



Staff Report

PLANNING DIVISION
COMMUNITY & ECONOMIC DEVELOPMENT

To: Salt Lake City Historic Landmark Commission
From: Katia Pace
801 535-6354 or katia.pace@slcgov.com
Date: September 25, 2015
Re: **PLNHLC2015-00237 & PLNHLC2015-00238** – Liberty Square Apartments

NEW CONSTRUCTION & DEMOLITION OF NONCONTRIBUTING STRUCTURES

PROPERTY ADDRESS: 461 South 600 East
PARCEL ID: 16-06-434-008, 16-06-434-006, 16-06-433-008, 16-06-433-007, and 16-06-433-019
HISTORIC DISTRICT: Central City Historic District
ZONING DISTRICT: TSA-UN-C (Transit Station Area-Urban Neighborhood-Core)
MASTER PLAN: High Density Transit Oriented Development

REQUEST: Douglas Thimm, architect, is requesting to make alterations to the former Ensign Floral building located at 461 South 600 East and to demolish the buildings located at 459 South 600 East, 637 East 500 South, 625 East 500 South and build in its place a new four story apartment building. The property is located in the Central City Historic District. The buildings proposed for demolition are noncontributing to the historic district.

RECOMMENDATION: Planning Staff recommends that the Historic Landmark Commission approve a Certificate of Appropriateness for a major alteration at 461 South 600 East, demolition of the noncontributing structures and the new construction of a four story building, the Liberty Square Apartments.

MOTION: Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Commission approve a Certificate of Appropriateness for a major alteration at 461 South 600 East, demolition of the noncontributing structures and the new construction of a four story building, the Liberty Square Apartments subject to the following conditions:

1. A separate Certificate of Appropriateness for the signage would be required at a later time.
2. Air conditioning units will not be allowed on the balconies or windows.
3. That the lot consolidation be recorded with the Salt Lake County Recorder's Office; and
4. Final plan details be delegated to Staff.

BACKGROUND AND PROJECT DESCRIPTION:

The Liberty Square project is a new apartment development proposed within the Central City local Historic District. Historically, the corner of 500 South and 600 East included offices, a warehouse, a restaurant, and retail businesses. Currently, this site is occupied by eight vacant buildings. Many of the buildings were part of Ensign Floral, a wholesale floral distributor that recently moved out of this location.



Demolition

Seven buildings are being proposed to be demolished to make way for a new four story residential apartment building. More than one building is located on each of the following addresses.

According to the Central City Standard Reconnaissance Level Survey prepared by Certus Environmental Solutions and dated March 2013, these are the status of the buildings to be demolished:

- 1. 459 South 600 East – Out of Period
- 2. 625 East 500 South – Out of Period
- 3. 637 East 500 South – Noncontributing



Existing Buildings to be Demolished

Renovation of the Ensign Floral Building

The former Ensign Floral building at 461 South 600 East is considered a contributing structure according to the latest survey, the Central City Standard Reconnaissance Level Survey dated March 2013. It was built in 1959 with a modern architectural style. This building would be retained and turned into a 5 unit residential building.

Originally, the 600 East face of the building, west elevation, was the main storefront entrance. The front façade is composed of modular clay brick, storefront glass window and door along with a steel loading dock door and two small windows at the recessed portion of the elevation. A steel canopy on the building façade was removed as a safety measure as its structure began to sag in recent years.



Photo of Existing Building with Canopy

The proposed changes to the entire building are as follows:

1. Replace the steel canopy in the front façade, or west side, which was removed in recent years. The replacement would match the material as well as the design.
2. Replace the steel door for a steel French door with one glass lite. The new door would match the existing opening.



Existing West Façade

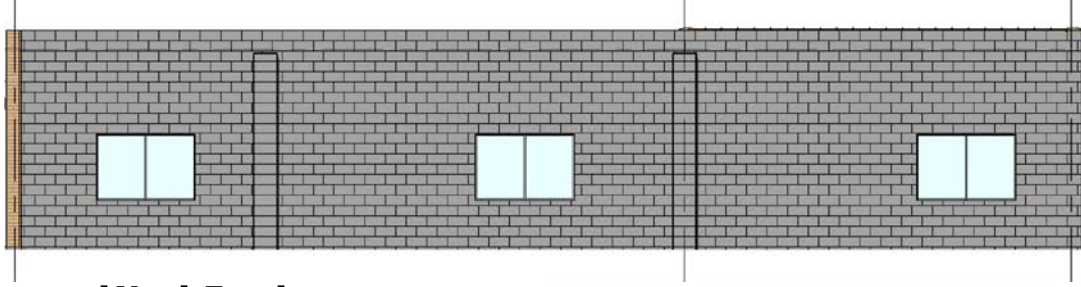


Proposed West Façade

3. Enlarge the openings and replace the windows on the wall on the north side. The existing north wall is made of cinder block and with three small windows. The building use is proposed to change from commercial to residential. Therefore, proposed new bedrooms will require windows that meet sill height and openings as per building code. Proposed windows would be slider steel framed glass that will match the existing windows on the front façade of the building.



Existing North Façade

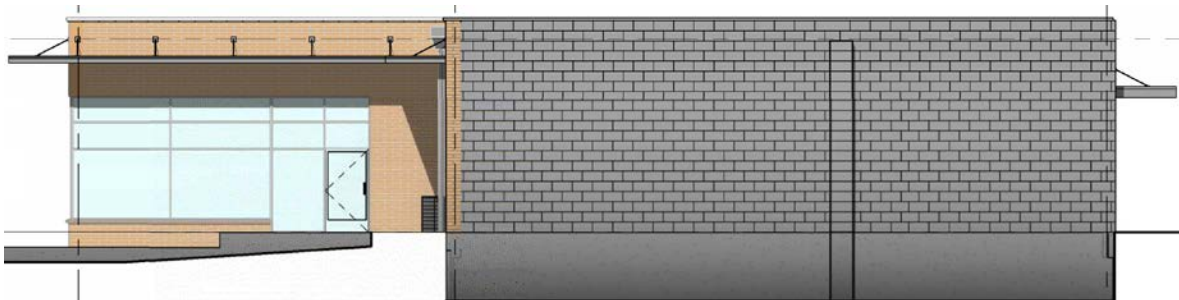


Proposed North Façade

4. Remove the windows on the south side of the building due to the location of the wall being at the property line. Since the adjacent property is a gas station, the applicant is asking to remove the windows on the south wall for fire safety reason.

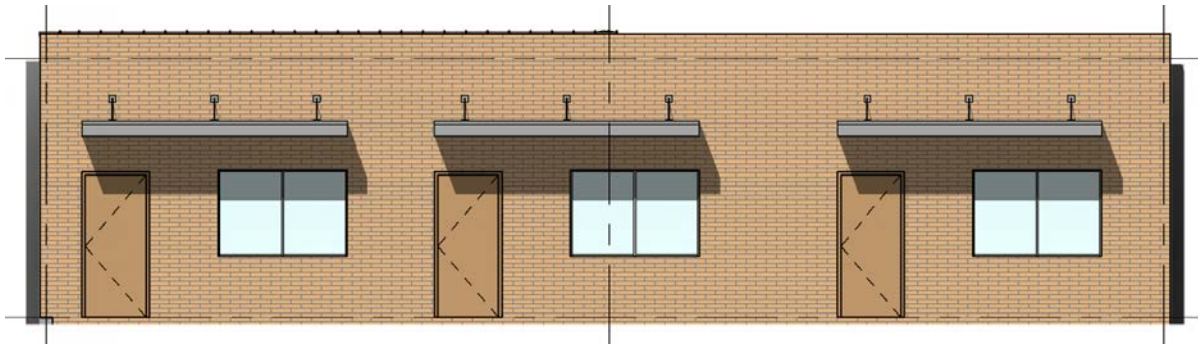


Existing South Façade



Proposed South Façade

5. Remove the addition done in the 1960s on the east side of the building and fill it with a new wall of modular clay brick. Additional three windows and doors would be placed on the wall. The proposed windows would be slider steel framed glass that will match the appearance and size of the existing windows on the front façade and the proposed doors would be steel doors. The project also proposes new canopies that would match the original canopy on the front façade of the building.



Proposed East Façade

6. Replace the sign on the front of the building. The sign won't be illuminated and would have individual lettering. The style of writing would be either cursive or square letters since both examples are found on the existing front façade.



Proposed New Sign – Alternate Lettering



Proposed New Structure

The new building is proposed as follows:

1. A new four story residential apartment building with 133 units, an internal courtyard, a parking structure, a leasing office and amenities facility.
2. The main entrance to the building would be on the corner of 500 South and Green Street. It would have a strong visual presence on 500 South, Green Street and 600 East.
3. The entrance would be prominent through a formal covered corner entrance with an extended canopy and aluminum store front type glass window.
4. The building signage would be located above the entrance canopy and would be individual letters. The material and lighting for the signage has not been decided. A separate Certificate of Appropriateness for the signage would be required at a later time.
5. The parking structure would be located on the north of the site next to the Trader Joe's loading dock and would be set back significantly and from 600 East and 500 South.
6. The ground level would be activated through individual primary entrances on the ground floor apartments facing 500 South and Green Street. Individual entrances are demarcated by a landing and steps. The doors for these individual entrances are proposed to be steel panel doors.
7. The façade composition consists of solid red brick on the base of the building. The middle of the building would be a combination of brick and cement fiber boards and the upper floor would be cement fiber boards creating a lighter feel for the top of the building. Stucco cornice above the first floor and roof edge would be used to reinforce the definition of a foundation and a top floor. Further architectural interest would be achieved through modulation, change of materials and fenestration pattern.
8. The windows would recede 2 inches from the wall and the doors and windows on the balconies would recede 4 feet. The windows will be vinyl, double hung and operational. The balconies would all have doors of the same material as the windows, and on some balconies there would be both a door and a window.

The railings on the balconies would be painted steel. Air conditioning units would not be allowed on the balconies or windows.

9. Landscaping would be provided along the park strip on 500 South, limited landscaping on Green Street and on the side yard along 600 East.



View from 500 South and Green Street



View from 600 East and 500 South

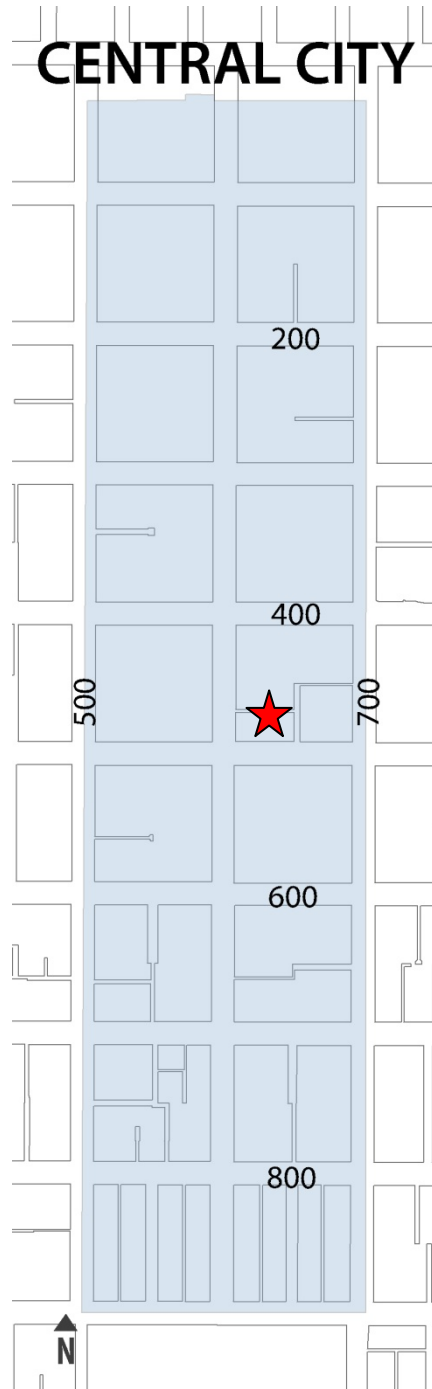
ATTACHMENTS:

- A.** Vicinity Map
- B.** Historic District Map
- C.** Development Plan Set
- D.** Applicant Information
- E.** Zoning Ordinance Standards
- F.** Historic Preservation Standards
- G.** Applicable Design Guidelines
- H.** Development Review Team Comments
- I.** Transit Station Area (TSA) Development Guideline Checklist
- J.** Public Process and Comments
- K.** Alternate Motions

ATTACHMENT A: VICINITY MAP

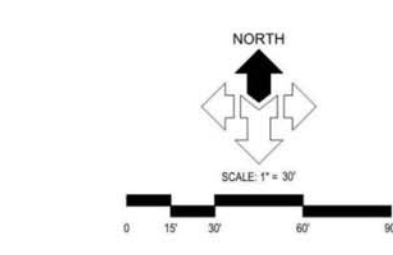
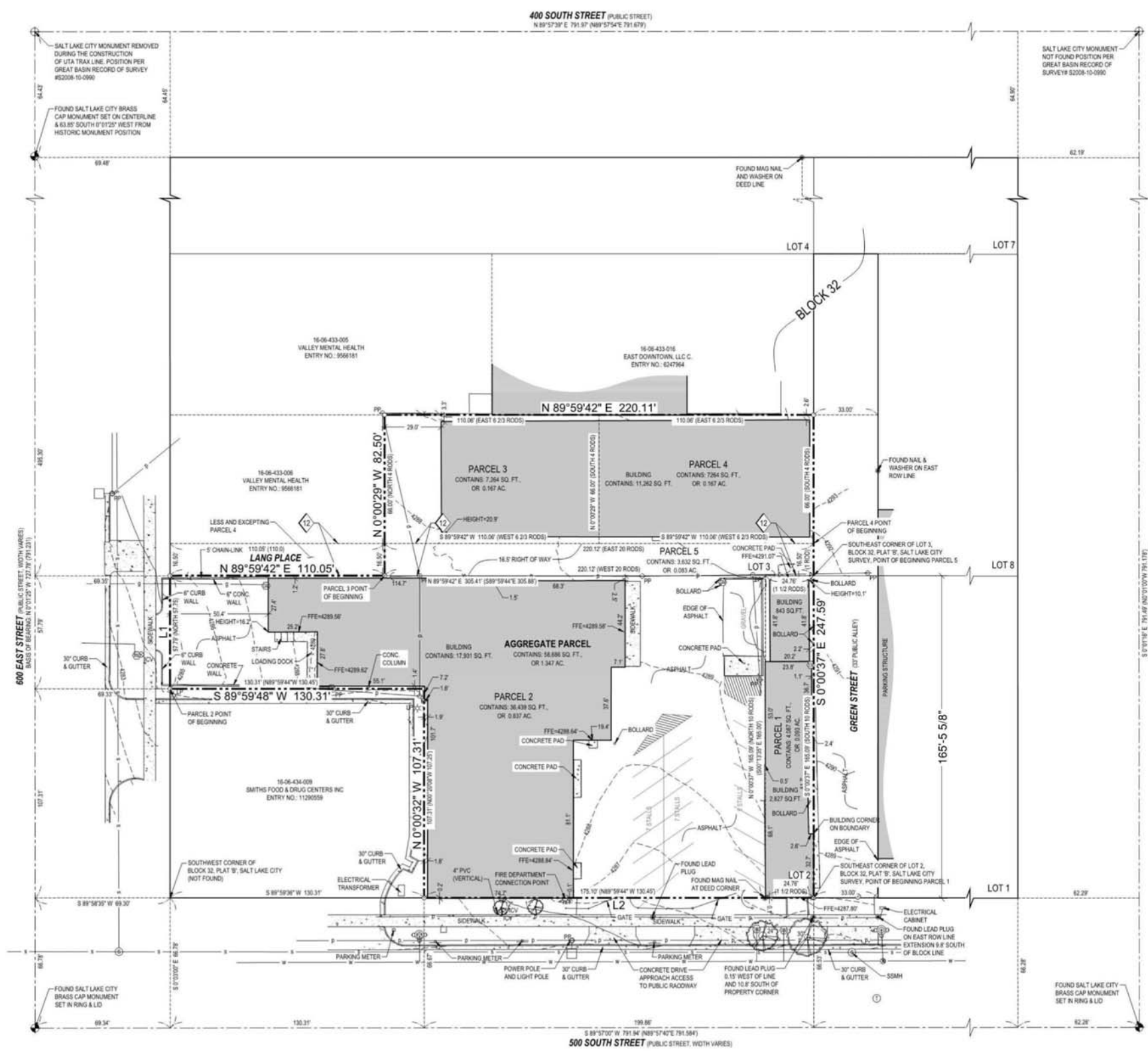


ATTACHMENT B: HISTORIC DISTRICT MAP



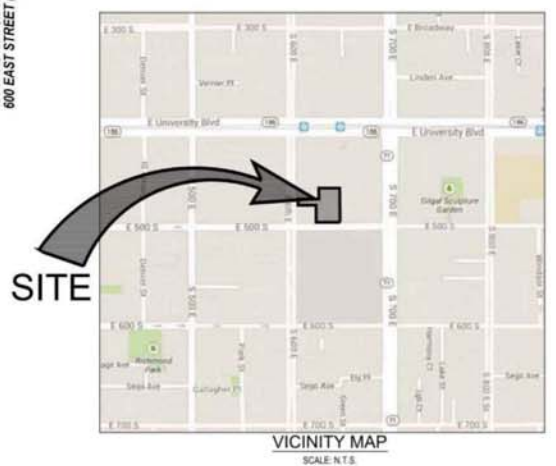
★ *Approximate Project Location*

ATTACHMENT C: DEVELOPMENT PLAN SET



LEGEND

--- ADJOINING PROPERTY LINE	⊙ FIRE HYDRANT
- - - LOT LINE	⊙ WATER MANHOLE
- - - PROPERTY LINE	⊙ WATER METER
- - - MONUMENT LINE	⊙ WATER VALVE
- - - EASEMENT LINE	⊙ ELECTRIC BOX
- - - EXISTING FENCE	⊙ ELECTRIC MANHOLE
- - - POWER LINE	⊙ ELECTRIC METER
- - - TELEPHONE LINE	⊙ GUY WIRE
- - - WATER LINE	⊙ LIGHT POLE
- - - SANITARY SEWER LINE	⊙ POWER POLE
- - - STORM DRAIN LINE	⊙ TRANSFORMER
- - - GAS LINE	⊙ SANITARY SEWER CLEAN OUT
- - - MAJOR CONTOUR	⊙ SANITARY SEWER MANHOLE
- - - MINOR CONTOUR	⊙ GAS MANHOLE
▒ CONCRETE	⊙ ROOF DRAIN
■ BUILDING	⊙ STORM DRAIN CATCH BASIN
▨ BUILDING OVERHANG	⊙ STORM DRAIN MANHOLE
☀ CONIFEROUS TREE	⊙ IRRIGATION CLEAN OUT
☁ DECIDUOUS TREE	⊙ IRRIGATION CONTROL VALVE
○ PROPERTY CORNER	⊙ TELEPHONE MANHOLE
	⊙ TELEPHONE RISER
	⊙ AIR CONDITIONING UNIT
	⊙ BOLLARD
	⊙ MALBOX
	⊙ SIGN



LINE TABLE

LINE #	DIRECTION	LENGTH
L1	N 0°00'29" W	57.79
L2	S 89°59'42" W	199.89

SURVEYOR'S CERTIFICATE

TO: COWBOY PARTNERS, T.H. INVESTMENTS, LTD., A UTAH LIMITED PARTNERSHIP, AFFILIATED FIRST TITLE INSURANCE AGENCY, INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(b), 9, 11(a), 13, 16, & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 12, 2014.

