

**HISTORIC LANDMARK COMMISSION  
STAFF REPORT**

**279 North J Street  
New Construction-Single Family Dwelling  
New Construction- PLNHLC2015-00845  
Meeting Date: January 7, 2015**



Planning and Zoning Division  
Department of Community and  
Economic Development

**Applicant:** Jeseca Cleary and  
Campbell Dosch,  
Owner/Developers

**Staff:** Anthony Riederer  
[anthony.riederer@slcgov.com](mailto:anthony.riederer@slcgov.com)  
(801)535-7625

**Tax ID:** 09-32-306-015

**Current Zone:** SR-1A

**Master Plan Designation:**  
Low Density Residential

**Council District:**  
District 3– Stan Penfold

**Lot Size:**  
5,445 square feet

**Current Use:**  
Vacant Lot

**Applicable Land Use  
Regulations:**

- 21A.34.020 - H Historic Preservation Overlay
- 21A.24.080 - SR-1A Special Development Pattern Residential District

**Notification:**

- Notice mailed 12/23/2015
- Sign posted 12/28/2015
- Posted to the Planning Division & Utah Public Meeting Notice websites 12/23/2015

**Attachments:**

- A. Application Materials
- B. Design Drawings
- C. Site Photographs
- D. Example Materials

***Request***

Jeseca Cleary and Campbell Dosch, the owners and intended developers of the property, are requesting approval for New Construction of a single-family residence at approximately 279 North J Street. The subject property is located within the Avenues Historic District and the SR-1A (Special Development Pattern Residential) Zoning District.

***Staff Recommendation***

Based on the analysis and findings of the staff report, it is the Planning Staff's opinion that overall the project generally meets the applicable standards and therefore, recommends the Historic Landmark Commission approve the request with conditions as noted below.

***Potential Motions***

**Consistent with Staff Recommendation:** Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Commission approve the request for new construction located at approximately 279 North J Street subject to the following condition:

1. Approval of final design details, consistent with the proposed development as approved by the Historic Landmark Commission is delegated to Planning staff.

**Not Consistent with Staff Recommendation:** Based on the information in the staff report, testimony and the plans presented, I move that the Commission deny the request for new construction at approximately 279 North J Street. Specifically, the Commission finds that the proposed project does not substantially comply with Standards (Commissioner then states findings based on the Standards to support the motion):

**21A.34.020.H Standards for New Construction**

**1. Scale and Form:**

- a. Height and Width
- b. Proportion of Principal Facades
- c. Roof Shape
- d. Scale of a Structure

**2. Composition of Principal Facades**

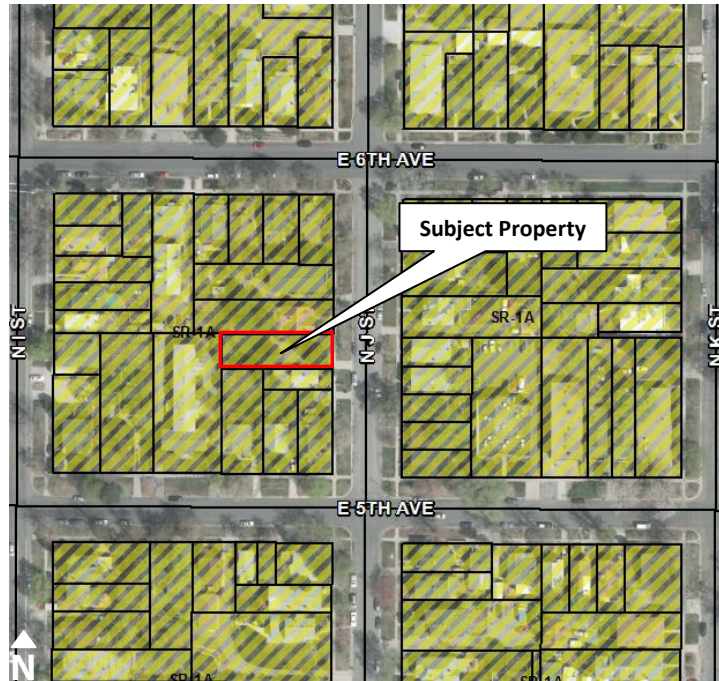
- a. Proportion of Openings
- b. Rhythm of Solids to Voids in Facades
- c. Rhythm of Entrance Porch and Other Projections
- d. Relationship of Materials

**3. Relationship to Street**

- a. Walls of Continuity
- b. Rhythm of Spacing and Structures on Streets
- c. Directional Expression of Principal Elevation
- d. Streetscape and Pedestrian Improvements

**4. Subdivision of Lots**

## VICINITY MAP



## BACKGROUND

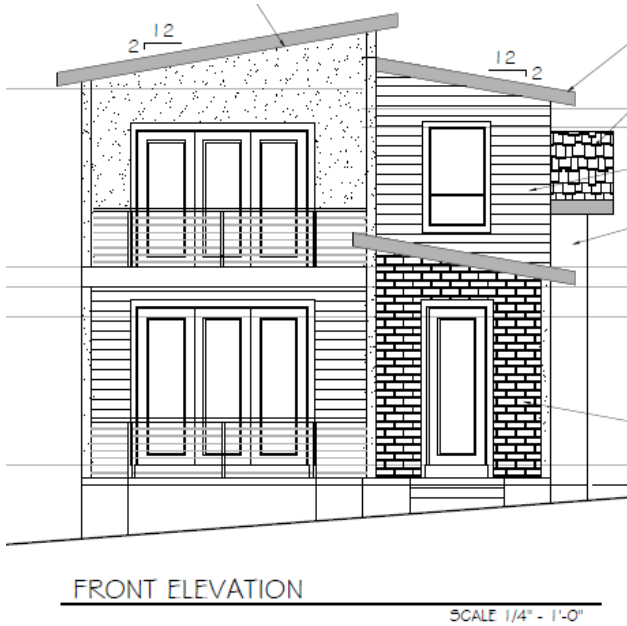
### Context

The proposal is for a single-family detached residence, situated at approximately 279 North J Street. The subject property is located in the north-central area of the district and is currently vacant. It has, in recent times, served as a subject parcel to the property immediately to the north. The elevation of the site is fairly flat, although the ground does rise to the north. This area of the Avenues was settled on a grid pattern similar to that of the Capitol Hill district, with more uniform setbacks and lot patterns. The property is located within the Avenues Historic District, SR-1A (Special Development Pattern Residential) zoning district.

The lot measures approximately 41.25' x 132' and has an area of 5,445 square feet. Although this meets the size requirement the lot is considered a non-complying lot as its width is less than the minimum for single-family development in the SR-1A district. It should be noted that a non-complying lot as to lot area or lot frontage that was in legal existence prior to April 12, 1995, shall be considered a legal complying lot. Legal complying lots in residential districts shall be approved for development of a single-family dwelling regardless of the size of the lot, subject to complying with all yard area requirements of the SR-1A zoning district.

### Proposed Development

The proposed new single family residence is a modern/contemporary structure comprised of three levels: subterranean basement, main level, and upper level. The proposed building is rectangular in form with predominantly sloped roof planes. The proposed front yard setback of 20 feet is consistent with the block average along the street frontage. The subject property is located within the SR-1A district, and though the height exceeds the maximum numeric value of height allowed, it falls within the range of permitted height when using block-face averaging, which is a permitted alternative to maximum roof height in the district.



The proposal’s design and materials create a contemporary architectural appearance of generally vertical form, counter-balanced by diagonal roof elements, articulated and detailed in different materials and finishes and openings. The primary palette of external materials includes: red brick, hard coat stucco with a smooth finish, cedar siding, clad steel columns, and wood-framed glazing, wrapped in dark-toned metal.

The front-facing façade is broken up into modules, using surface materials to differentiate spaces within the house itself. Horizontal application of cedar wood siding and horizontal deck lines help break up the massing of the structure and provide visual balance. The proposed detached single-car garage will likely be visible from J Street, down the driveway. The proposed garage is designed in a simplified contemporary style with a palette of materials and lines that are complimentary to the primary structure.

Proposed landscaping plan proposes retention of an existing and mature tree within the park strip. Additionally, the design includes low-level plantings and drought-resistant plantings in the front yard area, as well as in the park strip adjacent to J Street. (See Attachment B, “Design Drawings”)

## Zoning Ordinance

### 21A.024.080 SR-1A Single and Two-Family Residential Zoning District

The relationship of the proposed development to the SR-1A (Special Development Pattern Residential) zoning district as well as general provisions related to lot and bulk control is summarized below.

SR-1A Zoning Standards	Proposed	Compliance
<b>Minimum Lot Area And Lot Width:</b> 5,000 square feet and 50 feet for SFR	Lot size of approximately 5,461 sq feet ft with a width of approximately 41.37 feet	<b>Complies</b> (Legal Non-Complying Lot)
<b>Maximum Building Coverage:</b> 40%	40% of the lot coverage=2,184 sq ft Proposed lot coverage=2,183 sq ft	<b>Complies, based on submitted lot coverage calculations</b>
<b>Interior Side Yard Setback (north)</b> -4 ft.	4 ft.	<b>Complies</b>
<b>Interior Side Yard Setback (south)</b> -10 ft.	10 ft.	<b>Complies</b>
<b>Building Height:</b> Flat Roof: 16 ft. Pitched Roof: 23 ft., or the average height of other principal buildings on the block face.	Maximum height of pitched roof is 27 feet.	<b>Complies, based on submitted block face averaging</b>
<b>Front Yard Setback:</b> 20 feet or average of the block face	20 ft	<b>Complies</b>
<b>Rear Yard Setback:</b> Twenty five percent (25%) of the lot depth, but not less than fifteen feet (15') and need not exceed thirty feet (30').	30 ft	<b>Complies</b>



## **COMMENTS**

### **Public Comment**

No public comment regarding the application has been received as of the date of the preparation and distribution of this staff report.

### **Department Review Comments**

No departmental comments were received.

## **ANALYSIS AND FINDINGS**

### **Zoning Ordinance and Design Guidelines**

#### **21A.34.020 H Historic Preservation Overlay District**

**Standards For Certificate Of Appropriateness Involving New Construction Or Alteration Of A Noncontributing Structure:** In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the historic landmark commission, or planning director, when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually compatible with surrounding structures and streetscape and is in the best interest of the city:

#### **Standard 1: Scale and Form:**

- a. Height And Width: The proposed height and width shall be visually compatible with surrounding structures and streetscape;
- b. Proportion of Principal Facades: The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape; and,
- c. Roof Shape: The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and
- d. Scale of a Structure: The size and mass of the structure shall be visually compatible with the size and mass of surrounding structures and streetscape.

#### ***A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City***

##### ***Building Scale Guidelines***

**12.5** A new building should be designed to reinforce a sense of human scale.

**12.6** A new building should appear similar in scale to the established scale of the current street block.

**12.7** The roof form of a new building should be designed to respect the range of forms and massing found within the district.

**12.8** A front facade should be similar in scale to those seen traditionally in the block.

##### ***Height***

**12.9** Building heights should appear similar to those found historically in the district.

**12.10** The back side of a building may be taller than the established norm if the change in scale would not be perceived from the public way.

##### ***Width***

**12.11** A new building should appear similar in width to that established by nearby historic buildings.

##### ***Building Form Guidelines***

**12.13** Building forms should be similar to those seen traditionally on the block.

**12.14** Roof forms should be similar to those seen traditionally in the block and in the wider district.

**Analysis:** The block face of the subject property is characterized by a varied range of house types and scales. Heights and widths of surrounding structures vary, and the proposed development equates relatively well with this range of forms and this rhythm.

The proposal maintains rough compatibility with the established scale of the context in terms of form, facade massing, and composition through its distinctly designed facade sections and elements which help to establish a sequence of component parts at an identifiably human scale. The proposed building is designed so that the massing and the scale are effectively integrated with the topography of the lot and heights of adjacent buildings.

Surrounding buildings are generally one to three stories as they appear from the street. The proposed single family dwelling is two stories as seen from J Street. The lot falls away to the south and west, creating the impression of additional height from the rear. In this context, the design contributes effectively to the current eclectic range of architectural forms along this street block, and the historical development sequence in this section of the historic district.

The primary form for the house is a rectangular volume with the mass broken down by form and material. Buildings that surround the subject property have gabled, hipped and flat roofs. The proposed roof is an assembly of sloped planes and is visually compatible with the varied roof shapes of surrounding structures and streetscape.

The building form has a strong vertical primary proportion, counter-balanced by the horizontal emphasis introduced by balcony balustrades, horizontal cedar siding, and sloped roof planes. The solid to void ratio, although scaled and proportioned differently than more traditional buildings in this context, creates a vertical emphasis and an effective balance along the facade.

**Finding:** In the eclectic nature of this context, Staff would conclude that the proposed structure is generally compatible in terms mass, scale, height, width and form with the range of other buildings on this street frontage. This standard is met.

## **Standard 2: Composition of Principal Facades:**

- a. Proportion of Openings: The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;
- b. Rhythm of Solids To Voids In Facades: The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;
- c. Rhythm of Entrance Porch And Other Projections: The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and
- d. Relationship of Materials: The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

### ***A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City*** ***Solid-to-Void Ratio***

**12.12** The ratio of wall-to-window (solid to void) should be similar to that found in historic structures in the district.

### ***Proportion and Emphasis of Building Facade Elements***

**12.15** Overall facade proportions should be designed to be similar to those of historic buildings in the neighborhood.

***Rhythm & Spacing of Windows & Doors***

**12.16** The pattern and proportions of window and door openings should fall within the range associated with historic buildings in the area.

