



# Staff Report

PLANNING DIVISION  
COMMUNITY & ECONOMIC DEVELOPMENT

To: Salt Lake City Historic Landmark Commission  
From: Carl Leith, Senior Planner  
801 535 7758 or [carl.leith@slcgov.com](mailto:carl.leith@slcgov.com)  
Date: January 5, 2017  
Re: PLNHLC2016-00800 New Construction

## NEW CONSTRUCTION – SINGLE FAMILY RESIDENCE

**PROPERTY ADDRESS:** 715 SOUTH 500 East

**PARCEL ID:** 1607229019

**HISTORIC DISTRICT:** Central City Local Historic District

**ZONING DISTRICT:** H Historic Preservation Overlay District. RMF-30 (Low Density Multi-Family Residential District)

**MASTER PLAN:** Central Community Master Plan

**DESIGN GUIDELINES:** A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City

**REQUEST: New Single Family Dwelling at approximately 715 South 500 East** - A request by Jordan Atkin, Fifty-Fifty Real Estate, LLC, for approval from the City to construct a single family residence at the above address. The lot is currently vacant and is zoned RMF-30 (Low Density Multi-Family Residential) and lies within the Central City Historic District. The request requires approval from the Historic Landmark Commission for new construction in an historic district. The subject property is within Council District 4 represented by Derek Kitchen. (Staff contact: Carl Leith at (801)535 7758 or [carl.leith@slcgov.com](mailto:carl.leith@slcgov.com).) Case number **PLNHLC2016-00800**

**RECOMMENDATION:** Based on the analysis and findings listed in this staff report, Staff recommends that the Commission approve this application for a Certificate of Appropriateness for New Construction, subject to the following conditions:

1. That detailed design approval is delegated to Staff.

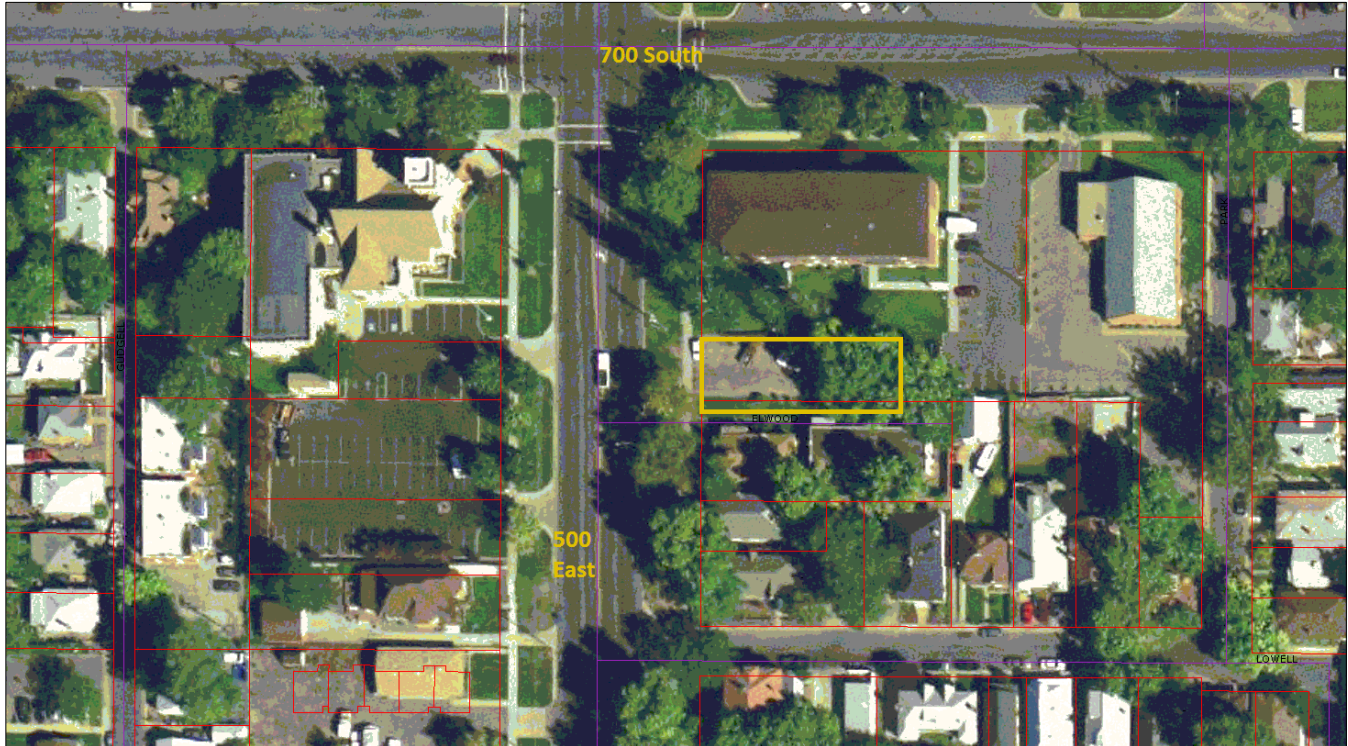
**MOTION:** Based on the analysis and findings listed in the staff report, testimony and the proposal presented, I move that the Commission approve this application for a Certificate of Appropriateness for New Construction, subject to the condition that:

1. The detailed design approval is delegated to Staff.

**CONTEXT – CENTRAL CITY HISTORIC DISTRICT**

The site, which is currently vacant, is located on the east side of 500 East close to 700 South. It is flanked by Elwood Place to the south which provides private access to the rear of this site and to the adjacent row houses situated to the rear of the adjacent property. To the immediate north on 500 East is a three story apartment building, while to the south there is a sequence of one and occasionally two story houses. This site is zoned RMF-30 which is the consistent zoning for this side of 500 East, with SR-3 defining the small scale residential to the east and south-east around Park Street and Lowell Avenue. This area of the Central City Historic District has experienced increased residential investment in recent years and consequently both the retention and enhancement of the historic and architectural character of the area.

**LOCATION PLAN**



**CURRENT DEVELOPMENT PROPOSALS**

The current proposal is for the construction of a single family residence on two floors, stepping down to an attached two car garage to the rear with upper deck space above. The frontage to the house is designed with a front facing corner porch and entrance on one side, with stepped back outdoor deck space above. The relatively deep plan is articulated by several shallow changes in plane as well as variation in materials and color, helping to reduce the perceived lateral scale of the structure. Materials include a light and a dark gray brick, with mid-gray and off-white hard coat stucco. Window framing material is specified as bronze colored vinyl. The fenestration pattern is largely comprised of vertically proportioned windows, varied by horizontal strip windows to the rear of the garage and the floor above.

Discussion on detailed refinement of the design prior to and since the application has been submitted has yielded a number of minor revisions. These include an enhanced stature for the first floor, a continuous concrete foundation plinth to the facades, the differentiation of window height towards the front of the building to introduce a hierarchy of window height, enhanced reveals (5”) to each window opening, balancing the fenestration pattern on the front façade, and the redesign of the garage door to the rear currently described as ‘flat panel with glass sections’.

Refer to Attachment C for the Application Materials.

**CENTRAL CITY MASTER PLAN**

The Central City Community Plan 2005 identifies the site as falling within the Low to Medium Density Residential land use zoning, which encompasses a variety of zone districts and building types.

**RMF-30 ZONE DISTRICT STANDARDS**

The provisions for the RMF-30 (Low Density Multifamily Residential) base zone district are defined by chapter 21A.24.120 and are set out in detail in Attachment D. No conflicts with RMF-30 zoning provisions are identified.

**DESIGN STANDARDS & DESIGN GUIDELINES FOR NEW CONSTRUCTION WITHIN THE HISTORIC PRESERVATION OVERLAY DISTRICT**

New Construction Design Standards are defined by chapter 21A.34.020.H of the Ordinance, addressing three key aspects of contextual design – Scale & Form, Composition of Principal Facades & Relationship to the Street, as well as the Subdivision of Lots. A Preservation Handbook for Historic Residential Properties and Districts in Salt Lake City, Chapter 12 New Construction, provides more detailed advice and guidance on these design considerations and they are used to inform and analyze the design standards in the ordinance. The proposed development is reviewed in detail in the context of these design standards, as they are informed by the design guidelines, in Attachment E of this report. The application development description also reviews the proposals in the light of the standards and guidelines.

**PUBLIC COMMENTARY**

At the time of the publication of this staff report no public comments regarding this application have been received. Any additional public commentary will be forwarded directly to the Commission and will be posted on the meeting agenda website.