DATE OF PLAT OR MAP: JUNE 19, 2014

DENNIS K. WITHERS
LICENSE NO. 6135190

RECORD DESCRIPTION PER TITLE REPORT

PARCEL 1: BEGINNING AT THE SOUTHWEST CORNER OF LOT 2, BLOCK 32, PLAT 9, SALT LAKE CITY SURVEY; AND RUNNING THENCE WEST 132 ROADS; THENCE NORTH 10 ROADS; THENCE EAST 112 ROADS; THENCE SOUTH 10 ROADS TO THE PLACE OF BEGINNING. (16-64-43-88)

PARCEL 2: ALSO BEGINNING 107.23 FEET NORTH OF THE SOUTHWEST CORNER OF LOT 2, BLOCK 32, PLAT 9, SALT LAKE CITY SURVEY; AND RUNNING THENCE NORTH 27 FEET; THENCE SOUTH 80 DEGS 59'42" WEST 38.94 FEET; THENCE SOUTH 55 DEGS 13'52" EAST 183.36 FEET; THENCE NORTH 80 DEGS 59'42" WEST 170.00 FEET; THENCE NORTH 80 DEGS 20'58" WEST 187.25 FEET; THENCE NORTH 80 DEGS 59'42" WEST 136.45 FEET TO THE POINT OF BEGINNING. (16-64-43-89)

PARCEL 3: ALSO BEGINNING AT A POINT 8.23 ROADS EAST AND 1 ROAD NORTH OF THE SOUTHWEST CORNER OF LOT 3, BLOCK 32, PLAT 9, SALT LAKE CITY SURVEY; AND RUNNING THENCE NORTH 4 ROADS; THENCE EAST 4.23 ROADS; THENCE SOUTH 4 ROADS; THENCE WEST 4.23 ROADS TO THE POINT OF BEGINNING. TOGETHER WITH AND SUBJECT TO A RIGHT OF WAY OVER THE FOLLOWING DESCRIBED PROPERTIES: BEGINNING AT THE SOUTHWEST CORNER OF LOT 3, BLOCK 32, PLAT 9, SALT LAKE CITY SURVEY; AND RUNNING THENCE WEST 20 ROADS TO THE EAST LINE OF SIXTH EAST STREET; THENCE NORTH 1 ROAD; THENCE EAST 20 ROADS; THENCE SOUTH 1 ROAD TO THE POINT OF BEGINNING. (16-64-43-90)

PARCEL 4: ALSO BEGINNING 1 ROAD NORTH OF THE SOUTHWEST CORNER OF LOT 3, BLOCK 32, PLAT 9, SALT LAKE CITY SURVEY; AND RUNNING THENCE WEST 20 ROADS TO THE EAST LINE OF SIXTH EAST STREET; THENCE NORTH 1 ROAD; THENCE EAST 20 ROADS; THENCE SOUTH 1 ROAD TO THE POINT OF BEGINNING. (16-64-43-91)

PARCEL 5: ALSO BEGINNING AT THE SOUTHWEST CORNER OF LOT 3, BLOCK 32, PLAT 9, SALT LAKE CITY SURVEY; AND RUNNING THENCE WEST 20 ROADS TO THE EAST LINE OF SIXTH EAST STREET; THENCE NORTH 1 ROAD; THENCE EAST 20 ROADS; THENCE SOUTH 1 ROAD TO THE POINT OF BEGINNING. (16-64-43-92)

SURVEY NARRATIVE

THIS ALTA/ACSM LAND TITLE SURVEY WAS COMMISSIONED BY COWBOY PARTNERS FOR THE PURPOSE OF RETRACING THE BOUNDS OF THE ABOVE DESCRIBED PARCELS AND COLLECTING TOPOGRAPHIC INFORMATION ON THE SITE IN CONNECTION WITH THE DESIGN OF NEW IMPROVEMENTS.

THE BASIS OF BEARING FOR THIS SURVEY IS NORTH 0°01'22" WEST, ALONG THE MONUMENT LINE OF 600 EAST STREET, BETWEEN SALT LAKE CITY MONUMENTS FOUND AT THE INTERSECTIONS OF 500 SOUTH STREET AND 400 SOUTH STREET, AS SHOWN HEREON.

THE BENCHMARK FOR THIS PROJECT IS 4279.35 FEET (NAVD83), ATOP THE SALT LAKE CITY MONUMENT AT THE INTERSECTION OF 500 SOUTH AND 600 EAST STREETS PER THE SALT LAKE COUNTY SURVEYORS DATUM.

LOT 1 & BLOCK 32 WERE ESTABLISHED BASED UPON THE SALT LAKE CITY ATLAS PLAT 4 OF BLOCKS 25, 26, 17, 30, 31, 32, 38, 40, & 41 OFFICIAL SURVEY OF PLAT 9, SALT LAKE CITY SURVEY.

TITLE INFORMATION

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, ADJOINERS AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO TRACT SHOWN HEREON WAS GAINED FROM TITLE COMMITMENT NO. 17015-12 PREPARED BY AFFILIATED FIRST TITLE INSURANCE AGENCY, INC. EFFECTIVE DATE: MAY 12, 2014, AT 8:00 AM.

SCHEDULE "B" EXCEPTIONS

THE FOLLOWING SCHEDULE B-2 EXCEPTIONS CORRESPOND TO THE ITEMS NUMBERED IN THE HEREON CITED TITLE COMMITMENT.

1. AN EASEMENT FOR ACCESS, INGRESS AND EGRESS FOR MAINTENANCE, REPAIR OR REPLACEMENT OF PRIVATE WATER MAINS IN FAVOR OF SALT LAKE CITY AS SET FORTH IN FINDINGS OF FACT AND CONCLUSIONS OF LAW, AND ORDER AND JUDGMENT QUERING TITLE, RECORDED JANUARY 21, 2014, AS ENTRY NO. 1179298 IN BOOK 10268, AT PAGE 4235, SALT LAKE COUNTY RECORDS, AFFECTS ALL PARCELS COMPRISING OF THE SUBJECT PARCEL, AS SHOWN HEREON.

GENERAL NOTES

- MANEIL ENGINEERING OR MANEIL ENGINEERING - SURVEYING, L.C. MAKES NO REPRESENTATIONS AS TO THE EXISTENCE OF ANY OTHER RECORD DOCUMENTS THAT MAY AFFECT THIS PARCEL OTHER THAN THOSE SHOWN IN THE EXCEPTIONS OF SCHEDULE B-2 AS SHOWN HEREON.
- CORNER MONUMENTS NOT FOUND ON THE PROPERTY WERE MARKED WITH A 5/8" REBAR AND RED NYLON CAP STAMPED "MANEIL ENGR.", OR A NAIL AND WASHER BEARING THE SAME REGIONAL KEY OTHERWISE NOTED HEREON.
- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED BY THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON, ALTHOUGH ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THIS SURVEY. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, NOTIFY BLUE STAKES. THERE MAY EXIST ADDITIONAL RECORD UTILITY DOCUMENTS THAT WOULD AFFECT THIS PARCEL.
- THIS MAP MAKES NO ASSUMPTIONS AS TO ANY UNWRITTEN RIGHTS THAT MAY EXIST BY AND BETWEEN THE ADJOINING LANDOWNERS.
- COURSES AND DISTANCES SHOWN ON THIS MAP ARE MEASURED DIMENSIONS UNLESS SHOWN WITH PARENTHESES, INDICATING A RECORD COURSE OR DISTANCE. RECORD INFORMATION IS TAKEN FROM CITED TITLE COMMITMENT, DEEDS OF RECORD, SUBDIVISION PLATS, ROADWAY DEDICATION PLATS, CITY ATLAS PLATS, FILED SURVEYS OR OTHER SOURCES OF RECORD INFORMATION.
- THERE IS OBSERVED EVIDENCE OF CEMETERIES OR BURIAL GROUNDS.

SIGNIFICANT OBSERVATIONS

1. AT THE TIME OF THIS SURVEY THE COUNTY HAS NOT YET ASSIGNED A TAX ID NUMBER TO THE 16.5 FOOT STRIP NOTED AS PARCEL 5 OF THE COMMITMENT. PURSUANT TO FINDINGS OF FACT AND CONCLUSIONS OF LAW, AND ORDER AND JUDGMENT QUERING TITLE, RECORDED JANUARY 21, 2014, AS ENTRY NO. 1179298 IN BOOK 10268, AT PAGE 4235, SALT LAKE COUNTY RECORDS, (EXCEPTION 12)

TABLE "A" ITEMS

- PROPERTY CORNERS WERE SET ACCORDING TO GENERAL NOTE 2
- THE ADDRESS IS SHOWN IN THE COMMITMENT FOR TITLE INSURANCE AS: 637 EAST 500 SOUTH, 641 SOUTH 800 EAST, 621 EAST LAND PLACE, & 631 EAST LAND PLACE, SALT LAKE CITY, UTAH 84102
- THE SUBJECT PARCEL IS SITUATE WITHIN AN AREA IN WHICH A PANEL HAS NOT BEEN PRINTED, FEMA HAS DESIGNATED THE AREA TO BE WITHIN ZONE 'X', WHICH ARE AREAS WITH A 2% CHANCE OF FLOODING IN AN ANNUAL 100 YEAR FLOOD EVENT (HRO300/100)
- THE CROSS LAND AREA IS 84,948 SQ. FT. OR 1.947 ACRES
- CONTOUR DATA SHOWN HEREON ARE REPRESENTED AT 1 FOOT INTERVALS AND ARE BASED UPON NAVD83 ELEVATIONS, AS PUBLISHED BY THE SALT LAKE COUNTY SURVEYORS OFFICE
- 7(a) EXTERIOR DIMENSIONS OF BUILDINGS ARE SHOWN HEREON AND WERE MEASURED AT GROUND LEVEL
- 7(b) AREA OF BUILDINGS ARE SHOWN HEREON AND ARE BASED UPON THE ABOVE MEASUREMENT.
- THERE ARE 22 REGULAR PARKING STALLS AND 0 HANDICAP PARKING STALLS, TOTALING 22 STALLS
- 11(b) UTILITY INFORMATION IS SHOWN HEREON BASED UPON GENERAL NOTE 3
13. NAMES OF ADJOINING OWNERS SHOWN HEREON
16. BY SITE INSPECTION, THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS
18. BY SITE INSPECTION, THERE IS NO EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SWAMP, OR SANITARY LANDFILL.

McNEIL ENGINEERING
Economic and Sustainable Design. Professionals You Know and Trust.
6610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcnengineering.com
Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS

LIBERTY SQUARE

COWBOY PARTNERS
500 SOUTH 600 EAST, SALT LAKE CITY, UTAH
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 06, TOWNSHIP 1 SOUTH, RANGE 1 EAST, S. 1 R. & M.

REV	DATE	DESCRIPTION
1	6-19-14	RELEASE TO CLIENT FOR REVIEW

PROJECT NO:	14314
CAD FILE:	14314 ALTA
DRAWN BY:	DKW
CALC BY:	DKW
FIELD CREW:	JDS
CHECKED BY:	MDH
DATE:	6-18-14

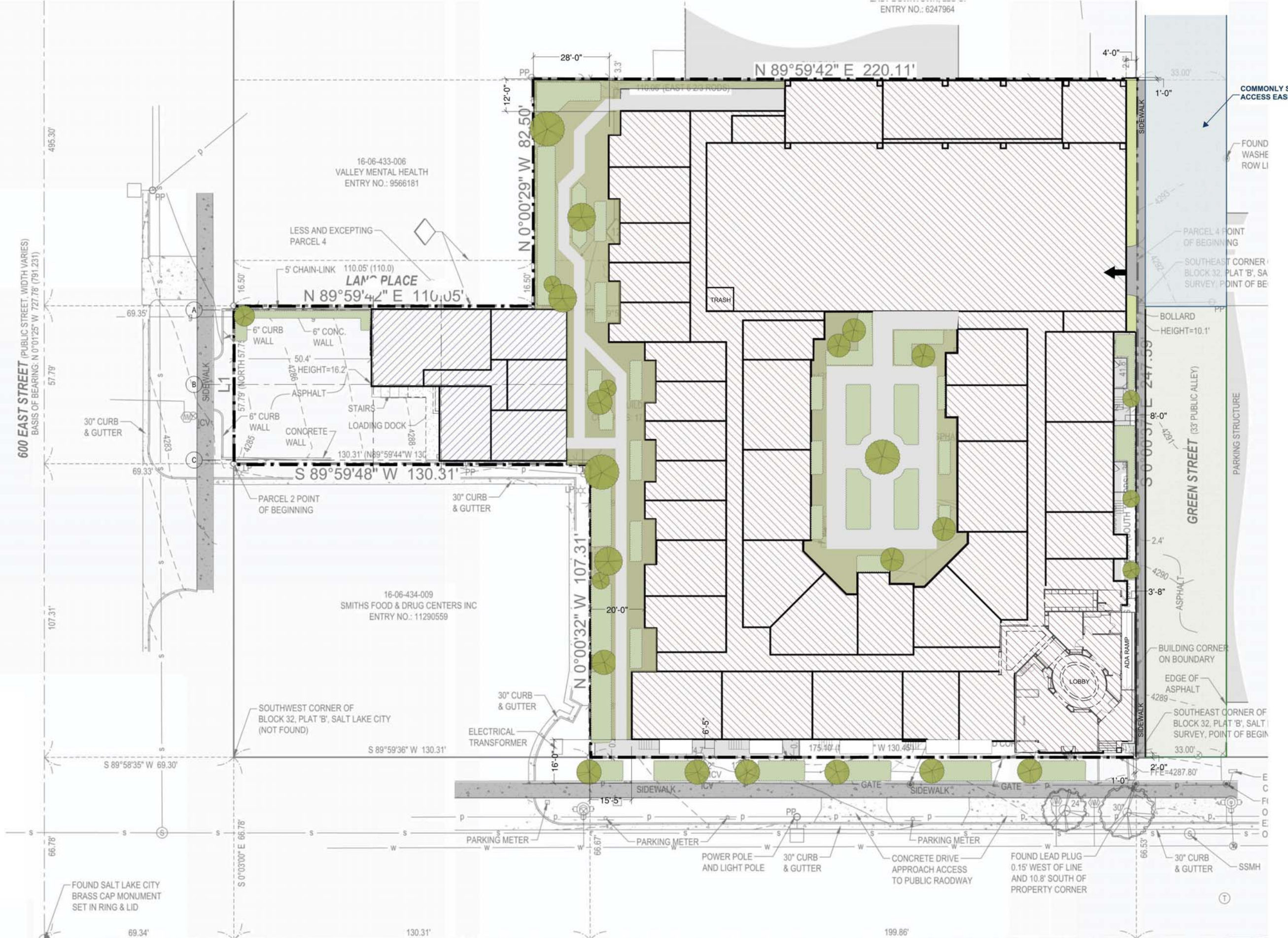
ALTA SURVEY

LIBERTY SQUARE - OCTOBER 1, 2015

LANDMARK COMMISSION SUBMISSION







ARCH | NEXUS

S:\2014\14314\Survey\Prod\14314 ALTA.dwg last: Jun 18, 2014 - 9:35am



SITE PLAN

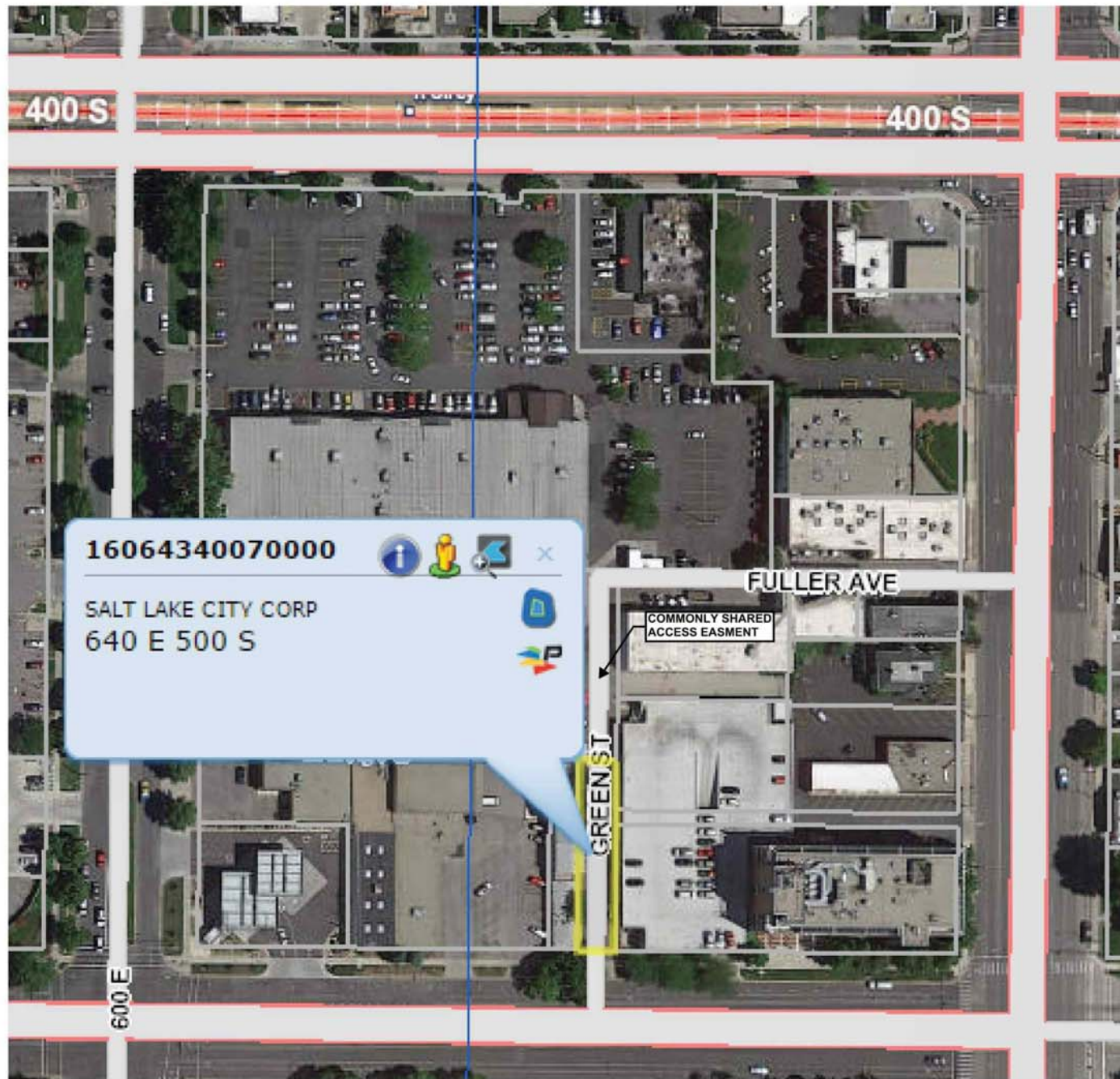
SCALE: 1/16" = 1'-0"

