

HISTORIC LANDMARK COMMISSION STAFF REPORT



Planning and Zoning Division
Department of Community and
Economic Development

Liberty Park Pump House
PLNHLC2013-00453
Liberty Park 900 South 600 East
September 5, 2013

Applicant:

Salt Lake City Parks Division

Staff:

Ray Milliner (801) 535-7645
ray.milliner@slcgov.com

Current Zone: OS

Master Plan Designation:
Open Space

Council District:

5, Jill Remington Love

Lot Size:

4,356,000 square feet or
approximately 100 acres

Current Use:

Public Park

**Applicable Land Use
Regulations:**

- 21A.32.100 OS
- 21A.34.020(G & H)

Notification

- Notice mailed on August 20 2013
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites August 20, 2013

Attachments

- A. Letter from Applicant
- B. Building Site Plans & Elevations

Request

This is a request for Historic Landmark Commission review of a pump house in Liberty Park. The structure would be located adjacent to the existing concession building in an area of the park that is currently unused.

Staff Recommendation

Staff recommends that the Historic Landmark Commission review the application, and approve the proposed “green wall” design of the Liberty Park pump house pursuant to the findings, analysis and conditions of approval in this staff report (all staff analysis is for the green wall design).

Potential Motions

Approval: Based on the analysis and findings of fact in this staff report, testimony and plans presented, I move that the Historic Landmark Commission approve the proposed “green wall” design of the Liberty Park pump house subject to the analysis and findings in this staff report and the conditions of approval below.

