



# Staff Report

PLANNING DIVISION  
COMMUNITY & ECONOMIC DEVELOPMENT

To: Salt Lake City Historic Landmark Commission  
From: Anthony Riederer  
801-535-7625 or anthony.riederer@slcgov.com  
Date: May 5, 2016  
Re: PLNHLC2015-00845 – New Construction in a Historic District  
PLNHLC2016-00276 – Special Exceptions for Additional Wall and Roof Height

## NEW CONSTRUCTION AND SPECIAL EXCEPTIONS FOR ADDITIONAL WALL AND ROOF HEIGHT

**PROPERTY ADDRESS:** Approximately 279 North J Street  
**PARCEL ID:** 09-32-306-015  
**HISTORIC DISTRICT:** Avenues Local Historic District  
**ZONING DISTRICT:** SR-1A (Special Development Pattern Residential District)  
**MASTER PLAN:** Avenues Master Plan

**REQUEST:** Campbell Dosch and Jeseca Clary, as owners of the subject property, are requesting approval from the City to develop a new single-family house at the above stated address. As designed, this project requires a Certificate of Appropriateness for New Construction in a Historic District, a Special Exception for additional pitched roof height, a Special Exception for additional flat roof height, and a Special Exception for additional exterior wall height. The property is located in the Avenues Local Historic District and is zoned SR-1A (Special Development Pattern).

This petition came before, and was tabled by, the Historic Landmark Commission previously. Though the applicants are presenting a completely new design, the previous staff report and meeting minutes from the January meeting are included in this staff report as Attachment I.

### RECOMMENDATION:

Based on the analysis and findings of the staff report, it is the Planning Staff's opinion that overall the project generally meets the applicable standards and therefore, recommends the Historic Landmark Commission approve the request for New Construction at approximately 279 North J Street with the following conditions:

- 1) Inverse-pitched roof segments are modified to be flat, with a maximum height of 23.25 feet above finished first floor height.
- 2) Elimination of the exterior decorative/feature wall that extends above the revised roofline.
- 3) The fenestration pattern is revised on the north façade to allow more transparency at the front of the house.
- 4) Specific information and specifications as to selected materials are provided and approved.
- 5) The design complies with all applicable building and development codes.
- 6) Approval of final design details are delegated to staff for approval.

Based on the analysis and findings of the staff report, it is the Planning Staff's opinion that the project meets the applicable standards for some of the requested special exceptions. However, should the staff's recommended conditions be accepted for New Construction in a Historic District, one requested special exception would no longer be necessary and the magnitude of the others would be reduced. Therefore, staff recommends the Historic

Landmark Commission approve the following Special Exceptions at approximately 279 North J Street, which support the design modifications identified as staff-recommended conditions:

- 1) To exceed the maximum height of a flat roof by 13 feet, 3 inches (29 feet, 3 inches total height).
- 2) To exceed the maximum exterior wall height by 6 feet, 3 inches (29 feet, 3 inches total height).

And deny the following Special Exception:

- 1) To exceed the maximum height of a pitched roof by 8 feet, 6 inches.

**RECOMMENDED MOTION:** Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Historic Landmark Commission approve the request for New Construction at approximately 279 North J Street with the following conditions:

- 1) Inverse-pitched roof segments are modified to be flat, with a maximum height of 23.25 feet above finished first floor height.
- 2) Elimination of the exterior decorative/feature wall that that extends above the revised roofline.
- 3) The fenestration pattern is revised on the north façade to allow more transparency at the front of the house.
- 4) Specific information and specifications as to selected materials are provided and approved.
- 5) The design complies with all applicable building and development codes.
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Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Historic Landmark Commission approve the following Special Exceptions at approximately 279 North J Street, which support the design modifications identified as staff-recommended conditions:

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And deny the following Special Exception:

- 1) To exceed the maximum height of a pitched roof by 8 feet, 6 inches.

**BACKGROUND AND PROJECT DESCRIPTION:**

The proposal is for a new single family house located at approximately 279 North J Street, in the Avenues Local Historic District. The subject property is located in the north-central area of the district and is currently vacant, having served for many years as a subject parcel for the property immediately to the north.

The site topography has a gentle slope from northeast to southwest, with an overall elevation change of approximately 6 feet. Though this is not a sufficient slope to present a challenge to construction it does come to bear when calculating roof/wall height, as will be discussed later.

This area of the Avenues was settled on a grid pattern similar to a compressed version of the grid system common to Salt Lake City, with more uniform setbacks and lot patterns. The property is located within the Avenues Historic District, SR-1A (Special Development Pattern Residential) zoning district.

The lot measures approximately 41.37' x 132' and has an area of 5,445 square feet. Although this meets the size requirement the lot is considered a non-complying lot as its width is less than the minimum for single-family development in the SR-1A district. It should be noted that a non-complying lot as to lot area or lot frontage that was in legal existence prior to April 12, 1995, shall be considered a legal complying lot. Legal complying lots in residential districts shall be approved for development of a single-family dwelling regardless of the size of the lot, subject to complying with all yard area requirements of the SR-1A zoning district.

The proposed building is a single-family house of contemporary design, composed of three levels, a basement, ground floor, and upper floor. The house is composed largely of rectangular modules with a number of fenestration patterns and clad in different materials.

One of the dominant visual features of the street-facing façade is the front module, which is home to the living room and features a second story balcony. Clad predominantly in stained wood paneling, this front-most volume features some exterior walls that deflect from vertical. This volume is topped by an inverted-pitch roof, with pronounced eaves.

A second, rectangular module serves as the principal entrance to the building and is set to the left and slightly behind. This volume features large expanses of glazing, framed in painted metal, and is set apart from the first by a brick 'feature wall' which runs through much of the depth of the house. This second volume features a flat roof, with eaves that project, much like those of the adjacent inverted-pitch roofline.

Behind these two modules are two additional rectangular modules of differing heights. On the left side of the building, a somewhat taller rectangular module is clad in colored stucco and features large expanses of glass, allowing significant natural light into the stairway atrium. The right side of the design has a slightly shorter module, which is home to bedrooms on the upper floor and the kitchen and dining area on the ground floor. Though these volumes are topped by flat roofs, they do not feature the projecting eaves proposed for the front-most modules.

Furthest back on the lot, a final rectangular module is home to the garage and master bedroom suite. Like the front module, this is topped with an inverted-pitch roof with pronounced eaves. Likewise, it features one exterior wall that deflects from vertical.

The project is clad in a range of materials with specific historic referents in the Avenues Local Historic District, including brick, stucco, and stained cedar. Additionally, the design successfully incorporates contemporary materials including metal roofing, metal-framed fixed windows, and industrial metal railing. The juxtaposition of these materials allow for the creation of a building of contemporary design with clear ties to the material properties common to the historic district.

The proposed front yard setback of 20 feet is precisely what is required by the underlying zoning and accords itself well of the front yard depths of the adjacent properties (18 feet to the south and 21 feet to the north). Likewise, the proposed side yards are similar to those seen elsewhere in the district and will help support the solid to void pattern already established by existing structures. The construction of a building with roughly the proposed proportions would help support the continuity of street wall and reinforce the rhythm of buildings along the block face.

The proposed landscaping plan suggests creation of a well-landscaped park strip and front yard and paved pathways that provide a clear indication of the building's principal façade and entrance.

**KEY ISSUES:**

The key issues listed below have been identified through the analysis of the project, neighbor input and department review comments.

**Issue 1: Roof Shape**

The proposed design features an inverted-pitch roof. Although this is fairly 'on trend' in contemporary domestic architecture, it is without historic precedent in the Avenues Local Historic District. Frequently, contemporary buildings in historic districts build from a re-interpretation of design elements common to the area. Given that there is not a specific historic referent or analogue in the district, it is difficult to see how this design element "...relates to the patterns and characteristics of the historic district."

It is staff's opinion that the design appeal and contemporary styling of the home can be maintained while modifying the roof shape to a flat roof, which has historic analogues elsewhere in the district.

- This issue has been addressed through a recommended condition of approval.

**Issue 2: Overall Height of Structure**

The proposal does exceed the allowable height for a pitched roof, for a flat roof, and for exterior wall height. There are a number of reasons for this. Though the building as a whole is over-height, the concern becomes somewhat magnified as the established grade of the lot falls away to the west and south. It is along these facades that the design reaches its maximum height above established grade. By seeking to shift from inverted-pitched roof to a flat roof and reduce the height of the 'feature wall', the staff recommended conditions seek to reduce the structure's height, without compromising the good function of interior spaces.

Ultimately, the proposed house is situated with a taller structure immediately to the north (uphill) and a one-story single family home immediately to the south (downhill), presenting the potential for the design to take advantage of the natural slope of the area and to help mitigate the height difference between the two existing structures.

It is staff's opinion that some additional height is warranted to permit a compatible contemporary design, to mitigate the height difference between existing structures, and to take advantage of the slope of the site.

- This issue has been, in part, addressed as a recommended condition of approval.

**Issue 3: Fenestration Pattern**

The proposed design takes a positive and contemporary view on transparency and fenestration. The significant areas of glazing on the east (front) and south facades have a positive overall impact on the visual weight and mass of the building. These patterns of fenestration are not equally reflected along all elements of the building visible from the public way. Given the significant glazing on the east (front) and south facades, there is surprisingly little glazing on the north façade.

It is the opinion of staff that, in order to maintain a balanced composition and to reflect more common historic patterns of fenestration, the north façade should be revised to include greater transparency, particularly as relates to the front-most building module.

- This issue has been addressed through a recommended condition of approval.

**Issue 4: Garage Access and Parking**

The backing distance from the garage to the property line does not meet the city requirements (22' 7" from garage door to property line). However, according to the city's Transportation Division, the driveway is sufficient to satisfy the parking requirement via by tandem parking in the side yard driveway.

Further, the inclusion of a backing area to the west of the garage improves maneuverability such that vehicles could still comfortably use the garage to park.

- This issue is raised for the Commission's awareness, and in the opinion of staff does not require resolution.

**Issue 5: Façade Materials**

To a large degree, the design successfully blends materials common to the area (brick, stucco, stained cedar) with more contemporary materials (large-format metal framed glazing).

While the core material palette being suggested is similar to that of the previously submitted design for this site, it is the opinion of staff that this design applies them in a much more considered way, successfully creating relief and differentiation along each of the facades. Though the materials as indicated in rendering and elevation drawings appear to follow the city's design guidelines, additional specifications are needed to ensure that the specific products selected are appropriate.

- This issue is raised for the Commissions awareness and discussion, and has been addressed through a recommended condition of approval.

**NEXT STEPS:**

If the petitions are approved without condition, the applicant may proceed with the project and will be required to obtain all necessary permits.

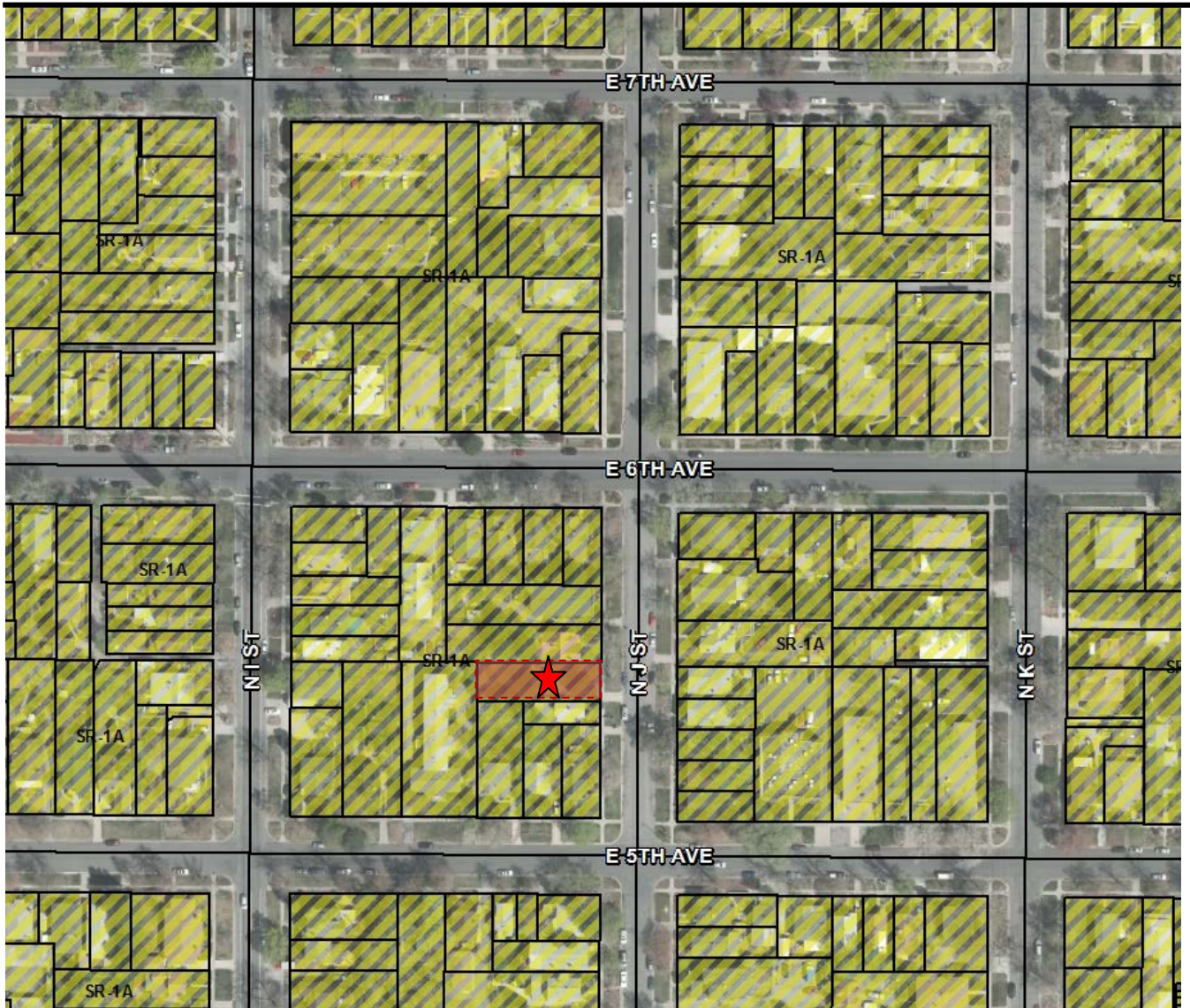
If the staff recommended conditions are approved, the applicant will need to redesign the project to comply and submit for staff approval. Once approved, they will be required to obtain all necessary permits.

If the petitions are denied, the applicant would not be allowed to proceed with the new construction. The design could be revised and resubmitted, or the decision of the Historic Landmark Commission could be appealed.

**ATTACHMENTS:**

- A.** Vicinity Map
- B.** Historic District Map
- C.** Development Plan Set
- D.** Project Materials
- E.** Applicant Information
- F.** Existing Conditions and Site Images
- G.** Analysis of Standards
- H.** Public Process and Comments
- I.** Staff Report and Meeting Minutes from January HLC Meeting
- J.** Motions

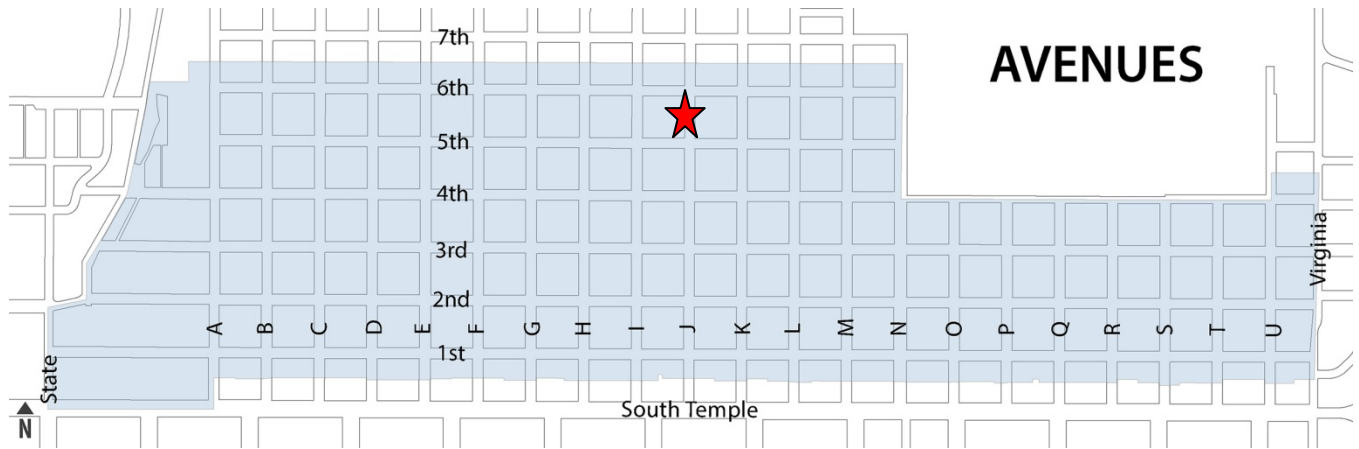
# ATTACHMENT A: VICINITY MAP



**★ Approximate project location**

# ATTACHMENT B: HISTORIC DISTRICT MAP

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 ***Approximate project location***

# **ATTACHMENT C: DEVELOPMENT PLAN SET**

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# DOSCH / CLARY RESIDENCE

## H L C - P R O P O S A L

279 J STREET SALT LAKE CITY UTAH 84103

### GOVERNING AGENCIES:

SALT LAKE CITY PLANNING AND ZONING

HISTORIC LANDMARKS COMMISSION

### PROJECT DESCRIPTION

THE DOSCH/CLARY RESIDENCE IS A NEW SINGLE FAMILY RESIENDCE LOCATED ON A VACANT LOT WITHIN THE AVENUES HISTORIC DISTRICT. IN ACCORDANCE WITH THE DESIGN GUIDELINES SET FORTH IN THE SALT LAKE CITY *PRESERVATION HANDBOOK FOR RESIDENTIAL PROPERTIES AND DISRICTS*, THE FOLLOWING IS A PROPOSAL FOR NEW CONSTRUCTION IN A HISTORIC DISTRICT.

THE BUILDING TAKES ON A MODERN APPROACH TO DESIGN. INSTEAD OF A MODERN DESIGN WITH COLD STEEL, CONCRETE AND GLASS, WE ARE LOOKING AT MODERN DESIGN USING CLEAN DESIGN PRINCIPLES AND WARM ORGANIC MATERIALS TO ACCENT THE MASSING WHICH HAVE HISTORICAL PRECEDENTS AT THIER BASE. THE MATERIALS FOR THE BUILDING AS NOTED ON THE ELEVATIONS AND SEEN IN THE RENDERINGS ARE STUCCO WOOD AND BRICK RUNNING IN A STACK BOND PATTERN WITH ACCENTS OF EFI'S DEFINING EACH OF THE MESSINGS'S THE BUILDING HAS EXPRESSED WITH THE ARCHITECTURAL ELEMENTS. THE TWO STORY FOYER HELPS TO DEFINE THE SENSE OF ENTRY INTO THE HOME AND THE STAIRS ARE DEFINED BY SITTING WITHIN ITS OWN MASSING, CREATING AN UNDERSTANDING OF THE VERTICAL ACCESS IN THE HOME. THE WINDOWS ON THE BUILDING ARE LARGE IN DESIGN TO CREATE THE MODERN RHYTHMS, BUT RELATE TO HISORICAL PRECEDENTS OF DESIGN. THE FRONT AND BACK BALCONIES ARE USED TO REFERENCE THE HISTORICAL NATURE OF THE OTHER HOMES IN THE AVENUES WHICH PULL THE OUTDOOR LILVING TO THE INSIDE OF THE HOME.

### SITE DESIGN

#### STREET AND BLOCK PATTERNS

THE CURRENT VACANT LOT IS LONG AND LINER ACCENTING THE ADJACENT PROPERTIES WHICH HAVE SMALL FRONT YARDS WITH THE BUILDING FRONT FAÇADES ADDRESSING THE STREET. THE BUILDING HEIGHT IS TWO STORIES WHICH IS CONSISTENT WITH THE RHYTHM THAT HAS BEEN ESATBLISHED WITH THE OTHER PROPERTIES ON THE STREET. PRESENTLY THERE ARE FIVE HOUSES ON THE WEST SIDE OF THE STREET. J STREET IS WIDE AND SLOPES NORTH TO SOUTH. THE SCALE OF THE FORNT FAÇADE IS CONSISTENT WITH THE STREET PATTERN IN TERMS OF HEIGHT AND WIDTH. A HEIGHT SURVEY OF THE PRIMARY STRUCTUES ALONG THE BLOCK FACE HAS RESULTED IN AN AVERAGE BUILDING HEIGHT OG 27.6 FT. THE NEW BUILDING HEIGHT ISUSED TO SET THE HEIGH OF THE NEW DEESIGN.

#### BUILDING PLACEMENT AND ORIENTATION

THE STRUCTURE HAS BEEN PLACED WITHIN THE BUILDING ENVOLOPE WHICH GIVES A 20 FT FRONT SETBACK FROM THE PROPERTY LINE WITH SIDE YARD SETBACKS OF 10FT AND 4FT. THIS SETBACK IS MAINTANED IN THE CURRENT DESIGN. IN ADDITION TO THE MAINTAINING THE FRONT SETBACK, THE NEW BUILDING IS ORIENTED PARALLEL TO THE LOT LINES WHICH MAINTAINS THE TRADITIONAL GRID PATTERN OF THE BLOCK.

#### MASS & SCALE

TO CONVEY A SENSE OF HUMAN SCALE, THE FOLLOWING DESIGN ELEMENTS HAVE BEEN INCORPORATED IN THE NEW BUILDING.

1. BUILDING MATERIALS ARE MADE OF TRADITIONAL DIMENSIONS. THE FRONT FACADE IS COMPOSED OF BRICK STUCCO AND WOOD. THE WOOD SIDING IS A COLLECTION OF 1X4 OR 1X6 CEDAR BOARDS ORIENTED HORIZONTALLY. THE SIDE IS COMPOSED OF COMBINATION OF STUCCO AND BRICK. THE ROOFING IS ASPHALT SHIINGLES, SIMILAR IN SCALE TO THE MAJORITY OF THE HOMES IN THE NEIGHBORHOOD.

# DOSCH / CLARY RESIDENCE

## H L C - P R O P O S A L

2. THE FRONT ELEVATION FEATURES A FRONT PORCH OPENING AND BALCONY FACING THE STREET. THE REAR ELEVATION FEATURES A BALCONY OPENING FACING THE REAR.
3. THE BUILDING MASS IS SIMILAR IN SIZE TO THE HOMES IN THE VICINITY. BECAUSE THE LOT IS LONG AND LINEAR, WE DESIGNED THE ROOF FEATURES TO BREAK AND CHANGE IN PITCH DIRECTION, ADDING AN ARRAY OF SPACES ON THE STRUCTURE TO KEEP IT VISUALLY ENGAGING.
4. THE DOORS AND WINDOWS FACING THE STREET FOLLOW A TRADITIONAL SYMMETRICAL COMPOSITION RESULTING IN A SOLID TO VOID PATTERN SIMILAR TO HOMES ALONG THE BLOCK FACE. THE PREDOMINANT VERTICAL ORIENTATION AND SIZE OF THE WINDOWS ON ALL SIDES OF THE BUILDING FURTHER REINFORCE THE TRADITIONAL PATTERNS IN THE DISTRICT.

THE NEW BUILDING APPEARS SIMILAR IN SCALE FROM THE STREET THROUGH VARIOUS COMPONENTS SUCH AS ITS PORCHES, WINDOWS. THE ROOF FORM REFLECTS THE RANGE OF FORMS AND MASSING FOUND WITHIN THE DISTRICT BY INCORPORATING BOTH PITCHED AND FLAT ROOFS INTO THE DESIGN. THE ROOF FITS WITHIN THE AVERAGE HEIGHT LIMIT AND IS COMPATIBLE IN SCALE WITH THE SURROUNDING BUILDINGS ALONG THE BLOCK FACE.

THE FRONT FAÇADE IS SIMILAR IN SCALE TO THOSE SEEN TRADITIONALLY ON THE BLOCK. DUE TO THE NATURE OF THE NARROW LOT, THE FRONT FAÇADE WIDTH DOES NOT EXCEED THE TYPICAL MAXIMUM FAÇADE WIDTH IN THE DISTRICT.

### HEIGHT

THE HEIGHT SURVEY IDENTIFIES THE AVERAGE BUILDING HEIGHT ALONG THE PRINCIPAL BLOCK FACE. THE NEW BUILDING DESIGN INCORPORATES THIS DATA TO ESTABLISH A BUILDING HEIGHT SIMILAR TO THOSE FOUND HISTORICALLY IN THE DISTRICT.

### WIDTH

AS STATED PREVIOUSLY, DUE TO THE NARROW WIDTH OF THE LOT AND THE PREDEFINED SETBACKS, THE WIDTH OF THE NEW BUILDING IS SIMILAR IN WIDTH TO NEARBY HISTORIC BUILDINGS.

### SOLID-TO-VOID RATIO

IN TERMS OF WALL TO WINDOW SOLID TO VOID RELATIONSHIPS, THE USE OF TALL AND VERTICALLY ORIENTED WINDOWS HELP ALIGN THE NEW BUILDING DESIGN WITH THE NEIGHBORHOOD. WHERE LARGE SURFACES OF GLASS ARE USED ALONG THE FRONT AND SIDE ELEVATIONS, OTHER GLASS IS BROKEN DOWN INTO SMALLER WINDOWS.

### FORM AND VISUAL EMPHASIS

THE BUILDING FORM IS COMPOSED OF SIMPLE RECTANGULAR SOLIDS AND ARE EMBELISHED BY PORCHES AND POPOUTS. VARIATIONS IN WALL PLANES AND THE RHYTHM OF THE ROOF STRUCTURE BREAK UP ANY MONOTONY THAT WOULD TYPICALLY BE FOUND ON SIMILAR DESIGNS.

THE PRIMARY ROOF FORMS ARE PITCHED TO BE SIMILAR TO THOSE TRADITIONALLY SEEN IN THE BLOCK AND IN THE WIDER DISTRICT. ALTHOUGH THE FLAT ROOF IS USED IN THE DESIGN, IT IS SECONDARY IN FORM AND VISUAL EMPHASIS TO THE PITCHED ROOF FORMS.

PROPORTION AND FAÇADE ELEMENTS THE FRONT FAÇADE HAS BEEN DESIGNED TO TAKE ON A MODERN APPROACH TO DESIGN. IT INCORPORATES A HEIGHT TO WIDTH RATIO THAT ECHOS THE PROPORTIONS OF ITS NEIGHBORS.

# DOSCH / CLARY RESIDENCE

## H L C - P R O P O S A L

### **RHYTHM AND SPACING OF WINDOWS AND DOORS**

THE MAJORITY OF THE WINDOWS ARE ORGANIED SYMMETRICALLY TO ONE ANOTHER. THIS OFFERS MORE VISUAL INTEREST WITH AN ASYMMETRICAL PLACEMENT SET AGAINST A RELATIVELY SYMMETRICAL WINDOW LAYOUT.

### BUILDING MATERIALS AND DETAILS

#### **MATERIALS**

STUCCO, BRICK AND WOOD COMPRISE THE MAJORITY OF THE MATERIAL USED. THE STUCCO IS COMPLEMENTED WITH CEDAR SIDING PACED VERITCALLY IN THE FRONT OF THE STRUCTURE. THIS ADDS A NATURAL RIGHNESS TO THE ASSEMBLY. ALL OF THESE MATERIALS REPRESENT THE TRADITIONAL PALETE OF THE NEIGHBORHOOD.

#### **WINDOWS**

AGAIN THE WINDOWS ARE VERTICALLY ORIENTED, WHICH IS ENCOURAGED BY THE GUIDELINES.

#### **ARCHITECTURAL ELEMENTS & DETAILS**

THE BUILDING COMPONETNTS REFLECT THE SIZE, DEPTH AND SHPAE OF THOSE FOUND HISTORICALLY ALONG THE STREET. THE WOOD EAVES ARE VERY COMMON AND STRAIGHT FORWARD. THE WINDOWS AND DOORS ARE INSET TO OFFER DEPTH AND SHADOW ALONT THE PRIMARY FACADES.

THE APPROACH TO THE NEW BUILDING DESIGN HAS BEEN ONE OF COMPATABILITY WITH THE NEIGHBORHOOD WITHOUT REPLICATING ANY ONE PARTICULAR HISTORIC STYLE. THE SIMPLE AND CLEAN DETAIINNG OF THE WINDOWS PORCHES AND STRUCTURE SHAPE ARE ALL TRADITONAL COMPONENTS DETAILED IN A CONTEMPORARY MANNER.

### STREETSCAPE FEATURES

#### **WALKWAYS**

A WALK TO THE PRIMARY BUILDING ENTRY FROM THE PUBLIC SIDEWALK IS PROVIDED ON EACH STREET. EACH WALKWAY IS DISTINCT FROM THE DRIVEWAY. THE PROJECT IS GREATLEY IMPROVING THE STREETSCAPE ALONG J STREET BY COMPLETEING THE STREETSCAPE. THE CURRENT CURB CUT FOR THE NEW DRIVWAY WILL REMAIN WHICH WILL BE ESSENTIAL TO THE SAFETY OF THE OWNERS AND PEDESTRIANS WHILE THE OWNERS INGRESS AND EGRESS IN AND OUT OF THE DRIVEWAY TO THE GARAGE.

### LANDSCAPE DESIGN FEATURES

THE PROPERTY WILL BE LANDSCAPED BOTH IN THE FRONT AND BACK YARDS (SEE LANDSCAPE DESIGN) THE LANDSCAPING WILL GREATLY PROMOTE THE ASETHETICS OF THE NEIHBORING PROPERTIES BY UTILIZING SIMILAR TREES BUSHES AND SHRUBS THROUGHOUT THE PROPERTY.

#### **BUILDING FORM & BULDING MATERIALS**

PLEASE REFER TO COMMENTARY RELATING TO BUILDING FORM AND MATERIALS IN PREVIOUS SECTIONS.

# DOSCH / CLARY RESIDENCE

## H L C - P R O P O S A L

TAX ID	09-32-306-015
FRONT	41.37 FEET
SIDE	132.0 FEET
REAR	41.37 FEET
ZONE	SR-1A
PERMITTED USES	SINGLE FAMILY DWELING
LOT AREA	5,445 SQ.FT
MIN. LOT AREA	5,000 SQ.FT
	NON COMPLYING LOT
LOT WIDTH	3.37 FEET
MIN LOT WIDTH	50 FEET
BUILDING HEIGHT	28'0 TOP OF BUILDING ELEMENT
MAXIMUM BUILDING HEIGHT MAX	(PITCHED ROOF) 27-0"
MIN SETBACK	FRONT YARD 20'0"
INTERIOR SIDE YARD (SOUTH)	10'0"
INTERIOR SIDE YARD (NORTH)	4'0"
REAR YARD	37'0"
BUILDING COVERAGE:	TOTAL LOT -- 5445 SQ.FT
	ALLOWED FOOTPRINT -- 2178 SQ.FT
	PROPOSED FOOTPRINT -- 1873 SQ.FT.
	34% OF COVERAGE

# CAMPBELL - AVENUES HOME

J STREET PARCEL #2  
SALT LAKE CITY, UTAH ----  
SCHEMATIC DESIGN



SHIT. NO.	SHEET TITLE
<b>ARCHITECTURAL</b>	
G001	COVER SHEET
SD100	CONCEPT SITE PLAN
A100	CONCEPT LOWER FLOOR PLAN
A101	CONCEPT MAIN FLOOR PLAN
A102	CONCEPT UPPER FLOOR PLAN
A200	CONCEPT EXTERIOR ELEVATIONS
A201	CONCEPT EXTERIOR ELEVATIONS
A501	CONCEPT DETAILS
A900	CONCEPT RENDERING
A901	CONCEPT RENDERING
A902	CONCEPT MASSING
A903	CONCEPT MASSING

MARK	ISSUE DESCRIPTION	ISS. DATE	REV. DATE

CAMPBELL - AVENUES HOME  
J STREET PARCEL #2  
SALT LAKE CITY, UTAH ----

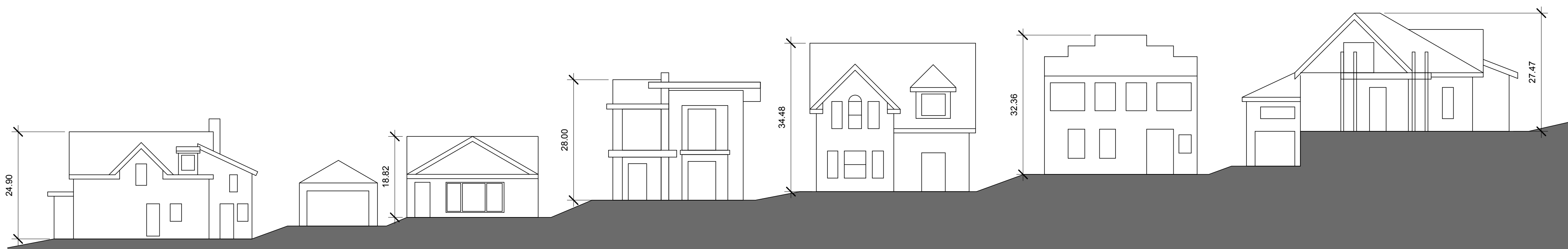


PROJECT NUMBER	
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SCHEMATIC DESIGN	

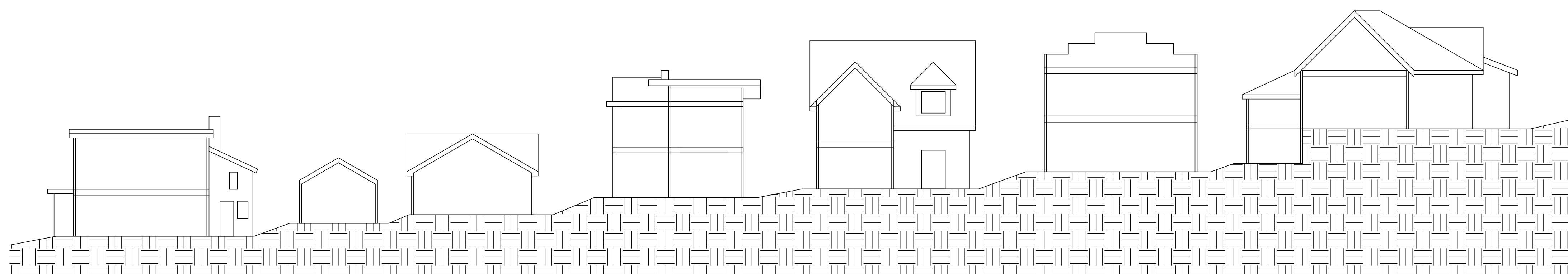
COVER SHEET

DRAWING NUMBER

# G001



**2 BLOCK ELEVATION**  
1/16" = 1'-0"



**3 BLOCK ELEVATION**  
1/16" = 1'-0"



**1 BLOCK IMAGES**  
1/16" = 1'-0"

**BLACKBOX**  
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PROJECT NAME

**J STREET  
RESIDENCE**  
SALT LAKE CITY, UTAH

DATE

Issue Date

REVISIONS

PROJECT NO.