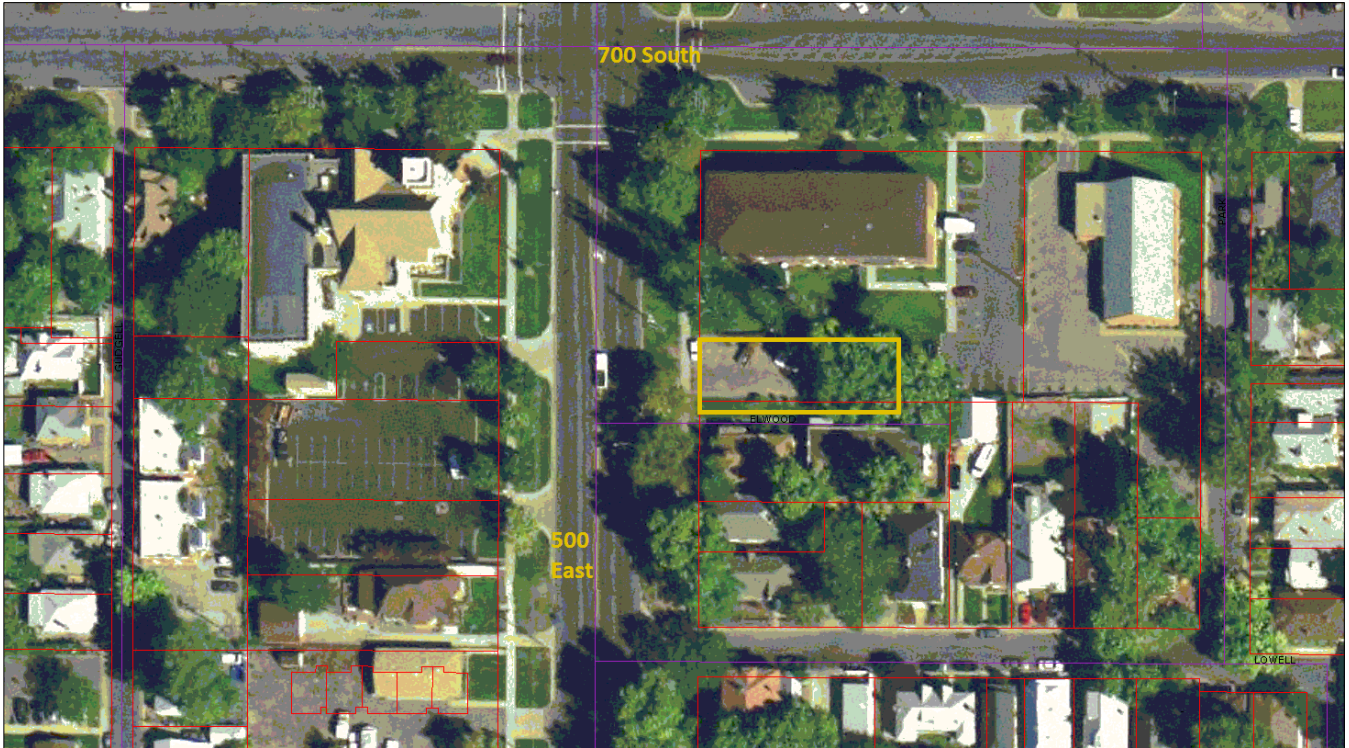
**KEY ISSUES:**

From an analysis of the proposed development in this report Staff has not identified any specific issues for further consideration.

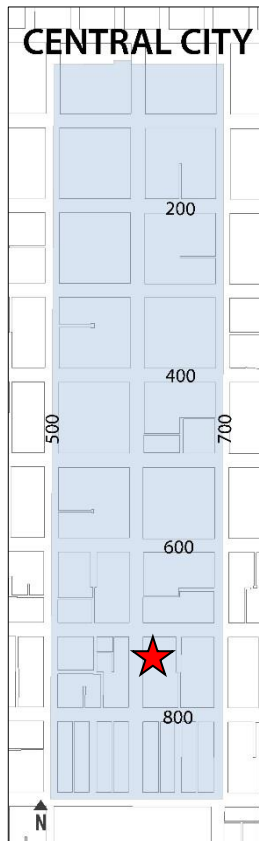
**ATTACHMENTS:**

- A. Vicinity & Historic District Maps
- B. Photographs
- C. Application Materials
- D. RMF-30 Zoning Standards
- E. Design Standards & Guidelines for New Construction in a Historic District
- F. Public Process and Comments
- G. Motions

# ATTACHMENT A: VICINITY & HISTORIC DISTRICT MAPS



★ *Approximate project location*



**ATTACHMENT B: PHOTOGRAPHS**

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**SITE & CONTEXT**



## SITE & CONTEXT



## SITE & CONTEXT



## SITE & CONTEXT



## ATTACHMENT C: APPLICATION MATERIALS

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423 West 800 South, Suite A316  
Salt Lake City, UT 84101  
cell: 801.652.7171  
email: nh@ratherarchitecture.com

## Written Findings

**PROJECT: SINGLE FAMILY HOME**  
**ADDRESS: 715 SOUTH 500 EAST**

### **Application Description**

In light of the renewed interest in urban living and the demand for a diversity of housing types in Salt Lake City, the applicant is proposing a single family residence to infill a parcel that currently is an empty lot with no structure on it. This project is in line with the city's initiative to create housing options in areas that have existing infrastructure as well as increasing the site's density at an appropriate scale that is compatible with the neighborhood.

It is the goal of this project to create an appealing single family home that the new residents and the current neighbors find pleasing and that is compatible with the style and spirit of the neighborhood.

This project aims to be compatible with the adjacent properties and with the neighborhood by reinforcing the basic architectural language and historical characteristics of the area while at the same time not attempting to mimic any previous architectural style.

The proposed home will have a ground floor footprint of approximately 1,996 square feet, with a total of approximately 2,532 sf of combined main floor and second floor living space.

### **Zoning Statement**

This proposal meets all of the basic zoning requirements set forth for RMF-30, except for the minimum lot width; this is an existing lot that is 40' wide and the required minimum width is 50'. The project is a single family detached home which is allowed in the RMF-30 zone. The maximum height of the proposed home is 27'- 4" which is below the allowed maximum building height of 30 feet in the zone. The project meets all of the minimum yard requirements with a 20 foot front yard, 4 foot interior side yard, and a rear yard of more than 25 feet (approximately 29'). At 41% lot coverage the project is not exceeding the max building coverage of 45 percent for single family homes.

The result of this proposed project is a much enhanced product that strives to be compatible with the neighborhood's architectural styles and enhance the housing options in the community.

### **Design Statement**

This proposal addresses the historic design standards and residential guidelines for new construction as described below:

#### **Building Placement and Orientation:**

In keeping with the context of the street the house is situated in the same manner as its neighbors and is situated parallel to the lot lines. It is also as forward as allowed by zoning. The side yards are limited to the minimum allowed and the rear yard is slightly larger than required, at 29', placing the majority of the private space behind the house. This creates an ordered and strong visual relationship between its neighbors along 500 East. The house's primary entrance is oriented to 500 E (the primary street) and includes a front porch that engages the street.

**Mass, Scale and Form:**

It's common for both single and two-story structures to be in this neighborhood and the overall intent of this proposal is to achieve a similarity in scale that allows for a nice visual continuity along the street face.

- Height and Width: The width and height of this two story structure is similar to what is seen nearby. The house is composed of a series of heights in order to reduce the apparent scale of the mass, in particular from the perspective of the primary street. The cross section of varying heights also helps to counter-balance the different masses/scales surrounding it.
- The primary façade is designed with a single-story porch that is characteristic of the neighborhood and helps to create a sense of human scale.
- Solid to Void Ratio: While many modern homes utilize large amounts of glass this house limits the overall amount of glazing in order to be similar to what is seen nearby. There are not any large areas of glazing, instead the glazing is divided into smaller areas.
- Form and Visual Emphasis: Visual weight is given to the building by having a 2'-0" high exposed concrete base around the entire footprint of the house. By doing a flat roof the overall height of the structure is kept to a scale that is in keeping with the context. To further the compatibility of the roof 18" to 2'-6" deep roof projections are included in the design.

**Composition of Principal Facades:**

- Façade Elements: Similar to what is seen nearby, this house uses a single story front porch to engage the street and be perceived as human scale. Common characteristics of this façade to that of the area are; raised porch, roof projection over recessed front entrance, and a large window(s) with smaller windows above.
- Rhythm of Entrance Porch and other Projections: The scale (height, width and depth) of this porch is similar to neighboring homes and so it easily recognizable as such. This also reinforces the rhythm of the street.

**Relationship to Street:**

- The house's primary entrance is oriented to 500 E (the primary street) and includes a front porch that engages the street. The proportion and scale of the front porch and roof projection is modeled after the many historic precedents in the neighborhood.

**Materials:**

- The primary building materials are brick and stucco. Glass, exposed concrete decorative architectural features in metal and wood complete the material palette. This combination of materials and colors creates a strong relationship between the contemporary rectilinear forms and the historic materials and colors.
- Brick was selected as the primary building material after carefully surveying the architectural styles of the neighborhood where brick is the prevailing building material. Brick is also a low-maintenance material that wears well and will provide longevity to the building and continue to contribute to the architectural integrity of the neighborhood for many years. Stucco is used to complement the brick and is intended to bring balance to the overall architectural composition of the building mass. Windows are carefully placed to provide natural light to the living spaces and to provide aesthetic interest.

**Windows:**

- The logic behind the window layout is to allow appropriate amounts of natural light, appropriate privacy, and the option to operate the windows where appropriate. This hierarchy is expressed through five different window types.
- Each interior function uses the same window type. For example, all bedrooms have the

same size sliding windows while the living has larger windows that provide significant natural light and allow for outward views. The ground floor windows along the primary façade are taller than the windows directly above in order to provide a visual weight to the ground floor. (Coupled with the use of 'heavier' materials on the ground floor.)

