district



# Architectural Survey Data for SALT LAKE CITY

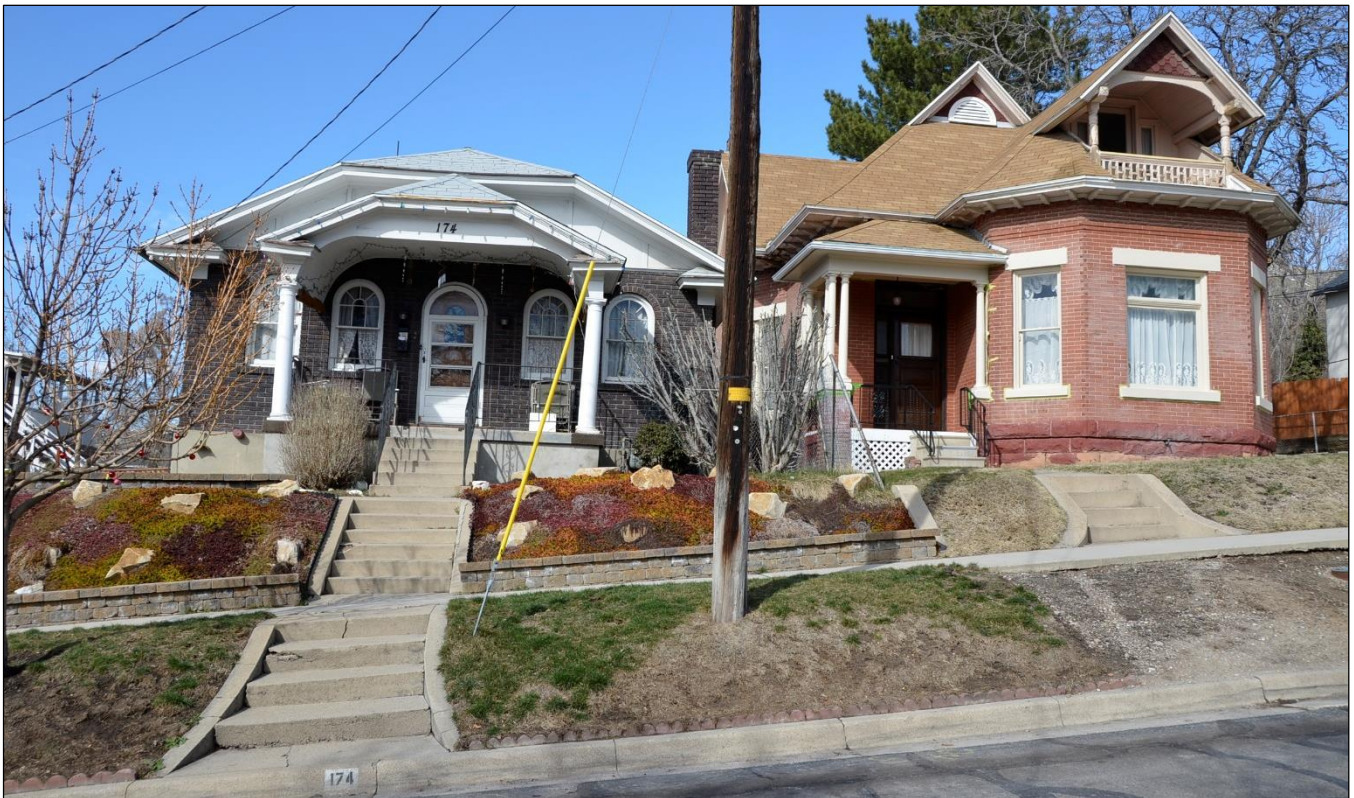
## Utah State Historic Preservation Office

Address/ Property Name	Eval/ Ht	OutB N/C	Yr.(s) Built	Materials	Styles	Plan (Type)/ Orig. Use	Survey Year RLS/ILS/Gen	Comments/ NR Status
262 W 700 NORTH	B	0/ 1	c. 1910	REGULAR BRICK	VICTORIAN ECLECTIC	DOUBLE HOUSE / MULTIPLE DWELLING	06	DOUBLE HOUSE TYPE C, 262-264 N05A
268 W 700 NORTH	B	0/0 1	1927	REGULAR BRICK	BUNGALOW	DOUBLE HOUSE / MULTIPLE DWELLING	06 86	DUPLEX, 268-270 W N05A
276 W 700 NORTH	B	0/ 2	1927	REGULAR BRICK	PERIOD REVIVAL: OTHER	OTHER APT./HOTEL MULTIPLE DWELLING	06 79	4 PLEX, 272-276 W; NEWER WINDOWS N05A
<hr/>								
? 150 W ALIDA PLACE	B	0/0	c. 1900	REGULAR BRICK VENEER: OTHER	VICTORIAN: OTHER	OTHER	06	INTRIGUING OUTBUILDING; BELONGS TO 162 W ALIDA OR 155 W 600 NORTH?
162 W ALIDA PLACE JENSEN, CAROLINE A., HOUSE	B	0/1 1.5	c. 1908	SHIP-LAP SIDING	20TH C.: OTHER	RECTANGULAR BLOCK SINGLE DWELLING	06 05	GABLE WINDOW ALTERED N05
<hr/>								
217 N ALMOND STREET	A	1/0 1.5	c. 1900	REGULAR BRICK SHINGLE SIDING	VICTORIAN ECLECTIC QUEEN ANNE	CENTRAL BLK W/ PROJ SINGLE DWELLING	06 86	APTS IN THE 1920s; NOW 217-219 N

?=approximate address

Evaluation Codes: A=eligible/architecturally significant B=eligible C=ineligible/altared D=ineligible/out of period U=undetermined/lack of info X=demolished

## ATTACHMENT C: PHOTOGRAPHS



CONTEXT – 600 NORTH





CONTEXT - 600 NORTH





CONTEXT - 600 NORTH





## CONTEXT & SITE





## CONTEXT & SITE





## CONTEXT – ALIDA PLACE

## **ATTACHMENT D: APPLICATION MATERIALS**

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## CAPITOL HILL HOUSE PROJECT DESCRIPTION

The proposed structure is a two story with basement single family detached dwelling, with a footprint of 700 SF. The lot area is 2865 SF, approximately 57% of the 5000 SF minimum required area for SR-1A zoning.

The primary building materials of wood siding and hard coat stucco are in keeping with the surrounding neighborhood, as is the building massing and solid/void ratios. The façade is modulated with varying planes, as is the roof. A division into three roofs is preferred to break up the massing. The overall building façade is emphasized by vertical building elements and windows. Larger, wider window openings will be subdivided with mullions to provide a vertical emphasis as well as a nod to traditional tripartite layouts. Windows and exterior doors will be aluminum clad wood construction.

The building entry is defined by a change in materials and a small porch roof that also serves as a balcony for the upper story. The door itself is at the side wall; this is to accommodate a workable floor plan within the small building footprint. The garage maintains a similar scale to traditional accessory structures in the neighborhood with its single door.

The overall architectural composition will be a product of its time, and will not replicate an historic style. This will blend in with the variety of forms and styles in the Capitol Hill District. The size, materials, and openings will also blend in with the neighborhood. The noted diversions from design recommendations and requirements have been incorporated to facilitate construction of a habitable dwelling on a site smaller than the norm.

Due to the size limitations of the lot, existing slope, and desire to preserve existing mature trees, we are asking for two special exceptions:

### 1. Height Variance:

We are asking for a height variance of 4' (from 16' to 20') to facilitate a reasonable floor plan while preserving mature adjacent trees located on the neighbor's property. We believe that due to the lot elevation being lower than adjacent properties, and the height of existing homes, this is in keeping with the scale and massing of the block.

The 4' height increase allows the position of the home to be placed at an elevation that allows us to eliminate the need for a retaining wall along the east property fence line, which would be required to facilitate reasonable depth window wells for egress from the lower level. With this measure, the mature tree roots will not be compromised by the construction. Also, the proposed lower level plan and window wells have been positioned to avoid conflict with those tree roots.

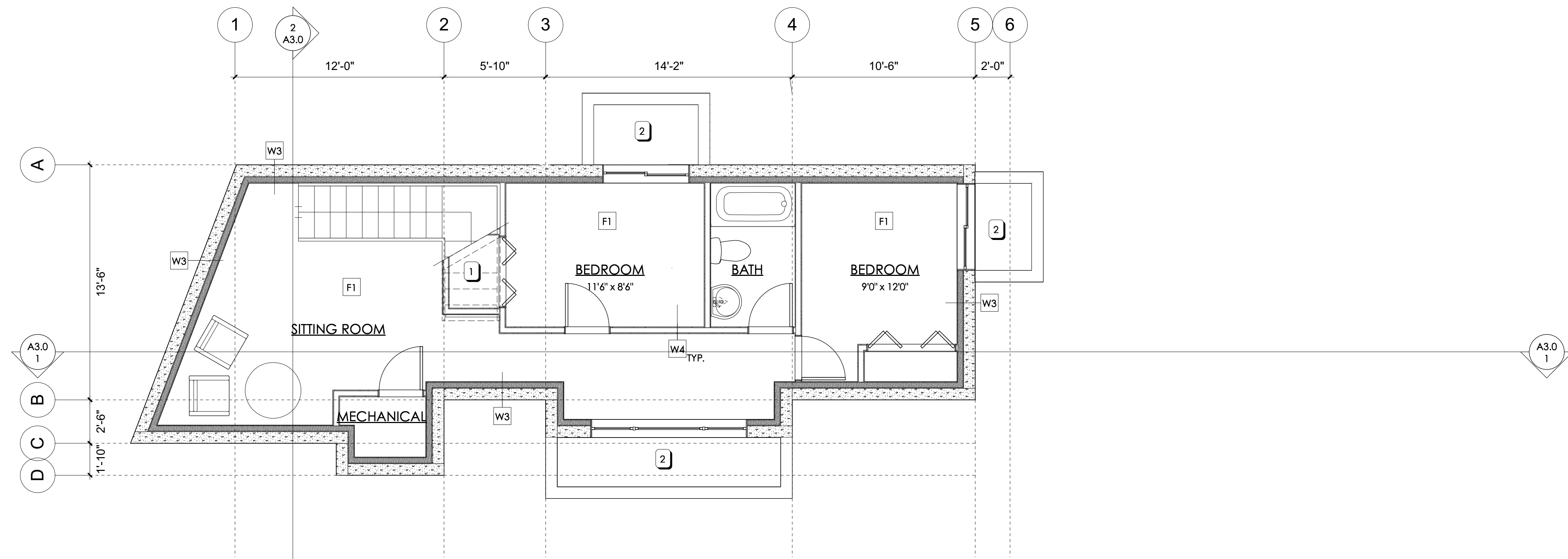
The height also allows for articulation of the building form with stepped rooflines, which provide a massing and scale more in keeping with Design Standard recommendations.

### 2. Sideyard Setback encroachment:

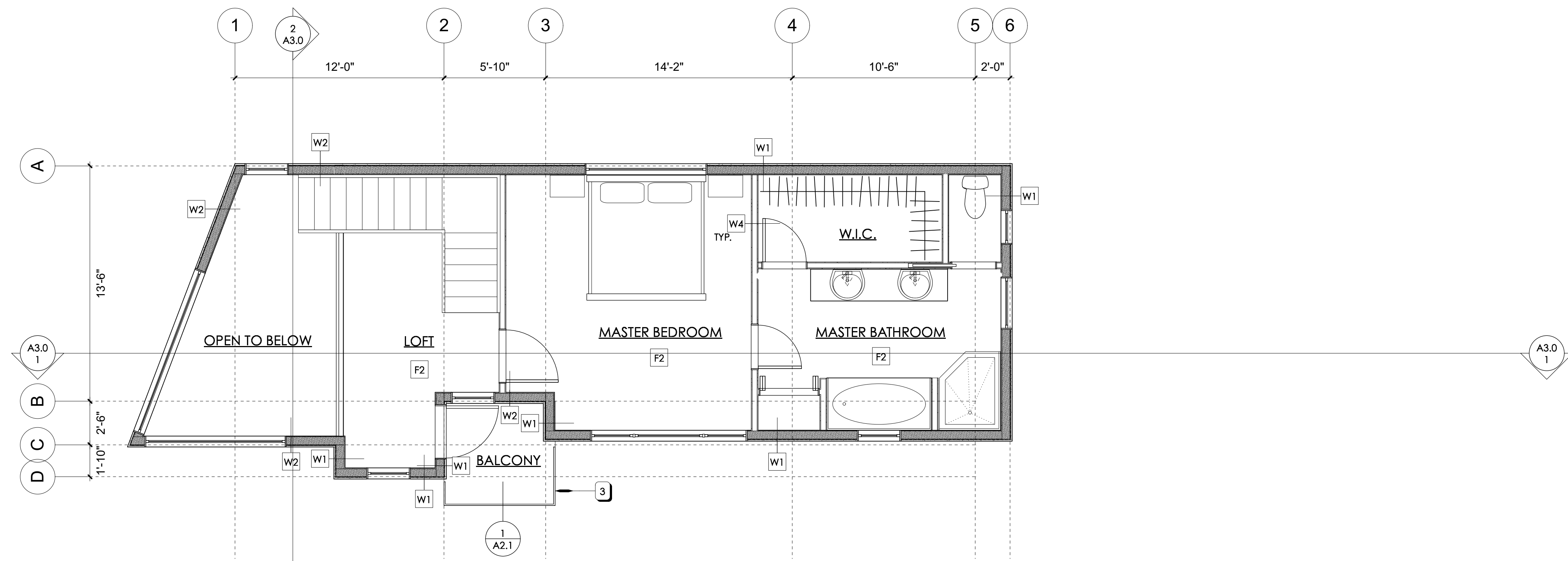
The lot is not only smaller than the 5000sf minimum but also narrows in width from 39'-5" to 28'-3" from north to south. Our proposal keeps the building footprint within the required setback; however does encroach 2' on the southwest corner. The upper level floor extends 1'-0" and roof extends another 1'-0". As this is along a street, rather than residential lot, there should be no negative impacts to adjacent property owners.



## SP1.0



1 LOWER FLOOR PLAN  
Scale: 1/4" = 1'-0"



2 UPPER FLOOR PLAN  
Scale: 1/4" = 1'-0"

- GENERAL NOTES & LEGEND**
- W# WALL TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS
  - F# FLOOR TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS

- FLOOR PLAN KEYED NOTES**
- CLOSET BENEATH STAIR
  - WINDOW WELL
  - GLASS RAILING

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**CAPITOL HILL HOUSE**  
165 West 600 North  
Salt Lake City, UT

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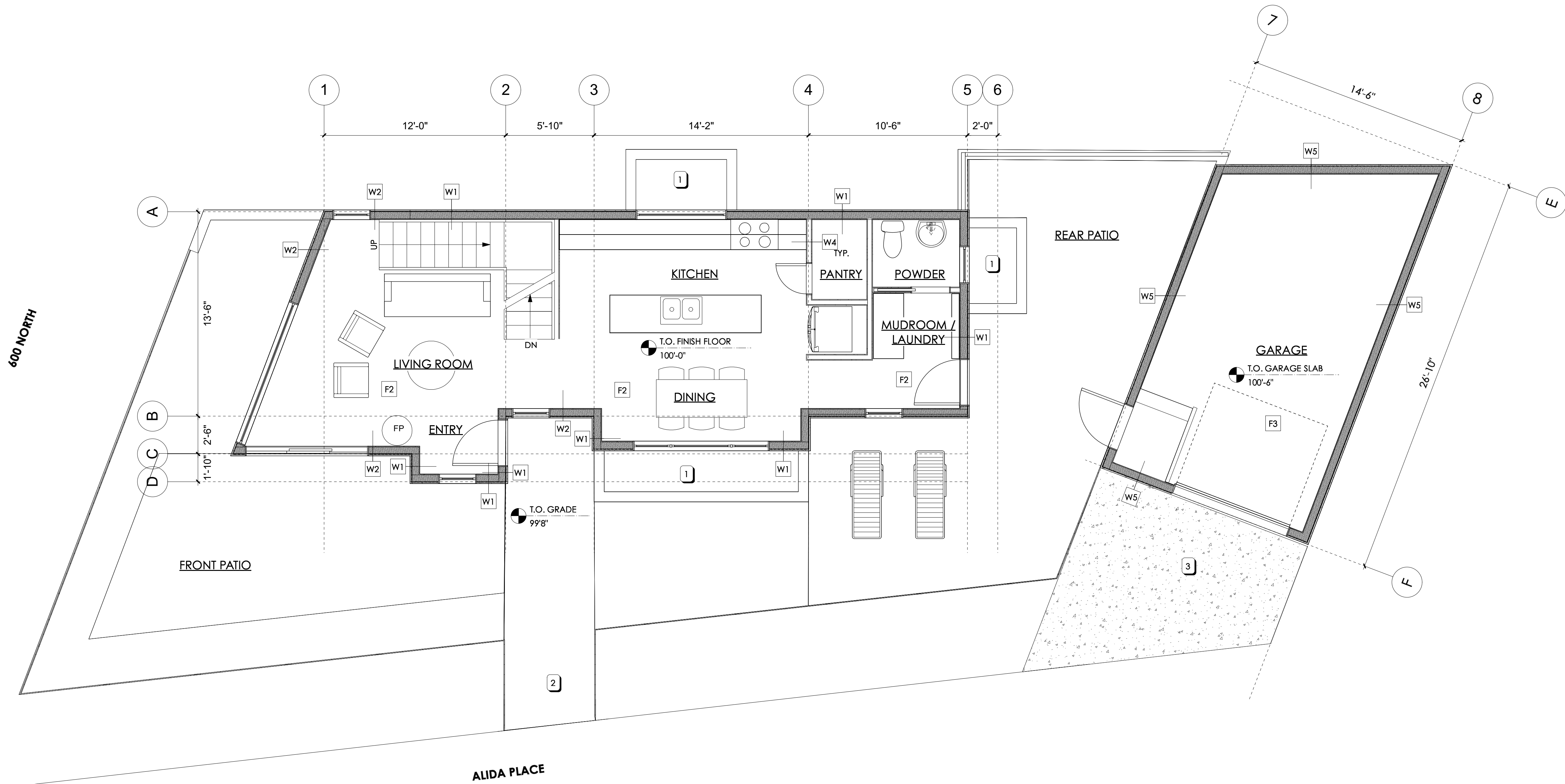
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DATE  
2.02.17