-  PROPOSED NEW BUILDING
-  CONTRIBUTING BUILDING TO REMAIN
-  COMMONLY SHARED ACCESS EASEMENT
-  PUBLIC ALLEY
-  SHRUBS / MINERAL MULCH
-  TREES

500 SOUTH STREET (PUBLIC STREET, WIDTH VARIES)



wg kent Jun 18, 2014 - 9:36am



SALT LAKE CITY ASSESSOR PARCEL MAP



SALT LAKE CITY ASSESSOR PARCEL MAP

AVERAGE SETBACK CHART

ADDRESS	SETBACK
479 S 600 E	0'
461 S 600 E	0'
500 S 675 E	0'
500 S 637 E	0'





EXISTING WEST FACADE



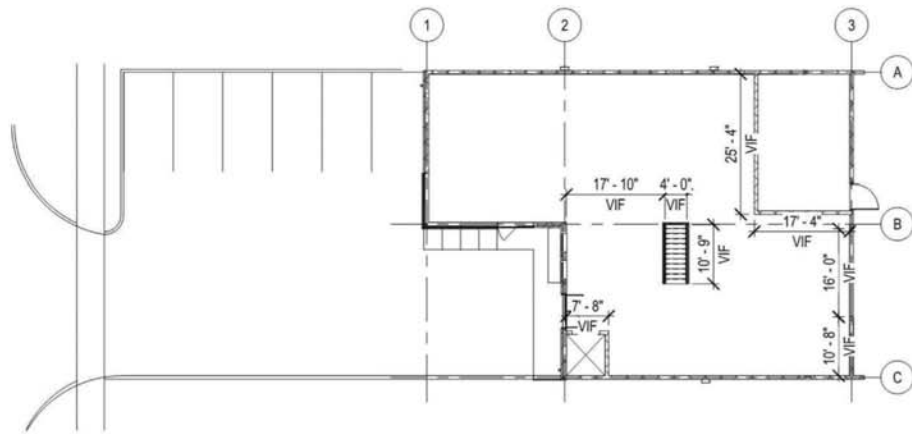
EXISTING NORTH FACADE



EXISTING SOUTH FACADE

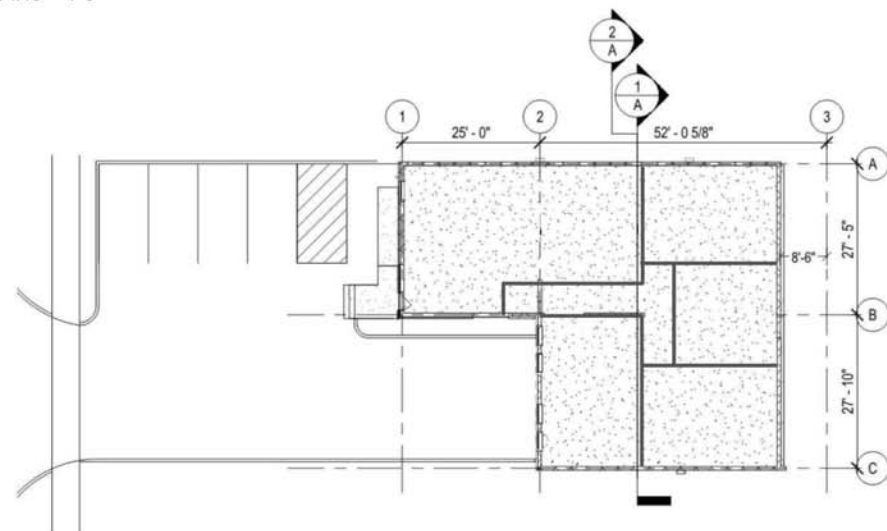


PROPOSED WEST FACADE



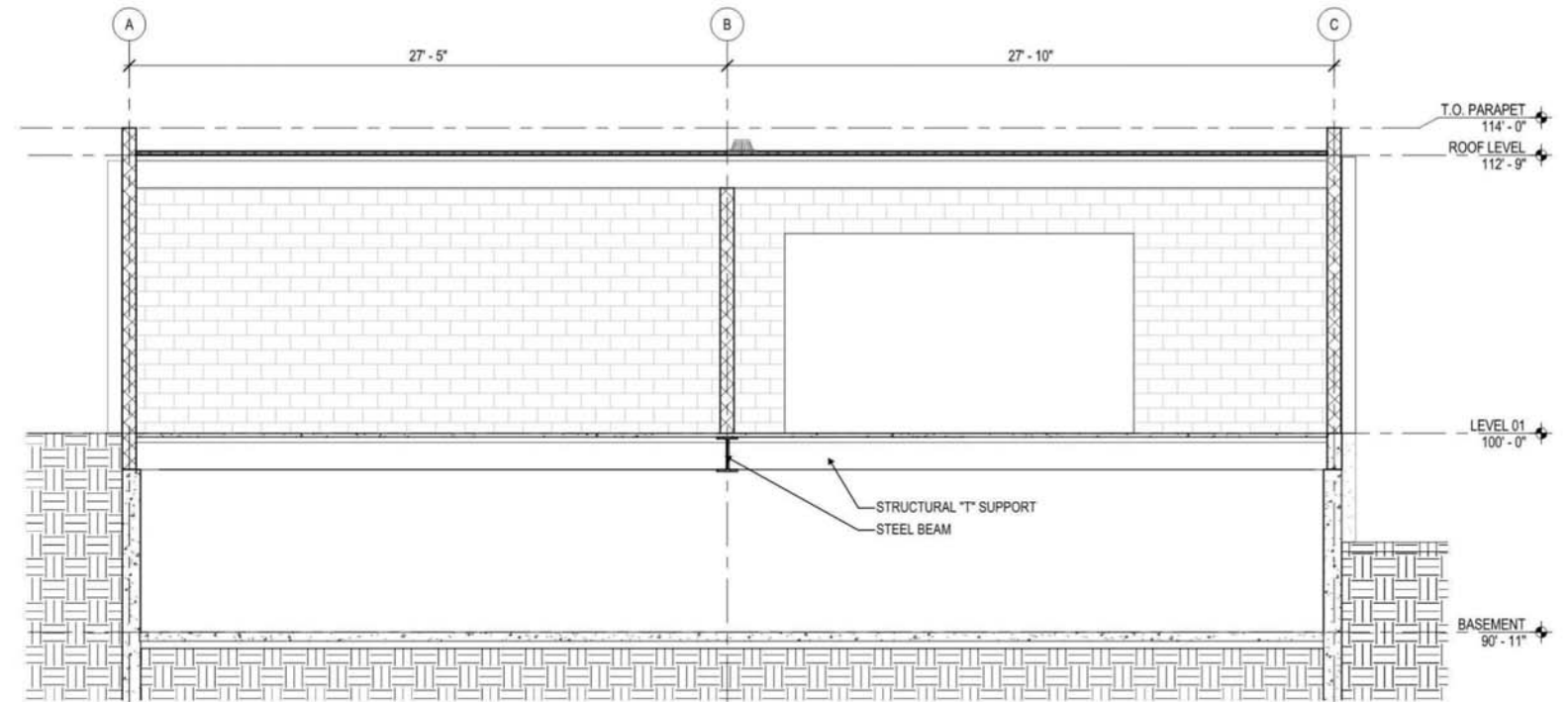
EXISTING BUILDING PLAN

SCALE: 1/16" = 1'-0"



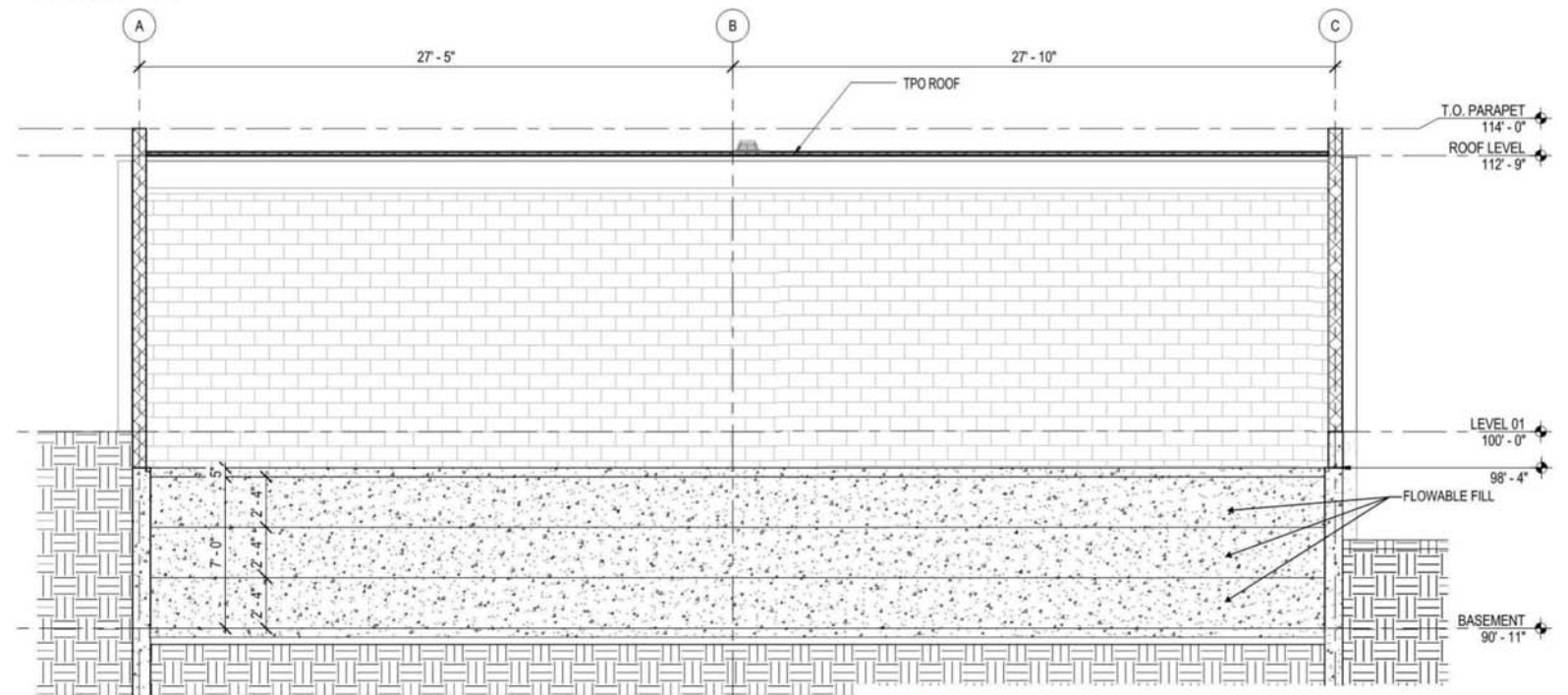
PROPOSED BUILDING PLAN

SCALE: 1/16" = 1'-0"



1-A EXISTING BUILDING SECTION

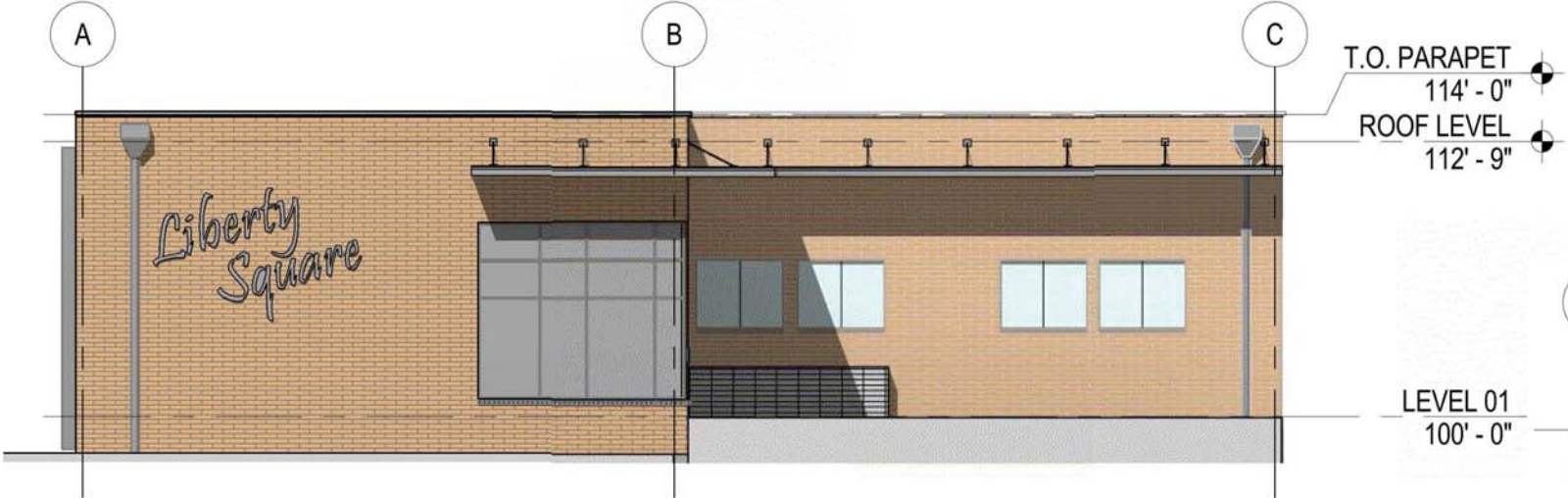
SCALE: 1/4" = 1'-0"



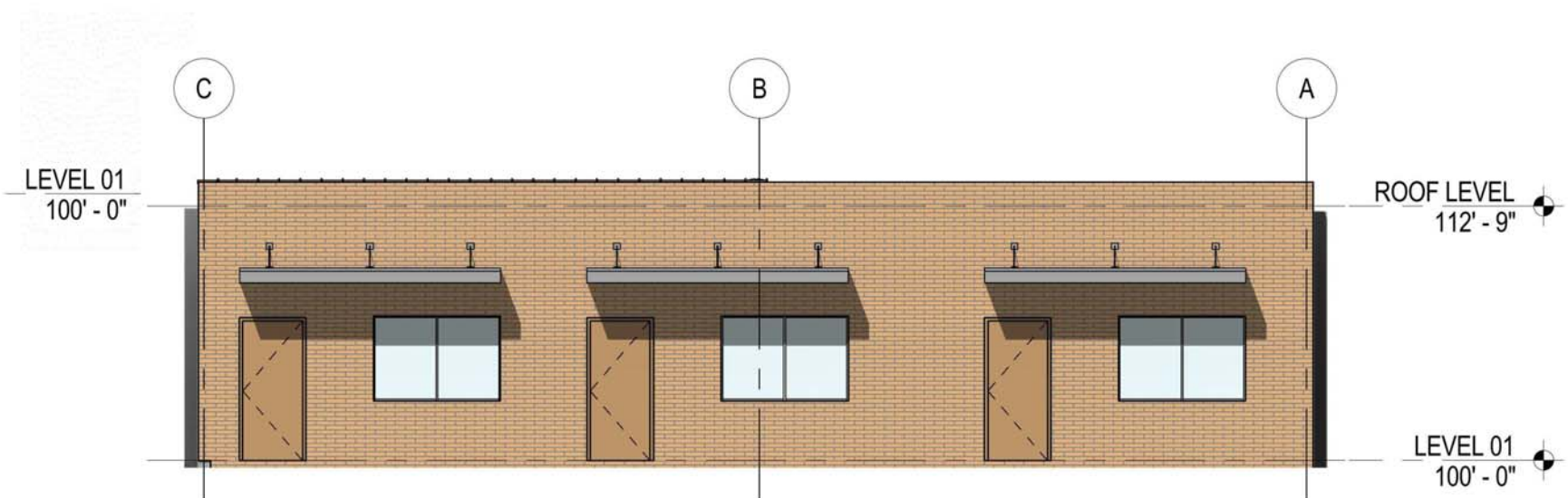
2-A PROPOSED BUILDING SECTION

SCALE: 1/4" = 1'-0"