**TYP VXX-2015**

DRAWN BY

**Author**

CHECKED BY

**Checker**

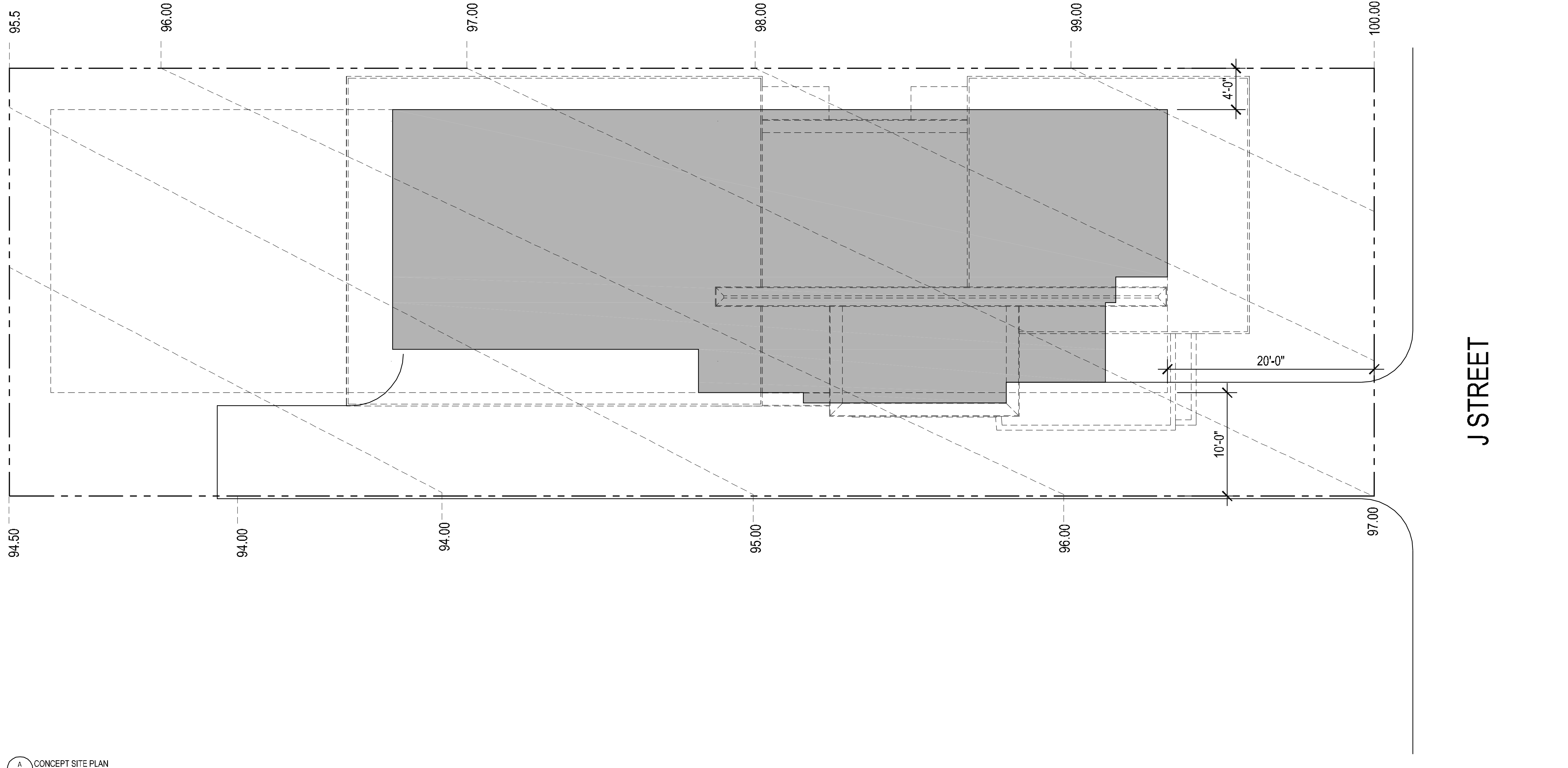
TITLE

**BLOCK FACE STUDY**

SHEET NO.

**B01**

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**A** CONCEPT SITE PLAN  
SD100 SCALE: 3/16" = 1'-0"

MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE

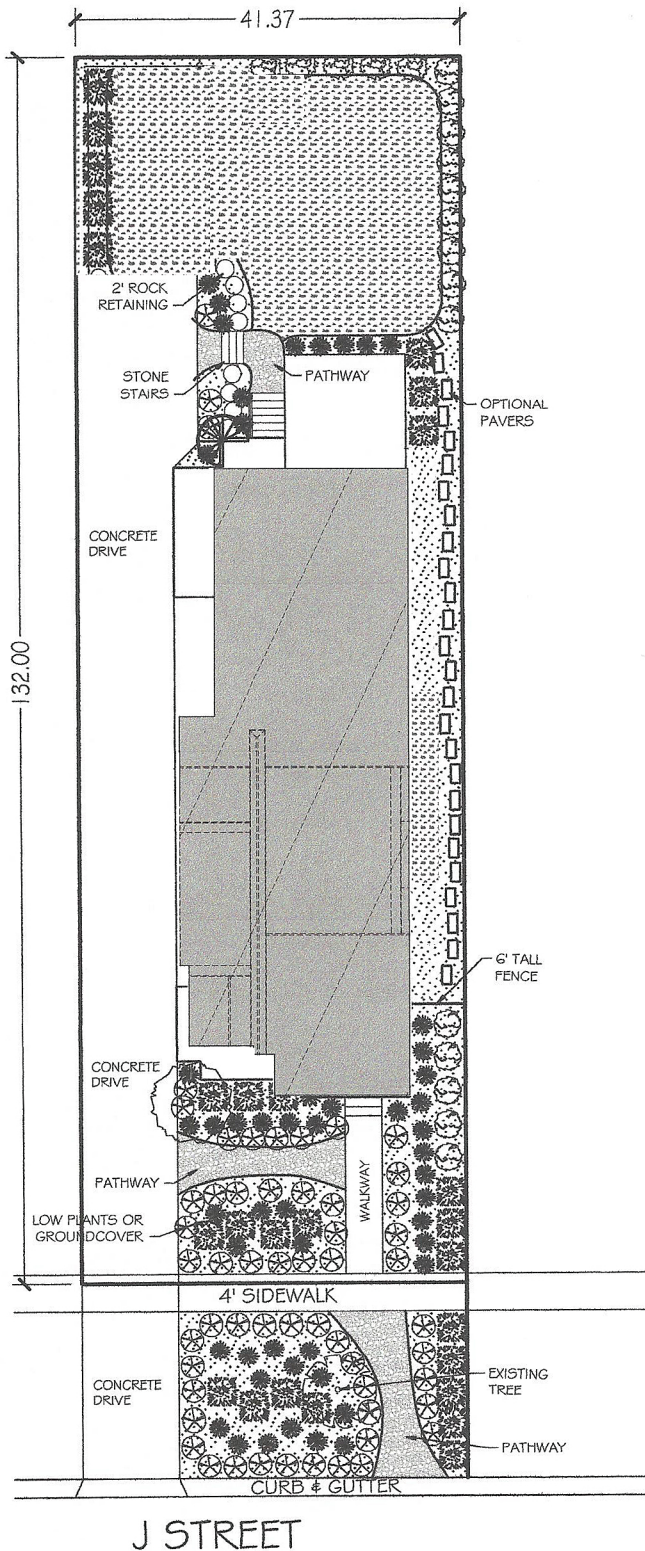
**CAMPBELL - AVENUES HOME**  
J STREET PARCEL #2  
SALT LAKE CITY, UTAH

**BWA**  
ARCHITECTS  
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F 801 438 9501  
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HOLLADAY, UTAH 84121  
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PROJECT NUMBER	
10000	
DWN BY	CHKD BY
SCHEMATIC DESIGN	

CONCEPT SITE PLAN

DRAWING NUMBER  
**SD100**



**LANDSCAPE NOTES**

**IRRIGATION NOTES:**

- AUTOMATIC IRRIGATION REQUIRED
- SEPARATE ZONES FOR LAWN & BEDS
- 100% COVERAGE (HEAD TO HEAD)
- BACKFLOW AS PER SJC
- ALL BEDS MUST BE DRIP IRRIGATED

**PLANTING NOTES:**

- BEDS MUST HAVE PLANTINGS (NO AREAS OF JUST BARK)
- A MIN. OF 4" OF TOP SOIL REQUIRED IN ALL LAWN & PLANTING BEDS
- MULCH REQUIRED IN ALL BEDS
- CONCRETE EDGING NOT PERMITTED. USE STEEL OR COMPOSITE
- PLANTS MUST BE INSTALLED @ SPACING SHOWN ON PLANT LIST
- PRE-EMERGENT WEED CONTROL PRODUCT REQUIRED
- BEDS MUST BE CONTINUOUS ACROSS PARKING STRIP

**STREET TREE SYMBOL LEGEND**

GAS	UTILITY BOX	
ELEC. METER	WATER METER	
HYDRANT	MAIL KIOSK	
TRASH RECEPT.	STREET LIGHT	
AIR COND. EQUIP.	TRANSFORMER	

**TREE SYMBOL LEGEND**

	ACE TRU		FRA CIM		TIL AME
	ACE FRE		PLA ACE		TIL COR
	FRA AME		PYR ARI		ULM FRO
			PYR RED		ZEL SER

**STREETSCAPE TREES (as specified by the Developer)**

ACE TRU	NORWEGIAN SUNSET MAPLE	2" CAL.	25' O.C.
ACE FRE	FREEMAN MAPLE	3 1/2" CAL.	30' O.C.
FRA AME	AUTUMN PURPLE ASH	2" CAL.	20' O.C.
FRA CIM	CIMMARRON ASH	3" CAL.	28' O.C.
PLA ACE	LONDON PLANE TREE	3" CAL.	30' O.C.
PYR ARI	ARISTOCRAT PEAR	2" CAL.	20' O.C.
TIL AME	REDMOND LINDEN	2" CAL.	20' O.C.
TIL COR	GREENSPIRE LINDEN	3" CAL.	28' O.C.
ULM FRO	FRONTIER ELM	2" CAL.	25' O.C.
ZEL SER	VILLAGE GREEN ZELKOVA	3" CAL.	30' O.C.

**DECIDUOUS TREE: (1-1/2" TO 2-1/2" CALIPER)**

CA	CANADA RED	
EM	EMERALD QUEEN MAPLE	
KM	CRIMSON KING MAPLE	
HB	HORNBEAN	
FP	FLOWERING PEAR	
A	MOUNTAIN ASH	
M	MAGNOLIA	
CL	CLUMPS: RIVER BIRCH, CANADA RED	

**TALL PLANT MATERIAL:  
(FND. SHRUBS & HEDGES)**

EVERGREEN TREES (6' TO 8' TALL)

S	SPRUCE (BLUE COLORADO)	
WS	WELL SPIRE	
ST	SKY TRAIL	
V	VAMDER WOLF	
CF	CONCLOR FIRE	
SR	SEQUOIA	
C	CEDARS: LEBINAN, ALASKAN, ATLAS	

**MEDIUM PLANT MATERIAL:**

<b>PERENNIALS (1 gallon)</b>		<b>EVERGREEN SCRUBS (5 GALLON)</b>	
DL	DAY LILLY	N5	NESTING SPRICE
RS	SAGE RUSSIAN	DL	DWARF LAUREL
L	LAVENDER	SB	SCOTCH BROOM
JL	JACOBS LADDER	L	LEATHER LEAF
GF	GAY FEATHER	GE	GOLDEN EMUIMUS
F	FLOX	DL	DWARF BOXWEED
CF	CONE FLOWER	SB	FRASIER PHONTINA
BF	BLACK EYED SUSAN		

**LOW PLANT MATERIAL:**

<b>LAWN &amp; DECORATIVE GRASSES</b>		LAWN
DL	FOUNTAIN GRASS	
RS	FOREST GRASS	BROWN SHREDDED BARK MULCH
L	ZEBRA GRASS	

6' SEMI-PRIVATE FENCE (included in contract). VINYL, U.N.O.

**BANGERTER HOMES**  
10424 SOUTH 2700 WEST  
SOUTH JORDAN, UT 84095  
PH # 801-446-2866  
FAX # 801-446-2834



**CUSTOM 2 STORY**  
"J" STREET  
PARCEL #2

PROJECT NAME:

RED HOUSE DEVELOPMENT

SI

LANDSCAPE PLAN

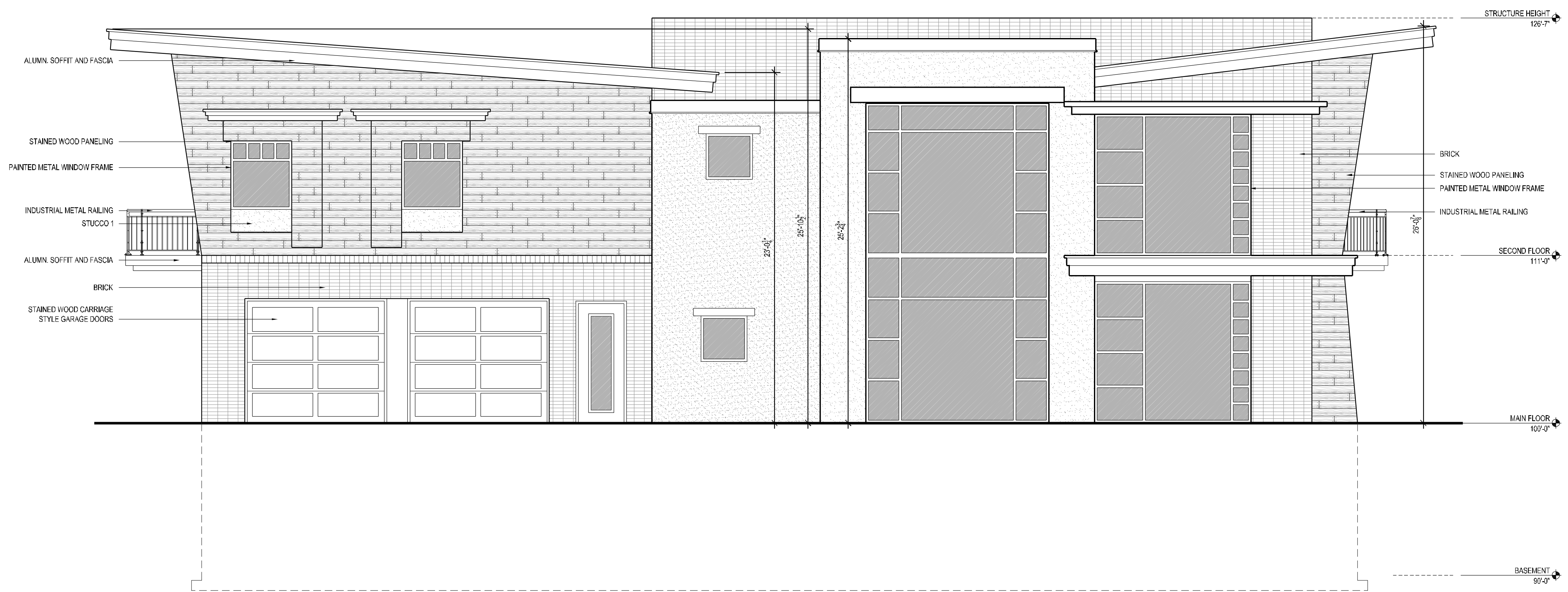




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C3 FRONT ELEVATION  
 A200 SCALE: 1/4" = 1'-0"



A1 LEFT ELEVATION  
 A200 SCALE: 1/4" = 1'-0"

MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE
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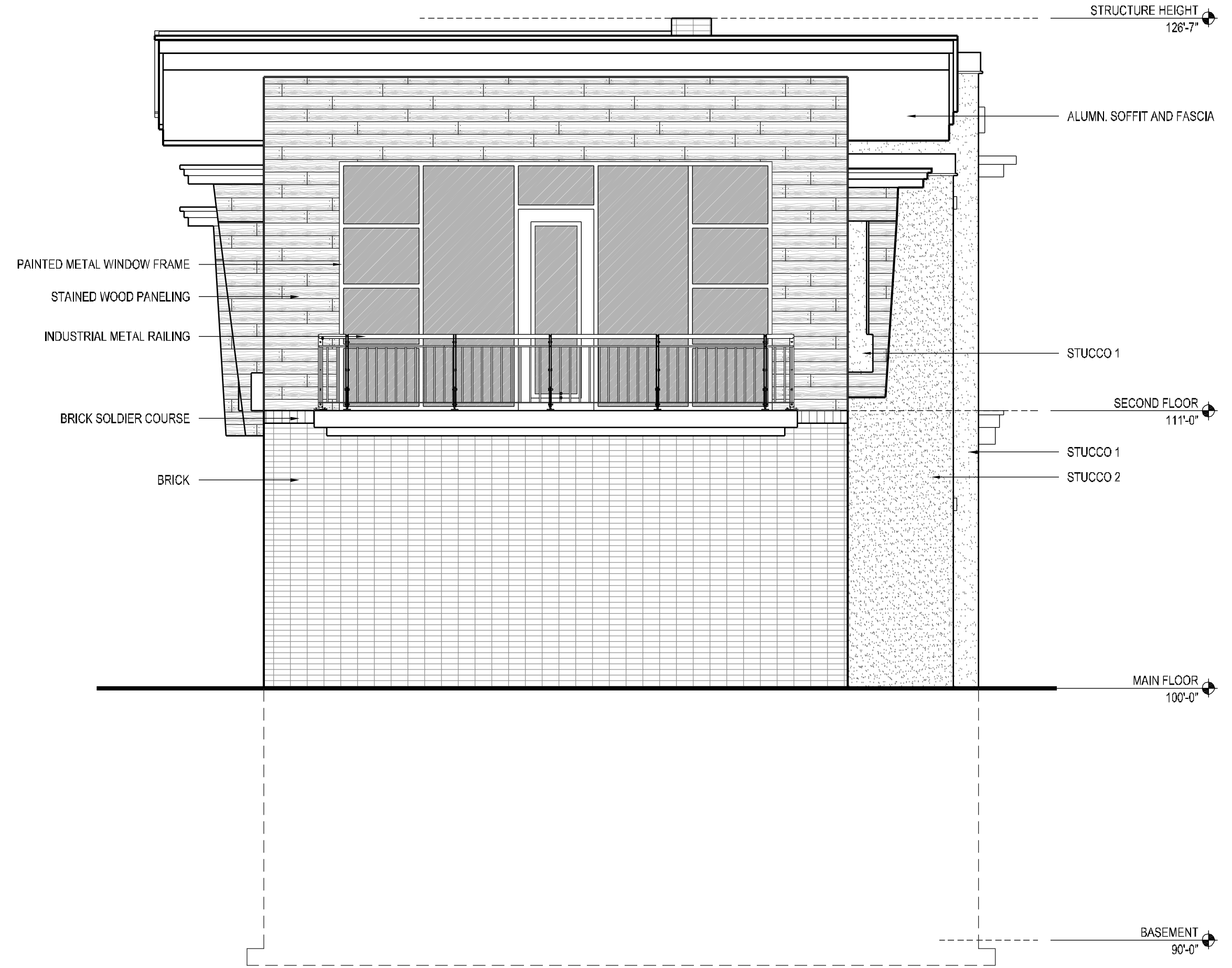
**CAMPBELL - AVENUES HOME**  
 J STREET PARCEL #2  
 SALT LAKE CITY, UTAH

  
**BWA**  
 ARCHITECTS  
 T 801 438 9500  
 F 801 438 9501  
 3115 EAST LION LANE, #200  
 HOLLADAY, UTAH 84121  
 BEECHERWALKER.COM

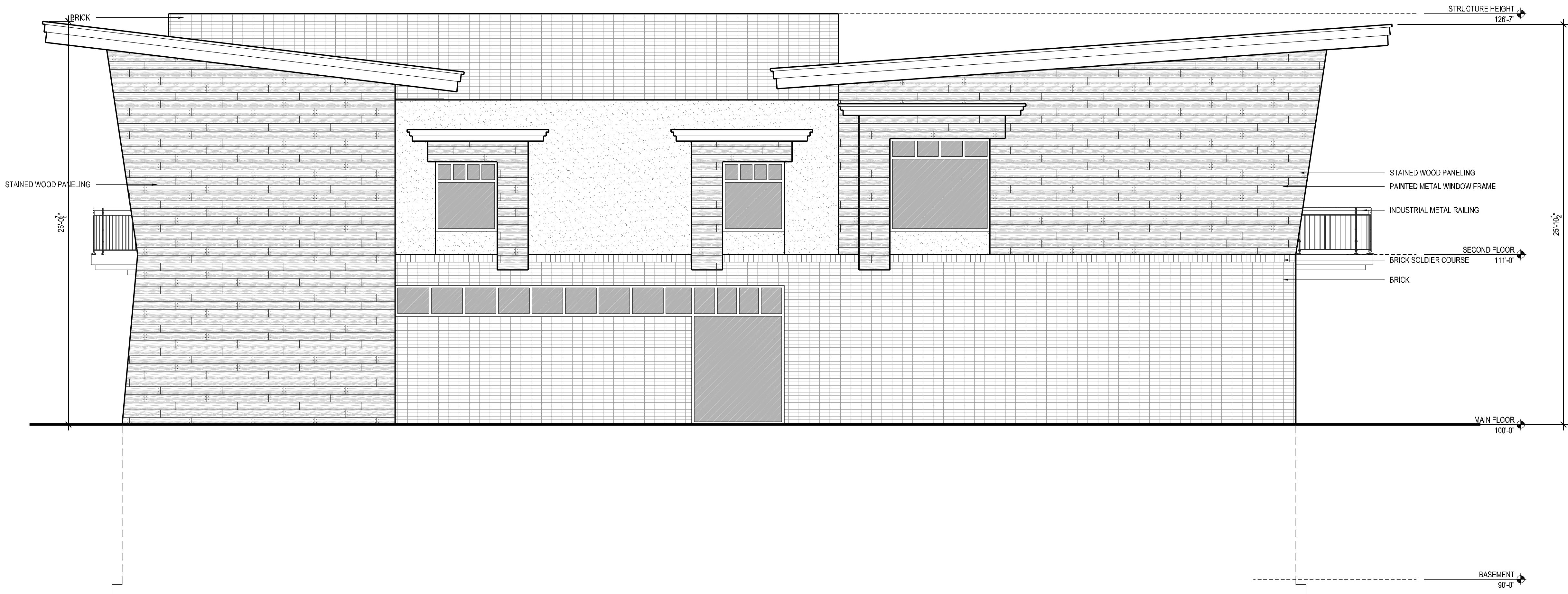
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DWN BY	CHKD BY
A SCHEMATIC DESIGN	

ELEVATIONS  
 DRAWING NUMBER  
**A200**

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**C2 REAR ELEVATION**  
 A201 / SCALE: 1/4" = 1'-0"



**A1 RIGHT ELEVATION**  
 A201 / SCALE: 1/4" = 1'-0"

MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE
D					

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 SALT LAKE CITY, UTAH



PROJECT NUMBER	10000
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ELEVATIONS  
 DRAWING NUMBER  
**A201**

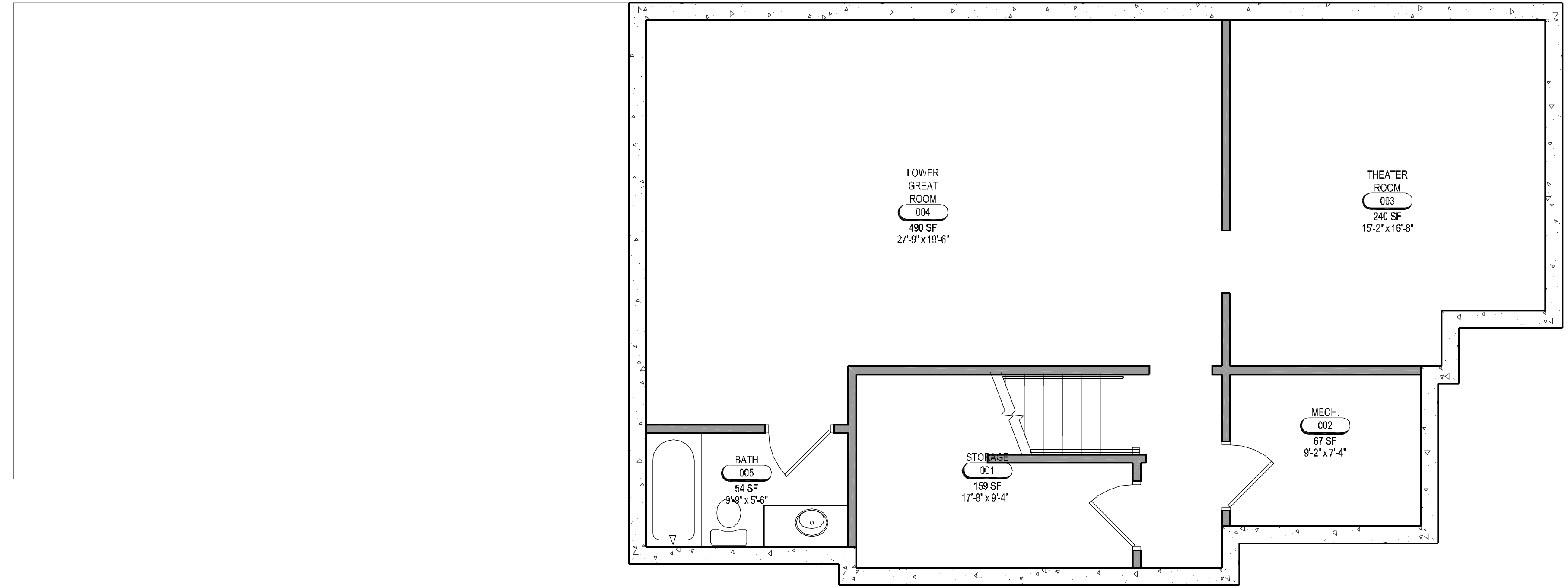
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C

B

A

1 2 3 4 5 6



1161 SQ. FT.

**A** LOWER FLOOR PLAN  
A100 SCALE: 1/4" = 1'-0"

1 2 3 4 5 6

MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE

D

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J STREET PARCEL #2  
SALT LAKE CITY, UTAH

B



PROJECT NUMBER	
10000	
DWN BY	CHKD BY

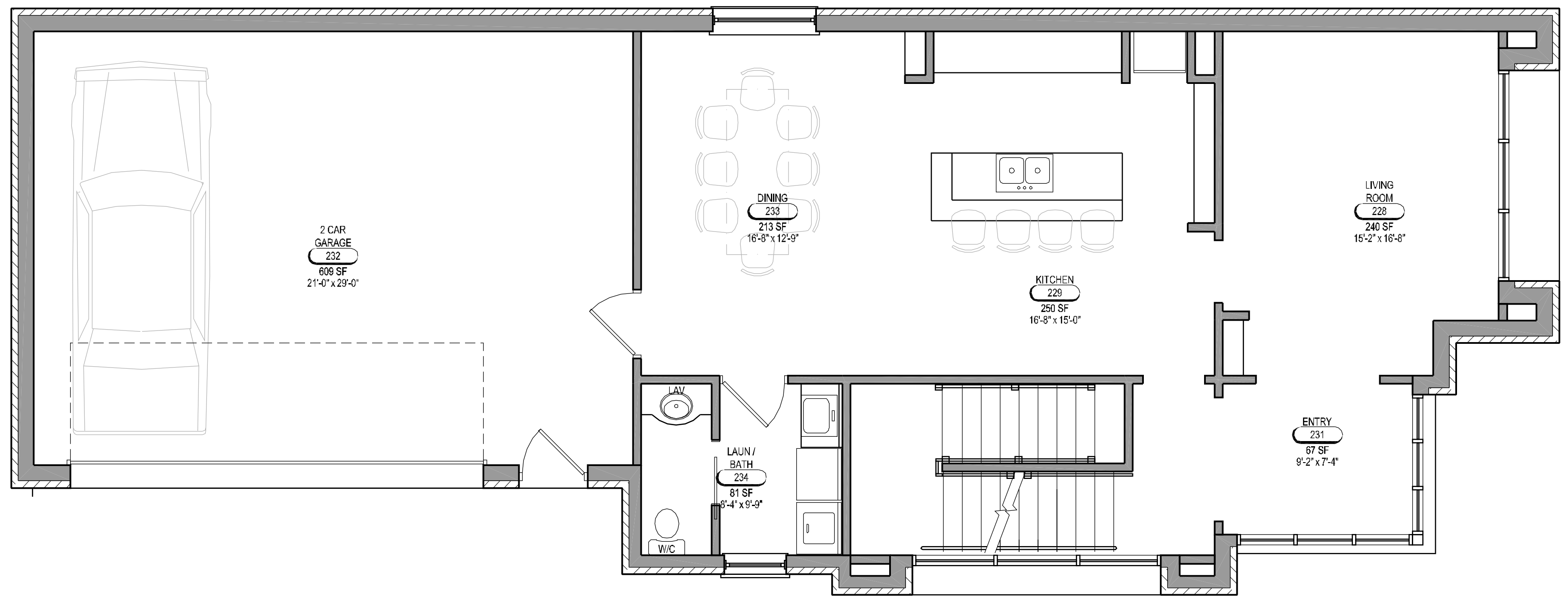
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LOWER FLOOR PLAN

DRAWING NUMBER  
**A100**

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1185 SQ. FT.

**A** MAIN FLOOR PLAN  
A101 SCALE: 1/4" = 1'-0"

MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE

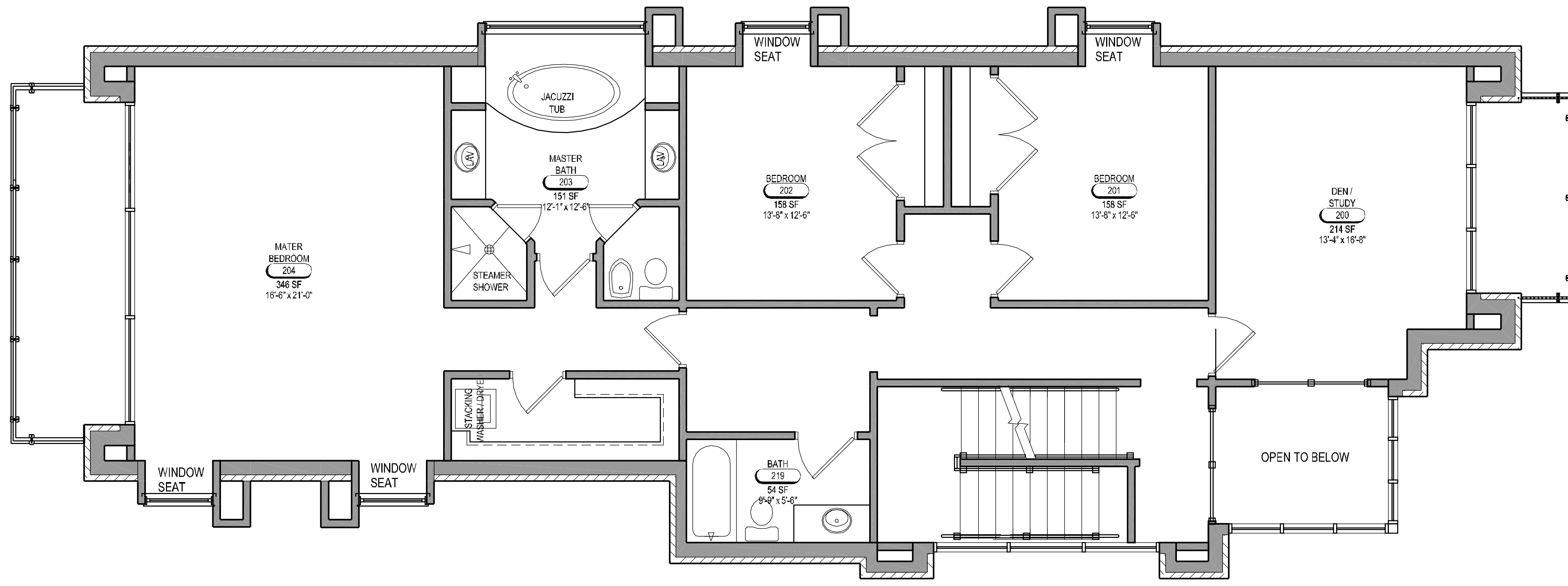
**CAMPBELL - AVENUES HOME**  
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MAIN FLOOR PLAN  
DRAWING NUMBER  
**A101**

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1875 SQ. FT.

**A** UPPER FLOOR PLAN  
A102 SCALE: 1/4" = 1'-0"

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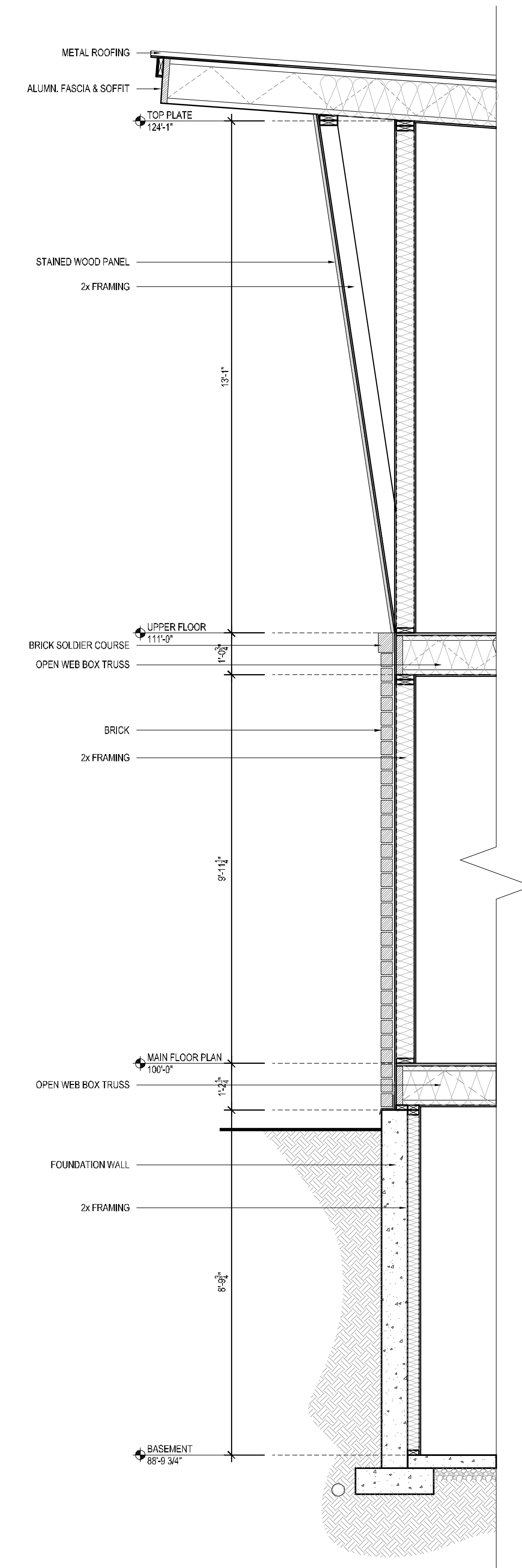
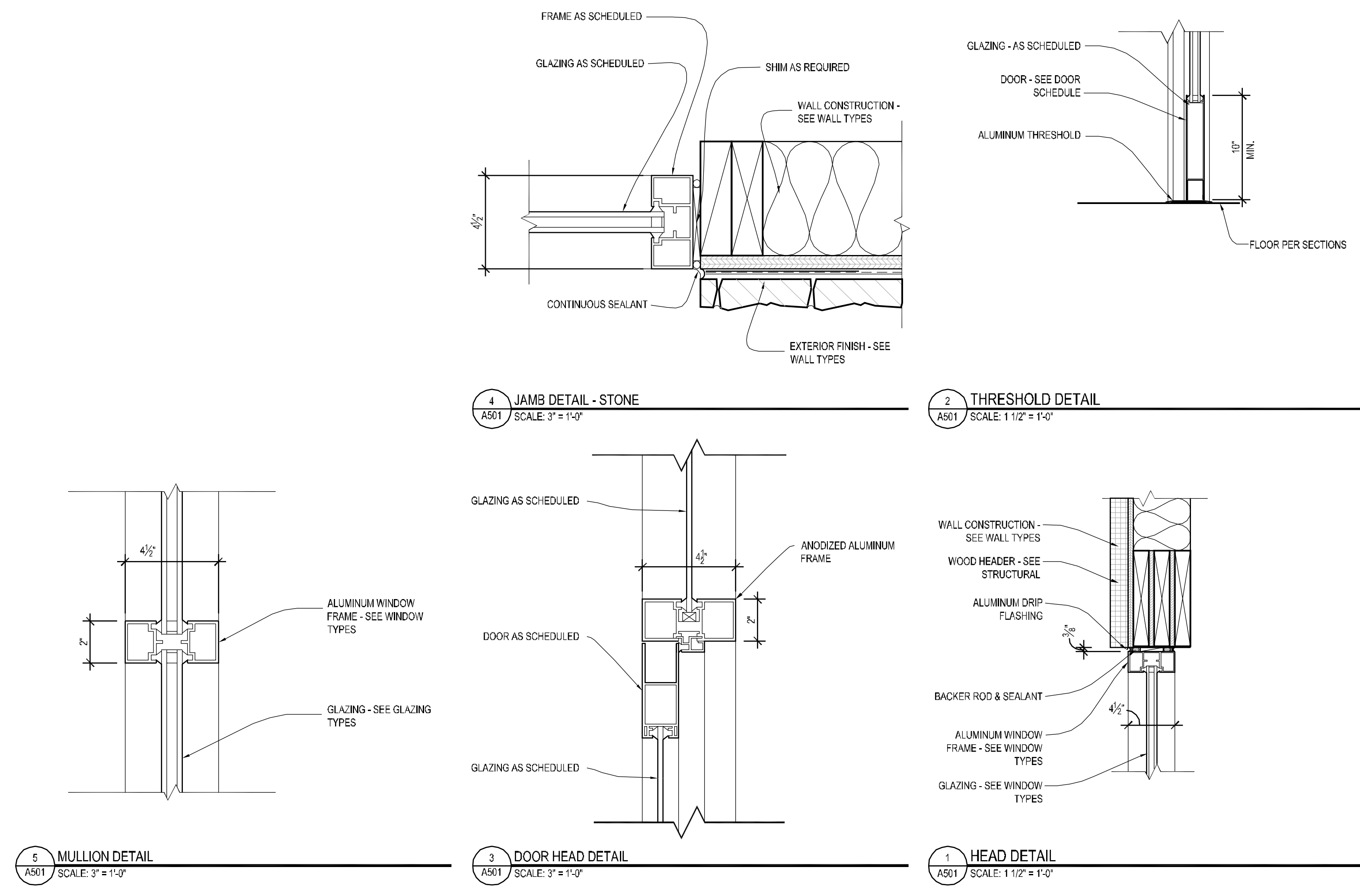
UPPER FLOOR PLAN  
DRAWING NUMBER  
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CONCEPT DETAILS  
DRAWING NUMBER  
**A501**

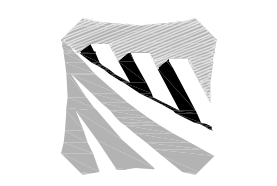
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A1 CONCPET RENDERING  
A900 SCALE: NTS

MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE

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10000	
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CONCEPT RENDERING

DRAWING NUMBER  
**A900**



A1 CONCPET RENDERING  
 A901 SCALE: NTS

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PROJECT NUMBER	10000
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CONCEPT RENDERING  
 DRAWING NUMBER  
**A901**





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 F 801 438 9501  
 3115 EAST LION LANE, #200  
 HOLLADAY, UTAH 84121  
 BEECHERWALKER.COM

PROJECT NUMBER  
 10000  
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CONCEPT MASSING  
 STUDIES  
 DRAWING NUMBER  
**A902**

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ARCHITECTS

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 F 801 438 9501

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BEECHERWALKER.COM

PROJECT NUMBER	
10000	
DWN BY	CHKD BY
SCHEMATIC DESIGN	

CONCEPT MASSING STUDIES

DRAWING NUMBER  
**A903**

## **ATTACHMENT D: PROJECT MATERIALS**

---

What follows is a palette of images submitted by the applicants to represent the materials indicated in current design. The materials used in the revised design are, in many cases, similar to those from the original albeit in different application.