***Building Material and Detail***

**12.17** Use building materials Overall facade proportions should be designed to be similar to those of historic buildings in the neighborhood.

***Windows***

**12.20** Windows with vertical emphasis are encouraged.

**12.21** Window reveals should be characteristic of most masonry facades.

**Analysis:** While the proposed development features window dimensions and proportions that differ from more traditional design of the surrounding buildings, the subdivision created by glazing frames, and the variation in surface materials and finishes helps to integrate the design with this relatively varied context. The proposed detached garage will be visible down the driveway from J Street, and its design is a compatible simplified take on that of the primary structure.

The front facade is designed with an entry porch which is covered by roofline which echoes the roofline of the house itself. This helps break up the facade into distinct elements, consistent with other homes in the area. The streetscape is sufficiently varied in architectural terms that there is no identifiable pattern along this street frontage. Equally, there is no identifiable rhythm of recurring porches or distinct building pattern characteristic of this block face.

The proposed exterior building materials are visually compatible with the materials used in surrounding structures and are typically observed in the Avenues Historic District.

**Finding:** Facade composition is consistent and compatible with other structures on the block face and in the immediate vicinity in terms of the proposed proportion of openings, solid to void ratio, rhythm of the entrance porch and other projections and materials. This standard is met.

**Standard 3: Relationship to Street:**

- a. Walls of Continuity: Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;
- b. Rhythm of Spacing And Structures On Streets: The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;
- c. Directional Expression of Principal Elevation: A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and
- d. Streetscape; Pedestrian Improvements: Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.

***A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City  
Street and Block Pattern***

**12.2** The role of the street pattern, including the layout of the individual block, as a unifying framework and setting for a variety of lot sizes and architecture, should be retained.

***Building Placement & Orientation***

**12.3** When designing a new building, the historic settlement patterns of the district and context should be respected.

**12.4** The front and the entrance of a primary structure should orient to the street.

***Applicable Design Guidelines for the Avenues Historic District***

**13.2** A walk to the primary building entry from the public sidewalk should be provided.

**13.3** The use of curb cuts in the Avenues District should be minimized.

**13.4** The front setback of a new structure should be kept in line with the range of setbacks seen historically on the block.

**Analysis:** The small blocks and narrow, steep street pattern in this area provide the district with a high degree of visual diversity. The fact that this lot is currently undeveloped reduces the continuity and cohesiveness of the street and the proposed building would establish a missing element in this street frontage, supporting the historical development pattern of the area. The proposed building is sited on the lot in a similar fashion as other homes in the vicinity, aligned with the orientation of its lot. The proposed open space in the side and front yards of house reflects the range of the current sequence of buildings.

The primary entrance is oriented towards J Street. This entrance emphasized by a contemporary expression of a covered porch created by a projecting deck to the left of the entrance.

The proposed landscaping at the first floor level works to soften the interface between structure and landscape and integrate the facade within the larger neighborhood context. The proposed detached garage will be accessed from J Street, using currently existing curb cuts on the site. Broadly speaking, the proposal is compatible with the pattern of the historic character of the district.

**Finding:** Staff concludes that the proposed development meets this standard. The established wall of continuity and orientation of building will be consistent with the block face. This standard is met.

**Standard 4: Subdivision of Lots:** The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

**Analysis:** This standard is not applicable since no subdivision amendments are currently proposed. This is an existing legal non-complying lot.

**Finding:** This standard is not applicable.





# HP: Major Alteration & New Construction

SALT LAKE CITY PLANNING

### OFFICE USE ONLY

Project #: PLNHLC2015-00945	Received By: K. Lindquist	Date Received: 10-15-15	Zoning: SR-1A
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Project Name: Redhouse Development

### PLEASE PROVIDE THE FOLLOWING INFORMATION

Request: Jeseca clary New construction

Address of Subject Property: 279 N. J. Street

Name of Applicant: Jeseca clary Phone:

Address of Applicant: 11762 S. Copper Rose way South Jordan

E-mail of Applicant: Jeseca clary@hotmail.com Cell/Fax: 801 637 7623

Applicant's Interest in Subject Property:  
 Owner     Contractor     Architect     Other:

Name of Property Owner (if different from applicant): Jeseca clary, Campbell Dosch

E-mail of Property Owner: Jeseca clary@hotmail.com Phone: 801 637 7623

➔ Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

### AVAILABLE CONSULTATION

➔ Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

### WHERE TO FILE THE COMPLETE APPLICATION

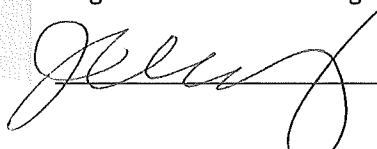
Mailing Address: Planning Counter PO Box 145471 Salt Lake City, UT 84114	In Person: Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
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### REQUIRED FEE

- ➔ Major Alteration: Filing fee of \$30, plus additional cost of postage for mailing notice.
- ➔ New Construction: Filing fee of \$243, plus additional cost of postage for mailing notice.

### SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:  Date: 10/15/15



279 North "J" Street is coming back after almost 40 years.

The contemporary style home has been designed to fit on this narrow building lot which is 41.3' wide, 132' deep.

The Home is a two story with 3078 square feet above grade and 1711 square feet in the basement, which includes cold storage. The total square footage is 4,789 square feet. When finished, the home will have 6 bedrooms, 4 full baths, an office, 2 kitchens and 3 spacious living areas. An open Great Room with a stunning fireplace will greet those who enter the home. The main floor dining and kitchen areas blend together, with 9' ceilings to give an open, yet defined feel. A beautifully crafted fireplace will be a focal point of the space. A large bedroom occupies the back of the home, with a partially covered deck that adds liveable living space to the main floor. A spiral staircase that twirls to the deck above is definitely an eye catcher that adds function to the exterior space.

On the upper floor, the flow of the home continues with 8 foot ceilings. The master bedroom, with a large master closet, has an elegant finish that includes the master bath. It opens up with a walk out deck that looks to the East only adding additional liveable space that adds to the home's living experience. 2 additional large bedrooms with a full bath and laundry take up the rest of the liveable area...but it finishes off in the rear with a nice sized family room with another back deck to enjoy a barbeque or a really good book.

The basement level with its large cold storage, adds another level of space used to its maximum potential. With two additional bedrooms, office, full bath, and laundry all are additions to the roomy rec room and 2<sup>nd</sup> kitchen.

The exterior of the home is timeless using materials that will only add to the home and the neighborhood. Cedar siding, deep red brick, with touches of Stucco will bring the home alive, only adding to the architecture of this Historic area.

A 1 car garage, 14' wide by 22' deep will be an added amenity to the property and will be located in the back south corner of the lot.

The home is designed to use natural light and will have 2 energy efficient furnaces and cooling systems.

When neighbors have seen the plans of the home, one asked if his family could come and just sit on the front covered porch to relax....This home has something for everyone!

# Sandra Secrest Hatch Architect

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1141 Michigan Ave.  
Salt Lake City, Utah 84105  
801-560-7587  
[sandrasarch@hotmail.com](mailto:sandrasarch@hotmail.com)

November 17, 2015

Project Description-Response to Design Guidelines  
Chapter 12 New Construction in Historic Districts Block Face Analysis

Site Design

## 12.1 Alleys and Streets

The proposed new residence at 279 N. "J" St. is located midway between 5<sup>th</sup> and 6<sup>th</sup> Ave. on the west side of the street. "J" St. is a wide street and slopes north to south. There are no alley access from "J" St. to the interior block. The proposed new residence faces east to "J" St. and does not interrupt any secondary alley access. See photograph, streetscape photograph, and 1950 Sanborn map.

## 12.2 Street Pattern

There are presently five houses on the west side of "J" St. There was a sixth house at the location of the proposed new house. This house seen on the 1950 Sanborn map has since burned down. The new house will complete the original street pattern.

The front facades of the houses at the 5<sup>th</sup> Ave. (633 E. 5<sup>th</sup> Ave.) and 6<sup>th</sup> Ave. (638 E. 6<sup>th</sup> Ave.) face their Avenues streets. The long, side elevations face "J" St. These anchor houses have shed additions, garages and 6'-0" fences. They disproportionately occupy the "J" St. streetscape.

The remaining three structures all face east toward “J” St. The building at 285 N. “J” St. is an apartment building. It has a wide, blocky, multistoried façade. The apartment building is red brick with a stepped parapet and a green awning at the entry level. The windows are white. The front door is covered with a dark, security door.

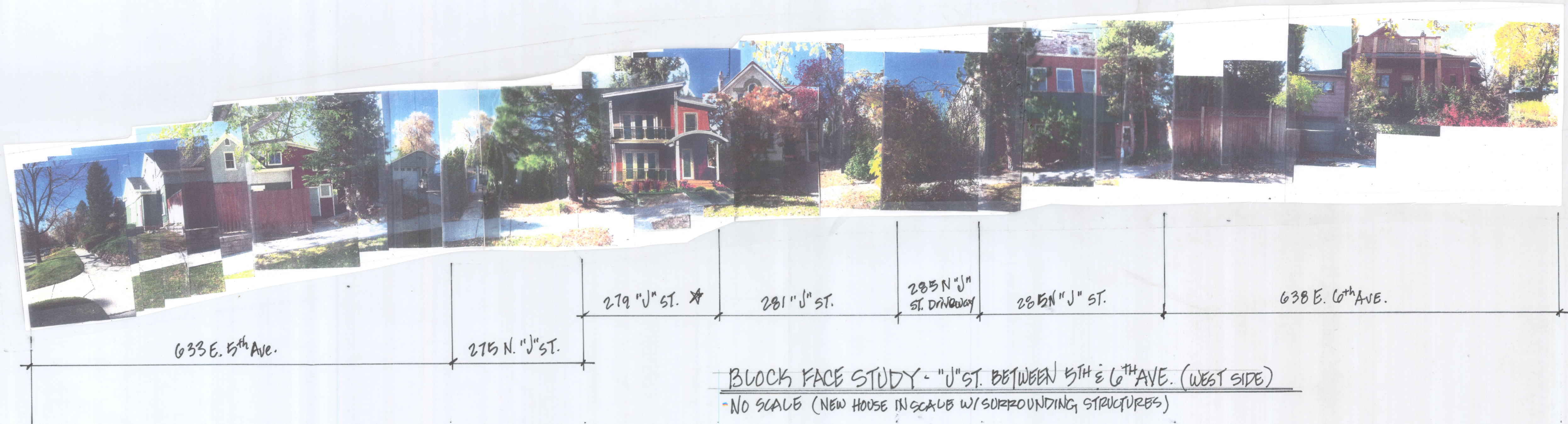
There is a driveway between 285 N. “J” St. and the next house south at 281 N. “J” St. This house is a strong, historic turn of the century home. There is a two story gable structure on the south side of the property and a columned, one story porch extending from this gable end to the north side of the property. The proposed new house is south of this house. Discussion of the new house will continue at the end of the block description.

There is a driveway between 279 N. “J” St. and 275 N. “J” St. The house at 275 N. “J” St. is small and can barely be seen from the street. The landscaping is so overgrown that the only visible element is the front, on grade entry door. The door is wood, ½ divided lite. In its present overgrown state this house really doesn’t contribute a lot to the streetscape.

The overall impression of the existing block face is one of odd variety. The anchor houses on 5<sup>th</sup> and 6<sup>th</sup> Ave. dominate the streetscape. The apartment building is unique to the street as well as the immediate area. It’s blocky proportions and location on the site close to the sidewalk create its unique character. Without the absent middle house the two historic homes are isolated. The 1950 Sanborn map shows the close relationship of the three middle houses. These three homes created a rhythm relating to “J” St.

A new house located between the two historic homes could reclaim the significance of these homes to the “J” St. streetscape. Across the wide expanse of “J” St. on the east side there is a strong block face. The new house will help regain the rhythm on the west side. Giving that, a new house must express its own time and place. Compatible elements will relate that building to the existing. A strong front porch entry, brick on the primary façade, two porches facing the street and compatible massing help this new house take its place on “J” St. The two storied porches will bring its residence to congregate and engage the street. There are examples of the two storied porch close to the proposed new house. The new house at 279 “J” St. is compatible yet contemporary.





"J" ST. NORTH TO SOUTH



HOUSES ACROSS STREET FROM PROJECT



HOUSES ON EAST-SOUTH CORNER "J" ST. & 5TH AVE.





279  
281 J-STREET, SALT LAKE CITY, UTAH 84103

HOUSE HEIGHT AVERAGE = 27.61 FEET

Sidwell Numbers	Address	House Height [ft]	Height
09-32-306-012	638 E SIXTH AVE	27.47	
09-32-306-013	285 J-STREET	32.36	
09-32-306-014	281 J-STREET	34.48	
09-32-306-015	279 281 J-STREET	N/A	
09-32-306-016	275 J-STREET	18.82	
09-32-306-022	633 E FIFTH AVE	24.93	
TOTAL/AVERAGE	5 HOUSES	27.61	

NOTE:

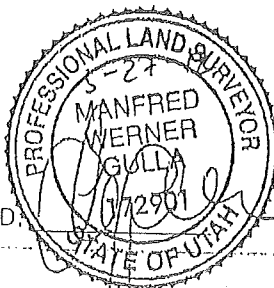
~~HEIGHTS~~  
HEIGHTS  
THIS IS A LIST OF HEIGHTS FOR HOUSES ON THE WEST SIDE OF J-STREET BETWEEN 5TH AND 6TH AVENUE FROM THE HIGHEST (ROOF) TO THE LOWEST (GROUND) POINT.