REVISIONS

LOWER FLOOR PLAN

A1.0



1 FLOOR PLAN  
Scale: 1/4" = 1'-0"



- GENERAL NOTES & LEGEND**
- W# WALL TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS
- F# FLOOR TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS

- FLOOR PLAN KEYED NOTES**
1. WINDOW WELL
  2. SIDEWALK
  3. DRIVEWAY





**CAPITOL HILL HOUSE**  
165 West 600 North  
Salt Lake City, UT

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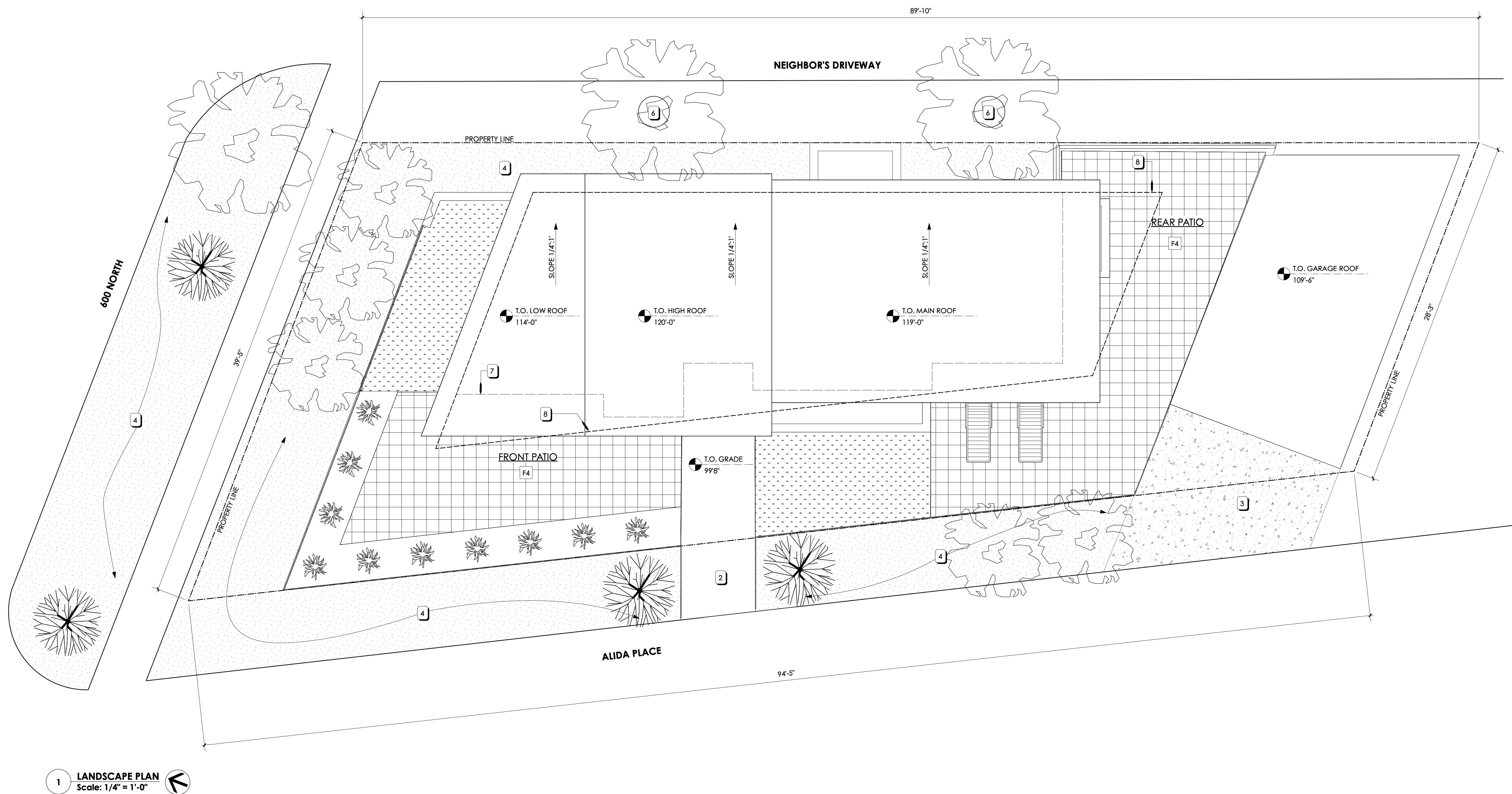
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2.02.17

## REVISIONS

LANDSCAPE  
PLAN

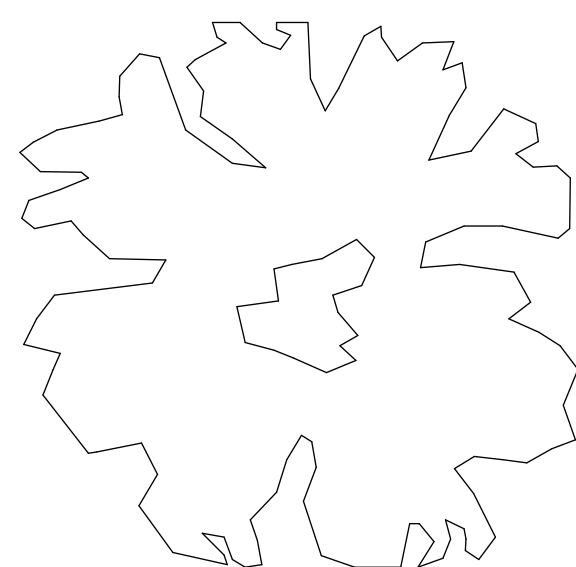
## A1.2



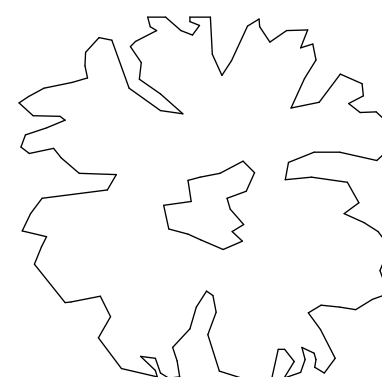
### LANDSCAPE PLAN KEYED NOTES

1. WINDOW WELL
2. SIDEWALK
3. DRIVEWAY
4. XERISCAPE
5. PROPERTY LINE
6. EXISTING TREE
7. WALL BELOW
8. BUILDABLE AREA BOUNDARY

### GENERAL NOTES & LEGEND



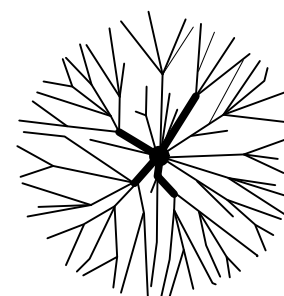
LARGE EXISTING DECIDUOUS TREE



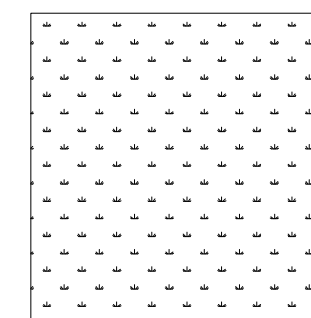
NEW SMALL NATIVE DECIDUOUS TREE



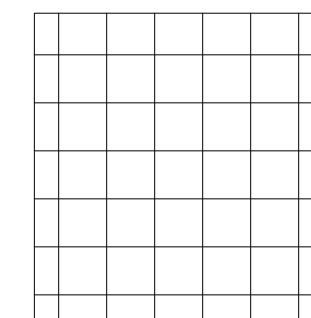
ORNAMENTAL  
TALL GRASS CLUSTER



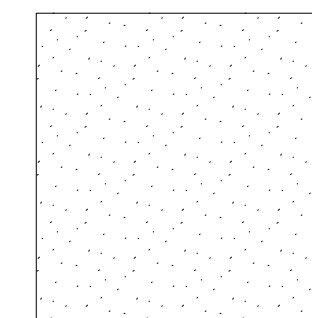
SMALL NATIVE SHRUB



LAWN

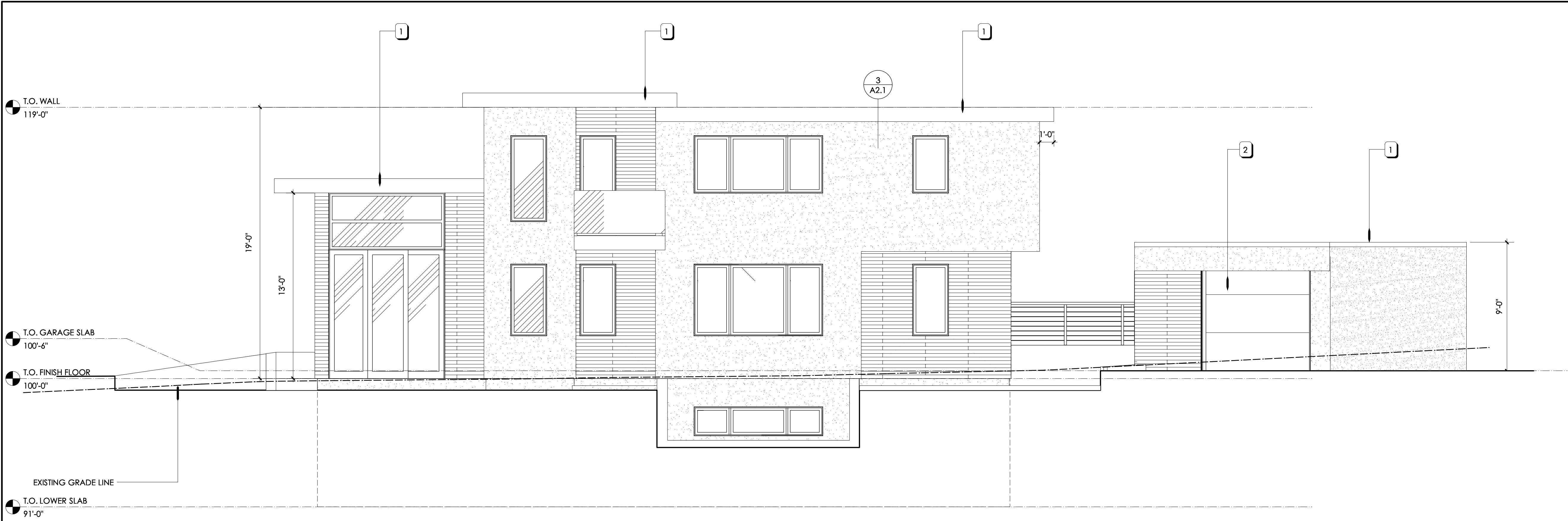


PAVERS ON GRADE

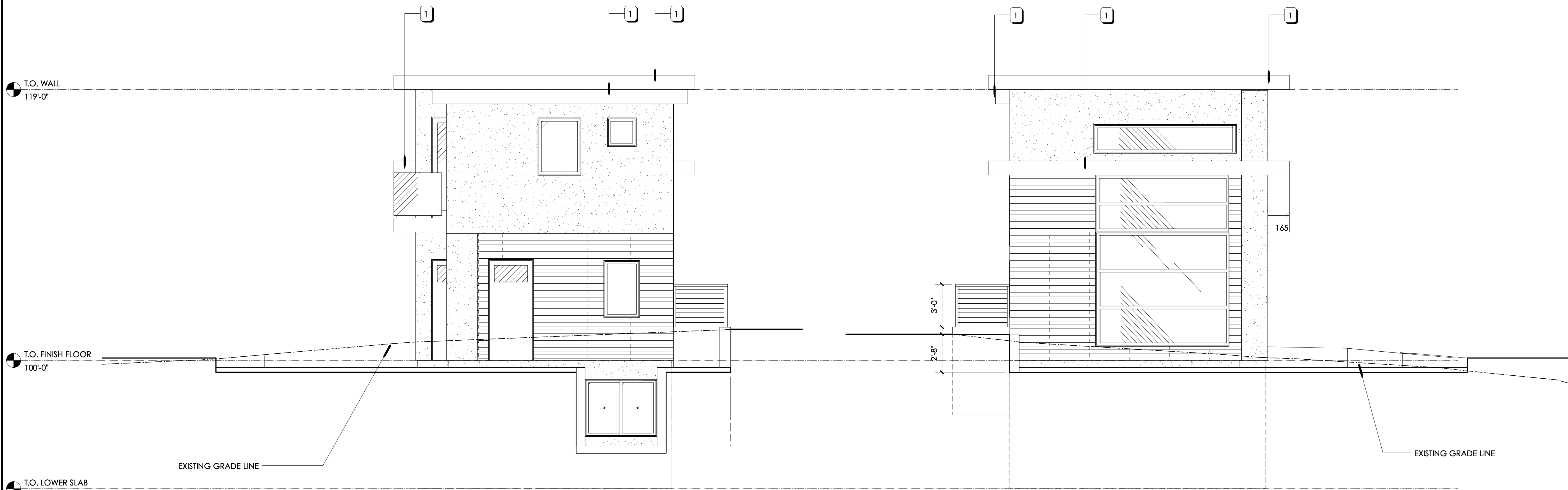


## MULCH & XERISCAPE PLANTS





1 WEST ELEVATION  
Scale: 1/4" = 1'-0"



2 SOUTH ELEVATION  
Scale: 1/4" = 1'-0"

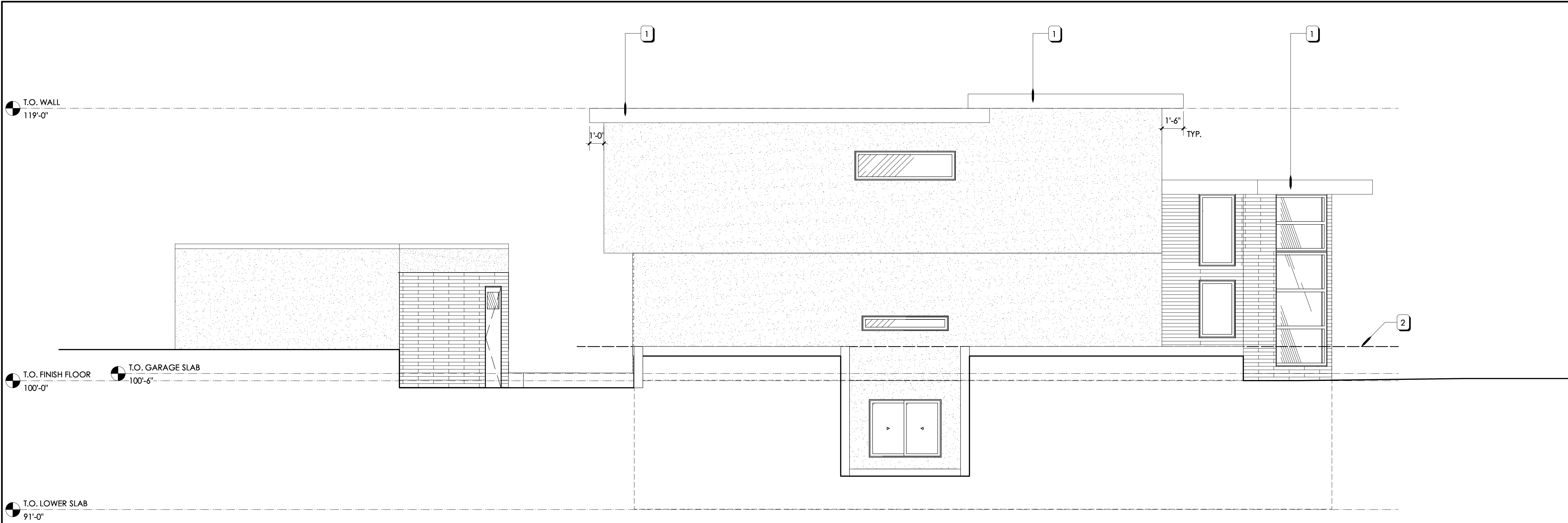
3 NORTH ELEVATION  
Scale: 1/4" = 1'-0"