Additional detail on materials has been requested from the applicant and will be added to this section if received.



Two tones of gray stucco



Tan brick



Dark, aluminum-framed windows



**Stained cedar planks**



**Painted aluminum soffit**

## **ATTACHMENT E: APPLICANT INFORMATION**

---

This is a second submission after the HLC gave comments on the previous design and tabled a decision on the underlying petition.

Though the design has changed significantly, it is still operating under the original application, augmented by the petition for Special Exceptions specific to the revised design.



# HP: Major Alteration & New Construction

SALT LAKE CITY PLANNING

### OFFICE USE ONLY

Project #: PLNHLC2015-00945	Received By: K. Lindquist	Date Received: 10-15-15	Zoning: SR-1A
--------------------------------	------------------------------	----------------------------	------------------

Project Name: Redhouse Development

### PLEASE PROVIDE THE FOLLOWING INFORMATION

Request: Jeseca clary New construction

Address of Subject Property: 279 N. J. Street

Name of Applicant: Jeseca clary Phone:

Address of Applicant: 11762 S. Copper Rose way South Jordan

E-mail of Applicant: Jeseca clary@hotmail.com Cell/Fax: 801 637 7623

Applicant's Interest in Subject Property:  
 Owner     Contractor     Architect     Other:

Name of Property Owner (if different from applicant): Jeseca clary, Campbell Dosch

E-mail of Property Owner: Jeseca clary@hotmail.com Phone: 801 637 7623

➔ Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

### AVAILABLE CONSULTATION

➔ Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

### WHERE TO FILE THE COMPLETE APPLICATION

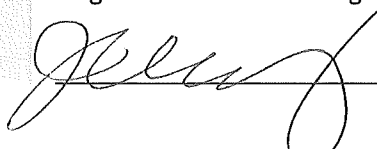
Mailing Address: Planning Counter PO Box 145471 Salt Lake City, UT 84114	In Person: Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
--	--

### REQUIRED FEE

- ➔ Major Alteration: Filing fee of \$30, plus additional cost of postage for mailing notice.
- ➔ New Construction: Filing fee of \$243, plus additional cost of postage for mailing notice.

### SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:  Date: 10/15/15

[09-32-306-001-0000]  
CRAVEN, RICHARD T (TR)  
PO BOX 304  
ARIVACA, AZ 85601

[09-32-302-004-0000]  
BRILL GROUP LLC  
2712 BASIL LN  
LOS ANGELES, CA 90077

[09-32-306-002-0000]  
ETTINGER, KENNETH C & POTTER, R WILLIAM (TC  
207 HERITAGE LN  
PLEASANTON, CA 94566-7451

[09-32-307-014-0000]  
PROPERTIES @ 277 K STREET LLC  
2189 S 4000 W  
REXBURG, ID 83440

[09-32-307-015-0000]  
PROPERTIES @ 275 K STREET LLC  
2189 S 4000 W  
REXBURG, ID 83440

[09-32-307-005-0000]  
GARRETT, ANDY & LORELEI; JT  
308 W 82ND ST #6D  
NEW YORK, NY 10024-5355

[09-32-307-018-0000]  
ANGELL, DAVID J & MYRA; JT  
140 E 650 N  
BOUNTIFUL, UT 84010

[09-32-306-019-0000]  
WEEKS, CAROL  
1413 E CENTER ST  
BOUNTIFUL, UT 84010

[09-32-306-006-0000]  
HILLVIEW RP, LLC  
6792 S 1300 E  
COTTONWOOD HTS, UT 84121-2721

[09-32-303-013-0000]  
TEEL, ELIZABETH W  
1478 E SANDPIPER WY #246  
HOLLADAY, UT 84117

[09-32-306-007-0000]  
CUNNINGHAM, CHRISTOPHER B  
2945 AMERICAN SADDLER DR  
PARK CITY, UT 84060-6874

[09-32-310-002-0000]  
KIUHARA, DIANE & FIELD, ROSEMARY B (JT)  
234 N 'I' ST  
SALT LAKE CITY, UT 84103-3009

[09-32-310-001-0000]  
JOHNSON, KAREN T  
236 N 'I' ST  
SALT LAKE CITY, UT 84103-3009

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WILLIAMS, JIMMIE L  
265 N 'I' ST  
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WHITHAM, SAM  
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JIMENEZ, JAVIER  
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MADRIGAL, ELI & CHRISTIAN A; JT  
275 N 'I' ST  
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MOORE, CAITLYN T V & CRAIG M; JT  
276 N 'I' ST  
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CAGATAY, NILUFER  
277 N 'I' ST  
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ASHTON, ART C & MERLA G; TRS  
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LARSEN, DEVIN G & MELISSA L; JT  
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COOPER, JOHN L, III & SAMANTHA; JT  
231 N 'J' ST  
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BAXTER, STEVEN & DONELLE; JT  
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CEPERNICH, DANICA N  
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POULTON, GEORGE  
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SALT LAKE CITY, UT 84103-3011

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PUHL, JENNIFER J  
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BELLO, CLAUDIO M & VANESSA; JT  
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GRAVES, RANDIN C & CHASE, BRANDI; TRS  
288 N 'J' ST  
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ADAMS, E BROOKE & BOGUS, THOMAS L; TRS  
287 N 'K' ST  
SALT LAKE CITY, UT 84103-3533

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COWLEY, CARLTON W  
1898 E 2700 S  
SALT LAKE CITY, UT 84106-4052

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GAMMON, WILLIAM R; TR  
9 E 500 N  
SALT LAKE CITY, UT 84103-2102

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CROMPTON, DAVID G  
2256 E DOWNINGTON AVE  
SALT LAKE CITY, UT 84108-3012

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URIONA, DEANNE & PACE, JOHN E; TRS  
583 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3002

[09-32-305-010-0000]  
FRENCH, M SHAWN & ELIZABETH M; JT  
587 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3002

[09-32-306-018-0000]  
HARMON, BENJAMIN C  
611 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

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ALEXANDER, ADRIAN B; TR (LSA 2015 IRR TRUST)  
626 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3003

[09-32-306-020-0000]  
ANDERSON, CHRISTOPHER G; TR ( CGA LV TRST )  
627 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

[09-32-306-021-0000]  
MCKENDRICK, EDITH B & DONNOLO, ANNE M; JT  
629 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

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TAHBAZ, JOHN A  
633 E FIFTH AVE  
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SMITH, RYAN K & SHARON R; JT  
670 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3501

[09-32-310-013-0000]  
JONES, ERZA THOMAS P  
1159 E FIRST AVE  
SALT LAKE CITY, UT 84103-4109

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DEBOIS, STEVEN L  
181 E FOURTH AVE  
SALT LAKE CITY, UT 84103-4805

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FEROLIE, LARRY B & ELLEN A; TRS  
2238 S HANNIBAL ST  
SALT LAKE CITY, UT 84106-4157

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PAPEZ, JAROSLAV  
341 W REED AVE  
SALT LAKE CITY, UT 84103-1434

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NMOPRO LLC  
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SALT LAKE CITY, UT 84105-2545

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621 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

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HENRICHSEN, KIRK B & ESTHER R; JT  
621 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

[09-32-306-009-0000]  
RIECK, CARI LEE  
622 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

[09-32-306-010-0000]  
GARDNER, JAMES R & LYNN F; JT  
626 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

[09-32-306-008-0000]  
GARDNER, JAMES R & LYNN F; TC  
626 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

[09-32-302-008-0000]  
BOWTON, LINDSAY K  
633 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

[09-32-306-011-0000]  
NORVELL, RUSSELL & CACHELIN, ADRIENNE M; JT  
634 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

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WILLIAMSON, JAMES E  
638 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

[09-32-302-013-0000]  
ROBERTS-MORRIS, JULIE; TR (JRM LIV TRUST)  
641 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

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CLARK, DIANE L  
664 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3520

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WELLER, SAM & LILA N.  
665 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3521

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CRAVEN, RICHARD T (TR)  
PO BOX 304  
ARIVACA, AZ 85601

[09-32-302-004-0000]  
BRILL GROUP LLC  
2712 BASIL LN  
LOS ANGELES, CA 90077

[09-32-306-002-0000]  
ETTINGER, KENNETH C & POTTER, R WILLIAM (TC  
207 HERITAGE LN  
PLEASANTON, CA 94566-7451

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PROPERTIES @ 277 K STREET LLC  
2189 S 4000 W  
REXBURG, ID 83440

[09-32-307-015-0000]  
PROPERTIES @ 275 K STREET LLC  
2189 S 4000 W  
REXBURG, ID 83440

[09-32-307-005-0000]  
GARRETT, ANDY & LORELEI; JT  
308 W 82ND ST #6D  
NEW YORK, NY 10024-5355

[09-32-307-018-0000]  
ANGELL, DAVID J & MYRA; JT  
140 E 650 N  
BOUNTIFUL, UT 84010

[09-32-306-019-0000]  
WEEKS, CAROL  
1413 E CENTER ST  
BOUNTIFUL, UT 84010

[09-32-306-006-0000]  
HILLVIEW RP, LLC  
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COTTONWOOD HTS, UT 84121-2721

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TEEL, ELIZABETH W  
1478 E SANDPIPER WY #246  
HOLLADAY, UT 84117

[09-32-306-007-0000]  
CUNNINGHAM, CHRISTOPHER B  
2945 AMERICAN SADDLER DR  
PARK CITY, UT 84060-6874

[09-32-310-002-0000]  
KIUHARA, DIANE & FIELD, ROSEMARY B (JT)  
234 N 'I' ST  
SALT LAKE CITY, UT 84103-3009

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JOHNSON, KAREN T  
236 N 'I' ST  
SALT LAKE CITY, UT 84103-3009

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WILLIAMS, JIMMIE L  
265 N 'I' ST  
SALT LAKE CITY, UT 84103-3066

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WHITHAM, SAM  
271 N 'I' ST  
SALT LAKE CITY, UT 84103-3066

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JIMENEZ, JAVIER  
272 N 'I' ST  
SALT LAKE CITY, UT 84103-3067

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MADRIGAL, ELI & CHRISTIAN A; JT  
275 N 'I' ST  
SALT LAKE CITY, UT 84103-3066

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MOORE, CAITLYN T V & CRAIG M; JT  
276 N 'I' ST  
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CAGATAY, NILUFER  
277 N 'I' ST  
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ASHTON, ART C & MERLA G; TRS  
280 N 'I' ST  
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LARSEN, DEVIN G & MELISSA L; JT  
227 N 'J' ST  
SALT LAKE CITY, UT 84103-3012

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COOPER, JOHN L, III & SAMANTHA; JT  
231 N 'J' ST  
SALT LAKE CITY, UT 84103-3012

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BAXTER, STEVEN & DONELLE; JT  
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SALT LAKE CITY, UT 84103-3014

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KIEL, PAUL H & JUDITH H; JT  
258 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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BELLO, CLAUDIO M & VANESSA; JT  
262 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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SINNER, CASEY J & MARY; JT  
270 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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MURTHA, HELEN H  
276 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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GRAVES, RANDIN C & CHASE, BRANDI; TRS  
288 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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ADAMS, E BROOKE & BOGUS, THOMAS L; TRS  
287 N 'K' ST  
SALT LAKE CITY, UT 84103-3533

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COWLEY, CARLTON W  
1898 E 2700 S  
SALT LAKE CITY, UT 84106-4052

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GAMMON, WILLIAM R; TR  
9 E 500 N  
SALT LAKE CITY, UT 84103-2102

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CROMPTON, DAVID G  
2256 E DOWNINGTON AVE  
SALT LAKE CITY, UT 84108-3012

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URIONA, DEANNE & PACE, JOHN E; TRS  
583 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3002

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FRENCH, M SHAWN & ELIZABETH M; JT  
587 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3002

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HARMON, BENJAMIN C  
611 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

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ALEXANDER, ADRIAN B; TR (LSA 2015 IRR TRUST)  
626 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3003

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ANDERSON, CHRISTOPHER G; TR ( CGA LV TRST )  
627 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

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MCKENDRICK, EDITH B & DONNOLO, ANNE M; JT  
629 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

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TAHBAZ, JOHN A  
633 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

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SMITH, RYAN K & SHARON R; JT  
670 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3501

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JONES, ERZA THOMAS P  
1159 E FIRST AVE  
SALT LAKE CITY, UT 84103-4109

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DEBOIS, STEVEN L  
181 E FOURTH AVE  
SALT LAKE CITY, UT 84103-4805

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FEROLIE, LARRY B & ELLEN A; TRS  
2238 S HANNIBAL ST  
SALT LAKE CITY, UT 84106-4157

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PAPEZ, JAROSLAV  
341 W REED AVE  
SALT LAKE CITY, UT 84103-1434

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NMOPRO LLC  
1267 E SHERMAN AVE  
SALT LAKE CITY, UT 84105-2545

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HENRICHSEN, KIRK B & ESTHER T; JT  
621 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

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HENRICHSEN, KIRK B & ESTHER R; JT  
621 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

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RIECK, CARI LEE  
622 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

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GARDNER, JAMES R & LYNN F; JT  
626 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

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GARDNER, JAMES R & LYNN F; TC  
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SALT LAKE CITY, UT 84103-3044

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633 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

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634 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

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WILLIAMSON, JAMES E  
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ROBERTS-MORRIS, JULIE; TR (JRM LIV TRUST)  
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CLARK, DIANE L  
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WELLER, SAM & LILA N.  
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SALT LAKE CITY, UT 84103-3521

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SCHWARTING, TAMARA  
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SALT LAKE CITY, UT 84103-3520

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SANDY, UT 84092-5127

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1713 E SUSAN DR  
SANDY, UT 84092-5143

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SANDY, UT 84092-5143

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TAYLORSVILLE, UT 84129-1456

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Salt Lake City, UT 84103-3045

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Salt Lake City, UT 84103-3067

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623 E 5TH AVE  
Salt Lake City, UT 84103-3008

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Salt Lake City, UT 84103-3533

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277 N K ST  
Salt Lake City, UT 84103-3533

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236 N I ST  
Salt Lake City, UT 84103-3009

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234 N I ST  
Salt Lake City, UT 84103-3009

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Resident  
620 E 5TH AVE  
Salt Lake City, UT 84103-3006

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626 E 5TH AVE  
Salt Lake City, UT 84103-3003

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Resident  
630 E 5TH AVE  
Salt Lake City, UT 84103-3003

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632 E 5TH AVE  
Salt Lake City, UT 84103-3003

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239 N J ST  
Salt Lake City, UT 84103-3012

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Resident  
231 N J ST  
Salt Lake City, UT 84103-3012

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Resident  
240 N J ST  
Salt Lake City, UT 84103-3011

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Resident  
236 N J ST  
Salt Lake City, UT 84103-3011

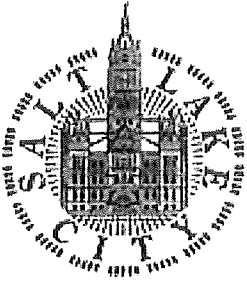
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Salt Lake City, UT 84103-3501

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227 N J ST  
Salt Lake City, UT 84103-3012

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Resident  
641 E 6TH AVE  
Salt Lake City, UT 84103-3045

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Resident  
664 E 6TH AVE  
Salt Lake City, UT 84103-3520

[09-32-307-026-0000]  
Resident  
280 N J ST  
Salt Lake City, UT 84103-3014



# SALT LAKE CITY CORPORATION

**Buzz Center**

451 South State Street, Room 215 Phone: (801) 535-7700  
P.O. Box 145471 Fax : (801) 535-7750  
Salt Lake City, Utah 84114

Date: Oct 15, 2015

REDHOUSE DEVELOPMENT

HISTORIC LANDMARK COMMISSION

11762 S. COPPER ROSE WAY  
SOUTH JORDAN, UT 84095

**Project Name:** REDHOUSE DEVELOPMENT

**Project Address:** 279 N J ST

**Detailed Description:**



\* P L N H L C 2 0 1 5 - 0 0 8 4 5 \*

NEW CONSTRUCTION 279 N. J STREET

Description	Qty	Dept	C Ctr	Obj	Amount		
					Invoice	Paid	Due
<b>Invoice Number: 1280459</b>							
Filing Fee	1	06	00900	1485	\$243.00	\$0.00	\$243.00
Postage for Planning Petitions	131	06	00900	1890	\$64.19	\$0.00	\$64.19
<b>Total for invoice 1280459</b>					<b>\$307.19</b>	<b>\$0.00</b>	<b>\$307.19</b>
<b>Total for PLNHLC2015-00845</b>					<b>\$307.19</b>	<b>\$0.00</b>	<b>\$307.19</b>

OFFICE USE ONLY

Intake By: LK2729

CAP ID #

PLNHLC2015-00845

Total Due: \$307.19



www.slcpermits.com



\* P L N H L C 2 0 1 5 - 0 0 8 4 5 \*

Treasurer's Office  
Rcpt# 1347314  
PL PLNHLC2015-00845 CAM  
\$307.19 10/15/2015

Please Keep This Box Clear



# Special Exception NOTICE OF APPLICATION

Planning Commission

Historic Landmark Commission

### OFFICE USE ONLY

Project #: <i>PLNHLC2016-00276</i>	Received By: <i>L. Parisi</i>	Date Received: <i>4/19/2016</i>	Zoning: <i>SR-1A</i>
---------------------------------------	----------------------------------	------------------------------------	-------------------------

Project Name:  
Dosch-Clary Residential New Construction

### PLEASE PROVIDE THE FOLLOWING INFORMATION

Type of Special Exception Requested:  
Project Height

Address of Subject Property:  
279 North J Street

Name of Applicant:  
Jeseca Clary

Phone:  
801.637.7623

Address of Applicant:

E-mail of Applicant:  
jesecaclary@hotmail.com / campbelldosch@gmail.com

Cell/Fax:

Applicant's Interest in Subject Property:

Owner     Contractor     Architect     Other:

Name of Property Owner (if different from applicant):

E-mail of Property Owner:

Phone:

➔ **Please note** that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

### WHERE TO FILE THE COMPLETE APPLICATION

Mailing Address: Planning Counter  
PO Box 145471  
Salt Lake City, UT 84114

In Person: Planning Counter  
451 South State Street, Room 215  
Telephone: (801) 535-7700

### REQUIRED FEE

➔ Filing fee of \$243, plus cost of postage for mailing notice to abutting property owners and tenants

### SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:

Date:

SALT LAKE CITY PLANNING





# Special Exception NOTICE OF APPLICATION

SALT LAKE CITY PLANNING

Planning Commission

Historic Landmark Commission

### OFFICE USE ONLY

Project #:	Received By:	Date Received:	Zoning:

Project Name:

### PLEASE PROVIDE THE FOLLOWING INFORMATION

Type of Special Exception Requested: Height

Address of Subject Property: 279 N J Street

Name of Applicant: RED HOUSE DEV. Phone: 801 637 7023

Address of Applicant: 11762 Copper Rose Way So Jordan 84095

E-mail of Applicant: Jeseca Clary@hotmail.com Cell/Fax:

Applicant's Interest in Subject Property:

Owner  Contractor  Architect  Other:

Name of Property Owner (if different from applicant):

Campbell Dorsch

E-mail of Property Owner: CampbellDorsch@gmail.com Phone: 801 413 4702

➔ Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

### WHERE TO FILE THE COMPLETE APPLICATION


<b>Mailing Address:</b> Planning Counter PO Box 145471 Salt Lake City, UT 84114	<b>In Person:</b> Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
---	---

### REQUIRED FEE

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### SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:	Date:
	

# GENERAL LETTER



**BWA**

ARCHITECTS

T 801 438 9500  
F 801 438 9501

3115 EAST LION LANE #200  
HOLLADAY, UTAH 84121

BEECHERWALKER.COM

TO:  
Salt Lake City

DATE: April 19, 2016

RE:  
Special Exception

This letter is to give a general description to the proposed project in regards to the Planning Division of Salt Lake City. Here is the comments from planning that is being addressed in this description:

The proposed design will need the following special exceptions, all of which can be addressed in a single petition:

- Exceeds Maximum Pitched Roof Height (Maximum: 23' [27.61 feet, via block face averaging], Proposal: 31'6")
- Exceeds Maximum Flat Roof Height (Maximum: 16', Proposal: 29'3")
- Exceeds Maximum Exterior Wall Height. (Maximum: 16', Proposal: 31'6")

In regards to the maximum Pitched Roof height of 23'-0" per code for this area, The maximum height of this construction is to be 26'-0 7/8" from Main floor of 100'-0" We are setting our main floor height at Grade 97 per the site plan in the submittal documents. With this height from existing grade of 97/100 and a maximum height is 27.61 feet via block face averaging, the new construction conforms to the exception.

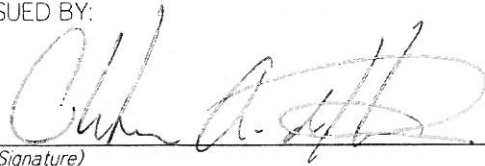
The project also has a flat roof element that goes beyond the maximum of 16'-0". This architectural element is broken up with glass showing a stair tower that enhances and the look and feel of the structure, giving it an openness of the spirit of the intent of the city's design requirement for the area in regards to new construction. To achieve the look of a non-linear straight line and to break up the fenestration this element, based off the above calculation, is at 25'-2 3/4" above the finish main floor.

In the design process we wanted a feature that would anchor the house and give a look that is consistent in both materials and look within guidelines of surrounding areas of Salt Lake. We opted to do a feature wall in place of a fireplace and chimney design. With the openness of the glass and this feature wall breaking the visual impact from both inside and outside. This wall while just a single wall gives an individual look while maintaining the floor of design with the flat roofs and the single pitched roofs that are called for in this design. This wall while at a 26'-7" from finish main floor does not exceed overall height of via block face averaging.

We feel that this design meets the requirements and the intent of the design requirements that will enhance the area and offer great design in this historic neighborhood.

Sincerely,  
Beecher Walker & Associates

ISSUED BY:



(Signature)

APRIL 19 2016

(Date)

NO.	REV.	DATE	BY	DESCRIPTION
1				
2				
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4				
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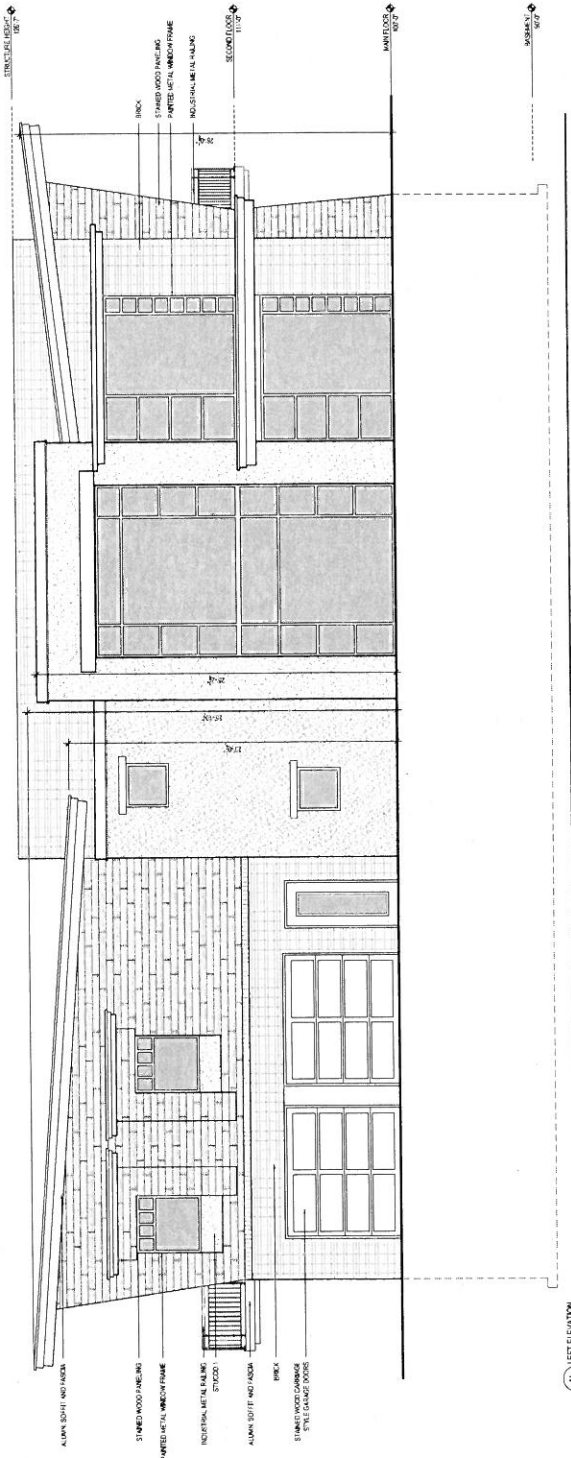
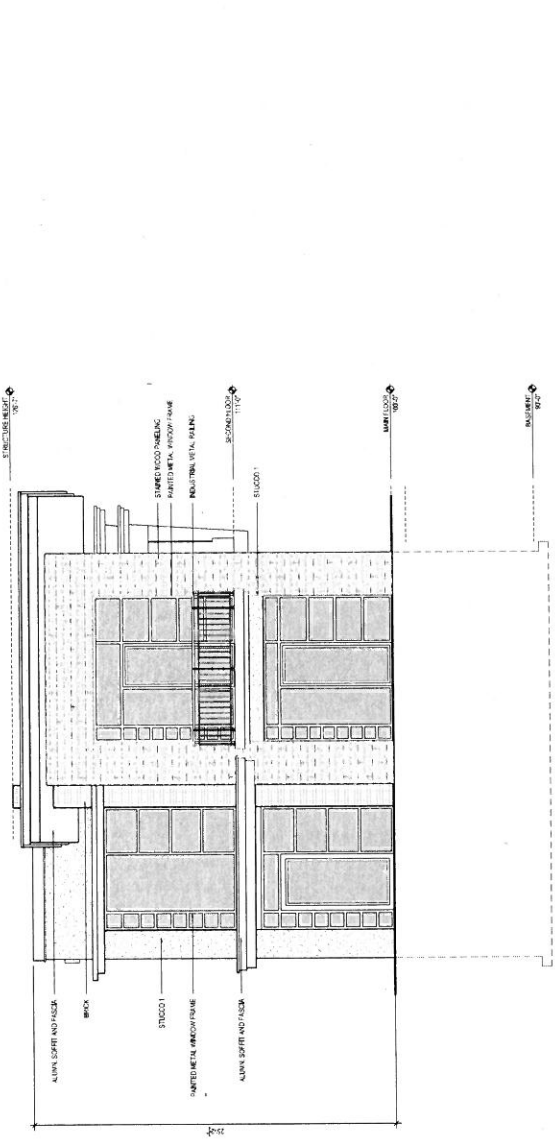
CAMPBELL - AVENUES HOME  
 J STREET PARCEL #2  
 SALT LAKE CITY, UTAH

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 10000  
 DWG NO. CH037  
 SCHEMATIC DESIGN

ELEVATIONS  
 DRAWING NUMBER

A200



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CAMPBELL - AVENUES HOME  
1 STREET PARCEL #2  
SALT LAKE CITY, UTAH

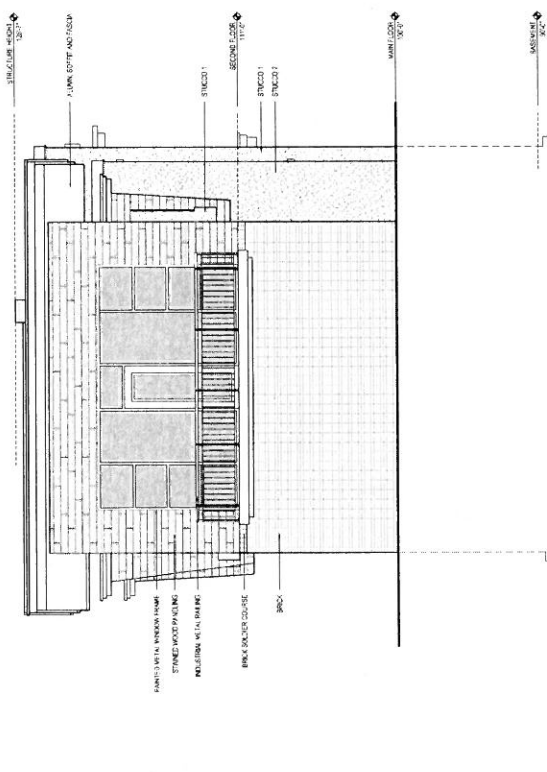
SCHEMATIC DESIGN

ELEVATIONS

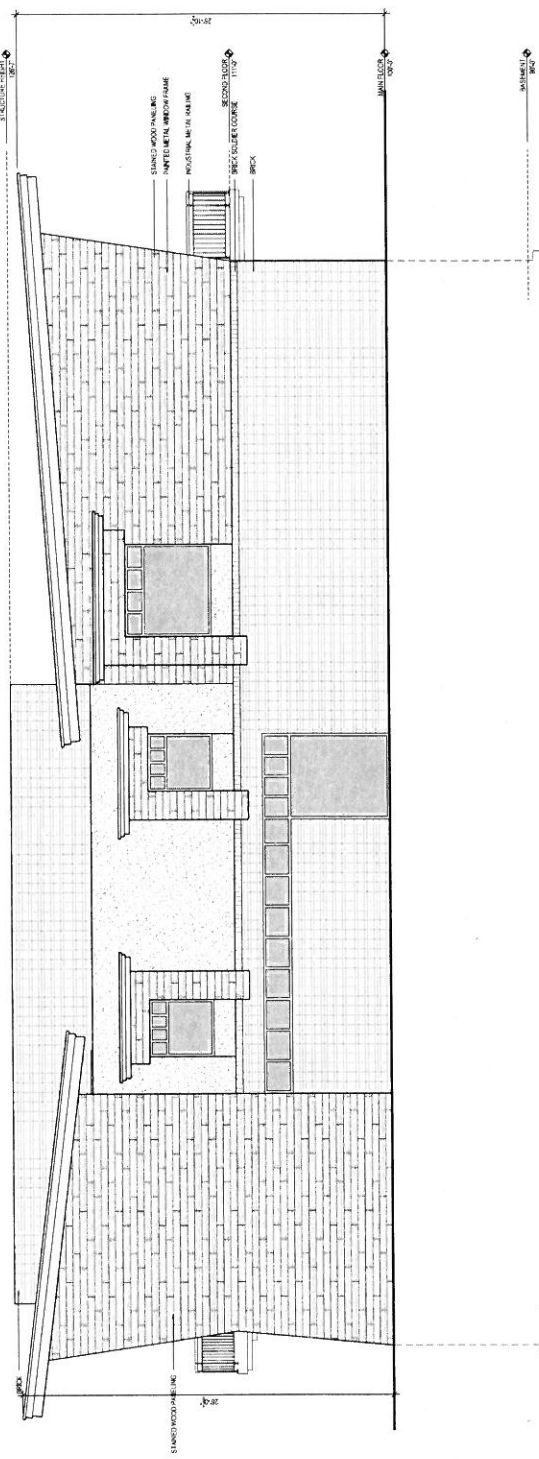
DRAWING NUMBER

A201

REV.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	10/20/19
2	REVISED PER COMMENTS	11/05/19
3	REVISED PER COMMENTS	11/15/19
4	REVISED PER COMMENTS	11/25/19
5	REVISED PER COMMENTS	12/05/19
6	REVISED PER COMMENTS	12/15/19
7	REVISED PER COMMENTS	12/25/19
8	REVISED PER COMMENTS	01/05/20
9	REVISED PER COMMENTS	01/15/20
10	REVISED PER COMMENTS	01/25/20



1. BRICK GABLE COURSE  
SCALE: 1/4"=1'-0"



2. BRICK GABLE COURSE  
SCALE: 1/4"=1'-0"



# SALT LAKE CITY CORPORATION

Buzz Center

451 South State Street, Room 215 Phone: (801) 535-7700  
P.O. Box 145471 Fax : (801) 535-7750  
Salt Lake City, Utah 84114

Date: Apr 19, 2016

RED HOUSE DEVELOPMENT

HISTORIC LANDMARK COMMISSION

11762 COPPER ROSE WAY  
SOUTH JORDAN, UT 84095

Project Name: ADDITIONAL HEIGHT

Project Address: 279 N J ST

Detailed Description:



\* P L N H L C 2 0 1 6 - 0 0 2 7 6 \*

SPECIAL EXCEPTION FOR ADDITIONAL HEIGHT TO ACCOMMODATE NEW CONSTRUCTION AT 279 N. J STREET.

Description	Qty	Dept	C Ctr	Obj	Amount		
					Invoice	Paid	Due
Invoice Number: 1326313							
Filing Fee	1	06	00900	125111	\$243.00	\$0.00	\$243.00
Total for invoice 1326313					\$243.00	\$0.00	\$243.00
Total for PLNHLC2016-00276					\$243.00	\$0.00	\$243.00

OFFICE USE ONLY  
Intake By: PL4788

CAP ID #  
PLNHLC2016-00276  
Total Due: \$243.00



Treasurer's Office  
Rcpt# 1266844  
PL PLNHLC2016-00276  
\$243.00 4/19/2016



\* P L N H L C 2 0 1 6 - 0 0 2 7 6 \*

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Please Keep This  
Box Clear

# ATTACHMENT F: EXISTING CONDITIONS AND SITE IMAGES

The site is currently vacant, and is surrounded on all four sides by single family residential and non-conforming multi-family residential buildings.

## Zoning Ordinance Standards for SR-1A (21A.24.080)

The relationship of the proposed development to the SR-1A (Special Development Pattern Residential District) zoning district as well as general provisions related to lot and bulk control is summarized below.