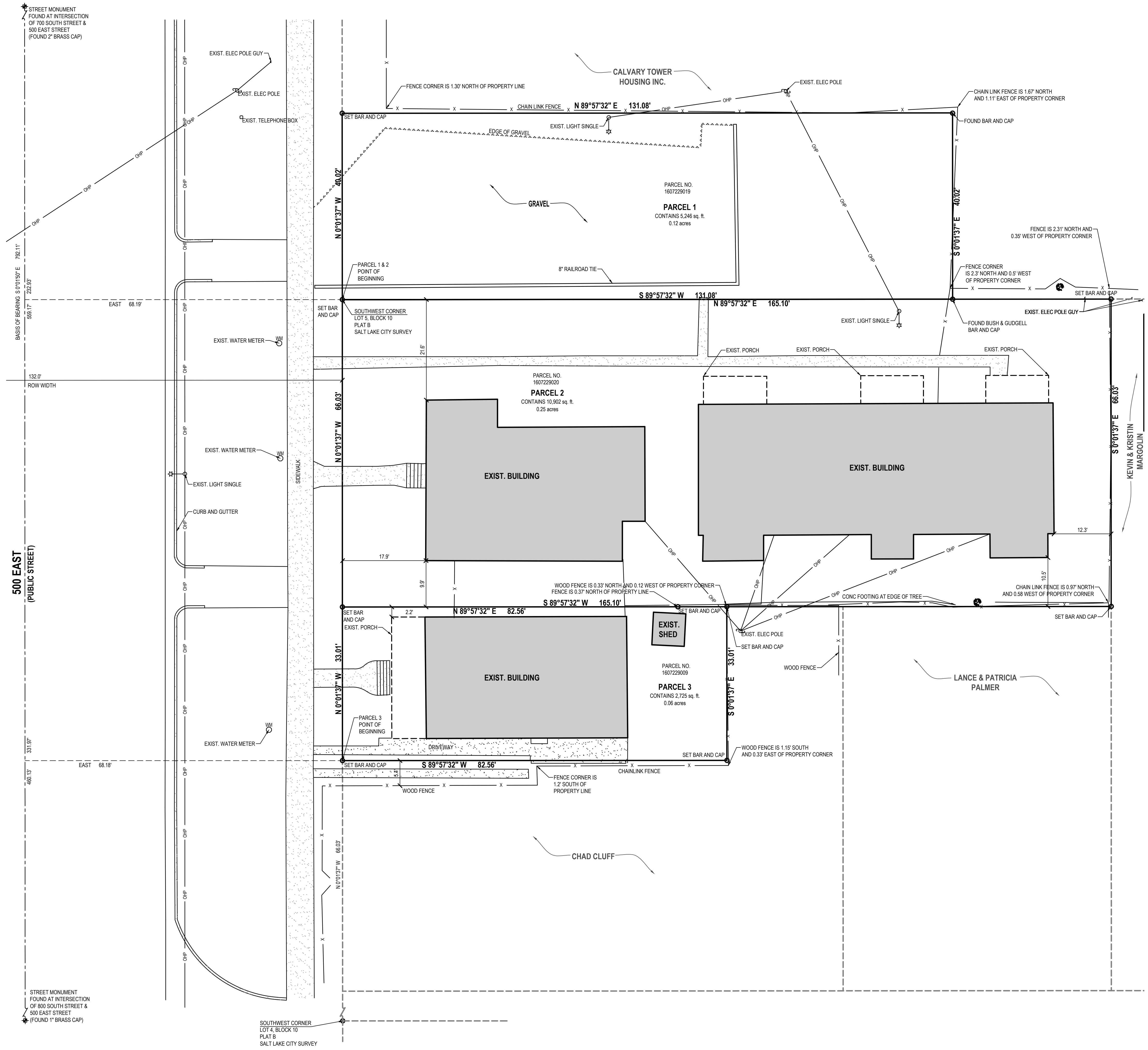
Bathroom windows are all the same window type and are placed high to preserve privacy. They are sliding windows to allow for natural ventilation when desired.

- The windows have a distinctive recess from the plane of the wall. Each window has a masonry sill to provide architectural detail and for practical function. This feature is also characteristic of the historic homes in the area.
- The vinyl windows are proportioned to provide a strong vertical emphasis.
- A clear aesthetic pattern emerges on the exterior by using the same window types in the same relative interior spaces. All window head-heights are coordinated to be the same on each floor to create a clean visual effect. Sill heights do vary due to desired natural light and privacy. Careful attention has been paid to align windows vertically with other windows to further reinforce a clear, organized design language.

**Summary:**

The intention of this proposed residence is to create a product that will make a strong contribution to the architectural fabric of the neighborhood in addition to enhancing the housing options in the community.

**TAG 500 - ELWOOD PLACE  
BOUNDARY SURVEY**  
500 EAST ELWOOD PLACE  
SALT LAKE CITY, UTAH



**SURVEYOR'S NARRATIVE**

I, Patrick M. Harris, do hereby state that I am a Professional Land Surveyor and that I hold certificate no. 286882 as prescribed by the laws of the State of Utah and represent that I have made a survey of the following described property. The Purpose of this survey is to provide a boundary to our client. The Basis of Bearing is line between the street monuments found at the intersection of 800 south and 500 east and the street monument at the intersection of 700 South street and 500 East street, measuring South 0°11'50" East 792.11 feet.

**LEGAL DESCRIPTION**

Parcel 1:  
Beginning at the Southwest corner of Lot 5, Block 10, Plat "B", Salt Lake City Survey, and running thence North 40.00 feet along the West line of said Lot 5, thence East 131.00 feet; thence South 40.00 feet to a point on the South line of said Lot 5, thence East 34.00 feet along the said line; thence South 66.00 feet; thence West 92.98 feet; thence North 0°44'06" West 66.00 feet to a point on the said South line of Lot 5; thence West 71.94 feet along said line to the point of beginning.

Parcel No.: 16-07-229-019

Parcel 2:  
Beginning at the Northwest corner of Lot 4, Block 10, Plat "B", Salt Lake City Survey, and running thence East 71.94 feet; thence South 0 deg. 04'06" East 66.00 feet; thence West 72.02 feet to the West line of said Lot 4; thence North 66.00 feet along said line to the point of beginning.

Parcel No.: 16-07-229-020

Parcel 3:  
COMMENCING 4 RODS NORTH FROM THE SOUTHWEST CORNER OF LOT 4, BLOCK 10, PLAT "B", SALT LAKE CITY SURVEY, AND RUNNING THENCE NORTH 2 RODS; THENCE EAST 5 RODS; THENCE SOUTH 2 RODS; THENCE 5 RODS WEST TO THE POINT OF BEGINNING.

Tax Parcel No.: 16-07-229-009

**AS-SURVEYED DESCRIPTION**

**Parcel 1**  
Beginning at the Southwest corner of Lot 5, Block 10, Plat "B", Salt Lake City Survey, said point also being South 0°11'50" East 232.93 feet and East 68.19 feet from the street center line monument at intersection of 700 South Street and 500 East Street;  
thence North 00°01'37" West 40.02 feet along the east line of 500 East Street;  
thence North 89°57'32" East 131.08 feet  
thence South 00°01'37" East 40.02 feet  
thence South 89°57'32" West 131.08 feet  
Parcel 1 Contains 5,246 sq. ft. or 0.12 acres.

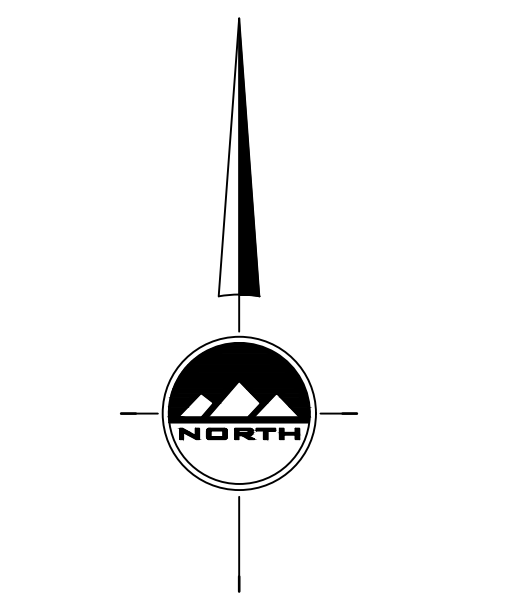
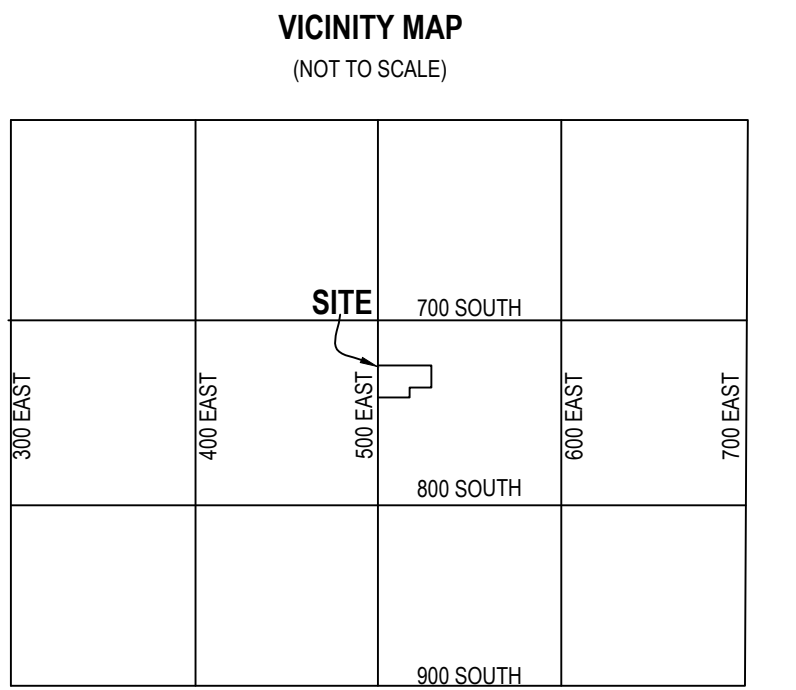
**Parcel 2**  
Beginning at the Southwest corner of Lot 5, Block 10, Plat "B", Salt Lake City Survey, said point also being South 0°11'50" East 232.93 feet and East 68.19 feet from the street center line monument at intersection of 700 South Street and 500 East Street;  
thence North 89°57'32" East 165.10 feet;  
thence South 00°04'06" East 66.03 feet;  
thence South 89°57'32" West 165.10 feet to the east line of 500 East Street;  
thence North 00°01'37" West 66.03 feet along the east line of 500 East Street to the point of beginning.  
Parcel 2 Contains 10,902 sq. ft. or 0.25 acres

