

HISTORIC LANDMARK COMMISSION
STAFF REPORT



Planning Division
Department of Community and
Economic Development

McIntyre House Addition
PLNHLC2014-00424
259 E 7Th Avenue
August 7, 2014

Applicant:

David Richardson, architect.

Staff:

Tracy Tran (801) 535-7645 or
tracy.tran@slcgov.com

Tax ID: 09-31-257-006

Current Zone: SR-1A, Special
Development Pattern

Landmark Site-City Register

Master Plan Designation:

Low Density

Council District:

3, Stan Penfold

Lot Size:

27,443 square feet

Current Use:

Single Family Residential

Applicable Land Use

Regulations:

- 21A.24.080
- 21A.34.020

Notification

- Notice mailed on 07/23/14
- Agenda posted on the
Planning Division and Utah
Public Meeting Notice
websites 07/25/14

Attachments

- A. Site Plan & Elevations
- B. Photos

Request

A request by David Richardson, architect, representing the property owner, to build a rear addition that will connect the principal structure to the existing carriage house and to reconfigure and replace an existing driveway to accommodate the proposed new addition.

The rear addition consists of four parts:

1. Removal of existing screened porch, and the construction of a two story mudroom at the rear of the existing principal structure.
2. Elevated enclosed walkway connecting the mudroom addition to the stairwell addition.
3. Two story stairwell addition connecting to the carriage house.
4. New driveway with slight reconfiguration.

Staff Recommendation

Based on the analysis and findings of this staff report, it is Planning Staff's opinion that the alterations proposed on the site, specifically the mudroom addition and the driveway reconfiguration generally meet the intent of the Standards 1 through 11 of the Zoning Ordinance.

It is Planning Staff's opinion that the remaining proposed alterations on the site, namely the proposed elevated walkway addition, and stairwell addition fail to meet the applicable Zoning Ordinance Standards 1, 2, 3, 5, 8, and 9 of the Zoning Ordinance.

If the Commission, in its consideration of the proposal, concurs with these conclusions, then Staff recommends that the mudroom addition and driveway reconfiguration be approved with the condition that the applicant apply for a special exceptions for the building height of the mudroom addition of what is permitted under the zoning ordinance and that the applicant work with the Transportation Division to ensure any changes to the driveway comply with city regulations.

If the Commission, in its consideration of the elevated walkway addition and stairwell addition, concurs with these conclusions, then Staff recommends that the elevated walkway addition and stairwell addition be denied.

Potential Motions

Consistent with Staff Recommendation: Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Historic Landmark Commission approve the Certificate of Appropriateness for the driveway reconfiguration and mudroom addition with the condition that the applicant apply for a special exceptions for building height for the proposed mudroom addition and the applicant work with the Transportation Division to ensure any changes to the driveway comply with city regulations, and deny the proposed Certificate of Appropriateness for the proposed elevated walkway, stairwell addition, and driveway reconfiguration.

-or-

Not Consistent with Staff Recommendation: Based on the analysis and findings of fact in the staff report, testimony and plans presented, I move that the Commission approve the entire proposal under the condition that the applicant apply for special exceptions for the rear and side yard setbacks, and building heights as they must demonstrate that the underlying zoning would not be compatible with the landmark site and the applicant work with the Transportation Division to ensure any changes to the driveway comply with city regulations. Commissioner then states findings based on the Standards (following) to support the motion.)

1. A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment;
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;
3. All sites, structures and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed;
4. Alterations or additions that have acquired historic significance in their own right shall be retained and preserved;
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved;
6. Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic,

physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects;

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;
8. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment;
9. Additions or alterations to structures and objects shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment;
10. Certain building materials are prohibited including the following:
 - a. Aluminum, asbestos, or vinyl cladding when applied directly to an original or historic material.
11. Any new sign and any change in the appearance of any existing sign located on a landmark site or within the H historic preservation overlay district, which is visible from any public way or open space shall be consistent with the historic character of the landmark site or H historic preservation overlay district and shall comply with the standards outlined in chapter 21A.46 of this title.

Vicinity Map



Background

The property is listed as a significant landmark site. The subject home is situated on the northeast corner of 7th Avenue and B Street and occupies the southwest quadrant of the block between B and C Street and 7th and 8th Avenue. The residence faces 7th Avenue. The remainder of the block is occupied by an LDS Hospital parking structure, which surrounds the subject property to the north and to the east.

The home is a two-story Classical Revival design with rough brick and stone with wood columns, pediments, roofing, and apses. The house was built around 1898, and is "architecturally significant" according to the 1978 historic survey of the Avenues.

The property also includes a carriage house that was likely built at the same time as the main house. The carriage house is located in the northeast corner of the property, at the rear, and is made of wood and consists of a gambrel roof and southern gable. The carriage house contains a second story and an attic space. The driveway of the subject property is accessed on the west of the property, from B Street via an existing concrete driveway.

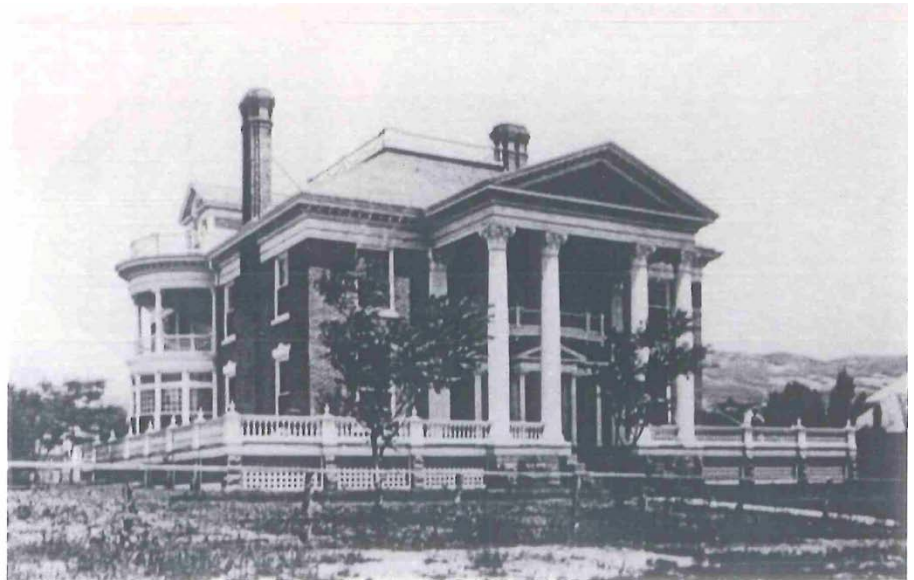
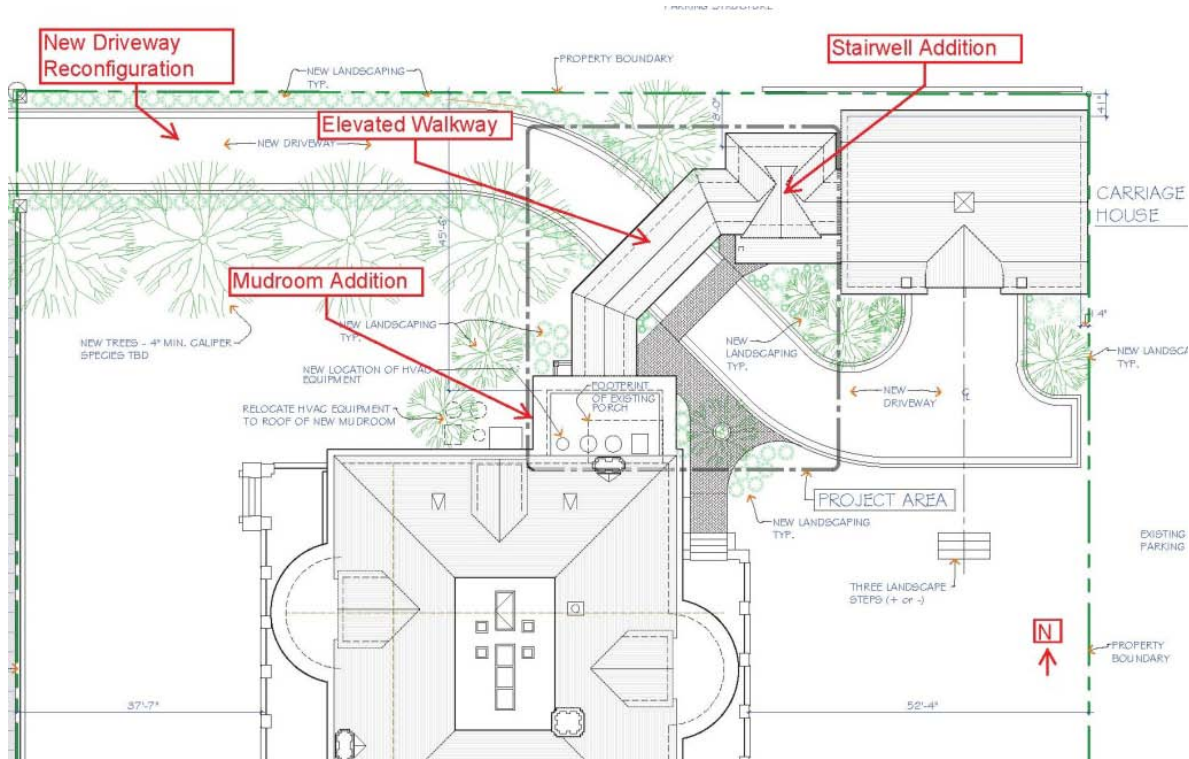


PHOTO c. 1890

Project Description

The proposed addition consists of four parts:

1. Two story mudroom replacement/addition
2. Elevated walkway corridor
3. Two story stairwell
4. Reconfigured driveway



Mudroom addition

The applicant is requesting to remove an existing screened porch, located at the rear of the property, and build a two-story enclosed addition at the rear of the existing principal structure. The two story addition would connect the principal structure to the accessory structure (carriage house/garage) via an enclosed elevated walkway. The ground floor of the mudroom addition will provide additional kitchen storage space and contain a rear door to allow for exterior access. The rear mudroom addition on the second floor will have stairs that connect to the principal structure. Before connecting to the walkway, a door to the east will lead into a balcony space.