SR-1A Zoning Standards	Proposed	Compliance
<b>Minimum Lot Area And Lot Width:</b> 5,000 square feet and 50 feet for SFR	Lot size of approximately 5,461 sq feet ft with a width of approximately 41.37 feet	<b>Complies</b> (Legal Non-Complying Lot)
<b>Maximum Building Coverage:</b> 40%	40% of the lot coverage = 2,184 sq ft Proposed lot coverage = 1,873 sq ft	<b>Complies, based on submitted lot coverage calculations</b>
<b>Interior Side Yard Setback (north)</b> -4 ft.	4 ft.	<b>Complies</b>
<b>Interior Side Yard Setback (south)</b> -10 ft.	10 ft.	<b>Complies</b>
<b>Building Height:</b> Maximum, Flat Roof: 16 ft. Maximum, Pitched Roof: 23 ft., (or block face avg., 27.6 ft.) Maximum, Wall Height: 23 ft.	Proposed Flat Roof Height: 29' 3" Proposed Pitched Roof Height: 31' 6" Proposed Wall Height: 31'6"	<b>Does Not Comply</b> <b>Necessary Special Exceptions Addressed.</b>
<b>Front Yard Setback:</b> Minimum: The average of the front yards of existing buildings within the block face the block face. (16 ft.)	20 ft	<b>Complies</b>
<b>Rear Yard Setback:</b> Twenty five percent (25%) of the lot depth, but not less than fifteen feet (15') and need not exceed thirty feet (30').	30 ft	<b>Complies</b>

**Context Photographs**



**Block Face – North of Project Site**



**Block Face – Project Site**



**Block Face – South of Project Site**



288 J Street



280 J Street



276 J Street



270 J Street



264 J Street



262 J Street



252 J Street

PLNHLC2015-00845 and 2016-00276  
New Construction and Special Exceptions – 279 N J Street



# **ATTACHMENT G: HISTORIC PRESERVATION STANDARDS**

## **H Historic Preservation Overlay District - Standards for Certificate of Appropriateness Involving New Construction or Alteration of a Noncontributing Structure (21A.34.020.H)**

In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the historic landmark commission, or planning director, when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually compatible with surrounding structures and streetscape and is in the best interest of the city:

<b>Standard</b>	<b>Analysis and <i>Design Guideline Referenced</i></b>	<b>NC Finding</b>	<b>SE Finding</b>
<p><b>1. SCALE &amp; FORM</b>  <b>1.a Height &amp; Width:</b> The proposed height and width shall be visually compatible with surrounding structures and streetscape;</p>	<p><u>Height</u>                      The immediate context for this proposed building is the west frontage of J Street. The block face entirely residential, though at least one building has styling that potentially suggests a commercial land use in the past.</p> <p>J Street descends in elevation as it traverses the Avenues from north to south, and there are several fairly tall structures immediately to the north of the site.</p> <p>Though, in the opinion of staff, the proposed design is unnecessarily tall, some height beyond what is allowed by underlying zoning would help the design mitigate the slope of the Avenues and balance the height difference between adjacent existing properties.</p> <p><i>RDG 12.6 - A new building should appear similar in scale to the established scale of the current street block.</i>  <i>RDG 12.9 - Building heights should appear similar to those found historically in the district.</i></p> <p><u>Width</u>                      The lot legal, non-conforming as to width, a common disposition among properties in the Avenues. This necessarily restricts width to conform to required side yards. The proposed building is of similar width to other properties in the area and is sympathetic to the overall pattern of building along the block face. Further, the front façade is modulated and ‘stepped back’, in part to reduce the apparent width of the building.</p> <p><i>RDG 12.6 - A new building should appear similar in scale to the established scale of the current street block.</i>  <i>RDG 12.11 - A new building should appear similar in width to that established by nearby historic buildings.</i></p>	<p><u>Height</u>                      With staff suggested conditions, the height of proposed development may accord with the objectives of this standard.</p> <p><u>Width</u>                      The proposed design satisfies the objectives of this standard.</p>	<p><u>Height</u>                      Supports granting SE for additional height.</p> <p><u>Width</u>                      Does not pertain to SE for additional height.</p>

<p><b>1.b Proportion of Principal Facades:</b> The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape;</p>	<p><u>Facade Proportion</u> The proposal is similar in proportion to other two-story single family residential homes in the Avenues district. Though the architectural styling is contemporary, the design takes care to follow the pattern set by many historic properties; modulating the front façade to break up the mass of the building into smaller volumes.</p> <p><i>RDG 12.13 - Building forms should be similar to those seen traditionally on the block.</i> <i>RDG 12.15 - Overall facade proportions should be designed to be similar to those of historic buildings in the neighborhood.</i></p>	<p><u>Facade Proportion</u> The façade proportions and perceived scale of the massing satisfy the objectives of this standard.</p>	<p><u>Facade Proportion</u> Supports granting SE for additional height.</p>
<p><b>1.c Roof Shape:</b> The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape;</p>	<p><u>Roof Shape</u> As noted in the “Issues” section, the proposed roof shape is quite contemporary.</p> <p>While contemporary additions are encouraged in historic districts, it is imperative that they relate to the essential characteristics and precedents of the area. Roof shape in the Avenues district varies somewhat, though historically all fall within the framework of having some variant on a conventionally pitched, or flat, roof.</p> <p>In this case, the proposed roof shape exists outside this construct and staff has recommended a condition such that the design might more fully accord itself with this standard.</p> <p>The use of a flat roofed design allows the building to continue to present itself as a wholly contemporary structure while still according itself of the roof shapes commonly found in the district. With this proposed condition, the design would accord itself of the following design guidelines.</p> <p><i>RDG 12.7 - The roof form of a new building should be designed to respect the range of forms and massing found within the district.</i> <i>RDG 12.14 - Roof forms should be similar to those seen traditionally in the block and in the wider district.</i></p>	<p><u>Roof Shape</u> With staff-suggested conditions, the roof shape satisfies the objectives of this standard.</p>	<p><u>Roof Shape</u> Suggested modification reduces number and extent of SE height exception needed.</p> <p>Supports granting SE for additional height.</p>

<p><b>1.d Scale of a Structure:</b> The size and mass of the structures shall be visually compatible with the size and mass of surrounding structures and streetscape.</p>	<p><u>Building Façade Composition, Proportion &amp; Scale</u> This context is composed of residential structures at a range of scales including both single-family residences, larger homes that have been subdivided into rentals, and small-to-medium scale apartment buildings. This diversity of building scale helps define the eclectic nature of the urban form in the Avenues.</p> <p>Though staff feels that some design elements are not appropriate to the district, with staff-suggested conditions that reduce the overall height, the size and mass of the proposed building is similar to other buildings on the block face and district. Though the design requests additional height, modulation of the front façade and significant transparency helps mitigate the overall visual mass of the building while allowing for contemporary design elements that mark it as a product of its own time.</p> <p><i>RDG 12.6 - A new building should appear similar in scale to the established scale of the current street block.</i></p>	<p><u>Scale of a Structure</u> The size and mass of the proposed building satisfy the objectives of this standard.</p>	<p><u>Scale of a Structure</u> Supports granting SE for additional height.</p>
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<p><b>2. COMPOSITION OF PRINCIPAL FACADES</b></p> <p><b>2.a Proportion of Openings:</b> The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;</p> <p><b>2.b Rhythm of Solids to Voids in Facades:</b> The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;</p>	<p><u>Proportion of Openings</u> The proposed design is contemporary and features significant transparency as a design element. As such, the proportions of these openings are distinct from those one might expect from the surrounding historic home. In these larger expanses of glass, the glazing is broken down into smaller, discrete panes to allow for scale and detailing and to allow similarity to dimensions found elsewhere in the district.</p> <p>There is an extent to which this differentiation provides welcome relief in the overall composition of the streetscape. Some measure of contemporary eclecticism of design is encouraged in historic districts, and it is the opinion of staff that the proportion of openings is visually compatible with surrounding structures and streetscape. <i>RDG 12.16 - The pattern and proportions of window and door openings should fall within the range associated with historic buildings in the area</i> <i>RDG 12.20 - Windows with vertical emphasis are encouraged.</i></p> <p><u>Rhythm of Solids to Voids</u> Broadly speaking, the rhythm of solids to voids in the facades shows considered design. However, houses in this district commonly have a similar amount of fenestration on both 'side yard' facades.</p> <p>Given the significant attention paid to fenestration across the building, the front section of the north façade (that area most visible from the public way) lacks appropriate fenestration.</p> <p>This element is addressed by staff suggested condition of approval #3, "The fenestration pattern is revised on the north façade to allow more transparency at the front of the house." <i>RDG 12.12 - The ratio of wall-to-window (solid to void) should be similar to that found in historic structures in the district.</i></p>	<p><u>Proportion of Openings</u> The window proportions are generally compatible with neighboring historic buildings.</p> <p><u>Rhythm of Solids to Voids</u> With staff-suggested conditions, the rhythm of solids to voids could satisfy the objectives of this standard.</p>	<p><u>Proportion of Openings</u> Does not pertain to SE for additional height.</p> <p><u>Rhythm of Solids to Voids</u> Does not pertain to SE for additional height.</p>
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<p><b>2.c Rhythm of Entrance Porch and Other Projections:</b> The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape;</p>	<p><u>Rhythm of Entrance Porch &amp; Projections</u> The proposed development is on a mid-block site.</p> <p>The front façade serves well to give clear prominence to the principal entrance. The articulation of the façade, inclusion of an entrance patio, and proposed walkway/landscape design all help give clear visual direction as to the front entrance.</p> <p>The secondary (garage) entrance is set back along the south façade and, because of the articulation of that façade, will be set back and out of sight.</p> <p>This street and sidewalk orientation as well as the use of façade elements and a porch to highlight the entrance shares the design language common to houses within the district.</p> <p><i>RDG 12.4 - The front and the entrance of a primary structure should orient to the street.</i></p>	<p><u>Rhythm of Porch &amp; Projections</u> The rhythm of the principal entrance and other projections satisfy the objectives of this standard.</p>	<p><u>Rhythm of Porch &amp; Projections</u> Does not pertain to SE for additional height.</p>
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<p><b>2.d Relationship of Materials:</b> The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.</p>	<p><u>Building Materials, Windows, Elements &amp; Detailing</u></p> <p><u>Materials &amp; Detailing</u>  The context of this setting is a residential street frontage. The houses in the area are eclectic and span a number of styles and materials. There is a fairly wide range of materials across these buildings including stone, masonry, stucco and wood.</p> <p>The proposed design successfully fuses materials with historic referents (brick, stained cedar, stucco), with more contemporary materials (larger format metal framed windows, metal roofing). This allows for a building that is contemporary in styling, but with material ties back to its historic context.</p> <p><i>RDG 12.18 - Materials should have a proven durability for the regional climate and the situation and aspect of the building.</i></p> <p><u>Windows</u>  A key design feature of the house is the significant transparency along the front and south façade. This design element would not be practical with traditional wood-framed windows. The proposed design does break the expanses of glazing into smaller panes to give scale and articulation to the façade. Further the selected windows suggest durability over time on-par with historic window types.</p> <p><i>RDG 12.19 - New materials that are similar in character to traditional materials may be acceptable with appropriate detailing.</i></p> <p><u>Elements &amp; Details</u>  Though the contemporary design consciously stays away from ‘recreating’ any one style of historic architecture, elements of the design can be traced to historic precedents.</p> <p>The wide, projecting eaves and paneled soffits have reference in both mid-century and prairie style architecture.</p> <p>The modest vertical deflection of the principal façade element could be read as a reinterpretation of columns, framing that entrance.</p> <p>The balcony and porch projections suggest those seen elsewhere in the Avenues historic district.</p> <p>In addition to these design elements, a number of design details including the articulation of window surrounds and use of a runner-course of brick to bridge material changes.</p> <p><i>RDG 12.24 - Where they are to be used, ornamental elements, ranging from brackets to porches, should be in scale with similar historic features.</i></p>	<p><u>Relationship of Materials</u>  The proposed material palette satisfies the objectives of this standard in principle. A suggested condition of approval seeks to clarify final material selection before a COA is issued.</p> <p><u>Windows</u>  The proposed use of metal framed fixed windows and operable windows and doors made of wood and clad in aluminum are appropriate to the context of the district and satisfy the objectives of this standard.</p> <p><u>Elements &amp; Details</u>  The proposed design satisfies the objectives of this standard.</p>	<p><u>Relationship of Materials</u>  Does not pertain to SE for additional height.</p> <p><u>Windows</u>  Does not pertain to SE for additional height.</p> <p><u>Elements &amp; Details</u>  Does not pertain to SE for additional height.</p>
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<p><b>3. RELATIONSHIP TO THE STREET</b></p> <p><b>3.a Walls of Continuity:</b> Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;</p>	<p><u>Walls of Continuity</u> The streetscape context for this proposal is a largely residential block face along J Street. Depths of front yards vary along the block face in range between 8 and 20 feet.</p> <p>The proposed design sets the front yard setback at 20 feet, as required by zoning and in close accord to the setbacks of the adjacent properties, which measure 17.5 feet and 21 feet.</p> <p>Given that it will occupy a long-vacant site; this design will improve continuity along the street and accord itself with visual compatibility of the area's urban form.</p> <p><i>RDG 12.3 - When designing a new building, the historic settlement patterns of the district and context should be respected.</i></p>	<p><u>Relationship to the Street – Walls of Continuity</u> The proposed design satisfies the objectives of this standard.</p>	<p><u>Relationship to the Street – Walls of Continuity</u> Supports granting SE for additional height.</p>
<p><b>3.b Rhythm of Spacing and Structures on Streets:</b> The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;</p>	<p><u>Rhythm of Spacing &amp; Structures on Streets</u> The proposed design follows the established pattern of side-yard setbacks as established along the block face. This compatibility allows the new design to sit comfortably within the established solid-to-void rhythm of the streetscape.</p> <p><i>RDG 12.3 - When designing a new building, the historic settlement patterns of the district and context should be respected.</i></p>	<p><u>Rhythm of Spacing &amp; Structures on Streets</u> The proposed design satisfies the objectives of this standard.</p>	<p><u>Rhythm of Spacing &amp; Structures on Streets</u> Supports granting SE for additional height.</p>
<p><b>3.c Directional Expression of Principal Elevation:</b> A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street;</p>	<p><u>Directional Expression</u> This is a mid-block site along a residential thoroughfare. Like the other buildings on the block face and in the nearby area, the proposed design effectively orients the building to front onto J Street.</p> <p>Design features highlight the entrance as a primary feature of the front façade.</p> <p><i>RDG 12.4 - The front and the entrance of a primary structure should orient to the street.</i></p>	<p><u>Directional Expression</u> The proposed design satisfies the objectives of this standard.</p>	<p><u>Directional Expression</u> Does not pertain to SE for additional height.</p>

<p><b>3.d Streetscape; Pedestrian Improvements:</b> Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.</p>	<p><b><u>Streetscape and Pedestrian Improvement</u></b> The proposal sets the principal structure at roughly the building line established by existing properties on the block face, supporting the uniformity of the streetscape and legibility of the public realm to pedestrians.</p> <p>The front façade is strongly articulated in two modules using contrasting materials (wood, glass, and metal). The articulation of the front yard uses plantings and paved paths to create an interface between public space and the private space of the home, and gives distinct visual prominence to the homes primary entrance.</p> <p>By creating a distinct front yard where previously there had only been unkempt plant growth and reinforcing the quality of landscaping found in other houses on the block, the design is compatible with the historic character of the preservation overlay district.</p> <p style="text-align: center;"><i>RDG 12.4 - The front and the entrance of a primary structure should orient to the street.</i></p>	<p><b><u>Streetscape &amp; Pedestrian Improvements</u></b> The design of the front yard and visual amenities offered is common to residential properties in the district. The design satisfies the objectives of this standard.</p>	<p><b><u>Streetscape &amp; Pedestrian Improvements</u></b> Does not pertain to SE for additional height.</p>
<p><b>4. Subdivision Of Lots:</b> The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).</p>	<p><b><u>Settlement Patterns &amp; Neighborhood Character</u></b> The proposal will not change any property boundaries.</p>	<p><b><u>Subdivision of Lots</u></b> This standard does not apply to the proposed project.</p>	<p><b><u>Subdivision of Lots</u></b> Does not pertain to SE for additional height.</p>



# **ATTACHMENT H: SPECIAL EXCEPTION STANDARDS**

**21A.52.060: General Standards and Considerations for Special Exceptions**

No application for a special exception shall be approved unless the planning commission or the planning director determines that the proposed special exception is appropriate in the location proposed based upon its consideration of the general standards set forth below and, where applicable, the specific conditions for certain special exceptions.

The applicant’s petition requests three special exceptions to allow for the construction of their proposed design of a new single-family home in the Avenues Historic District.

- A. Special exception to exceed maximum pitched roof height
  - Zoning maximum: 23’ [27.6 feet, via block face averaging]
  - Applicant petition: 31’6”
- B. Special exception to exceed maximum flat roof height
  - Zoning maximum: 16’
  - Applicant petition: 29’3”
- C. Special exception to exceed maximum exterior wall height
  - Zoning maximum: 16’
  - Applicant petition: 31’6”

Planning staff is recommending several conditions of approval for the New Construction of a Principal Building that would require material changes to the design, and hence to the special exceptions required to construct the project. Staff-recommended conditions would eliminate the need for one special exception for the maximum pitched roof height and lessen the magnitude of another relating to the exterior wall height, as outlined below.

- A. Special exception to exceed maximum flat roof height
  - Zoning maximum: 16’
  - Staff recommendation: 29’3”
- B. Special exception to exceed maximum exterior wall height
  - Zoning maximum: 16’
  - Staff recommendation: 29’3”

Standard	Analysis	Finding
<p><b>A. Compliance With Zoning Ordinance And District Purposes:</b> The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.</p>	<p>The special exceptions addressed in this petition are requested to allow the construction of a new single family home in the Avenues Historic District. Single Family structures are an allowed use in the SR-1A zoning district.</p> <p>The proposed design, as submitted, does not meet the Standards for New Construction in the H Historic Preservation Overlay Zone. Therefore, they do not comply with the purposes for which this title was enacted. A specific area of deviation from the standards relates to the roof shape of the proposed design, which is allowed for by petition-requested special exceptions A and C.</p> <p>However, the Staff-recommended conditions of approval for the New Construction projects modify the project such that it does meet the standards. This modified project is supported by the staff-recommended special exception approvals.</p>	<p>Petition-requested special exceptions A and C <b>do not</b> comply.</p> <p>If the HLC agrees with staff conditions for new construction, then the special exceptions comply.</p>

<p><b>B. No Substantial Impairment Of Property Value:</b> The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.</p>	<p>The proposed development will bring a new single-family house to a parcel that has been vacant and under-utilized for a number of years.</p> <p>The project will, at worst, have a negligible effect on property values. In the opinion of staff, the project represents a significant new investment in the area and will likely support healthy growth in property values going forward.</p>	<p>Both petition-requested and if staff-recommended conditions for new construction are accepted, the special exceptions comply.</p>
<p><b>C. No Undue Adverse Impact:</b> The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.</p>	<p>Petition-requested special exceptions A and C would allow a significant amount of additional height, while supporting a design that does not meet the Standards for New Construction in a Historic District. This would have an undue adverse impact on the character of the area.</p> <p>The staff recommended special exceptions authorize less height and support modifications to the proposed design such that it would meet the Standards for New Construction in a Historic District. In doing so, it supports the proposed project in better maintaining the character of the area, without having adverse impact on the public health, safety, and general welfare.</p>	<p>Petition-requested special exceptions A and C <b>do not</b> comply.</p> <p>If the HLC agrees with staff conditions for new construction, then the special exceptions comply.</p>
<p><b>D. Compatible With Surrounding Development:</b> The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.</p>	<p>Petition-requested special exceptions A and C support a design that does not meet the Standards for New Construction in the H Historic Preservation Overlay Zone, one of the key applicable district regulations.</p> <p>The staff-recommended special exceptions support a design that mitigates the significant height differences between adjacent structures while responding appropriately to the topography of the site. In doing so, it meets the Standards for New Construction in the H Historic Preservation Overlay Zone and supports the proposed project in being compatible with surrounding development.</p>	<p>Petition-requested special exceptions A and C <b>do not</b> comply.</p> <p>If the HLC agrees with staff conditions for new construction, then the special exceptions comply.</p>
<p><b>E. No Destruction Of Significant Features:</b> The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.</p>	<p>Though the project is proposed in a Local Historic District, the proposed site has been vacant for decades. There is no indication that there are significant natural, scenic, or historic features on the property. Further, the design, as modified by staff-recommended conditions of approval, does not significantly impact any of the adjacent properties.</p>	<p>Both petition-requested and if staff-recommended conditions for new construction are accepted, the special exceptions comply.</p>
<p><b>F. No Material Pollution Of Environment:</b> The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.</p>	<p>The proposed use is a single family home. There is no indication or reason to believe that the proposed project will cause material air, water, soil, or noise pollution.</p>	<p>Both petition-requested and if staff-recommended conditions for new construction are accepted, the special exceptions comply.</p>
<p><b>G. Compliance With Standards:</b> The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.</p>	<p>Special Exceptions A and C, as requested in the applicant's petition, support the design of a single-family house which, in the opinion of staff, does not meet the Standards for New Construction in the H Historic Preservation Overlay Zone.</p> <p>The staff-recommended special exceptions support the conditions of approval for the project that move it into compliance with the Standards for New Construction in the H Historic Preservation Overlay Zone.</p> <p>As such, the recommended special exceptions also comply with the Standards for New Construction in a Historic District (insofar as they apply, see Attachment G for more information).</p>	<p>Petition-requested special exceptions A and C <b>do not</b> comply.</p> <p>If the HLC agrees with staff conditions for new construction, then the special exceptions comply.</p>

# **ATTACHMENT H: PUBLIC PROCESS AND COMMENTS**

## **Public Notice, Meetings and Comments**

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project.

### **Notices of the public hearing for the proposal include:**

- Notice mailed on April 23, 2016
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on April 23, 2016
- Sign Posted at the site on April 22, 2016

One phone call was received conveying concern about the need for Special Exceptions for additional height for the proposed design.

Any other correspondence received after the publication of this staff report will be forwarded to the Historic Landmark Commission.

## **Department Review Comments**

The departmental comments that were received are listed below.

### *Michael Barry – Transportation*

It appears that the back out distance for the garage does not meet the city requirements (22' 7" from garage door to property line). It does appear however that the parking requirement could be satisfied by tandem parking in the side yard driveway. I don't know that we want to not allow the garage because it doesn't conform to vehicle parking standards; it could technically be used for storage. Also, if the tenant has a small enough vehicle, she could maneuver in and out of the garage without a problem. I am therefore okay with this plan.

### *Scott Weiler – Engineering*

Looking at Google Earth, I didn't see an existing drive approach at 279 N. but I may have been looking at the wrong house. My only comment is that prior to performing work in the public way, a Permit to Work in the Public Way needs to be obtained by a licensed contractor who has a bond and insurance certificate on file with SLC Engineering.

- Note: There is an existing drive approach at the site which the design intends to repair and reuse.

### *Gregory Mikolash – Zoning*

No zoning related issues at this time. Comments will likely follow upon a building permit review.

**ATTACHMENT I: STAFF REPORT AND MEETING MINUTES  
FROM JANUARY HLC MEETING**

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project and addition however, he was concerned about retaining character of the historic structures windows, doors, transoms and the importance to reveal of details and lintels that could be hidden from view by proposed new awnings.

Chairperson Brennan closed the Public Hearing.

The Commission made the following comments:

- The height was a concern as the trees would not block the mass forever.
- The glass awning would need to be resolved with Staff and made to better fit the historic nature of the home.
- Historically additions have been smaller and more compatible with the design of the main structure leaving the original structure as the main focus.
- The proposal was not compatible in design, size and scale.
- The house was small and any addition will look large on the home.
- The rear yard setback would make the backyard small.
- The addition was a clear statement of its time and fit the house nicely.
- The number of exceptions being requested for the proposal.
- The lot coverage was not noticed therefore, it would need to be brought back to the Commission at a future date.
  - The Commission could review the lot coverage and a letter could be sent to the neighbors notifying them of the option to appeal.
- Concerns over the large façade of glass.
- Creative proposal but the number of exceptions needed was a concern.
- Would like to allow other Departments to submit comments on proposed parking.

The Commission discussed the following:

- How the addition and the original home fit and did not fit together.
- Are there other options that would make the home better fit with the area.
- The parking impacts for the proposal.
- Whether to table or deny the petition.

The Commission and Applicant discussed the following:

- If tabling the petition would be acceptable to the Applicant.
- Standard 8.2 listed in the Staff Report.

#### **MOTION [8:27:06 PM](#)**

**Commissioner Harding stated in the case of PLNHLC2015-00586 and PLNHLC2015-00587 New Rear Addition to Single Family Residence at approximately 683 6th Avenue, she moved that the Historic Landmark Commission table the discussion to allow the Applicant time to make changes to the proposal and the proper public notice could be sent. Commissioner Peters seconded the motion. The motion passed unanimously.**

[8:27:47 PM](#)

Commissioner Richardson returned to the meeting.

**New Construction at approximately 279 North J Street - A request by Jeseca Cleary**

**and Campbell Dosch, property owners and developers, for a Certificate of Appropriateness for new construction of a single-family residence at the above address in Avenues Historic District. The subject property is currently vacant. The property is in the SR-1A (Special Development Pattern) zoning district, located in City Council District 3, represented by Stan Penfold. This application must be reviewed by the Historic Landmark Commission because it is for new construction in a local historic district. (Staff contact: Anthony Riederer, (801)535-7625, or [anthony.riederer@slcgov.com](mailto:anthony.riederer@slcgov.com).) Case number PLNHLC2015-00845**

Mr. Anthony Riederer, Principal Planner, gave an overview of the proposal as outlined in the Staff Report (located in the case file). He stated Staff was recommending that the Historic Landmark Commission approve the petition as presented.

The Commission and Staff discussed the following:

- If Special Exceptions were requested for the petition.
  - No the petition met the requirements for the lot and the height was the average of the block face.

Ms. Jeseca Cleary, Mr. Cambell Dosch and Mr. Jordan Bangeter asked the Commission if they had any comments or concerns.

The Commission and Applicant discussed the following:

- The roof slope for the structure and if a non visual slope was explored.
- How the house improved the neighborhood and the aspects of the design that contributed to the neighborhood.
  - Using the suggested materials, front porch and double doors made it compatible with the area.
  - The design fit with the streetscape.
- How the scale of the home compared to the homes around it.
  - The frontage of the lot was narrow and would not appear large.
- The square footage of the surrounding homes.

#### **PUBLIC HEARING [8:39:25 PM](#)**

Chairperson Brennan opened the Public Hearing, seeing no one wished to speak to the petition; Chairperson Brennan closed the Public Hearing.

The Commission made the following comments:

- The home lacked the articulation of character.
  - The north and south facades are stucco and are large flat plains.
  - It was a big rectangular box that lacks character defining features.
  - The solid to void treatment and organization of the openings on the north and south sides were random and did not help provide any sort of scale or coherence.
- The roof was rather flat and not in character with the traditional forms nor was it particularly strong in a contemporary statement.

- Great example of a home that pushed the limits of the zoning.
- Concerned with the height and form as outlined in standard one of the Staff Report.
- The proposal was out of scale and form with the neighborhood.
- The size and the mass of the proposal were not compatible with the surrounding houses.
- Drafted streetscape was needed to see how the home would fit with the neighborhood.
- The stucco facades were prominent and out of character for the neighborhood.
- Historic materials needed to be used on all facades.

The Commission discussed the following:

- The makeup of the neighborhood and block face.
- Similar proposals that better addressed their neighborhoods.
- If the petition should be tabled or denied.

**MOTION [8:48:09 PM](#)**

**Commissioner Richardson stated in the case of PLNHLC2015-00845 New Construction at approximately 279 North J Street, he moved that the Historic Landmark Commission deny the request based on the following:**

- **Specifically the Historic Landmark Commission found that the project did not substantially comply with Standard 1 regarding Scale and form, height and width- the proposed height and width shall be visually compatible with the surrounding structures and streetscape,**
- **The proportion and principal façade - the relationship of the width to the height, the principal elevations shall be in scale with the surrounding structures and streetscape,**
- **Roof shape -the roof shape of a structure shall be visually compatible with the surrounding structures and streetscape.**
- **Scale of the structure - the size and mass of the structure shall be visually compatible with the size and mass of the surrounding structures and streetscape.**

**Commissioner Peters seconded the motion.**

Commissioner Harding asked to table the petition rather than deny it.

The Commission asked the Applicant if they were willing to table the petition and further review the design of the structure.

The Applicant stated they were willing to work through the Commission's concerns and return for review and approval.

**[8:51:24 PM](#)**

**Commissioner Richardson withdrew his motion and moved to table the petition. Commissioner Harding seconded the motion. The motion passed unanimously.**

**HISTORIC LANDMARK COMMISSION  
STAFF REPORT**

**279 North J Street  
New Construction-Single Family Dwelling  
New Construction- PLNHLC2015-00845  
Meeting Date: January 7, 2015**



Planning and Zoning Division  
Department of Community and  
Economic Development

**Applicant:** Jeseca Cleary and  
Campbell Dosch,  
Owner/Developers

**Staff:** Anthony Riederer  
[anthony.riederer@slcgov.com](mailto:anthony.riederer@slcgov.com)  
(801)535-7625

**Tax ID:** 09-32-306-015

**Current Zone:** SR-1A

**Master Plan Designation:**  
Low Density Residential

**Council District:**  
District 3– Stan Penfold

**Lot Size:**  
5,445 square feet

**Current Use:**  
Vacant Lot

**Applicable Land Use  
Regulations:**

- 21A.34.020 - H Historic Preservation Overlay
- 21A.24.080 - SR-1A Special Development Pattern Residential District

**Notification:**

- Notice mailed 12/23/2015
- Sign posted 12/28/2015
- Posted to the Planning Division & Utah Public Meeting Notice websites 12/23/2015

**Attachments:**

- A. Application Materials
- B. Design Drawings
- C. Site Photographs
- D. Example Materials

***Request***

Jeseca Cleary and Campbell Dosch, the owners and intended developers of the property, are requesting approval for New Construction of a single-family residence at approximately 279 North J Street. The subject property is located within the Avenues Historic District and the SR-1A (Special Development Pattern Residential) Zoning District.

***Staff Recommendation***

Based on the analysis and findings of the staff report, it is the Planning Staff's opinion that overall the project generally meets the applicable standards and therefore, recommends the Historic Landmark Commission approve the request with conditions as noted below.

***Potential Motions***

**Consistent with Staff Recommendation:** Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Commission approve the request for new construction located at approximately 279 North J Street subject to the following condition:

1. Approval of final design details, consistent with the proposed development as approved by the Historic Landmark Commission is delegated to Planning staff.

**Not Consistent with Staff Recommendation:** Based on the information in the staff report, testimony and the plans presented, I move that the Commission deny the request for new construction at approximately 279 North J Street. Specifically, the Commission finds that the proposed project does not substantially comply with Standards (Commissioner then states findings based on the Standards to support the motion):



**21A.34.020.H Standards for New Construction**

**1. Scale and Form:**

- a. Height and Width
- b. Proportion of Principal Facades
- c. Roof Shape
- d. Scale of a Structure

**2. Composition of Principal Facades**

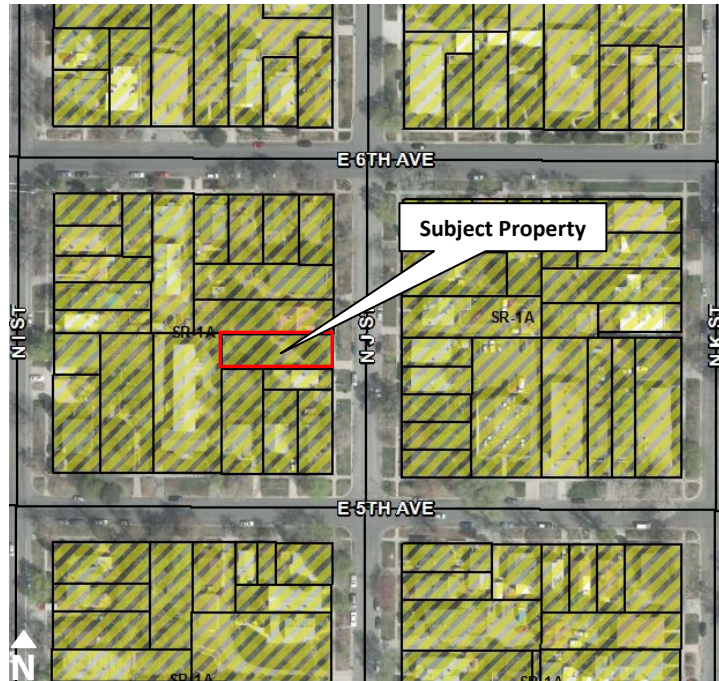
- a. Proportion of Openings
- b. Rhythm of Solids to Voids in Facades
- c. Rhythm of Entrance Porch and Other Projections
- d. Relationship of Materials

**3. Relationship to Street**

- a. Walls of Continuity
- b. Rhythm of Spacing and Structures on Streets
- c. Directional Expression of Principal Elevation
- d. Streetscape and Pedestrian Improvements

**4. Subdivision of Lots**

## VICINITY MAP



## BACKGROUND

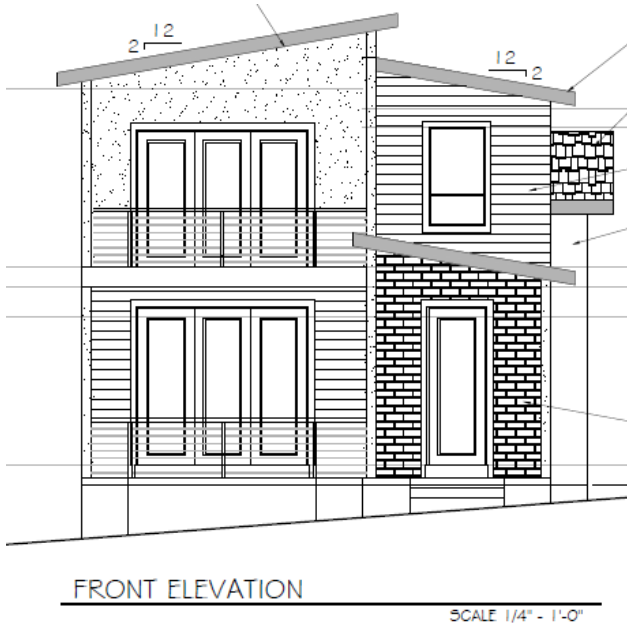
### Context

The proposal is for a single-family detached residence, situated at approximately 279 North J Street. The subject property is located in the north-central area of the district and is currently vacant. It has, in recent times, served as a subject parcel to the property immediately to the north. The elevation of the site is fairly flat, although the ground does rise to the north. This area of the Avenues was settled on a grid pattern similar to that of the Capitol Hill district, with more uniform setbacks and lot patterns. The property is located within the Avenues Historic District, SR-1A (Special Development Pattern Residential) zoning district.

The lot measures approximately 41.25' x 132' and has an area of 5,445 square feet. Although this meets the size requirement the lot is considered a non-complying lot as its width is less than the minimum for single-family development in the SR-1A district. It should be noted that a non-complying lot as to lot area or lot frontage that was in legal existence prior to April 12, 1995, shall be considered a legal complying lot. Legal complying lots in residential districts shall be approved for development of a single-family dwelling regardless of the size of the lot, subject to complying with all yard area requirements of the SR-1A zoning district.

### Proposed Development

The proposed new single family residence is a modern/contemporary structure comprised of three levels: subterranean basement, main level, and upper level. The proposed building is rectangular in form with predominantly sloped roof planes. The proposed front yard setback of 20 feet is consistent with the block average along the street frontage. The subject property is located within the SR-1A district, and though the height exceeds the maximum numeric value of height allowed, it falls within the range of permitted height when using block-face averaging, which is a permitted alternative to maximum roof height in the district.



The proposal’s design and materials create a contemporary architectural appearance of generally vertical form, counter-balanced by diagonal roof elements, articulated and detailed in different materials and finishes and openings. The primary palette of external materials includes: red brick, hard coat stucco with a smooth finish, cedar siding, clad steel columns, and wood-framed glazing, wrapped in dark-toned metal.

The front-facing façade is broken up into modules, using surface materials to differentiate spaces within the house itself. Horizontal application of cedar wood siding and horizontal deck lines help break up the massing of the structure and provide visual balance. The proposed detached single-car garage will likely be visible from J Street, down the driveway. The proposed garage is designed in a simplified contemporary style with a palette of materials and lines that are complimentary to the primary structure.

Proposed landscaping plan proposes retention of an existing and mature tree within the park strip. Additionally, the design includes low-level plantings and drought-resistant plantings in the front yard area, as well as in the park strip adjacent to J Street. (See Attachment B, “Design Drawings”)

## Zoning Ordinance

### 21A.024.080 SR-1A Single and Two-Family Residential Zoning District

The relationship of the proposed development to the SR-1A (Special Development Pattern Residential) zoning district as well as general provisions related to lot and bulk control is summarized below.

SR-1A Zoning Standards	Proposed	Compliance
<b>Minimum Lot Area And Lot Width:</b> 5,000 square feet and 50 feet for SFR	Lot size of approximately 5,461 sq feet ft with a width of approximately 41.37 feet	<b>Complies</b> (Legal Non-Complying Lot)
<b>Maximum Building Coverage:</b> 40%	40% of the lot coverage=2,184 sq ft Proposed lot coverage=2,183 sq ft	<b>Complies, based on submitted lot coverage calculations</b>
<b>Interior Side Yard Setback (north)</b> -4 ft.	4 ft.	<b>Complies</b>
<b>Interior Side Yard Setback (south)</b> -10 ft.	10 ft.	<b>Complies</b>
<b>Building Height:</b> Flat Roof: 16 ft. Pitched Roof: 23 ft., or the average height of other principal buildings on the block face.	Maximum height of pitched roof is 27 feet.	<b>Complies, based on submitted block face averaging</b>
<b>Front Yard Setback:</b> 20 feet or average of the block face	20 ft	<b>Complies</b>
<b>Rear Yard Setback:</b> Twenty five percent (25%) of the lot depth, but not less than fifteen feet (15') and need not exceed thirty feet (30').	30 ft	<b>Complies</b>

## **COMMENTS**

### **Public Comment**

No public comment regarding the application has been received as of the date of the preparation and distribution of this staff report.