**Parcel 3**  
Beginning at 66.03 feet North 00°01'37" West from the Southwest corner of Lot 4, Block 10, Plat "B", Salt Lake City Survey, said point also being South 0°11'50" East 331.97 feet and East 68.18 feet from the street center line monument at intersection 700 South Street and 500 East Street;  
thence North 00°01'37" West 33.01 feet;  
thence North 89°57'32" East 82.56 feet;  
thence South 00°01'37" East 33.01 feet to the east line of 500 East Street;  
thence South 89°57'32" West 82.56 feet along the east line of 500 East Street to the point of beginning.  
Parcel 3 Contains 2,725 sq. ft. or 0.06 acres

Date \_\_\_\_\_ Patrick M. Harris  
License no. 286882

**LEGEND**

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|--|--------------------------|--|------------------------|
|  | MONUMENT                 |  | CONCRETE               |
|  | SET ENSIGN REBAR AND CAP |  | ADJACENT RIGHT OF WAY  |
|  | TANGENT LINE             |  | RIGHT OF WAY           |
|  | SECTION LINE             |  | PROPERTY LINE          |
|  | FENCE                    |  | ADJACENT PROPERTY LINE |
|  | OVERHEAD POWER           |  | DEED LINE              |



LOCATED IN THE NORTHEAST CORNER OF SECTION 7  
TOWNSHIP 1 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN  
SALT LAKE CITY, SALT LAKE COUNTY, UTAH

**BOUNDARY SURVEY**

PROJECT NUMBER 7094 PRINT DATE 8/22/16  
DRAWN BY B.BAGGETT CHECKED BY  
PROJECT MANAGER P.HARRIS

**Project**  
**SINGLE FAMILY RESIDENCE**

719 S 500 E  
SALT LAKE CITY, UT  
84102

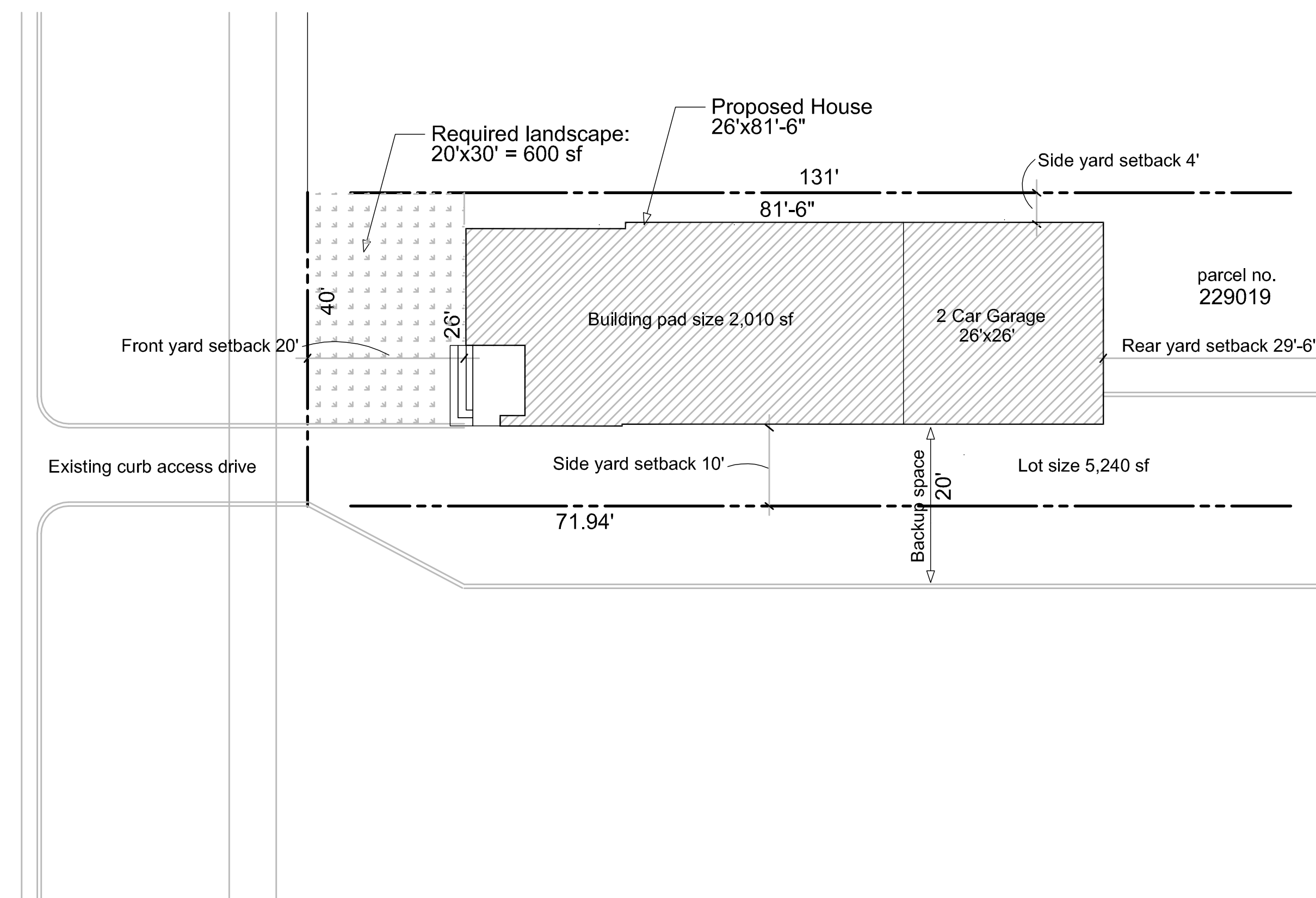
Owner

**FIFTY FIFTY REAL ESTATE**

Contractor



**500 East SWtreet**



**Zoning Requirements**

(21.A24.120 RMF LOW DENSITY MULTI-FAMILY RESIDENTIAL DISTRICT)

| Land Use                         | Minimum Lot Area | Actual Lot Area | Minimum Lot Width | Actual Lot Width |
|----------------------------------|------------------|-----------------|-------------------|------------------|
| Single-family detached dwellings | 5,000 sf         | 5,240 sf        | 50 feet           | 40 feet          |

Maximum building height: 30'  
 Front Yard: 20'  
 Interior Side Yard: 4' on one side and 10' on the other  
 Rear Yard: 25% of lot depth but not less than 20'  
 Landscape Required: Front yard shall be maintained as landscaped yards  
 Max. Building Coverage: Allowable: 45% of lot area, Lot area = 5,240, Building area = 2,010 = 39%  
 Landscape Buffers: None required

Revision

| No. | Description              | Date     |
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| 3   | REV 3 Planning Submittal | 12.29.16 |
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**SITE PLAN**

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| Project number | 1241.139.1 |
| Date           | 12.29.16   |
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| <b>SD.1</b>    |            |
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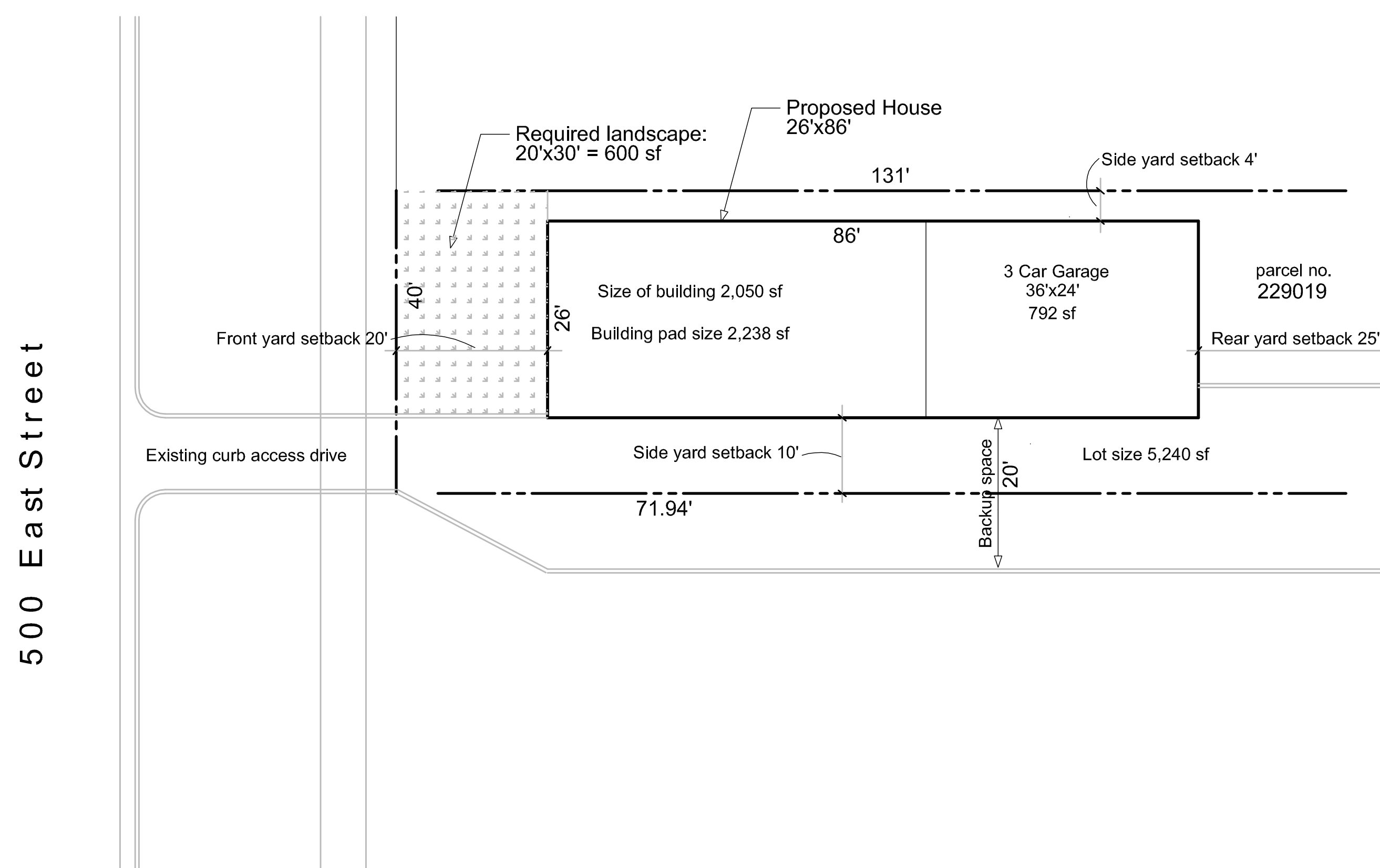
Project **SINGLE FAMILY RESIDENCE**