GENERAL NOTES & LEGEND

- STUCCO
- CEDAR SIDING
- GLASS

EXTERIOR ELEVATION KEYED NOTES

- METAL FASCIA
- WOOD PANEL DOOR



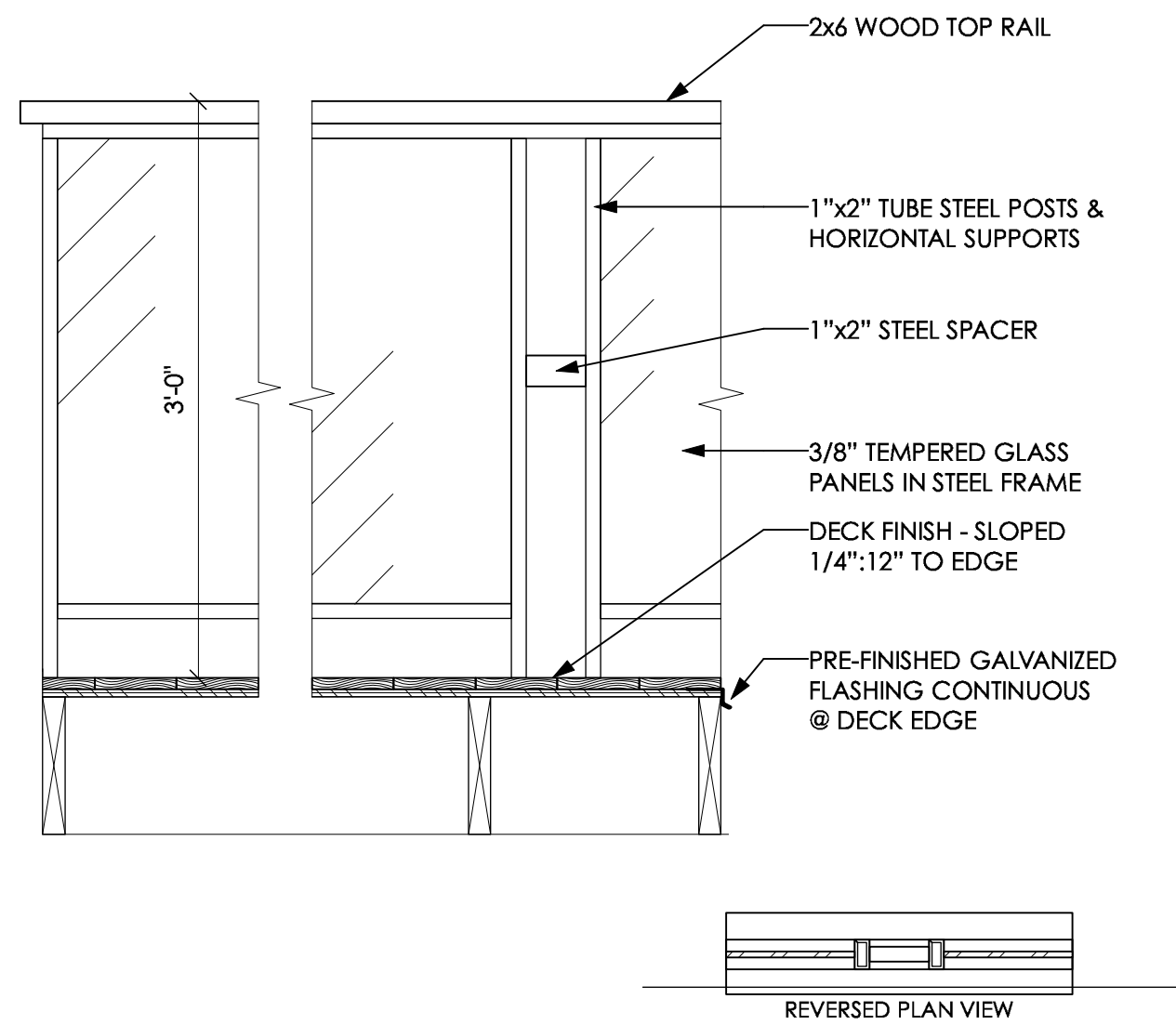
1 EAST ELEVATION  
Scale: 1/4" = 1'-0"

GENERAL NOTES & LEGEND

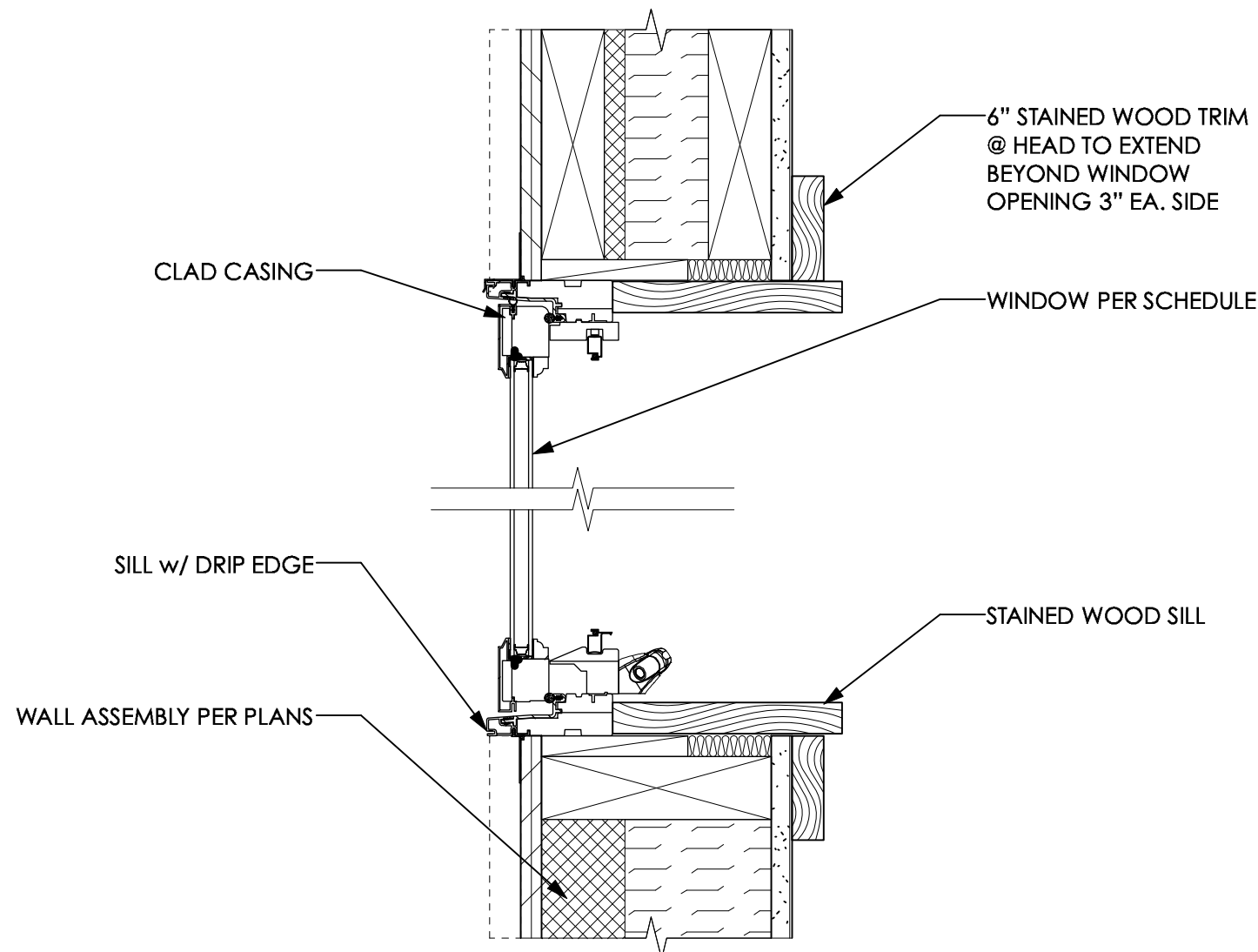
- STUCCO
- CEDAR SIDING
- GLASS

EXTERIOR ELEVATION KEYED NOTES

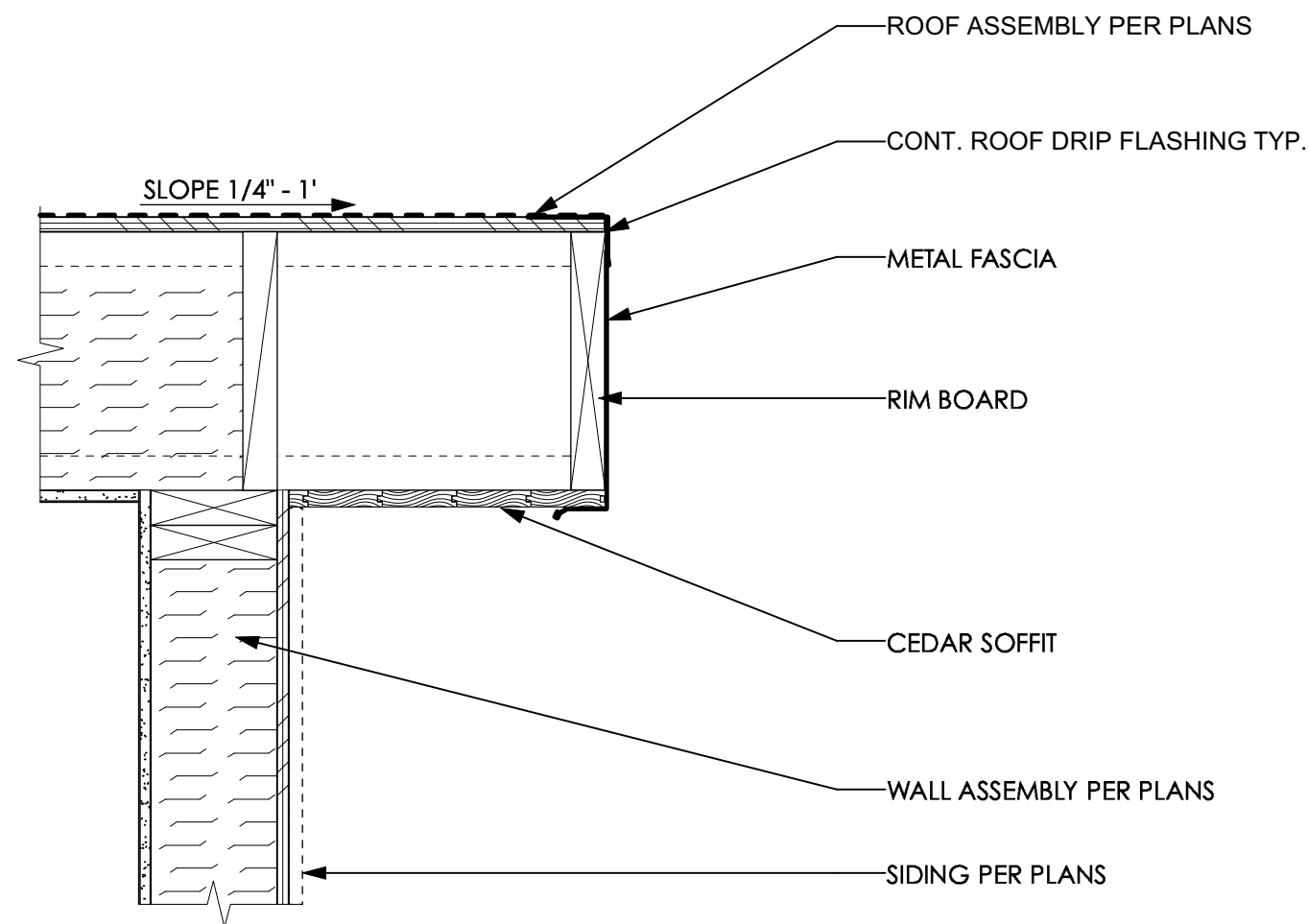
- METAL FASCIA
- ELEVATION OF TOP OF RETAINING WALL



1 DECK RAILING DETAIL  
Scale: 1" = 1'-0"



2 WINDOW HEAD & SILL FINISH DETAIL w/ WOOD TRIM  
Scale: 3" = 1'-0"



3 FASCIA DETAIL  
Scale: 1 1/2" = 1'-0"

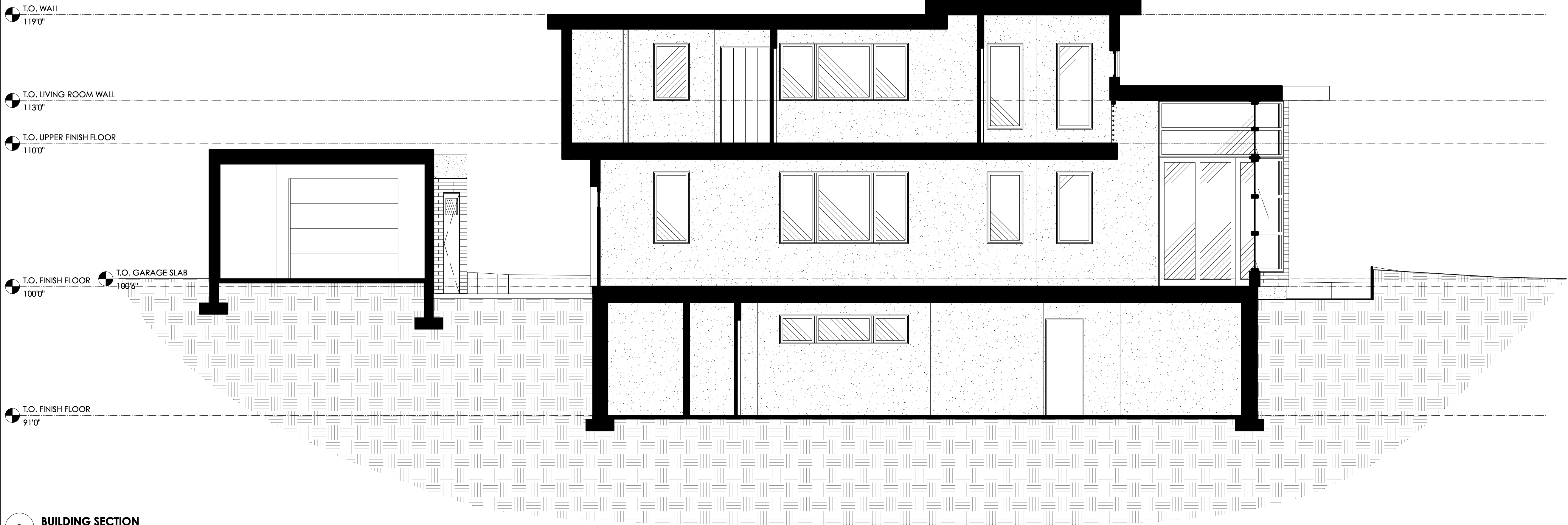
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2.02.17