### **Department Review Comments**

No departmental comments were received.

## **ANALYSIS AND FINDINGS**

### **Zoning Ordinance and Design Guidelines**

#### **21A.34.020 H Historic Preservation Overlay District**

**Standards For Certificate Of Appropriateness Involving New Construction Or Alteration Of A Noncontributing Structure:** In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the historic landmark commission, or planning director, when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually compatible with surrounding structures and streetscape and is in the best interest of the city:

#### **Standard 1: Scale and Form:**

- a. Height And Width: The proposed height and width shall be visually compatible with surrounding structures and streetscape;
- b. Proportion of Principal Facades: The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape; and,
- c. Roof Shape: The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and
- d. Scale of a Structure: The size and mass of the structure shall be visually compatible with the size and mass of surrounding structures and streetscape.

#### ***A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City***

##### ***Building Scale Guidelines***

**12.5** A new building should be designed to reinforce a sense of human scale.

**12.6** A new building should appear similar in scale to the established scale of the current street block.

**12.7** The roof form of a new building should be designed to respect the range of forms and massing found within the district.

**12.8** A front facade should be similar in scale to those seen traditionally in the block.

##### ***Height***

**12.9** Building heights should appear similar to those found historically in the district.

**12.10** The back side of a building may be taller than the established norm if the change in scale would not be perceived from the public way.

##### ***Width***

**12.11** A new building should appear similar in width to that established by nearby historic buildings.

##### ***Building Form Guidelines***

**12.13** Building forms should be similar to those seen traditionally on the block.

**12.14** Roof forms should be similar to those seen traditionally in the block and in the wider district.

**Analysis:** The block face of the subject property is characterized by a varied range of house types and scales. Heights and widths of surrounding structures vary, and the proposed development equates relatively well with this range of forms and this rhythm.

The proposal maintains rough compatibility with the established scale of the context in terms of form, facade massing, and composition through its distinctly designed facade sections and elements which help to establish a sequence of component parts at an identifiably human scale. The proposed building is designed so that the massing and the scale are effectively integrated with the topography of the lot and heights of adjacent buildings.

Surrounding buildings are generally one to three stories as they appear from the street. The proposed single family dwelling is two stories as seen from J Street. The lot falls away to the south and west, creating the impression of additional height from the rear. In this context, the design contributes effectively to the current eclectic range of architectural forms along this street block, and the historical development sequence in this section of the historic district.

The primary form for the house is a rectangular volume with the mass broken down by form and material. Buildings that surround the subject property have gabled, hipped and flat roofs. The proposed roof is an assembly of sloped planes and is visually compatible with the varied roof shapes of surrounding structures and streetscape.

The building form has a strong vertical primary proportion, counter-balanced by the horizontal emphasis introduced by balcony balustrades, horizontal cedar siding, and sloped roof planes. The solid to void ratio, although scaled and proportioned differently than more traditional buildings in this context, creates a vertical emphasis and an effective balance along the facade.

**Finding:** In the eclectic nature of this context, Staff would conclude that the proposed structure is generally compatible in terms mass, scale, height, width and form with the range of other buildings on this street frontage. This standard is met.

## **Standard 2: Composition of Principal Facades:**

- a. Proportion of Openings: The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;
- b. Rhythm of Solids To Voids In Facades: The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;
- c. Rhythm of Entrance Porch And Other Projections: The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and
- d. Relationship of Materials: The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

### ***A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City*** ***Solid-to-Void Ratio***

**12.12** The ratio of wall-to-window (solid to void) should be similar to that found in historic structures in the district.

### ***Proportion and Emphasis of Building Facade Elements***

**12.15** Overall facade proportions should be designed to be similar to those of historic buildings in the neighborhood.

***Rhythm & Spacing of Windows & Doors***

**12.16** The pattern and proportions of window and door openings should fall within the range associated with historic buildings in the area.

***Building Material and Detail***

**12.17** Use building materials Overall facade proportions should be designed to be similar to those of historic buildings in the neighborhood.

***Windows***

**12.20** Windows with vertical emphasis are encouraged.

**12.21** Window reveals should be characteristic of most masonry facades.

**Analysis:** While the proposed development features window dimensions and proportions that differ from more traditional design of the surrounding buildings, the subdivision created by glazing frames, and the variation in surface materials and finishes helps to integrate the design with this relatively varied context. The proposed detached garage will be visible down the driveway from J Street, and its design is a compatible simplified take on that of the primary structure.

The front facade is designed with an entry porch which is covered by roofline which echoes the roofline of the house itself. This helps break up the facade into distinct elements, consistent with other homes in the area. The streetscape is sufficiently varied in architectural terms that there is no identifiable pattern along this street frontage. Equally, there is no identifiable rhythm of recurring porches or distinct building pattern characteristic of this block face.

The proposed exterior building materials are visually compatible with the materials used in surrounding structures and are typically observed in the Avenues Historic District.

**Finding:** Facade composition is consistent and compatible with other structures on the block face and in the immediate vicinity in terms of the proposed proportion of openings, solid to void ratio, rhythm of the entrance porch and other projections and materials. This standard is met.

**Standard 3: Relationship to Street:**

- a. Walls of Continuity: Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;
- b. Rhythm of Spacing And Structures On Streets: The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;
- c. Directional Expression of Principal Elevation: A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and
- d. Streetscape; Pedestrian Improvements: Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.

***A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City  
Street and Block Pattern***

**12.2** The role of the street pattern, including the layout of the individual block, as a unifying framework and setting for a variety of lot sizes and architecture, should be retained.

***Building Placement & Orientation***

**12.3** When designing a new building, the historic settlement patterns of the district and context should be respected.

**12.4** The front and the entrance of a primary structure should orient to the street.

***Applicable Design Guidelines for the Avenues Historic District***

**13.2** A walk to the primary building entry from the public sidewalk should be provided.

**13.3** The use of curb cuts in the Avenues District should be minimized.

**13.4** The front setback of a new structure should be kept in line with the range of setbacks seen historically on the block.

**Analysis:** The small blocks and narrow, steep street pattern in this area provide the district with a high degree of visual diversity. The fact that this lot is currently undeveloped reduces the continuity and cohesiveness of the street and the proposed building would establish a missing element in this street frontage, supporting the historical development pattern of the area. The proposed building is sited on the lot in a similar fashion as other homes in the vicinity, aligned with the orientation of its lot. The proposed open space in the side and front yards of house reflects the range of the current sequence of buildings.

The primary entrance is oriented towards J Street. This entrance emphasized by a contemporary expression of a covered porch created by a projecting deck to the left of the entrance.

The proposed landscaping at the first floor level works to soften the interface between structure and landscape and integrate the facade within the larger neighborhood context. The proposed detached garage will be accessed from J Street, using currently existing curb cuts on the site. Broadly speaking, the proposal is compatible with the pattern of the historic character of the district.

**Finding:** Staff concludes that the proposed development meets this standard. The established wall of continuity and orientation of building will be consistent with the block face. This standard is met.

**Standard 4: Subdivision of Lots:** The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

**Analysis:** This standard is not applicable since no subdivision amendments are currently proposed. This is an existing legal non-complying lot.

**Finding:** This standard is not applicable.







# HP: Major Alteration & New Construction

SALT LAKE CITY PLANNING

### OFFICE USE ONLY

Project #: PLNHLC2015-00945	Received By: K. Lindquist	Date Received: 10-15-15	Zoning: SR-1A
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Project Name: Redhouse Development

### PLEASE PROVIDE THE FOLLOWING INFORMATION

Request: Jeseca clary New construction

Address of Subject Property: 279 N. J. Street

Name of Applicant: Jeseca clary Phone:

Address of Applicant: 11762 S. Copper Rose way South Jordan

E-mail of Applicant: Jeseca clary@hotmail.com Cell/Fax: 801 637 7623

Applicant's Interest in Subject Property:  
 Owner     Contractor     Architect     Other:

Name of Property Owner (if different from applicant): Jeseca clary, Campbell Dosch

E-mail of Property Owner: Jeseca clary@hotmail.com Phone: 801 637 7623

➔ Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

### AVAILABLE CONSULTATION

➔ Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

### WHERE TO FILE THE COMPLETE APPLICATION

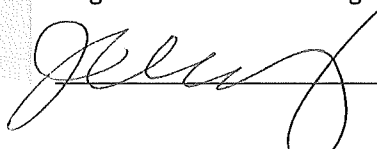
Mailing Address: Planning Counter PO Box 145471 Salt Lake City, UT 84114	In Person: Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
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### REQUIRED FEE

- ➔ Major Alteration: Filing fee of \$30, plus additional cost of postage for mailing notice.
- ➔ New Construction: Filing fee of \$243, plus additional cost of postage for mailing notice.

### SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:  Date: 10/15/15

279 North "J" Street is coming back after almost 40 years.

The contemporary style home has been designed to fit on this narrow building lot which is 41.3' wide, 132' deep.

The Home is a two story with 3078 square feet above grade and 1711 square feet in the basement, which includes cold storage. The total square footage is 4,789 square feet. When finished, the home will have 6 bedrooms, 4 full baths, an office, 2 kitchens and 3 spacious living areas. An open Great Room with a stunning fireplace will greet those who enter the home. The main floor dining and kitchen areas blend together, with 9' ceilings to give an open, yet defined feel. A beautifully crafted fireplace will be a focal point of the space. A large bedroom occupies the back of the home, with a partially covered deck that adds liveable living space to the main floor. A spiral staircase that twirls to the deck above is definitely an eye catcher that adds function to the exterior space.

On the upper floor, the flow of the home continues with 8 foot ceilings. The master bedroom, with a large master closet, has an elegant finish that includes the master bath. It opens up with a walk out deck that looks to the East only adding additional liveable space that adds to the home's living experience. 2 additional large bedrooms with a full bath and laundry take up the rest of the liveable area...but it finishes off in the rear with a nice sized family room with another back deck to enjoy a barbeque or a really good book.

The basement level with its large cold storage, adds another level of space used to its maximum potential. With two additional bedrooms, office, full bath, and laundry all are additions to the roomy rec room and 2<sup>nd</sup> kitchen.

The exterior of the home is timeless using materials that will only add to the home and the neighborhood. Cedar siding, deep red brick, with touches of Stucco will bring the home alive, only adding to the architecture of this Historic area.

A 1 car garage, 14' wide by 22' deep will be an added amenity to the property and will be located in the back south corner of the lot.

The home is designed to use natural light and will have 2 energy efficient furnaces and cooling systems.

When neighbors have seen the plans of the home, one asked if his family could come and just sit on the front covered porch to relax....This home has something for everyone!

# Sandra Secrest Hatch Architect

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1141 Michigan Ave.  
Salt Lake City, Utah 84105  
801-560-7587  
[sandrasarch@hotmail.com](mailto:sandrasarch@hotmail.com)

November 17, 2015

Project Description-Response to Design Guidelines  
Chapter 12 New Construction in Historic Districts Block Face Analysis

Site Design

## 12.1 Alleys and Streets

The proposed new residence at 279 N. "J" St. is located midway between 5<sup>th</sup> and 6<sup>th</sup> Ave. on the west side of the street. "J" St. is a wide street and slopes north to south. There are no alley access from "J" St. to the interior block. The proposed new residence faces east to "J" St. and does not interrupt any secondary alley access. See photograph, streetscape photograph, and 1950 Sanborn map.

## 12.2 Street Pattern

There are presently five houses on the west side of "J" St. There was a sixth house at the location of the proposed new house. This house seen on the 1950 Sanborn map has since burned down. The new house will complete the original street pattern.

The front facades of the houses at the 5<sup>th</sup> Ave. (633 E. 5<sup>th</sup> Ave.) and 6<sup>th</sup> Ave. (638 E. 6<sup>th</sup> Ave.) face their Avenues streets. The long, side elevations face "J" St. These anchor houses have shed additions, garages and 6'-0" fences. They disproportionately occupy the "J" St. streetscape.

The remaining three structures all face east toward “J” St. The building at 285 N. “J” St. is an apartment building. It has a wide, blocky, multistoried façade. The apartment building is red brick with a stepped parapet and a green awning at the entry level. The windows are white. The front door is covered with a dark, security door.

There is a driveway between 285 N. “J” St. and the next house south at 281 N. “J” St. This house is a strong, historic turn of the century home. There is a two story gable structure on the south side of the property and a columned, one story porch extending from this gable end to the north side of the property. The proposed new house is south of this house. Discussion of the new house will continue at the end of the block description.

There is a driveway between 279 N. “J” St. and 275 N. “J” St. The house at 275 N. “J” St. is small and can barely be seen from the street. The landscaping is so overgrown that the only visible element is the front, on grade entry door. The door is wood, ½ divided lite. In its present overgrown state this house really doesn’t contribute a lot to the streetscape.

The overall impression of the existing block face is one of odd variety. The anchor houses on 5<sup>th</sup> and 6<sup>th</sup> Ave. dominate the streetscape. The apartment building is unique to the street as well as the immediate area. It’s blocky proportions and location on the site close to the sidewalk create its unique character. Without the absent middle house the two historic homes are isolated. The 1950 Sanborn map shows the close relationship of the three middle houses. These three homes created a rhythm relating to “J” St.

A new house located between the two historic homes could reclaim the significance of these homes to the “J” St. streetscape. Across the wide expanse of “J” St. on the east side there is a strong block face. The new house will help regain the rhythm on the west side. Giving that, a new house must express its own time and place. Compatible elements will relate that building to the existing. A strong front porch entry, brick on the primary façade, two porches facing the street and compatible massing help this new house take its place on “J” St. The two storied porches will bring its residence to congregate and engage the street. There are examples of the two storied porch close to the proposed new house. The new house at 279 “J” St. is compatible yet contemporary.



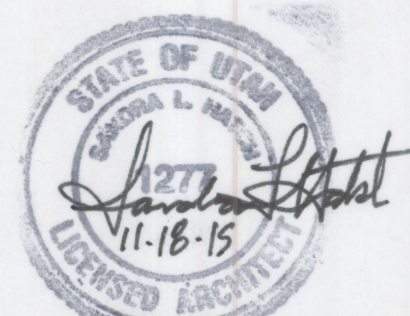
"J" ST. NORTH TO SOUTH



HOUSES ACROSS STREET FROM PROJECT



HOUSES ON EAST-SOUTH CORNER "J" ST. & 5TH AVE.



279  
281 J-STREET, SALT LAKE CITY, UTAH 84103

HOUSE HEIGHT AVERAGE = 27.61 FEET

Sidwell Numbers	Address	House Height [ft]	Height
09-32-306-012	638 E SIXTH AVE	27.47	
09-32-306-013	285 J-STREET	32.36	
09-32-306-014	281 J-STREET	34.48	
09-32-306-015	279 281 J-STREET	N/A	
09-32-306-016	275 J-STREET	18.82	
09-32-306-022	633 E FIFTH AVE	24.93	
TOTAL/AVERAGE	5 HOUSES	27.61	

NOTE:

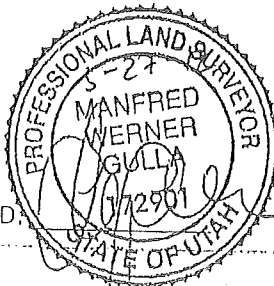
~~HEIGHTS~~  
HEIGHTS  
THIS IS A LIST OF HEIGHTS FOR HOUSES ON THE WEST SIDE OF J-STREET BETWEEN 5TH AND 6TH AVENUE FROM THE HIGHEST (ROOF) TO THE LOWEST (GROUND) POINT.

SURVEYORS CERTIFICATE:

SURVEYOR'S CERTIFICATE

I, Manfred W. Gulla, do hereby certify that I am a Registered Land Surveyor licensed to practice in the State of Utah and that I hold License No. 172901. I further certify that I have made a survey of the parcel of land shown and described on this map. I further certify that the survey was conducted using generally accepted surveying practices.

Manfred W. Gulla  
Utah Registered Land Surveyor  
License No. 172901



DATE: 5-16-2012 SIGNED:

HOUSE HEIGHT

[09-32-306-001-0000]  
CRAVEN, RICHARD T (TR)  
PO BOX 304  
ARIVACA, AZ 85601

[09-32-302-004-0000]  
BRILL GROUP LLC  
2712 BASIL LN  
LOS ANGELES, CA 90077

[09-32-306-002-0000]  
ETTINGER, KENNETH C & POTTER, R WILLIAM (TC  
207 HERITAGE LN  
PLEASANTON, CA 94566-7451

[09-32-307-014-0000]  
PROPERTIES @ 277 K STREET LLC  
2189 S 4000 W  
REXBURG, ID 83440

[09-32-307-015-0000]  
PROPERTIES @ 275 K STREET LLC  
2189 S 4000 W  
REXBURG, ID 83440

[09-32-307-005-0000]  
GARRETT, ANDY & LORELEI; JT  
308 W 82ND ST #6D  
NEW YORK, NY 10024-5355

[09-32-307-018-0000]  
ANGELL, DAVID J & MYRA; JT  
140 E 650 N  
BOUNTIFUL, UT 84010

[09-32-306-019-0000]  
WEEKS, CAROL  
1413 E CENTER ST  
BOUNTIFUL, UT 84010

[09-32-306-006-0000]  
HILLVIEW RP, LLC  
6792 S 1300 E  
COTTONWOOD HTS, UT 84121-2721

[09-32-303-013-0000]  
TEEL, ELIZABETH W  
1478 E SANDPIPER WY #246  
HOLLADAY, UT 84117

[09-32-306-007-0000]  
CUNNINGHAM, CHRISTOPHER B  
2945 AMERICAN SADDLER DR  
PARK CITY, UT 84060-6874

[09-32-310-002-0000]  
KIUHARA, DIANE & FIELD, ROSEMARY B (JT)  
234 N 'I' ST  
SALT LAKE CITY, UT 84103-3009

[09-32-310-001-0000]  
JOHNSON, KAREN T  
236 N 'I' ST  
SALT LAKE CITY, UT 84103-3009

[09-32-305-006-0000]  
WILLIAMS, JIMMIE L  
265 N 'I' ST  
SALT LAKE CITY, UT 84103-3066

[09-32-305-005-0000]  
WHITHAM, SAM  
271 N 'I' ST  
SALT LAKE CITY, UT 84103-3066

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JIMENEZ, JAVIER  
272 N 'I' ST  
SALT LAKE CITY, UT 84103-3067

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MADRIGAL, ELI & CHRISTIAN A; JT  
275 N 'I' ST  
SALT LAKE CITY, UT 84103-3066

[09-32-306-004-0000]  
MOORE, CAITLYN T V & CRAIG M; JT  
276 N 'I' ST  
SALT LAKE CITY, UT 84103-3067

[09-32-305-002-0000]  
CAGATAY, NILUFER  
277 N 'I' ST  
SALT LAKE CITY, UT 84103-3066

[09-32-306-003-0000]  
ASHTON, ART C & MERLA G; TRS  
280 N 'I' ST  
SALT LAKE CITY, UT 84103-3067

[09-32-310-026-0000]  
LARSEN, DEVIN G & MELISSA L; JT  
227 N 'J' ST  
SALT LAKE CITY, UT 84103-3012

[09-32-310-016-0000]  
COOPER, JOHN L, III & SAMANTHA; JT  
231 N 'J' ST  
SALT LAKE CITY, UT 84103-3012

[09-32-311-002-0000]  
BAXTER, STEVEN & DONELLE; JT  
236 N 'J' ST  
SALT LAKE CITY, UT 84103-3011

[09-32-310-015-0000]  
CEPERNICH, DANICA N  
239 N 'J' ST  
SALT LAKE CITY, UT 84103-3012

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POULTON, GEORGE  
240 N 'J' ST  
SALT LAKE CITY, UT 84103-3011

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PUHL, JENNIFER J  
252 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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KIEL, PAUL H & JUDITH H; JT  
258 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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BELLO, CLAUDIO M & VANESSA; JT  
262 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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SINNER, CASEY J & MARY; JT  
270 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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MURTHA, HELEN H  
276 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

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DICOU, JACOBA J & DE WOLF, GERRITJE; JT  
280 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

[09-32-307-001-0000]  
GRAVES, RANDIN C & CHASE, BRANDI; TRS  
288 N 'J' ST  
SALT LAKE CITY, UT 84103-3014

[09-32-307-013-0000]  
ADAMS, E BROOKE & BOGUS, THOMAS L; TRS  
287 N 'K' ST  
SALT LAKE CITY, UT 84103-3533

[09-32-310-010-0000]  
COWLEY, CARLTON W  
1898 E 2700 S  
SALT LAKE CITY, UT 84106-4052

[09-32-303-012-0000]  
GAMMON, WILLIAM R; TR  
9 E 500 N  
SALT LAKE CITY, UT 84103-2102

[09-32-310-014-0000]  
CROMPTON, DAVID G  
2256 E DOWNINGTON AVE  
SALT LAKE CITY, UT 84108-3012

[09-32-305-007-0000]  
URIONA, DEANNE & PACE, JOHN E; TRS  
583 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3002

[09-32-305-010-0000]  
FRENCH, M SHAWN & ELIZABETH M; JT  
587 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3002

[09-32-306-018-0000]  
HARMON, BENJAMIN C  
611 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

[09-32-310-011-0000]  
ALEXANDER, ADRIAN B; TR (LSA 2015 IRR TRUST)  
626 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3003

[09-32-306-020-0000]  
ANDERSON, CHRISTOPHER G; TR ( CGA LV TRST )  
627 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

[09-32-306-021-0000]  
MCKENDRICK, EDITH B & DONNOLO, ANNE M; JT  
629 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

[09-32-306-022-0000]  
TAHBAZ, JOHN A  
633 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3004

[09-32-311-007-0000]  
SMITH, RYAN K & SHARON R; JT  
670 E FIFTH AVE  
SALT LAKE CITY, UT 84103-3501

[09-32-310-013-0000]  
JONES, ERZA THOMAS P  
1159 E FIRST AVE  
SALT LAKE CITY, UT 84103-4109

[09-32-302-003-0000]  
DEBOIS, STEVEN L  
181 E FOURTH AVE  
SALT LAKE CITY, UT 84103-4805

[09-32-305-004-0000]  
FEROLIE, LARRY B & ELLEN A; TRS  
2238 S HANNIBAL ST  
SALT LAKE CITY, UT 84106-4157

[09-32-311-003-0000]  
PAPEZ, JAROSLAV  
341 W REED AVE  
SALT LAKE CITY, UT 84103-1434

[09-32-306-017-0000]  
NMOPRO LLC  
1267 E SHERMAN AVE  
SALT LAKE CITY, UT 84105-2545

[09-32-302-006-0000]  
HENRICHSEN, KIRK B & ESTHER T; JT  
621 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

[09-32-302-014-0000]  
HENRICHSEN, KIRK B & ESTHER R; JT  
621 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

[09-32-306-009-0000]  
RIECK, CARI LEE  
622 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

[09-32-306-010-0000]  
GARDNER, JAMES R & LYNN F; JT  
626 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

[09-32-306-008-0000]  
GARDNER, JAMES R & LYNN F; TC  
626 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

[09-32-302-008-0000]  
BOWTON, LINDSAY K  
633 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

[09-32-306-011-0000]  
NORVELL, RUSSELL & CACHELIN, ADRIENNE M; JT  
634 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

[09-32-306-012-0000]  
WILLIAMSON, JAMES E  
638 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3044

[09-32-302-013-0000]  
ROBERTS-MORRIS, JULIE; TR (JRM LIV TRUST)  
641 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3045

[09-32-307-025-0000]  
CLARK, DIANE L  
664 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3520

[09-32-303-004-0000]  
WELLER, SAM & LILA N.  
665 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3521



[09-32-307-010-0000]  
CLAYTON, VANESSA P  
668 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3520

[09-32-307-011-0000]  
SCHWARTING, TAMARA  
674 E SIXTH AVE  
SALT LAKE CITY, UT 84103-3520

[09-32-307-017-0000]  
MANOUKIAN, NORMAN & TEREZA; JT  
1749 E CRESCENT VIEW DR  
SANDY, UT 84092-5127

[09-32-306-013-0000]  
BOLDSPACE, L.C.  
1713 E SUSAN DR  
SANDY, UT 84092-5143

[09-32-306-014-0000]  
281 N J STREET A SERIES OF BOLDSPACE, L.C.  
1713 E SUSAN DR  
SANDY, UT 84092-5143

[09-32-306-015-0000]  
279 N J STREET SERIES OF BOLDSPACE LC  
1713 E SUSAN DR  
SANDY, UT 84092-5143

[09-32-306-016-0000]  
BOLDSPACE, L.C.  
1713 E SUSAN DR  
SANDY, UT 84092-5143

[09-32-302-005-0000]  
SWAIN, JEFFREY L & KIM L (TC)  
6050 S 1820 W  
TAYLORSVILLE, UT 84129-1456

[09-32-302-003-0000]  
Resident  
603 E 6TH AVE  
Salt Lake City, UT 84103-3045

[09-32-302-005-0000]  
Resident  
615 E 6TH AVE  
Salt Lake City, UT 84103-3045

[09-32-302-006-0000]  
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621 E 6TH AVE  
Salt Lake City, UT 84103-3045

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633 E 6TH AVE  
Salt Lake City, UT 84103-3045

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665 E 6TH AVE  
Salt Lake City, UT 84103-3521

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308 N J ST  
Salt Lake City, UT 84103-3070

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312 N J ST  
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653 E 6TH AVE  
Salt Lake City, UT 84103-3521

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657 E 6TH AVE  
Salt Lake City, UT 84103-3521

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277 N I ST  
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587 E 5TH AVE  
Salt Lake City, UT 84103-3002

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Salt Lake City, UT 84103-3067

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634 E 6TH AVE  
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[09-32-306-012-0000]  
Resident  
638 E 6TH AVE  
Salt Lake City, UT 84103-3044

[09-32-306-014-0000]  
Resident  
281 N J ST  
Salt Lake City, UT 84103-3013

[09-32-306-016-0000]  
Resident  
275 N J ST  
Salt Lake City, UT 84103-3013

[09-32-306-017-0000]  
Resident  
603 E 5TH AVE  
Salt Lake City, UT 84103-3004

[09-32-306-017-0000]  
Resident  
605 E 5TH AVE  
Salt Lake City, UT 84103-3004

[09-32-306-018-0000]  
Resident  
611 E 5TH AVE  
Salt Lake City, UT 84103-3004

[09-32-306-019-0000]  
Resident  
621 E 5TH AVE  
Salt Lake City, UT 84103-3007

[09-32-306-019-0000]  
Resident  
623 E 5TH AVE  
Salt Lake City, UT 84103-3008

[09-32-306-020-0000]  
Resident  
627 E 5TH AVE  
Salt Lake City, UT 84103-3004

[09-32-306-021-0000]  
Resident  
629 E 5TH AVE  
Salt Lake City, UT 84103-3004

[09-32-306-022-0000]  
Resident  
259 N J ST  
Salt Lake City, UT 84103-3013

[09-32-306-022-0000]  
Resident  
633 E 5TH AVE  
Salt Lake City, UT 84103-3004

[09-32-307-001-0000]  
Resident  
288 N J ST  
Salt Lake City, UT 84103-3014

[09-32-307-003-0000]  
Resident  
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Salt Lake City, UT 84103-3014

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Resident  
270 N J ST  
Salt Lake City, UT 84103-3014

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258 N J ST  
Salt Lake City, UT 84103-3014

[09-32-307-008-0000]  
Resident  
252 N J ST  
Salt Lake City, UT 84103-3014

[09-32-307-010-0000]  
Resident  
668 E 6TH AVE  
Salt Lake City, UT 84103-3520

[09-32-307-011-0000]  
Resident  
674 E 6TH AVE  
Salt Lake City, UT 84103-3520

[09-32-307-013-0000]  
Resident  
287 N K ST  
Salt Lake City, UT 84103-3533

[09-32-307-014-0000]  
Resident  
277 N K ST  
Salt Lake City, UT 84103-3533

[09-32-310-001-0000]  
Resident  
236 N I ST  
Salt Lake City, UT 84103-3009

[09-32-310-002-0000]  
Resident  
234 N I ST  
Salt Lake City, UT 84103-3009

[09-32-310-010-0000]  
Resident  
620 E 5TH AVE  
Salt Lake City, UT 84103-3006

[09-32-310-011-0000]  
Resident  
626 E 5TH AVE  
Salt Lake City, UT 84103-3003

[09-32-310-013-0000]  
Resident  
630 E 5TH AVE  
Salt Lake City, UT 84103-3003

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Resident  
632 E 5TH AVE  
Salt Lake City, UT 84103-3003

[09-32-310-015-0000]  
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239 N J ST  
Salt Lake City, UT 84103-3012

[09-32-310-016-0000]  
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231 N J ST  
Salt Lake City, UT 84103-3012

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236 N J ST  
Salt Lake City, UT 84103-3011

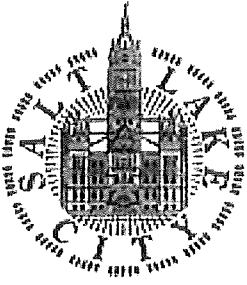
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Resident  
670 E 5TH AVE  
Salt Lake City, UT 84103-3501

[09-32-310-026-0000]  
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227 N J ST  
Salt Lake City, UT 84103-3012

[09-32-302-013-0000]  
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641 E 6TH AVE  
Salt Lake City, UT 84103-3045

[09-32-307-025-0000]  
Resident  
664 E 6TH AVE  
Salt Lake City, UT 84103-3520

[09-32-307-026-0000]  
Resident  
280 N J ST  
Salt Lake City, UT 84103-3014



# SALT LAKE CITY CORPORATION

**Buzz Center**

451 South State Street, Room 215 Phone: (801) 535-7700  
P.O. Box 145471 Fax : (801) 535-7750  
Salt Lake City, Utah 84114

Date: Oct 15, 2015

REDHOUSE DEVELOPMENT

HISTORIC LANDMARK COMMISSION

11762 S. COPPER ROSE WAY  
SOUTH JORDAN, UT 84095

**Project Name:** REDHOUSE DEVELOPMENT

**Project Address:** 279 N J ST

**Detailed Description:**



\* P L N H L C 2 0 1 5 - 0 0 8 4 5 \*

NEW CONSTRUCTION 279 N. J STREET

Description	Qty	Dept	C Ctr	Obj	Amount		
					Invoice	Paid	Due
<b>Invoice Number: 1280459</b>							
Filing Fee	1	06	00900	1485	\$243.00	\$0.00	\$243.00
Postage for Planning Petitions	131	06	00900	1890	\$64.19	\$0.00	\$64.19
<b>Total for invoice 1280459</b>					<b>\$307.19</b>	<b>\$0.00</b>	<b>\$307.19</b>
<b>Total for PLNHLC2015-00845</b>					<b>\$307.19</b>	<b>\$0.00</b>	<b>\$307.19</b>

OFFICE USE ONLY

Intake By: LK2729

CAP ID #

PLNHLC2015-00845

Total Due: \$307.19



www.slcpermits.com

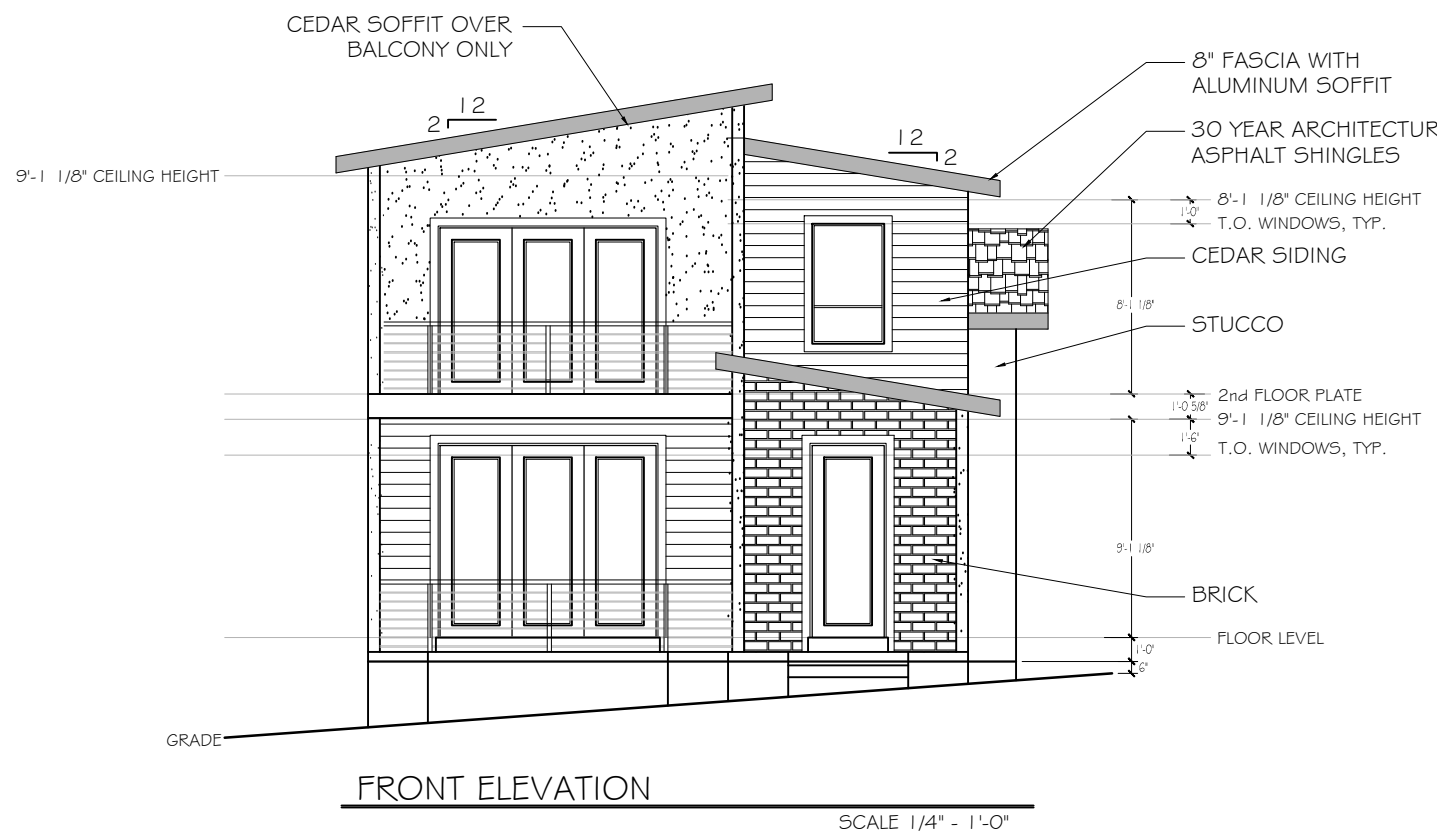


\* P L N H L C 2 0 1 5 - 0 0 8 4 5 \*

Treasurer's Office  
Rcpt# 1347314  
PL PLNHLC2015-00845 CAM  
\$307.19 10/15/2015