719 S 500 E  
SALT LAKE CITY, UT  
84102

Owner

**FIFTY FIFTY REAL ESTATE**

Contractor



**Zoning Requirements**  
(21.A24.120 RMF LOW DENSITY MULTI-FAMILY RESIDENTIAL DISTRICT)

| Land Use                         | Minimum Lot Area | Actual Lot Area | Minimum Lot Width | Actual Lot Width |
|----------------------------------|------------------|-----------------|-------------------|------------------|
| Single-family detached dwellings | 5,000 sf         | 5,240 sf        | 50 feet           | 40 feet          |

- Maximum building height: 30'
- Front Yard: 20'
- Interior Side Yard: 4' on one side and 10' on the other
- Rear Yard: 25% of lot depth but not less than 20'
- Landscape Required: Front yard shall be maintained as landscaped yards
- Max. Building Coverage: 45% of lot area = 5,110 sf
- Landscape Buffers: None required

Revision

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**SITE PLAN**

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Project number 1241.139.1  
Date 12 JULY 2016  
Drawn by Author  
Checked by Checker

**SD.1**

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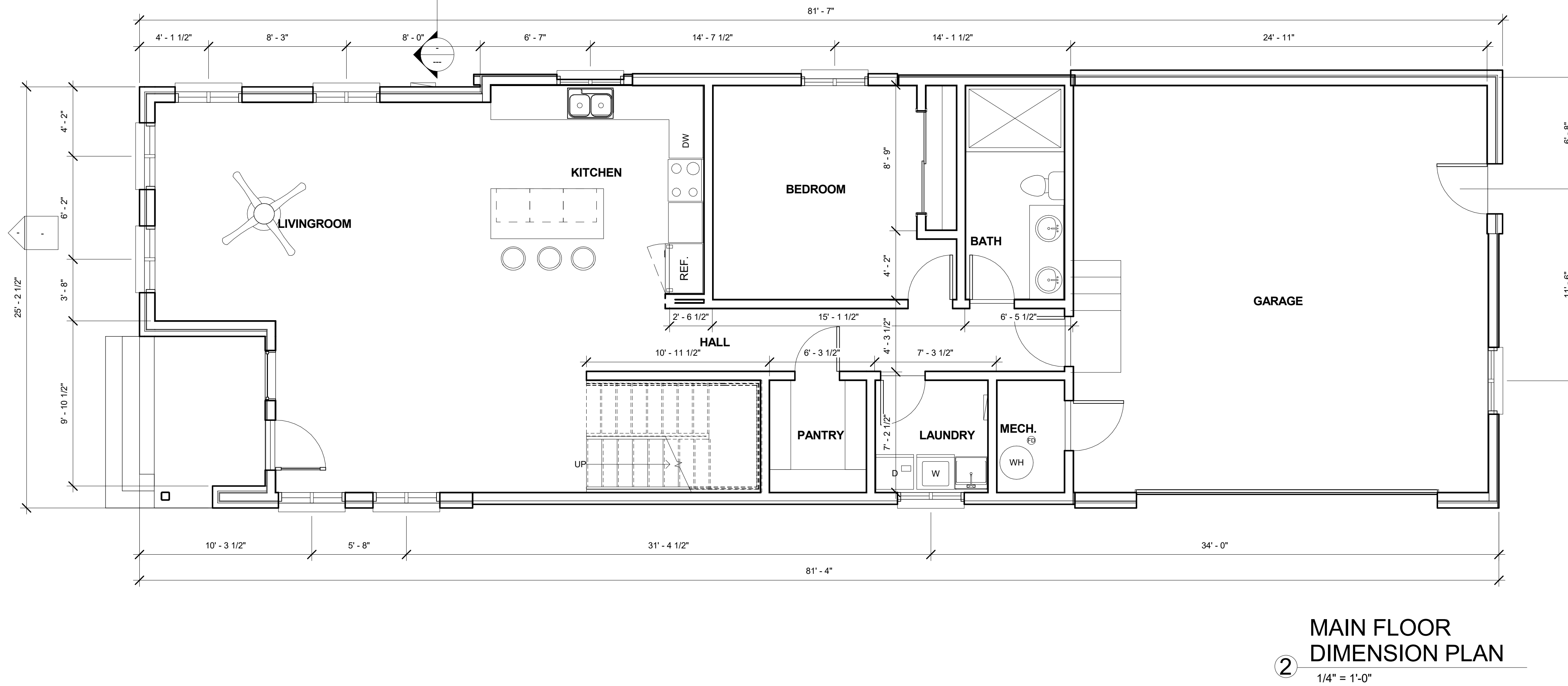
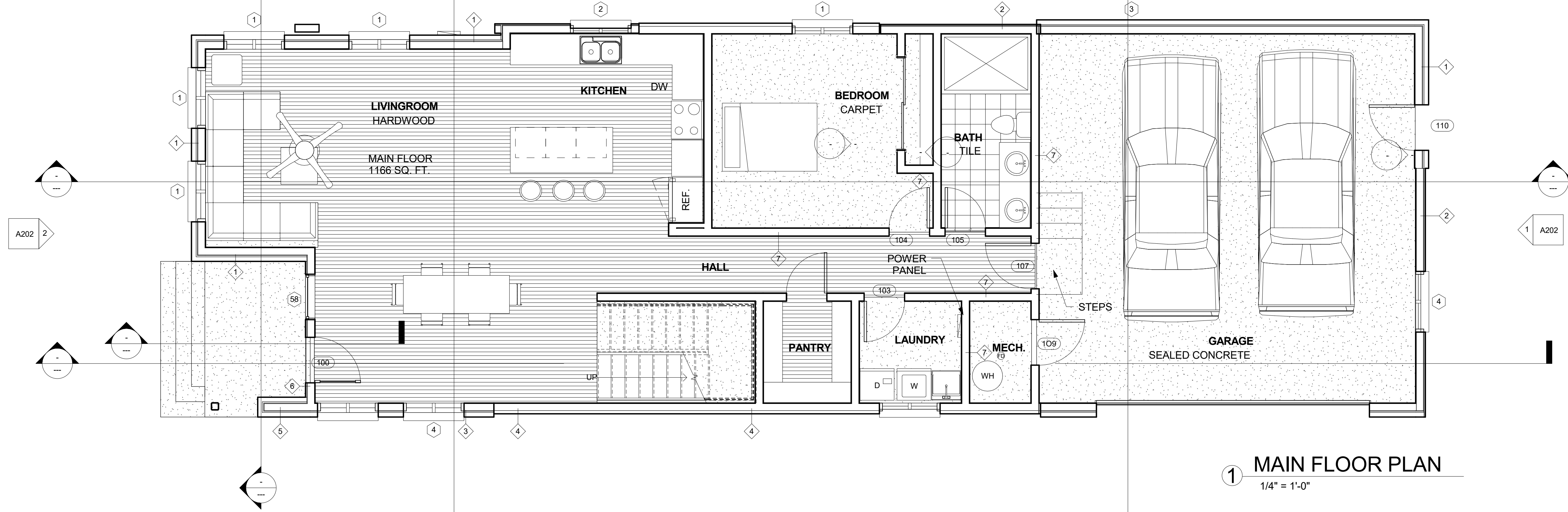
Project **SINGLE FAMILY RESIDENCE**

719 S 500 E  
 SALT LAKE CITY, UT  
 84102

Owner

**FIFTY FIFTY REAL ESTATE**

Contractor



Revision

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**MAIN FLOOR PLAN and DIMENSION PLAN**

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| Project number | 1241.139.1       |
| Date           | 27 DECEMBER 2016 |
| Drawn by       | Author           |
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**A101**

Scale 1/4" = 1'-0"