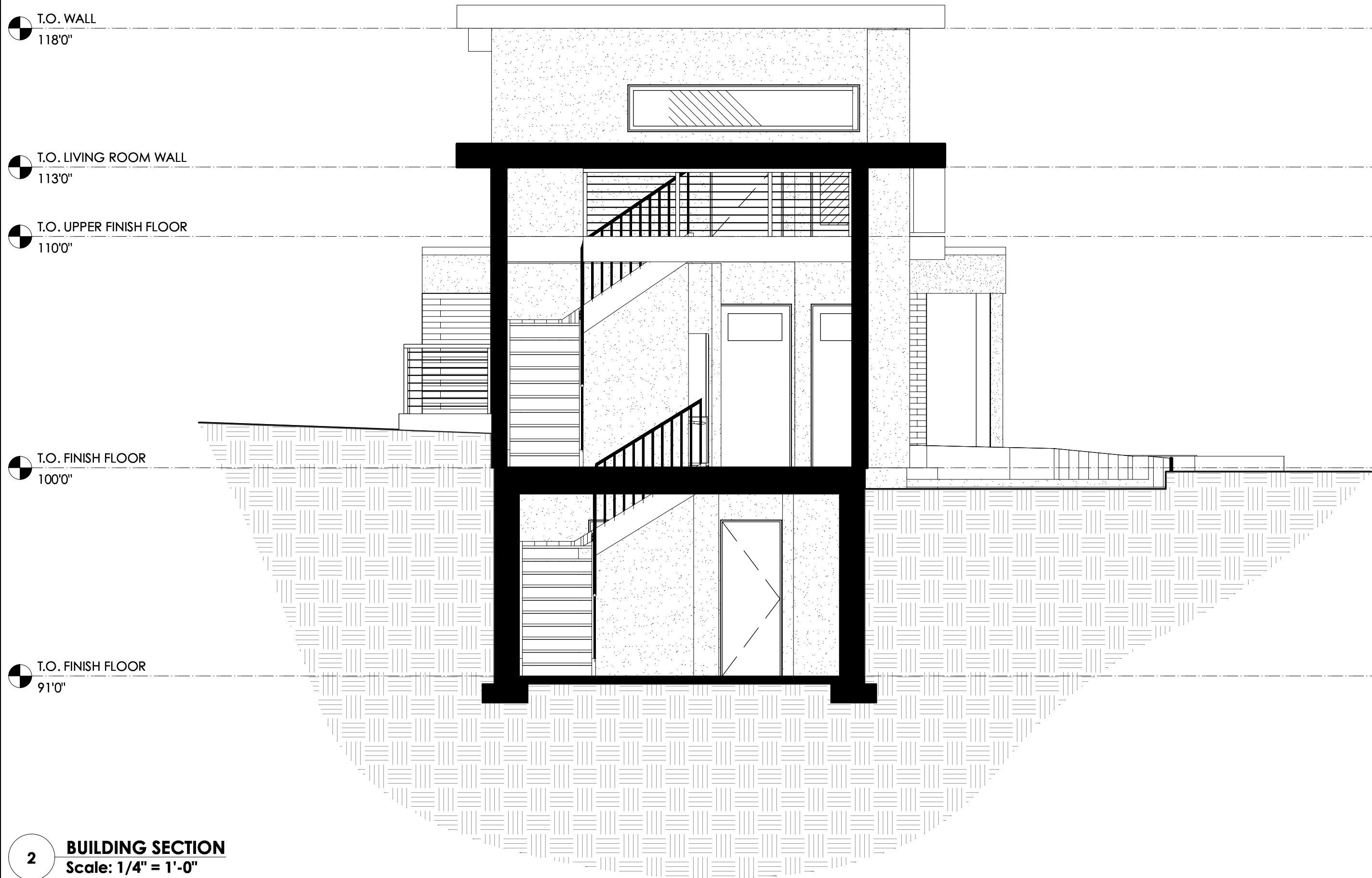
REVISIONS

EXTERIOR  
ELEVATIONS

A2.1



1 BUILDING SECTION  
Scale: 1/4" = 1'-0"



2 BUILDING SECTION  
Scale: 1/4" = 1'-0"

GENERAL NOTES & LEGEND

- STUCCO
- CEDAR SIDING
- GLASS

DATE

2.02.17

REVISIONS

BUILDING  
SECTIONS

A3.0





1 600 NORTH



2 ALIDA PLACE





SITE - 165 WEST 600 NORTH



162 ALIDA PLACE



594 CENTER ST WEST



149W 600N



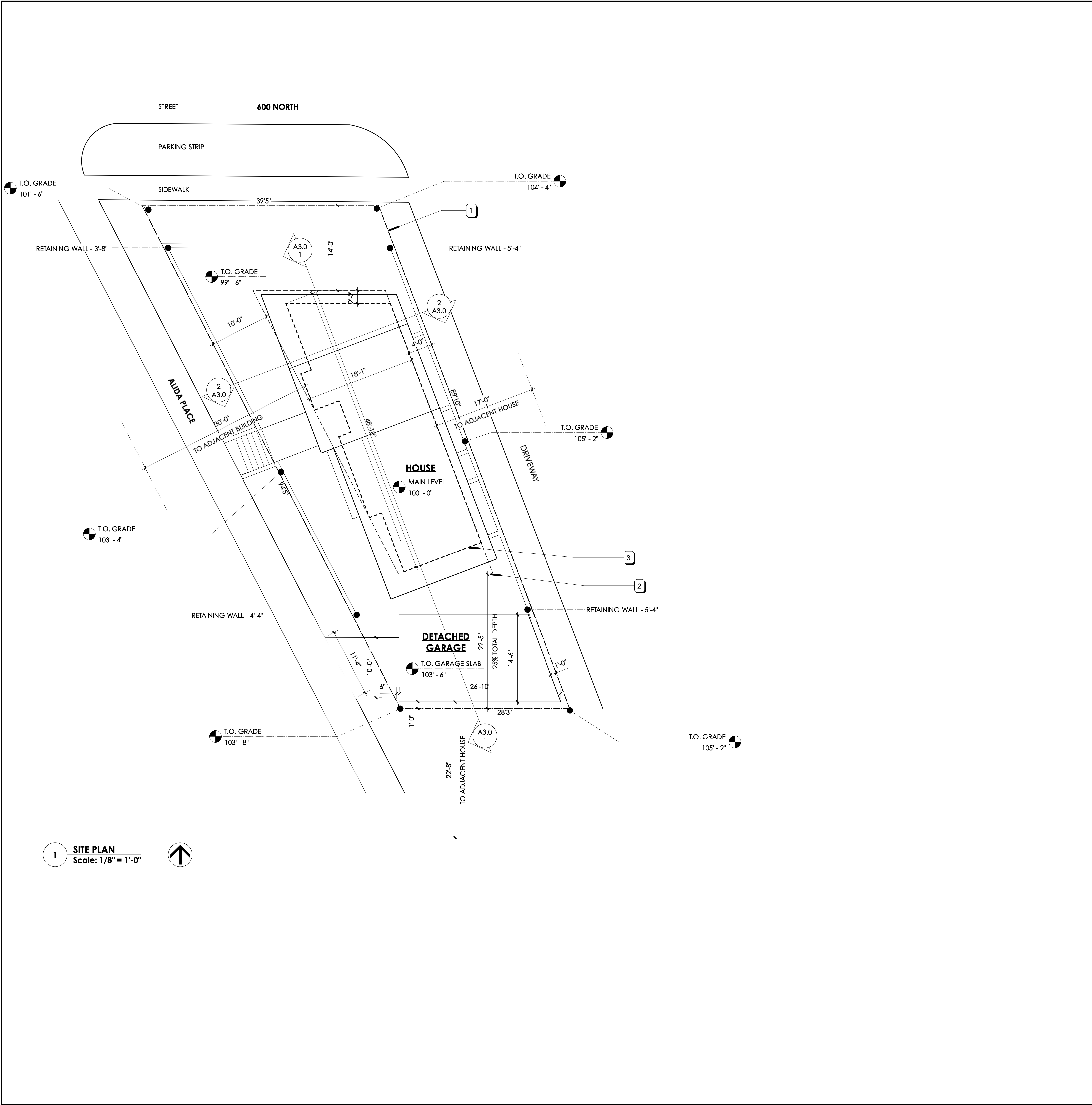
155W 600N



165W 600N



## **ATTACHMENT D: APPLICATION MATERIALS - INITIAL**



**Zone:** SR-1A

**Max Building Height:**

Pitched Roof: 23' measured to the ridge, or the average of other principal buildings on the block face.  
Flat Roof: 16'  
Exterior walls: Max exterior wall height adjacent to interior side yards. 16' max for walls at setback (height increases by 1' for each 1' away from the setback).

Exceptions:

(A) Gable Walls: Walls at the end of a pitched roof may extend to a height necessary to support the roof structure except that the height of the top of the widest portion of the gable wall must conform to the maximum wall height limitation described in this section.  
(B) Dormer Walls: Dormer walls are exempt from the maximum exterior wall height if:  
(i) The width of a dormer is ten feet (10') or less; and  
(ii) The total combined width of dormers is less than or equal to fifty percent (50%) of the length of the building facade facing the interior side yard; and  
(iii) Dormers are spaced at least eighteen inches (18") apart.

**Min. Yard Requirements**

Front: Average of the front yards within the block face : 14'-0"  
Corner Side yard: 10'  
Interior Side Yard: 4'  
Rear: Setback: 25% of total property depth : 22'-5"

**Accessory Buildings And Structures In Yards:**  
600 sq ft Maximum building coverage of all accessory buildings

**Primary accessory building:**  
One accessory building may have up to the following dimensions:  
-480 Sq ft footprint, subject to compliance with subsection 21A.40.050B1 of this title.  
-Max height of 14' to ridge line  
-9' max flat roof height limit  
-9' max exterior wall height

**Secondary accessory buildings:**  
-10' Roof peak/ridge height  
-8' Flat roof height limit  
-8' Exterior wall height

Secondary accessory buildings may be attached to the primary accessory buildings so long as all buildings conform to the required wall and roof ridge height restrictions.

**Maximum Building Coverage:** 40%

**Standards For Attached Garages:**  
The width of an attached garage facing the street may not exceed fifty percent (50%) of the width of the front facade of the house. The width of the garage is equal to the width of the garage door, or in the case of multiple garage doors, the sum of the widths of each garage door plus the width of any intervening wall elements between garage doors.

**HOUSE SPECS:**  
MAIN LEVEL 710 SF  
LOWER LEVEL 693 SF  
UPPER 520 SF  
TOTAL LIVING = 1923 SF

GARAGE 350 SF

BUILDING COVERAGE: 25%

- SITE CONSTRUCTION**
- A. THE OWNER AND ARCHITECT SHALL APPROVE THE SITE LAYOUT PRIOR TO DIGGING THE FOOTINGS.
- B. THE CONSTRUCTION AREA AND ACCESS TO THE CONSTRUCTION AREA SHALL BE AS SMALL AS REASONABLE TO FACILITATE CONSTRUCTION. THIS AREA IS TO BE CLEARLY DEMARCATED AND ROPED OFF TO PREVENT ANY DESTRUCTION OF NATURAL TERRAIN OUTSIDE OF CONSTRUCTION AREA BY CONSTRUCTION VEHICLES.
- C. BALANCE CUT AND FILL FOR SLABS ON GRADE AND DRIVEWAY TO REDUCE EXPORT FROM SITE.
- D. COMPLY WITH IRC CHAPTER 4 FOR EXCAVATIONS, FILL, CUTS AND GRADING. FOR CUT SLOPES AND GRADE FILL STEEPER THAN 2:1, REFER TO STRUCTURAL NOTES/DETAILS.
- E. PROVIDE NECESSARY PRECAUTIONS TO PREVENT SOIL EROSION.
- F. COMPACT UNDER-SLAB AREAS TO MINIMUM 95% DENSITY. BACKFILL AREAS NOT UNDER SLABS OR FOUNDATIONS TO MINIMUM 90% ASTM D-689. PRIOR TO BACKFILLING, WALLS SHALL BE Laterally BRACED BY THE FLOOR FRAMING AT THE TOP AND THE BASEMENT SLAB AT THE BOTTOM, OR OTHER ADEQUATE TEMPORARY SHORING WHERE APPLICABLE. FILL WHICH IS DIRECTLY UNDER CONCRETE SLABS ON GRADE SHALL BE A MINIMUM FOUR INCHES OF COMPACTED GRANULAR FILL. BASE FILL FOR CONCRETE SLABS AND WALK TO BE GRADED SAND, FREE OF ORGANIC MATTER. BACKFILL AREAS NOT UNDER SLABS OR FOUNDATIONS TO MINIMUM 90% ASTM D-689. BACKFILL EXCAVATIONS AS PROMPTLY AS WORK PERMITS WITH SUBSOIL GRADED FREE OF LUMPS LARGER THAN 6", ROCKS LARGER THAN 3" AND DEBRIS. BACKFILL AROUND BUILDING AND UP TO EDGE OF WALKS TO DRAIN WATER AWAY FROM BUILDING. LEAVE FINAL GRADED AREAS RAKED SMOOTH. BACKFILLING MATERIAL TO BE FREE OF DEBRIS, ORGANIC MATERIAL AND SILT. BACKFILL TO BE GOOD QUALITY WELL DRAINING SAND OR GRAVEL FOR A MINIMUM 1.5 FEET BACK FROM FACE OF WALL.
- G. TREE STUMPS AND ALL DEAD FOLIAGE SHOULD BE FULLY REMOVED FROM AROUND AND UNDER THE BUILDING SITE AND DISPOSED OF OFF SITE SO THAT THEY DO NOT ATTRACT TERMITES AND OTHER PESTS.
- H. WATER SHALL HAVE POSITIVE DRAINAGE AWAY FROM THE BUILDING AT ALL POINTS ALONG ITS PERIMETER. GROUND SHALL SLOPE AWAY AT A MINIMUM OF 5% AND SOIL USED TO GRADE AROUND THE BUILDING SHALL BE OF IMPERVIOUS NATURE WITH HIGH CLAY CONTENT.
- I. ALL CANALS, SCUPPERS, AND DOWNSPOUTS SHALL HAVE SPLASH BLOCKS AND AN ADEQUATE DRAINAGE PATH AWAY FROM BUILDING.
- J. SURFACE WATER SHALL DRAIN AWAY FROM HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- K. OBTAIN TOPSOIL FROM LOCAL SOURCES. NO TOPSOIL SHALL BE OBTAINED FROM BOGS OR MARSHES.
- L. TOPSOIL AND LARGE BOULDERS SHALL BE STOCKPILED FOR FUTURE USE BY THE OWNER.
- M. THE OWNER AND ARCHITECT SHALL DETERMINE WHICH TREES ARE TO BE TRANSPLANTED OR MAINTAINED DURING CONSTRUCTION. ALL TREES DESIGNATED FOR REMOVAL SHALL BE MARKED FOR REVIEW BY THE OWNER OR ARCHITECT.
- N. FOOTINGS SHALL BEAR ON FIRM UNDISTURBED SOIL.
- O. A DRAINAGE SYSTEM SHALL BE INSTALLED AROUND THE PERIMETER OF THE FOUNDATION FOOTING. THE DRAINAGE SYSTEM SHALL CONSIST OF THE FOLLOWING ITEMS: DAMP-PROOFING SHALL BE CAREFULLY APPLIED ACCORDING TO MANUFACTURER'S DIRECTIONS TO COVER ALL BELOW GRADE SURFACES TO FORM A WATERTIGHT BARRIER. CARE SHALL BE TAKEN DURING BACKFILLING AND OTHER CONSTRUCTION TO PREVENT DAMAGE TO THE DAMP-PROOFED SURFACE. A FREE-DRAINING BACKFILL OF 3/4" MINIMUM CRUSHED STONE OR GRAVEL THAT IS FREE OF SMALLER PARTICLES SHALL BE USED TO LINE AND FILL THE EXCAVATION FOR ALL BELOW-GRADE WALLS. AN ENGINEERED DRAINAGE SYSTEM MAY BE SUBSTITUTED FOR A FREE DRAINING BACKFILL. A FRENCH DRAIN SHALL BE INSTALLED SO THAT ALL PERFORATED PIPES ARE LOCATED BELOW THE LEVEL OF THE BOTTOM SURFACE OF THE FOOTING. FRENCH DRAIN PERFORATED PIPES SHALL BE INSTALLED WITH THE HOLES DOWN TO ALLOW WATER TO RISE INTO THE PIPE; THE PERFORATED PIPE SHALL BE SURROUNDED AND SET IN A MINIMUM OF 2" DEPTH BED CONSISTING OF 3/4" MIN. CRUSHED STONE FREE OF SMALLER PARTICLES; THE PERFORATED PIPE AND CRUSHED STONE SHALL BE SURROUNDED BY A FILTER MEMBRANE TO PREVENT ADJACENT SOIL FROM WASHING INTO AND CLOGGING THE FRENCH DRAIN SYSTEM; FRENCH DRAINS SHALL BE SLOPED DOWNWARD A MINIMUM OF 1/4" PER FOOT OF RUN AND CONNECTED TO DAYLIGHT.
- P. RADON CONTROL SYSTEM: A 4" LAYER OF AGGREGATE IS PLACED UNDER THE BUILDING ENVELOPE. A 4" DIAMETER PERFORATED PIPE IS LAID ON THE AGGREGATE THROUGH THE CENTER OF THE STRUCTURE. THE PIPE IS CONNECTED TO AN UN-PERFORATED RISER TUBE THAT VENTS TO THE OUTSIDE. SEAL ALL SLAB PENETRATIONS AND PIPE SEAMS COMPLETELY. ACTIVE OR PASSIVE RADON MITIGATION INSTALLED PER EPA GUIDELINES.
- Q. LANDSCAPE DESIGN IS NOT INCLUDED IN THIS DOCUMENT. LANDSCAPING, LANDSCAPE ACCESSORIES, AND SITE FURNISHINGS WILL BE UNDER SEPARATE CONTRACT BETWEEN OWNER AND LANDSCAPE CONTRACTOR. EXCEPTION: SOIL AND SITE IMPROVEMENTS REQUIRED FOR BUILDING CONSTRUCTION TO BE INCLUDED IN THIS CONTRACT.
- R. USE A BARRIER CLOTH UNDER EXTERIOR WALKWAYS TO PREVENT OVERGROWTH. PROTECT EXISTING TREES AND VEGETATION, WHICH ARE TO REMAIN. REPAIR OR REPLACE ANY DAMAGED VEGETATION OR TERRAIN THAT IS INDICATED TO BE PROTECTED OR IS MORE THAN EIGHT FEET FROM THE EDGE OF ANY SPECIFIED CONSTRUCTION AREA.