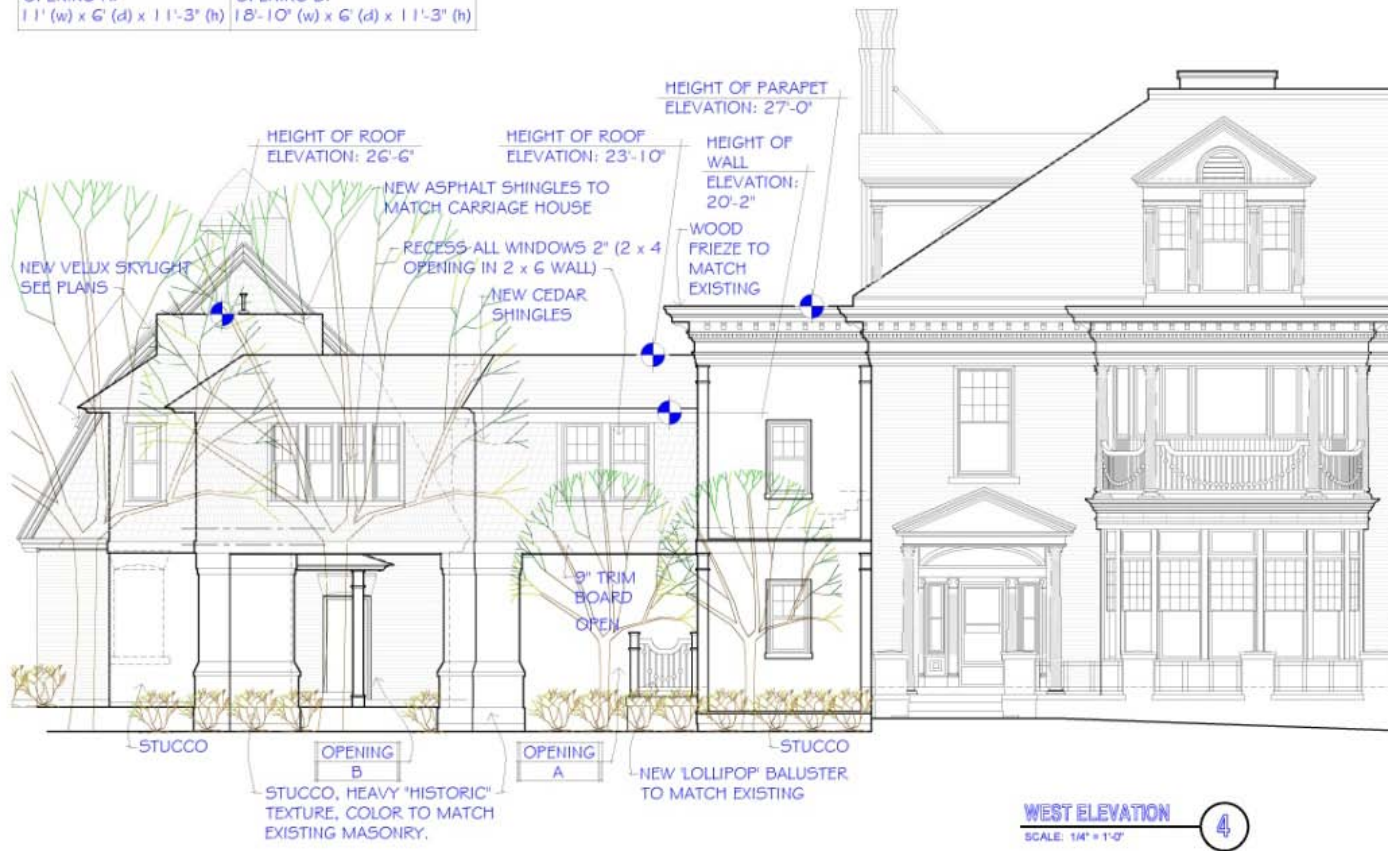
The HVAC machinery currently located outside on the ground to the west of the existing mudroom will be moved to the roof of the two story rear mudroom addition.

The addition will replace one existing historic window on the upper floor of the main house and an historic window on the lower floor. This area will be enclosed for the new mudroom addition.

Elevated Walkway

The elevated walkway is enclosed on the second level allowing members of the residence to traverse from the principal residence through to the carriage house. A two story stairwell is proposed between the walkway and the carriage house. The elevated walkway would allow vehicles to run through an opening between its pillar supports to access parking area in the carriage house.

OPENING DIMENSIONS	
OPENING A: 11' (w) x 6' (d) x 11'-3" (h)	OPENING B: 18'-10" (w) x 6' (d) x 11'-3" (h)

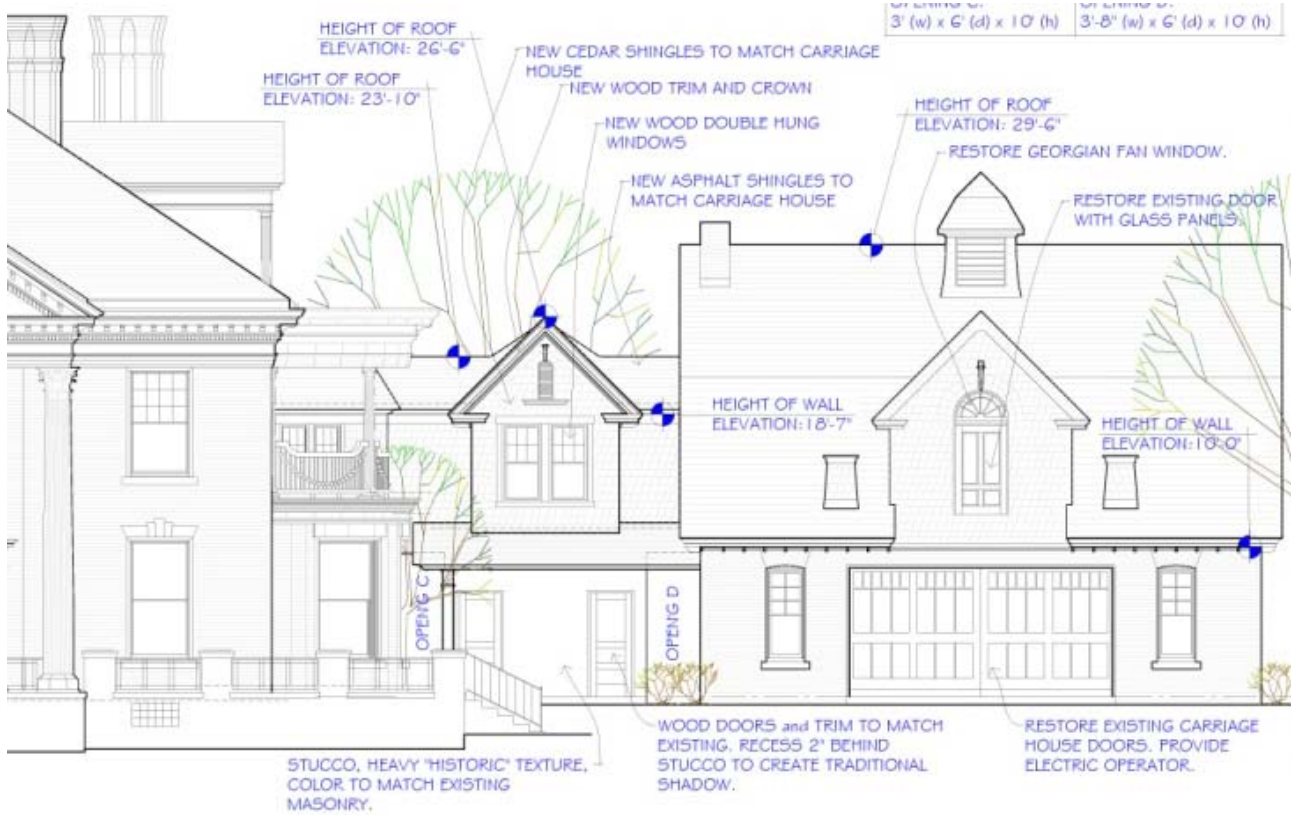


Stairwell

The elevated walkway will connect to a two story stairwell addition. This stairwell will sit west of the carriage house and will connect to the second story of the carriage house via a 3'8" hallway. The bottom floor of the stairwell will contain a door to allow for exterior access as well as a storage space that can be accessed from the exterior. The area underneath the second floor hallway that connects to the carriage house will be left open.

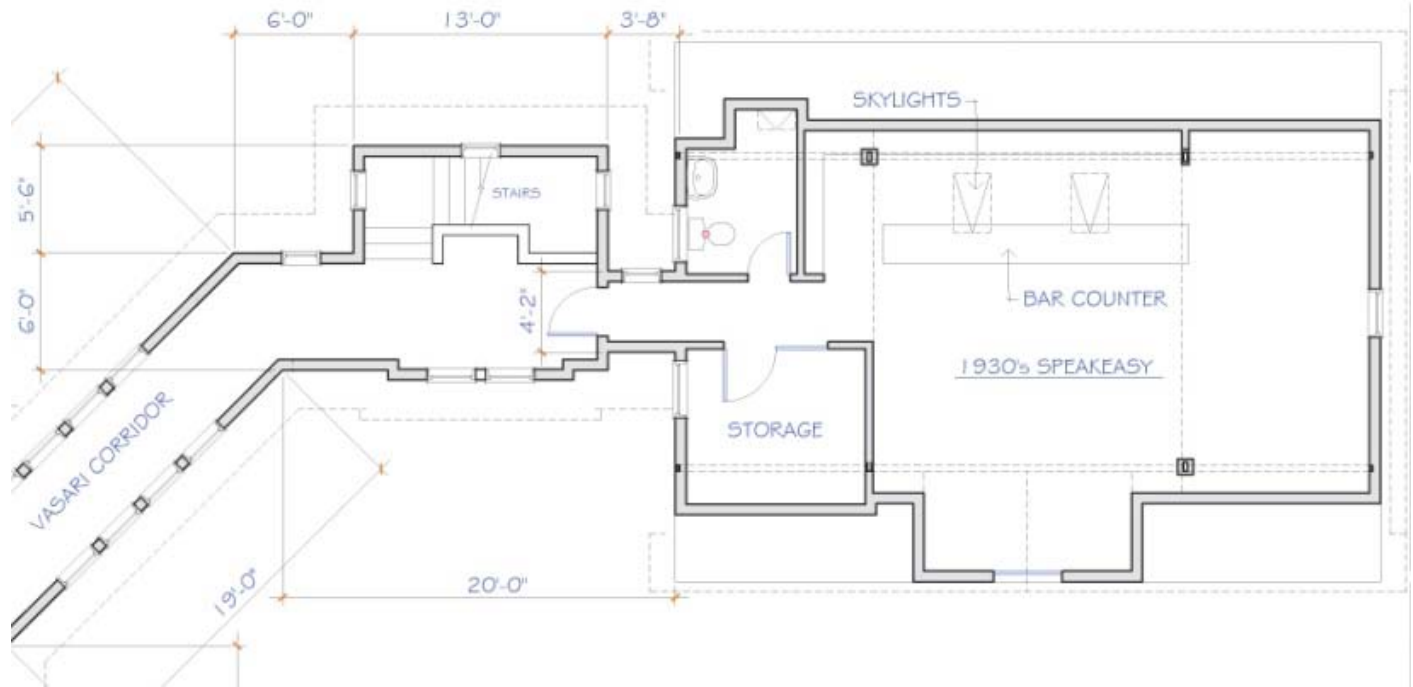
No historic windows from the accessory structure will be removed. The upper floor connection to the carriage house will be made in the space between the windows.