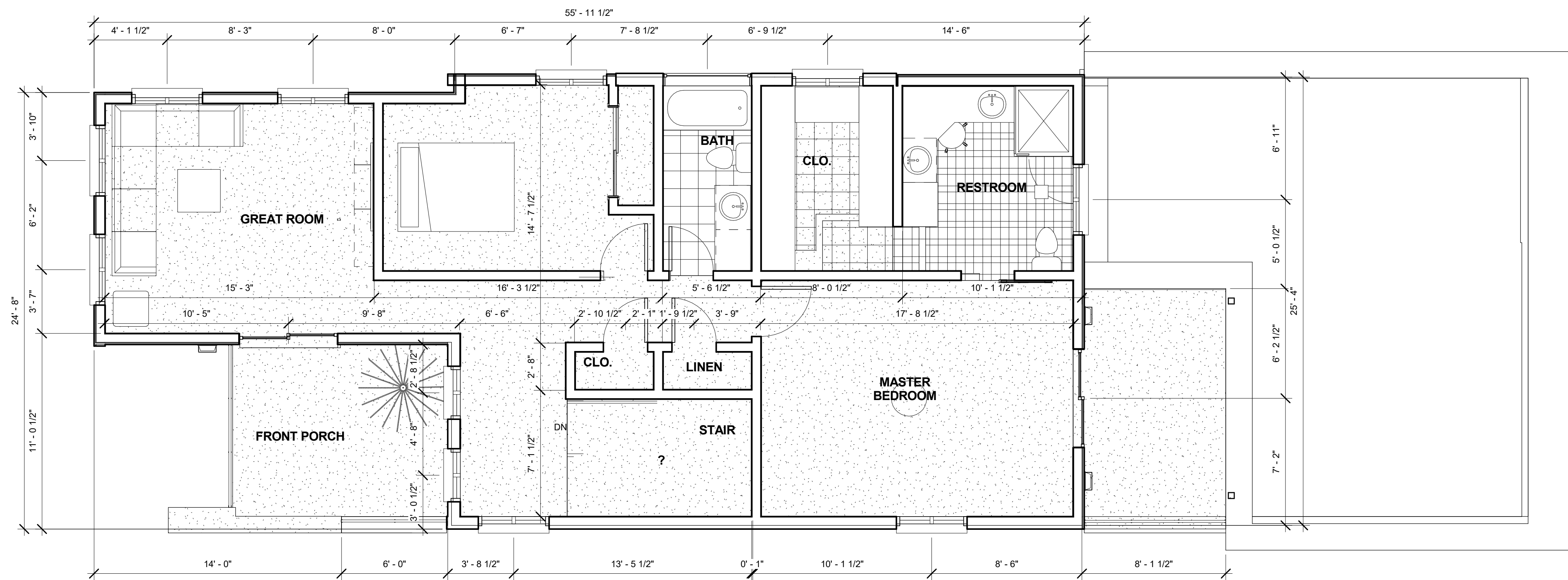
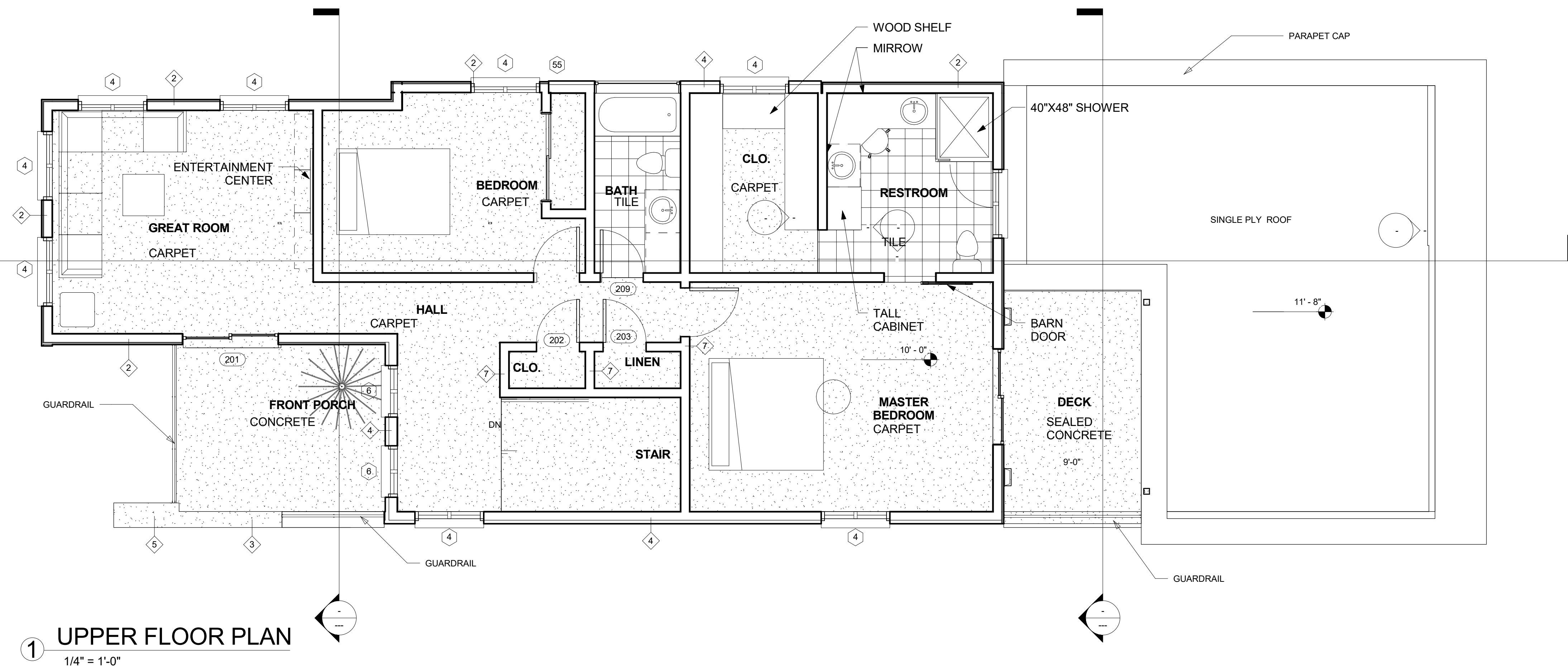
Project **SINGLE FAMILY RESIDENCE**

719 S 500 E  
 SALT LAKE CITY, UT  
 84102

Owner

**FIFTY FIFTY REAL ESTATE**

Contractor



Revision

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UPPER FLOOR PLAN & DIMENSION PLAN

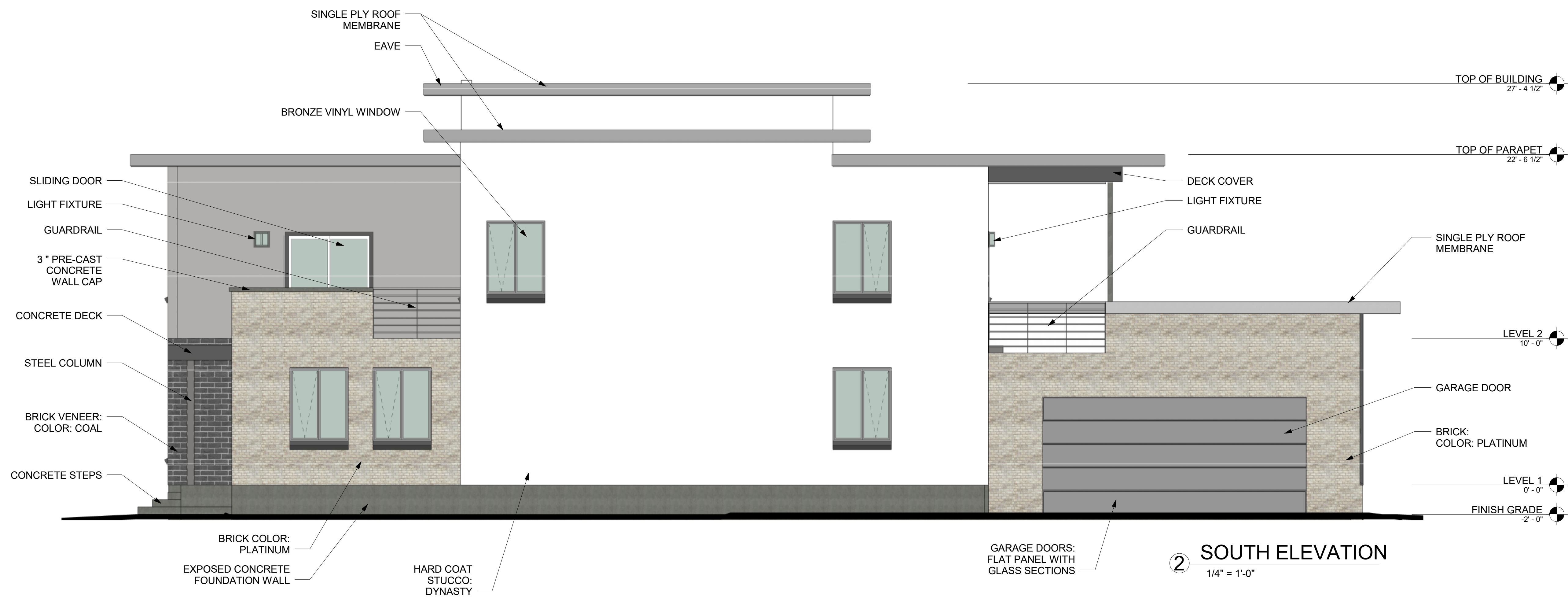
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| Project number | 1241.139.1       |
| Date           | 27 DECEMBER 2016 |
| Drawn by       | Author           |
| Checked by     | Checker          |

A102

Scale 1/4" = 1'-0"



**1 NORTH ELEVATION**  
 1/4" = 1'-0"



**2 SOUTH ELEVATION**  
 1/4" = 1'-0"

Revision

| No. | Description              | Date      |
|-----|--------------------------|-----------|
| 1   | REV 0 Planning Submittal | 10/4/2016 |
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**NORTH and SOUTH BUILDING ELEVATIONS**

Project number 1241.139.1

Date 27 DECEMBER 2016

Drawn by Author

Checked by Checker

**A201**

Scale 1/4" = 1'-0"



Revision

| No. | Description              | Date      |
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**EAST and WEST BUILDING ELEVATIONS**

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| Project number | 1241.139.1       |
| Date           | 27 DECEMBER 2016 |
| Drawn by       | Author           |
| Checked by     | Checker          |

**A202**

Scale 1/4" = 1'-0"