**SITE PLAN KEYED NOTES**

1. PROPERTY LINE  
2. LINE OF SETBACKS  
3. BUILDING FOOTPRINT



**CAPITOL HILL HOUSE**  
165 West 600 North  
Salt Lake City, UT

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DO NOT APPEAR CORRECT, A LUMP  
PROPERTY OR SCALE CORRECTED TO THE  
INDICATED SIZE.

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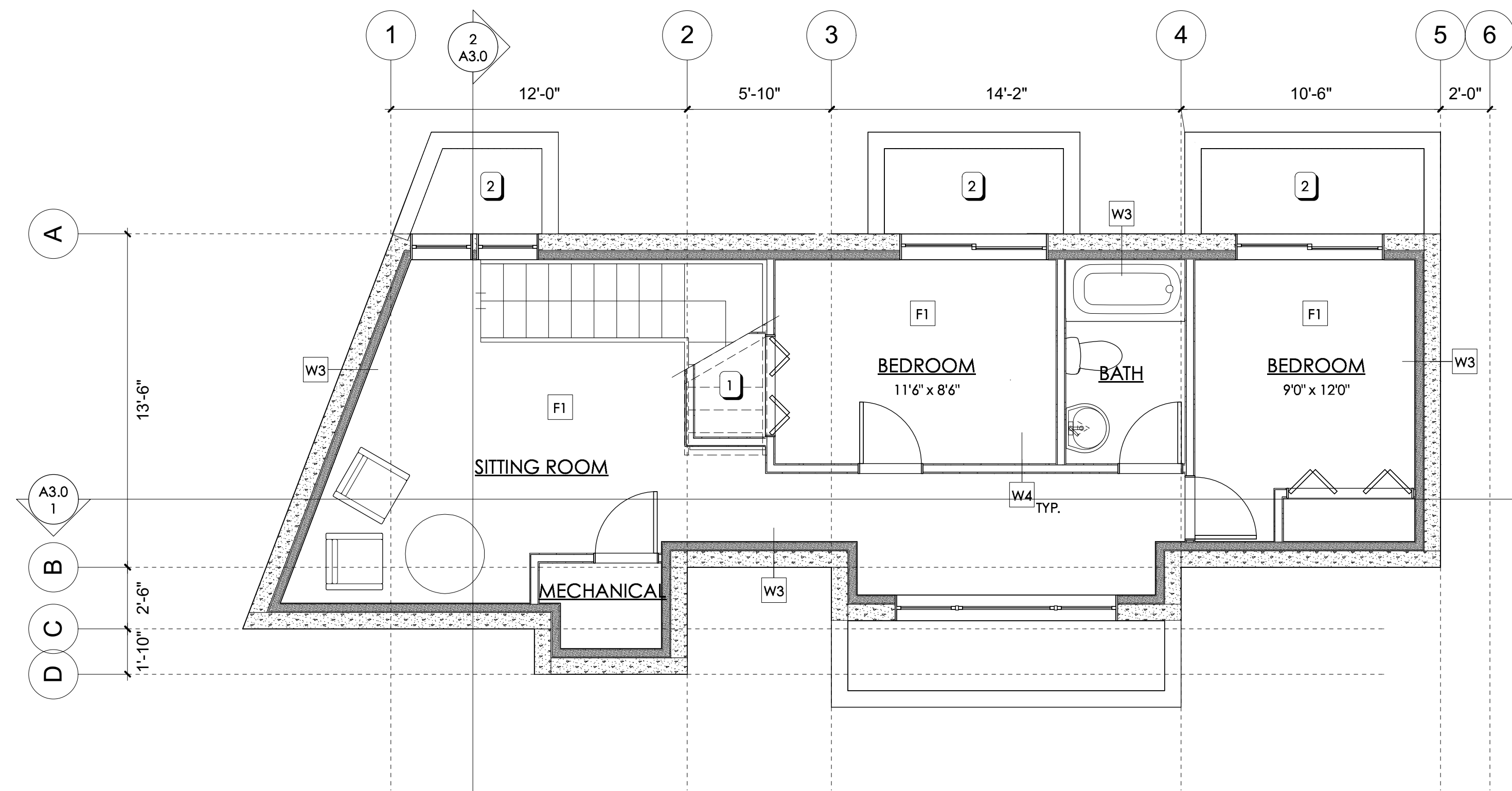
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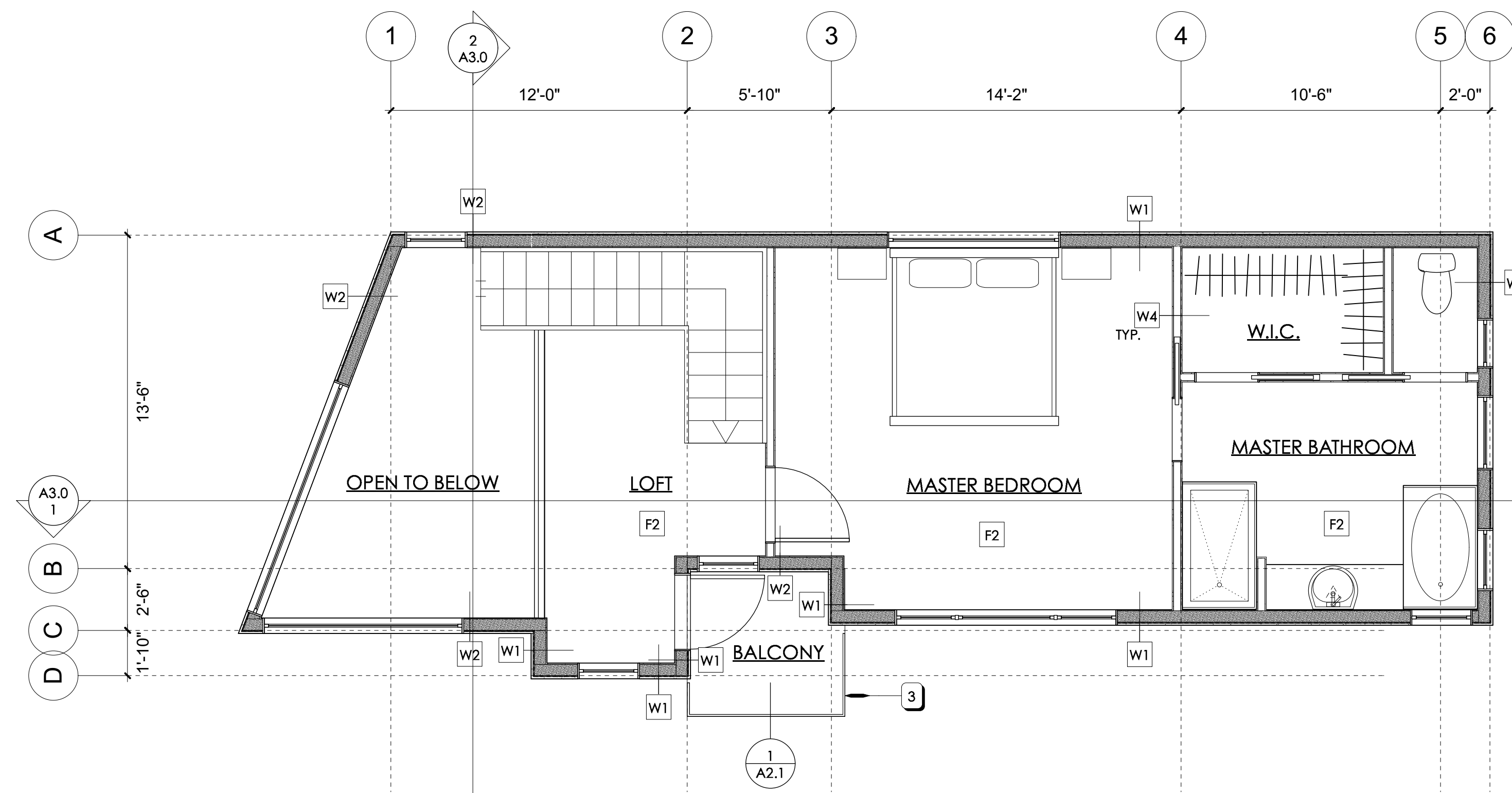
SITE PLAN

**SP1.0**





1 LOWER FLOOR PLAN  
Scale: 1/4" = 1'-0"



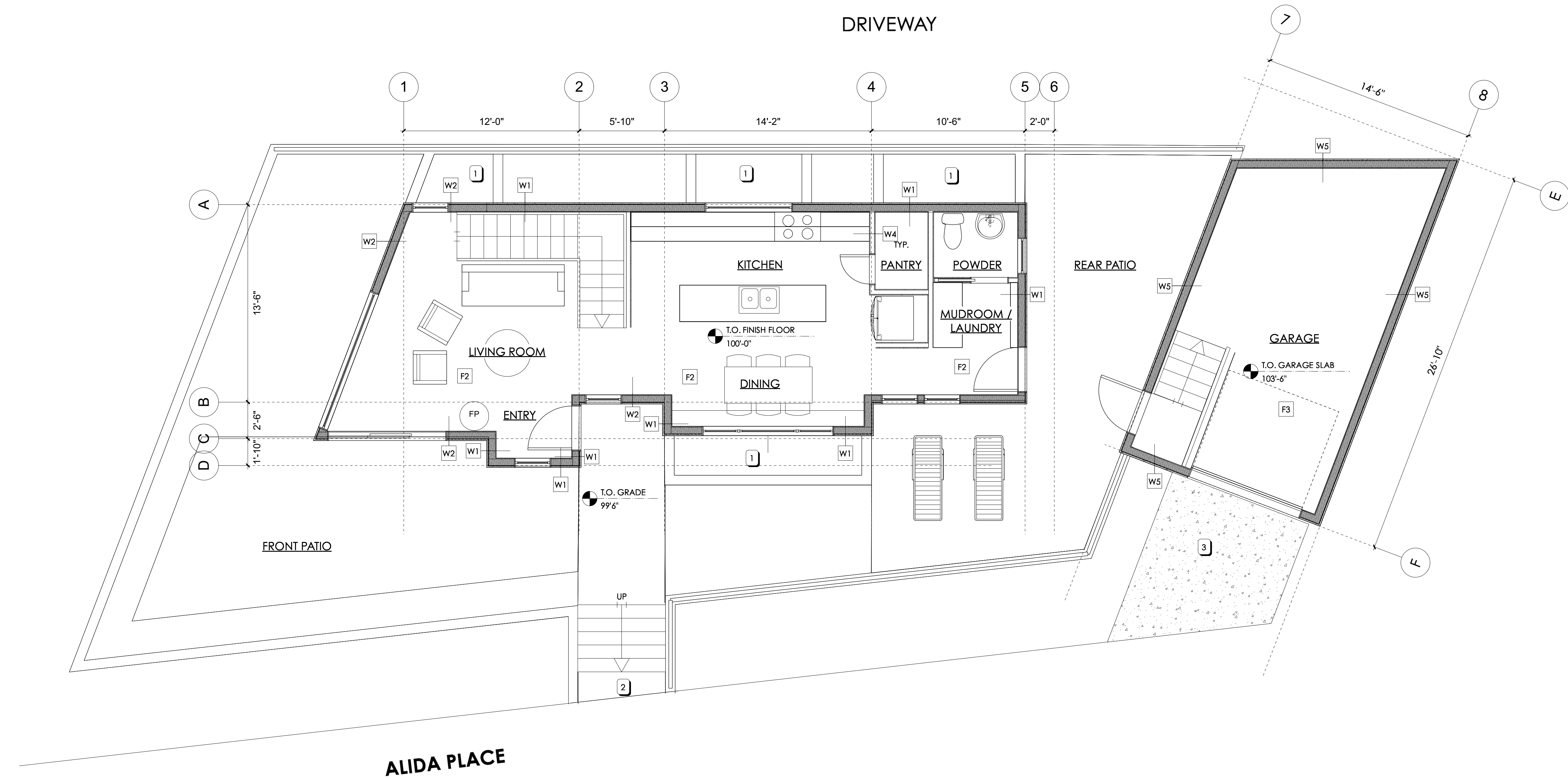
2 UPPER FLOOR PLAN  
Scale: 1/4" = 1'-0"

#### GENERAL NOTES & LEGEND

- W# WALL TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS
- F# FLOOR TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS

#### FLOOR PLAN KEYED NOTES

- CLOSET BENEATH STAIR
- WINDOW WELL
- GLASS RAILING



1 FLOOR PLAN  
Scale: 1/4" = 1'-0"



- GENERAL NOTES & LEGEND**
- W# WALL TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS
- F# FLOOR TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS

- FLOOR PLAN KEYED NOTES**
1. WINDOW WELL
  2. SIDEWALK
  3. DRIVEWAY

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PROPERTY OR SCALE CORRECTED TO THE  
INDICATED SIZE.

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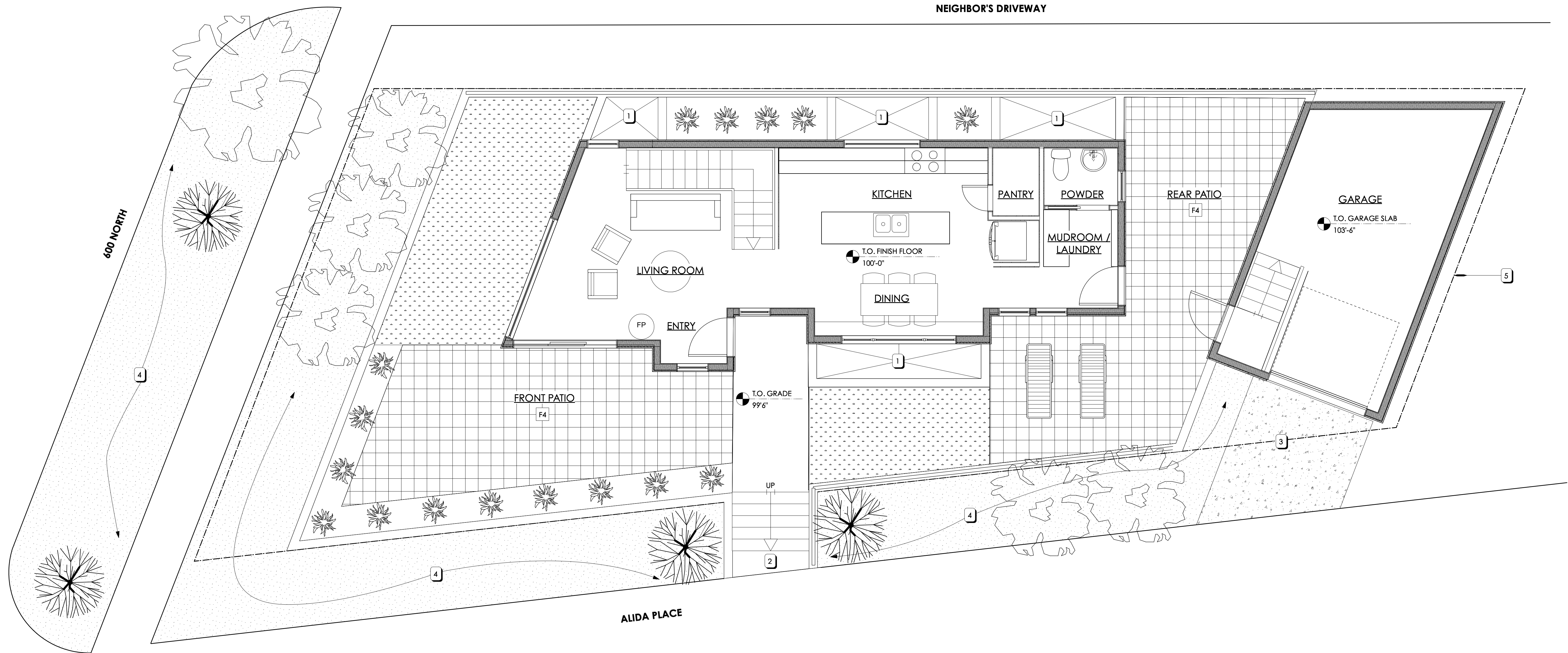
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REVISIONS