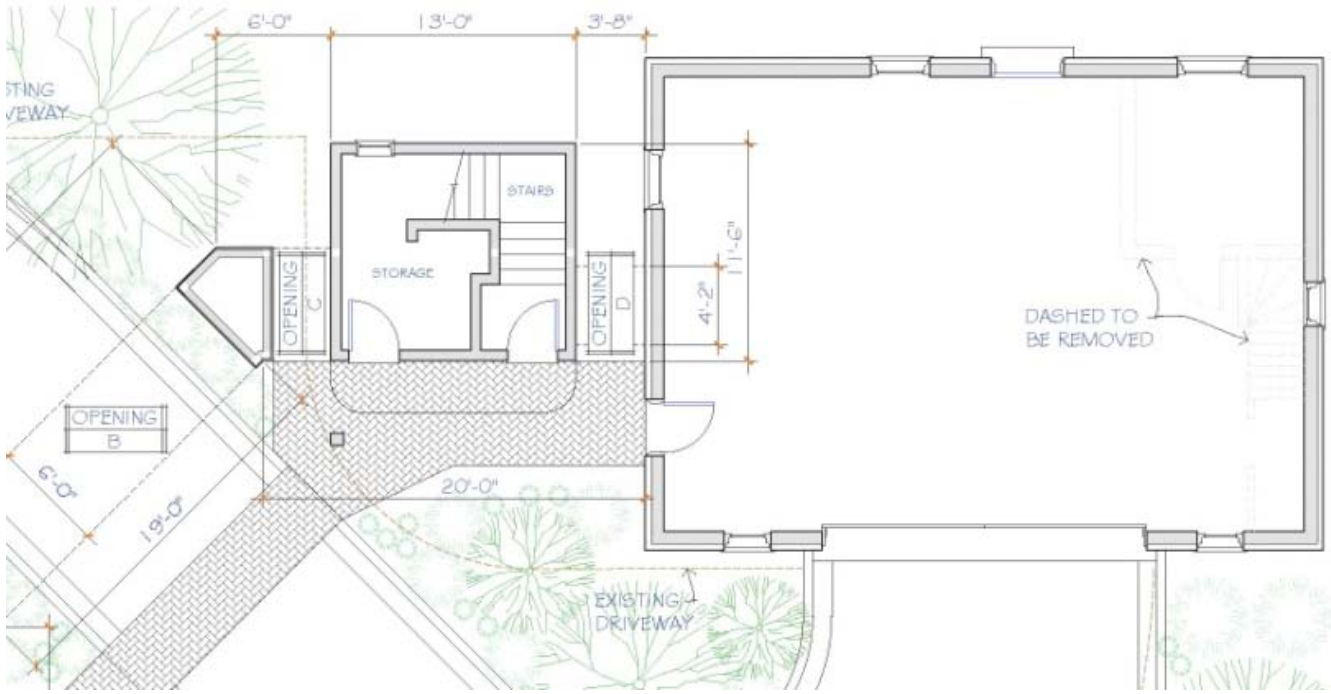




SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

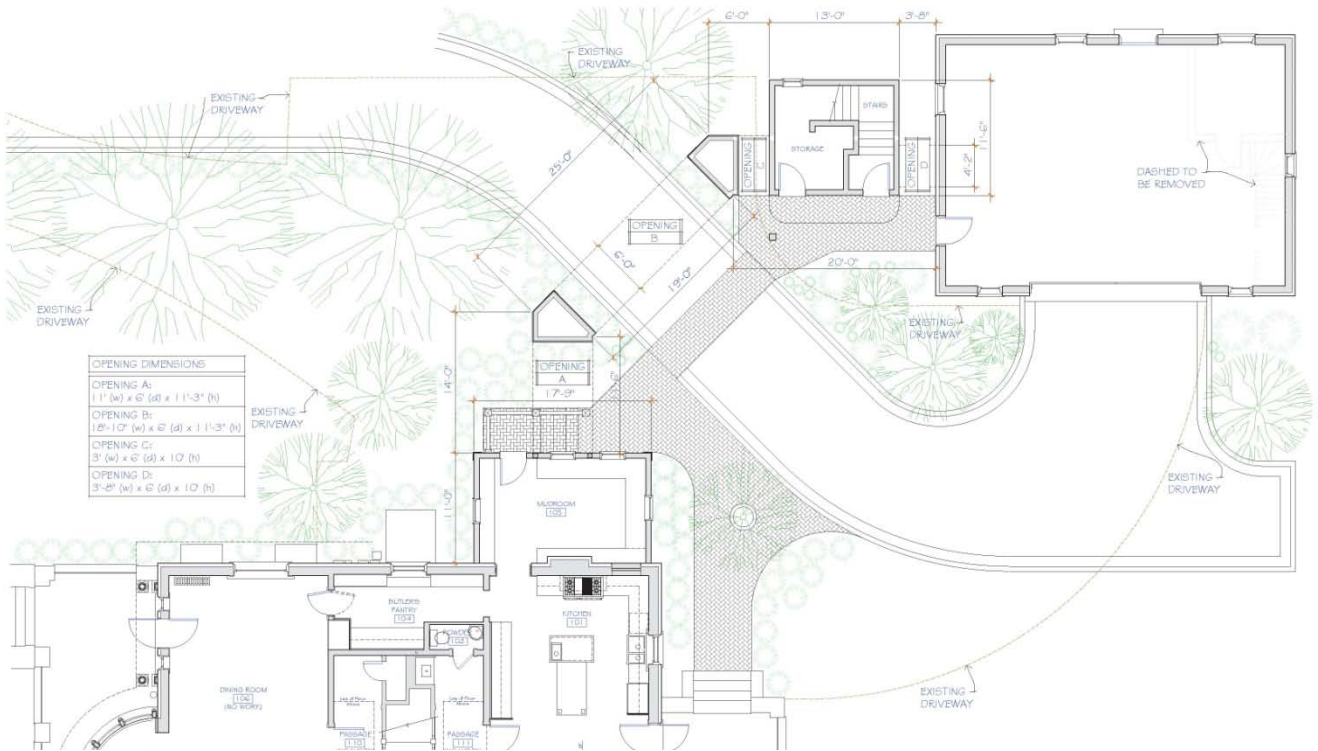
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Driveway Reconfiguration

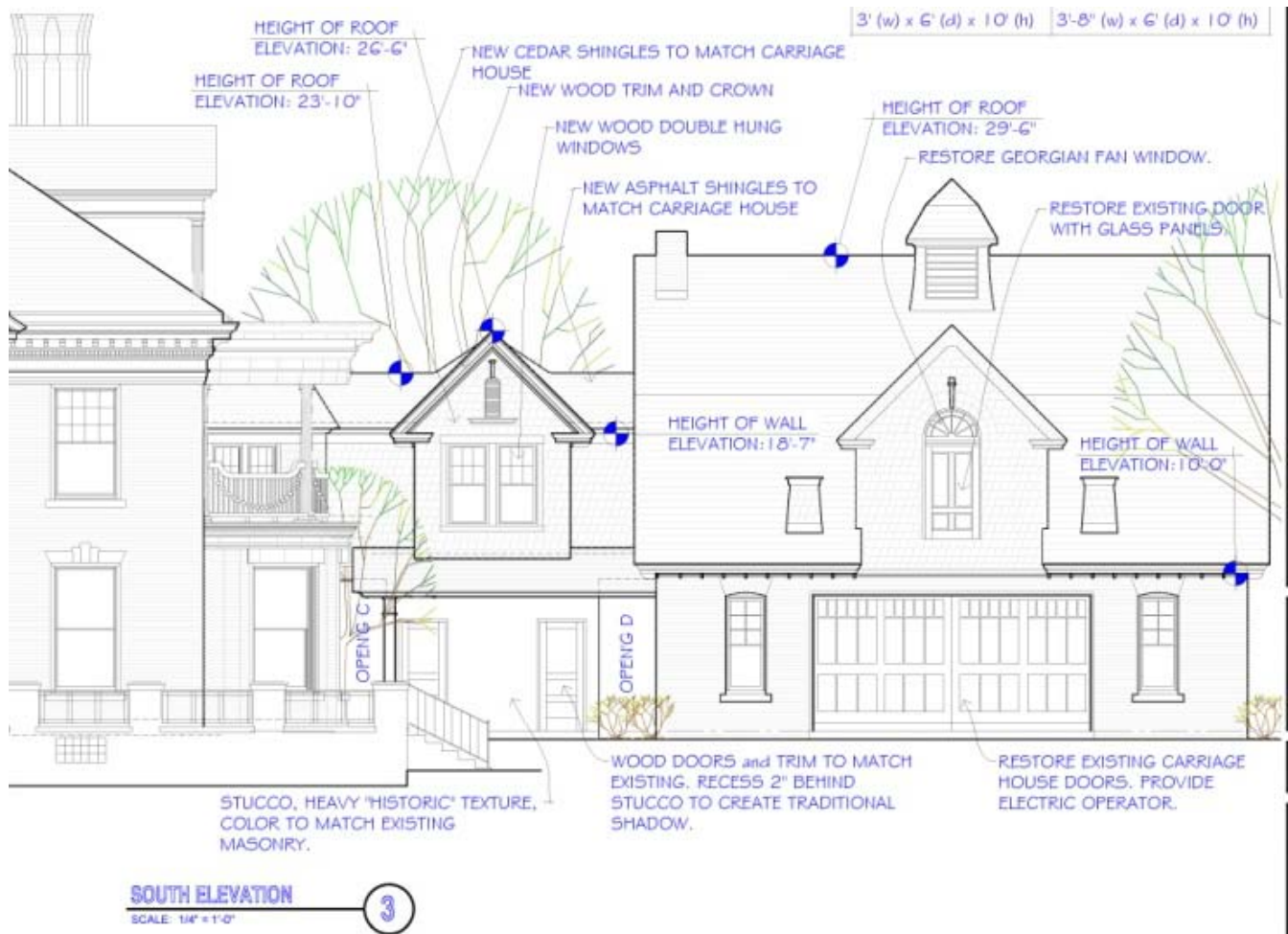
The proposal also includes a new driveway reconfiguration to accommodate the proposed addition. The new driveway will run through the 18’10” (w) x 6’ (d) x 11’3” (h) bottom opening of the elevated walkway and will also be narrower than the existing driveway. The new configuration will take out two large trees near the northwestern corner of the property.



Materials

Primary construction materials will consist of stucco for the two story mudroom addition and the ground level pillars and the ground level of the stairwell. Cedar shingles will be used for the remainder of the addition. The mudroom portion will continue the existing roofline from the principal structure with the same corresponding trim, fascia, and frieze board. Asphalt shingles will be used on the roof of the addition to match the carriage house. Double hung, wood windows are proposed throughout, all recessed two inches. Double hung, wood windows are proposed throughout, all recessed two inches.





Public Comments

No public comment regarding this application was received as of the date of the preparation and distribution of this staff report.