SURVEYORS CERTIFICATE:

SURVEYOR'S CERTIFICATE

I, Manfred W. Gulla, do hereby certify that I am a Registered Land Surveyor licensed to practice in the State of Utah and that I hold License No. 172901. I further certify that I have made a survey of the parcel of land shown and described on this map. I further certify that the survey was conducted using generally accepted surveying practices.

Manfred W. Gulla  
Utah Registered Land Surveyor  
License No. 172901



DATE: 5-16-2012 SIGNED:

HOUSE HEIGHT

[09-32-306-001-0000]  
CRAVEN, RICHARD T (TR)  
PO BOX 304  
ARIVACA, AZ 85601

[09-32-302-004-0000]  
BRILL GROUP LLC  
2712 BASIL LN  
LOS ANGELES, CA 90077

[09-32-306-002-0000]  
ETTINGER, KENNETH C & POTTER, R WILLIAM (TC  
207 HERITAGE LN  
PLEASANTON, CA 94566-7451

[09-32-307-014-0000]  
PROPERTIES @ 277 K STREET LLC  
2189 S 4000 W  
REXBURG, ID 83440

[09-32-307-015-0000]  
PROPERTIES @ 275 K STREET LLC  
2189 S 4000 W  
REXBURG, ID 83440

[09-32-307-005-0000]  
GARRETT, ANDY & LORELEI; JT  
308 W 82ND ST #6D  
NEW YORK, NY 10024-5355

[09-32-307-018-0000]  
ANGELL, DAVID J & MYRA; JT  
140 E 650 N  
BOUNTIFUL, UT 84010

[09-32-306-019-0000]  
WEEKS, CAROL  
1413 E CENTER ST  
BOUNTIFUL, UT 84010

[09-32-306-006-0000]  
HILLVIEW RP, LLC  
6792 S 1300 E  
COTTONWOOD HTS, UT 84121-2721

[09-32-303-013-0000]  
TEEL, ELIZABETH W  
1478 E SANDPIPER WY #246  
HOLLADAY, UT 84117

[09-32-306-007-0000]  
CUNNINGHAM, CHRISTOPHER B  
2945 AMERICAN SADDLER DR  
PARK CITY, UT 84060-6874

[09-32-310-002-0000]  
KIUHARA, DIANE & FIELD, ROSEMARY B (JT)  
234 N 'I' ST  
SALT LAKE CITY, UT 84103-3009

[09-32-310-001-0000]  
JOHNSON, KAREN T  
236 N 'I' ST  
SALT LAKE CITY, UT 84103-3009

[09-32-305-006-0000]  
WILLIAMS, JIMMIE L  
265 N 'I' ST  
SALT LAKE CITY, UT 84103-3066

[09-32-305-005-0000]  
WHITHAM, SAM  
271 N 'I' ST  
SALT LAKE CITY, UT 84103-3066

[09-32-306-005-0000]  
JIMENEZ, JAVIER  
272 N 'I' ST  
SALT LAKE CITY, UT 84103-3067

[09-32-305-003-0000]  
MADRIGAL, ELI & CHRISTIAN A; JT  
275 N 'I' ST  
SALT LAKE CITY, UT 84103-3066

[09-32-306-004-0000]  
MOORE, CAITLYN T V & CRAIG M; JT  
276 N 'I' ST  
SALT LAKE CITY, UT 84103-3067

[09-32-305-002-0000]  
CAGATAY, NILUFER  
277 N 'I' ST  
SALT LAKE CITY, UT 84103-3066

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ASHTON, ART C & MERLA G; TRS  
280 N 'I' ST  
SALT LAKE CITY, UT 84103-3067

[09-32-310-026-0000]  
LARSEN, DEVIN G & MELISSA L; JT  
227 N 'J' ST  
SALT LAKE CITY, UT 84103-3012

[09-32-310-016-0000]  
COOPER, JOHN L, III & SAMANTHA; JT  
231 N 'J' ST  
SALT LAKE CITY, UT 84103-3012

[09-32-311-002-0000]  
BAXTER, STEVEN & DONELLE; JT  
236 N 'J' ST  
SALT LAKE CITY, UT 84103-3011

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CEPERNICH, DANICA N  
239 N 'J' ST  
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POULTON, GEORGE  
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PUHL, JENNIFER J  
252 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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KIEL, PAUL H & JUDITH H; JT  
258 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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BELLO, CLAUDIO M & VANESSA; JT  
262 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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SINNER, CASEY J & MARY; JT  
270 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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MURTHA, HELEN H  
276 N 'J' ST  
SALT LAKE CITY, UT 84103-3014



[09-32-307-026-0000]  
DICOU, JACOBA J & DE WOLF, GERRITJE; JT  
280 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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GRAVES, RANDIN C & CHASE, BRANDI; TRS  
288 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

[09-32-307-013-0000]  
ADAMS, E BROOKE & BOGUS, THOMAS L; TRS  
287 N 'K' ST  
SALT LAKE CITY, UT 84103-3533

[09-32-310-010-0000]  
COWLEY, CARLTON W  
1898 E 2700 S  
SALT LAKE CITY, UT 84106-4052

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GAMMON, WILLIAM R; TR  
9 E 500 N  
SALT LAKE CITY, UT 84103-2102

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CROMPTON, DAVID G  
2256 E DOWNINGTON AVE  
SALT LAKE CITY, UT 84108-3012

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URIONA, DEANNE & PACE, JOHN E; TRS  
583 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3002

[09-32-305-010-0000]  
FRENCH, M SHAWN & ELIZABETH M; JT  
587 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3002

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HARMON, BENJAMIN C  
611 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

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ALEXANDER, ADRIAN B; TR (LSA 2015 IRR TRUST)  
626 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3003

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ANDERSON, CHRISTOPHER G; TR ( CGA LV TRST )  
627 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

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MCKENDRICK, EDITH B & DONNOLO, ANNE M; JT  
629 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

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TAHBAZ, JOHN A  
633 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

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SMITH, RYAN K & SHARON R; JT  
670 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3501

[09-32-310-013-0000]  
JONES, ERZA THOMAS P  
1159 E FIRST AVE  
SALT LAKE CITY, UT 84103-4109

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DEBOIS, STEVEN L  
181 E FOURTH AVE  
SALT LAKE CITY, UT 84103-4805

[09-32-305-004-0000]  
FEROLIE, LARRY B & ELLEN A; TRS  
2238 S HANNIBAL ST  
SALT LAKE CITY, UT 84106-4157

[09-32-311-003-0000]  
PAPEZ, JAROSLAV  
341 W REED AVE  
SALT LAKE CITY, UT 84103-1434

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NMOPRO LLC  
1267 E SHERMAN AVE  
SALT LAKE CITY, UT 84105-2545

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HENRICHSEN, KIRK B & ESTHER T; JT  
621 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

[09-32-302-014-0000]  
HENRICHSEN, KIRK B & ESTHER R; JT  
621 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

[09-32-306-009-0000]  
RIECK, CARI LEE  
622 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

[09-32-306-010-0000]  
GARDNER, JAMES R & LYNN F; JT  
626 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

[09-32-306-008-0000]  
GARDNER, JAMES R & LYNN F; TC  
626 E SIXTH AVE  
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BOWTON, LINDSAY K  
633 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

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NORVELL, RUSSELL & CACHELIN, ADRIENNE M; JT  
634 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

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WILLIAMSON, JAMES E  
638 E SIXTH AVE  
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ROBERTS-MORRIS, JULIE; TR (JRM LIV TRUST)  
641 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

[09-32-307-025-0000]  
CLARK, DIANE L  
664 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3520

[09-32-303-004-0000]  
WELLER, SAM & LILA N.  
665 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3521

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CLAYTON, VANESSA P  
668 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3520

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SCHWARTING, TAMARA  
674 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3520

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MANOUKIAN, NORMAN & TEREZA; JT  
1749 E CRESCENT VIEW DR  
SANDY, UT 84092-5127

[09-32-306-013-0000]  
BOLDSPACE, L.C.  
1713 E SUSAN DR  
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SANDY, UT 84092-5143

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279 N J STREET SERIES OF BOLDSPACE LC  
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BOLDSPACE, L.C.  
1713 E SUSAN DR  
SANDY, UT 84092-5143

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SWAIN, JEFFREY L & KIM L (TC)  
6050 S 1820 W  
TAYLORSVILLE, UT 84129-1456

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603 E 6TH AVE  
Salt Lake City, UT 84103-3045

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615 E 6TH AVE  
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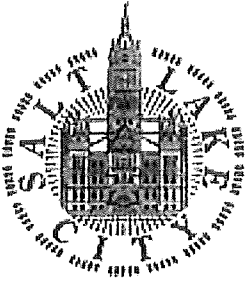
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Resident  
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Salt Lake City, UT 84103-3501

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Resident  
641 E 6TH AVE  
Salt Lake City, UT 84103-3045

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Resident  
664 E 6TH AVE  
Salt Lake City, UT 84103-3520

[09-32-307-026-0000]  
Resident  
280 N J ST  
Salt Lake City, UT 84103-3014



# SALT LAKE CITY CORPORATION

**Buzz Center**

451 South State Street, Room 215 Phone: (801) 535-7700  
P.O. Box 145471 Fax : (801) 535-7750  
Salt Lake City, Utah 84114

Date: Oct 15, 2015

REDHOUSE DEVELOPMENT

HISTORIC LANDMARK COMMISSION

11762 S. COPPER ROSE WAY  
SOUTH JORDAN, UT 84095

**Project Name:** REDHOUSE DEVELOPMENT

**Project Address:** 279 N J ST

**Detailed Description:**



\* P L N H L C 2 0 1 5 - 0 0 8 4 5 \*

NEW CONSTRUCTION 279 N. J STREET

Description	Qty	Dept	C Ctr	Obj	Amount		
					Invoice	Paid	Due
<b>Invoice Number: 1280459</b>							
Filing Fee	1	06	00900	1485	\$243.00	\$0.00	\$243.00
Postage for Planning Petitions	131	06	00900	1890	\$64.19	\$0.00	\$64.19
<b>Total for invoice 1280459</b>					<b>\$307.19</b>	<b>\$0.00</b>	<b>\$307.19</b>
<b>Total for PLNHLC2015-00845</b>					<b>\$307.19</b>	<b>\$0.00</b>	<b>\$307.19</b>

OFFICE USE ONLY

Intake By: LK2729

CAP ID #

PLNHLC2015-00845

Total Due: \$307.19



Treasurer's Office  
Rcpt# 1347314  
PL PLNHLC2015-00845 CAM  
\$307.19 10/15/2015