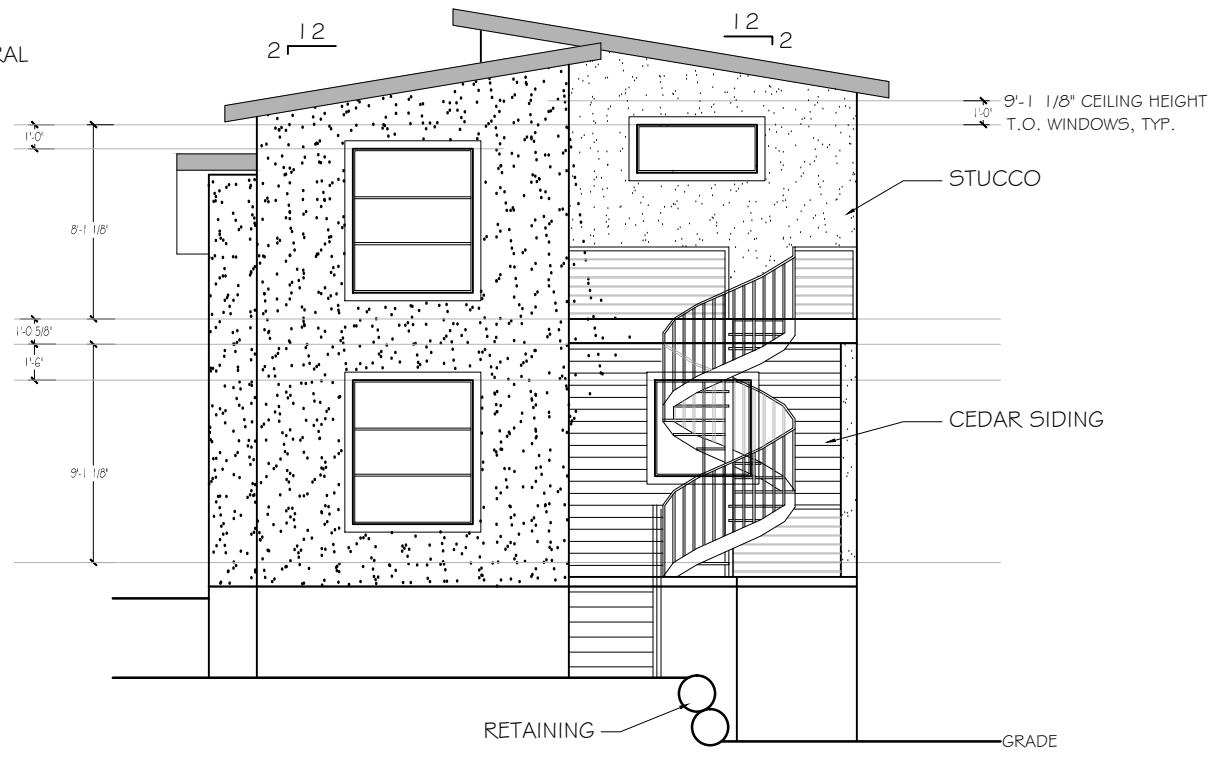
Please Keep This Box Clear





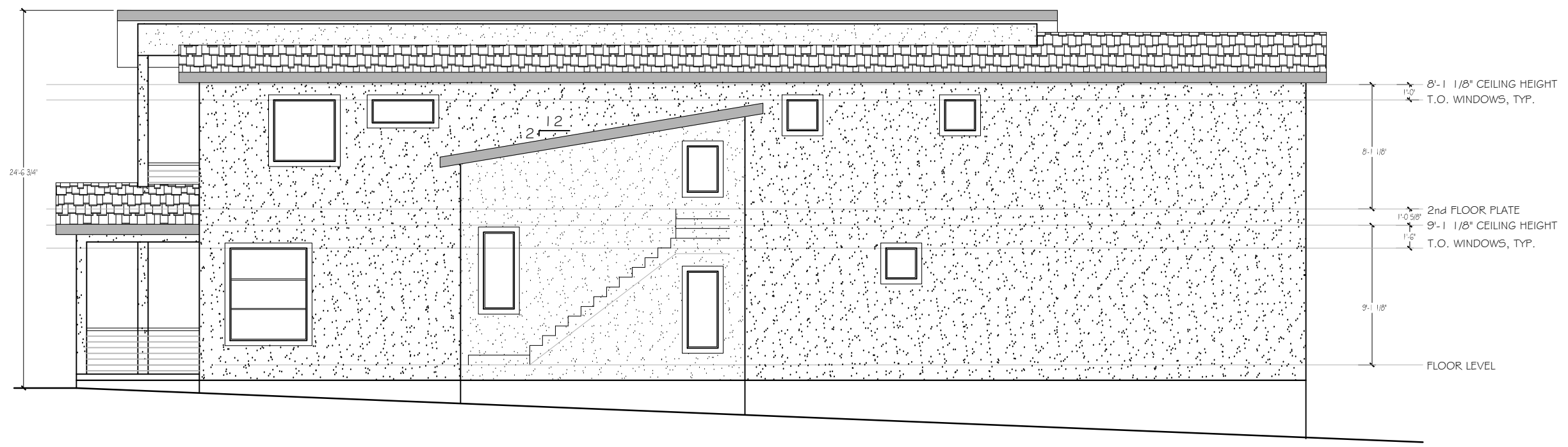
FRONT ELEVATION

SCALE 1/4" - 1'-0"



REAR ELEVATION

SCALE 1/4" - 1'-0"



RIGHT ELEVATION

SCALE 1/4" - 1'-0"

PLAN DATES & REVISIONS	
DATE	DESCRIPTION

NOTES:  
 EACH SUB-CONTRACTOR SHALL CHECK AND UNDERSTAND ALL DIMENSIONS, NOTES AND ANY ASPECTS OF THIS PROJECT APPLICABLE TO THEIR TRADE AND AFFECTING OTHER TRADES PRIOR TO AND DURING CONSTRUCTION NOTIFY DESIGNER OR ENGINEER OF ANY DISCREPANCIES ON THE DRAWINGS OR CHANGES BEFORE PROCEEDING WITH ANY WORK EACH SUB-CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADE THROUGH THE GENERAL CONTRACTOR

PROJECT NAME:  
 RED HOUSE DEVELOPMENT

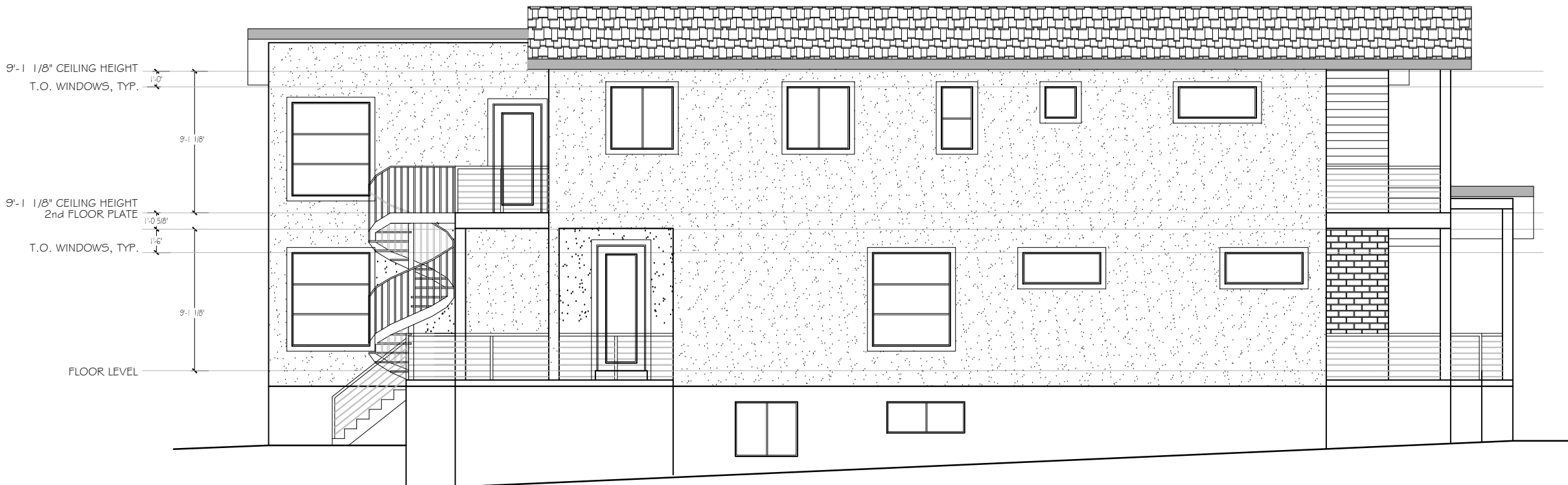
BANGERTER HOMES  
 10424 SOUTH 2700 WEST  
 SUITE 200  
 SOUTH JORDAN, UT 84095  
 PH # 801-446-2866  
 FAX # 801-446-2834



EXTERIOR ELEVATIONS  
 FRONT, REAR AND RIGHT

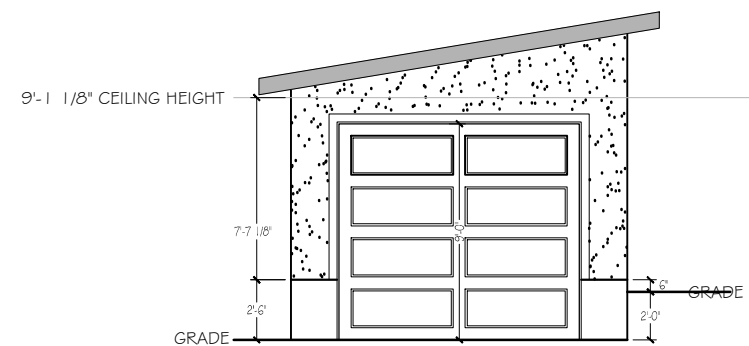
SUBDIVISION:  
 "J" STREET  
 PARCEL #2  
 PLAN NAME:  
 CUSTOM  
 2 STORY PLAN

BUYER: CLAY



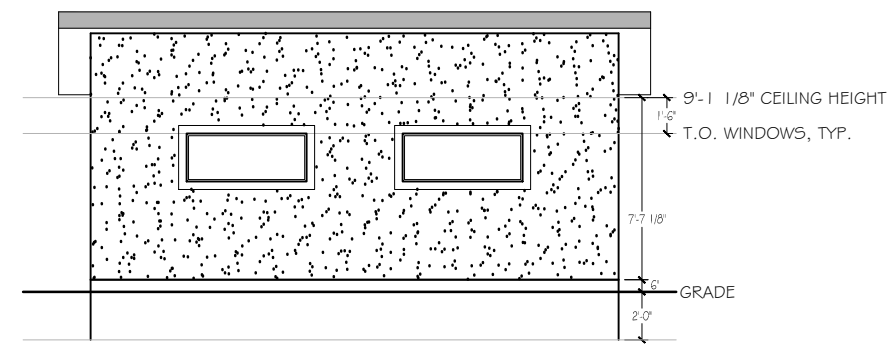
LEFT ELEVATION

SCALE 1/4" = 1'-0"



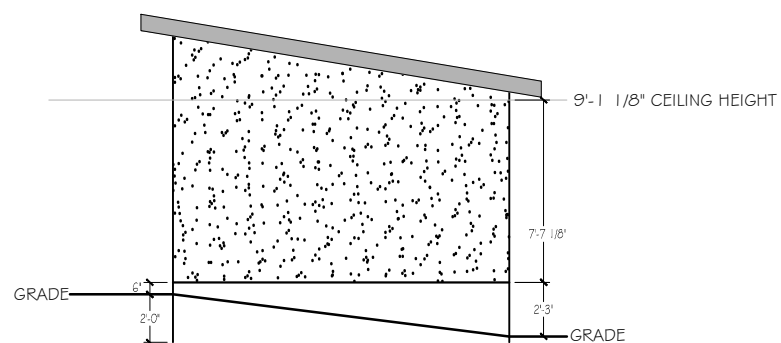
DETACHED GARAGE  
FRONT ELEVATION

SCALE 1/4" = 1'-0"



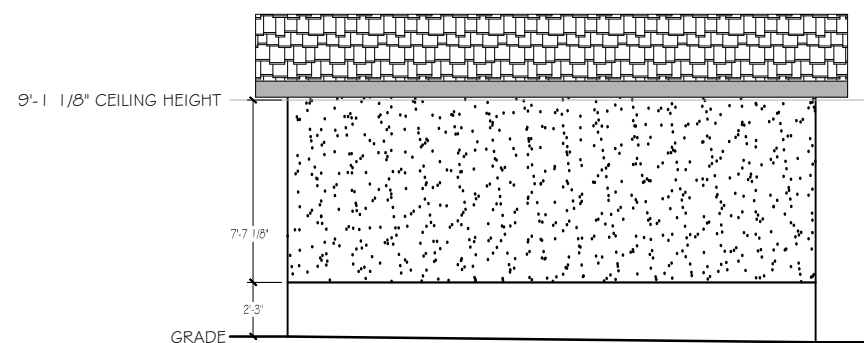
DETACHED GARAGE  
RIGHT ELEVATION

SCALE 1/4" = 1'-0"



DETACHED GARAGE  
REAR ELEVATION

SCALE 1/4" = 1'-0"



DETACHED GARAGE  
LEFT ELEVATION

SCALE 1/4" = 1'-0"

PLAN DATES & REVISIONS

DATE	DESCRIPTION

NOTES:

EACH SUB-CONTRACTOR SHALL CHECK AND UNDERSTAND ALL DIMENSIONS, NOTES AND ANY ASPECTS OF THIS PROJECT APPLICABLE TO THEIR TRADE AND AFFECTING OTHER TRADES PRIOR TO AND DURING CONSTRUCTION NOTIFY DESIGNER OR ENGINEER OF ANY DISCREPANCIES ON THE DRAWINGS OR CHANGES BEFORE PROCEEDING WITH ANY WORK EACH SUB-CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADE THROUGH THE GENERAL CONTRACTOR

PROJECT NAME:

RED HOUSE  
DEVELOPMENT

BANGERTER HOMES

10424 SOUTH 2700 WEST  
SUITE 200  
SOUTH JORDAN, UT 84095

PH # 801-446-2866  
FAX # 801-446-2834

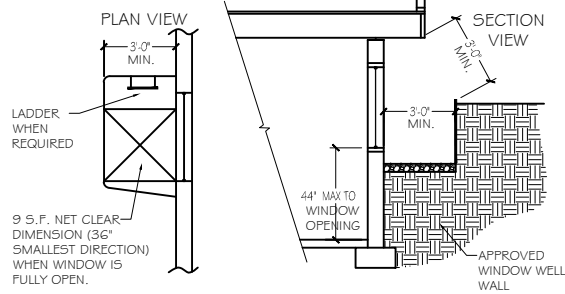


EXTERIOR ELEVATIONS  
LEFT SIDE AND  
DETACHED GARAGE

SUBDIVISION:  
"J" STREET  
PARCEL #2

PLAN NAME:  
CUSTOM  
2 STORY PLAN

BUYER: CLAY

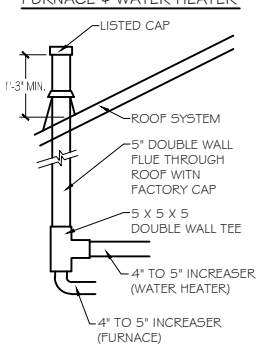


**WINDOW WELL REQUIREMENTS:**

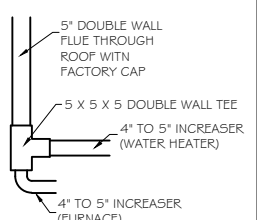
1. WINDOW WELL REQUIRED FOR ESCAPE AND RESCUE WINDOWS WITH FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION.
2. ALL WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN 44" SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER. ALL LADDERS MUST HAVE A 1 1/4" MIN. WIDTH, 1 1/4" MAX. SPACE BETWEEN RUNGS AND A 6" MIN. TOE SPACE.
3. ANY GRATES, BARS, GRILLS, DOMES OR SIMILAR DEVICES ON WINDOW WELLS REQUIRE AN APPROVED RELEASE MECHANISM.
4. EGRESS / RESCUE WINDOWS ARE REQUIRED TO BE 5.7 S.F. CLEAR OPENING WITH A MIN. NET CLEAR OPENING HEIGHT OF 20" (FOR A TALL WINDOW), AND A MIN. NET CLEAR OPENING HEIGHT OF 24" (FOR A WIDE WINDOW) AND A FINISHED SILL HEIGHT NOT TO EXCEED 44" ABOVE THE FLOOR.
5. EGRESS / RESCUE WINDOWS ARE REQUIRED IN EVERY BEDROOM AND AT LEAST ONE IN A BASEMENT. VERIFY WINDOWS MEET EGRESS AS INDIVIDUAL MANUFACTURERS MAY VARY IN NET CLEAR OPENINGS.

☒ = SEE WINDOW WELL DETAIL

**DIAGRAM FOR VENTING FURNACE & WATER HEATER**



**DIAGRAM FOR VENTING FURNACE & WATER HEATER**



**HOLDOWN SCHEDULE**

SYMBOL	HOLDOWN/STRAP
CS16 STRAP w/ 14" LAP ONTO STUDS	SEE DETAIL 12/SD.1
MST37 STRAP	SEE DETAIL 12/SD.1
LSTHD8/BRJ HOLDOWN	SEE DETAIL 15/SD.1
STHD10/10RJ HOLDOWN	SEE DETAIL 15/SD.1
STHD14/14RJ HOLDOWN	SEE DETAIL 15/SD.1
HDUZ-SDS2.5 RETROFIT HOLDOWN w/ 1/2" DIA. THREADED ROD ANCHOR EMBEDDED 7" INTO FOOTING w/ SIMPSON SET-XP EPOXY	SEE DETAIL 32/SD.2

FOOTINGS AND FOUNDATIONS, EXCAVATIONS, GRADING AND FILL SHALL COMPLY WITH THE PROVISIONS OF THE GEOTECHNICAL REPORT.

**FOUNDATION WALL SCHEDULE**

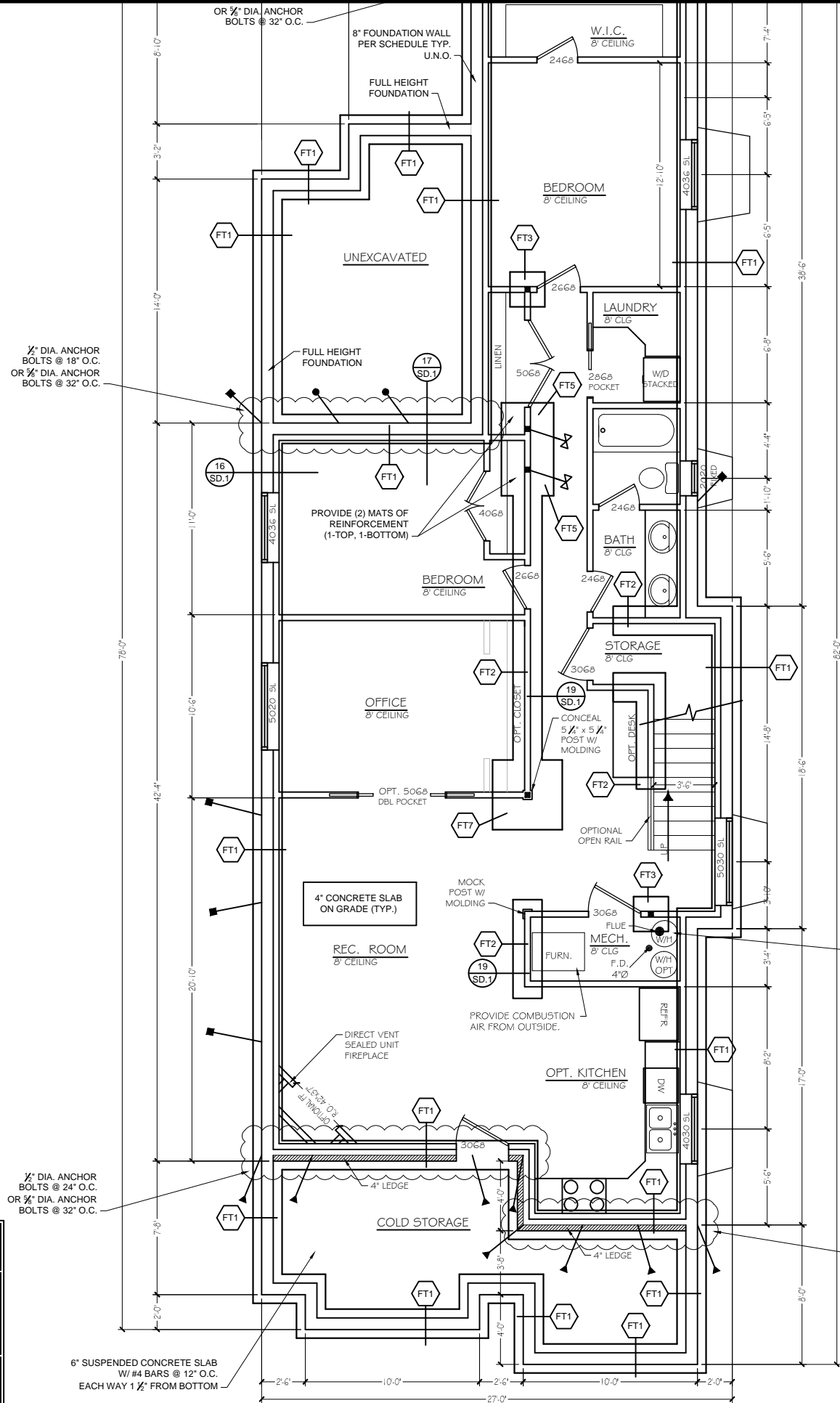
SIZE	REINFORCEMENT
3' FOUNDATION WALL	#4 BARS @ 24" O.C. VERTICAL, (3) #4 BARS HORIZONTAL
4' FOUNDATION WALL	#4 BARS @ 24" O.C. VERTICAL, (4) #4 BARS HORIZONTAL
8' FOUNDATION WALL	#4 BARS @ 24" O.C. VERTICAL, (6) #4 BARS HORIZONTAL

- NOTES:
1. USE 1/2" DIAMETER x 7" EMBEDMENT ANCHOR BOLTS @ 32" O.C. W/ 3"x3"x1/2" (0.225") PLATE WASHERS AT ALL EXTERIOR AND SHEAR WALLS U.N.O.
  2. Fc=3,000 PSI, fy=60,000 PSI
  3. PLACE (1) #4 BAR BELOW AND ON EACH SIDE OF EACH OPENING AND (2) #4 BARS ABOVE EACH OPENING. BARS SHALL BE PLACED WITHIN 2" OF THE OPENINGS AND EXTEND 24" BEYOND THE EDGE OF THE OPENING. VERTICAL BARS MAY TERMINATE 3" FROM THE TOP OF THE CONCRETE. OPENING REINFORCEMENT IS IN ADDITION TO STANDARD WALL REINFORCEMENT.
  4. TOP AND BOTTOM BARS SHALL BE WITHIN 4" OF THE TOP AND BOTTOM OF THE WALL.
  5. PLACE REINFORCEMENT IN THE CENTER OF THE WALL U.N.O.

**FOOTING SCHEDULE**

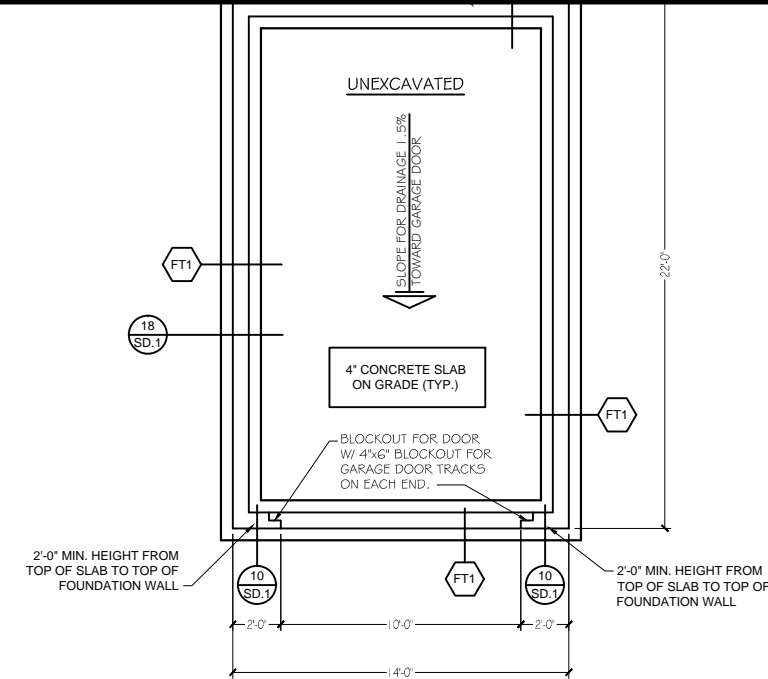
DESIG.	LENGTH	WIDTH	DEPTH	LENGTHWISE REINFORCEMENT				CROSSWISE REINFORCEMENT				CAPACITY	NOTE
				QTY.	SIZE	LENGTH	SPACING	QTY.	SIZE	LENGTH	SPACING		
FT1	CONT.	20"	10"	2	#4	CONT.	EQ.	-	-	-	-	2500 PLF	
FT2	CONT.	18"	10"	2	#4	CONT.	EQ.	-	-	-	-	2250 PLF	SEE DETAIL 19/SD.1
FT3	24"	24"	10"	3	#4	18"	EQ.	3	#4	18"	EQ.	6000 LBS	
FT4	30"	30"	10"	3	#4	24"	EQ.	3	#4	24"	EQ.	9375 LBS	
FT5	36"	36"	10"	4	#4	30"	EQ.	4	#4	30"	EQ.	13500 LBS	
FT6	42"	42"	10"	4	#4	36"	EQ.	4	#4	36"	EQ.	18375 LBS	
FT7	48"	48"	10"	5	#4	42"	EQ.	5	#4	42"	EQ.	24000 LBS	

- NOTES:
1. Fc=2,500 PSI, fy=60,000 PSI
  2. FOOTINGS SHALL BEAR ON UNDISTURBED NATIVE SOILS OR STRUCTURAL COMPACTED FILL (95% COMPACTION), SPECIFIED AND TESTED BY A REGISTERED GEOTECHNICAL ENGINEER.
  3. ALL FOOTINGS SHALL BEAR BELOW THE FROST LINE OF THE LOCALITY. (90" U.N.O.) PROVIDE 12" DIAMETER SONO-TUBE AT EXTERIOR SPOT FOOTINGS PER DETAIL 20/SD.1
  4. PROVIDE L-BARS TO MATCH VERTICAL FOUNDATION WALL REINFORCEMENT WITH 24" MINIMUM LAP SPLICE INTO FOUNDATION WALL.
  5. CENTER FOOTING UNDER FOUNDATION WALL U.N.O.



**FOOTING / FOUNDATION & BASEMENT PLAN**

1685 SQ. FT. WITH COLD STORAGE SCALE 1/4" = 1'-0"



**FOOTING / FOUNDATION PLAN FOR DETACHED GARAGE**

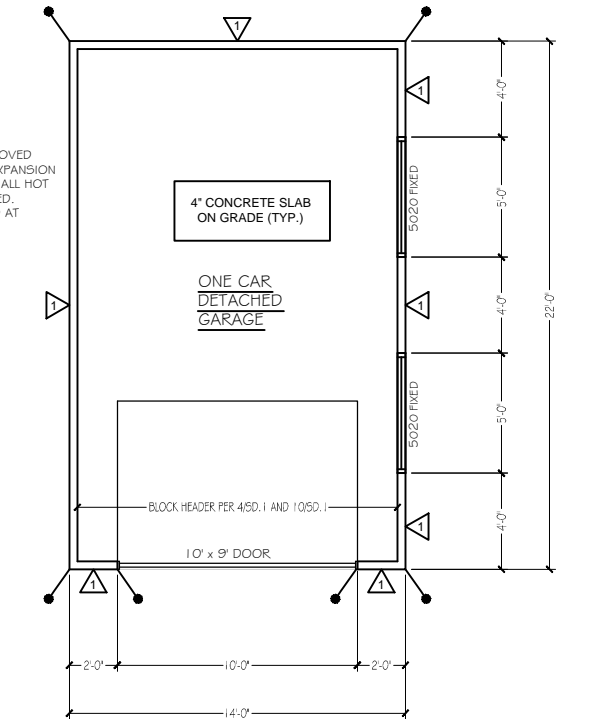
SCALE 1/4" = 1'-0"

**SHEAR WALL SCHEDULE**

DESIG.	MATERIAL	#16 NAILS		1/2" x 16 GAGE STAPLES		CAPACITY		NOTE
		EDGE	FIELD	EDGE	FIELD	WIND	SEISMIC	
1	1/2" OSB OR CDX PLYWOOD	6"	12"	3/4"	12"	360	260	2.4.5
2	1/2" OSB OR CDX PLYWOOD	4"	12"	2"	12"	530	350	2.4.5
3	1/2" OSB OR CDX PLYWOOD	3"	12"	-	-	685	490	2.4.5.6
4	1/2" OSB OR CDX PLYWOOD	2"	12"	-	-	895	640	2.4.5.6
5	1/2" SHEET ROCK OR BETTER	7"	7"	7"	7"	100	100	7
6	1/2" SHEET ROCK OR BETTER	4"	4"	4"	4"	125	125	7

NOTES:

1. WALL STUDS ARE TO BE SPACED AT 16" O.C. U.N.O.
2. UNIT SHEAR CAPACITIES ARE BASED ON AFAPA SDPWS TABLE 4.3A (IBC 2306.3)
3. USE 2" KING STUDS AT EACH END OF SHEAR PANELS (SHEAR WALL CROSS U.N.O.)
4. ALL PANEL EDGES SHALL BE BLOCKED WITH 2-INCH NOMINAL OR WIDER FRAMING WITH EDGE NAILING AT ALL SUPPORTS AND PANEL EDGES U.N.O. (AFAPA SDPWS 4.3.7.1 NOTE 1)
5. WHERE PANELS ARE APPLIED ON BOTH SIDES OF A WALL AND NAIL SPACING IS LESS THAN 6" O.C. ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.
6. FRAMING AT ADJOINING PANEL EDGES AND SILL PLATES SHALL BE 3-INCH NOMINAL OR WIDER FOR EDGE NAILING 3" O.C. OR LESS. NAILS AT ADJOINING PANEL EDGES AND INTO SILL PLATES SHALL BE STAGGERED. (AFAPA SDPWS 4.3.7.1 NOTE 3)
7. NAILS FOR SHEET ROCK SHEARWALLS SHALL BE 5d COOLER NAILS IN LIEU OF #8 NAILS. DRYWALL SCREWS ARE PERMITTED TO SUBSTITUTE FOR 5d COOLER NAILS IF THEIR DIMENSIONS ARE NOT LESS THAN 1"x0.086" (IBC TABLE 2306.7 NOTE 4)



**DETACHED GARAGE FLOOR PLAN**

SCALE 1/4" = 1'-0"

**PLAN DATES & REVISIONS**

DATE	DESCRIPTION

**NOTES:**

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PROJECT NAME:

RED HOUSE DEVELOPMENT

BANGERTER HOMES

10424 SOUTH 2700 WEST SUITE 200 SOUTH JORDAN, UT 84095

PH # 801-446-2866 FAX # 801-446-2834



FOOTING / FOUNDATION BASEMENT PLAN AND DETACHED GARAGE

SUBDIVISION: "J" STREET PARCEL #2

PLAN NAME: CUSTOM 2 STORY PLAN

BUYER: CLAY



ALL SHALL BE IN ACCORDANCE WITH ALL ADOPTED REGULATIONS SET FORTH BY THE JURISDICTION IN WHICH CONSTRUCTION TAKES PLACE.

ACCESS CLEAR OPENING OF 22"x30". ACCESS LOCATED ABOVE A CLOSET SHELF AND SHALL HAVE MIN. CLEARANCE.

NON-ABSORBENT WATERPROOF SHEETROCK (OR OTHER MATERIAL) FULL HEIGHT OF WALLS AROUND TUBS AND SHOWER ENCLOSURES.

TYPE "X" GYP. ON ALL WALLS, CEILING, BEAMS AND RAFTERS. FOR FIRE PROTECTION BETWEEN HOUSE AND GARAGE, TWO LAYERS ON CEILING IF DWELLING SPACE (GARAGE), EACH SHEET TO BE NAILED 4" O.C. AT 18" ON CENTER IN FIELD.

ATTIC FINISH AS FOLLOWS: 1 S.F. PER 150 S.F. OF ATTIC AREA.

GRADE TO HAVE A MIN. 6" SLOPE AWAY FROM HOUSE. MIN. 10 FEET AND A 2% SLOPE THEREAFTER. ALL DRAINAGE TO DRAIN INTO APPROVED DRAINING SYSTEM.

WINDOWS SHALL HAVE A MIN. CLEAR OPENING OF 20" FOR A MIN. NET CLEAR OPENING WIDTH OF 20" (FOR A MIN. NET CLEAR OPENING HEIGHT OF 24" (FOR A MIN. NET CLEAR OPENING HEIGHT NOT TO EXCEED 44" ABOVE FINISHED FLOOR).

TUB OR SHOWER ENCLOSURES TO BE FULLY GLAZED.

GLASS SHALL BE USED IN ALL GLASS DOORS, GLASS DOORS OVER BATHTUBS, WINDOWS WITHIN 18" OF FINISH GUARD RAILINGS, AND WINDOWS WITHIN 18" OF FINISH GUARD RAILINGS.

DOOR TYPE: MAX. 1.6 GAL. PER FLUSH. RATE FOR SHOWER HEADS TO BE 2.5 GAL. PER MINUTE.

VENTS: AIR ADMITTANCE VALVES LOCATION SHALL BE 12" ABOVE THE HORIZONTAL BRANCH DRAIN OR HORIZONTAL VENT. THE AIR ADMITTANCE VALVE SHALL BE THE MAX. DEVELOPED LENGTH PERMITTED FOR AIR ADMITTANCE VALVE SHALL BE INSTALLED A MIN. 12" ABOVE FINISHED FLOOR. INSULATED MATERIALS WHERE INSTALLED IN ATTICS.

VENTRATIONS THROUGH GARAGE FIRE WALL MUST BE THROUGH ROOF. NO SLIP JOINT PLUMBING CONNECTIONS ABOVE CEILING CONSTRUCTION AREAS. (BATH TUBS)

INSULATE WALL PLUMBING, WATER, DRAIN LINES IN CONTACT TO FREEZING. EXTERIOR WALLS, ATTICS, CRAWL SPACES.