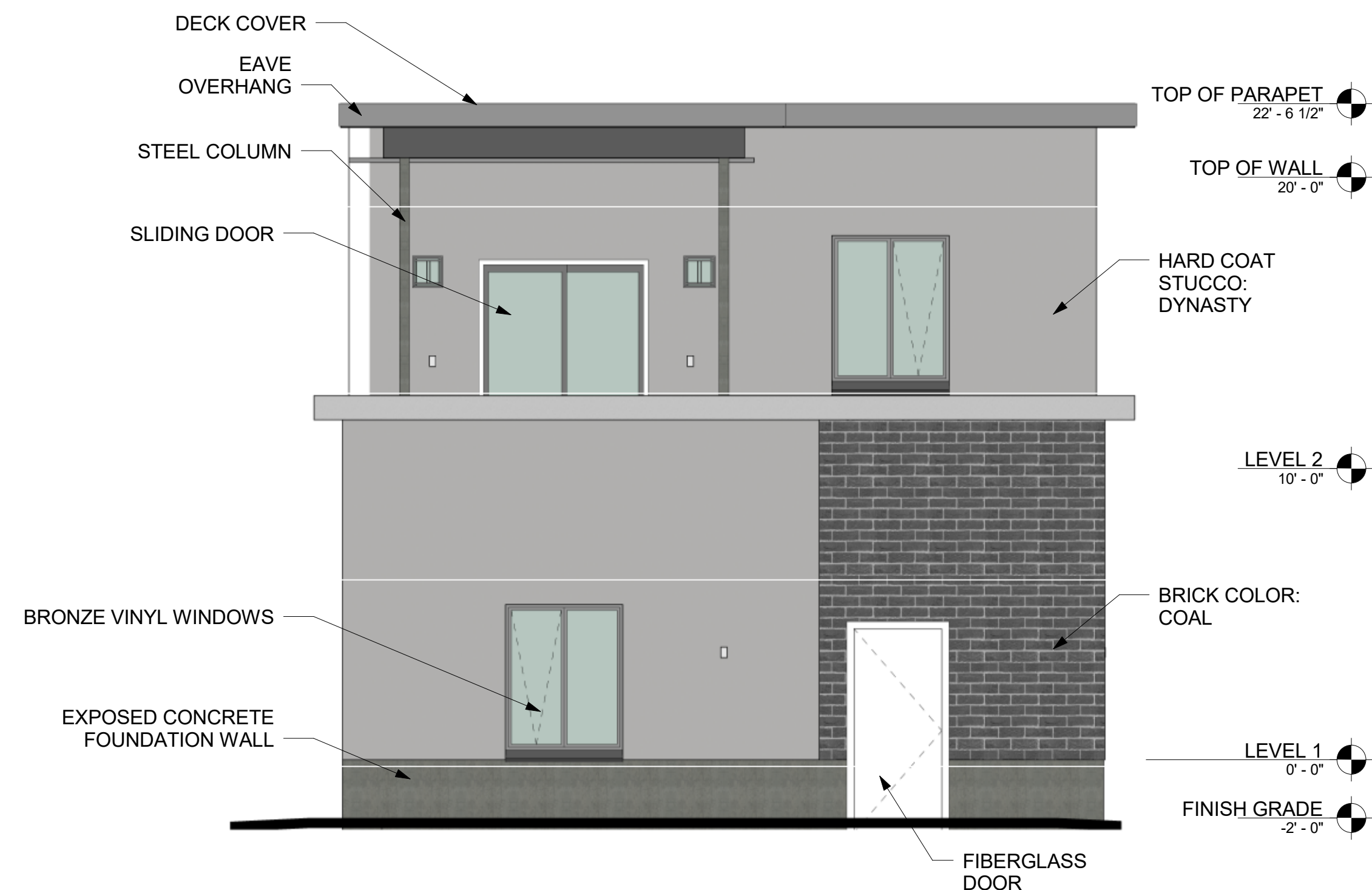
③ SOUTH WEST PERSPECTIVE



② WEST ELEVATION  
1/4" = 1'-0"



④ NORTH WEST PERSPECTIVE



① EAST ELEVATION  
1/4" = 1'-0"

# ATTACHMENT D: RMF-30 ZONING STANDARDS

## Existing Condition

The site is currently vacant.

## Zoning Ordinance Standards for RMF-30 (Low Density Multi-Family Residential District) (21A.24.120)

Purpose Statement: The purpose of the RMF-30 low density multi-family residential district is to provide an environment suitable for a variety of housing types of a low density nature, including single-family, two-family, and multi-family dwellings, with a maximum height of thirty feet (30'). This district is appropriate in areas where the applicable master plan policies recommend multi-family housing with a density of less than fifteen (15) dwelling units per acre. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

| Standard   | Proposed                        | Finding                          |
|--|---------------------------------|----------------------------------|
| Minimum Lot Area: 5000 SF  | 5240 SF                         | Complies                         |
| Minimum Lot Width: 50'   | 40.02 ft                        | Narrow - Legal Non-Conforming    |
| Setbacks:<br>Front Yard - 20 ft<br>Interior Side Yards - 4 ft one side 10 ft the other<br>Rear Yard - 25% of lot depth (need not exceed 30 ft) | 20 ft<br>4 ft & 10 ins<br>29 ft | Complies<br>Complies<br>Complies |
| Maximum Building Height: 30 ft   | 29 ft 4.5 ins                   | Complies                         |
| Landscaping – Front & Rear to be Maintained  | Confirmed                       | Complies                         |
| Maximum Building Coverage – 45 %   | 1996 SF / 38 %                  | Complies                         |
| Landscape Buffer - Non Required  | None                            | Complies                         |

# ATTACHMENT E: DESIGN STANDARDS & GUIDELINES FOR NEW CONSTRUCTION IN A HISTORIC DISTRICT

## **H Historic Preservation Overlay District – Standards for Certificate of Appropriateness for New Construction (21A.34.020.H)**

In considering an application for a Certificate of Appropriateness for new construction in a historic district, the Historic Landmark Commission shall find that the project substantially complies with all of the general standards that pertain to the application and that the decision is in the best interest of the City.

A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City, Chapter 12, New Construction, provides the relevant historic design guidelines for this design review. The Design Guidelines are identified here as they relate to the corresponding Historic Design Standards for New Construction (21A.34.020.H).

<http://www.slcgov.com/historic-preservation/historic-preservation-residential-design-guidelines>

<http://www.slcdocs.com/historicpreservation/GuideRes/Ch12.pdf>

| Standard & Guidelines   | Analysis  | Finding  |
|---|---|--|
| <p><b>1. SCALE &amp; FORM</b><br/> <b>1.a Height &amp; Width:</b> The proposed height and width shall be visually compatible with surrounding structures and streetscape;</p> <p><u>Residential Design Guidelines</u><br/> <i>12.6 A new building should appear similar in scale to the established scale of the current street block.</i><br/> <i>12.9 Building heights should appear similar to those found historically in the district.</i><br/> <i>12.11 A new building should appear similar in width to that established by nearby historic buildings.</i></p> | <p><u>Scale &amp; Form - Height</u><br/>                     The proposed house is approximately 29.5’ high, with the front section of it being perhaps 5’ lower, and then stepping down to a rear attached garage section. It is situated between a three story multifamily building and associated rear parking lot to the north, and a sequence of 1 and 1.5 story houses to the south. It would be higher than the houses to the south but would effectively mediate between the lower and the higher buildings in this setting. The proposed structure would fall within this range and could be considered compatible with the surrounding structures and the streetscape of this section of 500 East.</p> <p><u>Scale &amp; Form - Width</u><br/>                     The width of the proposed residence is similar to the characteristic building width in this context and could be considered visually compatible.</p> | <p><u>Height</u><br/>                     Staff would conclude that the proposals accord with the objectives of this design standard.<br/> <u>Complies.</u></p> <p><u>Width</u><br/>                     Staff would conclude that the proposals accord with the objectives of this design standard.<br/> <u>Complies.</u></p> |

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| <p><b>1. SCALE &amp; FORM</b><br/> <b>1.b Proportion of Principal Facades:</b> The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape;</p> <p><u>Residential Design Guidelines</u><br/> 12.6 A new building should appear similar in scale to the established scale of the current street block.<br/> 12.13 Building forms should be similar to those seen traditionally on the block.<br/> 12.15 Overall facade proportions should be designed to be similar to those of historic buildings in the neighborhood.</p> | <p><u>Scale &amp; Form - Façade Proportion</u><br/> The façade proportion proposed would be more vertical than its immediate neighbors to the south while at the same time equating with the proportion of the multifamily building to the north. The scale and form would fall within the range characteristic of this context in the historic district. It would maintain the generally consistent human scale of this street façade.</p>   | <p><u>Façade Proportion</u><br/> Staff would conclude that the proposals accord with the objectives of this design standard.<br/> <u>Complies.</u></p>    |
| <p><b>1. SCALE &amp; FORM</b><br/> <b>1.c Roof Shape:</b> The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape;</p> <p><u>Residential Design Guidelines</u><br/> 12.7 The roof form of a new building should be designed to respect the range of forms and massing found within the district.<br/> 12.14 Roof forms should be similar to those seen traditionally in the block and in the wider district.</p>  | <p><u>Scale &amp; Form - Roof Shape</u><br/> The proposed house is designed with a series of flat roofs. While this would contrast with the residences to the south, it would also reflect the flat roofed forms of the adjacent early triplex to the immediate south and in that context respect and be visually compatible with the surrounding structures and streetscape.</p>   | <p><u>Roof Shape</u><br/> Staff would conclude that the proposals accord with the objectives of this design standard.<br/> <u>Complies.</u></p>           |
| <p><b>1. SCALE &amp; FORM</b><br/> <b>1.d Scale of a Structure:</b> The size and mass of the structures shall be visually compatible with the size and mass of surrounding structures and streetscape.</p> <p><u>Residential Design Guidelines</u><br/> 12.6 A new building should appear similar in scale to the established scale of the current street block.</p>   | <p><u>Scale &amp; Form - Scale of a Structure</u><br/> The composition of the proposed front façade includes a prominent two story, two bay section which frames and encloses a recessed ground floor porch area and second floor open deck space above. The proposed structure has a deep plan, which includes the attached rear garage. The design approach includes a variation in massing with a slightly taller central range defined by a change in materials and color, as well as a change in wall plane on the north façade. The rear section of proposal is reduced in height for the two car garage.</p> <p>The design of both side facades employs a combination of height, articulation, change in fenestration, change in materials and also color to reduce the lateral scale of an otherwise deep plan form. Combined with a strong eaves lines, the design approach helps to maintain the sense of human scale associated with this context in the historic district. The design helps to enhance the compatibility of the proposed structure and to integrate it with this context.</p> | <p><u>Scale of a Structure</u><br/> Staff would conclude that the proposals accord with the objectives of this design standard.<br/> <u>Complies.</u></p> |