Analysis and Findings

Zoning Ordinance and Design Guidelines

21A.24.080 SR-1A Special Development Pattern Residential District: The purpose of the SR-1A special development pattern residential district is to maintain the unique character of older predominantly single-family and two-family dwelling neighborhoods that display a variety of yards, lot sizes and bulk characteristics. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

Analysis: Staff has reviewed the zoning requirements as seen on the table below. Connecting the principal structure and the accessory structure will create one large principal structure. The carriage house would be a part of the principal structure. As one principal structure, the proposal will not meet the rear and side yard setbacks. The proposal also would exceed the building height standards for a flat roof (max 16') for the mudroom addition.

Ordinance Requirement	Standard	Proposed	Meets
Height, Pitched Roof	23' or average height of principal bldgs on block face*	Up to 26'6"	Yes *Average Height of Block Face: 42' + ~50' (parking structure) = 92'/2 = 46' Average
Height, Flat Roof	16'	Up to 27'	No
Exterior Wall Height (adjacent to an interior side yard)	16' at 4' setback, increases 1' for every 1' of additional setback	23'3"	Yes *add 1' for every 1' of additional setback = ~76' (16' + 60' additional setback)
Rear Yard Setback	25% of lot depth not less than 15' not more than 30'	41"	No
Side Yard Setback	Corner side 10' Interior side 4'	37'7" 14"	Yes No
Building Coverage for principal and accessory structures	40% of lot area	19%	Yes

Finding: The project does not meet all the zoning requirements for the SR-1A zoning district. If the project is approved as proposed, the applicant will need to receive special exceptions approval for the mudroom height, rear and side yard setbacks pending approval of the proposal.

21A.62.040 Definitions of Terms:

BUILDING CONNECTION: Two (2) or more buildings which are connected in a substantial manner or by common interior space including internal pedestrian circulation. Where two (2) buildings are attached in this manner, they shall be considered a single building and shall be subject to all yard requirements of a single building. Determination of building connection shall be through the site plan review process.

Analysis: The proposed addition will connect the principal structure with the carriage house by common interior space, creating a substantial building connection. This connection will make the carriage house a part of the principal structure. Since the carriage house would be considered a part of the principal structure, the structure would not meet required setbacks. Special exceptions for the required rear and side yard setbacks will be required if proposal is approved.

Finding: Connecting the principal structure with the carriage house will create a substantial building connection, which will make the carriage house a part of the principal structure. The proposal will not meet

rear and side yard setback requirements. The applicant must apply for a special exceptions approval if the connection were approved.

21.A.06.050B Historic Landmark Commission

B. Jurisdiction And Authority: The historic landmark commission shall:

6. Review and approve or deny certain special exceptions for properties located within an H historic preservation overlay district. The certain special exceptions are listed as follows:

g. Any modification to bulk and lot regulations of the underlying zoning district where it is found that the underlying zoning would not be compatible with the historic district and/or landmark site.

Analysis: If the connection between the principal structure and accessory structure is approved, the applicant will need to apply for special exceptions for the proposed rear yard setback, side yard setback, and building height. The height of the principal structure is 42' and the property sits on a .63 acre lot, the Commission will need to analyze whether the underlying SR-1A zoning is compatible with the landmark site. The application can be approved or denied by the Historic Landmark Commission if they find that the zoning is not compatible with the historic district.

Finding: The applicant will need to seek a special exceptions approval for building height if the mudroom addition were approved, and rear and yard setback if the overall connection of the principal structure and the accessory structure were approved.

21A.34.020 H Historic Preservation Overlay District

G. Standards for Certificate of Appropriateness for Altering of a Landmark Site or Contributing Structure: In considering an application for a Certificate of Appropriateness for alteration of a landmark site or contributing structure, the Historic Landmark Commission shall find that the project substantially complies with all of the general standards that pertain to the application and that the decision is in the best interest of the City.

Standard 1: A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment;

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Applicable Design Guidelines

- 8.1** An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.
- 8.6** A new addition or alteration should not hinder one's ability to interpret the historic character of the building or structure.
- 8.7** When planning an addition to a building, the historic alignments and rhythms that may exist on the street should be defined and preserved.
- 8.9** Original features should be maintained wherever possible when designing an addition.
- 9.3** Attaching garages and carports to the primary structure should be avoided.

Analysis: The building was constructed in approximately 1898 as a single family home. No change of use is proposed.

A defining feature of the site includes the separation of the principal structure and the accessory structure, the proposed elevated walkway would no longer carry over this feature as the accessory structure will become a part of the single family home, which drastically changes not only the character of the property, but the purpose of the accessory structure. This defining feature makes attaching the principal structure to the accessory structure inappropriate. One of the characteristics of the neighborhood includes the separation of the principal structure from the accessory structure; the proposed elevated walkway would not preserve this characteristic as the creation of one large structure is not the historic purpose of the site.

Finding: This standard is met in part as the historic purpose of the property was a single-family use. However, the elevated walkway connection would change the historic separation of the principal structure with the accessory structure; this is a change to the character defining feature of the property. This proposed change is in conflict with part of the standard which relates to requiring minimal change to the defining character of the site.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;

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Applicable Design Guidelines

- 8.1** An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.
- 8.2** An addition should be designed to be compatible in size and scale with the main building.
- 8.3** An addition should be sited to the rear of a building or set back from the front to minimize the visual impact on the historic structure and to allow the original proportions and character to remain prominent.
- 8.4** A new addition should be designed to be recognized as a product of its own time.
- 8.5** A new addition should be designed to preserve the established massing and orientation of the historic building.
- 8.8** Exterior materials that are similar to the historic materials of the primary building or those used historically should be considered for a new addition.
- 8.9** Original features should be maintained wherever possible when designing an addition.
- 8.10** The style of windows in the addition should be similar in character to those of the historic building or structure where readily visible.
- 8.11** A new addition should be kept physically and visually subordinate to the historic building.
- 9.3** Attaching garages and carports to the primary structure should be avoided.
- 11.4** Established plantings should be maintained.

Analysis: The home is located on a corner lot and the two structures on the property are readily visible from the South (front view from 7th Avenue) and the West (side view from B Street).

Mudroom Addition

The proposed mudroom, sited to the rear, will replace an existing mudroom and the expansion of the mudroom will not significantly change the features or the visual impact of the property, which allows the original proportions and character to remain prominent. The overall size and scale of the proposed

mudroom will not visually overpower the and will be compatible with the original principal structure. The continuation of the roofline with similar trim, fascia, and frieze makes the proposed mudroom compatible with the original structure, although the use of stucco on the proposed structure will differentiate itself from the original structure, which will allow the historic character of the property to be preserved. Two windows along the rear façade of the principal structure will be enclosed with the new mudroom addition. These windows will be cut a little lower so they can be converted to an interior door and doorway. The windows in the proposed mudroom will be double hung, wood windows, similar to those on the original structure. These windows will also be smaller in scale to those on the original structure, which further allow the original structure to remain prominent. The 11'0 x 17'9" proposed mudroom addition will be visually subordinate to the approximate 67' x 70' footprint of the historic building.

Elevated Walkway

A common feature in historic homes includes the separation of the principal structure with the accessory structure. The original site was laid out to allow for the separation and space between the buildings, which characterizes the property and the rhythms that exist on the street. Building an enclosed elevated walkway to connect the principal structure with the carriage house makes the home one large principal structure and covers the west view of the carriage house, which negatively alters the features and spaces that distinctly characterize the property. The character of the landmark site is not retained. The walkway will hinder one's ability to interpret the historic character of the building since the distinct features of a separated principal structure and accessory structure will be gone. The elevated walkway addition adds a horizontal element on the site, while the original structure has a vertical element on the site. The size and scale of the proposed walkway are not compatible with the original structure. The presence of the walkway will overpower the original structure since the original structure will become one massive structure. The walkway significantly changes the massing of the site as the two rectangular structures will be one large structure. The walkway will not preserve the established massing of the buildings. The materials used for the walkway include stucco support pillars and cedar shingles, which are similar to the carriage house. The windows will be double hung, wood windows that match the existing windows on the principal structure and the carriage house. The materials and windows are appropriate.

Stairwell Addition

The stairwell addition will obstruct the historic original carriage house as a whole, blocking the west view of the unique two and a half story carriage house, along with the historic windows and door that can currently be seen from B Street. The applicant has been mindful of reducing the amount of changes that can affect the exterior of the buildings by avoiding a direct linkage of the stairwell to the carriage house, instead the stairwell is set back and a narrower hallway is used to connect to the carriage house, allowing for the preservation of the existing windows and door. The proposed addition is sited to the rear of the principal structure, which minimizes the visual impact on the principal structure, but not the accessory structure. The materials used for the stairwell include stucco on the ground floor and cedar shingles on the top floor, which are similar to the carriage house. The windows will be double hung, wood windows that match the existing windows on the principal structure and the carriage house.

Driveway

The reconfiguration of the driveway will not affect the historic character of the property. The driveway will maintain the same entrance and will be paved with concrete, which is an appropriate material. The footprint of the proposed concrete driveway in comparison to the existing driving will be less. The excess concrete will be removed and will be re-established with landscaping. The driveway reconfiguration will require two large trees to be removed. However, the applicant will be planting new trees and landscaping along the new proposed driveway. The driveway reconfiguration will not remove any historic materials or alterations of features.

Overall, the proposed addition as a whole will change the massing of the property, this changes the site that is more vertical in nature and connects the buildings, which adds a horizontal mass and creates one large principal building. Even though the height of the addition will be subordinate to the historic buildings, the overall size and mass of the addition will visually dominate the side views of the property and significantly obstruct the view of the carriage house and have a negative effect on the character of the site since the original siting of the buildings and the space between them characterize the property. Connecting the garage (carriage house) to the principal structure is not appropriate.

Finding: The standard is not met and is in conflict with the above design guidelines. The proposed addition alters the historic features and spaces that characterize the property and significantly alters features and spaces that characterize the landmark property.

Standard 3: All sites, structure and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed.

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Applicable Design Guidelines

8.4 A new addition should be designed to be recognized as a product of its own time.

9.3 Attaching garages and carports to the primary structure should be avoided.

Analysis: The overall proposal in terms of materials will be a product of its own time since the use of stucco differentiates from the principal structure and accessory structure. The rear addition will be stucco along with the pillars of the elevated walkway and the ground floor of the stairwell. The upper portion of the walkway and the stairwell will have cedar shingles. The materials proposed stand out from the historic structures. The design of the elevated walkway and the angled layout itself stands out from the original portions of the house. The proposed connection and adjoining of the principal structure and the accessory structure creates a false sense of history in that it removes the original siting that separates the two structures. Creating one large principal structure hides the historical basis of the property and covers up the distinct feature of the separated principal and accessory structure.

Finding: This standard is not met. The materials alone and the layout of the elevated walkway do differentiate from the original structures of the property. However, the connection of the original structures will hide the significant features that tell the history of the property.

Standard 4: Alterations or additions that have acquired historic significance in their own right shall be retained and preserved.