MAIN FLOOR  
PLAN

A1.1



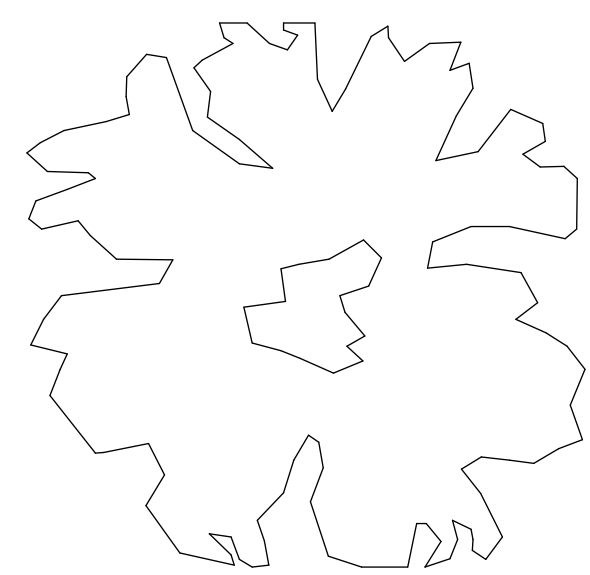


1 LANDSCAPE PLAN  
Scale: 1/4" = 1'-0"

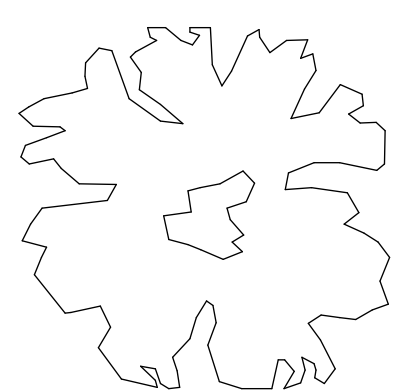
LANDSCAPE PLAN KEYED NOTES

1. WINDOW WELL
2. SIDEWALK
3. DRIVEWAY
4. XERISCAPED PARKING STRIP
5. PROPERTY LINE

GENERAL NOTES & LEGEND



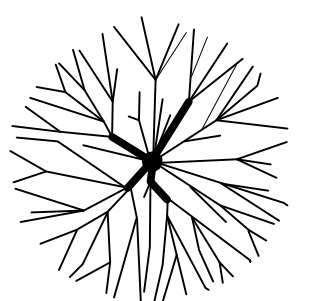
LARGE EXISTING DECIDUOUS TREE



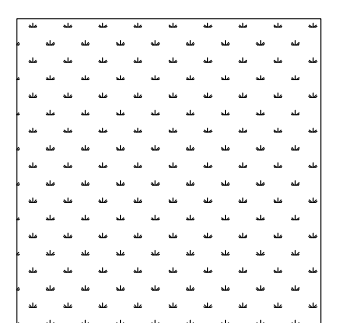
NEW SMALL NATIVE DECIDUOUS TREE



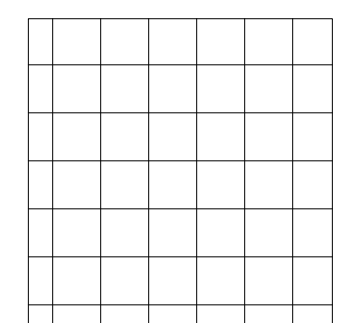
ORNAMENTAL  
TALL GRASS CLUSTER



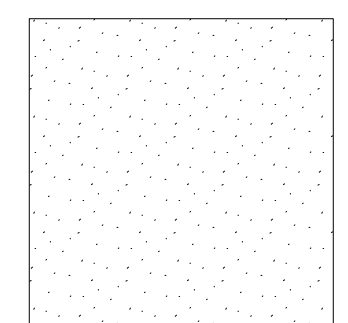
SMALL NATIVE SHRUB



LAWN



PAVERS ON GRADE



MULCH & XERISCAPE PLANTS

DATE

1.6.17

REVISIONS

LANDSCAPE  
PLAN

A1.2



GENERAL NOTES & LEGEND

STUCCO

CEDAR SIDING

GLASS

AMD

ARCHITECTURE

311 S 900 E STE 103

SALT LAKE CITY

UTAH 84102

TEL 801-322-3053

FAX 801-322-0093

amdarchitecture.com

- EXTERIOR ELEVATION KEYED NOTES
1. METAL FASCIA

2. WOOD PANEL DOOR

CAPITOL HILL HOUSE

165 West 600 North

Salt Lake City, UT

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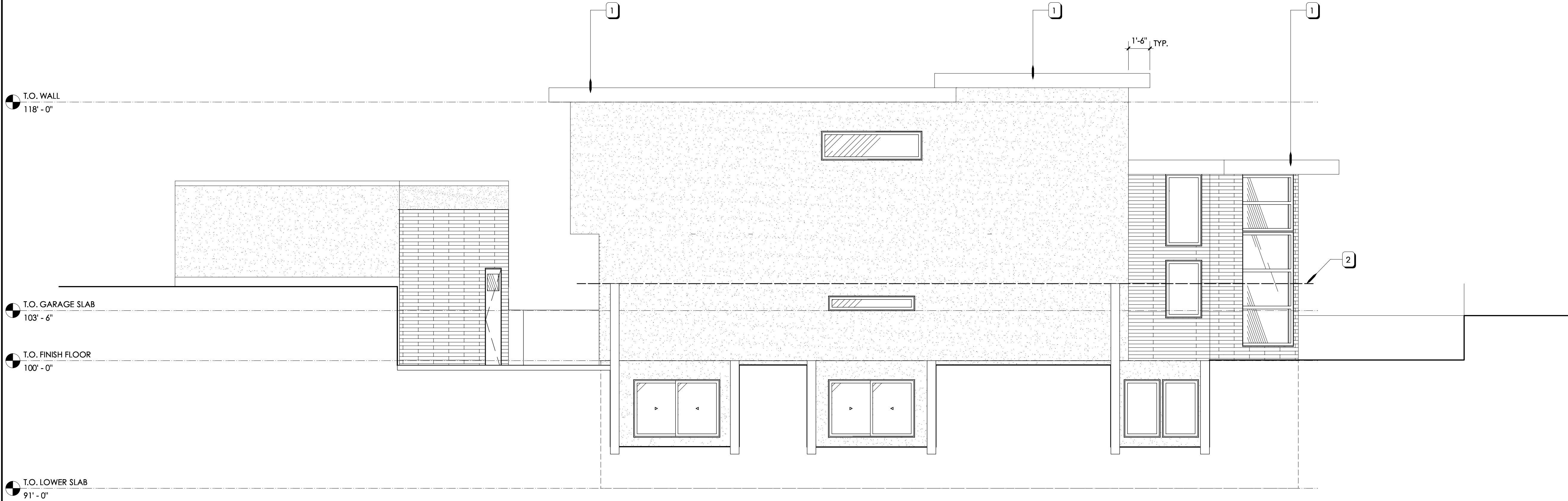
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REVISIONS

EXTERIOR  
ELEVATIONS

A2.0





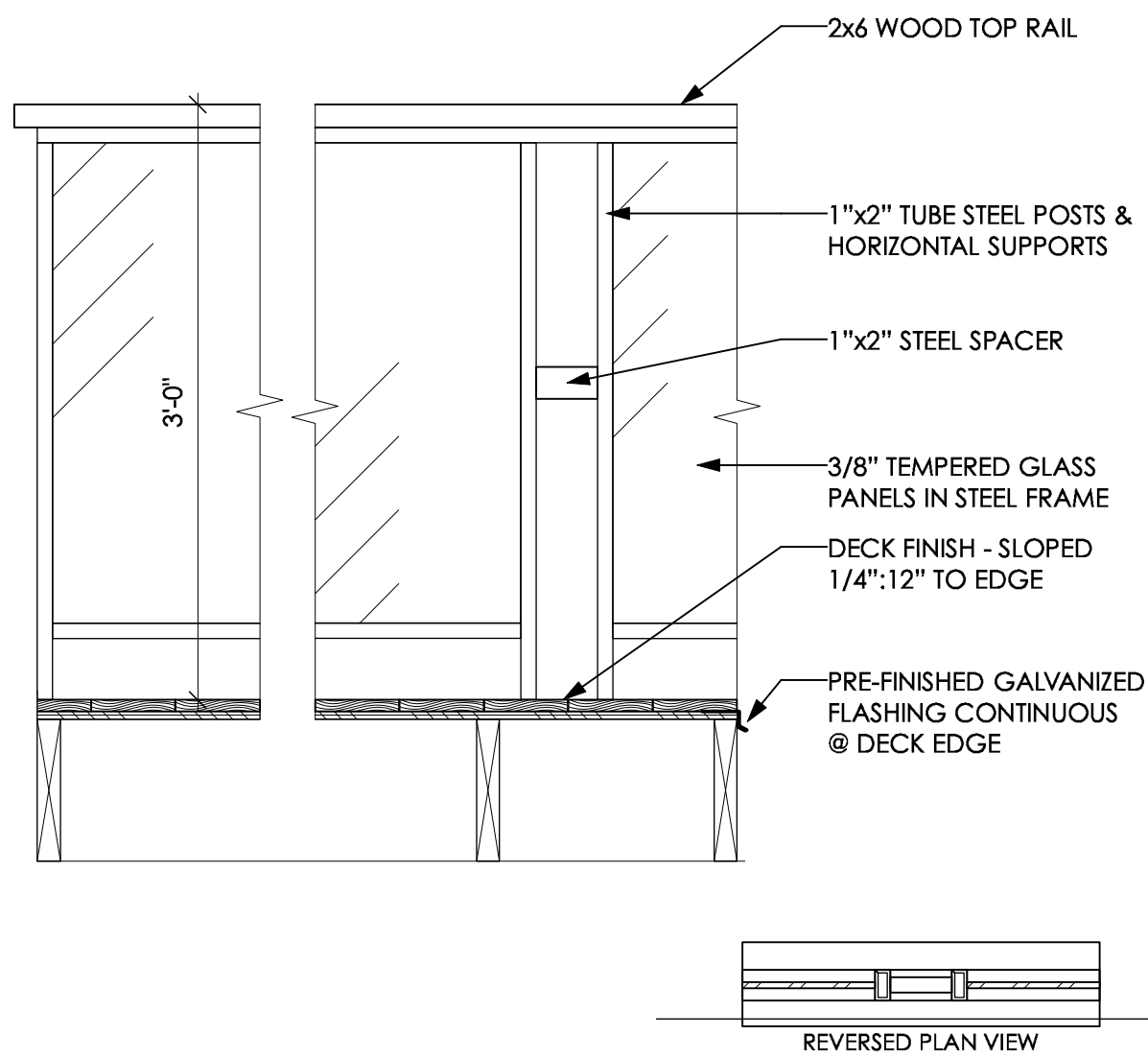
1 **EAST ELEVATION**  
Scale: 1/4" = 1'-0"

**GENERAL NOTES & LEGEND**

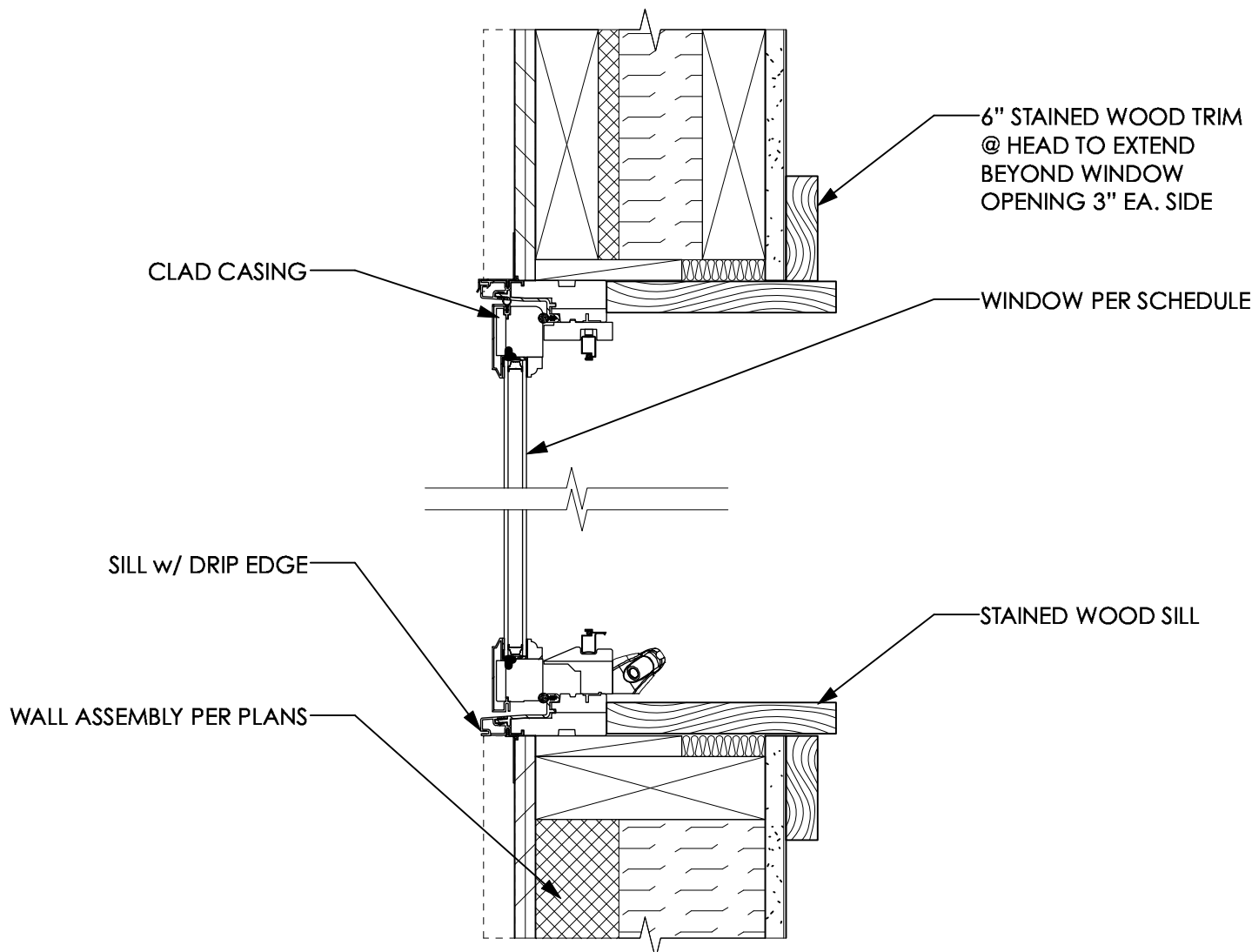
- STUCCO
- CEDAR SIDING
- GLASS

**EXTERIOR ELEVATION KEYED NOTES**

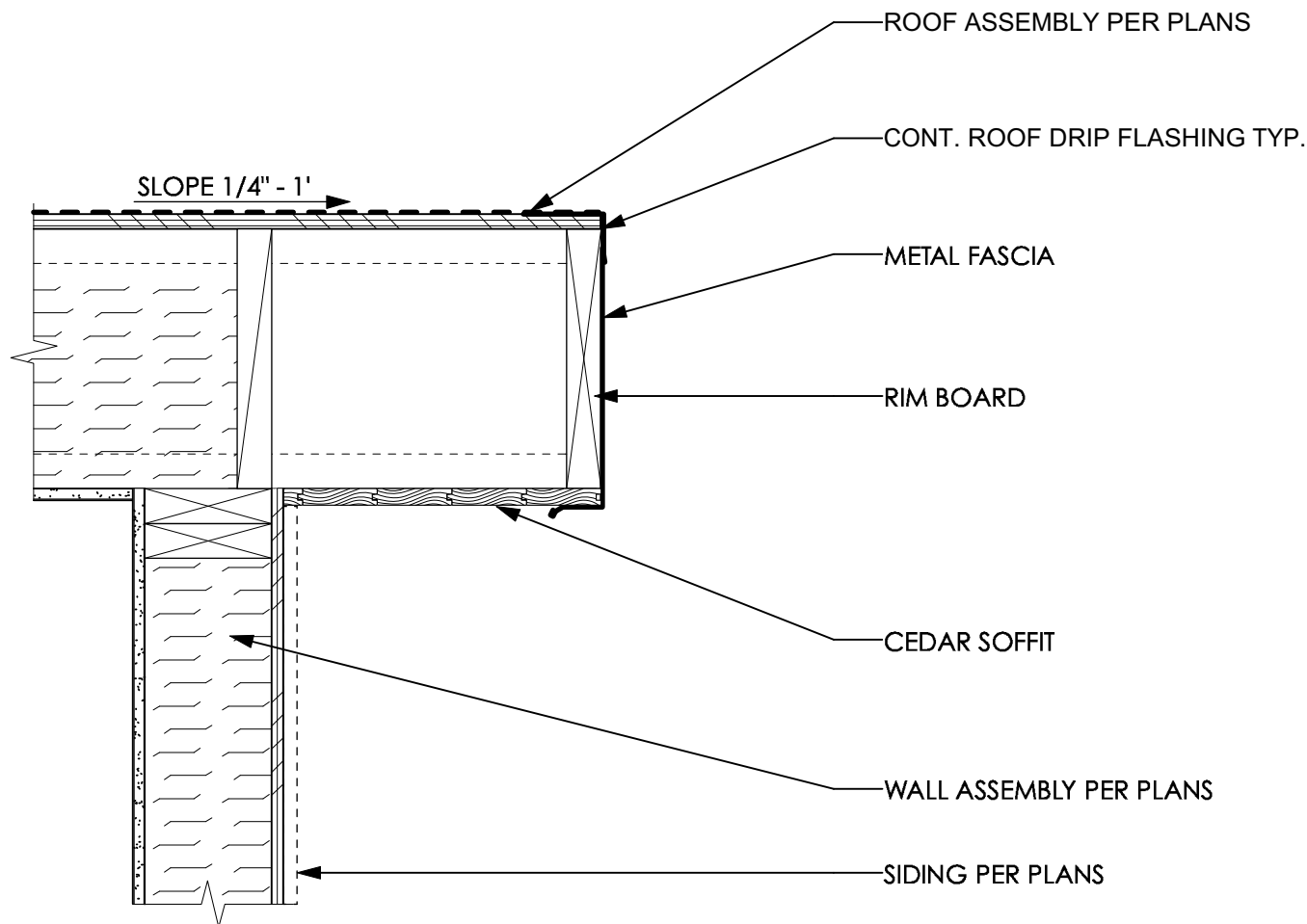
1. METAL FASCIA
2. ELEVATION OF TOP OF RETAINING WALL



1 **DECK RAILING DETAIL**  
Scale: 1" = 1'-0" DE-01



2 **WINDOW HEAD & SILL FINISH DETAIL w/ WOOD TRIM**  
Scale: 3" = 1'-0" WD-09



3 **FASCIA DETAIL**  
Scale: 1 1/2" = 1'-0"