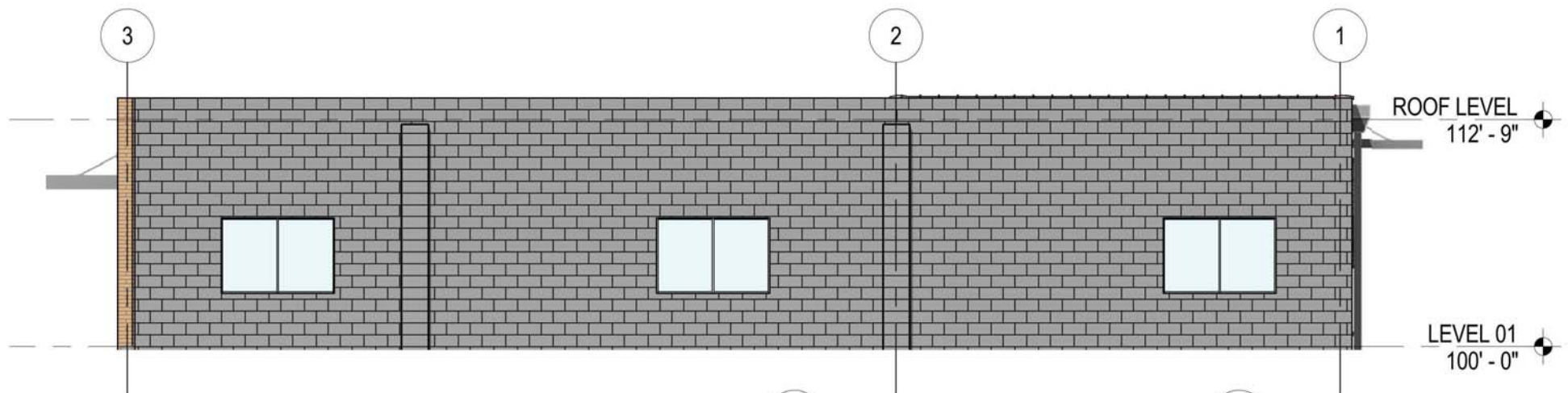




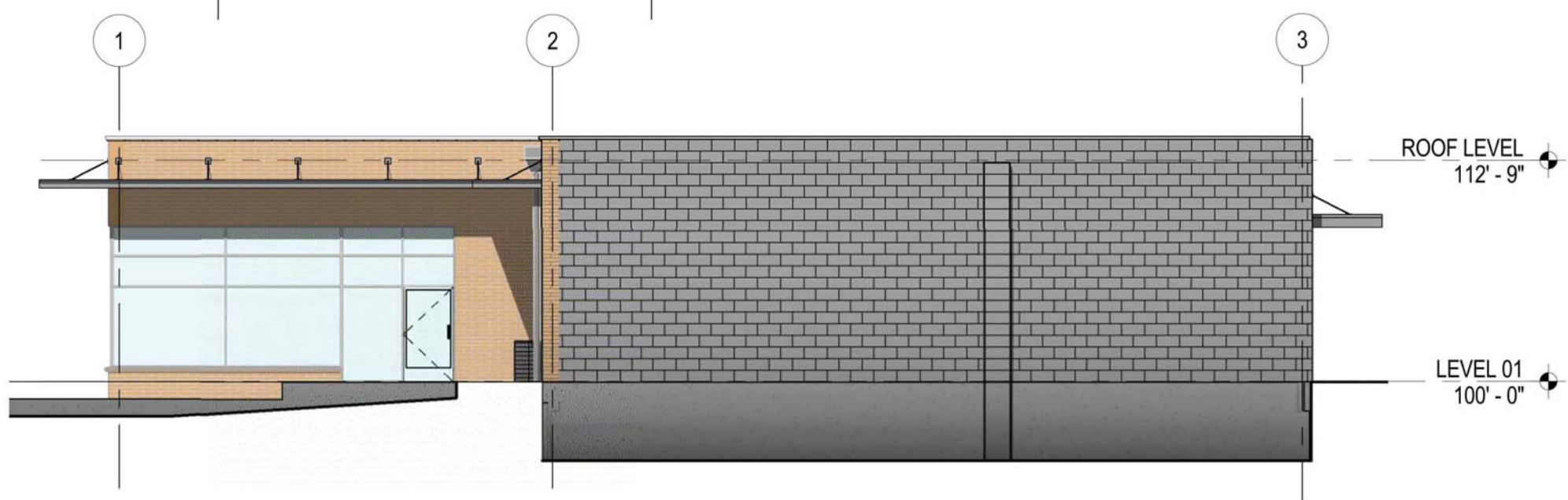
WEST ELEVATION
1/4" = 1'-0"



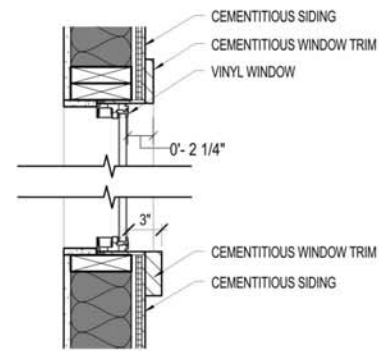
EAST ELEVATION
1/4" = 1'-0"



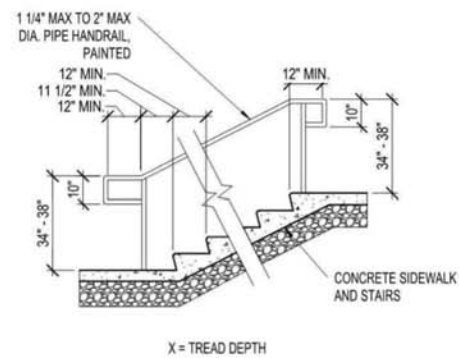
NORTH ELEVATION
1/4" = 1'-0"



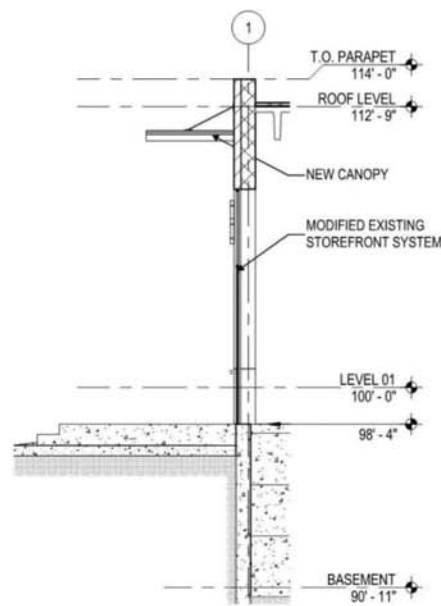
SOUTH ELEVATION
1/4" = 1'-0"



TYPICAL WINDOW SECTION
 N=NL07 =Z



TYPICAL EXTERIOR STAIR RAILING
 3/8" = 1'-0"



TYPICAL WALL SECTION
 SCALE: 1/4" = 1'-0"



VIEW FROM 6TH EAST AND 5TH SOUTH



VIEW FROM 5TH SOUTH AND GREEN STREET



**GREEN STREET
EAST ELEVATION**

SCALE: 1/8" = 1'-0" (24"x36" SHEET)
 0' 8' 16' 32'

ELEVATIONS

A412

**LIBERTY SQUARE
COWBOY PARTNERS
SALT LAKE CITY, UT**

06/26/2014

HPA#14061



HUMPHREYS & PARTNERS ARCHITECTS L.P.
 5339 Alpha Road, Suite 300 Dallas, TX 75240 (972) 701-9636 (972) 701-9639
 www.humphreys.com marketing@humphreys.com
 DALLAS CHARLOTTE IRVINE LAS VEGAS NEW ORLEANS NORFOLK ORLANDO PHOENIX

© 2013 by HUMPHREYS & PARTNERS ARCHITECTS, LP
 The arrangements depicted herein are the sole property of Humphreys & Partners Architects, LP and may not be reproduced in any form without its written permission.
 Architectural conceptual site plans are for feasibility purpose only. Revisions may occur due to further investigation from regulatory authorities and building code analysis. Dimensions shown are of a strategic intent only. Refer to surveys and civil drawings for technical information and measurements.



**500 SOUTH STREET
SOUTH ELEVATION**



NORTH ELEVATION

SCALE: 1/8" = 1'-0" (24"x36" SHEET)
 0' 8' 16' 32'

ELEVATIONS

A413

**LIBERTY SQUARE
COWBOY PARTNERS
SALT LAKE CITY, UT**

06/26/2014

HPA#14061



HUMPHREYS & PARTNERS ARCHITECTS L.P.
 5339 Alpha Road, Suite 300 Dallas, TX 75240 (972) 701-9636 (972) 701-9639
 www.humphreys.com marketing@humphreys.com
 DALLAS CHARLOTTE IRVINE LAS VEGAS NEW ORLEANS NORFOLK ORLANDO PHOENIX

© 2013 by HUMPHREYS & PARTNERS ARCHITECTS, LP
 The arrangements depicted herein are the sole property of Humphreys & Partners Architects, LP and may not be reproduced in any form without its written permission.
 Architectural conceptual site plans are for feasibility purpose only. Revisions may occur due to further investigation from regulatory authorities and building code analysis. Dimensions shown are of a strategic intent only. Refer to surveys and civil drawings for technical information and measurements.



WEST ELEVATION



COURTYARD ELEVATION

SCALE: 1/8" = 1'-0" (24"x36" SHEET)
 0' 8' 16' 32'

ELEVATIONS

A414

**LIBERTY SQUARE
 COWBOY PARTNERS
 SALT LAKE CITY, UT**

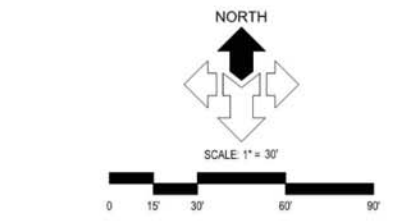
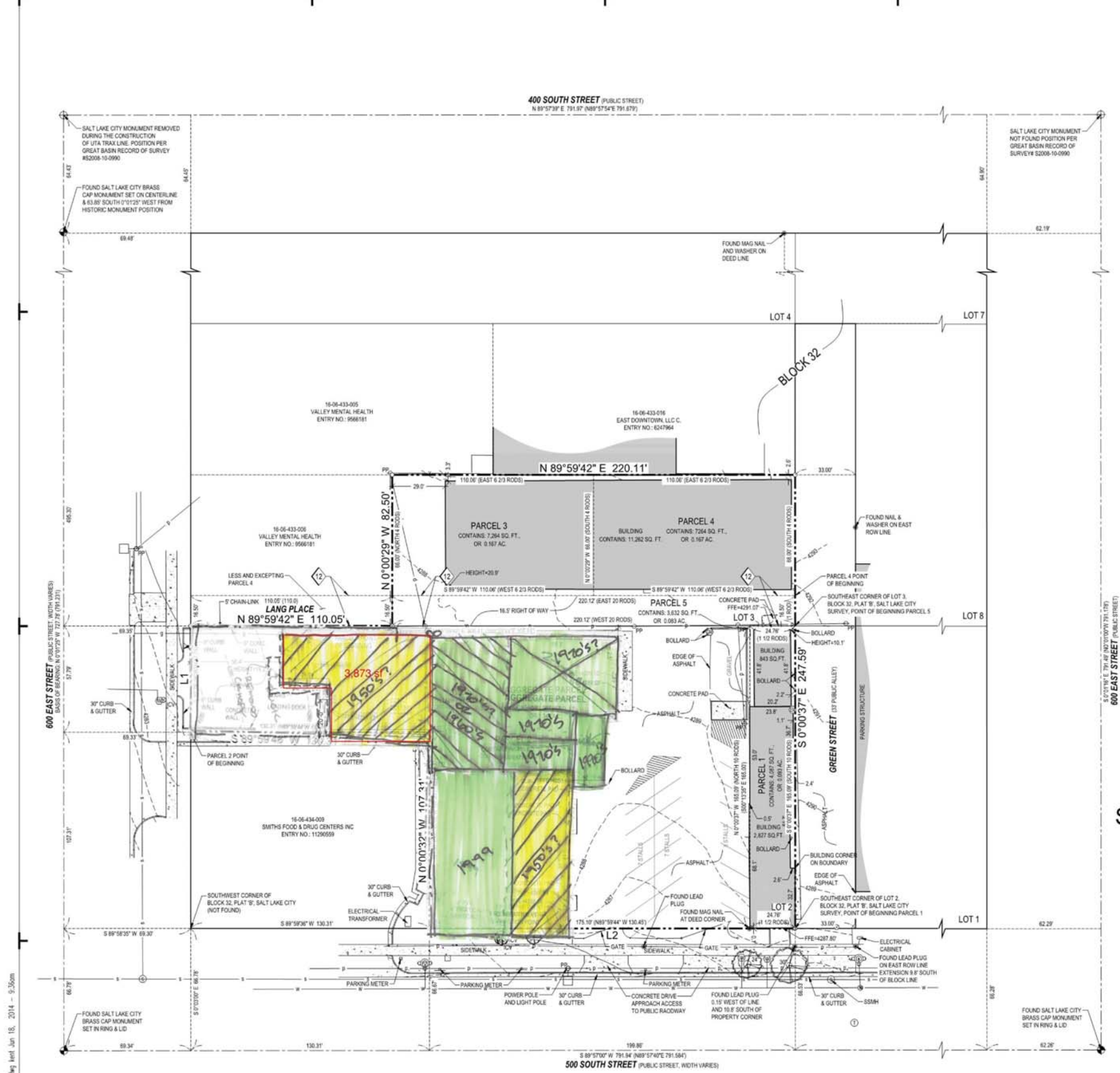
06/26/2014

HPA#14061



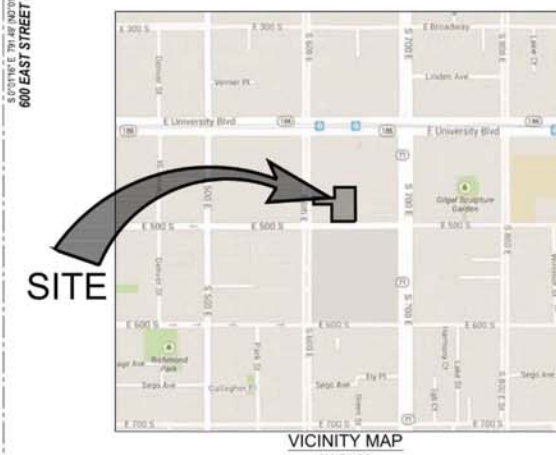
HUMPHREYS & PARTNERS ARCHITECTS L.P.
 5339 Alpha Road, Suite 300 Dallas, TX 75240 (972) 701-9636 (972) 701-9639
 www.humphreys.com marketing@humphreys.com
 DALLAS CHARLOTTE IRVINE LAS VEGAS NEW ORLEANS NORFOLK ORLANDO PHOENIX

© 2013 by HUMPHREYS & PARTNERS ARCHITECTS, L.P.
 The arrangements depicted herein are the sole property of Humphreys & Partners Architects, LP and may not be reproduced in any form without its written permission.
 Architectural conceptual site plans are for feasibility purpose only. Revisions may occur due to further investigation from regulatory authorities and building code analysis. Dimensions shown are of a strategic intent only. Refer to surveys and civil drawings for technical information and measurements.



LEGEND

--- ADJOINING PROPERTY LINE	⊗ FIRE HYDRANT
--- LOT LINE	⊕ WATER MANHOLE
--- PROPERTY LINE	⊖ WATER VALVE
--- MONUMENT LINE	⊕ ELECTRIC BOX
--- EASEMENT LINE	⊕ ELECTRIC MANHOLE
--- EXISTING FENCE	⊕ ELECTRIC METER
--- POWER LINE	⊕ GUY WIRE
--- TELEPHONE LINE	⊕ LIGHT POLE
--- WATER LINE	⊕ POWER POLE
--- SANITARY SEWER LINE	⊕ TRANSFORMER
--- STORM DRAIN LINE	⊕ SANITARY SEWER CLEAN OUT
--- GAS LINE	⊕ SANITARY SEWER MANHOLE
--- MAJOR CONTOUR	⊕ GAS MANHOLE
--- MINOR CONTOUR	⊕ ROOF DRAIN
--- CONCRETE	⊕ STORM DRAIN CATCH BASIN
--- BUILDING	⊕ STORM DRAIN MANHOLE
--- BUILDING OVERHANG	⊕ IRRIGATION CLEAN OUT
--- CONIFEROUS TREE	⊕ IRRIGATION CONTROL VALVE
--- DECIDUOUS TREE	⊕ TELEPHONE MANHOLE
○ PROPERTY CORNER	⊕ TELEPHONE RISER
	⊕ AIR CONDITIONING UNIT
	⊕ BOLLARD
	⊕ MAILBOX
	⊕ SIGN



LINE TABLE

LINE #	DIRECTION	LENGTH
L1	N 0°00'32" W	57.79
L2	S 89°59'28" W	199.89



SURVEYOR'S CERTIFICATE

TO: COWBOY PARTNERS, T.H.A INVESTMENTS, LTD., A UTAH LIMITED PARTNERSHIP, AFFILIATED FIRST TITLE INSURANCE AGENCY, INC.
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(b), 8, 11(a), 11, 14, & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 12, 2014.
 DATE OF PLAT OR MAP: JUNE 19, 2014
 DENNIS K. WITHERS
 LICENSE NO. 6135195

RECORD DESCRIPTION PER TITLE REPORT

PARCEL 1: BEGINNING AT THE SOUTHWEST CORNER OF LOT 2, BLOCK 32, PLAT "B", SALT LAKE CITY SURVEY; AND RUNNING THENCE WEST 110.00 FEET TO THE EAST LINE OF SIXTH EAST STREET; THENCE NORTH 10.00 FEET TO THE POINT OF BEGINNING.
PARCEL 2: ALSO BEGINNING AT A POINT 4.20 FEET NORTH OF THE SOUTHWEST CORNER OF LOT 2, BLOCK 32, PLAT "B", SALT LAKE CITY SURVEY; AND RUNNING THENCE WEST 110.00 FEET TO THE EAST LINE OF SIXTH EAST STREET; THENCE NORTH 10.00 FEET TO THE POINT OF BEGINNING.
PARCEL 3: ALSO BEGINNING AT A POINT 8.20 FEET NORTH OF THE SOUTHWEST CORNER OF LOT 2, BLOCK 32, PLAT "B", SALT LAKE CITY SURVEY; AND RUNNING THENCE WEST 110.00 FEET TO THE EAST LINE OF SIXTH EAST STREET; THENCE NORTH 10.00 FEET TO THE POINT OF BEGINNING.
PARCEL 4: ALSO BEGINNING AT A POINT 12.20 FEET NORTH OF THE SOUTHWEST CORNER OF LOT 2, BLOCK 32, PLAT "B", SALT LAKE CITY SURVEY; AND RUNNING THENCE WEST 110.00 FEET TO THE EAST LINE OF SIXTH EAST STREET; THENCE NORTH 10.00 FEET TO THE POINT OF BEGINNING.
PARCEL 5: ALSO BEGINNING AT A POINT 16.20 FEET NORTH OF THE SOUTHWEST CORNER OF LOT 2, BLOCK 32, PLAT "B", SALT LAKE CITY SURVEY; AND RUNNING THENCE WEST 110.00 FEET TO THE EAST LINE OF SIXTH EAST STREET; THENCE NORTH 10.00 FEET TO THE POINT OF BEGINNING.