Analysis: The rear mudroom appears to have been enclosed years after the home was built. The rear mudroom will be replaced. The removal and replacement of the mudroom should not significantly impact the character of the building. The new two story mudroom addition will be expanded to be larger, requiring the loss of two upper story windows, which accommodate doorways for the new enclosed space. No other windows will be affected. Although two windows at the rear of the historic building will be lost as part of the proposed addition, this is necessary for construction of the proposed mudroom addition.

Finding: This standard is met.

Standard 5: Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

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Applicable Design Guidelines

- 8.1** An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.
- 8.9** Original features should be maintained wherever possible when designing an addition.
- 9.3** Attaching garages and carports to the primary structure should be avoided.

Analysis: The existing home and carriage house are original and historic. Very few original carriage houses in Salt Lake City are still intact today and the subject carriage house is an important character defining feature of the historic property. Therefore, the carriage house is a distinctive feature that should be preserved and not obscured on site. The proposed design of the overall addition is strategic in minimizing unnecessary contact and changes to the historic structures, particularly in the addition adjacent to the carriage house. The stairwell is set back from the carriage house and does not link directly to the carriage house. Instead, a hallway was designed from the stairwell to the carriage house that punches through the wall between the two windows, avoiding the need to remove any windows or door. The separation of the principal structure and the accessory structure is a distinctive feature of the site. Creating a connection between the main house and the carriage house will diminish the carriage house feature of the historic property.

Finding: This standard is not met. The proposed addition that will connect the main house with the carriage house diminishes the distinctive features, finishes, and construction techniques that characterize the original structure and do not lend to the preservation of the subject structure.

Standard 6: Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.

Analysis: The proposal does not include repair or replacement of deteriorated architectural features.

Finding: This standard is not applicable.

Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Analysis: The proposed work does not include any treatments to historic materials.

Finding: This standard is not applicable.

Standard 8: Contemporary designs for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological

material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

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Applicable Design Standards for Additions

- 8.1** An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.
- 8.2** An addition should be designed to be compatible in size and scale with the main building.
- 8.3** An addition should be sited to the rear of a building or set back from the front to minimize the visual impact on the historic structure and to allow the original proportions and character to remain prominent.
- 8.4** A new addition should be designed to be recognized as a product of its own time.
- 8.5** A new addition should be designed to preserve the established massing and orientation of the historic building.
- 8.8** Exterior materials that are similar to the historic materials of the primary building or those used historically should be considered for a new addition.
- 8.9** Original features should be maintained wherever possible when designing an addition.
- 8.11** A new addition should be kept physically and visually subordinate to the historic building.
- 9.3** Attaching garages and carports to the primary structure should be avoided.

Analysis: The design of the mudroom addition with its placement to the rear of the principal structure and its placement in an area with an existing back door, maintains the historic features of the historic property and minimizes the visual impact on the historic structure and allows the original proportions and character to remain prominent. The mudroom addition is relatively small in size, will not overpower the original structures, and will be physically and visually subordinate to the historic building. The established massing and orientation of the historic building is preserved since the proposed mudroom addition is located in the rear of the principal structure and the rectangular massing of the building would be preserved. The proposed mudroom continues the prominent vertical form in the original structures and does not hinder one's ability to interpret the historic character of the building or structure.

The proposed mudroom addition will require two windows to be removed. This area will be enclosed, and the windows will be removed to make way for doorways for the interior space. Although two windows at the rear of the historic building will be lost as part of the proposed addition, this is necessary for construction of the proposed rear mudroom. Stucco will be used for the mudroom addition and the roofline of the mudroom addition will continue the trim, fascia, and frieze of the original structure, which will not destroy any significant or architectural material.

The original buildings on site are both rectangular in mass and have a vertical emphasis. The proposed walkway would add a horizontal emphasis and the massing would significantly alter the established massing of the historic structures, from two separate rectangular masses to one large mass. The separation of the principal structure and the accessory structure is a significant historical and architectural feature of the property. The proposal to connect the two structures will destroy this historical and architectural feature. The proposed scale and size of the walkway would not preserve the massing of the two historic buildings and the connection of the principal and accessory structures would hinder one's ability to interpret the historic character of the building. The elevated walkway horizontally overpowers the site and covers the carriage house, especially from the west view. The connection will change the defining spaces of the

principal structure and the accessory structure. The horizontal mass of the walkway will remove the defining spaces between the structures and the new mudroom addition will not be physically and visually subordinate to the historic building as the walkway will dominate the view from the B Street.

The proposed stairwell will sit directly west of the carriage house and will obstruct the majority of the view of the west façade of the carriage house from B Street. The stairwell addition will dominate the view from B Street since it will cover the majority of the carriage house. Very few carriage houses in Salt Lake City are still intact today and the presence of a separated accessory structure and principal structure is an important historical and architectural feature, the addition is not physically and visually subordinate to the historic buildings on site.

Overall, the proposed addition as a whole will destroy the character defining feature of having a separate principal and accessory structure.

Finding: This standard is not met. The mudroom addition alone meets this standard. However, the project as a whole does not meet this standard. The design and massing of the addition to connect the main house with the carriage house significantly changes the character of the property. The proposed walkway and stairwell additions will dominate the view from B Street, covering the historic carriage house.

Standard 9: Additions or alterations to structures and objects shall be done in such a manner that if such additions or alteration were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

Analysis: The applicant has been very mindful in regards to minimizing the holes that will be punched into the original structures in order to create the overall addition. The stairwell addition was set back and a hallway was used to connect to the carriage house in order to preserve the three windows and the one door along the west façade of the carriage house. Although a couple windows will be removed and portions of the principal structure and carriage house will be cut through to make the connection, the building could be restored to its original condition. If the overall proposed addition were to be removed in the future, the essential form and integrity of the principal and accessory structure could theoretically be unimpaired. The overall addition creates a horizontal expression for the structures that historically read vertically as two substantial structures. The connection will create one a significant connection between the principal and accessory structures, resulting in one large structure. The creation of one large structure changes the historic and architectural relationship of the two structures on the property.

Finding: The addition and alterations as proposed, for the most part, preserve the principal structure and the accessory structure in both form and integrity, and if said additions were built and subsequently removed, the original structure could be restored. This portion of the standard is met.

However, the overall addition would be differentiated from the old, but will be too big as it introduces a horizontal expression when the two original structures on site read vertically as two substantial structures. The character of the site, as two distinctly separated structures is significant. The elevated walkway addition would change the relationship of the two features of the property—the main house and the carriage house. This portion of the standard is in conflict and not met.

Standard 10: Certain building materials are prohibited including the following: Vinyl, asbestos, or aluminum cladding when applied directly to an original or historic material.

Applicable Design Standards for Additions

8.8 Exterior materials that are similar to the historic materials of the primary building or those used historically should be considered for a new addition.

14.10 Building materials that are similar to those used historically should be used.

Analysis: The applicant is proposing materials for the addition that includes cedar shingles and stucco, and asphalt roof shingles, double hung wood windows throughout. Both the principal structure and the accessory structure still have their original double hung, wood windows. The accessory structure currently has cedar shingles and an asphalt roof. The proposed materials are compatible with the historic material.

Finding: No inappropriate materials are proposed at this time. The project complies with this standard.

Standard 11: Any new sign and any change in the appearance of any existing sign located on a landmark site or within the H historic preservation overlay district, which is visible from any public way or open space shall be consistent with the historic character of the landmark site or H historic preservation overlay district and shall comply with the standards outlined in part IV, Chapter 21A.46 of this title;

Analysis: No signs are proposed.

Finding: This standard is not applicable.

Attachment A
Site Plan and Elevations



Proposed Connecting Mudroom
and Stair Additions

259 Seventh Avenue
Salt Lake City - Utah
84103

David S. Richardson, AIA, PE
architect, engineer, planner, builder

814 East 100 South, Salt Lake City, Utah 84102
Telephone: 801-533-0204
Facsimile: 801-539-0641

Connecting Mudroom and Stair Additions
for Sally and Randy Padawer

259 Seventh Avenue
Salt Lake City, Utah 84103

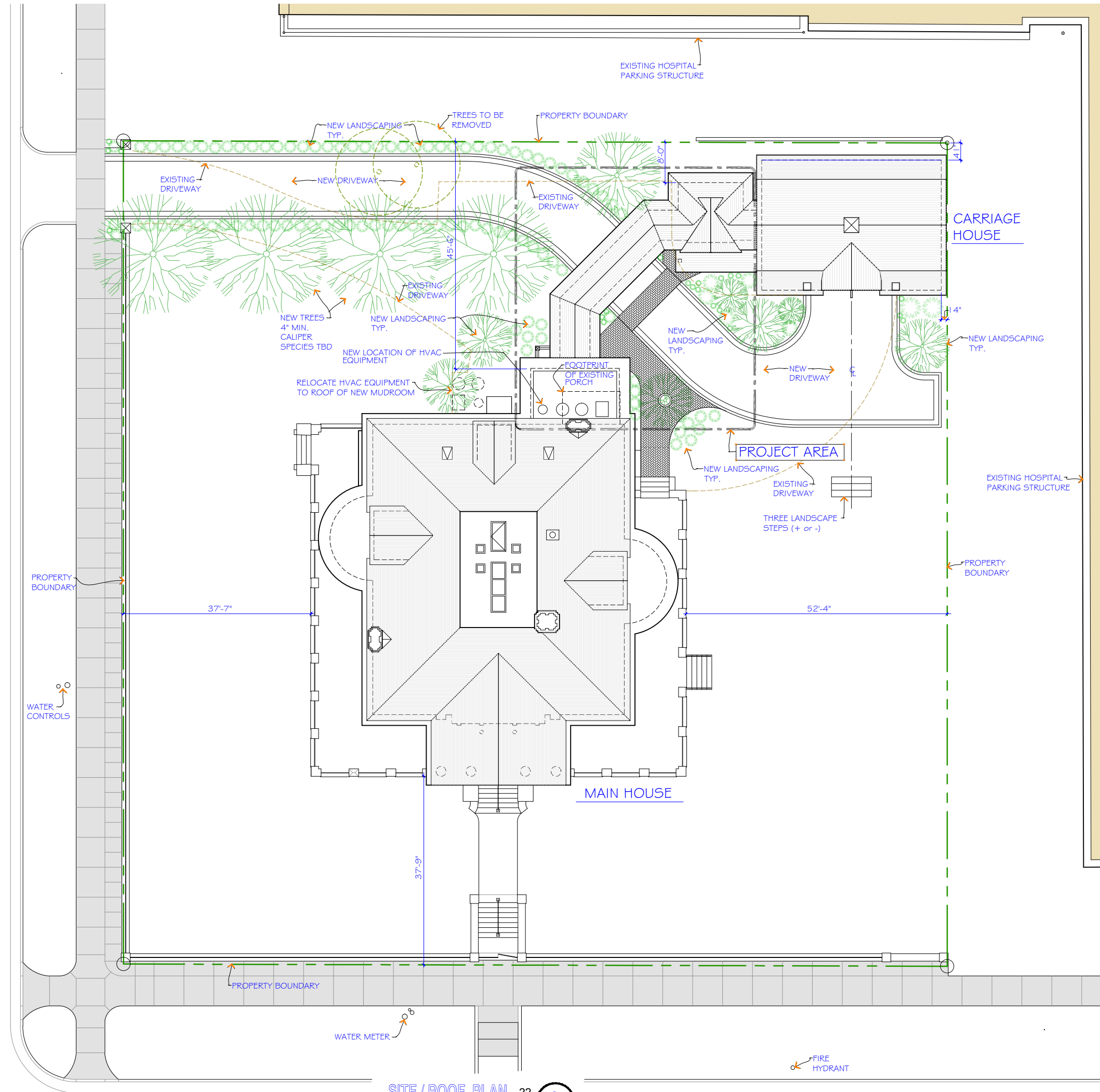
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26 JUNE 2014

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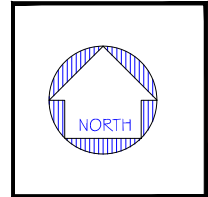


MAIN HOUSE
 DIMENSIONS
 EAST TO WEST:
 67'-6" FROM OUTSIDE
 EDGE OF HALF
 CYLINDERS.
 NORTH TO SOUTH:
 70'-6" FROM NORTH
 WALL TO SOUTH
 PEDIMENT COLUMNS.