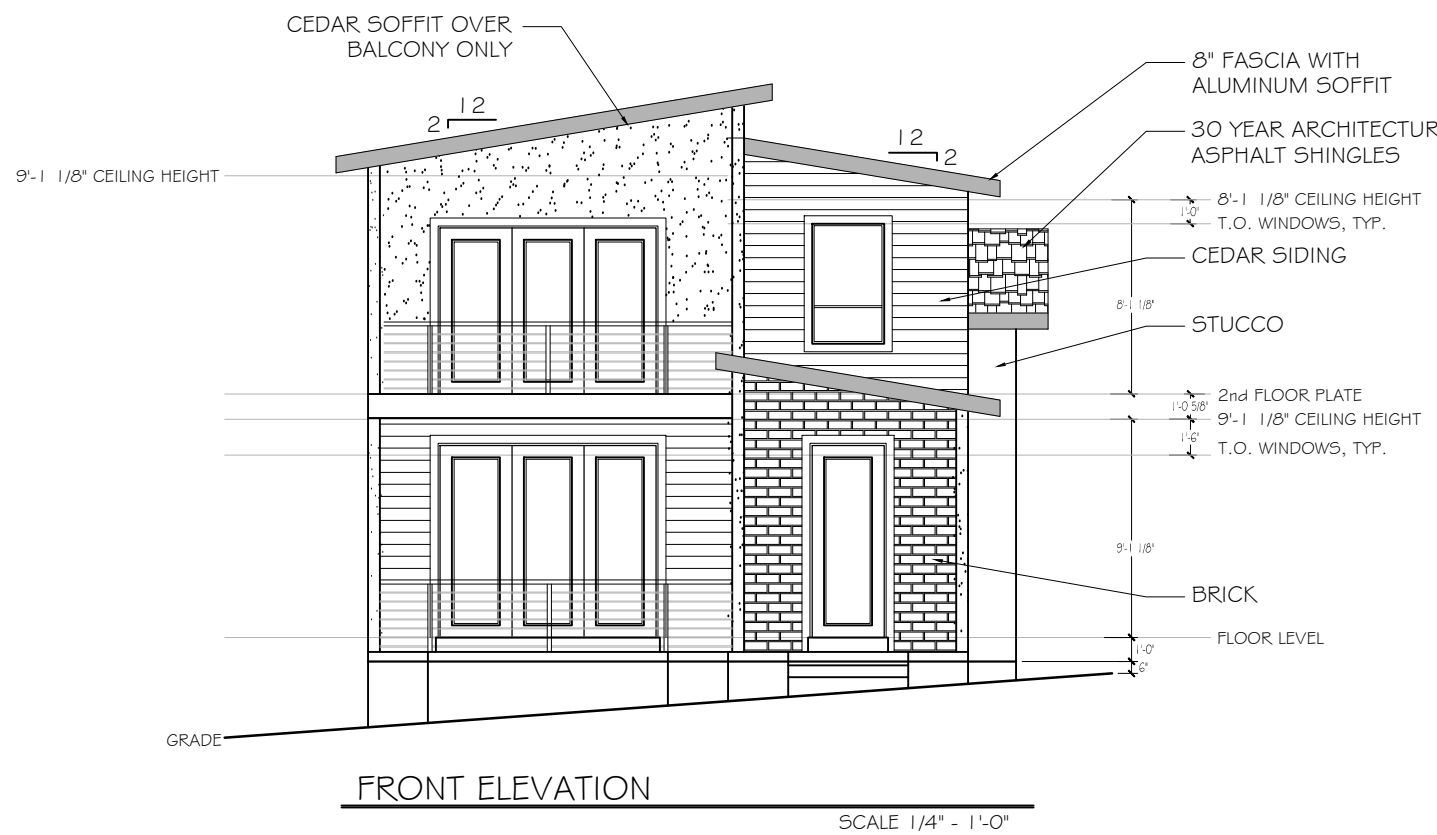
\* P L N H L C 2 0 1 5 - 0 0 8 4 5 \*

www.slcpermits.com

Please Keep This Box Clear

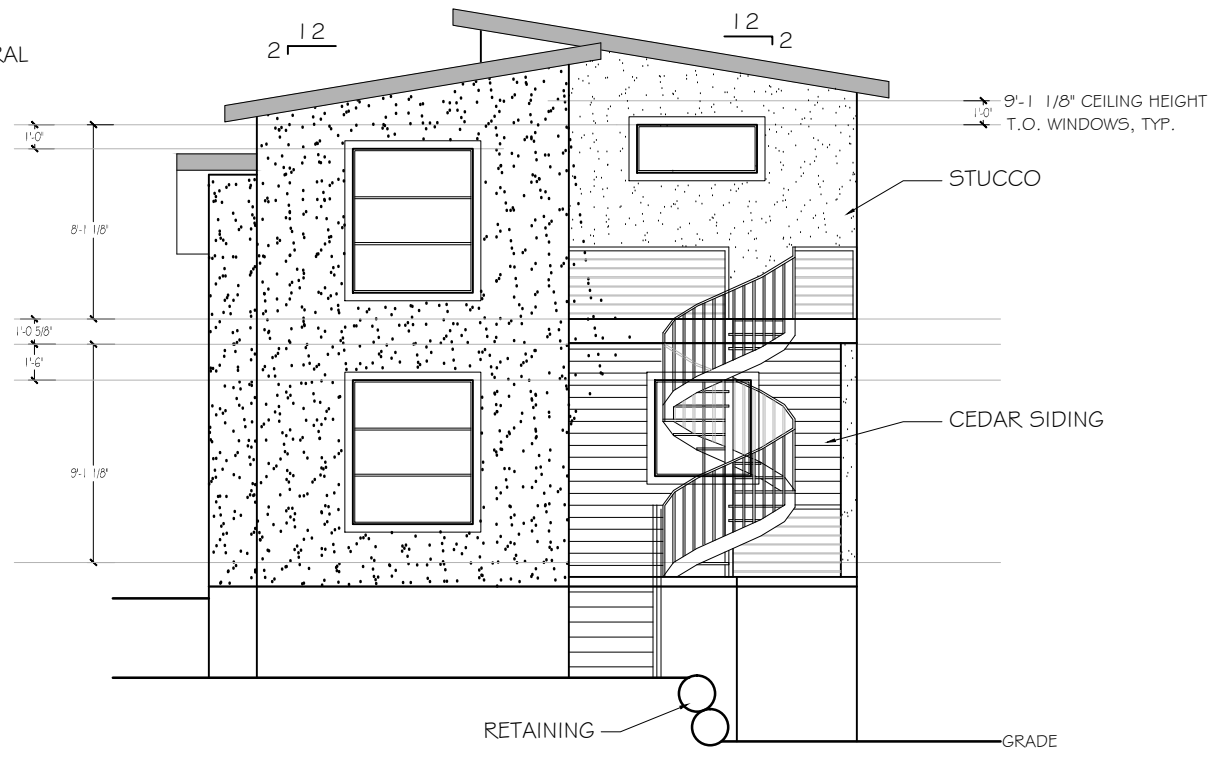






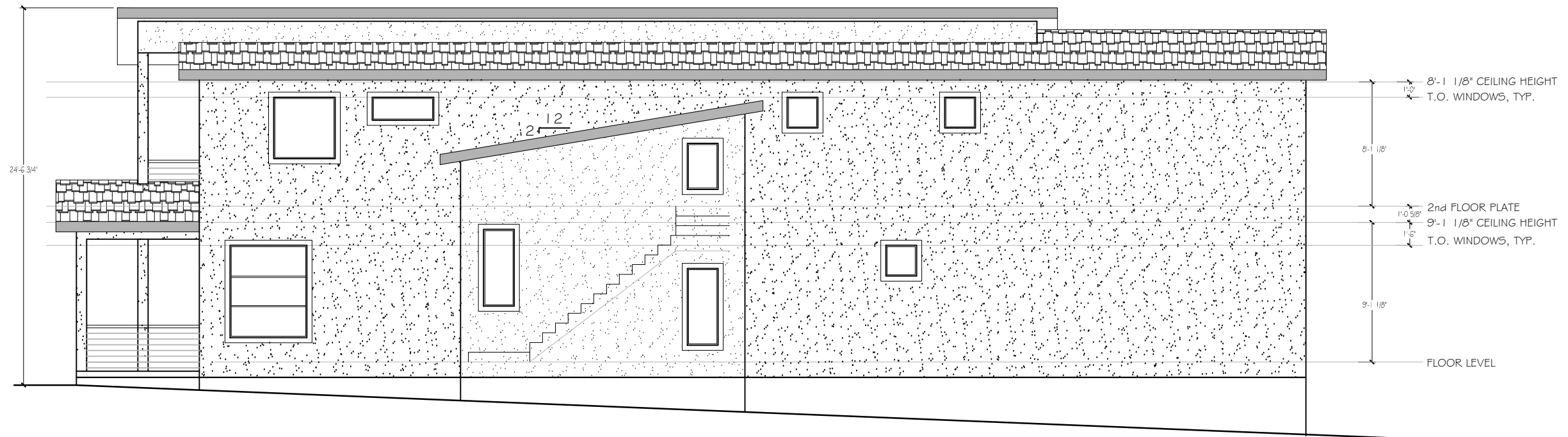
FRONT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"



RIGHT ELEVATION

SCALE 1/4" = 1'-0"

PLAN DATES & REVISIONS

DATE	DESCRIPTION

NOTES:

EACH SUB-CONTRACTOR SHALL CHECK AND UNDERSTAND ALL DIMENSIONS, NOTES AND ANY ASPECTS OF THIS PROJECT APPLICABLE TO THEIR TRADE AND AFFECTING OTHER TRADES PRIOR TO AND DURING CONSTRUCTION NOTIFY DESIGNER OR ENGINEER OF ANY DISCREPANCIES ON THE DRAWINGS OR CHANGES BEFORE PROCEEDING WITH ANY WORK EACH SUB-CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADE THROUGH THE GENERAL CONTRACTOR

PROJECT NAME:  
 RED HOUSE DEVELOPMENT

BANGERTER HOMES

10424 SOUTH 2700 WEST  
 SUITE 200  
 SOUTH JORDAN, UT 84095

PH # 801-446-2866  
 FAX # 801-446-2834

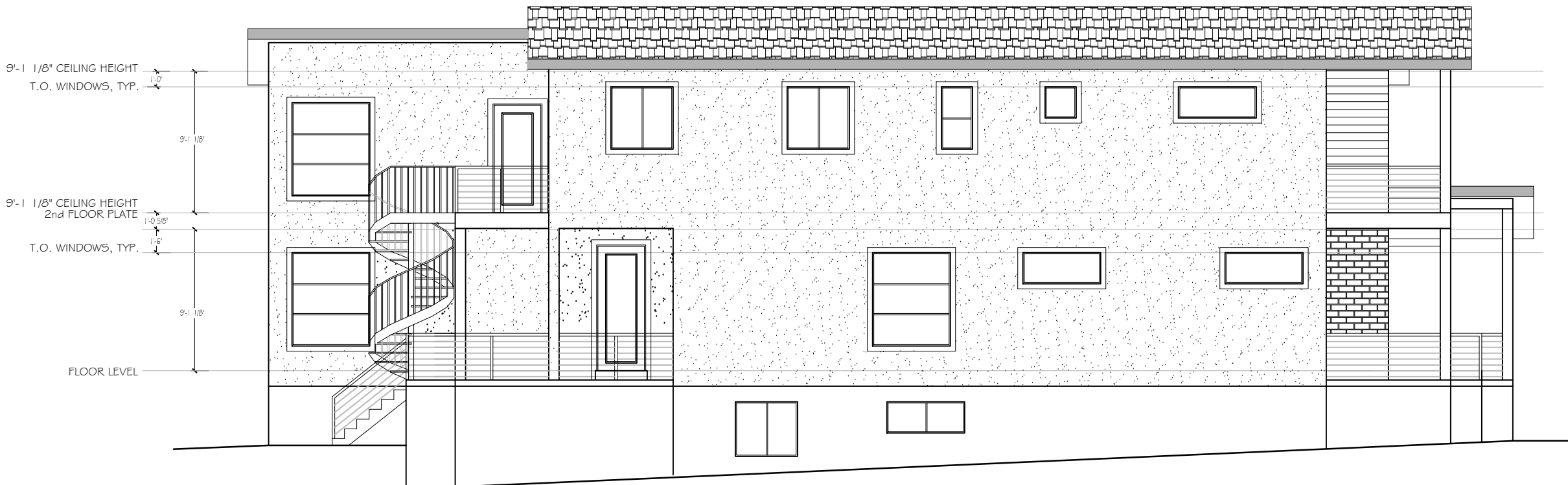


EXTERIOR ELEVATIONS  
 FRONT, REAR AND RIGHT

SUBDIVISION:  
 "J" STREET  
 PARCEL #2

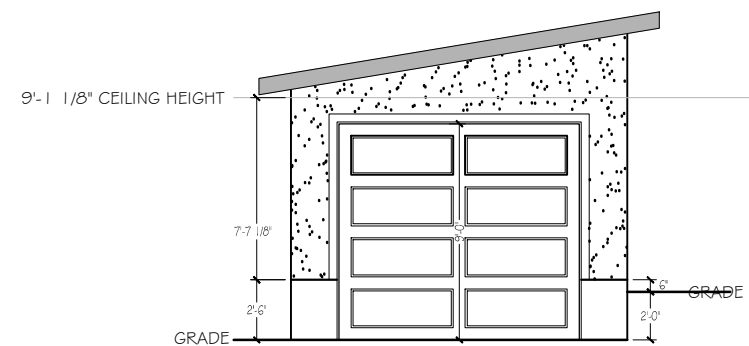
PLAN NAME:  
 CUSTOM  
 2 STORY PLAN

BUYER: CLAY



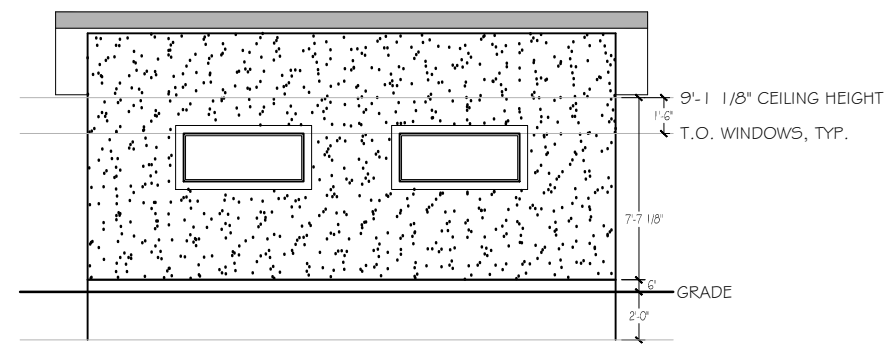
LEFT ELEVATION

SCALE 1/4" = 1'-0"



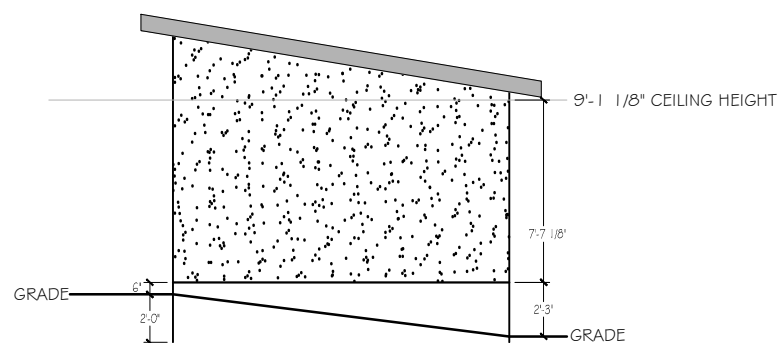
DETACHED GARAGE  
FRONT ELEVATION

SCALE 1/4" = 1'-0"