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| <p><b>2. COMPOSITION OF PRINCIPAL FACADES</b></p> <p><b>2.a Proportion of Openings:</b> The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;</p> <p><u>Residential Design Guidelines</u><br/> <i>12.16 The pattern and proportions of window and door openings should fall within the range associated with historic buildings in the Area.</i><br/> <i>12.20 Windows with vertical emphasis are encouraged.</i></p> <p><b>2.b Rhythm of Solids to Voids in Facades:</b> The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;</p> <p><u>Residential Design Guidelines</u><br/> <i>12.12 The ratio of wall-to-window (solid to void) should be similar to that found in historic structures in the district.</i></p> | <p><u>Façade Composition – Proportion of Openings</u><br/> The fenestration pattern uses a series of largely vertically proportioned window openings, contrasted towards the rear of the north façade with horizontal strip windows. Consideration of the design prior to and following formal application stage has also involved a variation in the relative window height, with taller windows now proposed for the first floor of the building. This effectively creates a more obvious vertical hierarchy of fenestration, with a greater emphasis on the stature of the ground level of the residence. In general the fenestration pattern and window proportion can be defined as visually compatible with this context.</p> <p><u>Façade Composition – Rhythm of Solids to Voids</u><br/> The relationship of solids to voids, both on front and side facades, is relatively balanced, with somewhat more solid to void proceeding towards the rear of the building. The ratio of solids to voids, as well as the fenestration pattern, are emphasized by defined window reveals and the consequent change in plane between wall and window. In general, the rhythm of solids to voids could be defined as visually compatible with this context.</p> | <p><u>Proportion of Openings</u><br/> Staff would conclude that the proposals accord with the objectives of this design standard.<br/> <u>Complies.</u></p> <p><u>Rhythm of Solids to Voids</u><br/> Staff would conclude that the proposals accord with the objectives of this design standard.<br/> <u>Complies.</u></p> |
| <p><b>2.c Rhythm of Entrance Porch and Other Projections:</b> The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape;</p> <p><u>Residential Design Guidelines</u><br/> <i>12.4 The front and the entrance of a primary structure should orient to the street.</i></p>   | <p><u>Façade Composition - Building Character &amp; Scale</u><br/> The primary entrance faces 500 East and is positioned opening onto a corner porch. Part of the porch is open and part enclosed by roof deck above and southern side wall. The section of the porch roof closest to the street projects beyond the deck area above, adding visual emphasis to the entrance. Primary projections elsewhere are in the form of a series of deep eaves on three levels, which help to cap sections of façade and emphasize the variation in massing. Entrance porch and eaves could be defined as visually compatible with this context.</p>   | <p><u>Rhythm of Porch &amp; Projections</u><br/> Staff would conclude that the proposals accord with the objectives of this design standard.<br/> <u>Complies.</u></p>   |

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| <p><b>2.d Relationship of Materials:</b> The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.</p> <p><u>Residential Design Guidelines</u><br/> 12.18 <i>Materials should have a proven durability for the regional climate and the situation and aspect of the building.</i><br/> 12.19 <i>New materials that are similar in character to traditional materials may be acceptable with appropriate detailing.</i><br/> 12.24 <i>Where they are to be used, ornamental elements, ranging from brackets to porches, should be in scale with similar historic features.</i></p> | <p><u>Façade Composition - Building Materials, Windows, Elements &amp; Detailing</u><br/> The proposal is designed using two primary materials, with two colors of gray brick, and two colors of hard coat stucco. The building rises from a unifying concrete basement plinth. The changes in material and color are effectively used to create visual variation on all facades. The one question posed might relate to the durability of bronze colored vinyl window framing proposed for the west façade. In general, though, color and texture and variation of materials could be described as visually compatible with the materials defining this context.</p> | <p><u>Relationship of Materials</u><br/> Staff would conclude that the proposals generally accord with the objectives of this design standard.<br/> <u>Complies.</u></p>              |
| <p><b>3. RELATIONSHIP TO THE STREET</b><br/> <b>3.a Walls of Continuity:</b> Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;</p> <p><u>Residential Design Guidelines</u><br/> 12.3 <i>When designing a new building, the historic settlement patterns of the district and context should be respected.</i></p>  | <p><u>Relationship to the Street - Walls of Continuity</u><br/> The proposed building is oriented to the street and is positioned on this vacant site to complete and reinforce the continuity of the street façade. Proposals are not out of context with this setting and the rhythm of building frontage would be enhanced. Space is maintained between the proposal and the adjacent buildings to the south. Visual compatibility would be enhanced with a development on this site.</p>  | <p><u>Relationship to the Street – Walls of Continuity</u><br/> Staff would conclude that the proposals accord with the objectives of this design standard.<br/> <u>Complies.</u></p> |



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| <p><b>3.b Rhythm of Spacing and Structures on Streets:</b> The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;</p> <p><u>Residential Design Guidelines</u><br/>12.3 <i>When designing a new building, the historic settlement patterns of the district and context should be respected.</i></p> | <p><u>Relationship to the Street - Rhythm of Spacing &amp; Structures on Streets</u><br/>The historic settlement pattern in this setting is relatively cohesive to the south of this site. The scale of the multifamily building to the north with its rear parking lot combines with this vacant lot to disrupt this rhythm. The proposed development will help to re-establish this pattern approaching 700 South. The position and the orientation of the house reflects the established historical pattern and should be visually compatible with the pattern of structures and their sequence of open spaces.</p> | <p><u>Rhythm of Spacing &amp; Structures on Streets</u><br/>Staff would conclude that the proposals accord with the objectives of this design standard.<br/><u>Complies.</u></p> |
| <p><b>3.c Directional Expression of Principal Elevation:</b> A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street;</p> <p><u>Residential Design Guidelines</u><br/>12.4 <i>The front and the entrance of a primary structure should orient to the street.</i></p>  | <p><u>Relationship to the Street - Directional Expression</u><br/>The proposed building is oriented to the street, with street facing entrance and front porch. The building would be aligned parallel to the orientation of the lot, and as such follows the established development sequence and pattern in this context.</p>  | <p><u>Directional Expression</u><br/>Staff would conclude that the proposals accord with the objectives of this design standard.<br/><u>Complies.</u></p>                        |
| <p><b>3.d Streetscape; Pedestrian Improvements:</b> Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.</p> <p><u>Residential Design Guidelines</u><br/>12.4 <i>The front and the entrance of a primary structure should orient to the street.</i></p>   | <p><u>Relationship to the Street - Streetscape &amp; Pedestrian Improvement</u><br/>The development will re-utilize this vacant lot and in doing so should enhance the public experience of the character of this context. The historic character here has been disrupted by the vacant space on this lot and also by the scale of the multifamily development and its associated parking to the immediate north. The proposals are both compatible and complementary.</p>   | <p><u>Streetscape &amp; Pedestrian Improvements</u><br/>Staff would conclude that the proposals accord with the objectives of this design standard.<br/><u>Complies.</u></p>     |

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|--|--|---|
| <p><b>4. Subdivision Of Lots:</b><br/> The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).</p> | <p><u>Subdivision of Lots</u><br/> This lot is in the same ownership as the adjacent two lots to the south, and is an existing narrow legal non-conforming lot in the Central City Historic District. No change is proposed.</p> | <p><u>Subdivision of Lots</u><br/> No change is proposed.</p> |
|--|--|---|

## **ATTACHMENT F: PUBLIC PROCESS AND COMMENTS**

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### **Notice of the public hearing for the proposal include:**

- Notice mailed on December 22, 2016.
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on December 22, 2016
- Site notice posted on December 23, 2016

### **Public Commentary**

At the time of completion of this report no public commentary has been received. Any comments received after that date will be forwarded to the Commission for their consideration.

## **ATTACHMENT G: MOTIONS**

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**Consistent with Staff Recommendation (Approval with condition):** Based on the analysis and findings listed in the staff report, testimony and the proposal presented, I move that the Commission approve this application for a Certificate of Appropriateness for New Construction, subject to the condition that:

2. The detailed design approval is delegated to Staff.

**Not Consistent with Staff Recommendation (Denial):** Based on the analysis and findings listed in the staff report, testimony and the proposal presented, I move that the Commission deny this application for a Certificate of Appropriateness for New Construction, based on the following standards:

Specifically, the Commission finds that the proposed project does not comply with the review standards based on the following findings (Commissioner then states findings based on the following Standards to support the motion):

1. Standard 1: Scale and Form:

- a) Height and Width: The proposed height and width shall be visually compatible with surrounding structures and streetscape;
- b) Proportion of Principal Facades: The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape; and,
- c) Roof Shape: The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and
- d) Scale of a Structure: The size and mass of the structure shall be visually compatible with the size and mass of surrounding structures and streetscape.

2. Standard 2: Composition of Principal Facades:

- a) Proportion of Openings: The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;
- b) Rhythm of Solids To Voids In Facades: The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;
- c) Rhythm of Entrance Porch And Other Projections: The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and
- d) Relationship of Materials: The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

3. Standard 3: Relationship to Street:

- a) Walls of Continuity: Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;
- b) Rhythm of Spacing And Structures On Streets: The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;
- c) Directional Expression of Principal Elevation: A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and
- d) Streetscape; Pedestrian Improvements: Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.

4. Standard 4: Subdivision of Lots:

The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).