DATE

1.6.17

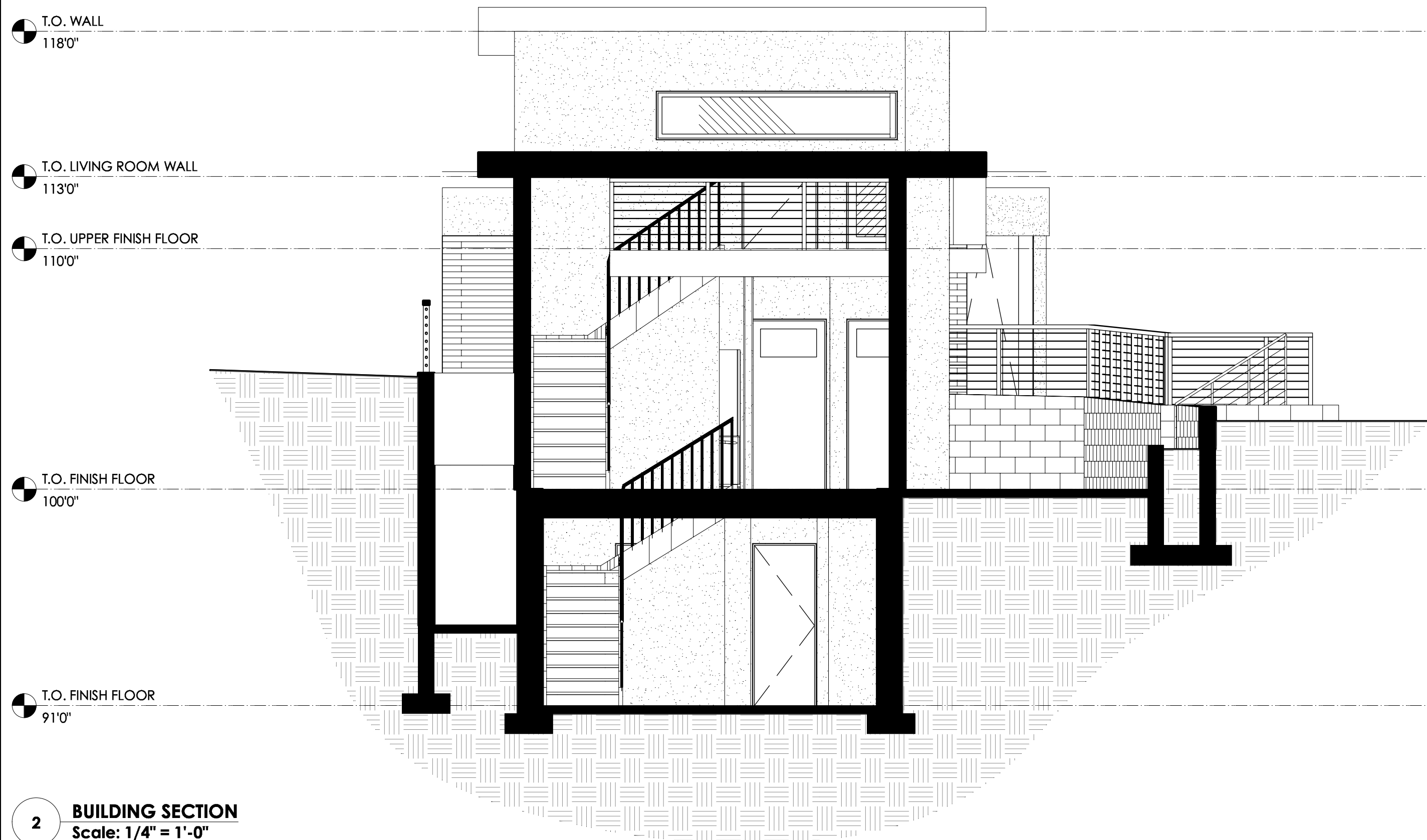
REVISIONS

**EXTERIOR  
ELEVATIONS**

**A2.1**



1 **BUILDING SECTION**  
Scale: 1/4" = 1'-0"



2 **BUILDING SECTION**  
Scale: 1/4" = 1'-0"

GENERAL NOTES & LEGEND

- STUCCO
- CEDAR SIDING
- GLASS



## ATTACHMENT E: REVIEW OF SR-1A ZONING STANDARDS & SPECIAL EXCEPTION STANDARDS

The proposals are reviewed in relation to the Historic Design Standards and Design Guidelines in Attachment E of this report.

### Existing Condition

The site is currently vacant.

### Zoning Ordinance Standards for SR-1A (Special Development Pattern Residential District) (21A.24.180)

Purpose Statement: The purpose of the SR-1 special development pattern residential district is to maintain the unique character of older predominantly single-family and two-family dwelling neighborhoods that display a variety of yards, lot sizes and bulk characteristics. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

Standard	Proposed	Finding
Minimum Lot Area: 5000 SF	Current: 2865 SF	Undersized legal nonconforming lot – No Change
Minimum Lot Width: 50 feet	Current: 28-39.5 feet	Undersized legal nonconforming lot – No Change
Setbacks: Front Yard - 20 feet or Average = 14 feet  Corner Side Yard - 10 feet  Rear Yard: 25% lot depth (undersized lot) - 22.5 feet SR-1A (within 15 – 30 ft spectrum)	14 feet  Second Level – 8 feet  Rear Yard Setback – 20.5 ft	Complies  Special Exception Required  Special Exception Required
Maximum Building Height for Flat Roof – 16 feet	20 feet	Special Exception Required
Wall Height at adjacent interior side yard – 16 feet	19 feet	Special Exception Required
Maximum Building Coverage: 40% of lot area	Approx. 37%	Complies

### Historic Landmark Commission - Jurisdiction & Authority relating to Special Exceptions (21A.06.050.C.6)

The Historic Landmark Commission has the jurisdiction and authority to review and approve or deny certain special exceptions for properties located within an H historic preservation overlay district. The certain special exceptions are listed as follows:

- Building wall height;
- Accessory structure wall height;
- Accessory structure square footage;
- Fence height;
- Overall building and accessory structure height;
- Signs pursuant to section [21A.46.070](#) of this title; and

g. Any modification to bulk and lot regulations of the underlying zoning district where it is found that the underlying zoning would not be compatible with the historic district and/or landmark site.

## **Zoning Ordinance Definition & Standards for Special Exceptions – 21A.52.060**

### Special Exception Definition

A "special exception" is an activity or use incidental to or in addition to the principal use(s) permitted in a zoning district or an adjustment to a fixed dimension standard permitted as exceptions to the requirements of this title of less potential impact than a conditional use but which requires a careful review of such factors as location, design, configuration and/or impacts to determine the desirability of authorizing its establishment on any given site.

### Special Exception Standards

- A. **Compliance with Zoning Ordinance and District Purposes:** The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.

*Historic Preservation Overlay Purpose Statement:* In order to contribute to the welfare, prosperity and education of the people of Salt Lake City, the purpose of the H historic preservation overlay district is to:

1. Provide the means to protect and preserve areas of the city and individual structures and sites having historic, architectural or cultural significance;
2. Encourage new development, redevelopment and the subdivision of lots in historic districts that is compatible with the character of existing development of historic districts or individual landmarks;
3. Abate the destruction and demolition of historic structures;
4. Implement adopted plans of the city related to historic preservation;
5. Foster civic pride in the history of Salt Lake City;
6. Protect and enhance the attraction of the city's historic landmarks and districts for tourists and visitors;
7. Foster economic development consistent with historic preservation; and
8. Encourage social, economic and environmental sustainability.

### **Finding**

The current development proposal would require special exception approval for the total height of a flat roof building within the SR-1A residential zone being 4 feet above that maximum, and for an encroachment of up to 2 feet into the corner side yard and rear yard setback areas at the south-west corner of the building. This is a small and irregularly shaped vacant lot within the Capitol Hill Historic District. The design of the development has been revised to reduce encroachment into required setback areas, and has also been revised to avoid the majority of excavation and regrading of the site and the associated compromise of the future survival of the adjacent mature trees. The proposed height increase occasioned by this revision would not in staff's opinion adversely affect compatibility. The proposed new development would occupy this vacant lot in a manner that is compatible with the existing character and scale of this part of the Capitol Hill Historic District. Additional height is requested to help safeguard existing mature trees on the adjacent lot, thus helping to preserve this aspect of the mature character of the district. No conflict with the purpose statement for the Historic Preservation Overlay is identified.

*SR-1A Purpose Statement:* The purpose of the SR-1 special development pattern residential district is to maintain the unique character of older predominantly single-family and two-family dwelling neighborhoods that display a variety of yards, lot sizes and bulk characteristics. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

### **Finding**

Special exception approval is sought for height and building within rear and corner side yard setback areas. In doing so, and in conjunction with other aspects of this proposal, the proposal would not conflict with the purpose of the SR-1A zone district. This is an under-sized lot relative to the SR-1A definition and standards, and characteristic of many within this historic district and residential zone, so some special exception

approvals might be anticipated to construct a new dwelling. Given these constraints, the special exception approvals sought are relatively minor, and effectively occasioned by revisions to minimize adjacent tree damage. No other conflict with the purpose of the SR-1A zone is identified.

- B. **No Substantial Impairment of Property Value:** The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.

Historic Preservation Overlay Purpose Statement: See above

**Finding**

The proposed development will occupy a vacant lot within the historic district and will do so in a form that would be compatible with the special character of the district, both in terms of its historic architectural and also historic landscape character. The development of the site is more likely to enhance rather than diminish or impair property values within this neighborhood, in Staff's opinion.

SR-1A Purpose Statement: See above

**Finding**

The proposal is purpose-designed for this unique site within the Capitol Hill Historic District and the SR-1A character in this context. As such it is likely to maintain the unique character and variety of this setting, while contributing to this character in an individual manner. The special exception approvals sought help to ensure that the characteristics of the context, its attraction as a place to live and hence its property values are both recognized and potentially enhanced by this development.

- C. **No Undue Adverse Impact:** The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.

Historic Preservation Overlay Purpose Statement: See above

**Finding**

The proposed development, and the limited special exception approvals required to construct it while helping to safeguard adjacent trees, is unlikely to have any material adverse effect upon the character of the area, and is likely to enhance it, Staff would conclude.

SR-1A Purpose Statement: See above

**Finding**

Again, the test of compatibility in the context of the historic district effectively helps to ensure that such compatibility is likely to address the unique characteristics of this context within the SR-1A district. No conflict with the SR-1A purpose is identified. Special exception approval sought is likely to retain and also enhance the unique character including the maturity of this setting.

- D. **Compatible with Surrounding Development:** The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.

Historic Preservation Overlay Purpose Statement: See above

**Finding**

The proposed development is considered to be compatible with the scale and height of surrounding development, and the special exceptions sought, in the interest of the future health of adjacent trees, will help to integrate the new structure within this setting. Given the constraints of this lot, no conflict with the purposes of the historic district overlay is identified, with associated exceptions seeking to enhance the compatibility of the proposed development.



SR-1A Purpose Statement: See above

**Finding**

The special exceptions sought in association with this development are designed to enhance the compatibility of the proposals in terms of the future health of the mature trees in this setting. No conflict with the objectives of this standard is identified.

- E. **No Destruction of Significant Features:** The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.

Historic Preservation Overlay Purpose Statement: See above

**Finding**

The proposal, and its associated special exceptions, are designed to help ensure the future retention of existing natural, scenic and historic features in the form of two existing mature trees. This standard, in the context of the purposes of the historic overlay, is consequently met.

SR-1A Purpose Statement: See above

**Finding**

The proposal, and its associated special exceptions, are designed to help ensure the future retention of existing natural, scenic and historic features in the form of two existing mature trees. This standard, in the context of the purposes of the SR-1A district, is consequently met.

- F. **No Material Pollution of Environment:** The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.

Historic Preservation Overlay Purpose Statement: See above

**Finding**

The proposals are not thought to be a likely source of any material pollution of the environment. Indeed the special exceptions sought, and the associated retention of the two adjacent mature trees, should help to avoid some of the pollution which might otherwise occur. In relation to the purpose and standards for the historic overlay district, Staff would conclude that this standard is met.

SR-1A Purpose Statement: See above

**Finding**

The proposals are not thought to be a likely source of any material pollution of the environment. Indeed the special exceptions sought, and the associated retention of the two adjacent mature trees, should help to avoid some of the pollution which might otherwise occur. In relation to the purpose and standards for the SR-1A district, Staff would conclude that this standard is met.

- G. **Compliance with Standards:** The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.

Historic Preservation Overlay Purpose Statement: *In order to contribute to the welfare, prosperity and education of the people of Salt Lake City, the purpose of the H historic preservation overlay district is to:*

1. *Provide the means to protect and preserve areas of the city and individual structures and sites having historic, architectural or cultural significance;*
2. *Encourage new development, redevelopment and the subdivision of lots in historic districts that is compatible with the character of existing development of historic districts or individual landmarks;*
3. *Abate the destruction and demolition of historic structures;*
4. *Implement adopted plans of the city related to historic preservation;*
5. *Foster civic pride in the history of Salt Lake City;*
6. *Protect and enhance the attraction of the city's historic landmarks and districts for tourists and visitors;*

7. Foster economic development consistent with historic preservation; and
8. Encourage social, economic and environmental sustainability.

**Finding**

Beyond the purpose and standards for the historic district overlay, no additional standards of this chapter are identified by Staff, and in that respect this special exception standard is met.

*SR-1A Purpose Statement: The purpose of the SR-1 special development pattern residential district is to maintain the unique character of older predominantly single-family and two-family dwelling neighborhoods that display a variety of yards, lot sizes and bulk characteristics. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.*

**Finding**

In relation to the purpose and standards for the SR-1A district, no additional standards of this chapter are identified by Staff, and in that respect this special exception standard is met.