**EXISTING SCREENED
 MUDROOM**
 DIMENSIONS
 11'-6" EAST TO WEST.
 6'-6" NORTH TO SOUTH.

CARRIAGE HOUSE
 DIMENSIONS
 36'-0" EAST TO WEST.
 24'-0" NORTH TO SOUTH.

DRIVEWAY TREES
 REMOVED: TWO.
 PLANTED: FIVE.



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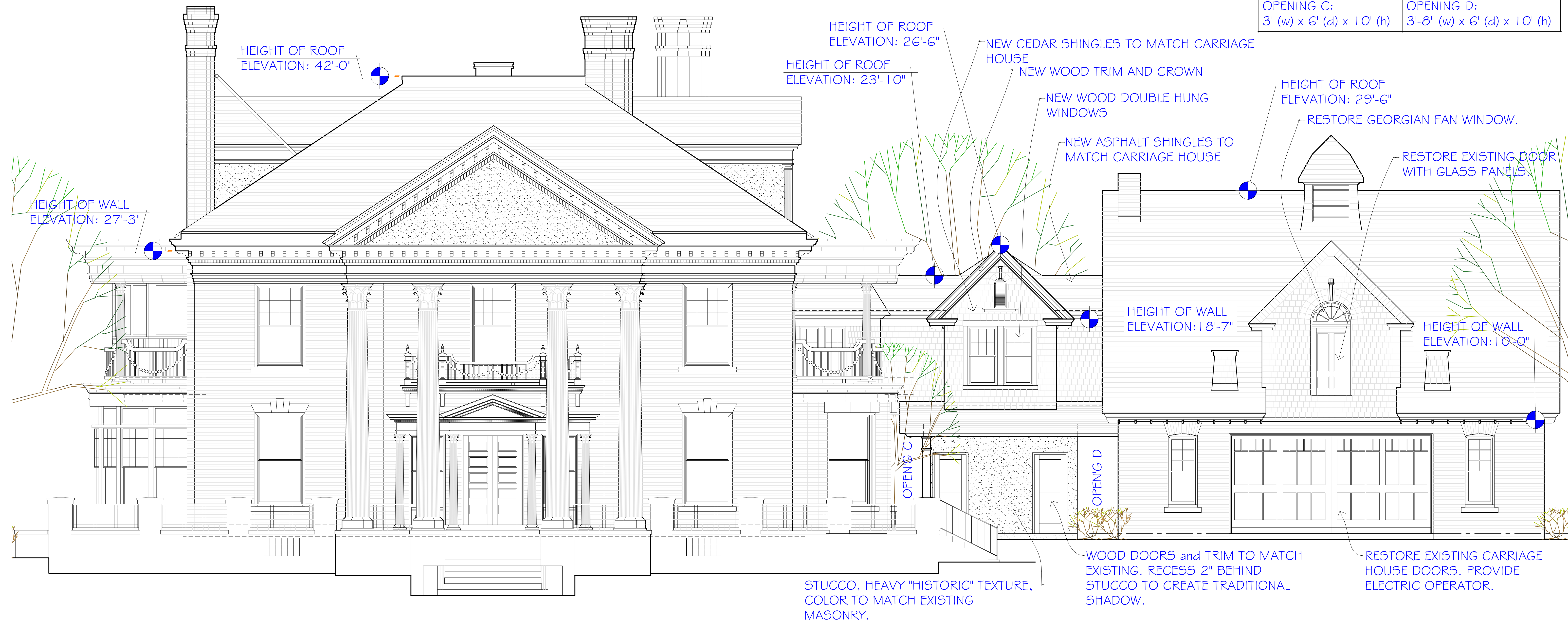
2



259 Seventh Avenue 'View from Seventh Avenue sidewalk looking north'

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OPENING DIMENSIONS	
OPENING C: 3' (w) x 6' (d) x 10' (h)	OPENING D: 3'-8" (w) x 6' (d) x 10' (h)



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 for Sally and Randy Padawer
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 Salt Lake City, Utah 84103

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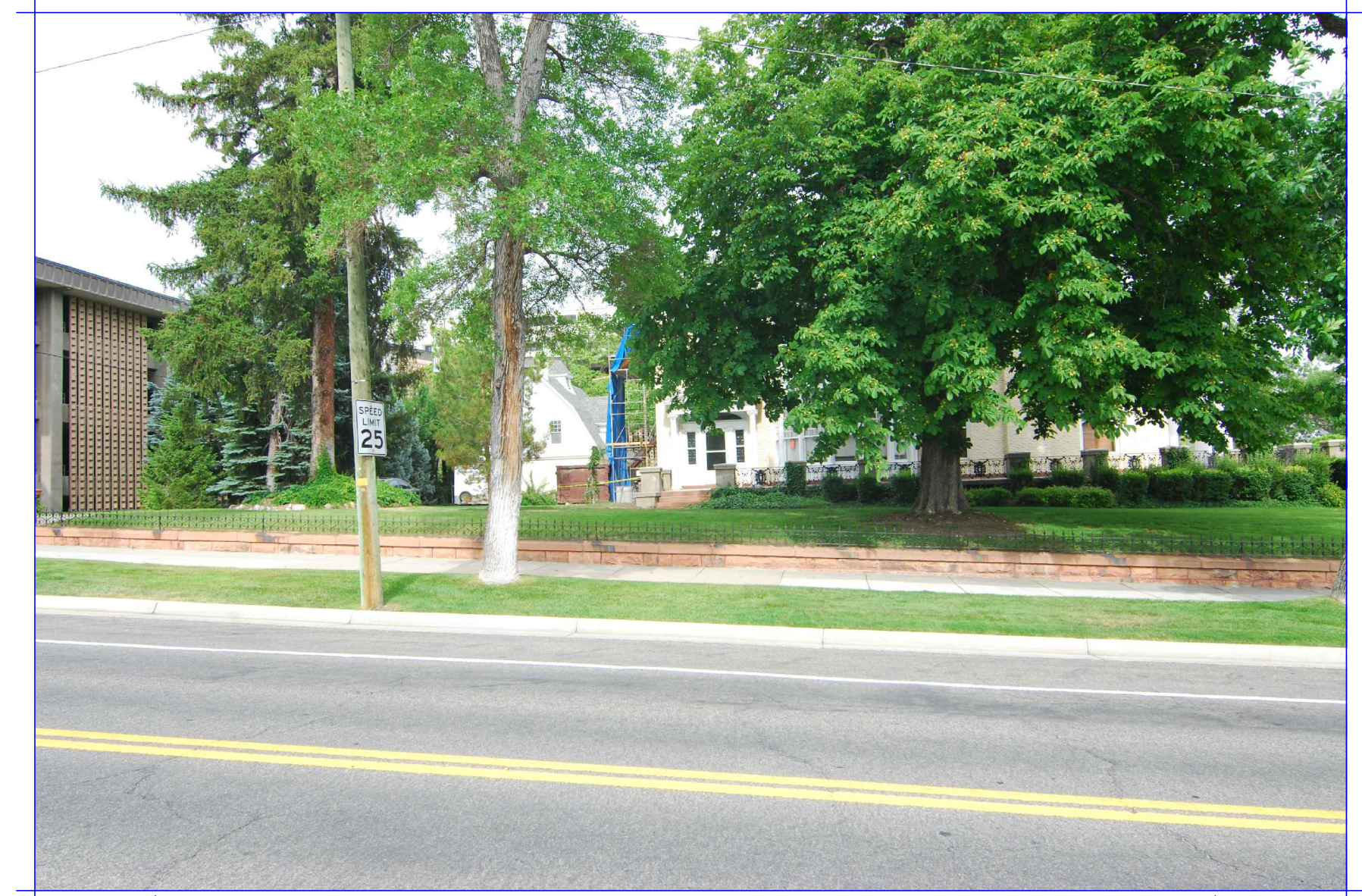
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3

SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

3



259 Seventh Avenue 'View from "B" Street looking east'

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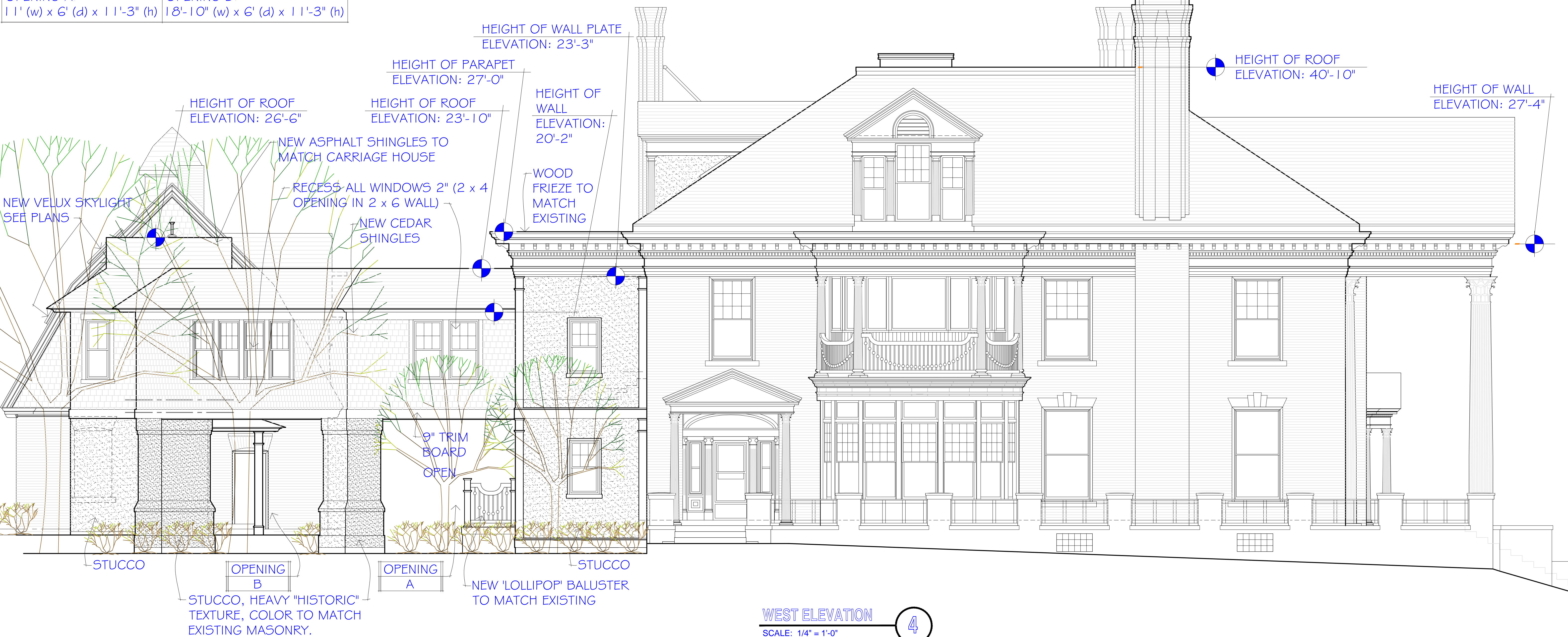
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OPENING DIMENSIONS	
OPENING A: 11' (w) x 6' (d) x 11'-3" (h)	OPENING B: 18'-10" (w) x 6' (d) x 11'-3" (h)



WEST ELEVATION
 SCALE: 1/4" = 1'-0"

4



259 Seventh Avenue 'East Elevation'

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5



OPENING DIMENSIONS
OPENING A: 11' (w) x 6' (d) x 11'-3" (h)

EAST ELEVATION
 SCALE: 1/4" = 1'-0"

5



259 Seventh Avenue 'North Elevation'

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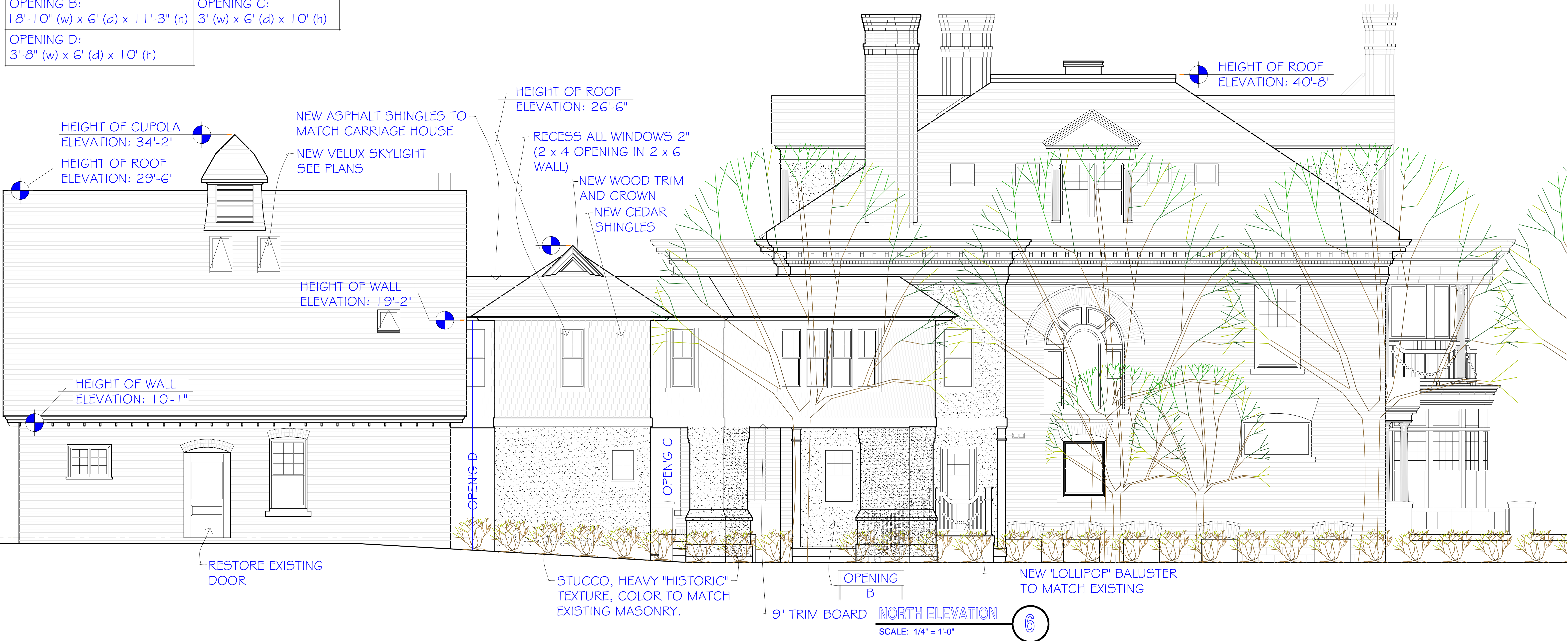
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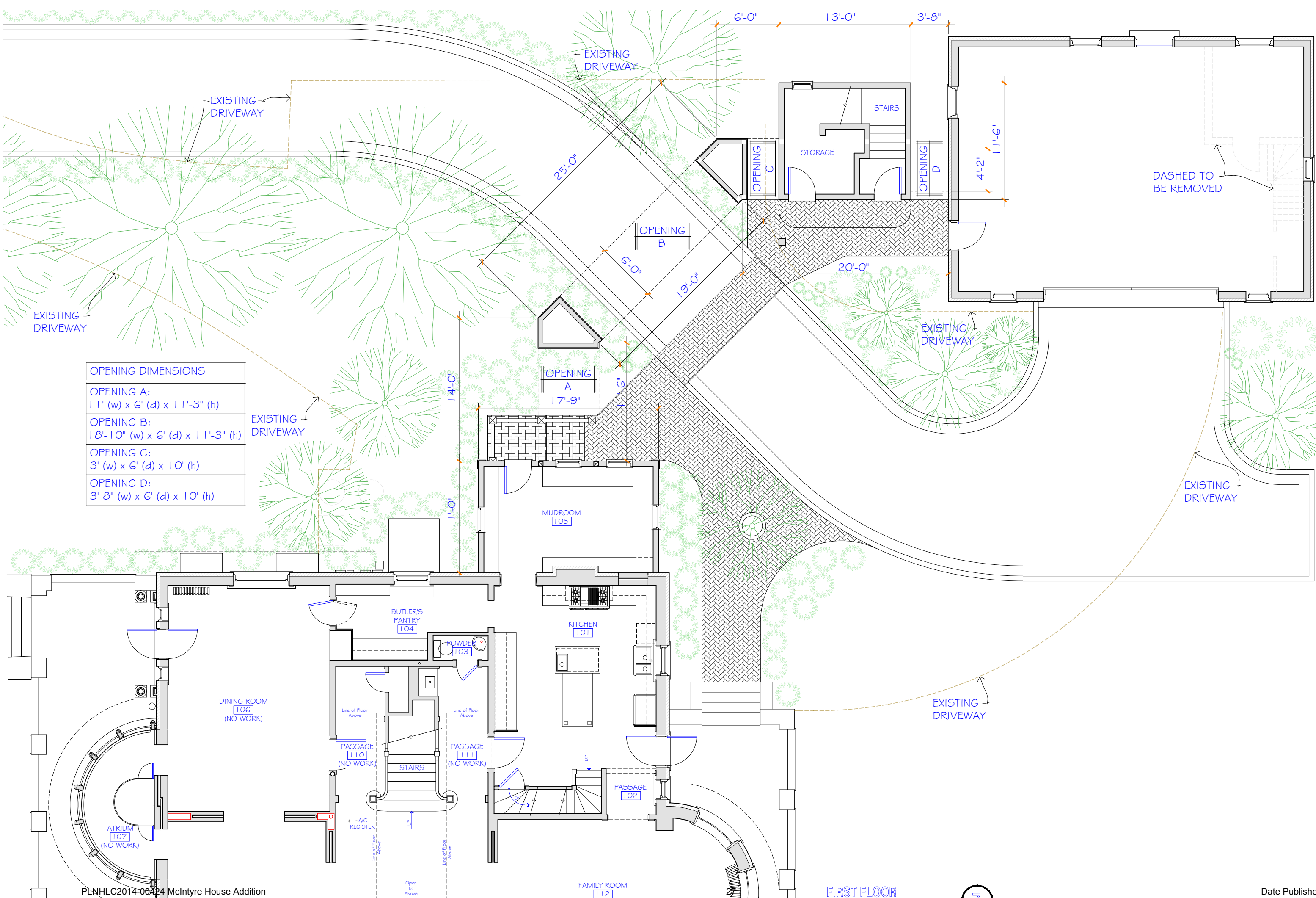
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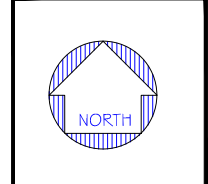


OPENING DIMENSIONS	
OPENING B: 18'-10" (w) x 6' (d) x 11'-3" (h)	OPENING C: 3' (w) x 6' (d) x 10' (h)
OPENING D: 3'-8" (w) x 6' (d) x 10' (h)	





OPENING DIMENSIONS	
OPENING A:	11' (w) x 6' (d) x 11'-3" (h)
OPENING B:	18'-10" (w) x 6' (d) x 11'-3" (h)
OPENING C:	3' (w) x 6' (d) x 10' (h)
OPENING D:	3'-8" (w) x 6' (d) x 10' (h)