MECHANICAL:

AIRDUCTS TO BE LOCATED WITHIN THE UPPER 12" OF THE FLOOR. IRCM 1703.2

FOR COMBUSTION TO REMAIN SEPARATE FROM TO THE OUTSIDE AIR SOURCE. IRCM 1602.3

A CLOSET SHALL HAVE A MIN. 3" CLEAR WORKING SPACE BACK AND TOP. IRCM 1305.1.1

TERMINATE 4" BELOW, OR 4" HORIZONTALLY AND HAVE A DOOR, OPENABLE WINDOW, OR GRAVITY AIR DRAIN. IRCM 1804.2.6

RANGE REQ'D ABOVE RANGE TOP TO CEILING. IRCM 1901.1

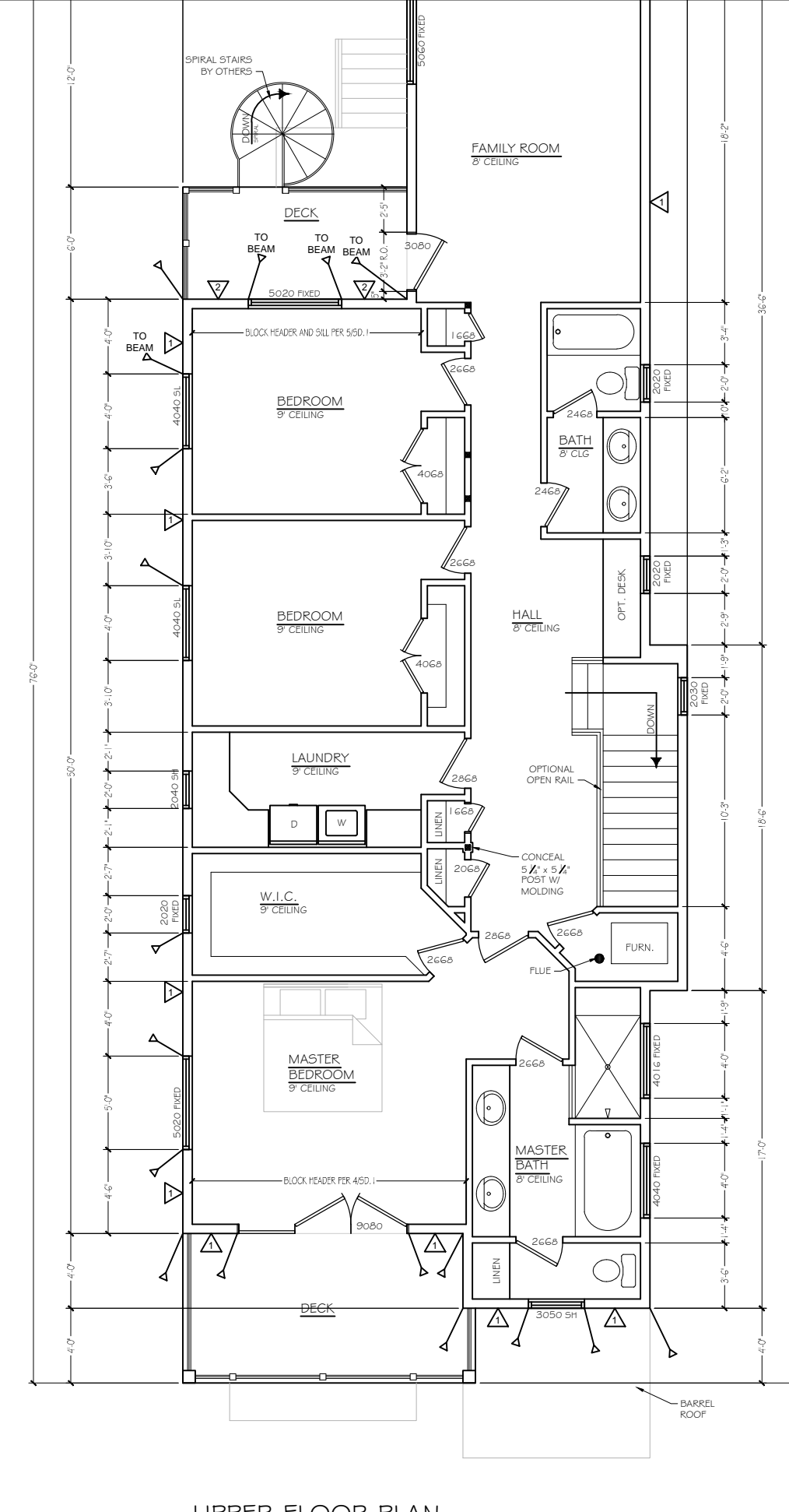
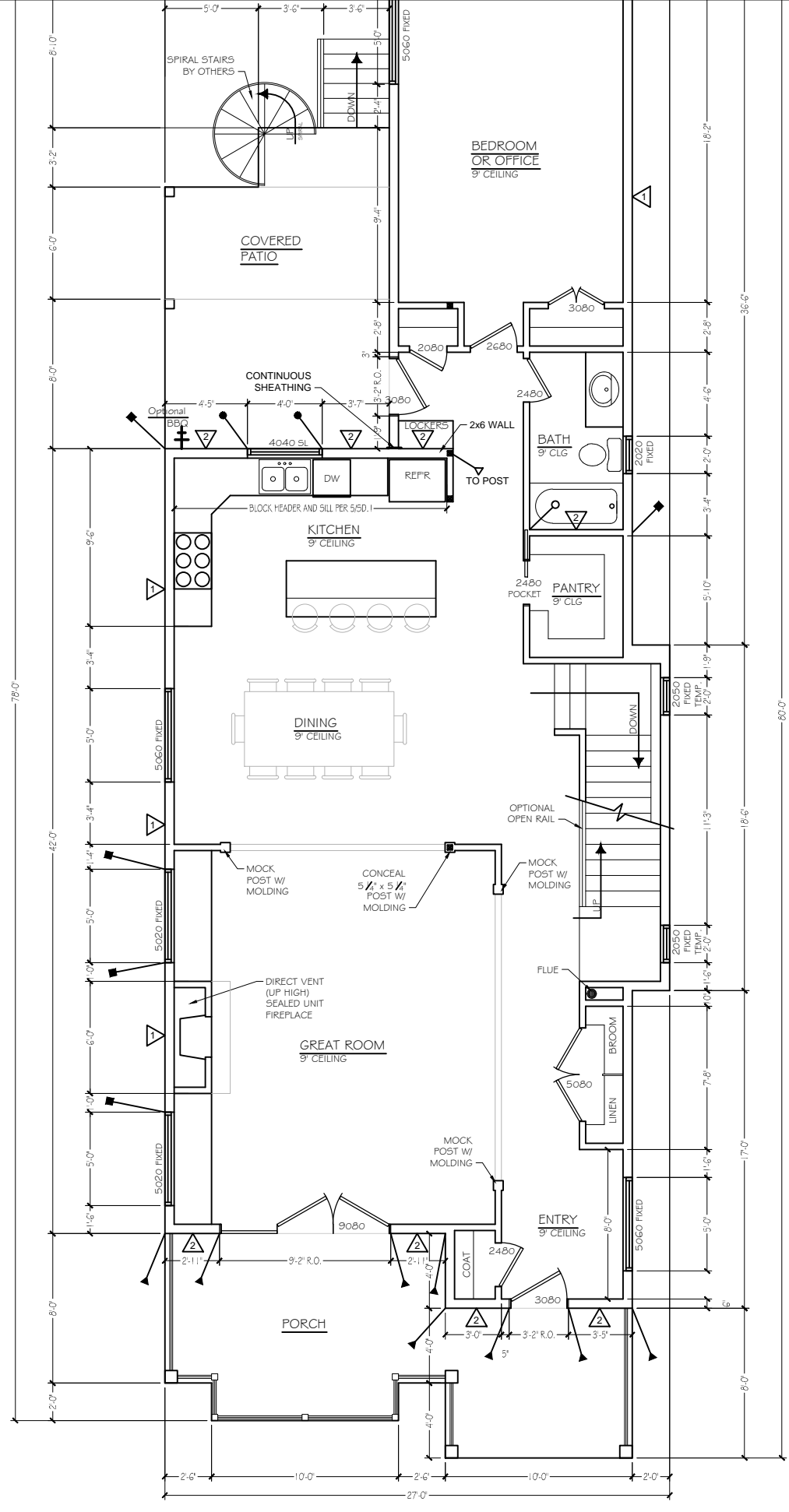
5 PROVIDING 5 AIR CHANGES PER HOUR TO BATHROOMS AND LAUNDRY ROOM WITHOUT AN EXHAUST FAN. IRCM 1901.1

2. REFER TO THE STRUCTURAL CALCULATIONS FOR THE GENERAL STRUCTURAL NOTES.
3. ROOF SHEATHING SHALL BE APA RATED 5/8" OSB OR CDX PLYWOOD WITH 8d NAILS AT 6" O.C. EDGE, 12" O.C. FIELD.
4. FLOOR SHEATHING SHALL BE APA RATED 5/8" T&G WITH 10d NAILS OR SIMPSON WSHNTLS #8 WOOD SCREWS AT 6" O.C. EDGE, 12" O.C. FIELD.
5. EXTERIOR STUD WALLS SHALL BE 2x6 @ 16" O.C. U.N.O.
6. USE (1) 16d NAILS BETWEEN TOP PLATE SPLICE POINTS ON ALL EXTERIOR AND SHEAR WALLS. PROVIDE A 4" MINIMUM LAP SPLICE.
7. INSTALL ALL SIMPSON HARDWARE PER MANUFACTURER'S SPECIFICATIONS.
8. HOLD-DOWNS SHALL BE INSTALLED ON (2) FULL HEIGHT KING STUDS (MINIMUM).
9. FLOOR JOISTS SHALL BE 17/8" T&G @ 16" O.C. U.N.O.
10. ROOF RAFTERS SHALL BE 2x6 @ 16" O.C. U.N.O.
11. PROVIDE 2x SQUASH BLOCKING AT FLOOR FRAMING TO MATCH DIMENSIONS OF POST ABOVE.
12. ALL DETAILS SHALL APPLY IN ALL SIMILAR SITUATIONS.
13. IF SUSPENDED PORCH SLAB EXCEEDS 8" THICKNESS, PROVIDE #4 BARS AT 18" O.C. FROM TOP OF SLAB IN ADDITION TO THE BOTTOM STEEL NOTED ON THE PLANS.
14. ALL LUMBER NOT PERMANENTLY PROTECTED FROM THE ELEMENTS SHALL BE PRESERVATIVE TREATED OR OF A DECAY RESISTANT SPECIES. CONTACT LEI ENGINEERS AND SURVEYORS, INC. IF A DIFFERENT SPECIES IS TO BE USED.

SYMBOL	HOLD-DOWN/STRAP
	CS16 STRAP w/ 14" LAP ONTO STUDS SEE DETAIL 12/SD.1
	MST37 STRAP SEE DETAIL 12/SD.1
	LSTHD8/BRJ HOLD-DOWN SEE DETAIL 15/SD.1
	STHD10/10RJ HOLD-DOWN SEE DETAIL 15/SD.1
	STHD14/14RJ HOLD-DOWN SEE DETAIL 15/SD.1
	HDUZ-SDS2.5 RETROFIT HOLD-DOWN w/ 3/4" DIA. THREADED ROD ANCHOR EMBEDDED 7" INTO FOOTING w/ SIMPSON SET-XP EPOXY SEE DETAIL 32/SD.2

DESIG.	MATERIAL	8d NAILS		16 GAGE STAPLES		CAPACITY		NOTE
		EDGE	FIELD	EDGE	FIELD	WIND	SEISMIC	
1	5/8" OSB OR CDX PLYWOOD	6"	12"	3 1/2"	12"	360	260	2.4.5
2	5/8" OSB OR CDX PLYWOOD	4"	12"	2 1/8"	12"	530	350	2.4.5
3	5/8" OSB OR CDX PLYWOOD	3"	12"	-	-	685	490	2.4.5.6
4	5/8" OSB OR CDX PLYWOOD	2"	12"	-	-	895	640	2.4.5.6
5	5/8" SHEET ROCK OR BETTER	7"	7"	7"	7"	100	100	7
6	5/8" SHEET ROCK OR BETTER	4"	4"	4"	4"	125	125	7

NOTES: 1. WALL STUDS ARE TO BE SPACED AT 16" O.C. U.N.O.  
2. UNIT SHEAR CAPACITIES ARE BASED ON AF&PA SDPWS TABLE 4.3A (IBC 2306.3)  
3. USE (2) KING STUDS AT EACH END OF SHEAR PANELS (SHEAR WALL CHORDS) U.N.O.  
4. ALL PANEL EDGES SHALL BE BLOCKED WITH 2-INCH NOMINAL OR WIDER FRAMING WITH EDGE NAILING AT ALL SUPPORTS AND PANEL EDGES U.N.O. (AF&PA SDPWS 4.3.7.1 NOTE 1)  
5. WHERE PANELS ARE APPLIED ON BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 6" O.C. ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.  
6. FRAMING AT ADJOINING PANEL EDGES AND SILL PLATES SHALL BE 3-INCH NOMINAL OR WIDER FOR EDGE NAILING 3" O.C. OR LESS THAN NAILS AT ADJOINING PANEL EDGES AND INTO SILL PLATES SHALL BE STAGGERED. (AF&PA SDPWS 4.3.7.1 NOTE 3)  
7. NAILS FOR SHEET ROCK SHEARWALLS SHALL BE 5d COLLER NAILS IN LIEU OF 8d NAILS. DRYWALL SCREWS ARE PERMITTED TO SUBSTITUTE FOR 5d COLLER NAILS IF THEIR DIMENSIONS ARE NOT LESS THAN 1 1/2" x .086" (IBC TABLE 2306.7 NOTE 2)



PLAN DATES & REVISIONS	
DATE	DESCRIPTION

**NOTES:**

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PROJECT NAME:  
**RED HOUSE DEVELOPMENT**

**BANGERTER HOMES**

10424 SOUTH 2700 WEST  
SUITE 200  
SOUTH JORDAN, UT 84095

PH # 801-446-2866  
FAX # 801-446-2834



MAIN FLOOR PLAN & UPPER FLOOR PLAN

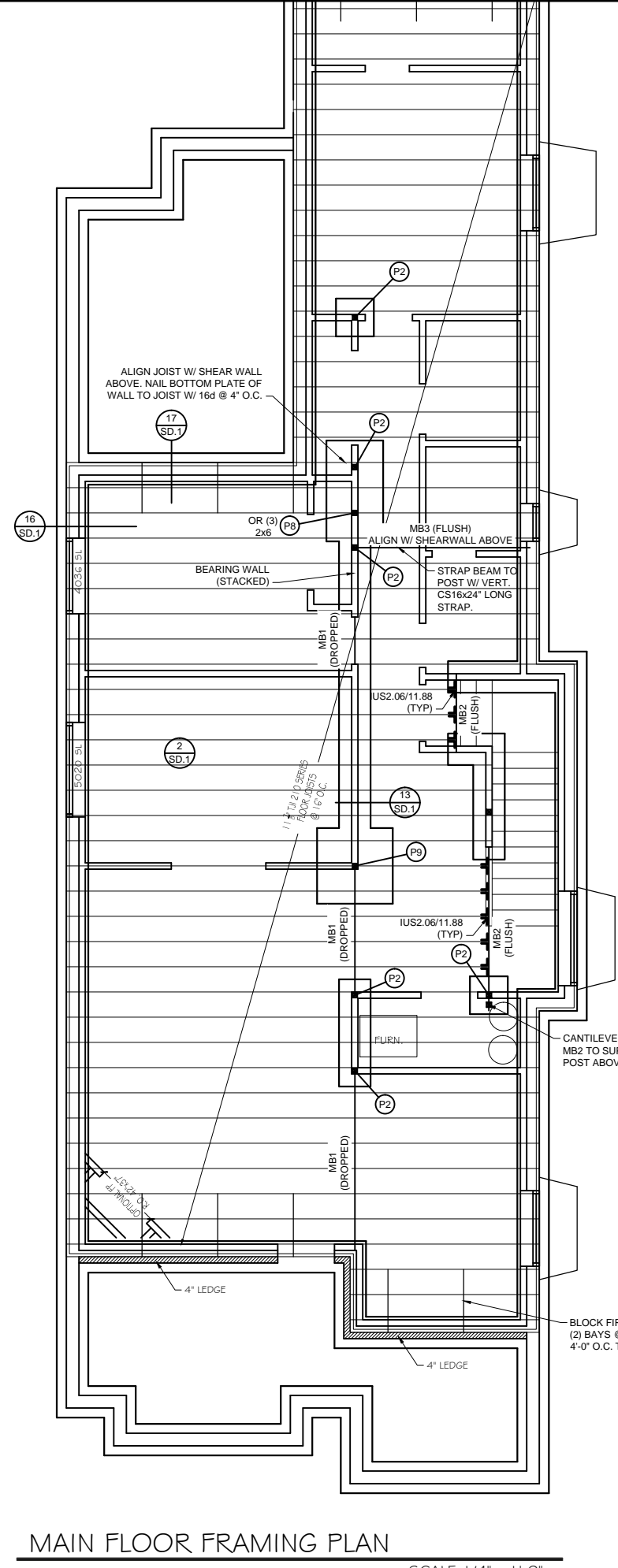
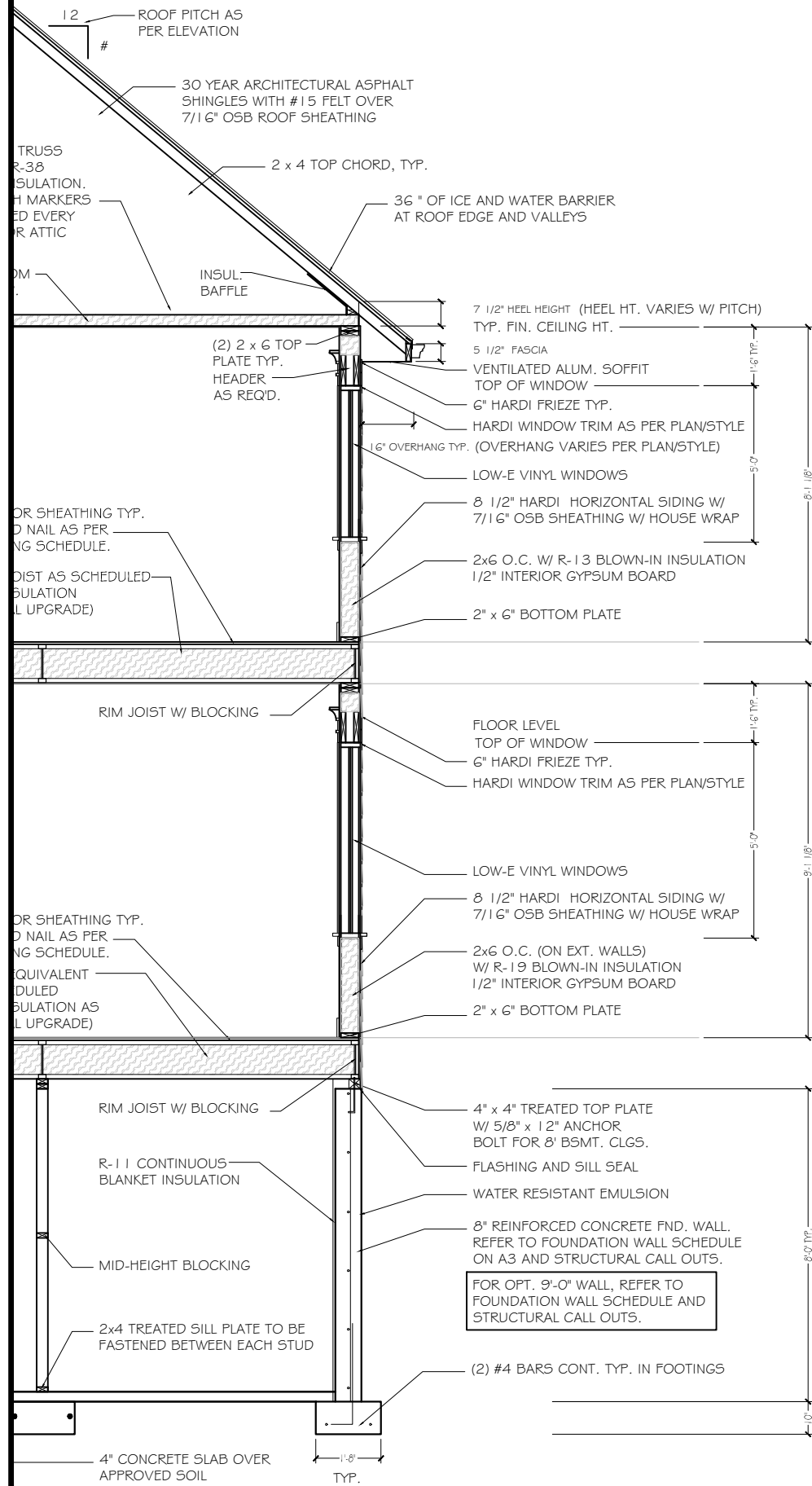
SUBDIVISION:  
"J" STREET  
PARCEL #2

PLAN NAME:  
CUSTOM  
2 STORY PLAN

BUYER: CLAY

A4

TYPICAL TWO-STORY WALL SECTION  
NOT TO SCALE



MAIN FLOOR FRAMING PLAN  
SCALE 1/4" = 1'-0"

**POST SCHEDULE**

DESIG.	POST SIZE
P1	(1) 2x
P2	(2) 2x
P3	(3) 2x
P4	(4) 2x
P5	(5) 2x
P6	4x4
P7	6x6
P8	3 1/2" x 7" PARALLAM POST
P9	5 1/2" x 9" PARALLAM POST

NOTES:  
1. POSTS INDICATE NUMBER OF TRIMMER STUDS WHEN SPECIFIED AT HEADERS. ALL OTHER POST DESIGNATIONS REFER TO FULL HEIGHT KING STUDS U.N.O.  
2. INSTALL (1) TRIMMER AND (1) KING STUD EACH SIDE OF EACH OPENING U.N.O.  
3. INSTALL (2) TRIMMER STUDS AT EACH SIDE OF OPENINGS GREATER THAN 8'-0" WIDE U.N.O.  
4. INSTALL (2) KING STUDS EACH SIDE OF OPENINGS GREATER THAN 8'-0" WIDE U.N.O.  
5. 2x BUILT-UP POSTS SHALL BE THE SAME WIDTH OF THE WALL IN WHICH THEY ARE FRAMED U.N.O.  
6. NAIL EACH PLY OF 2x BUILT-UP POSTS W/ 16d NAILS @ 6" O.C. STAGGERED U.N.O.  
7. POSTS THAT ARE NOT FRAMED WITH A STUD WALL SHALL BE BRACED WITH BC OR AC POST CAP AND FC OR ABA POST BASE U.N.O.

**FRAMING NOTES**

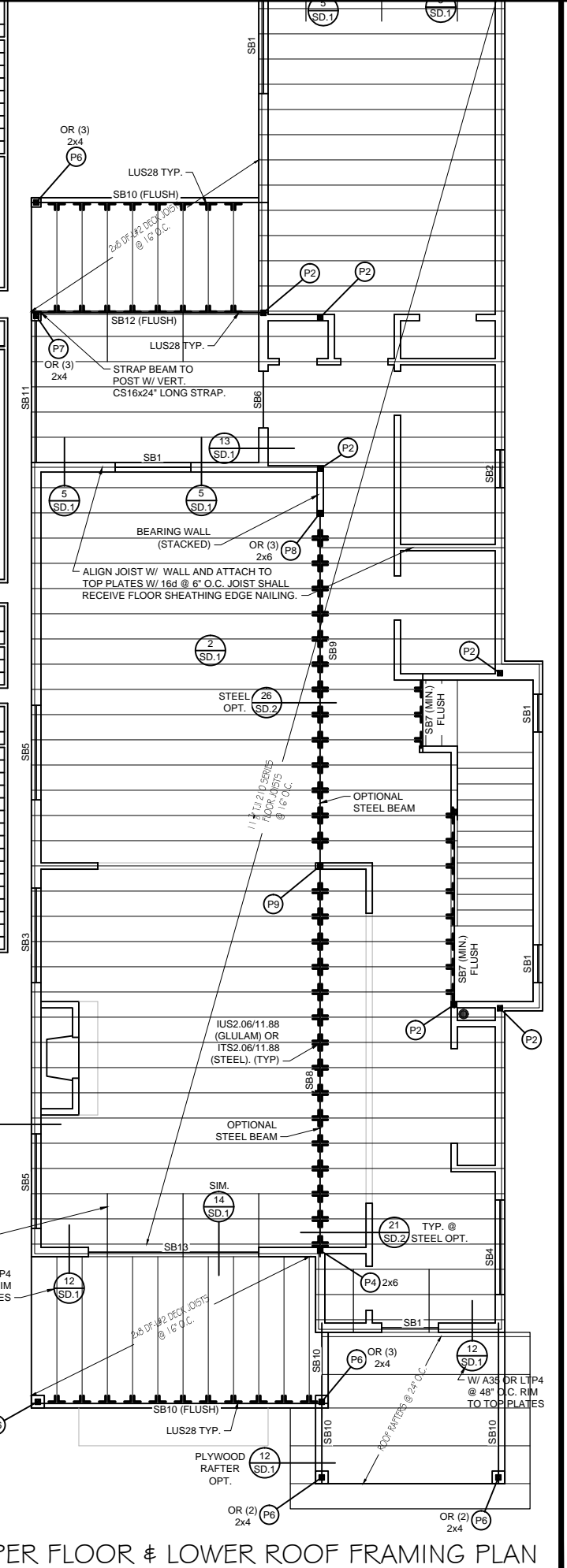
- PLANS ARE NOT COMPLETE WITHOUT THE STRUCTURAL CALCULATIONS.
- REFER TO THE STRUCTURAL CALCULATIONS FOR THE GENERAL STRUCTURAL NOTES.
- ROOF SHEATHING SHALL BE APA RATED 5/8" OSB OR CDX PLYWOOD WITH 8d NAILS AT 6" O.C. EDGE, 12" O.C. FIELD.
- FLOOR SHEATHING SHALL BE APA RATED 3/4" T&G WITH 10d NAILS OR SIMPSON WSN12LS 8d WOOD SCREWS AT 6" O.C. EDGE, 12" O.C. FIELD.
- EXTERIOR STUD WALLS SHALL BE 2x6 @ 16" O.C. U.N.O.
- USE (1) 16d NAILS BETWEEN TOP PLATE SPICE POINTS ON ALL EXTERIOR AND SHEAR WALLS. PROVIDE A 4'-0" MINIMUM LAP SPICE.
- INSTALL ALL SIMPSON HARDWARE PER MANUFACTURER'S SPECIFICATIONS.
- HOLD-DOWNS SHALL BE INSTALLED ON (2) FULL HEIGHT KING STUDS (MINIMUM).
- FLOOR JOISTS SHALL BE 11 1/2" T&G10 AT 16" O.C. U.N.O.
- ROOF RAFTERS SHALL BE 2x6 DF L&2 AT 16" O.C. U.N.O.
- PROVIDE 2x SQUARE BLOCKING AT FLOOR FRAMING TO MATCH DIMENSIONS OF POST ABOVE.
- ALL DETAILS SHALL APPLY IN ALL SIMILAR SITUATIONS.
- IF SUSPENDED POORLY SLAB EXCEEDS 8" THICKNESS, PROVIDE #4 BARS AT 18" O.C. 1/2" FROM TOP OF SLAB IN ADDITION TO THE BOTTOM STEEL NOTED ON THE PLANS.
- ALL LUMBER NOT PERMANENTLY PROTECTED FROM THE ELEMENTS SHALL BE PRESERVATIVE TREATED (P) OF A DECAY RESISTANT SPECIES. CONTACT LEI ENGINEERS AND SURVEYORS, INC. IF A DIFFERENT SPECIES IS TO BE USED.

**BEAM SCHEDULE**

DESIG.	QTY.	SIZE	TYPE
MB1	2	1 1/2" x 11 1/2"	MICROLLAM
MB2	3	1 1/2" x 11 1/2"	MICROLLAM
MB3	2	1 1/2" x 11 1/2"	MICROLLAM

**BEAM SCHEDULE**

DESIG.	QTY.	SIZE	TYPE
SB1	2	2x8	DF-L#2
SB2	2	2x6	DF-L#2
SB3	2	2x8	DF-L#2
SB4	2	2x8	DF-L#2
SB5	3	2x10	DF-L#2
SB6	2	2x8	DF-L#2
SB7	1	1 1/2" x 11 1/2"	MICROLLAM
SB8	1	6 3/4" x 16 1/2"	GLULAM
OR	1	W10x26	A992 STEEL
SB9	1	6 3/4" x 16 1/2"	GLULAM
OR	1	W10x26	A992 STEEL
SB10	1	5 1/2" x 9"	GLULAM
SB11	1	3 1/2" x 9"	GLULAM
SB12	2	1 1/2" x 11 1/2"	MICROLLAM
SB13	2	2x10	DF-L#2



UPPER FLOOR & LOWER ROOF FRAMING PLAN  
SCALE 1/4" = 1'-0"

**PLAN DATES & REVISIONS**

DATE	DESCRIPTION

**NOTES:**  
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PROJECT NAME:  
**RED HOUSE DEVELOPMENT**  
BANGERTER HOMES  
10424 SOUTH 2700 WEST SUITE 200  
SOUTH JORDAN, UT 84095  
PH # 801-446-2866  
FAX # 801-446-2834



FLOOR FRAMING PLANS  
SUBDIVISION:  
"J" STREET  
PARCEL #2  
PLAN NAME:  
CUSTOM  
2 STORY PLAN  
BUYER: CLAY

2-PLY HIP MASTER GIRDER

RIDGE  
VALLEY

**BASIS FOR DESIGN**

- GRAVITY:**  
 1. ROOF SNOW LOAD = 30 PSF  
 2. ROOF DEAD LOAD = 15 PSF  
 3. FLOOR LIVE LOAD = 40 PSF  
 4. FLOOR DEAD LOAD = 10 PSF  
 5. ASSUMED SOIL BEARING CAPACITY = 1500 PSF
- SEISMIC:**  
 1. S<sub>s</sub> = 1.25, S<sub>1</sub> = 0.491  
 2. SOIL SITE CLASS = D (PER IBC SECTION 1613.3.2)  
 3. SEISMIC DESIGN CATEGORY = D  
 4. SIMPLIFIED ANALYSIS  
 5. LIGHT FRAMED WALLS WITH WOOD STRUCTURAL PANELS, R = 6.5 (SEE LOADS PAGE IN STRUCTURAL CALCULATION FOR OTHER SFRS R VALUES)
- WIND:**  
 1. 115 MPH  
 2. EXPOSURE C  
 3. SIMPLIFIED ANALYSIS

**POST SCHEDULE**

DESIG.	POST SIZE
P1	(1) 2x
P2	(2) 2x
P3	(3) 2x
P4	(4) 2x
P5	(5) 2x
P6	4x4
P7	6x6
P8	3"x7" PARALLAM POST
P9	5"x5" PARALLAM POST

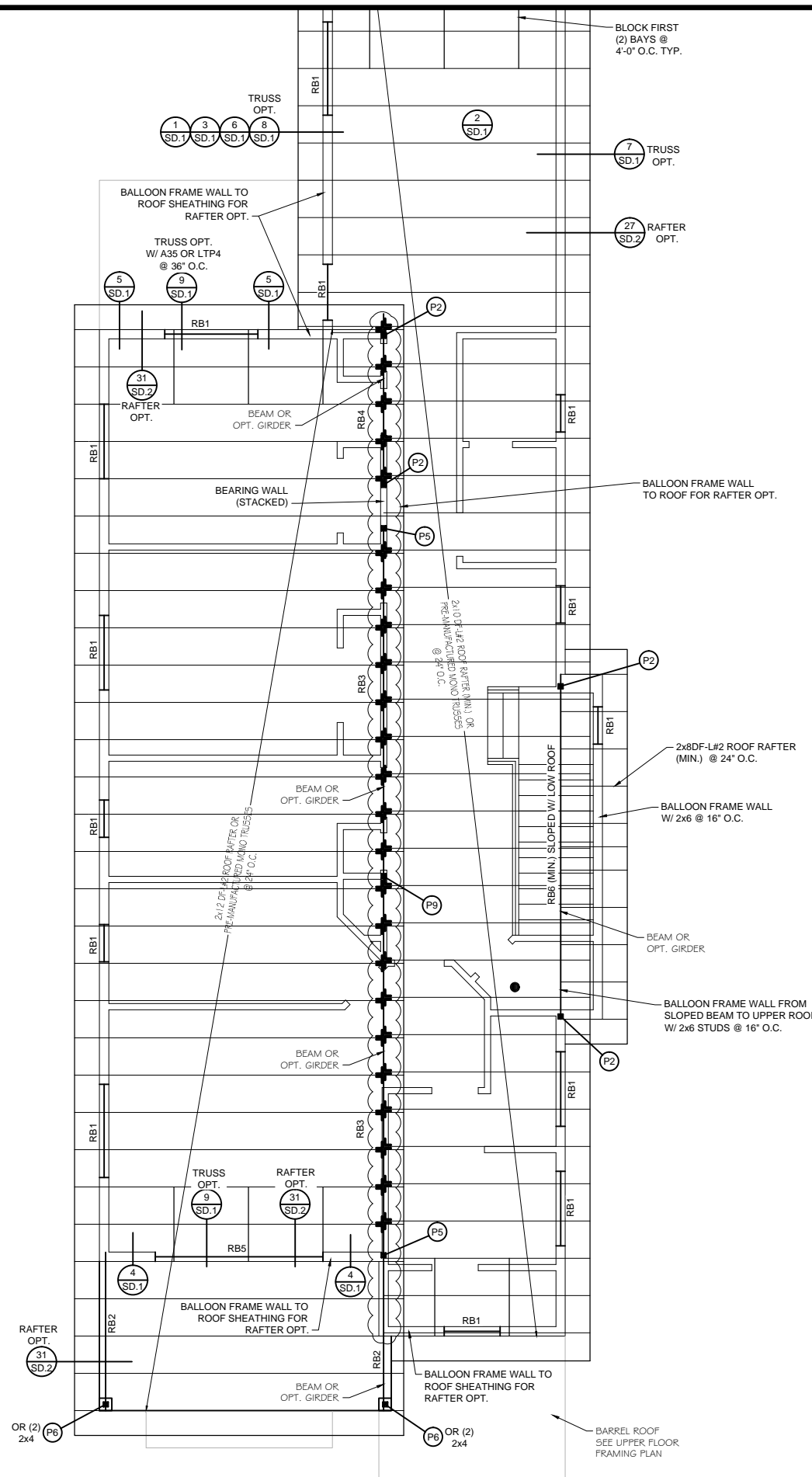
- NOTES:**
- POSTS INDICATE NUMBER OF TRIMMER STUDS WHEN SPECIFIED AT HEADERS. ALL OTHER POST DESIGNATIONS REFER TO FULL HEIGHT KING STUDS U.N.O.
  - INSTALL (1) TRIMMER AND (1) KING STUD EACH SIDE OF EACH OPENING U.N.O.
  - INSTALL (2) TRIMMER STUDS AT EACH SIDE OF OPENINGS GREATER THAN 6'-0" WIDE U.N.O.
  - INSTALL (2) KING STUDS EACH SIDE OF OPENINGS GREATER THAN 8'-0" WIDE U.N.O.
  - 2x BUILT-UP POSTS SHALL BE THE SAME WIDTH OF THE WALL IN WHICH THEY ARE FRAMED U.N.O.
  - NAIL EACH PLY OF 2x BUILT-UP POSTS W/ 16d NAILS @ 6" O.C. STAGGERED U.N.O.
  - POSTS THAT ARE NOT FRAMED WITHIN A STUD WALL SHALL BE BRACED WITH BC OR AC POST CAP AND PC OR ABA POST BASE U.N.O.

**FRAMING NOTES**

- PLANS ARE NOT COMPLETE WITHOUT THE STRUCTURAL CALCULATIONS.
- REFER TO THE STRUCTURAL CALCULATIONS FOR THE GENERAL STRUCTURAL NOTES.
- ROOF SHEATHING SHALL BE APA RATED 5/8" OSB OR CDX PLYWOOD WITH 8d NAILS AT 6" O.C. EDGE, 12" O.C. FIELD.
- FLOOR SHEATHING SHALL BE APA RATED 5/8" TAG WITH 10d NAILS OR SIMPSON WSNTLS #8 WOOD SCREWS AT 6" O.C. EDGE, 12" O.C. FIELD.
- EXTERIOR STUD WALLS SHALL BE 2x6 @ 16" O.C. U.N.O.
- USE (1) 16d NAILS BETWEEN TOP PLATE SPICE POINTS ON ALL EXTERIOR AND SHEAR WALLS. PROVIDE A 4'-0" MINIMUM LAP SPICE.
- INSTALL ALL SIMPSON HARDWARE PER MANUFACTURER'S SPECIFICATIONS.
- HOLD-DOWNS SHALL BE INSTALLED ON (2) FULL HEIGHT KING STUDS (MINIMUM).
- FLOOR JOISTS SHALL BE 11"x10" @ 16" O.C. U.N.O.
- ROOF RAFTERS SHALL BE 2x8 DF-L#2 @ 24" O.C. U.N.O.
- PROVIDE 2x SQUASH BLOCKING AT FLOOR FRAMING TO MATCH DIMENSIONS OF POST ABOVE.
- ALL DETAILS SHALL APPLY IN ALL SIMILAR SITUATIONS.
- IF SUSPENDED PORCH SLAB EXCEEDS 6" THICKNESS, PROVIDE #4 BARS AT 16" O.C. 1/2" FROM TOP OF SLAB IN ADDITION TO THE BOTTOM STEEL NOTED ON THE PLANS.
- ALL LUMBER NOT PERMANENTLY PROTECTED FROM THE ELEMENTS SHALL BE PRESERVATIVE TREATED OF A DECAY RESISTANT SPECIES. CONTACT LEI ENGINEERS AND SURVIVORS, INC. IF A DIFFERENT SPECIES IS TO BE USED.