<p><b>1. SCALE &amp; FORM</b>  <b>1.b Proportion of Principal Facades:</b> The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape;</p> <p><u>Residential Design Guidelines</u>  12.6 <i>A new building should appear similar in scale to the established scale of the current street block.</i></p> <p>12.13 <i>Building forms should be similar to those seen traditionally on the block.</i></p> <p>12.15 <i>Overall facade proportions should be designed to be similar to those of historic buildings in the neighborhood.</i></p>	<p><u>Scale &amp; Form - Façade Proportion</u>  The primary façade of the proposal is modulated with a lower front section of the dwelling introducing slightly higher sections behind. While the overall proportion of the front façade might initially appear taller, the lower front range helps to temper the perceived façade proportions and its compatibility in this context. The western façade proportions facing Alida Place, using articulation in facade plane and changes in material, help to reduce the lateral scale of the proposal along this frontage and in this context. The relationships of width to height of the principal elevations, with the degree of modulation and articulation proposed, would create a series of proportions which would be in scale with surrounding structures and streetscapes.</p>	<p><u>Façade Proportion</u>  Staff would conclude that the proposals accord with the objectives of this design standard.  <u>Complies.</u></p>
<p><b>1. SCALE &amp; FORM</b>  <b>1.c Roof Shape:</b> The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape;</p> <p><u>Residential Design Guidelines</u>  12.7 <i>The roof form of a new building should be designed to respect the range of forms and massing found within the district.</i></p> <p>12.14 <i>Roof forms should be similar to those seen traditionally in the block and in the wider district.</i></p>	<p><u>Scale &amp; Form - Roof Shape</u>  The proposal is for a flat roofed dwelling, subdivided into three distinct levels proceeding back into the site. While the majority of the buildings in the immediate context are of pitched roof form, flat roofed residential buildings are very much a characteristic of 600 North and of the Capitol Hill Historic District. Aside from being one contemporary design expression, the approach does maximize the volume of residential space achievable within the confines of this small and irregular site. The variation in roof level proposed within the plan of the building also helps to maintain and accentuate a sense of human scale within this setting, and the prospective visual compatibility of the proposal in this setting.</p>	<p><u>Roof Shape</u>  Staff would conclude that the proposals accord with the objectives of this design standard.  <u>Complies.</u></p>

<p><b>1. SCALE &amp; FORM</b>  <b>1.d Scale of a Structure:</b>  The size and mass of the structures shall be visually compatible with the size and mass of surrounding structures and streetscape.</p> <p><u>Residential Design Guidelines</u>  <i>12.5 A new building should be designed to reinforce a sense of human scale.</i></p> <p><i>12.6 A new building should appear similar in scale to the established scale of the current street block.</i></p> <p><i>12.7 The roof form of a new building should be designed to respect the range of forms and massing found within the district.</i></p> <p><i>12.8 A front facade should be similar in scale to those seen traditionally in the block.</i></p> <p><i>12.9 Building heights should appear similar to those found historically in the district.</i></p> <p><i>12.11 A new building should appear similar in width to that established by nearby historic buildings.</i></p> <p><i>12.13 Building forms should be similar to those seen traditionally on the block.</i></p> <p><i>12.15 Overall facade proportions should be designed to be similar to those of historic buildings in the neighborhood.</i></p>	<p><u>Scale &amp; Form - Scale of a Structure</u>  The proposed development is effectively rectangular in form, with variation employed in massing through roof height and in façade articulation, to reduce the sense of scale and to reinforce a sense of human scale as one of the effective characteristics of this setting. Roof forms, façade heights, widths, and façade proportions interact to achieve a sense of human scale and a consequent compatibility with the size and mass of the buildings and streetscape within this part of the historic district. Staff would conclude that the proposal would be visually compatible with this setting, while contributing to this character in an individual way.</p>	<p><u>Scale of a Structure</u>  Staff would conclude that the proposals accord with the objectives of this design standard.  <u>Complies.</u></p>
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<p><b>2. COMPOSITION OF PRINCIPAL FACADES</b>  <b>2.a Proportion of Openings:</b> The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;</p> <p><u>Residential Design Guidelines</u>  12.16 <i>The pattern and proportions of window and door openings should fall within the range associated with historic buildings in the area.</i></p> <p>12.20 <i>Windows with vertical emphasis are encouraged.</i></p> <p><b>2.b Rhythm of Solids to Voids in Facades:</b> The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;</p> <p><u>Residential Design Guidelines</u>  12.12 <i>The ratio of wall-to-window (solid to void) should be similar to that found in historic structures in the district.</i></p>	<p><u>Facade Composition – Proportion of Openings</u>  The design composition employs a variety of window forms, patterns and proportions. Large window and patio glazing towards the front of the building would be subdivided to express a defined proportion and frame detail. Along the west facade the fenestration would be primarily vertical in proportion, with periodic horizontally proportioned openings. The combination should achieve a visual compatibility with this context.</p> <p><u>Facade Composition – Rhythm of Solids to Voids</u>  In general the rhythm and ratio of solids to voids proposed would equate with the buildings in this setting. Where larger voids are proposed towards the front of the residence, these are subdivided either horizontally or vertically to express the framing pattern and a degree of architectural detail and interest. The combination is likely to achieve a visual compatibility with the buildings in this context.</p>	<p><u>Proportion of Openings</u>  Staff would conclude that the proposals accord with the objectives of this design standard. <u>Complies.</u></p> <p><u>Rhythm of Solids to Voids</u>  Staff would conclude that the proposals accord with the objectives of this design standard. <u>Complies.</u></p>
<p><b>2.c Rhythm of Entrance Porch and Other Projections:</b> The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape;</p> <p><u>Residential Design Guidelines</u>  12.4 <i>The front and the entrance of a primary structure should orient to the street.</i></p> <p>12.16 <i>The pattern and proportions of window and door openings should fall within the range associated with historic buildings in the area.</i></p>	<p><u>Facade Composition - Building Character &amp; Scale</u>  The proposal presents a full height window and large patio door to the primary street frontage on 600 North. The organization of the internal spaces places the entrance door on the facade to Alida Place, recessed and turned through 90 degrees in terms of orientation. This entrance is emphasized by a change in facade cladding to wood and a projecting balcony element above. The entrance does therefore orient to the street, although not directly in a historically characteristic manner. The design proposed would not, in staff's evaluation, adversely affect the visual compatibility of the proposals.</p>	<p><u>Rhythm of Porch &amp; Projections</u>  Staff would conclude that the proposals accord with the objectives of this design standard. <u>Complies.</u></p>



<p><b>2.d Relationship of Materials:</b> The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.</p> <p><u>Residential Design Guidelines</u>  <i>12.18 Materials should have a proven durability for the regional climate and the situation and aspect of the building.</i></p> <p><i>12.19 New materials that are similar in character to traditional materials may be acceptable with appropriate detailing.</i></p> <p><i>12.24 Where they are to be used, ornamental elements, ranging from brackets to porches, should be in scale with similar historic features.</i></p>	<p><u>Facade Composition - Building Materials, Windows, Elements &amp; Detailing</u>  The design proposed concentrate upon two primary external materials, supplemented by detailing in metalwork. Primary materials include stucco, finished in a muted red tone, supplemented by wood siding. The garage is designed using the same materials and relationship. Window framing proposed is aluminum clad wood. Both primary materials are characteristic of and would be visually compatible with this context.</p>	<p><u>Relationship of Materials</u>  Staff would conclude that the proposals generally accord with the objectives of this design standard.  <u>Complies.</u></p>
<p><b>3. RELATIONSHIP TO THE STREET</b>  <b>3.a Walls of Continuity:</b>  Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;</p> <p><u>Residential Design Guidelines</u>  <i>12.3 When designing a new building, the historic settlement patterns of the district and context should be respected.</i></p> <p><i>12.4 The front and the entrance of a primary structure should orient to the street.</i></p>	<p><u>Relationship to the Street - Walls of Continuity</u>  The proposed new single family dwelling will occupy a vacant site on 600 North, on the corner with Alida Place. The development of this site will complete a gap in what is otherwise a continuous sequence of residential buildings along the primary street. The proposals do appear to recognize the historic development patterns of this context and respect those characteristics in the design proposed. Site structures and landscaping proposed should help to complement and enhance the integration of the development. Visual compatibility in this context should be enhanced.</p>	<p><u>Relationship to the Street – Walls of Continuity</u>  Staff would conclude that the proposals accord with the objectives of this design standard.  <u>Complies.</u></p>

<p><b>3.b Rhythm of Spacing and Structures on Streets:</b> The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;</p> <p><u>Residential Design Guidelines</u>  <i>12.3 When designing a new building, the historic settlement patterns of the district and context should be respected.</i></p>	<p><u>Relationship to the Street - Rhythm of Spacing &amp; Structures on Streets</u>  The proposed residence largely respects and also echoes the existing rhythm created by the spacing of structures along this street, and the open spaces retained therein. The historic pattern of development should be reinforced by a new building on this site, creating the enclosure of the east side of Alida Place currently missing in this sequence and these rhythms. This void in the otherwise historic settlement pattern would be filled, to the benefit of the character, continuity and rhythm of the character of this setting in the district.</p>	<p><u>Rhythm of Spacing &amp; Structures on Streets</u>  Staff would conclude that the proposals accord with the objectives of this design standard.  <u>Complies.</u></p>
<p><b>3.c Directional Expression of Principal Elevation:</b> A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street;</p> <p><u>Residential Design Guidelines</u>  <i>12.3 When designing a new building, the historic settlement patterns of the district and context should be respected.</i></p> <p><i>12.4 The front and the entrance of a primary structure should orient to the street.</i></p>	<p><u>Relationship to the Street - Directional Expression</u>  This is a corner site. The proposed building is oriented towards the primary street frontage, with the length of the building parallel with the lot. In directional expression the proposal respects the site and also the established settlement pattern and orientation of buildings in this context. The entrance in this case is situated on the secondary street façade, a relationship which remains a characteristic of many corner buildings. The proposal should be visually compatible with the character established by the patterns in this context.</p>	<p><u>Directional Expression</u>  Staff would conclude that the proposals accord with the objectives of this design standard.  <u>Complies.</u></p>
<p><b>3.d Streetscape; Pedestrian Improvements:</b> Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.</p> <p><u>Residential Design Guidelines</u>  <i>12.4 The front and the entrance of a primary structure should orient to the street.</i></p>	<p><u>Relationship to the Street - Streetscape &amp; Pedestrian Improvement</u>  The development will re-utilize this vacant lot and in doing so will enhance the environmental character and public experience of this context. The building itself, combined with the landscaping of the site, will enhance the immediate setting and the broader context. The improvements should help to integrate the proposal and enhance the compatibility of the development.</p>	<p><u>Streetscape &amp; Pedestrian Improvements</u>  Staff would conclude that the proposals accord with the objectives of this design standard.  <u>Complies.</u></p>

<p><b>4. Subdivision Of Lots:</b>  The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).</p>	<p><u>Subdivision of Lots</u>  No subdivision of lots is involved in this instance.</p>	<p><u>Subdivision of Lots</u>  No change is proposed.</p>
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## **ATTACHMENT G: PUBLIC PROCESS AND COMMENTS RECEIVED**

### **Notice of the public hearing for the proposal include:**

- Notice mailed on March 2, 2017.
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on March 2, 2017
- Site notice posted on March 6, 2017

### **Public Commentary**

At the time of the publication of this staff report one public comment from a neighboring resident in support of the proposal has been received, although not subsequently confirmed as to identity. Any comments received after that date will be forwarded to the Commission for their consideration.

### **Review Notes from City Forestry Division**

See attached:

**Leith, Carl**

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**From:** Gliot, Tony  
**Sent:** Friday, February 03, 2017 11:48 AM  
**To:** Leith, Carl  
**Cc:** Fratto, Julie; Davis, Cory  
**Subject:** RE: Proposed Single Family House Construction - 165 West 600 North (PLNHLC2017-00033)

Hello Carl,

The Urban Forestry Program has reviewed the information provided and visited the sites (associated with PLNHLC2017-00033). We appreciate the opportunity to offer the following observations:

- There are two large and (apparently) healthy elm trees located just inside of the perceived property line of the neighboring property to the east of the property to be developed. As the trees are located on a private SFR property, it is not the Urban Forestry Program's place to attempt to assign value, status, condition, or importance to the trees. The trees are personal property of the owner of the property on which they stand.
- Our interpretation of the plans provided indicates that a substantial grade cut would be made at (or in direct proximity to) the east property line of 165 West 600 North. As the previously mentioned neighboring property trees stand just inside of that shared property line, removal of a substantial and significant portion of the root systems of these trees would be an unavoidable consequence of proceeding with the project (as currently shown).
- Tree roots provide both sustenance and structural stability. When substantial root loss occurs, the likelihood for death and/or structural failure of the tree can be dramatically increased. Given that the location and extent of the proposed grade change (as it relates to the location and size of the neighboring property trees) would result in substantial root loss, it seems reasonable to conclude that the proposed grade change and preservation of these subject neighboring property trees are mutually exclusive prospects.
- It is the Urban Forestry Program's recommendation that neighboring property owner be approached and informed about the tree/building conflict in an effort to civilly resolve the issue.
- As consulting on private property matters, such as this, is not within the Urban Forestry Program's purview, the assessment and comments provided are cursory in nature. The services of an ISA Certified Consulting Arborist should be enlisted to assist and inform decisions made regarding the subject trees (and the potential liabilities root damage).

I hope the above information is helpful.

Kindly,

*Tony*

**TONY GLIOT**  
Urban Forestry Program Manager

Division of Parks and Public Lands  
Salt Lake City Corporation

Tel: (801) 972-7818  
Fax: (801) 972-7821

**From:** Leith, Carl  
**Sent:** Monday, January 30, 2017 9:36 AM  
**To:** Gliot, Tony <Tony.Gliot@slcgov.com>  
**Subject:** RE: Proposed Single Family House Construction - 165 West 600 North (PLNHLC2017-00033)

Hi Tony,

Thank you for your forthcoming review. I look forward to hearing from either Julie or yourself.

Thanks again.

Carl

**CARL O. LEITH** MRTPI IHBC  
Senior Historic Preservation Planner

PLANNING DIVISION  
COMMUNITY *and* NEIGHBORHOODS  
SALT LAKE CITY CORPORATION

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FAX 801-535-6174

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**From:** Gliot, Tony  
**Sent:** Monday, January 30, 2017 9:02 AM  
**To:** Leith, Carl <[Carl.Leith@slcgov.com](mailto:Carl.Leith@slcgov.com)>  
**Subject:** RE: Proposed Single Family House Construction - 165 West 600 North (PLNHLC2017-00033)

Hi Carl,

I have forwarded the plan and your email to one of my Service Coordinators (Julie Fratto) for her review. You'll either hear back from her or me regarding any comments or recommendations.

Kindly,

*Tony*

**TONY GLIOT**  
Urban Forestry Program Manager

Division of Parks and Public Lands  
Salt Lake City Corporation

Tel: (801) 972-7818  
Fax: (801) 972-7821

**From:** Leith, Carl

**Sent:** Friday, January 27, 2017 3:44 PM

**To:** Gliot, Tony <[Tony.Gliot@slcgov.com](mailto:Tony.Gliot@slcgov.com)>

**Subject:** Proposed Single Family House Construction - 165 West 600 North (PLNHLC2017-00033)

Hi Tony,

Carrying out an initial review of a proposal to construct a house on a vacant site at 165 W 600 N. This is an irregularly shaped corner site, with Alida Place containing it on the west side. As currently proposed the house would be on three levels and would involve excavation of the site to accommodate about one and a half levels, engendering a retaining wall along the east site boundary. Also on this east boundary (just inside or on the neighboring property line and on private land, but not recorded on the drawings at the moment) are three mature trees, which I assume would be adversely affected by the development as the proposals currently stand. I would be interested in your advice on the following:

- The current status or importance of these trees, as well as their apparent present and future health?
- The potential impact of these proposals on the future survival of the trees?
- Any specific recommendations which might reduce the impact on the trees?

I attach a copy of the current proposed development drawings for your information regarding the above description and possible impacts, and look forward to your advice on this when you have an opportunity to review the proposals & questions above.

Thank you in advance for your help and advice.

Carl

CARL O. LEITH MRTPI IHBC  
Senior Historic Preservation Planner

PLANNING DIVISION  
COMMUNITY *and* NEIGHBORHOODS  
SALT LAKE CITY CORPORATION

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## ATTACHMENT H: MOTIONS

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### **Consistent with Staff Recommendation (Approval with condition):**

**Certificate of Appropriateness:** Based on the analysis and findings listed in the staff report, testimony and the proposal presented, I move that the Commission approve this application for a Certificate of Appropriateness for New Construction, subject to the condition:

1. That detailed design approval is delegated to Staff.

**Special Exceptions:** Based on the analysis and findings listed in the staff report, testimony and the proposal presented, I move that the Commission approve this application for Special Exceptions for a new single family dwelling, subject to the condition:

2. That detailed design approval is delegated to Staff.

**Not Consistent with Staff Recommendation (Denial):** Based on the analysis and findings listed in the staff report, testimony and the proposal presented, I move that the Commission deny this application for a Certificate of Appropriateness for New Construction, and associated Special Exceptions, based on the following standards:

Specifically, the Commission finds that the proposed project does not comply with the review standards based on the following findings (Commissioner then states findings based on the following Standards to support the motion):

#### 1. Standard 1: Scale and Form:

- a. Height and Width: The proposed height and width shall be visually compatible with surrounding structures and streetscape;
- b. Proportion of Principal Facades: The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape; and,
- c. Roof Shape: The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and
- d. Scale of a Structure: The size and mass of the structure shall be visually compatible with the size and mass of surrounding structures and streetscape.

#### 2. Standard 2: Composition of Principal Facades:

- a. Proportion of Openings: The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;
- b. Rhythm of Solids To Voids In Facades: The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;
- c. Rhythm of Entrance Porch And Other Projections: The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and
- d. Relationship of Materials: The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

#### 3. Standard 3: Relationship to Street:

- a. Walls of Continuity: Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;
- b. Rhythm of Spacing And Structures On Streets: The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;
- c. Directional Expression of Principal Elevation: A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and
- d. Streetscape; Pedestrian Improvements: Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.

4. Standard 4: Subdivision of Lots:

The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

**Special Exceptions**

Specifically, the Commission finds that the proposed project does/does not comply with the review standards based on the following findings (Commissioner then states findings based on the Special Exception Standards to support the motion):

- A. Compliance with Zoning Ordinance and District Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.
- B. No Substantial Impairment of Property Value: The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.
- C. No Undue Adverse Impact: The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.
- D. Compatible with Surrounding Development: The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.
- E. No Destruction of Significant Features: The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.
- F. No Material Pollution of Environment: The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.
- G. Compliance with Standards: The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.