SURVEY NARRATIVE

THIS ALTA/ACSM LAND TITLE SURVEY WAS COMMISSIONED BY COWBOY PARTNERS FOR THE PURPOSE OF RETRACING THE BOUNDS OF THE ABOVE DESCRIBED PARCELS AND COLLECTING TOPOGRAPHIC INFORMATION ON THE SITE IN CONNECTION WITH THE DESIGN OF NEW IMPROVEMENTS.
 THE BASIS OF BEARING FOR THIS SURVEY IS NORTH 0°00'28" WEST, ALONG THE MONUMENT LINE OF 600 EAST STREET, BETWEEN SALT LAKE CITY MONUMENTS FOUND AT THE INTERSECTIONS OF 500 SOUTH STREET AND 400 SOUTH STREET, AS SHOWN HEREON.
 THE BENCHMARK FOR THIS PROJECT IS 4279.35 FEET (NAVD83), ATOP THE SALT LAKE CITY MONUMENT AT THE INTERSECTION OF 500 SOUTH AND 600 EAST STREETS PER THE SALT LAKE COUNTY SURVEYOR'S DATUM.

TITLE INFORMATION

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, ADJOINERS AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO TRACT SHOWN HEREON WAS GAINED FROM TITLE COMMITMENT NO. 17015-12, PREPARED BY AFFILIATED FIRST TITLE INSURANCE AGENCY, INC. EFFECTIVE DATE: MAY 12, 2014, AT 8:00 AM.

SCHEDULE "B" EXCEPTIONS

THE FOLLOWING SCHEDULE B-2 EXCEPTIONS CORRESPOND TO THE ITEMS NUMBERED IN THE HEREON CITED TITLE COMMITMENT:
 12) AN EASEMENT FOR ACCESS, INGRESS AND EGRESS FOR MAINTENANCE, REPAIR OR REPLACEMENT OF PRIVATE WATER MAINS IN FAVOR OF SALT LAKE CITY AS SET FORTH IN FINDINGS OF FACT AND CONCLUSIONS OF LAW AND ORDER AND JUDGMENT QUIETING TITLE, RECORDED JANUARY 21, 2014, AS ENTRY NO. 1172829, IN BOOK 10206, AT PAGE 4335, SALT LAKE COUNTY RECORDS. AFFECTS ALL PARCELS COMPRISING OF THE SUBJECT PARCEL, AS SHOWN HEREON.

GENERAL NOTES

1. MAEL ENGINEERING OR MCNEIL ENGINEERING - SURVEYING, L.C. MAKES NO REPRESENTATIONS AS TO THE EXISTENCE OF ANY OTHER RECORD DOCUMENTS THAT MAY AFFECT THIS PARCEL OTHER THAN THOSE SHOWN IN THE EXCEPTIONS OF SCHEDULE B-2 AS SHOWN HEREON.
2. CORNER MONUMENTS NOT FOUND ON THE PROPERTY WERE MARKED WITH A 5/8" REBAR AND RED NYLON CAP STAMPED "MCNEIL ENGR.", OR A NAIL AND WASHER BEARING THE SAME REGIONAL, UNLESS OTHERWISE NOTED HEREON.
3. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ALTHOUGH ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED, TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THIS SURVEY. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, NOTIFY BLUE STAKES. THERE MAY BE ADDITIONAL RECORD UTILITY DOCUMENTS THAT WOULD AFFECT THIS PARCEL.
4. THE MAP MAKES NO ASSUMPTIONS AS TO ANY UNWRITTEN RIGHTS THAT MAY EXIST BY AND BETWEEN THE ADJOINING LANDOWNERS.
5. COURSES AND DISTANCES SHOWN ON THIS MAP ARE MEASURED DIMENSIONS UNLESS SHOWN WITHIN PARENTHESES, INDICATING A RECORD COURSE OR DISTANCE. RECORD INFORMATION IS TAKEN FROM CITED TITLE COMMITMENT, DEEDS OF RECORD, SURVEYING PLANS, ADJOINING DEDICATION PLATS, CITY ATLAS PLATS, FILED SURVEYS OR OTHER SOURCES OF RECORD INFORMATION.
6. THERE IS OBSERVED EVIDENCE OF CEMETERIES OR BURIAL GROUNDS.

SIGNIFICANT OBSERVATIONS

1) AT THE TIME OF THIS SURVEY THE COUNTY HAS NOT YET ASSIGNED A TAX ID NUMBER TO THE 16.5 FOOT STRIP NOTED AS PARCEL 2 OF THE COMMITMENT. PURSUANT TO FINDINGS OF FACT AND CONCLUSIONS OF LAW AND ORDER AND JUDGMENT QUIETING TITLE, RECORDED JANUARY 21, 2014, AS ENTRY NO. 1172829, IN BOOK 10206, AT PAGE 4335, SALT LAKE COUNTY RECORDS, (EXCEPTION 12).

TABLE "A" ITEMS

1. PROPERTY CORNERS WERE SET ACCORDING TO GENERAL NOTE 2
2. THE ADDRESS IS SHOWN IN THE COMMITMENT FOR TITLE INSURANCE AS: 637 EAST 300 SOUTH, 641 SOUTH 600 EAST, 621-623 EAST LANG PLACE, 633 EAST LANG PLACE, SALT LAKE CITY, UTAH 84143
3. THE SUBJECT PARCEL IS SITUATED WITHIN AN AREA IN WHICH A PANEL HAS NOT BEEN PRINTED, FEMA HAS DESIGNATED THE AREA TO BE WITHIN ZONE "X", WHICH ARE AREAS WITH A 2% CHANCE OF FLOODING IN AN ANNUAL 100 YEAR FLOOD EVENT (HROGSDEN)
4. THE GROSS LAND AREA IS 184.86 SQ. FT., OR 1.347 ACRES
5. CONTOUR DATA SHOWN HEREON ARE REPRESENTED AT 1 FOOT INTERVALS AND ARE BASED UPON NAVD83 ELEVATIONS, AS PUBLISHED BY THE SALT LAKE COUNTY SURVEYOR'S OFFICE.
- 7(a). EXTERIOR DIMENSIONS OF BUILDINGS ARE SHOWN HEREON AND WERE MEASURED AT GROUND LEVEL.
- 7(b). AREA OF BUILDINGS ARE SHOWN HEREON AND ARE BASED UPON THE ABOVE MEASUREMENT.
9. THERE ARE 22 REGULAR PARKING STALLS AND 3 HANDICAP PARKING STALLS, TOTALING 25 STALLS.
- 10(b). UTILITY INFORMATION IS SHOWN HEREON BASED UPON GENERAL NOTE 3.
13. NAMES OF ADJOINING OWNERS SHOWN HEREON.
16. BY SITE INSPECTION, THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
18. BY SITE INSPECTION, THERE IS NO EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SLUMP, OR SANITARY LANDFILL.

McNEIL ENGINEERING
 Economic and Sustainable Design. Professionals You Know and Trust.
 8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcnailengineering.com
 Civil Engineering • Consulting & Landscape Architecture
 Structural Engineering • Land Surveying & HDS

LIBERTY SQUARE
COWBOY PARTNERS
 500 SOUTH 600 EAST, SALT LAKE CITY, UTAH
 LOCATED IN THE SOUTHEAST QUARTER OF SECTION 06, TOWNSHIP 1 SOUTH, RANGE 1 EAST, S. 1. R. & M.

REVISIONS

REV	DATE	DESCRIPTION	RELEASE TO CLIENT FOR REVIEW
1	6-09-14		

PROJECT NO: 14314
CAD FILE: 14314 ALTA
DRAWN BY: DKW
CALC BY: DKW
FIELD CREW: JDS
CHECKED BY: MDH
DATE: 6-18-14

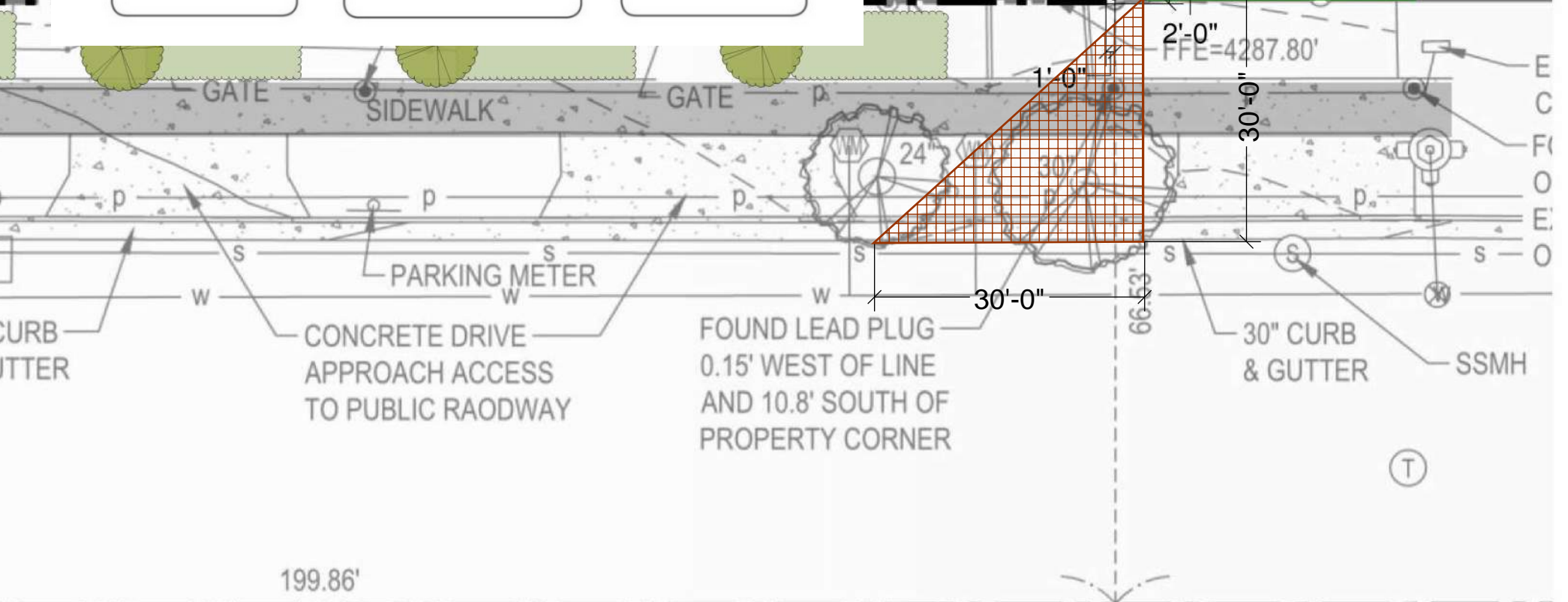
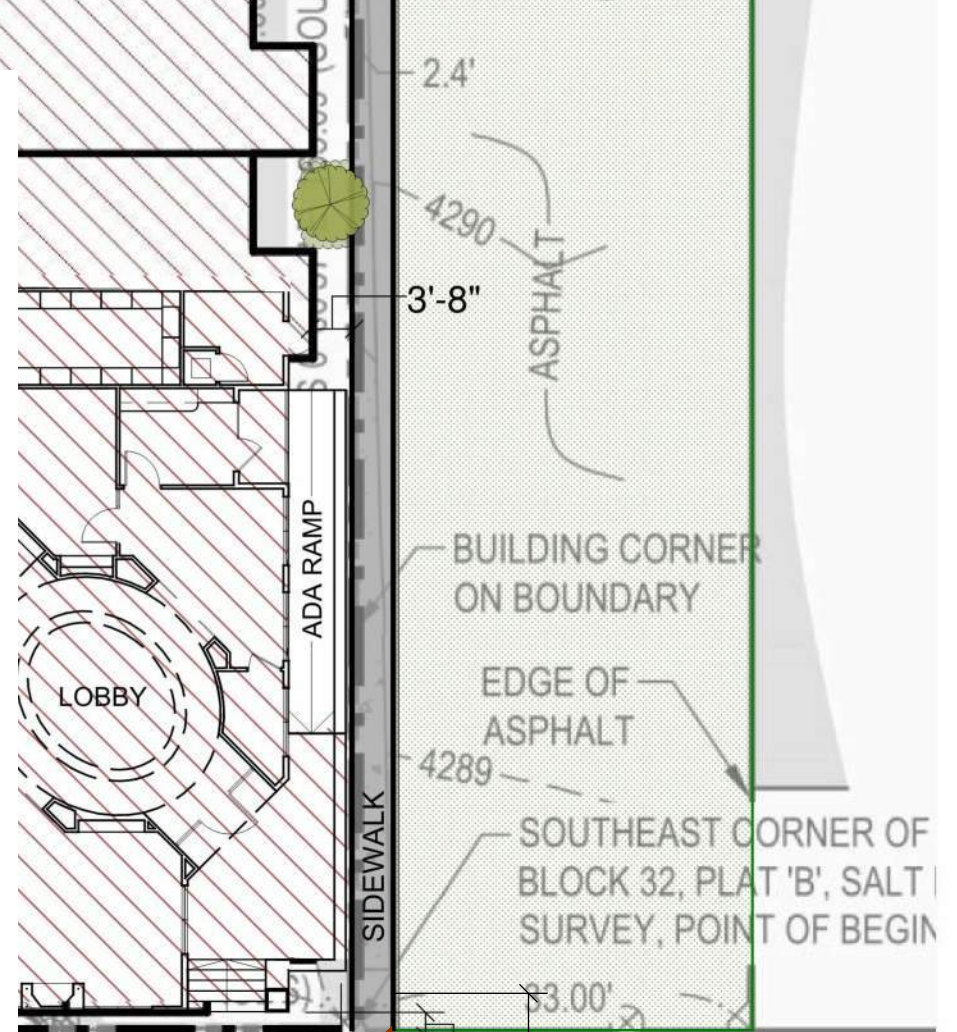
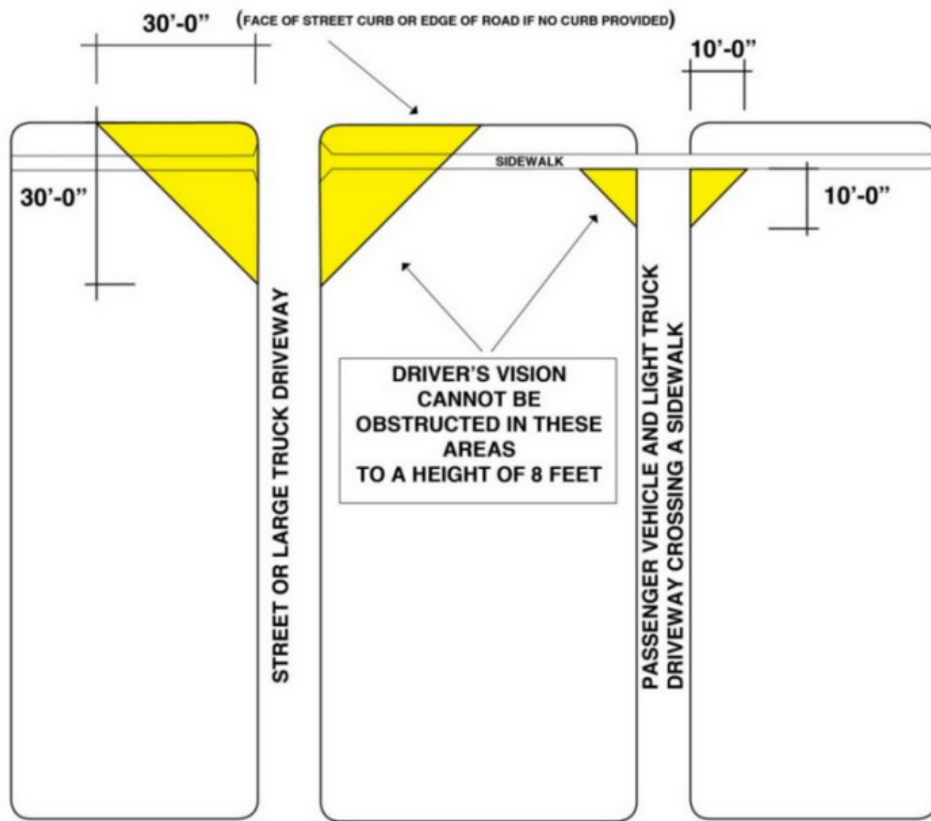
ALTA/ACSM LAND TITLE SURVEY
1 OF 1

CHRONOLOGIC BUILDING TIMELINE
LIBERTY SQUARE - OCTOBER 1, 2015
 LANDMARK COMMISSION SUBMISSION

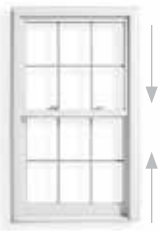
S:\2014\ALTA\14314\Survey\Prod\Draw\14314 ALTA.dwg Issue Date: Jun 18, 2014 - 9:36am

ATTACHMENT D: APPLICANT INFORMATION

SIGHT DISTANCE TRIANGLE



S 89°57'00" W 791.94' (N89°57'40"E 791.584')
00 SOUTH STREET (PUBLIC STREET, WIDTH VARIES)



DOUBLE HUNG

For a timeless look, choose the Double Hung, which is popular in Victorian, Craftsman and Colonial architecture. Both sash on Double Hung windows slide up and down vertically.

- The exclusive Simonton Sill® is triple-stepped and sloped to move water quickly away from your home and to help prevent air infiltration
- Tilt-in/lift-out sash makes cleaning easy from the inside
- The easy-glide sash and balance system allow the sash to raise and lower with ease
- Simonton's innovative Lap-Lok® meeting rail helps provide a tight seal for protection against the elements and increased energy efficiency
- Unique Denny Clip™ pivot system keeps sash in perfect alignment for easy operation



GEOMETRIC

Customize the look of your home with a stunning Geometric window. The dramatic options provide a contemporary look that will enhance any home.

- Select from a variety of optional grid patterns to create a unique look
- Available styles in Half-round, Quarter-round, Eyebrow, Circle, Octagon, Trapezoid, Pentagon and Hexagon



SLIDER

Slider windows glide horizontally from side to side. Available in a 2- or 3-lite configuration, 3-lite Sliders have operable end vents. They are perfect for replacing large Picture windows to gain ventilation.

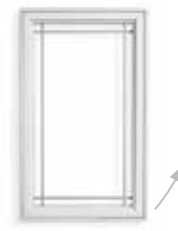
- Corrosion-resistant* rollers and roller track provide a lifetime of easy operation
- Interlocking meeting stiles create a tight seal against the elements
- Lift-out sash can be removed for easy cleaning and maintenance



GARDEN

A Garden Window can bring a little bit of the outdoors in year-round.

- Two side windows can be opened or closed with the simple turn of a crank
- Seat boards are available in white pine laminate or wood veneer in either oak or birch and can be painted or stained
- Top-sloping insulating glass unit tempered for breakage resistance
- Sill cover resists water penetration
- Multi-point, single-lever locking system for added security
- Corrosion-resistant* hardware provides a lifetime of smooth operation.



CASEMENT

The Casement features a hinged sash that opens outward. If you are looking for optimum ventilation and a wide-open view, the Casement is the perfect choice. Casements are the second most energy-efficient style available for your home.