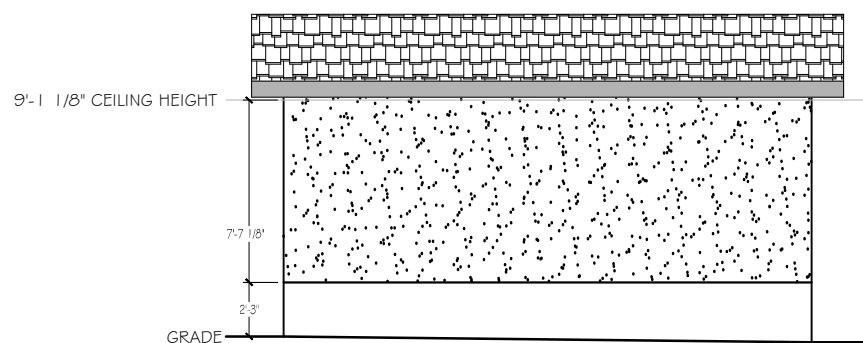
DETACHED GARAGE  
RIGHT ELEVATION

SCALE 1/4" = 1'-0"



DETACHED GARAGE  
REAR ELEVATION

SCALE 1/4" = 1'-0"



DETACHED GARAGE  
LEFT ELEVATION

SCALE 1/4" = 1'-0"

PLAN DATES & REVISIONS

DATE	DESCRIPTION

NOTES:

EACH SUB-CONTRACTOR SHALL CHECK AND UNDERSTAND ALL DIMENSIONS, NOTES AND ANY ASPECTS OF THIS PROJECT APPLICABLE TO THEIR TRADE AND AFFECTING OTHER TRADES PRIOR TO AND DURING CONSTRUCTION NOTIFY DESIGNER OR ENGINEER OF ANY DISCREPANCIES ON THE DRAWINGS OR CHANGES BEFORE PROCEEDING WITH ANY WORK EACH SUB-CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADE THROUGH THE GENERAL CONTRACTOR

PROJECT NAME:

RED HOUSE  
DEVELOPMENT

BANGERTER HOMES

10424 SOUTH 2700 WEST  
SUITE 200  
SOUTH JORDAN, UT 84095

PH # 801-446-2866  
FAX # 801-446-2834

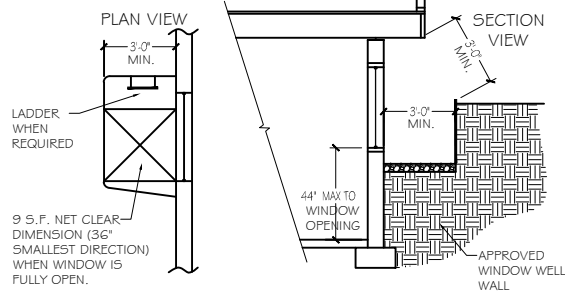


EXTERIOR ELEVATIONS  
LEFT SIDE AND  
DETACHED GARAGE

SUBDIVISION:  
"J" STREET  
PARCEL #2

PLAN NAME:  
CUSTOM  
2 STORY PLAN

BUYER: CLAY

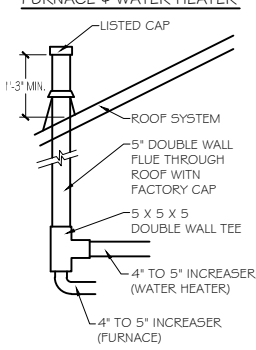


**WINDOW WELL REQUIREMENTS:**

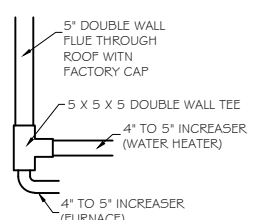
1. WINDOW WELL REQUIRED FOR ESCAPE AND RESCUE WINDOWS WITH FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION.
2. ALL WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN 44" SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER. ALL LADDERS MUST HAVE A 14" MIN. WIDTH, 14" MAX. SPACE BETWEEN RUNGS AND A 6" MIN. TOE SPACE.
3. ANY GRATES, BARS, GRILLS, DOMES OR SIMILAR DEVICES ON WINDOW WELLS REQUIRE AN APPROVED RELEASE MECHANISM.
4. EGRESS / RESCUE WINDOWS ARE REQUIRED TO BE 5.7 S.F. CLEAR OPENING WITH A MIN. NET CLEAR OPENING HEIGHT OF 20" (FOR A TALL WINDOW), AND A MIN. NET CLEAR OPENING HEIGHT OF 24" (FOR A WIDE WINDOW) AND A FINISHED SILL HEIGHT NOT TO EXCEED 44" ABOVE THE FLOOR.
5. EGRESS / RESCUE WINDOWS ARE REQUIRED IN EVERY BEDROOM AND AT LEAST ONE IN A BASEMENT. VERIFY WINDOWS MEET EGRESS AS INDIVIDUAL MANUFACTURERS MAY VARY IN NET CLEAR OPENINGS.

☒ = SEE WINDOW WELL DETAIL

**DIAGRAM FOR VENTING FURNACE & WATER HEATER**



**DIAGRAM FOR VENTING FURNACE & WATER HEATER**



**HOLDOWN SCHEDULE**

SYMBOL	HOLDOWN/STRAP
CS16 STRAP w/ 14" LAP ONTO STUDS	SEE DETAIL 12/SD.1
MST37 STRAP	SEE DETAIL 12/SD.1
LSTHD8/BRJ HOLDOWN	SEE DETAIL 15/SD.1
STHD10/10RJ HOLDOWN	SEE DETAIL 15/SD.1
STHD14/14RJ HOLDOWN	SEE DETAIL 15/SD.1
HDUZ-SDS2.5 RETROFIT HOLDOWN w/ 1/2" DIA. THREADED ROD ANCHOR EMBEDDED 7" INTO FOOTING w/ SIMPSON SET-XP EPOXY	SEE DETAIL 32/SD.2

FOOTINGS AND FOUNDATIONS, EXCAVATIONS, GRADING AND FILL SHALL COMPLY WITH THE PROVISIONS OF THE GEOTECHNICAL REPORT.

**FOUNDATION WALL SCHEDULE**

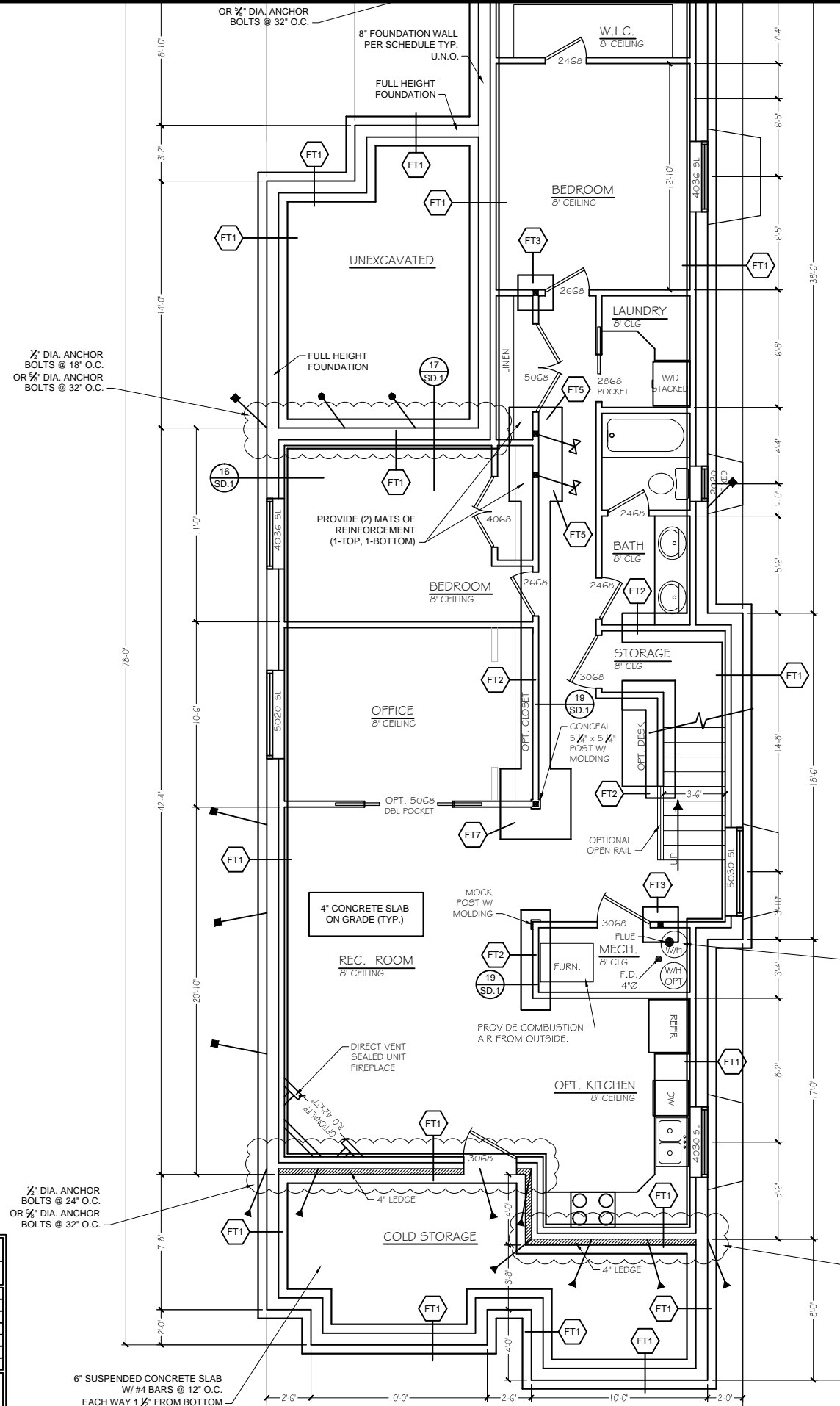
SIZE	REINFORCEMENT
3' FOUNDATION WALL	#4 BARS @ 24" O.C. VERTICAL, (3) #4 BARS HORIZONTAL
4' FOUNDATION WALL	#4 BARS @ 24" O.C. VERTICAL, (4) #4 BARS HORIZONTAL
8' FOUNDATION WALL	#4 BARS @ 24" O.C. VERTICAL, (6) #4 BARS HORIZONTAL

- NOTES:
1. USE 1/2" DIAMETER x 7" EMBEDMENT ANCHOR BOLTS @ 32" O.C. W/ 3"x3"x1/2" (0.225") PLATE WASHERS AT ALL EXTERIOR AND SHEAR WALLS U.N.O.
  2. Fc=3,000 PSI, fy=60,000 PSI
  3. PLACE (1) #4 BAR BELOW AND ON EACH SIDE OF EACH OPENING AND (2) #4 BARS ABOVE EACH OPENING. BARS SHALL BE PLACED WITHIN 2" OF THE OPENINGS AND EXTEND 24" BEYOND THE EDGE OF THE OPENING. VERTICAL BARS MAY TERMINATE 3" FROM THE TOP OF THE CONCRETE. OPENING REINFORCEMENT IS IN ADDITION TO STANDARD WALL REINFORCEMENT.
  4. TOP AND BOTTOM BARS SHALL BE WITHIN 4" OF THE TOP AND BOTTOM OF THE WALL.
  5. PLACE REINFORCEMENT IN THE CENTER OF THE WALL U.N.O.

**FOOTING SCHEDULE**

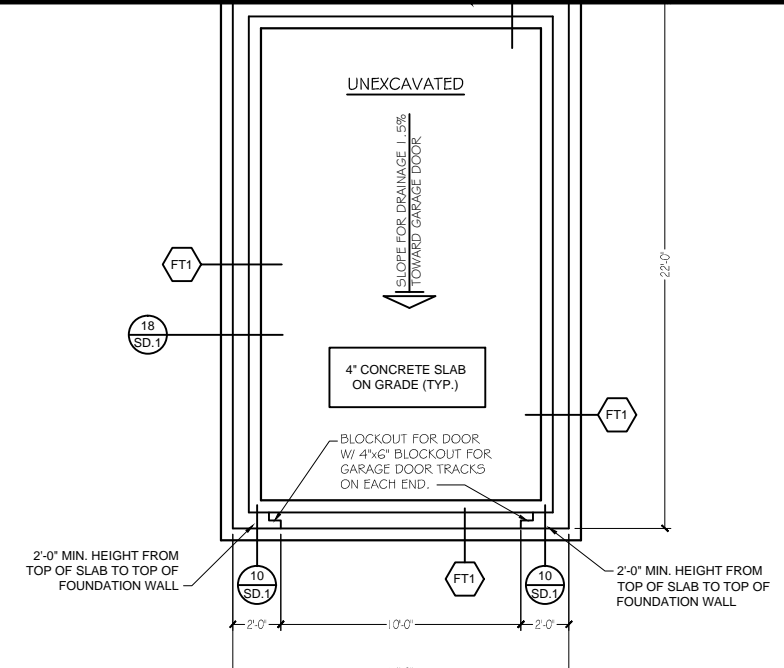
DESIG.	LENGTH	WIDTH	DEPTH	LENGTHWISE REINFORCEMENT				CROSSWISE REINFORCEMENT				CAPACITY	NOTE
				QTY.	SIZE	LENGTH	SPACING	QTY.	SIZE	LENGTH	SPACING		
FT1	CONT.	20"	10"	2	#4	CONT.	EQ.	-	-	-	-	2500 PLF	
FT2	CONT.	18"	10"	2	#4	CONT.	EQ.	-	-	-	-	2250 PLF	SEE DETAIL 19/SD.1
FT3	24"	24"	10"	3	#4	18"	EQ.	3	#4	18"	EQ.	6000 LBS	
FT4	30"	30"	10"	3	#4	24"	EQ.	3	#4	24"	EQ.	9375 LBS	
FT5	36"	36"	10"	4	#4	30"	EQ.	4	#4	30"	EQ.	13500 LBS	
FT6	42"	42"	10"	4	#4	36"	EQ.	4	#4	36"	EQ.	18375 LBS	
FT7	48"	48"	10"	5	#4	42"	EQ.	5	#4	42"	EQ.	24000 LBS	

- NOTES:
1. Fc=2,500 PSI, fy=60,000 PSI
  2. FOOTINGS SHALL BEAR ON UNDISTURBED NATIVE SOILS OR STRUCTURAL COMPACTED FILL (95% COMPACTION), SPECIFIED AND TESTED BY A REGISTERED GEOTECHNICAL ENGINEER.
  3. ALL FOOTINGS SHALL BEAR BELOW THE FROST LINE OF THE LOCALITY. (90" U.N.O.) PROVIDE 12" DIAMETER SONO-TUBE AT EXTERIOR SPOT FOOTINGS PER DETAIL 20/SD.1
  4. PROVIDE L-BARS TO MATCH VERTICAL FOUNDATION WALL REINFORCEMENT WITH 24" MINIMUM LAP SPLICE INTO FOUNDATION WALL.
  5. CENTER FOOTING UNDER FOUNDATION WALL U.N.O.