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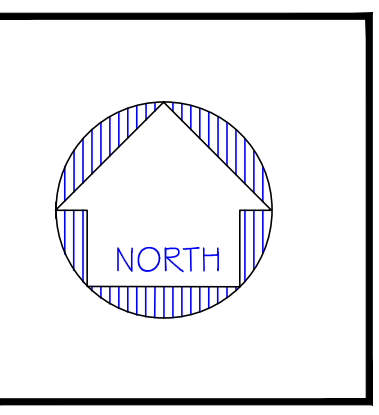
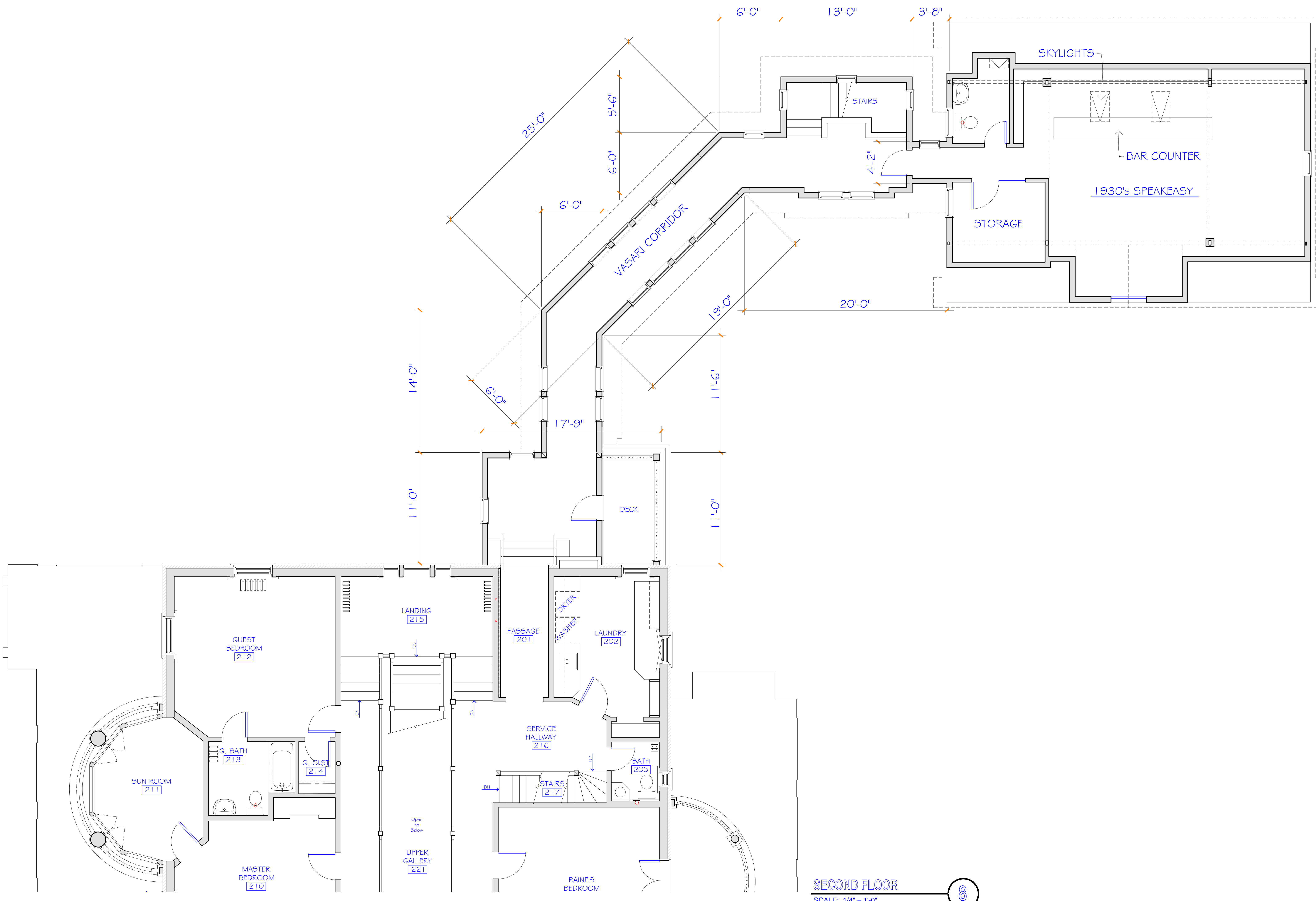
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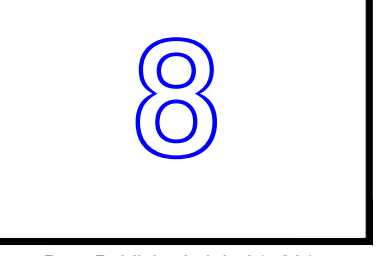
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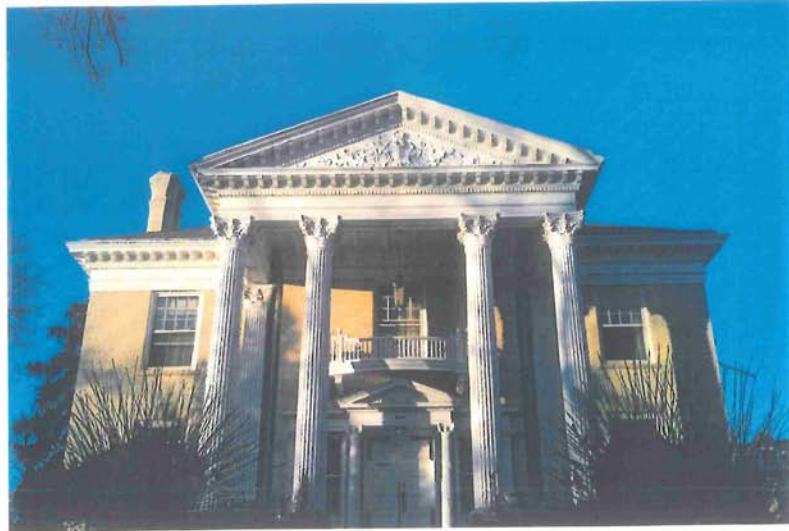
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SECOND FLOOR
 SCALE: 1/4" = 1'-0"

Attachment B
Photos



209 SEVENTH AVENUE

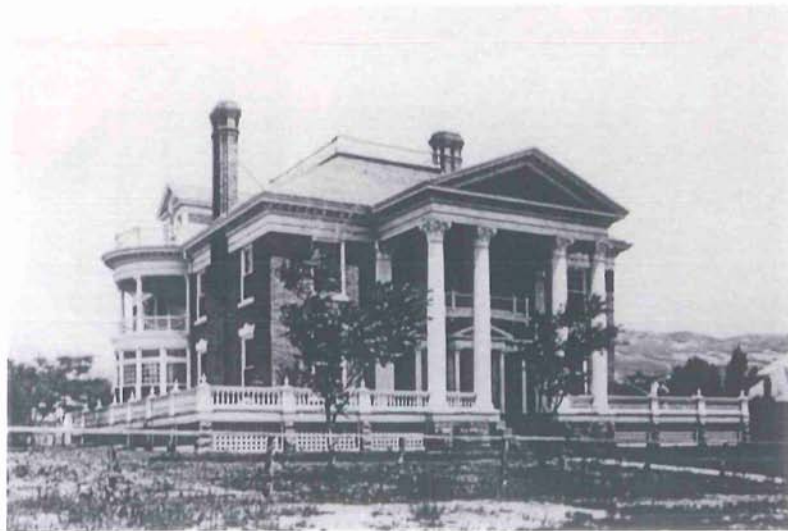
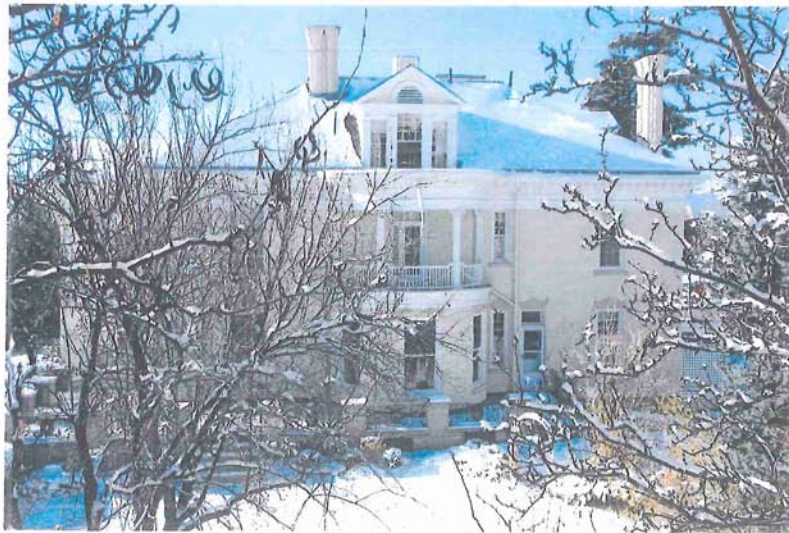


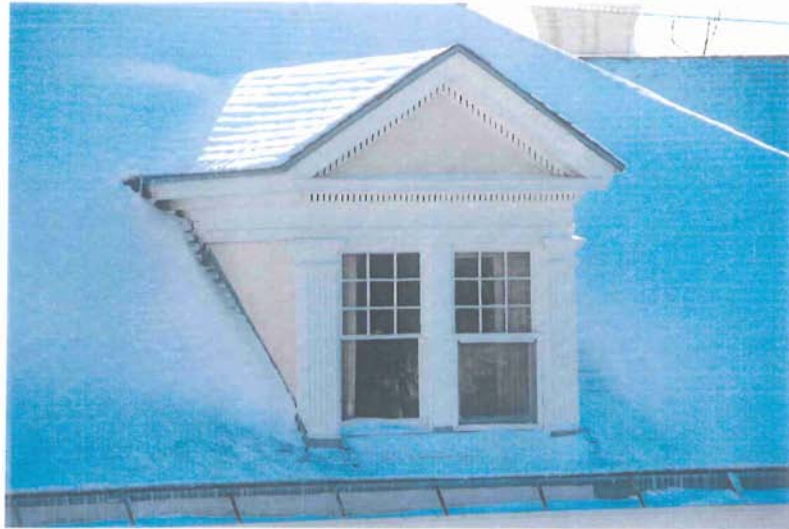
PHOTO c. 1890



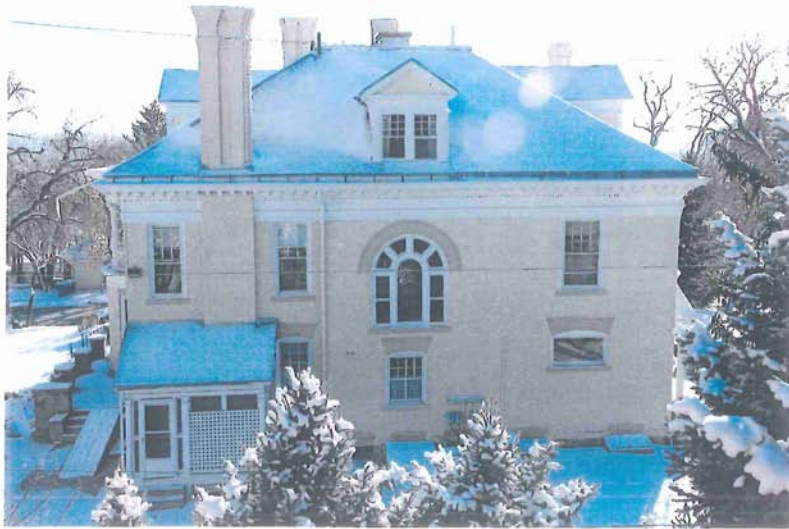
EAST ATTIC DORMER



EAST ELEVATION



NORTH ATTIC DORMER



NORTH ELEVATION



CARRIAGE HOUSE



VIEW FROM SOUTH EAST