- Casements crank outward for maximum ventilation and easy cleaning
- Optional folding crank handle allows for easy and convenient operation
- Advanced locking system secures sash at multiple points with one, easy-to-use handle



BOW

A Bow window features windows mullered at 10-degree angles, which creates a rounded, more circular appearance than a bay.

- Bow windows feature 3-, 4- or 5-unit designs
- Equal-sized Double Hung or Casement windows can be used to create a Bow window with excellent ventilation
- Ideal for large window openings
- Head and seat boards in oak or birch veneer can be painted or stained to match the interior of your home
- Insulated seat boards provide increased thermal efficiency



BAY

Open up your home and bring the outside in with the addition of a Bay window. The dramatic look of a Bay creates a special nook and adds dimension to any room.

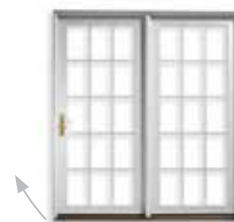
- Bay windows feature either Double Hung or Casement windows on each side of a center Picture window
- Available in either 30- or 45-degree angles
- Ideal for larger openings
- Head and seat boards in oak or birch veneer can be painted or stained to match the interior of your home
- Insulated seat boards provide increased thermal efficiency



PATIO DOOR

Redefine your living space with a Reflections 5500 Patio Door. Large glass areas open up a room while allowing easy access to the outside.

- Fusion-welded panel provides strength and thermal efficiency
- Double-strength tempered glass for increased safety
- Corrosion-resistant* rollers allow door to open and close smoothly
- Color-coordinated handle options to match your style
- Exterior keyed lock for maximum security
- Foot bolt for partial ventilation
- Sidelites and transoms available for added light and character



GARDEN DOOR

With a Garden Door you can create an elegant entryway for your home and achieve a greater sense of security.

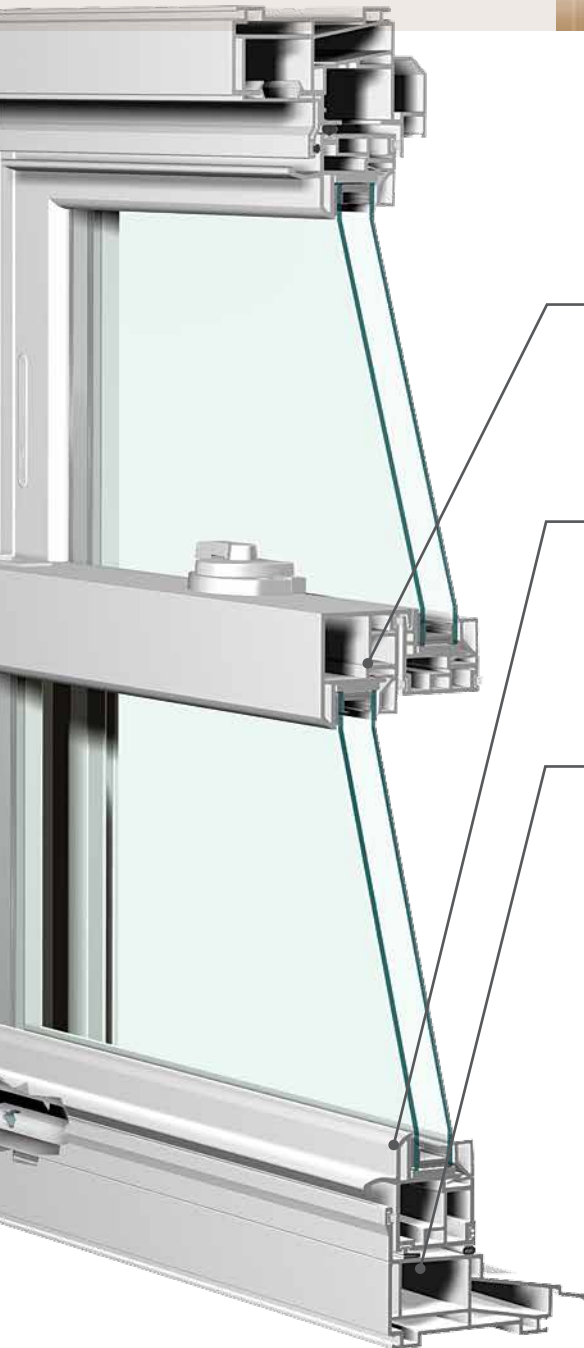
- Continuous, fixed-gear hinge eliminates panel sag and increases weatherability
- Thick, high-performance weatherstripping
- 7/8-inch tempered insulating glass unit for greater thermal efficiency
- Available in center-hinge and French-hinge styles that swing in or out
- Solid brass handle with center bolt and keyed lock for increased safety
- Available with a white or tan interior and exterior

Quality Insulation

Do you worry about condensation in your windows during the colder months of the year? Simonton Reflections 5500 windows help reduce temperature conduction and the potential for condensation. Our sealed, insulating glass units are set $\frac{3}{4}$ inch into the sash, providing extra insulation to keep the glass warmer.



Reflections 5500 comes standard with features that help **keep unwanted weather out:**



Our innovative **Lap-Lok® meeting rail** overlaps and interlocks the sash to create a tight seal that virtually eliminates air and water infiltration



The **Intercept® spacer system's unique U-shaped design** keeps glass warmer for increased efficiency and comfort, while flexing and contracting to reduce seal failure



Our exclusive **triple-stepped, sloped Simonton Sill®** forces water away from the window more quickly than flat, conventional sills to help protect your home from water infiltration, even in heavy rain



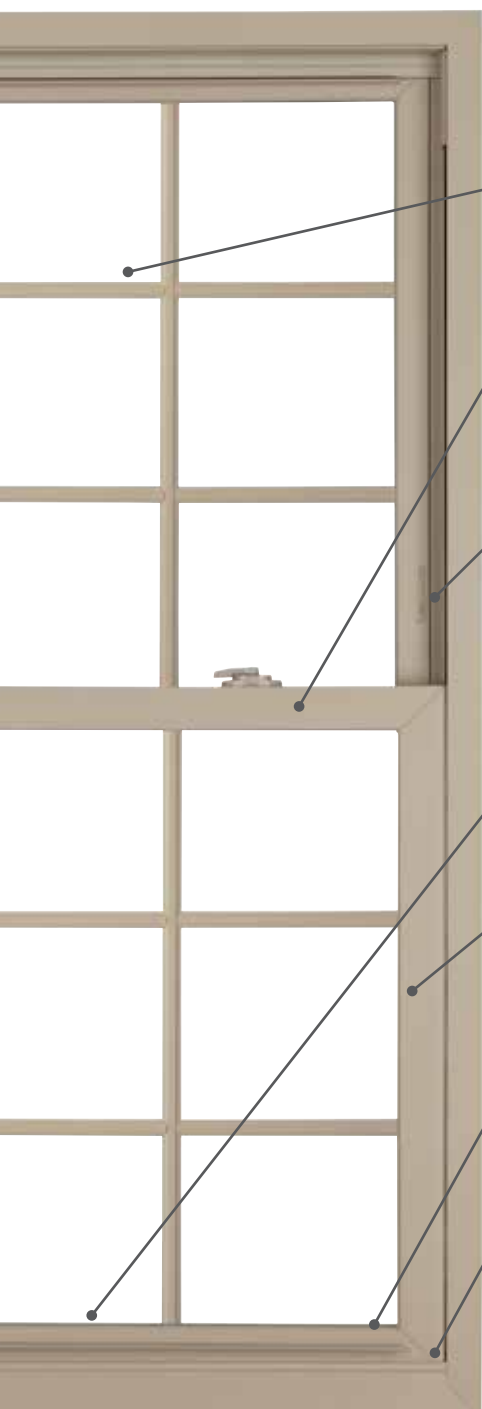
ProSolar® Low E glass with Argon gas reduces temperature transfer to help lower energy costs and keep your home comfortable all year long. It also helps block ultraviolet rays that can fade carpet, photos and furniture.



Can be ordered to meet **ENERGY STAR®** guidelines for any region of the country, no matter where you live



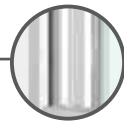
Reflections 5500 makes taking care of windows **simple**:



Grids located between the two pieces of glass eliminate the need to dust or clean window grids

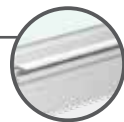


Operable sash that tilt and lift out allow you to clean both sides of the window quickly and easily, from inside your home



Reflections 5500 windows and doors **remain low maintenance** over time because they don't require regular painting and do not rot, flake, peel or chip like wood windows.

When it comes to Simonton,[®] the **quality** is in the details:



A **contoured lift rail** is actually molded into the sash to provide lifetime durability



A **stainless steel constant force coil spring balance system**, allows you to easily move the window sash to any desired position, even after years of use



Our unique **Denny Clip™ pivot system** helps to maintain perfect sash alignment on Double Hung windows



Fusion-welded construction bonds each corner together to create a rigid, one-piece frame that offers reliable strength and durability





Every window that Simonton builds is **AAMA Gold certified**, which means that it has passed stringent tests for air leakage, water infiltration and wind pressure

Profiles™ & Traditions Steel Doors

Find style at an affordable price point with options to match any home style and budget in Profiles and Traditions doors. Fire-rated options on 6'8" solid-panel doors make a perfect choice for house-to-garage.

- 1-¼" lock and hinge stiles.
- 12-½" lock blocks.
- No stile lines.
- Primed, ready-to-paint surface.

 WBDR / HVHZ Options: Look for this icon to find door styles that can be configured for WBDR or HVHZ.*

 20-Minute Fire-rated options available on 6'8" solid-panel doors. See page 217.



Profiles™ Steel

Features 24-gauge steel, smooth surface and triple-shadowed panel embossments for greater definition.



Traditions Steel

Features 25-gauge steel, standard embossed smooth surface. All 8'0" doors are 24-gauge steel with standard embossments.



■ = Available
 • = Not Applicable
 P = Paint

Profiles™
 Traditions

Door Widths

Width	Profiles™	Traditions
2'0"	■	■
2'4"	■	■
2'6"	■	■
2'8"	■	■
2'10"	■	■
3'0"	■	■
3'6"	■	•

Door Heights

Height	Profiles™	Traditions
6'6"	■	■
6'8"	■	■
7'0"	■	•
8'0"	•	■

Glass Options

Option	Profiles™	Traditions
Decorative	16	16
Privacy	4	4
Internal Blinds	■	■
Screen Vented Lites	■	■
Simulated Divided Lites	■	■
Grilles Between Glass	■	■
Removable Wood Grilles	■	■
Fixed Grilles	■	■
Low-E	■	■
Clear	■	■

Additional Options

Finish	Profiles™	Traditions
Finish	P	P

Retrofit Patio Sizes

Looking for retrofit options? Choose 2'4" width for 5'0" retrofit doors and 2'10" for 6'0" retrofit doors.

Privacy Glass

Pages 206, 211

Chord Glass

Glass Privacy Rating: 10

Chinchilla Glass

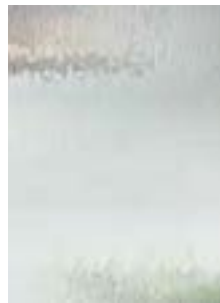
Glass Privacy Rating: 10

Rainglass

Glass Privacy Rating: 8

Granite Glass

Glass Privacy Rating: 10



Chord



Chinchilla



Rainglass



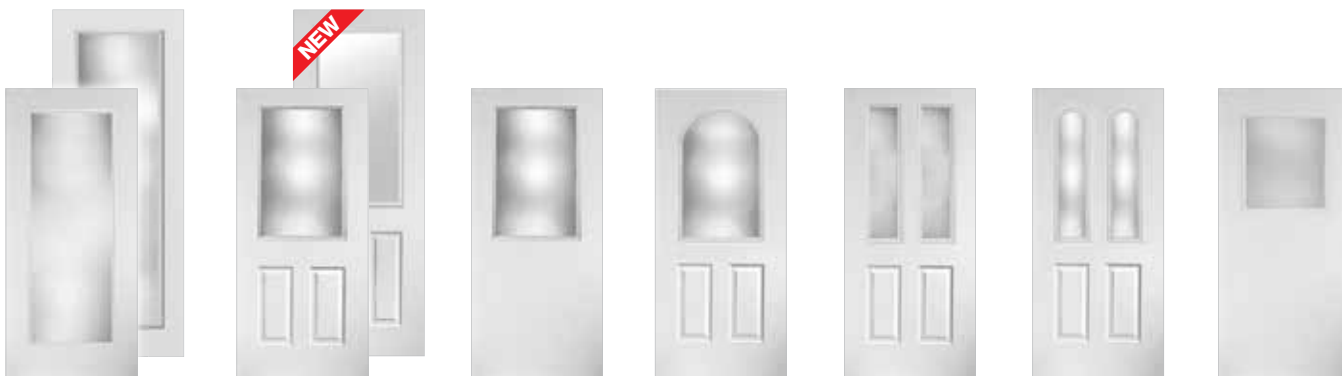
Granite

*Please verify that there is a Therma-Tru product approval for the configuration before buying.

**Decorative glass designs are shown in Profiles only.

Note: Finish colors may vary from an actual application due to fluctuations in finishing or printing. Glass privacy ratings may be more or less than indicated, based on glass design and size of glass. Glass designs may differ from depiction due to size of glass and hand craftsmanship. See your Therma-Tru seller or visit www.thermatru.com for more, including details on limited warranties and exclusions, ENERGY STAR qualified products and product approvals.

Clear Glass



TS118
 * 6
 2'0" x 6'8" ▽
 2'4" x 6'8" ⚡
 2'6" x 6'8"
 2'8" x 6'8"
 2'10" x 6'8" ⚡
 3'0" x 6'8"

818
 * 6
 2'0" x 8'0" ▽
 2'6" x 8'0"
 2'8" x 8'0"
 2'10" x 8'0"
 3'0" x 8'0"

TS206
 * 6
 2'6" x 6'8"
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"

8206
 * 6
 2'8" x 8'0"
 2'10" x 8'0"
 3'0" x 8'0"

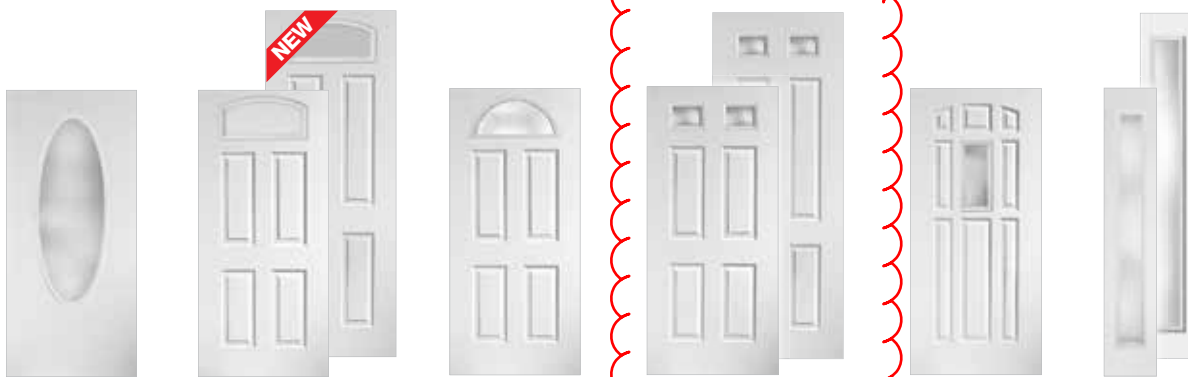
TS104
 * 6
 2'6" x 6'8"
 2'8" x 6'8"
 2'10" x 6'8" ⚡
 3'0" x 6'8"

TS150
 *
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"

TS289
 *
 2'6" x 6'8"
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"

TS153
 *
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"

TS105
 *
 2'6" x 6'8"
 2'8" x 6'8"
 2'10" x 6'8" ⚡
 3'0" x 6'8"



TS102
 *
 2'6" x 6'8"
 2'8" x 6'8"
 2'10" x 6'8" ⚡
 3'0" x 6'8"

TS708
 *
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"

8708
 *
 2'8" x 8'0"
 2'10" x 8'0"
 3'0" x 8'0"

TS256
 *
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"

TS296
 *
 2'6" x 6'8"
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"

896
 *
 2'6" x 8'0"
 2'8" x 8'0"
 2'10" x 8'0"
 3'0" x 8'0"

TS291
 *
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"

100SL
 * 6
 10" x 6'8"
 12" x 6'8" ‡
 14" x 6'8" ‡

818SL
 * 6
 12" x 8'0"
 14" x 8'0"



TS210SL
 * 6
 10" x 6'8"
 12" x 6'8"
 14" x 6'8"

TS150SL
 *
 12" x 6'8"
 14" x 6'8"

TS296SL
 *
 12" x 6'8"
 14" x 6'8"



19200T
 *
 3'0" Door Only



19210T
 *
 12" & 14" Sidelite Only



19220T
 *
 3'0" door + (2) 12" sidelites
 3'0" door + (2) 14" sidelites
 Continuous Sill Systems Only

Options Key

- ▭ Simulated Divided Lites (SDL)*,**
- ◆ Fixed Grilles (FXG)
- ◆ Flat White Grilles Between Glass Only (GBGFW)

- ◆ Flat or Contour, White or Color Grilles Between Glass (GBGF / GBGC)
- ▶ Removable Wood Grilles (RG)
- ★ Low-E Glass (LE)

- 🐢 Turtle Glass
- 🌀 WBD / HVHZ Options
- ⚡ 6'6" Height Available
- ‡ 7'0" Height Available

Features Key

- ▭ PVC Doorlite Frame**

ATTACHMENT E: ZONING ORDINANCE STANDARDS

Existing Conditions:

The site consists of eight buildings, seven of which are being proposed to be demolished. One of the buildings is an existing building that would be renovated.

Zoning Ordinance Standards for TSA-UN-C (Transit Station Area-Urban Neighborhood-Core)

Standard	Finding	Rationale
Minimum Lot Area And Lot Width: 2,500 square feet and forty feet (40') of street frontage.	Complies	The subject parcel is approximately 58,686 square feet. The lot width at 500 South would be 199.75 feet.
Minimum Front Yard Requirements: If a setback is provided, at least fifty percent (50%) of the street-facing building facade shall be located within five feet (5') of the front property line For properties that front on 500 South, the front yard setback shall be equal to the average front yard setback for properties located along the same block face.	Complies	At least fifty percent (50%) of the façade on Green Street would be within five feet of the front property line. On 500 South, the front yard setback would be the same as the other buildings on the block face.
Interior Side Yard: No yard is required.	Complies	The interior side yard would be approximately 20 feet for the most part.
Rear Yard: No yard is required.	Complies	The project would not provide any rear yard setback except for a small portion of the western portion of the lot, were the rear yard would be approximately 12 feet.
Maximum Building Height: 75 feet.	Complies	The highest elevation on the building would be 63 feet eight inches.
Minimum Open Space: 10% of the lot area shall be maintained as open space. This open space may take the form of landscape yards, patios, public plazas, pocket parks, courtyards, rooftop and terrace gardens and other similar types of open space amenity.	Complies	The project would meet the 10% open space requirement, by providing an internal courtyard.