**FOOTING / FOUNDATION & BASEMENT PLAN**

1685 SQ. FT. WITH COLD STORAGE SCALE 1/4" = 1'-0"



**FOOTING / FOUNDATION PLAN FOR DETACHED GARAGE**

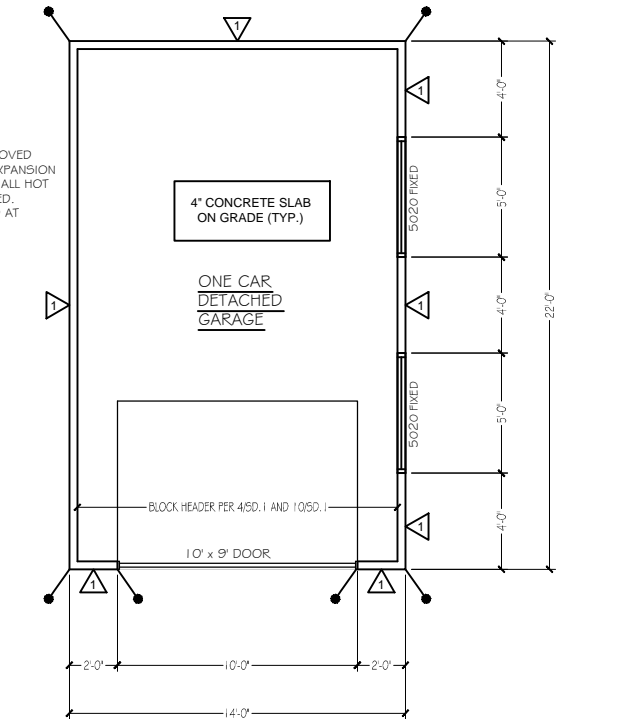
SCALE 1/4" = 1'-0"

**SHEAR WALL SCHEDULE**

DESIG.	MATERIAL	#16 NAILS		1/2" x 16 GAGE STAPLES		CAPACITY		NOTE
		EDGE	FIELD	EDGE	FIELD	WIND	SEISMIC	
1	1/2" OSB OR CDX PLYWOOD	6"	12"	3/4"	12"	360	260	2.4.5
2	1/2" OSB OR CDX PLYWOOD	4"	12"	2"	12"	530	350	2.4.5
3	1/2" OSB OR CDX PLYWOOD	3"	12"	-	-	685	490	2.4.5.6
4	1/2" OSB OR CDX PLYWOOD	2"	12"	-	-	895	640	2.4.5.6
5	1/2" SHEET ROCK OR BETTER	7"	7"	7"	7"	100	100	7
6	1/2" SHEET ROCK OR BETTER	4"	4"	4"	4"	125	125	7

NOTES:

1. WALL STUDS ARE TO BE SPACED AT 16" O.C. U.N.O.
2. UNIT SHEAR CAPACITIES ARE BASED ON AFAPA SDPWS TABLE 4.3A (IBC 2306.3)
3. USE 2" KING STUDS AT EACH END OF SHEAR PANELS (SHEAR WALL CROSS U.N.O.)
4. ALL PANEL EDGES SHALL BE BLOCKED WITH 2-INCH NOMINAL OR WIDER FRAMING WITH EDGE NAILING AT ALL SUPPORTS AND PANEL EDGES U.N.O. (AFAPA SDPWS 4.3.7.1 NOTE 1)
5. WHERE PANELS ARE APPLIED ON BOTH SIDES OF A WALL AND NAIL SPACING IS LESS THAN 6" O.C. ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.
6. FRAMING AT ADJOINING PANEL EDGES AND SILL PLATES SHALL BE 3-INCH NOMINAL OR WIDER FOR EDGE NAILING 3" O.C. OR LESS. NAILS AT ADJOINING PANEL EDGES AND INTO SILL PLATES SHALL BE STAGGERED. (AFAPA SDPWS 4.3.7.1 NOTE 3)
7. NAILS FOR SHEET ROCK SHEARWALLS SHALL BE 5d COOLER NAILS IN LIEU OF #8 NAILS. DRYWALL SCREWS ARE PERMITTED TO SUBSTITUTE FOR 5d COOLER NAILS IF THEIR DIMENSIONS ARE NOT LESS THAN 1"x0.086" (IBC TABLE 2306.7 NOTE 4)



**DETACHED GARAGE FLOOR PLAN**

SCALE 1/4" = 1'-0"

**PLAN DATES & REVISIONS**

DATE	DESCRIPTION

**NOTES:**

EACH SUB-CONTRACTOR SHALL CHECK AND UNDERSTAND ALL DIMENSIONS, NOTES AND ANY ASPECTS OF THIS PROJECT APPLICABLE TO THEIR TRADE AND AFFECTING OTHER TRADES PRIOR TO AND DURING CONSTRUCTION NOTIFY DESIGNER OR ENGINEER OF ANY DISCREPANCIES ON THE DRAWINGS OR CHANGES BEFORE PROCEEDING WITH ANY WORK EACH SUB-CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADE THROUGH THE GENERAL CONTRACTOR

PROJECT NAME:  
**RED HOUSE DEVELOPMENT**

BANGERTER HOMES  
10424 SOUTH 2700 WEST SUITE 200 SOUTH JORDAN, UT 84095

PH # 801-446-2866  
FAX # 801-446-2834



FOOTING / FOUNDATION BASEMENT PLAN AND DETACHED GARAGE

SUBDIVISION:  
"J" STREET PARCEL #2

PLAN NAME:  
CUSTOM 2 STORY PLAN

BUYER: CLAY





2-PLY HIP MASTER GIRDER

RIDGE

VALLEY

**BASIS FOR DESIGN**

- GRAVITY:**  
 1. ROOF SNOW LOAD = 30 PSF  
 2. ROOF DEAD LOAD = 15 PSF  
 3. FLOOR LIVE LOAD = 40 PSF  
 4. FLOOR DEAD LOAD = 10 PSF  
 5. ASSUMED SOIL BEARING CAPACITY = 1500 PSF
- SEISMIC:**  
 1. S<sub>s</sub> = 1.25, S<sub>1</sub> = 0.491  
 2. SOIL SITE CLASS = 0 (PER IBC SECTION 1613.3.2)  
 3. SEISMIC DESIGN CATEGORY = D  
 4. SIMPLIFIED ANALYSIS  
 5. LIGHT FRAMED WALLS WITH WOOD STRUCTURAL PANELS, R = 6.5 (SEE LOADS PAGE IN STRUCTURAL CALCULATION FOR OTHER SFRS R VALUES)
- WIND:**  
 1. 115 MPH  
 2. EXPOSURE C  
 3. SIMPLIFIED ANALYSIS

**POST SCHEDULE**

DESIG.	POST SIZE
P1	(1) 2x
P2	(2) 2x
P3	(3) 2x
P4	(4) 2x
P5	(5) 2x
P6	4x4
P7	6x6
P8	3 1/2" x 7" PARALLAM POST
P9	5 1/2" x 5 1/2" PARALLAM POST

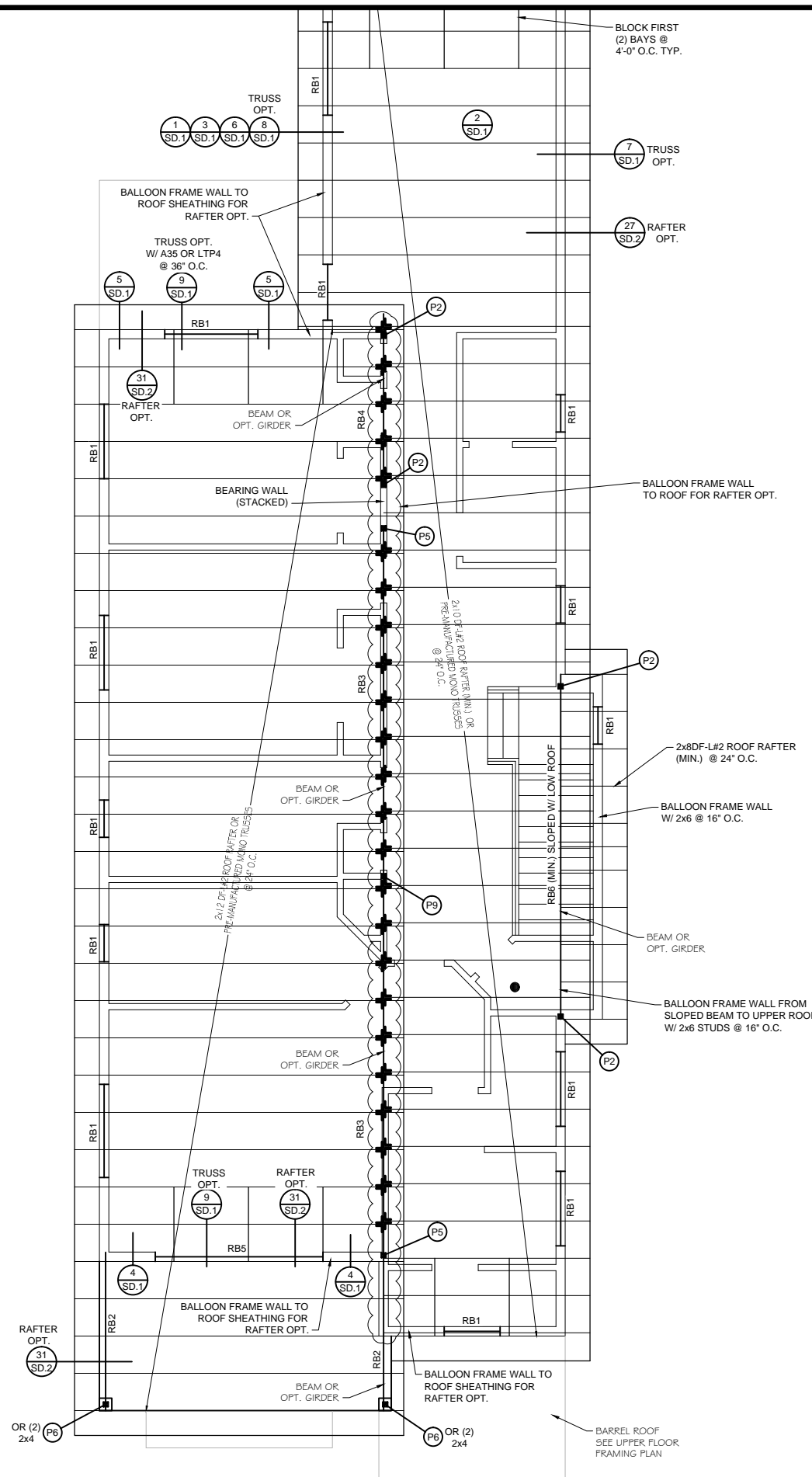
- NOTES:**  
 1. POSTS INDICATE NUMBER OF TRIMMER STUDS WHEN SPECIFIED AT HEADERS. ALL OTHER POST DESIGNATIONS REFER TO FULL HEIGHT KING STUDS U.N.O.  
 2. INSTALL (1) TRIMMER AND (1) KING STUD EACH SIDE OF EACH OPENING U.N.O.  
 3. INSTALL (2) TRIMMER STUDS AT EACH SIDE OF OPENINGS GREATER THAN 6'-0" WIDE U.N.O.  
 4. INSTALL (2) KING STUDS EACH SIDE OF OPENINGS GREATER THAN 8'-0" WIDE U.N.O.  
 5. 2x BUILT-UP POSTS SHALL BE THE SAME WIDTH OF THE WALL IN WHICH THEY ARE FRAMED U.N.O.  
 6. NAIL EACH PLY OF 2x BUILT-UP POSTS W/ 16d NAILS @ 6" O.C. STAGGERED U.N.O.  
 7. POSTS THAT ARE NOT FRAMED WITHIN A STUD WALL SHALL BE BRACED WITH BC OR AC POST CAP AND PC OR ABA POST BASE U.N.O.