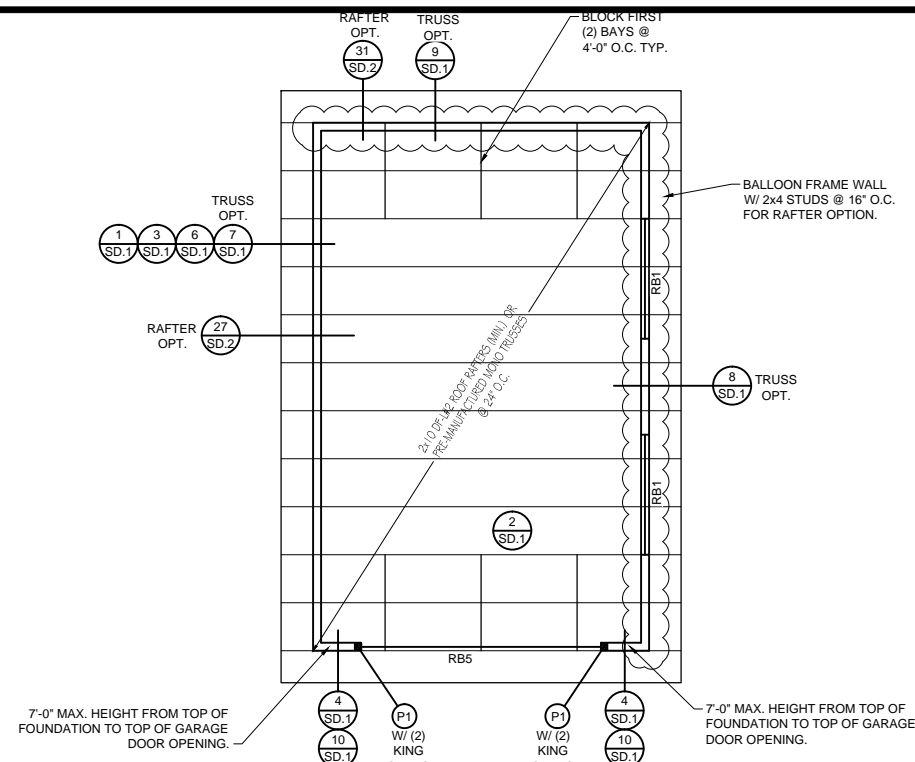
**BEAM SCHEDULE**

DESIG.	QTY.	SIZE	TYPE
RB1	2	2x6	DF-L#2
RB2	2	2x10	DF-L#2
RB3	1	5/4"x16 1/2"	GLULAM
RB4	2	1 1/2"x7 1/2"	MICROLLAM
RB5	2	2x6	DF-L#2
RB6	3	1 1/2"x11 1/2"	MICROLLAM



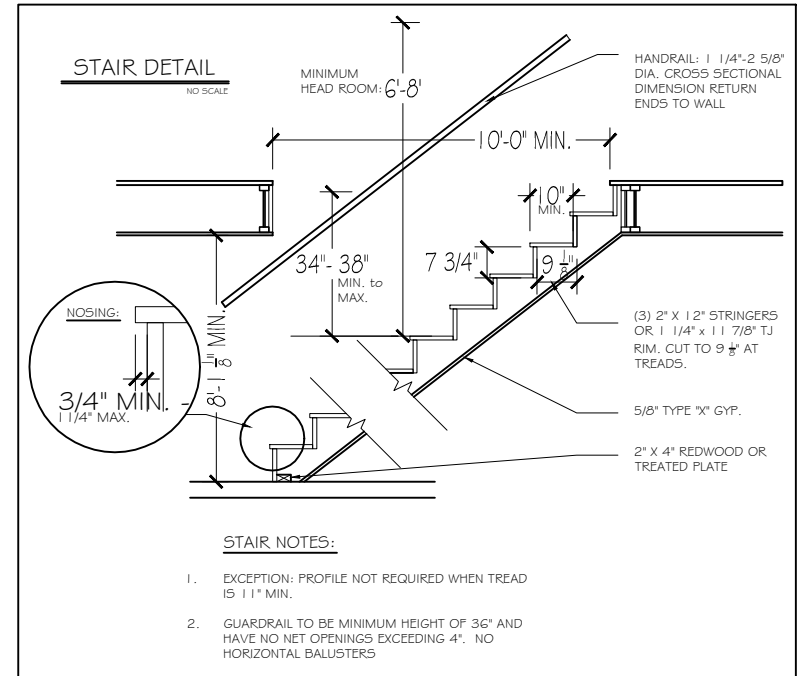
UPPER ROOF PLAN

SCALE 1/4" = 1'-0"



DETACHED GARAGE ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"



**STAIR NOTES:**

- EXCEPTION: PROFILE NOT REQUIRED WHEN TREAD IS 11" MIN.
- GUARDRAIL TO BE MINIMUM HEIGHT OF 36" AND HAVE NO NET OPENINGS EXCEEDING 4". NO HORIZONTAL BALUSTERS

PLAN DATES & REVISIONS

DATE	DESCRIPTION

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BANGERTER HOMES

10424 SOUTH 2700 WEST  
SUITE 200  
SOUTH JORDAN, UT 84095

PH # 801-446-2866  
FAX # 801-446-2834



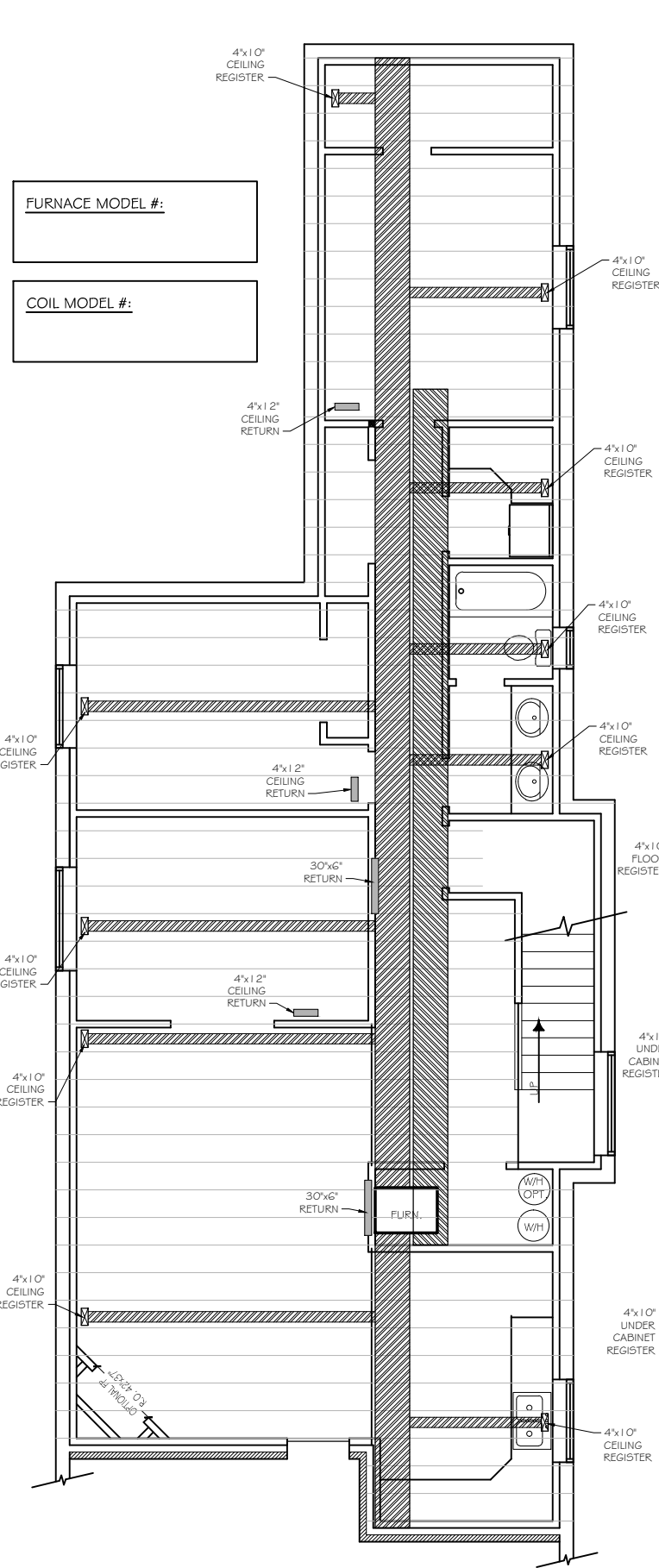
ROOF FRAMING PLANS

SUBDIVISION:  
"J" STREET  
PARCEL #2

PLAN NAME:  
CUSTOM  
2 STORY PLAN

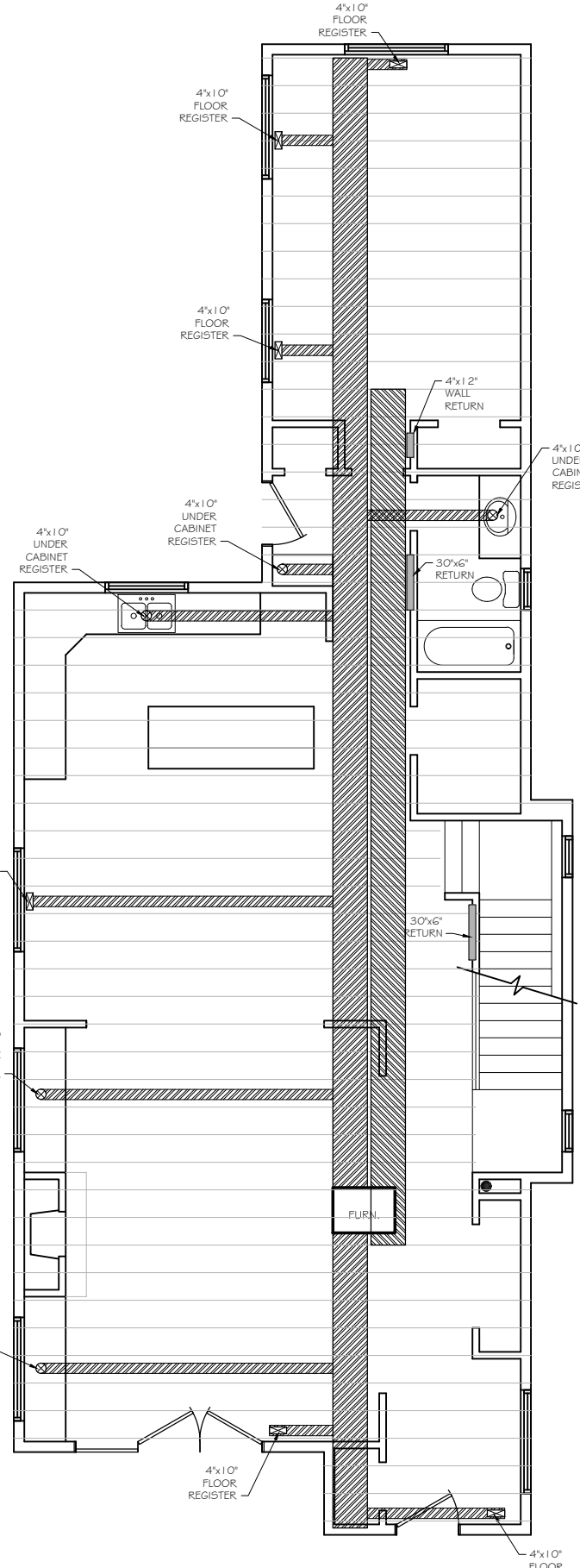
BUYER: CLAY

A6



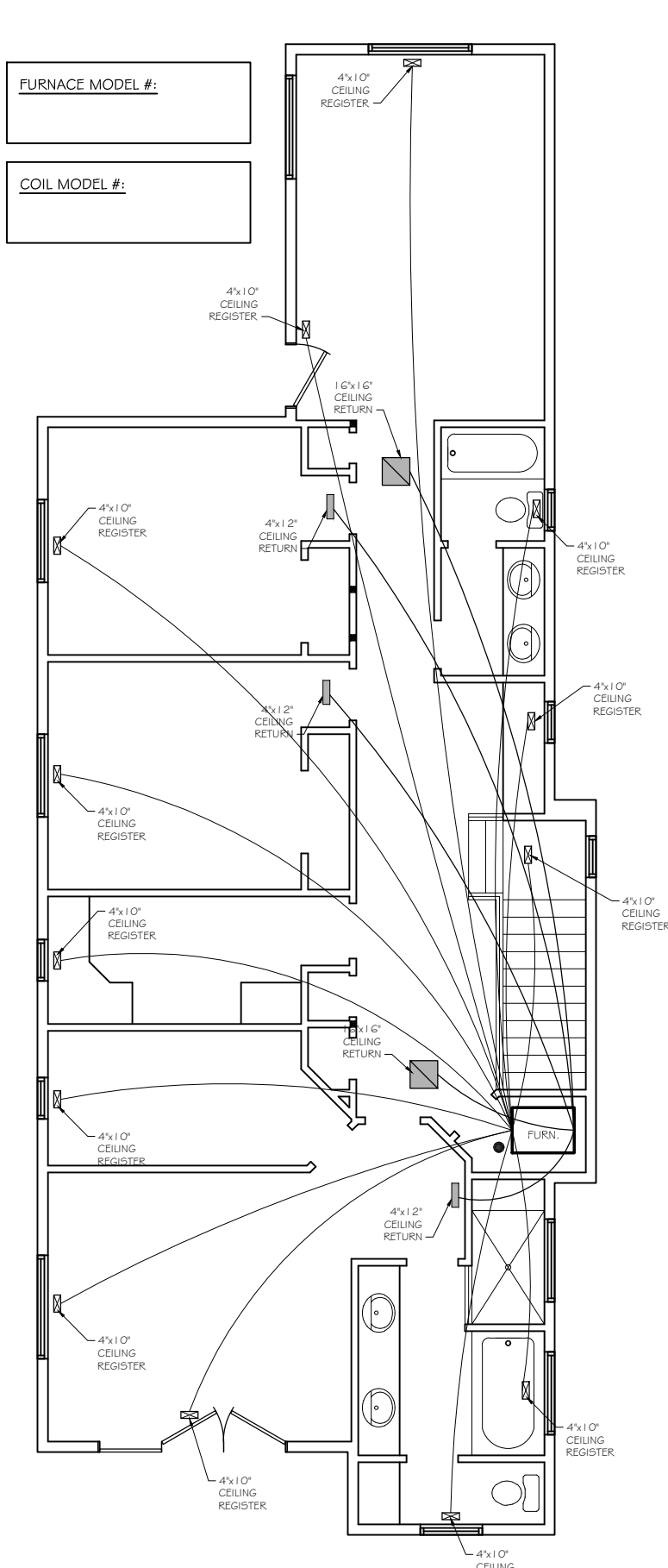
PRELIMINARY MECHANICAL BASEMENT PLAN

SCALE 1/4" = 1'-0"



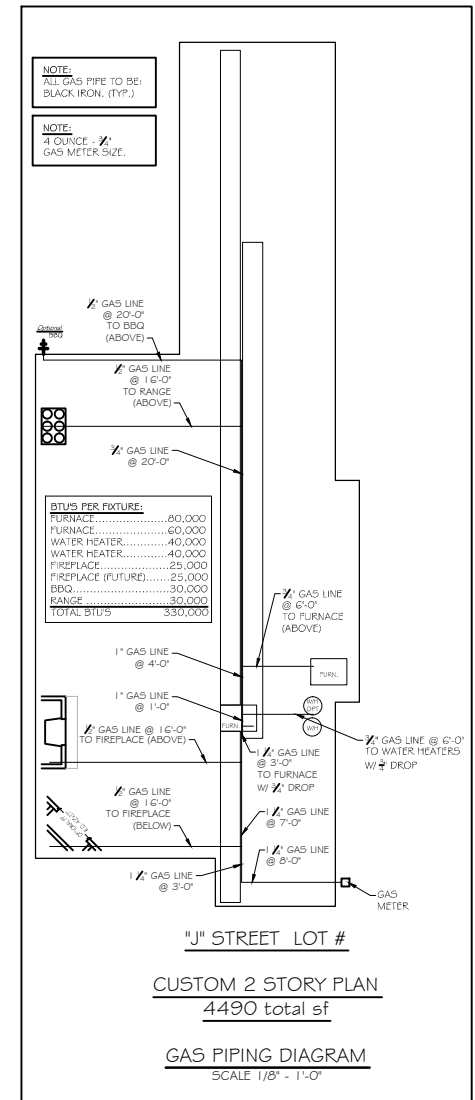
PRELIMINARY MECHANICAL MAIN FLOOR PLAN

SCALE 1/4" = 1'-0"



PRELIMINARY MECHANICAL UPPER FLOOR PLAN

SCALE 1/4" = 1'-0"



PLAN DATES & REVISIONS

DATE	DESCRIPTION

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RED HOUSE DEVELOPMENT  
BANGERTER HOMES  
10424 SOUTH 2700 WEST SUITE 200 SOUTH JORDAN, UT 84095  
PH # 801-446-2866  
FAX # 801-446-2834



MECHANICAL PLANS & GAS PIPING

SUBDIVISION:  
"J" STREET PARCEL #2

PLAN NAME:  
CUSTOM 2 STORY PLAN

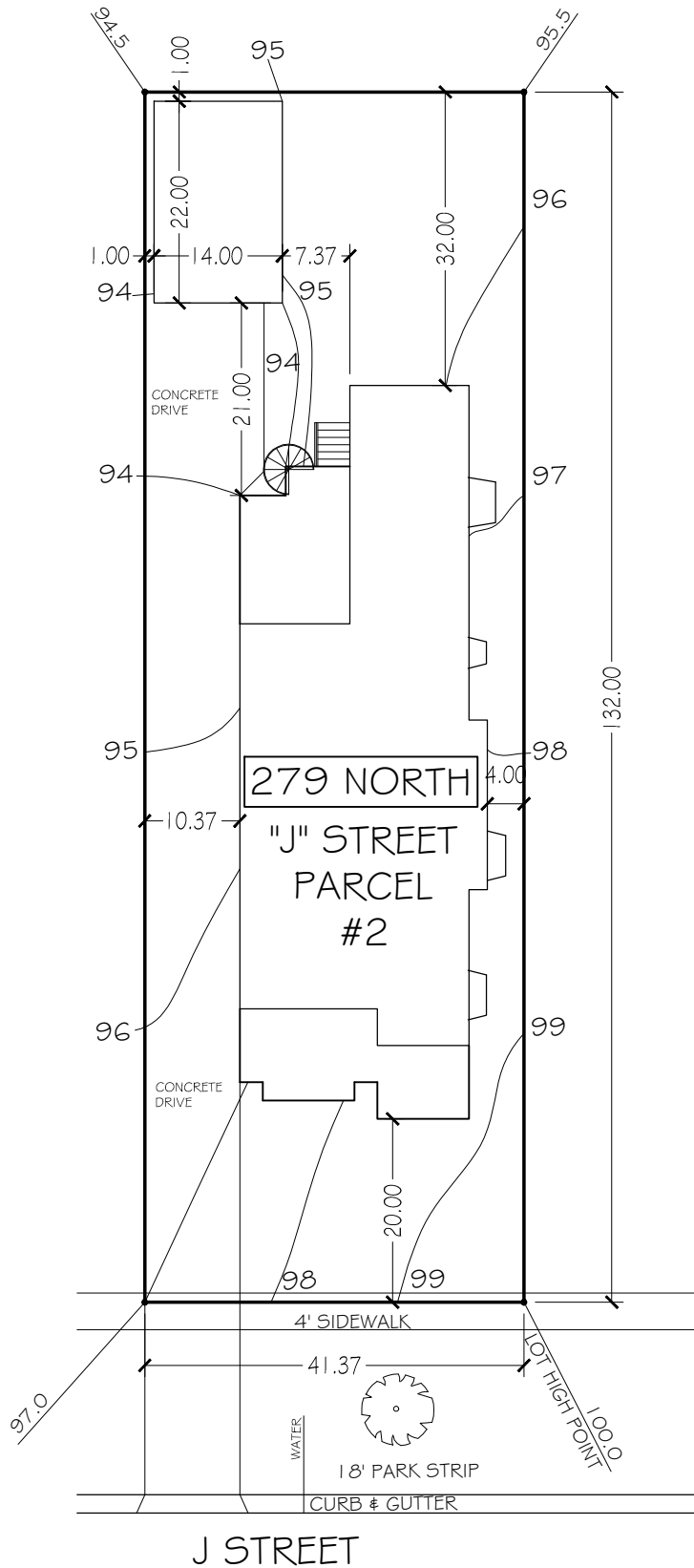
BUYER: CLAY

**LOT FOOTPRINT NOTES:**

\*MAXIMUM LOT FOOTPRINT ALLOWED  
40% OF TOTAL LOT (2184 SQ. FT.)

\*TOTAL LOT SQ. FT. = 5460

\*ACTUAL FOOTPRINT AS SHOWN =  
2183 SQ. FT.



**BANGERTER HOMES**  
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SOUTH JORDAN, UT 84095  
PH # 801-446-2866  
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**CUSTOM 2 STORY  
"J" STREET  
PARCEL #2**

PROJECT NAME:

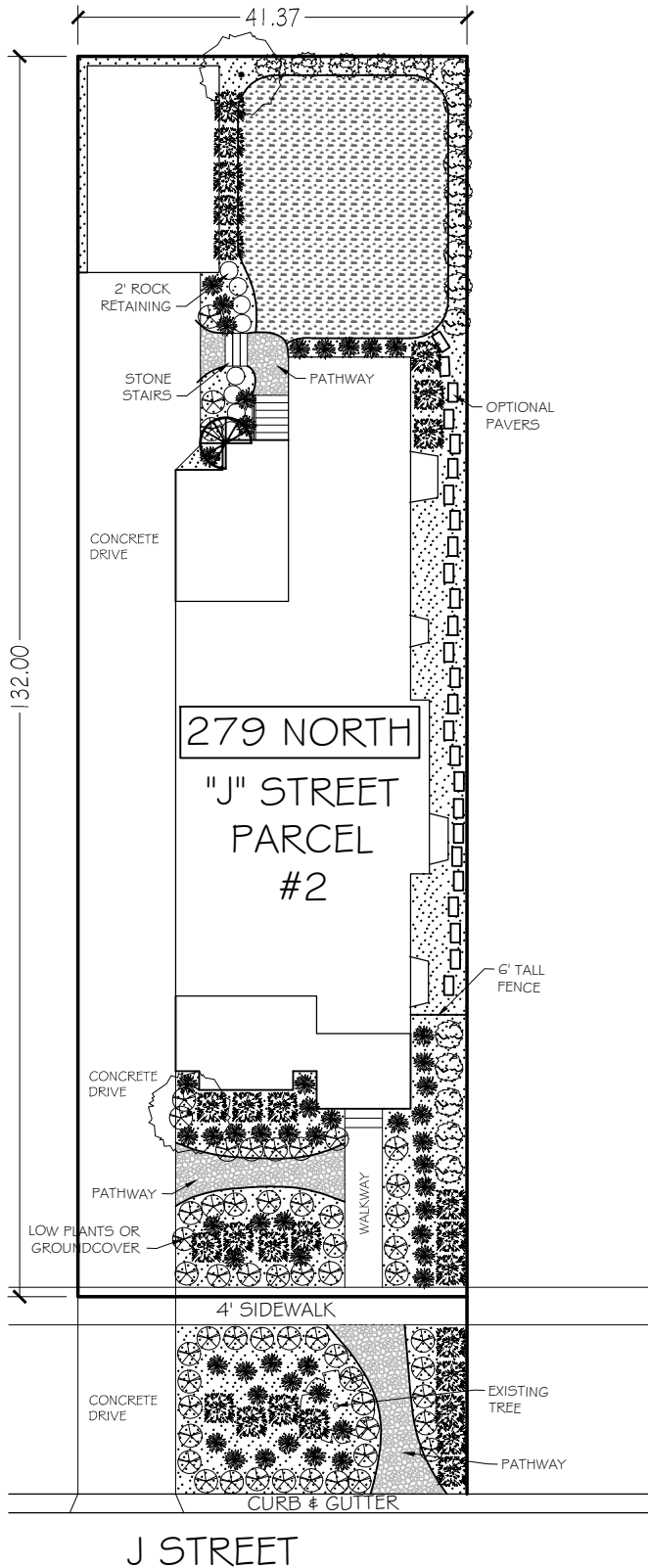
RED HOUSE DEVELOPMENT

SI

**SITE PLAN**

SCALE: 1:20





**LANDSCAPE NOTES**

**IRRIGATION NOTES:**

- AUTOMATIC IRRIGATION REQUIRED
- SEPARATE ZONES FOR LAWN & BEDS
- 100% COVERAGE (HEAD TO HEAD)
- BACKFLOW AS PER SJC
- ALL BEDS MUST BE DRIP IRRIGATED

**PLANTING NOTES:**

- BEDS MUST HAVE PLANTINGS (NO AREAS OF JUST BARK)
- A MIN. OF 4" OF TOP SOIL REQUIRED IN ALL LAWN & PLANTING BEDS
- MULCH REQUIRED IN ALL BEDS
- CONCRETE EDGING NOT PERMITTED. USE STEEL OR COMPOSITE
- PLANTS MUST BE INSTALLED @ SPACING SHOWN ON PLANT LIST
- PRE-EMERGENT WEED CONTROL PRODUCT REQUIRED
- BEDS MUST BE CONTINUOUS ACROSS PARKING STRIP

**STREET TREE SYMBOL LEGEND**

GAS		UTILITY BOX	
ELEC. METER		WATER METER	
HYDRANT		MAIL KIOSK	
TRASH RECEPT.		STREET LIGHT	
AIR COND. EQUIP.		TRANSFORMER	

**TREE SYMBOL LEGEND**

	ACE TRU		FRA CIM		TIL AME
	ACE FRE		PLA ACE		TIL COR
	FRA AME		PYR ARI		ULM FRO
			PYR RED		ZEL SER

**STREETSCAPE TREES (as specified by the Developer)**

ACE TRU	NORWEGIAN SUNSET MAPLE	2" CAL.	25' O.C.
ACE FRE	FREEMAN MAPLE	3 1/2" CAL.	30' O.C.
FRA AME	AUTUMN PURPLE ASH	2" CAL.	20' O.C.
FRA CIM	CIMMARON ASH	3" CAL.	28' O.C.
PLA ACE	LONDON PLANE TREE	3" CAL.	30' O.C.
PYR ARI	ARISTOCRAT PEAR	2" CAL.	20' O.C.
TIL AME	REDMOND LINDEN	2" CAL.	20' O.C.
TIL COR	GREENSPIRE LINDEN	3" CAL.	28' O.C.
ULM FRO	FRONTIER ELM	2" CAL.	25' O.C.
ZEL SER	VILLAGE GREEN ZELKOVA	3" CAL.	30' O.C.

**DECIDUOUS TREE: (1-1/2" TO 2-1/2" CALIPER)**

CA	CANANDA RED	
EM	EMERALD QUEEN MAPLE	
KM	CRIMSON KING MAPLE	
HB	HORNBEAN	
FP	FLOWERING PEAR	
A	MOUNTAIN ASH	
M	MAGNOLIA	
CL	CLUMPS: RIVER BIRCH, CANANDA RED	

**TALL PLANT MATERIAL:**

(FND. SHRUBS & HEDGES)  
EVERGREEN TREES (6' TO 8' TALL)

S	SPRUCE (BLUE COLORADO)
WS	WELL SPIRE
ST	SKY TRAIL
V	VAMDER WOLF
CF	CONCLOR FINE
SR	SEQUOIA
C	CEDARS: LEBINAN, ALASKAN, ATLAS

**MEDIUM PLANT MATERIAL:**

<b>PERENNIALS (1 gallon)</b>		<b>EVERGREEN SCRUBS (5 GALLON)</b>	
DL	DAY LILLY	NS	NESTING SPRICE
RS	SAGE RUSSIAN	DL	DWARF LAUREL
L	LAVENDER	SB	SCOTCH BROOM
JL	JACOBS LADDER	L	LEATHER LEAF
GF	GAY FEATHER	GE	GOLDEN EMUIMUS
F	FLOX	DL	DWARF BOXWEED
CF	CONE FLOWER	SB	FRASIER PHONTINA
BF	BLACK EYED SUSAN		

**LOW PLANT MATERIAL:**

<b>LAWN &amp; DECORATIVE GRASSES</b>		LAWN	
DL	FOUNTAIN GRASS		BROWN SHREDDED BARK MULCH
RS	FOREST GRASS		
L	ZEBRA GRASS		

6" SEMI-PRIVATE FENCE (included in contract). VINYL, U.N.O.

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**CUSTOM 2 STORY**  
"J" STREET  
PARCEL #2

PROJECT NAME:

RED HOUSE DEVELOPMENT

SI

**LANDSCAPE PLAN**



SCALE: 1" = 20'









801-631-4206

PlanPoint

















282











280





COMPARABLE  
LOOK  
ON  
AN  
EXISTING  
SIC HOME





CEDAR  
SOFFIT  
ACCENT

CEDAR SIDING

WITH NATURAL  
GRAIN



Ext. RAIL

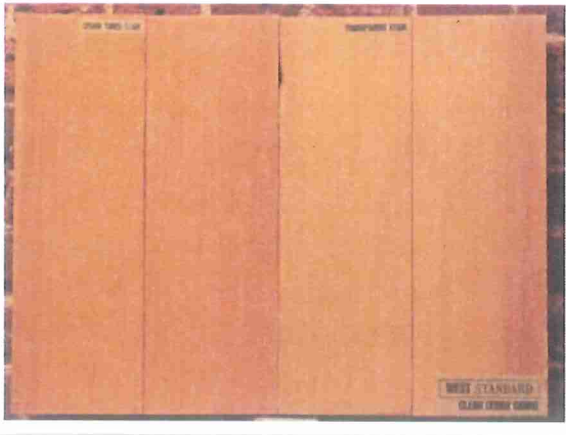


## J Street Home Exterior Construction Materials



### Red Brick

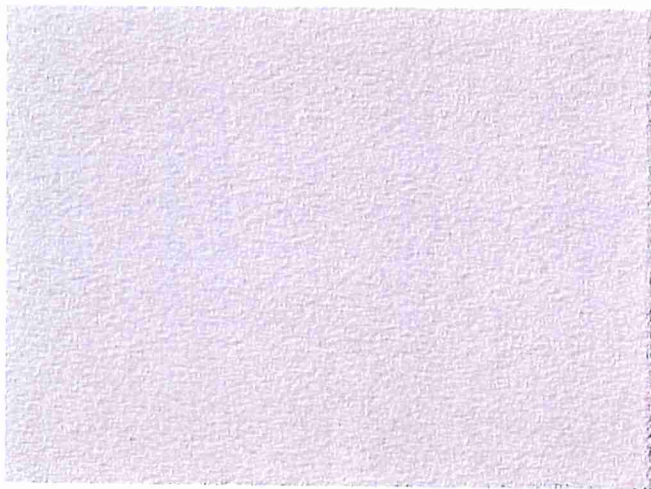
Red Brick (as seen in this example) will be used to accent the front and rear of the home. Brick will also be used partially on the detached garage.



### Stained Cedar

Stained Cedar will be utilized in the front and rear of the exterior, as well as the fascia.

### J Street Home Exterior Construction Materials



#### **Gray Stucco**

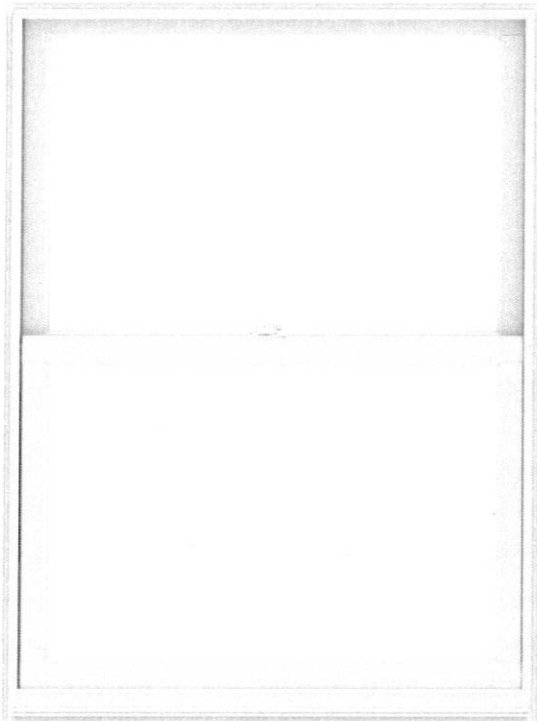
Gray Stucco will be featured on the front, sides and rear of the home

Request A Brochure Where To Buy   [Feedback](#)

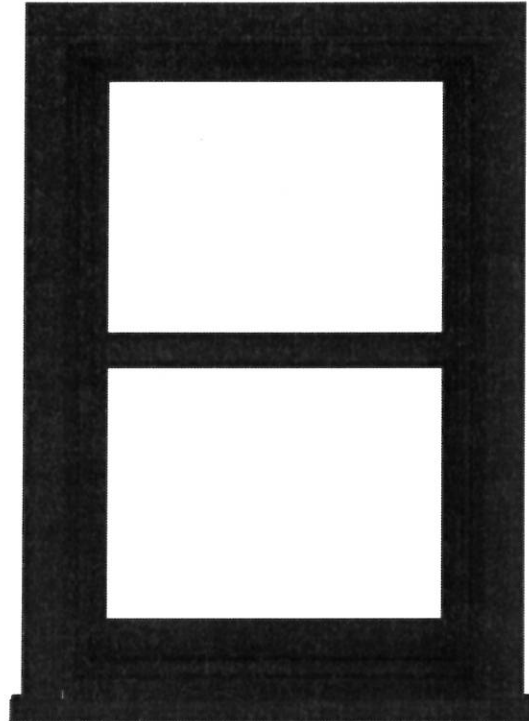


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[DOORS](#)
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[PARTS & SERVICE](#)
[FOR PROS](#)

400 Series Woodwright® Double-Hung Window



INTERIOR



EXTERIOR

SUMMARY

Interior	White
Exterior Window Color	Dark Bronze
Hardware Options	Classic Series, White
Optional Hardware	None, White
Exterior Trim Profile	3.5" Flat w/ Sill Nose
Exterior Trim Color	Dark Bronze

\* Distressed bronze and oil rubbed bronze are 'living' finishes that will change with time and use.

\* Options shown are not available for all products within the series. Computer monitor limitations prevent exact color duplication. For an accurate representation of color options please view actual color samples available at your Andersen window & patio door supplier.

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## 7901 IMPACT-RESISTANT

SERIES: [Impact-Resistant](#)

TYPE: Exterior French & Sash

APPLICATIONS: Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.

Construction Type: Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

Glass: 3/4" PVB Laminated Impact Resistant IG

### GET A QUOTE

If you are interested in receiving a quote from a dealer, please select the options below and click on the "Request Dealer Quote" below.

*Rough opening needs to be 2" wider and 2 1/2" taller than your door.*

WIDTH  ▾

HEIGHT  ▾

WOOD SPECIES  ▾

GLASS  ▾

#### UPGRADES

WaterBarrier Technology

**REQUEST DEALER QUOTE**

Similar Doors:

#### WHERE TO BUY

#### STANDARD FEATURES

[Any Wood](#)

French / Hinged Patio Door Systems

## Classic-Craft Mahogany

Make a dramatic statement with elegant flair. The Mahogany Collection patio doors echo the sophistication of Victorian and Colonial home styles. It captures the rich, warm wood tones of authentic Honduran Mahogany with all the benefits of **fiberglass**, thanks to **AccuGrain technology**. And, with Classic-Craft, you get more. Every detail – from wider glass to heavier construction – creates a more premium entryway.

[Browse all doors in this collection.](#)

### More Information



AccuGrain™ Technology



System Components



TruDefense® System



Quality Testing

## Select Door Style & Glass Design

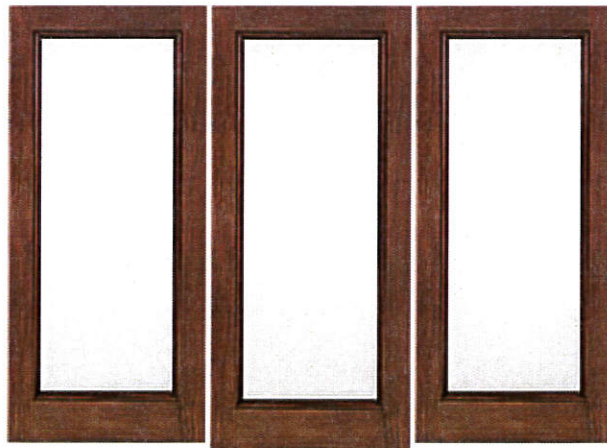
Choose Door Height: **6'8" Doors** **8'0" Doors**

Pick a Door Style: **2 Available Styles**

Pick a Glass Design: **1 Available Designs**

Add Left Door

Add Right Door



## **ATTACHMENT J: MOTIONS**

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**RECOMMENED MOTION:** Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Historic Landmark Commission approve the request for New Construction at approximately 279 North J Street with the following conditions:

- 1) Inverse-pitched roof segments are modified to be flat, with a maximum height of 23.25 feet above finished first floor height.
- 2) Elimination of the exterior decorative/feature wall that that extends above the revised roofline.
- 3) The fenestration pattern is revised on the north façade to allow more transparency at the front of the house.
- 4) Specific information and specifications as to selected materials are provided and approved.
- 5) The design complies with all applicable building and development codes.
- 6) Approval of final design details are delegated to staff for approval.

Based on the analysis and findings of the staff report, it is the Planning Staff's opinion that the project meets the applicable standards for some of the requested special exceptions. However, should the staff's recommended conditions be accepted, one requested special exception would no longer be necessary and the magnitude of the others would be reduced.

Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Historic Landmark Commission approve the following Special Exceptions at approximately 279 North J Street, which support the design modifications identified as staff-recommended conditions for New Construction:

- 1) To exceed the maximum height of a flat roof by 13 feet, 3 inches (29 feet, 3 inches total height).
- 2) To exceed the maximum exterior wall height by 6 feet, 3 inches (29 feet, 3 inches total height).

And deny the following Special Exception:

- 1) To exceed the maximum height of a pitched roof by 8 feet, 6 inches.

**Not Consistent with Staff Recommendation (Approval):** Based on the information in the staff report, testimony and the plans presented, I move that the Commission approve the request for new construction at approximately 279 North J Street, with the following conditions (if any).

Specifically, the Commission finds that the proposed project substantially complies with Standards (Commissioner then states findings based on the Standards to support the motion).

**Not Consistent with Staff Recommendation (Denial):** Based on the information in the staff report, testimony and the plans presented, I move that the Commission deny the request for new construction at approximately 279 North J Street.

Specifically, the Commission finds that the proposed project does not substantially comply with Standards (Commissioner then states findings based on the Standards to support the motion)

**21A.34.020.H Standards for New Construction**

**1) Scale and Form:**

- a. Height and Width
- b. Proportion of Principal Facades
- c. Roof Shape
- d. Scale of a Structure

**2) Composition of Principal Facades**

- a. Proportion of Openings
- b. Rhythm of Solids to Voids in Facades
- c. Rhythm of Entrance Porch and Other Projections
- d. Relationship of Materials

**3) Relationship to Street**

- a. Walls of Continuity
- b. Rhythm of Spacing and Structures on Streets
- c. Directional Expression of Principal Elevation
- d. Streetscape and Pedestrian Improvements

**4) Subdivision of Lots**