Design Standards for TSA-UN-C (Transit Station Area-Urban Neighborhood-Core)

Standard	Finding	Rationale
Walls Adjacent to a Street: Street-facing building facades shall provide architectural variety and scale.	Complies	The façade composition consists of solid red brick on the base of the building. The middle of the building would be a combination of brick and cement fiber boards and the upper floor would be cement fiber boards creating a lighter feel for the top of the building. Stucco cornice above the first floor and roof edge would be used to reinforce the definition of a foundation and a top floor. Further architectural interest would be achieved through modulation, change of materials and fenestration pattern.
Ground Floor Building Materials: Other than ground windows and doors, eighty percent (80%) of the remaining ground floor wall area shall be clad in durable materials.	Complies	The base of the building is composed of a solid brick.
Ground Floor Glass And Transparency: Forty percent (40%).	Complies	The windows on the ground floor along with the glass on the front entrance will satisfy the 40% requirement.
Ground Floor Residential Uses: Dwelling units located on the ground floor and facing a public or private street shall have a minimum of one primary entrance facing the street in the core area. The facades of all buildings in the core and transition areas with ground floor residential uses shall feature elements that signal habitation such as windows, entrances, stairs, porches, bay windows, and balconies that are visible from the public street.	Complies	The ground level will be activated through individual primary entrances on the ground floor apartments facing 500 South and Green Street. Individual entrances are demarcated by a landing and steps.
Parking Structures: (1) The ground floor of parking structures adjacent to a public street shall include an active use other than parking such as office, retail, residential leasing office, restaurant, etc. Parking is permitted behind the ground floor uses. If the ground floor does not include active use, then the structure must be set back behind a building or be a minimum of sixty feet (60') from a property line adjacent to a public street or sidewalk. (2) The levels of parking above the first level facing the front or corner side lot line shall have horizontal floors and/or facades and not sloped. (3) The levels of parking above the second level shall be designed to effectively screen the vehicles so they are not readily visible from an adjacent street.	Complies	The parking structure would be located on the north of the site next to the Trader Joe's loading dock and it would be set back significantly from the 600 East, and 500 South. Green Street is only a City street for approximately 165 feet from 500 South and then it is a private easement. The parking structure and its entrance would be located on the private easement. Therefore the requirements for the parking structure to have an active use on the ground floor would not apply to this project.
Mechanical Equipment: Mechanical equipment may be located on the ground provided it is behind the building, screened and not located in a required rear yard or side yard setback.	Complies	Mechanical equipment and service areas would be located inside the parking structure.
Service Areas: Service areas, loading docks, refuse containers and similar areas shall be fully screened from public view.	Complies	Mechanical equipment and service areas would be located inside the parking structure.

ATTACHMENT F: HISTORIC PRESERVATION STANDARDS

The proposed projects on this staff report have different standards listed on the Salt Lake City Zoning Ordinance. The following shows which standard will be used for each project:

1. **Alteration of the Ensign Floral building:** Standards for Certificate of Appropriateness for Altering of a Landmark Site or Contributing Structure (21A.34.020G)
2. **Demolition of noncontributing buildings:** Standards for Certificate of Appropriateness Involving New Construction or Alteration of a Noncontributing Structure (21A.34.020H)
3. **New construction of the Liberty Square building:** Standards for Certificate of Appropriateness Involving New Construction or Alteration of a Noncontributing Structure (21A.34.020H)

Standards for Certificate of Appropriateness for Altering of a Landmark Site or Contributing Structure (21A.34.020.G)

Alteration of the Ensign Floral Building

In considering an application for a Certificate of Appropriateness for alteration of a landmark site or contributing structure, the Historic Landmark Commission shall find that the project substantially complies with all of the general standards that pertain to the application and that the decision is in the best interest of the City.

Standard	Finding	Rationale
Standard 1: A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment;	Complies	The Ensign Floral building would change use from commercial to residential. However, the residential use would require some changes to the building. Staff considers the proposed changes to be minimal. These changes are listed below.
Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;	Complies	Proposed changes include taking out three windows on the south wall, enlarging the windows on the north wall and installing a new wall with windows and doors on the east wall. The historic character of the building is on the front façade. The side walls were built out of cinder blocks and the rear was removed to accommodate an addition. The side and rear façades lack historic character and therefore would not take away the historic character of the property. In addition, the applicant is proposing to replace the steel door on the front facade for a steel French door with one glass lite. The new door would match the existing opening.
Standard 3: All sites, structure and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed.	Complies	The proposed alterations do not seek to create a false sense of history or architecture.
Standard 4: Alterations or additions that have acquired historic significance in their own right shall be retained and preserved.	Complies	Many gradual additions on the back of this building were done over the years beginning in the 1960s to the 1990s. None of the additions acquired significance in their own right. They were basic extensions that lack architectural character.

<p>Standard 5: Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.</p>	<p>Complies</p>	<p>The steel canopy in the front façade which was removed in recent years would be replaced with a new canopy that would match the original material as well as design.</p> <p>The steel door, part of the loading dock on the front façade would be replaced by a French steel door with glass panel. The door characterizes the historic use, a warehouse, but does not exemplify an example of craftsmanship.</p> <p>The windows proposed to be taken out and to be enlarged are not distinctive features of historic craftsmanship.</p>
<p>Standard 6: Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.</p>	<p>Complies</p>	<p>The proposal calls for taking out the addition done in the 1960s on the east side of the building and fill it with a new wall of modular clay brick. Additional three windows and doors would be placed on the wall. The proposed windows would be slider steel framed glass that will match the appearance and size of the existing windows on the front façade and the proposed doors would be steel doors. The project also proposes new canopies that would match the original canopy on the front façade of the building.</p>
<p>Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.</p>	<p>Complies</p>	<p>This request does not include chemical or physical treatments that can cause damage to historic materials.</p>
<p>Standard 8: Contemporary designs for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.</p>	<p>Complies</p>	<p>The sign on the front of the building is proposed to be changed. The proposed sign won't be illuminated and would have individual lettering. The style of writing would be either cursive or square letters, since both examples are found on the existing front façade.</p>
<p>Standard 9: Additions or alterations to structures and objects shall be done in such a manner that if such additions or alteration were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiate from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment.</p>	<p>Complies</p>	<p>This request does not include any additions. The proposed alterations would not be changing any distinctive features.</p>
<p>Standard 10: Certain building materials are prohibited including the following: vinyl, asbestos, or aluminum cladding when applied directly to an original or historic material.</p>	<p>Complies</p>	<p>None of the prohibited materials are being proposed on this project.</p>

<p>Standard 11: Any new sign and any change in the appearance of any existing sign located on a landmark site or within the H historic preservation overlay district, which is visible from any public way or open space shall be consistent with the historic character of the landmark site or H historic preservation overlay district and shall comply with the standards outlined in part IV, Chapter 21A.46 of this title.</p>	<p>Complies</p>	<p>The proposed sign is consistent with the historic character of the building and it would comply with the City's Zoning Ordinance combined with the Design Guidelines for Signs in Historic Districts. More specifically guideline 30, where it says: Well designed flush-mounted wall signs are encouraged.</p>
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Standards for Certificate of Appropriateness Involving New Construction or Alteration of a Noncontributing Structure (21A.34.020H)

Demolition of Noncontributing Buildings and New Construction of the Liberty Square Building

In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the historic landmark commission, or planning director, when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually compatible with surrounding structures and streetscape and is in the best interest of the city:

Standard	Finding	Rationale
<p>Standard 1: Scale and Form:</p> <ul style="list-style-type: none"> a) Height And Width: The proposed height and width shall be visually compatible with surrounding structures and streetscape; b) Proportion of Principal Facades: The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape; and, c) Roof Shape: The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and d) Scale of a Structure: The size and mass of the structure shall be visually compatible with the size and mass of surrounding structures and streetscape. 	<p>Complies</p>	<p>The form and scale of the architecture is consistent with surrounding structures including multi story structures to the east and larger scale structures to the west and south. The relationship of the width to the height of principal elevations is in scale with surrounding structures and the streetscape. The proposed heights and widths would be visually compatible. The flat roof shape would be visually compatible with the surrounding structures and streetscape.</p>
<p>Standard 2: Composition of Principal Facades:</p> <ul style="list-style-type: none"> a) Proportion of Openings: The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape; b) Rhythm of Solids To Voids In Facades: The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape; c) Rhythm of Entrance Porch And Other Projections: The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and d) Relationship of Materials: The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape. 	<p>Complies</p>	<p>The proposed design composition has elements that would make the building visually compatible with the surrounding buildings.</p> <p>The stucco cornice would create a horizontal element that complements the building on the corner of 700 East and 500 South. The canopy on the entrance of the building would match the design of the Ensign Floral building. The windows on the on the third floor of the building would complement the arches on Trolley Square and the brick and cement fiber would reflect the palette of building materials which characterize the Central City Historic District.</p>

<p>Standard 3: Relationship to Street:</p> <p>a) Walls of Continuity: Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;</p> <p>b) Rhythm of Spacing And Structures On Streets: The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;</p> <p>c) Directional Expression of Principal Elevation: A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and</p> <p>d) Streetscape; Pedestrian Improvements: Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.</p>	<p>Complies</p>	<p>The proposed structure would be sited on the property in a manner similar to other buildings in the area. The building would be built very close to the front property line similar to the other building on the block face. The orientation of the building would be toward the street and would respect the historic development pattern of the District.</p> <p>Both the gas station on the corner of 500 South and 600 East and the parking lot on 457 South 600 East provide openings that create greater visibility of the building. The proposed design takes that in consideration and provides an interesting façade on 600 East side as well.</p> <p>On Green Street a sidewalk would be provided with some landscaping. The parking structure would be located on the north of the site where Green Street stops being a public street. The parking structure would be compatible with the parking structure across the street.</p> <p>This project would be pedestrian friendly with active uses on the ground level and with additional landscape on the parking strip along 500 South.</p> <p>The proposed demolitions will not cause a disruption on the streetscape since they are for the most part industrial looking and lack architectural character.</p>
<p>Standard 4: Subdivision of Lots:</p> <p>The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).</p>	<p>Complies</p>	<p>This standard is applicable and the applicant will need to consolidate the lots through a subdivision process.</p>

ATTACHMENT G: APPLICABLE DESIGN GUIDELINES

The following are applicable historic design guidelines related to this request. On the left are the applicable design guidelines and on the right, a list of the corresponding Zoning Ordinance standards for which the design guidelines are applicable.

A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City

Applicable Design Guidelines	Corresponding Standards for a Certificate of Appropriateness for Altering of a Landmark Site or Contributing Structure (21A.34.020.G)
<p>Windows</p> <p>3.2 The position, number, and arrangement of historic windows in a building wall should be preserved.</p> <ul style="list-style-type: none"> • Enclosing a historic window opening in a key character-defining facade would be inappropriate, as would adding a new window opening. • This is especially important on primary facades, where the historic ratio of solid-to-void is a character-defining feature. Greater flexibility in installing new windows may be appropriate on rear walls or areas not visible from the public way. <p>3.5 The size and proportion of a historic window opening should be retained.</p> <ul style="list-style-type: none"> • An original opening should not be reduced to accommodate a smaller window, nor increased to receive a larger window, since either is likely to disrupt the design composition. <p>3.6 A replacement window should match the original in its design.</p> <ul style="list-style-type: none"> • Match the replacement also in the number and position of glass panes. • Matching the original design is particularly important on key character-defining facades. • 	<p>Standard 2</p>
<p>Doors</p> <p>4.1 Preserving the functional, proportional and decorative features of a primary entrance is important.</p> <ul style="list-style-type: none"> • Maintain the position and function of an original front doors and primary entrance. 	<p>Standard 2</p>
<p>Additions and Alterations</p> <p>8.6 A new addition or alteration should not hinder one's ability to interpret the historic character of the building or structure.</p>	<p>Standards 2, 3, 4, 5 & 6</p>

Design Guidelines for Historic Apartment & Multifamily Buildings in Salt Lake City

Applicable Design Guidelines	Corresponding Standards for a Certificate of Appropriateness Involving New Construction or Alteration of a Noncontributing Structure (21A.34.020H)
<p>Block, Street & Site Patterns 12.1 The historic plan of streets and alleys, essential to the historic character of a district and setting, should be preserved and promoted. Consider the following:</p> <ul style="list-style-type: none"> Retain the historic pattern of smaller streets and alleys as a particular characteristic of the street block. <p>12.5 A new apartment or multifamily building should be situated and designed to reinforce and enhance the established character, or master plan vision, of the context, recognizing its situation and role in the street block and building patterns.</p> <ul style="list-style-type: none"> A corner site traditionally might support a larger site and building. 	<p>Standard 3: Relationship to the Street</p>
<p>Public Realm 12.9 A building on a corner lot should be designed to define, frame and contribute to the historic character of the public realm of both adjacent streets.</p>	<p>Standard 3: Relationship to the Street</p>
<p>Building Placement, Orientation & Use 12.10 The established historic patterns of setbacks and building depth should be respected in the siting of a new multifamily building.</p> <p>12.11 The front and the entrance of the building should orient to and engage with the street.</p> <p>12.17 The primary public entrance to the building should be afforded priority and prominence in access from the street, and appropriately scaled in the design of the street façade/s.</p> <ul style="list-style-type: none"> Avoid combining with any vehicular access or drive. Provide direct access to the sidewalk and street. <p>12.22 A vehicular access and driveway should be discreetly placed to the side or to the rear of the building.</p> <p>12.25 Wherever possible, vehicular parking should be situated below the building, or alternatively behind the building in a manner that does not conflict with pedestrian access from the street.</p>	<p>Standard 3: Relationship to the Street</p>
<p>Building Form & Scale 12.42 A new multifamily building should appear similar in scale to the scale established by the buildings comprising the current street block facade.</p> <ul style="list-style-type: none"> The scale of principal elements, such as entrances, porches, balconies and window bays, are critical to creating and maintaining a compatible building scale. <p>12.43 A new multifamily building should be designed to create and reinforce a sense of human scale.</p>	<p>Standard 1: Scale and Form Standard 3: Relationship to the Street</p>

<p>Building Façade Composition, Proportion & Scale 12.45 The principal elements of the front facade should reflect the scale of the buildings comprising the block face and historic context.</p> <p>12.46 The secondary elements, patterns and modeling of the facade composition should reinforce the massing and scale established by the primary elements of the facade/s.</p> <ul style="list-style-type: none"> • Design a fenestration pattern and a window scale that reflect those of the context and historic district. • Arrange and design balconies to articulate the architecture of both the primary and secondary facades. • In a taller structure, design the ground floor/s to differentiate in stature, plane, detailing and/ or materials from the façade above. • Express the 'base' for the front facade/s of the building through primary architectural elements and patterns, e.g. entrance/porch/ portico, fenestration. • Reinforce this definition through detailing and materials. • Design a distinct 'foundation' course for the primary and secondary facades, employing a combination of wall plane, materials, texture and/or color. • In a taller structure, consider defining a top floor by a distinct variation in design treatment as part of an architectural hierarchy in the design of the facade. 	<p>Standard 1: Scale and Form</p>
<p>Height 12.49 Characteristic of traditional buildings types and context, the first two floors should be designed with greater stature.</p> <p>12.52 The primary and secondary facades should be articulated and modulated to reduce an impression of greater height and scale, and to enhance a sense of human scale.</p> <ul style="list-style-type: none"> • Use materials and color creatively to reduce apparent height and scale, and maximize visual interest. 	<p>Standard 1: Scale and Form</p>
<p>Massing 12.54 The overall massing of a new multi- family building should respect and reflect the established scale, form and footprint of buildings comprising the street block and historic context.</p>	<p>Standard 1: Scale and Form</p>

<p>Façade Articulation, Proportion & Visual Emphasis</p> <p>12.56 Roof forms should reflect those seen traditionally in the block and within the historic district.</p> <ul style="list-style-type: none"> Flat roof forms, with or without parapet, are an architectural characteristic of particular building types and styles, including many historic apartment buildings. <p>12.57 Overall facade proportions should be designed to reflect those of historic buildings in the context and neighborhood.</p> <ul style="list-style-type: none"> The modulation and articulation of principal elements of a facade, e.g. projecting wings, balcony sequence and porches, can provide an alternative and a balancing visual emphasis. <p>12.59 A horizontal proportion and emphasis should be designed to reduce the perceived height and scale of a larger primary or secondary façade.</p> <ul style="list-style-type: none"> The interplay of horizontal and vertical emphasis can create an effective visual balance, helping to reduce the sense of building scale. Employ architectural detailing and/or a change in materials and plane to emphasize individual levels in the composition of the facade. Design the fenestration to create and/or reflect the hierarchy of the façade composition. Change the materials and/or color to distinguish the design of specific levels. 	<p>Standard 1: Scale and Form</p>
<p>Solid to Void</p> <p>12.61 Window scale and proportion should be designed to reflect those characteristic of this traditional building type and setting.</p>	<p>Standard 1: Scale and Form Standard 2: Composition of Principal Facades</p>
<p>Rhythm & Spacing</p> <p>12.62 Public and more important interior spaces should be planned and designed to face the street.</p> <ul style="list-style-type: none"> Arrange and/or group windows to complement the symmetry or proportions of the architectural composition. Emphasize the fenestration pattern by distinct windows reveals. 	<p>Standard 2: Composition of Principal Facades</p>
<p>Balconies, Porches & External</p> <p>12.64 Balconies, encouraged as individual semi-public outdoor spaces, should be designed as an integral part of the architectural composition and language of the building.</p> <ul style="list-style-type: none"> Use projecting and/or recessed balcony forms to complement and embellish the design composition of the facades, and to establish visual emphasis and architectural accent. Use a balcony or a balcony arrangement to echo and accentuate the fenestration pattern of the building. Design balcony forms to be transparent or semi-transparent, using railings and/or glass to avoid solid balcony enclosures. <p>12.65 An entrance porch, stoop or portico should be designed as a principal design focus of the composition of the facade.</p> <ul style="list-style-type: none"> Consider designing the name of the apartment building into the facade or the porch/stoop. 	<p>Standard 2: Composition of Principal Facades</p>

<p>Materials</p> <p>12.67 Building materials that contribute to the traditional sense of human scale and the visual interest of the historic setting and neighborhood should be used.</p> <ul style="list-style-type: none"> • This helps to complement and reinforce the palette of materials of the neighborhood and the sense of visual continuity in the district. <p>12.69 Design with materials which provide a solid masonry character for lower floors and for the most public facades of the building. Consider the following:</p> <ul style="list-style-type: none"> • Use brick and/or natural stone, in preference to less proven alternatives for these areas. • Limit panel materials to upper levels and less public façades. • Where panel materials are considered, use high quality architectural paneling with a proven record of durability in the regional climate. <p>12.70 Materials should have a proven durability for the regional climate, as well as the situation and aspect of the building.</p>	<p>Standard 2: Composition of Principal Facades</p>
<p>Windows</p> <p>12.71 Windows should be designed to be in scale with those characteristic of the building and the historic setting.</p> <p>12.72 Windows with vertical proportion and emphasis are encouraged.</p> <p>12.73 Window reveals should be a characteristic of masonry and most public facades.</p>	<p>Standard 2: Composition of Principal Facades</p>
<p>Signs</p> <p>12.78 Signs should be placed on the building or the site where they are traditionally located in the historic context.</p> <p>12.82 Signs should take the form of individual lettering or graphic motif with no, or minimal, illumination.</p>	

ATTACHMENT H: DEVELOPMENT REVIEW TEAM COMMENTS



Work Flow History Report

461 S 600 E

DRT2014-00312

Project: Liberty Square

Project Description: 3:00PM to 4:00PM, New apartment development

The Development Review Team (DRT) is designed to provide PRELIMINARY review to assist in the design of the complete site plan. A complete review of the site plan will take place upon submittal of the completed site plan to the Permits Counter.