**FRAMING NOTES**

- PLANS ARE NOT COMPLETE WITHOUT THE STRUCTURAL CALCULATIONS.
- REFER TO THE STRUCTURAL CALCULATIONS FOR THE GENERAL STRUCTURAL NOTES.
- ROOF SHEATHING SHALL BE APA RATED 5/8" OSB OR CDX PLYWOOD WITH 8d NAILS AT 6" O.C. EDGE, 12" O.C. FIELD.
- FLOOR SHEATHING SHALL BE APA RATED 5/8" TAG WITH 10d NAILS OR SIMPSON WSNTLS #8 WOOD SCREWS AT 6" O.C. EDGE, 12" O.C. FIELD.
- EXTERIOR STUD WALLS SHALL BE 2x6 @ 16" O.C. U.N.O.
- USE (1) 16d NAILS BETWEEN TOP PLATE SPICE POINTS ON ALL EXTERIOR AND SHEAR WALLS. PROVIDE A 4'-0" MINIMUM LAP SPICE.
- INSTALL ALL SIMPSON HARDWARE PER MANUFACTURER'S SPECIFICATIONS.
- HOLD-DOWNS SHALL BE INSTALLED ON (2) FULL HEIGHT KING STUDS (MINIMUM).
- FLOOR JOISTS SHALL BE 11 1/2" L12@10 AT 16" O.C. U.N.O.
- ROOF RAFTERS SHALL BE 2x8 DF-L#2 AT 24" O.C. U.N.O.
- PROVIDE 2x SQUASH BLOCKING AT FLOOR FRAMING TO MATCH DIMENSIONS OF POST ABOVE.
- ALL DETAILS SHALL APPLY IN ALL SIMILAR SITUATIONS.
- IF SUSPENDED PORCH SLAB EXCEEDS 6" THICKNESS, PROVIDE #4 BARS AT 16" O.C. 1/2" FROM TOP OF SLAB IN ADDITION TO THE BOTTOM STEEL NOTED ON THE PLANS.
- ALL LUMBER NOT PERMANENTLY PROTECTED FROM THE ELEMENTS SHALL BE PRESERVATIVE TREATED OF A DECAY RESISTANT SPECIES. CONTACT LEI ENGINEERS AND SURVIVORS, INC. IF A DIFFERENT SPECIES IS TO BE USED.

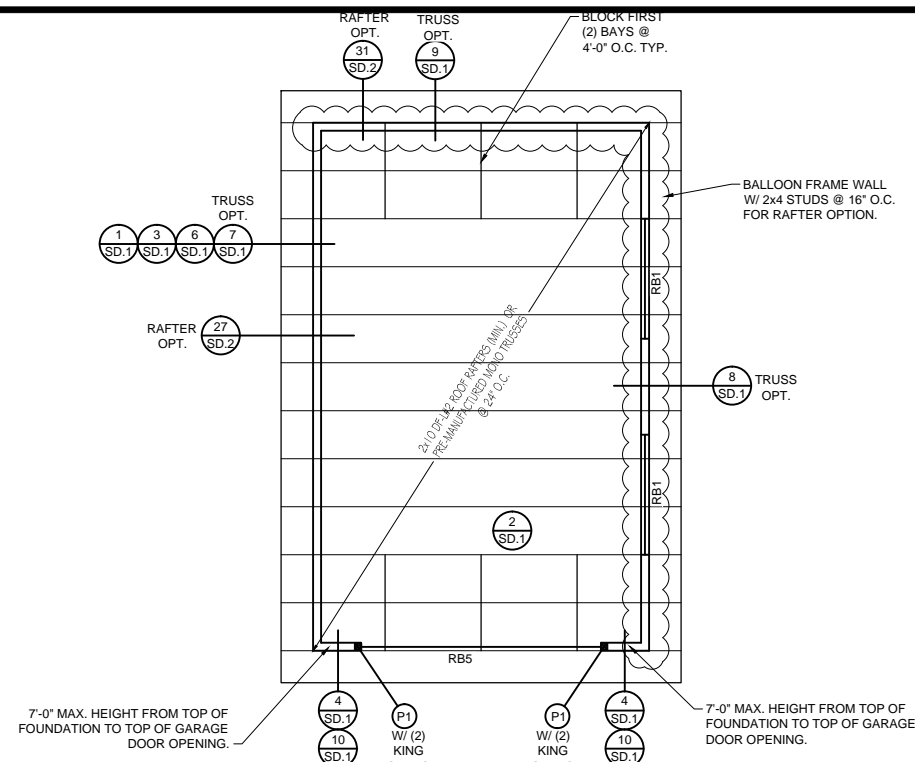
**BEAM SCHEDULE**

DESIG.	QTY.	SIZE	TYPE
RB1	2	2x6	DF-L#2
RB2	2	2x10	DF-L#2
RB3	1	5 1/2" x 16 1/2"	GLULAM
RB4	2	1 1/2" x 7 1/2"	MICROLLAM
RB5	2	2x6	DF-L#2
RB6	3	1 1/2" x 11 1/2"	MICROLLAM



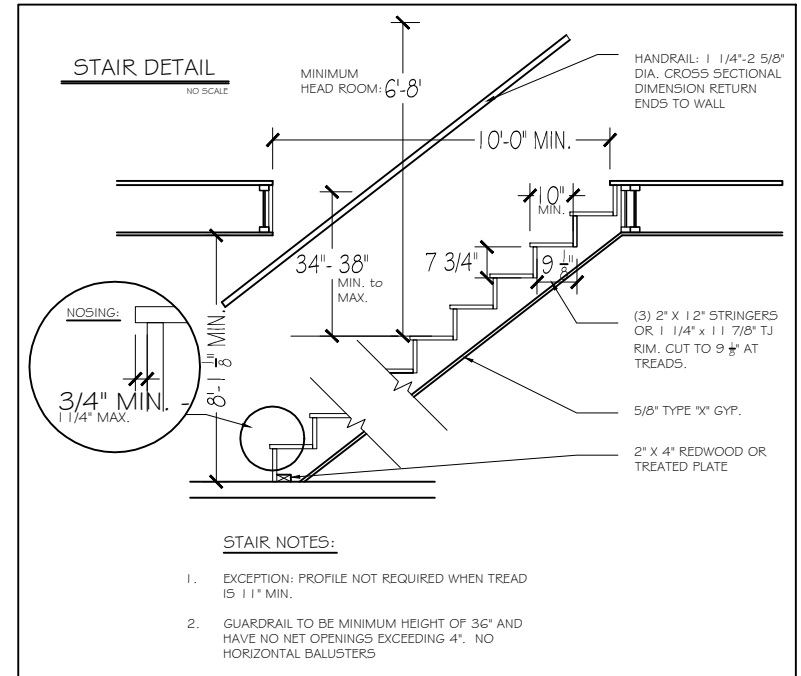
UPPER ROOF PLAN

SCALE 1/4" = 1'-0"



DETACHED GARAGE ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"



**STAIR NOTES:**

- EXCEPTION: PROFILE NOT REQUIRED WHEN TREAD IS 11" MIN.
- GUARDRAIL TO BE MINIMUM HEIGHT OF 36" AND HAVE NO NET OPENINGS EXCEEDING 4". NO HORIZONTAL BALUSTERS

**PLAN DATES & REVISIONS**

DATE	DESCRIPTION

**NOTES:**

EACH SUB-CONTRACTOR SHALL CHECK AND UNDERSTAND ALL DIMENSIONS, NOTES AND ANY ASPECTS OF THIS PROJECT APPLICABLE TO THEIR TRADE AND AFFECTING OTHER TRADES PRIOR TO AND DURING CONSTRUCTION NOTIFY DESIGNER OR ENGINEER OF ANY DISCREPANCIES ON THE DRAWINGS OR CHANGES BEFORE PROCEEDING WITH ANY WORK EACH SUB-CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADE THROUGH THE GENERAL CONTRACTOR

PROJECT NAME:

RED HOUSE DEVELOPMENT

BANGERTER HOMES

10424 SOUTH 2700 WEST  
 SUITE 200  
 SOUTH JORDAN, UT 84095

PH # 801-446-2866  
 FAX # 801-446-2834



ROOF FRAMING PLANS

SUBDIVISION:  
 "J" STREET  
 PARCEL #2

PLAN NAME:  
 CUSTOM  
 2 STORY PLAN

BUYER: CLAY

A6



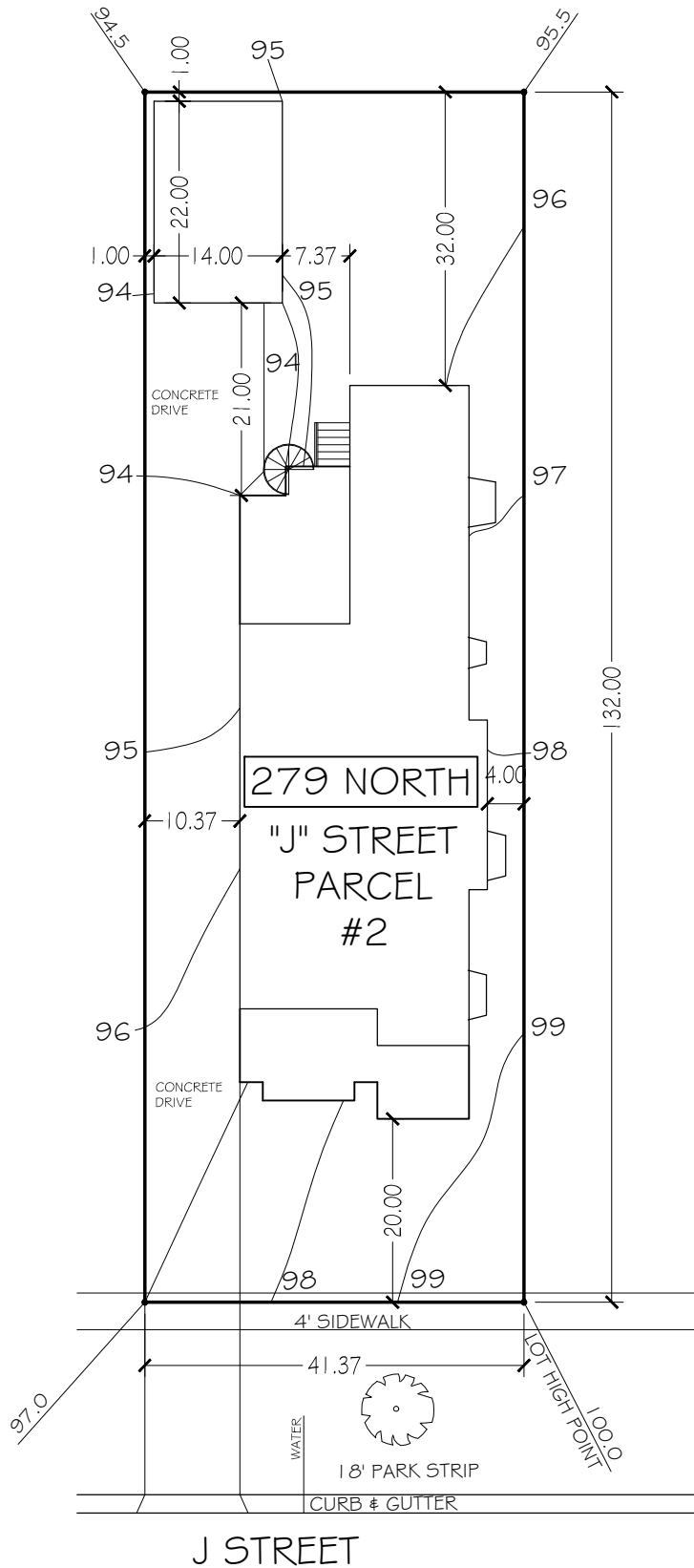


**LOT FOOTPRINT NOTES:**

\*MAXIMUM LOT FOOTPRINT ALLOWED  
40% OF TOTAL LOT (2184 SQ. FT.)

\*TOTAL LOT SQ. FT. = 5460

\*ACTUAL FOOTPRINT AS SHOWN =  
2183 SQ. FT.



**BANGERTER HOMES**  
 10424 SOUTH 2700 WEST  
 SOUTH JORDAN, UT 84095  
 PH # 801-446-2866  
 FAX # 801-446-2834



**CUSTOM 2 STORY**  
 "J" STREET  
 PARCEL #2

PROJECT NAME:

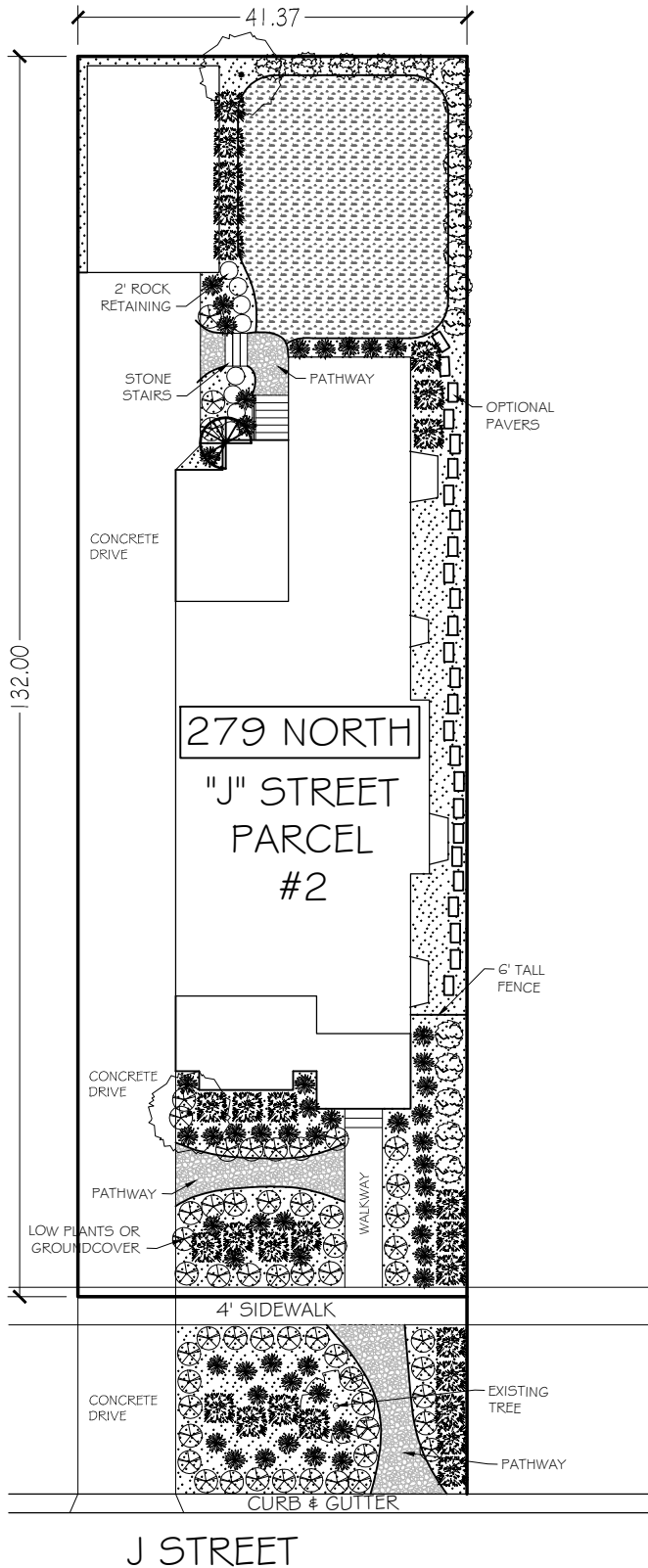
RED HOUSE DEVELOPMENT

SI

**SITE PLAN**

SCALE: 1:20





## LANDSCAPE NOTES

### IRRIGATION NOTES:

- AUTOMATIC IRRIGATION REQUIRED
- SEPARATE ZONES FOR LAWN & BEDS
- 100% COVERAGE (HEAD TO HEAD)
- BACKFLOW AS PER SJC
- ALL BEDS MUST BE DRIP IRRIGATED

### PLANTING NOTES:

- BEDS MUST HAVE PLANTINGS (NO AREAS OF JUST BARK)
- A MIN. OF 4" OF TOP SOIL REQUIRED IN ALL LAWN & PLANTING BEDS
- MULCH REQUIRED IN ALL BEDS
- CONCRETE EDGING NOT PERMITTED. USE STEEL OR COMPOSITE
- PLANTS MUST BE INSTALLED @ SPACING SHOWN ON PLANT LIST
- PRE-EMERGENT WEED CONTROL PRODUCT REQUIRED
- BEDS MUST BE CONTINUOUS ACROSS PARKING STRIP

### STREET TREE SYMBOL LEGEND

GAS		UTILITY BOX	
ELEC. METER		WATER METER	
HYDRANT		MAIL KIOSK	
TRASH RECEPT.		STREET LIGHT	
AIR COND. EQUIP.		TRANSFORMER	

### TREE SYMBOL LEGEND

	ACE TRU		FRA CIM		TIL AME
	ACE FRE		PLA ACE		TIL COR
	FRA AME		PYR ARI		ULM FRO
			PYR RED		ZEL SER

### STREETSCAPE TREES (as specified by the Developer)

ACE TRU	NORWEGIAN SUNSET MAPLE	2" CAL.	25' O.C.
ACE FRE	FREEMAN MAPLE	3 1/2" CAL.	30' O.C.
FRA AME	AUTUMN PURPLE ASH	2" CAL.	20' O.C.
FRA CIM	CIMMARON ASH	3" CAL.	28' O.C.
PLA ACE	LONDON PLANE TREE	3" CAL.	30' O.C.
PYR ARI	ARISTOCRAT PEAR	2" CAL.	20' O.C.
TIL AME	REDMOND LINDEN	2" CAL.	20' O.C.
TIL COR	GREENSPIRE LINDEN	3" CAL.	28' O.C.
ULM FRO	FRONTIER ELM	2" CAL.	25' O.C.
ZEL SER	VILLAGE GREEN ZELKOVA	3" CAL.	30' O.C.

### DECIDUOUS TREE: (1-1/2" TO 2-1/2" CALIPER)

CA	CANADA RED	
EM	EMERALD QUEEN MAPLE	
KM	CRIMSON KING MAPLE	
HB	HORNBEAN	
FP	FLOWERING PEAR	
A	MOUNTAIN ASH	
M	MAGNOLIA	
CL	CLUMPS: RIVER BIRCH, CANADA RED	

### TALL PLANT MATERIAL:

(FND. SHRUBS & HEDGES)

EVERGREEN TREES (6' TO 8' TALL)

S	SPRUCE (BLUE COLORADO)
WS	WELL SPIRE
ST	SKY TRAIL
V	VAMDER WOLF
CF	CONCLOR FIFE
SR	SEQUOIA
C	CEDARS: LEBINAN, ALASKAN, ATLAS

### MEDIUM PLANT MATERIAL:

PERENNIALS

(1 gallon)

DL	DAY LILLY
RS	SAGE RUSSIAN
L	LAVENDER
JL	JACOBS LADDER
GF	GAY FEATHER
F	FLOX
CF	CONE FLOWER
BF	BLACK EYED SUSAN

EVERGREEN SCRUBS

(5 GALLON)

NS	NESTING SPRICE
DL	DWARF LAUREL
SB	SCOTCH BROOM
L	LEATHER LEAF
GE	GOLDEN EMUIMUS
DL	DWARF BOXWEED
SB	FRASIER PHONTINA

### LOW PLANT MATERIAL:

LAWN & DECORATIVE GRASSES

DL	FOUNTAIN GRASS
RS	FOREST GRASS
L	ZEBRA GRASS

LAWN

BROWN SHREDDED BARK MULCH

6' SEMI-PRIVATE FENCE (included in contract). VINYL, U.N.O.

BANGERTER HOMES

10424 SOUTH 2700 WEST  
SOUTH JORDAN, UT 84095  
PH # 801-446-2866  
FAX # 801-446-2834



CUSTOM 2 STORY

"J" STREET  
PARCEL #2

PROJECT NAME:

RED HOUSE DEVELOPMENT

SI

LANDSCAPE PLAN



SCALE:

1:20









801-631-4206

PlanPoint































282

















280







COMPARABLE  
LOOK  
ON  
AN  
EXISTING  
SIC HOME







CEDAR  
SOFFIT  
ACCENT



CEDAR SIDING

WITH NATURAL  
GRAIN



EXT. RAIL

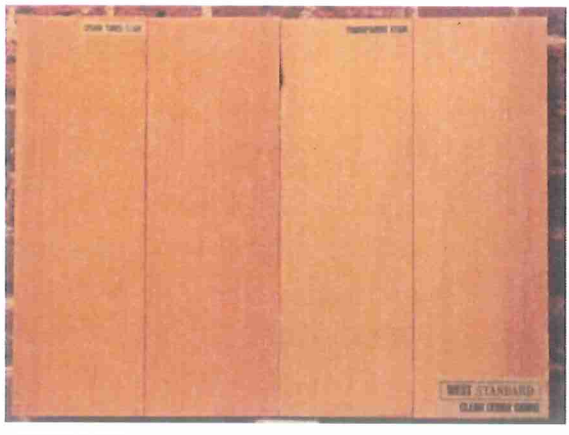


## J Street Home Exterior Construction Materials



### Red Brick

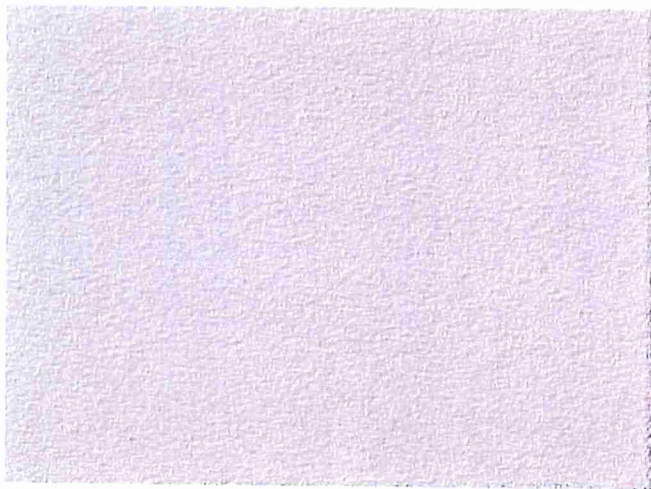
Red Brick (as seen in this example) will be used to accent the front and rear of the home. Brick will also be used partially on the detached garage.



### Stained Cedar

Stained Cedar will be utilized in the front and rear of the exterior, as well as the fascia.

### J Street Home Exterior Construction Materials



#### **Gray Stucco**

Gray Stucco will be featured on the front, sides and rear of the home

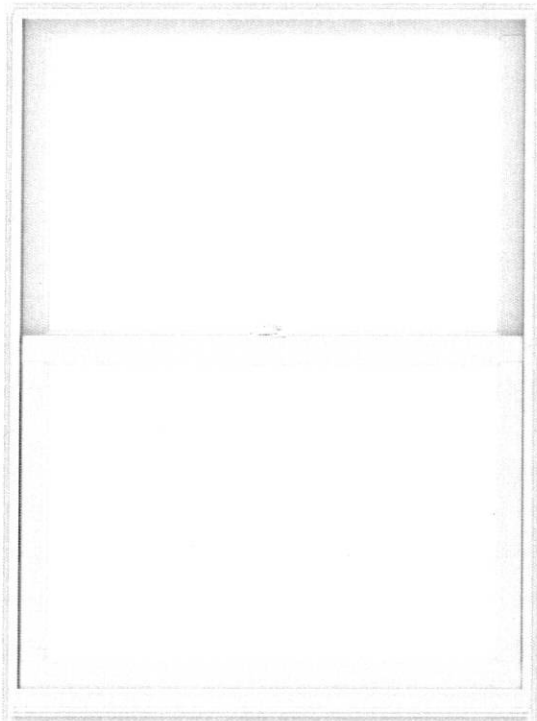


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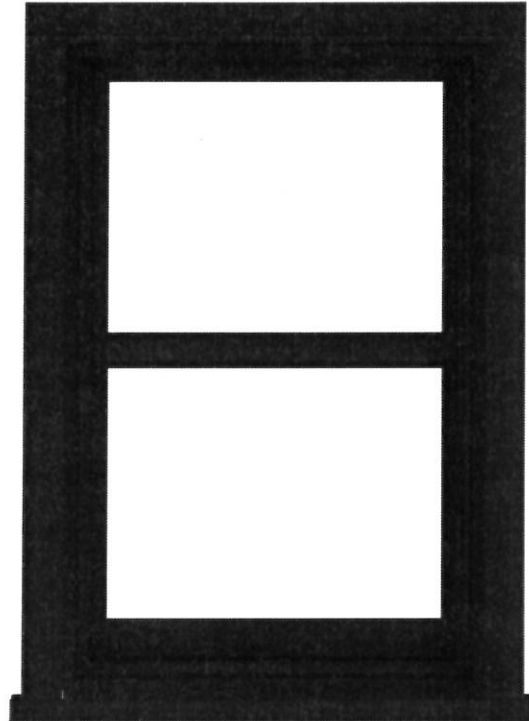


WINDOWS DOORS IDEAS & PLANNING PARTS & SERVICE FOR PROS

400 Series Woodwright® Double-Hung Window



INTERIOR



EXTERIOR

SUMMARY

Interior	White
Exterior Window Color	Dark Bronze
Hardware Options	Classic Series, White
Optional Hardware	None, White
Exterior Trim Profile	3.5" Flat w/ Sill Nose
Exterior Trim Color	Dark Bronze

\* Distressed bronze and oil rubbed bronze are 'living' finishes that will change with time and use.

\* Options shown are not available for all products within the series. Computer monitor limitations prevent exact color duplication. For an accurate representation of color options please view actual color samples available at your Andersen window & patio door supplier.

ABOUT ANDERSEN BRANDS RENEWAL BY ANDERSEN MEDIA CAREERS CONTACT US

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## 7901 IMPACT-RESISTANT

SERIES: [Impact-Resistant](#)

TYPE: Exterior French & Sash

APPLICATIONS: Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.

Construction Type: Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

Glass: 3/4" PVB Laminated Impact Resistant IG

### GET A QUOTE

If you are interested in receiving a quote from a dealer, please select the options below and click on the "Request Dealer Quote" below.

*Rough opening needs to be 2" wider and 2 1/2" taller than your door.*

WIDTH  ▾

HEIGHT  ▾

WOOD SPECIES  ▾

GLASS  ▾

#### UPGRADES

WaterBarrier Technology

**REQUEST DEALER QUOTE**

Similar Doors:

#### WHERE TO BUY

#### STANDARD FEATURES

[Any Wood](#)

French / Hinged Patio Door Systems

## Classic-Craft Mahogany

Make a dramatic statement with elegant flair. The Mahogany Collection patio doors echo the sophistication of Victorian and Colonial home styles. It captures the rich, warm wood tones of authentic Honduran Mahogany with all the benefits of **fiberglass**, thanks to **AccuGrain technology**. And, with Classic-Craft, you get more. Every detail – from wider glass to heavier construction – creates a more premium entryway.

[Browse all doors in this collection.](#)

### More Information



AccuGrain™ Technology



System Components



TruDefense® System



Quality Testing

## Select Door Style & Glass Design

Choose Door Height: **6'8" Doors** **8'0" Doors**

Pick a Door Style: **2 Available Styles**

Pick a Glass Design: **1 Available Designs**

Add Left Door

Add Right Door