Date		Task/Inspection	Status/Result	Action By	Comments
10/15/2014	0	Application Acceptance	Accepted	Robinson, DeeDee	
10/15/2014	0	Engineering Review	Comments	Ott, George	Certified address required prior to building permit issuance. See Alice Montoya at 801-535-7248. Place a note on the plans that Green street traffic must be allowed through during construction. Any staging of materials or equipment in the Public Way will require a permit to occupy the public way. Utility connections and access driveway will be reviewed through the building permit application process. A Public Way Permit will be required for any excavations done in the Public Way. A licensed contractor with proper bond and insurance submitted to the engineering division will apply for and receive the permit to work in the public way.
10/15/2014	0	Fire Review	Comments	Itchon, Edward	Fire hydrants shall be within 400 feet of all exterior walls of the first floor, and within 100 foot of the fire department connection (FDC). FDC shall be installed on the address side of the building. If the building is 30 foot or greater in height then any utility lines between the building and the fire department access road shall be removed. Fire department access road shall be design HS20, with turning radius outside of 45 ft. and 20 ft. inside. No dead end access road of 150 ft. and greater without a turn-around. R occupancy height of the bottom of a opening for rescue is over 35 feet then additional fire protection is needed. Fire department access roads shall be a minimum width of 26 ft. clear. If this can not be provided then the fire department access can not be provided to meet International Fire Code section 503.1.1.
10/15/2014	0	Public Utilities Review	Comments	Stoker, Justin	The water mains in front of the project are 6" in 500 South and 4" in 600 East, to be able to meet fire flow demands, a 12" water main will need to be extended across the entire frontage of 500 South and connect into cross or tee. The tee should be replaced to accomodate a 12" main entering it. Review of the sewer effluent will need to be made to verify capacity. With the property over an acre, a storm water technical drainage study will be required. A storm water pollution

					prevention plan will also be required. Drainage standards can be found in Section 2.2.2 of the SLC Design Process Manual.
10/15/2014	0	Transportation Review	Comments	Walsh, Barry	Review for proposed apartment development in the TSA-UN-C zone. subdivision to combine 3 lots. Provide parking calculations per section 21A.44. For parking provided include ADA, Bicycle stalls, Electric charging stations. etc. preliminary grid and column review in compliance with parking layout standard F1.c2. to address buffers etc. to transportation. include ramp grades and transitions of 6% change in grade in 11 foot run where exposed to snow & ice. maximum transition where covered is 10% IBC. show ADA van access height of 8'-2". Propose up grade of green street with C&G and pedestrian walk on one side minimum to comply with ADA. And Fire.
10/15/2014	0	Zoning Review	Comments	Brown, Ken	TSA-UN-C Zone / Historic District - New 135 unit apartment development proposal. Will need to make application for combining of the lots with the Planning Desk in the building permits office. Project will require Historic Overlay Review (see 21A.34.020). Will need to schedule a presubmittal conference with the Planning Desk in the Building Permits Office and receive a development score for the project to determine the level of review. Separate demolition permits will be required for the removal of all existing buildings and site improvements (contact Alan Hardman in the Building Permits Office). As part of the demolition application, the construction waste management provisions of 21A.36.250 apply. A construction waste management plan is to be submitted to constructionrecycling@slcgov.com and the approval documentation included in the demolition permit package. Questions regarding the waste management plans may be directed to 801-535-6984. Certified address is to be obtained from the Engineering Dept. for use in the plan review and permit issuance process. Construction waste management plan approval will also apply to the new development, with plan approval submitted with the building permit application. A copy of the construction waste audit is to be submitted to constructionrecycling@slcgov.com prior to Certificate of Occupancy. Recycling collection station provisions of 21A.36.250 apply to this proposal. Landscaping plans are to be developed for this project in conformance with 21A.48 in regards to water meters, water efficient landscaping, hydro zones, park strip landscaping, landscape yards, screening of refuse disposal dumpsters, etc. Proposal is to comply with the development standards of 21A.26.078.G, the design standards of 21A.26.078.J and the parking, bicycle, loading

					requirements, drive way numbers and location, etc. per 21A.44.
10/16/2014	1	Closure	Emailed Notes to Applicant	Robinson, DeeDee	

ATTACHMENT I: TRANSIT STATION AREA (TSA) DEVELOPMENT GUIDELINE CHECKLIST

Transit Station Area (TSA) Development Guideline Checklist

Refer to the [Transit Station Area Development Guidelines](#) for more information on each Guideline

Category	Guideline	Description	Value	Applicant Review	Staff Review
Land Use	Intensity/Density: (Applicable to Core Area Only. A project can only get points from one of the lines in this guideline).	More than 50 dwelling units per acre; Buildings that are up to 80% of the allowable building height; or Buildings with a Floor to Lot Area ratio of 3 or more.	20		
		More than 30 dwelling units per acre; Buildings that are up to 70% of the allowable building height; or Buildings with a floor to lot area ratio of 2 or more.	15		
		More than 20 dwelling units per acre; Buildings that are at least 60% of the allowable building height; or Buildings with a floor to lot area ratio of 1 or more.	10		
	Intensity/Density: (Applicable to Transition Area only. A project can only get points from one of the lines in this guideline).	More than 25 dwelling units per acre; Buildings that are up to 80% of the allowable building height; or Buildings with a Floor to Lot Area ratio of 2 or more.	12		
		More than 20 dwelling units per acre; Buildings that are up to 70% of the allowable building height; or Buildings with a floor to lot area ratio of 1.5 or more.	8		
		More than 15 dwelling units per acre; Buildings that are at least 60% of the allowable building height; or Buildings with a floor to lot area ratio of 1 or more.	5		
	Mix of Uses: If the ground floor of a building is designed for retail, restaurant, or other active use than what the floors above are used for, the following points shall be added to the development score	100% of the gross floor area on the ground floor is dedicated to a use different than what is on the floors above.	10		
		At least 75% of the gross floor area on the ground floor is dedicated to a use different than what is on the floors above.	8		
		At least 50% of the gross floor area on the ground floor is dedicated to a use different than what is on the floors above.	6		
		A project that includes at least two uses that are different than existing uses on adjacent properties.	6		

Category	Guideline	Description	Value	Applicant Review	Staff Review
	Mixed Income Housing: A project that includes affordable housing (available to those with 80% or less of the median household income of the City) for sale or	33% or more of the total dwelling units.	30		
		20% or more of the total dwelling units.	15		
		10% or more of the total dwelling units.	10		
		33% or more of the total dwelling units.	8		
		15% or more of the total dwelling units	5		
		10% or more of the total dwelling units.	3		
	Community Serving Uses: Refer to the Transit Station Area Development Guidelines for qualifying uses.	A minimum of 1500 square feet.	15		
		A minimum of 1000 square feet	10		
		A minimum of 500 Square feet	5		
	Redevelopment of Surface Parking Lots.	50% or more of the existing surface parking lot is covered by new buildings.	15		
		35% or more of the existing surface parking lot is covered by new buildings.	10		
		25% or more of the existing surface parking lot is covered by new buildings.	5		
	Redevelopment of Nonconforming Use or Noncomplying Building	A new building that meets the standards of the TSA zoning district and replaces a building that does not meet the standards.	10		
		A project that includes replacing a nonconforming use with a use that is allowed in the TSA zoning district.	5		
	Removal of Billboards	An existing billboard is legally removed by the developer as part of a redevelopment project.	10		
Building and Site Design	Sustainable Site and Open Space Design	The project utilizes a renewable energy source, such as geothermal heating, solar panels, or other similar system that is incorporated into the open space and capable of producing at least 25% of the buildings energy needs.	15		
		The project utilizes a roof design, such as a landscaped roof, that is intended to reduce energy use, storm drainage runoff or other similar sustainable policy of the City.	10		

Category	Guideline	Description	Value	Applicant Review	Staff Review
		The project utilizes landscape designs and materials that conserves energy, reduces the urban heat island, conserves water, retains or reuses storm drainage or other similar sustainable policy of the City. Documentation must be provided to indicate how the project will incorporate this guideline.	5		
	Green Building: based on the ICC National Green Building Standard	Emerald	50		
		Gold	40		
		Silver	20		
	Energy Efficiency	The project is capable of producing 100% of its power through renewable sources as documented by a licensed engineer.	50		
		The project is capable of producing 50% of its power through renewable sources as documented by a qualified, licensed engineer.	25		
		The project is capable of producing 25% of its power through renewable sources as documented by a qualified, licensed engineer.	10		
		The project is capable of producing 10% of its power through renewable sources as documented by a qualified, licensed engineer	5		
		The project is designed with passive, energy efficient features that are capable of reducing the energy needs of the building by at least 25%.	5		
	360 Degree Architecture	Architectural detailing is wrapped around all four sides.	20		
		Architectural detailing is wrapped around both side facades of a building, but not on the rear façade.	15		
	Historic Preservation	Local Register: New construction, major alterations and additions that are approved by the Historic Landmark Commission that include reuse of the site.	40		
		National Register: State Historic Preservation Office review and approval of projects with exterior alterations not locally designated and seeking federal tax credits.	20		

Category	Guideline	Description	Value	Applicant Review	Staff Review
		Projects that are adjacent to a local or national designated property that are compatible with the historic property through building mass and bulk, setbacks and design features as determined by the Planning Director	20		
		Local Register: Projects that receive administrative approval in accordance with Zoning Ordinance Section 21A.34.020.	5		
		Projects that add historically significant sites to the Salt Lake City Register of Cultural Resources if they qualify as defined in Zoning Ordinance Section 21A.34.	50		
	Building Materials	The entire street facing façade, excluding glazing, doors, and trim, is clad in durable, high quality materials as listed in the Transit Station Area Development Guidelines.	15		
		Other than glazing, doors and trim materials, projects that have a minimum of 50% of the street facing façade clad in durable, high quality building materials as listed in the Transit Station Area Development Guidelines.	10		
	Corner Buildings	When located on the corner of two intersecting streets, the primary entrance of the building addresses the corner by including a hinged, rounded, beveled, open bay, mitered orientation or similar entrance feature.	10		
		A corner building is designed with a visual emphasis placed on the corner to make the building more prominent. This may include additional height, a change in material, or change in architectural detail.	10		
	Rooftop Design and Use	A rooftop of a building is used as a common space for the building occupants.	6		

Category	Guideline	Description	Value	Applicant Review	Staff Review
		A roof includes at least one of the following design features: 5 points Two or more sloping planes if the roof is pitched; An arched or barrel vaulted design; A distinguishable cornice or parapet; Overhangs significant enough to create a shadow line; Variations in height of parapets of at least 2 feet.	5		
	Eyes on the Street and Public Spaces	Operable openings, balconies, verandas or other similar features on all levels of the building that face a public space and allow visibility into the public space.	5		
	Lighting	A project that includes a lighting plan that accomplishes at least one of the following: Casts light from store fronts onto the sidewalk; Highlights unique architectural features of a building; Highlights artwork or unique landscape features.	6		
	Signs	A sign that is mounted perpendicular to the primary building façade and oriented to the pedestrian (projecting business storefront sign).	2		
		An awning or canopy sign that is integrated into the design of the building.	2		
		A monument sign that is integrated into the site and compatible with the building architecture.	2		
Public Spaces	Public Spaces and Plazas	A project includes a minimum of 15% of the total lot area.	15		
		A project includes a minimum of 10% of the total lot area.	10		
		A project includes a minimum of 5% of the total lot area.	5		
		A public space, regardless of size, that is located near a transit station and includes seating, art, protection from the elements or other feature intended to activate the space or make it comfortable (must be within 330 feet of transit station).	3		
	Streetscape Amenities	At least 4 street furnishings	3		
	At least 3 street furnishings	2			
	At least 2 street furnishings	1			

Category	Guideline	Description	Value	Applicant Review	Staff Review	
	Public Artwork	At least 1% of the project budget is dedicated to public art.	8			
		At least 0.5% of the project budget is dedicated to public art.	4			
		A major piece of art work is incorporated into the project and is visible from a public space.	2			
Circulation	Connections and Walkways	Projects that include a minimum six foot wide ADA accessible walkway through a parking lot that is separated from vehicle drive aisles.	4			
		Projects that include a minimum six foot wide ADA accessible sidewalk from private property to public open spaces.	4			
	Bicycle Amenities	The project includes lockers, changing rooms for cyclists and showers.	6			
		The project includes any bicycle amenity identified in the Bicycle Amenity section of the Transit Station Area Development Guidelines.	3			
		The project incorporates art into the design of the bicycle amenity.	3			
	Access to Transit	The project is located within 750 feet, measured along the most direct, legal walking path.	8			
		The project is located within 1500 feet, measured along the most direct legal walking path.	4			
	Mid-block Walkways	The project includes a walkway accessible to the public that is a minimum of 20 feet wide that connects through the property to a public space, such as park, trail or similar area and allows for the walkway to be continued on adjacent properties.	6			
	Parking (see the <i>Transit Station Area Development Guidelines</i> for qualifying provisions related to this item)	Structured Parking	100% of the parking is in above grade structured or 75% in a below grade structure.	50		
			75% of the parking is in above grade structure or 50% in a below grade structure.	40		
50% of the parking is in above grade structure or 25% in a below grade structure.			20			
Shared Parking		At least 50% of the parking is shared with other uses, whether on or off site.	15			
		At least 40% of the parking is shared with other uses, whether on or off site.	12			
		At least 25% of the parking is shared with other uses, whether on or off site.	8			

Category	Guideline	Description	Value	Applicant Review	Staff Review
	Alternative Vehicle Parking	Parking for alternative fuel vehicles, scooters, mopeds, motorcycles, or other similar vehicle is provided at a rate equal to 7% of the total number of spaces provided for automobiles.	5		
		Parking for alternative fuel vehicles, scooters, mopeds, motorcycles, or other similar vehicle is provided at a rate equal to 5% of the total number of spaces provided for automobiles.	3		
		A project includes dedicated parking stalls/equipment for a car sharing program.	3		
		A project includes a charging station for electric vehicles.	3 points per stall, max. of 9 points		
Approval Process:				Applicant Total	Staff Total
	Planning Commission Review Required	0-49 points			
	Administrative Hearing Required	50-99 points			
	Building Permit Review	100 or more points			

ATTACHMENT J: PUBLIC PROCESS AND COMMENTS

Notice of the public hearing for the proposal include:

- Notice mailed on September 17, 2015.
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on September 17, 2015

Comments:

The applicant met with the Development Review Team on October 15, 2014. The comments from this meeting are attached.

ATTACHMENT K: ALTERNATE MOTION

Not Consistent with Staff Recommendation:

Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Commission deny a Certificate of Appropriateness for a major alteration at 461 South 600 East, demolition of the noncontributing structures and the new construction of a four story building, the Liberty Square Apartments. The Commission finds that the proposed project does not comply with the review standards as follows:

Standards for a Certificate of Appropriateness for Altering of a Landmark Site or Contributing Structure (21A.34.020.G):

- Standard 1: A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment;
- Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;
- Standard 3: All sites, structure and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed.
- Standard 4: Alterations or additions that have acquired historic significance in their own right shall be retained and preserved.
- Standard 5: Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- Standard 6: Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
- Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- Standard 8: Contemporary designs for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.
- Standard 9: Additions or alterations to structures and objects shall be done in such a manner that if such additions or alteration were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiate from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment.
- Standard 10: Certain building materials are prohibited including the following: vinyl, asbestos, or aluminum cladding when applied directly to an original or historic material.
- Standard 11: Any new sign and any change in the appearance of any existing sign located on a landmark site or within the H historic preservation overlay district, which is visible from any public way or open space shall be consistent with the historic character of the landmark site or H historic preservation overlay district and shall comply with the standards outlined in part IV, Chapter 21A.46 of this title.

Standards for a Certificate of Appropriateness Involving New Construction or Alteration of a Noncontributing Structure (21A.34.020H):

Standard 1: Scale and Form:

- a) **Height And Width:** The proposed height and width shall be visually compatible with surrounding structures and streetscape;
- b) **Proportion of Principal Facades:** The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape; and,
- c) **Roof Shape:** The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and
- d) **Scale of a Structure:** The size and mass of the structure shall be visually compatible with the size and mass of surrounding structures and streetscape.

Standard 2: Composition of Principal Facades:

- a) **Proportion of Openings:** The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;
- b) **Rhythm of Solids to Voids in Facades:** The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;
- c) **Rhythm of Entrance Porch and Other Projections:** The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and
- d) **Relationship of Materials:** The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

Standard 3: Relationship to Street:

- a) **Walls of Continuity:** Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;
- b) **Rhythm of Spacing And Structures On Streets:** The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;
- c) **Directional Expression of Principal Elevation:** A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and
- d) **Streetscape; Pedestrian Improvements:** Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.

Standard 4: Subdivision of Lots:

The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

The Historic Landmark Commission shall make findings on the H Historic Preservation Overlay zone standards and specifically state which standard or standards are not being complied with.