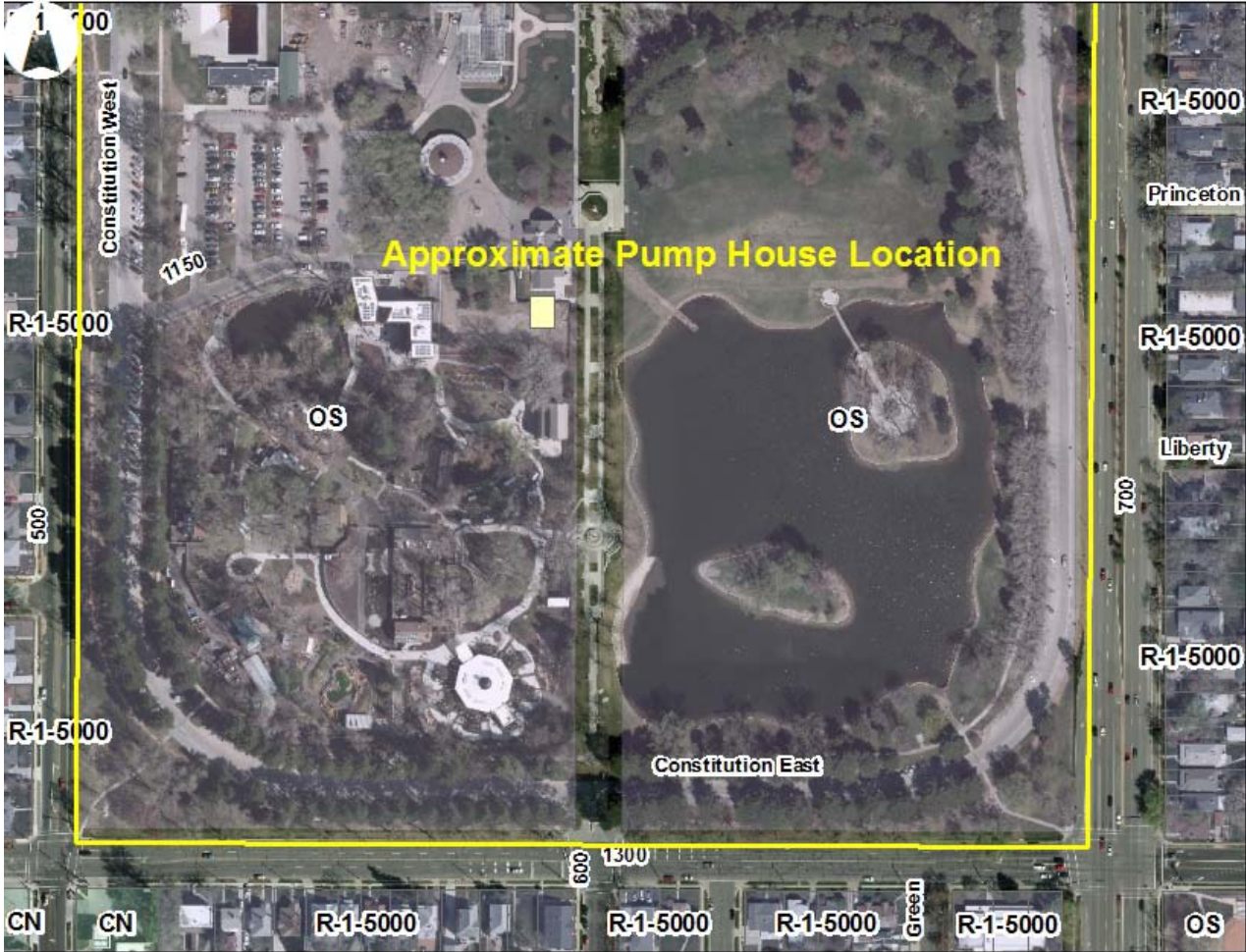
Conditions of Approval

1. Types and styles of materials shall be reviewed by staff for final approval prior to installation on the building.
2. Any minor changes, modifications, or deviations from the approved design shall be reviewed and approved by the Planning Director prior to their construction.
3. Any Major changes, modifications or deviations from the approved design shall be reviewed and approved by the Historic Landmark Commission.
4. The architect and/or applicant shall be responsible for coordinating the approved architectural drawings/documents with the approved construction drawings/documents. The overall aesthetics of the approved architectural drawings/documents shall take precedence. Any discrepancies found among these documents that would cause a change in appearance to the approved architectural drawings/documents shall be reviewed and approved prior to construction.
5. The building shall be in accordance with all adopted codes and ordinances; including, but not necessarily limited to: the Salt Lake City Zoning Ordinance (including Section 21A.34.020); International Building, Fire and related Codes (including ADA compliance).

Denial: Based on the testimony, plans presented and the following findings, I move that the Historic Landmark Commission deny the proposed Certificate of Appropriateness for the proposed Liberty Park pump house (commissioner would then state findings for denial from the standards listed below):

	<ol style="list-style-type: none"> 1. Scale and Form 2. Composition of Principal Facades 3. Relationship to Street 4. Subdivision of Lots
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Vicinity Map



Liberty Park
 □ Parcels2010
 □ Subject Property

Background

The Salt Lake City Parks Division, represented by Troy Baker is requesting Historic Landmark Commission review of a pump house to be located directly to the south of the existing concession building in Liberty Park. The purpose of the pump house is to provide an aesthetic shelter and secure access for machinery associated with a new irrigation system proposed in the park.

The well and pump house are components of a larger City wide program designed to find operational inefficiencies with City infrastructure (street lighting, water, sewer, etc.) and improve them. In this case, the irrigation system for Liberty Park is the inefficiency. Currently the park is irrigated with treated water from the

City's main water line. The proposed building would house pumps that would send secondary water to irrigate the park. This would unencumber approximately 45 million gallons of treated water from the City water supply. It will also save a significant amount of money, as the Parks Division is required to pay the Public Utilities Division for all water used.

This petition was reviewed as a work session item by the Historic Landmark Commission on July 18, 2013. At the meeting Commissioners provided the applicant with direction regarding the proposed design and location of the building. Specifically the Commission stressed that because of the prominent location of the proposed pump house, it needs to either house a secondary use, such as a boat rental facility, or be moved to a secondary, less visible location. The Commission also directed the applicant to reduce the size of the building, and look at ways to make the design better reflect the actual function of the building.

In response to those requests, the applicant moved the proposed location of the building to a site adjacent to the existing concession building (approximately 100 feet to the west of the original location), and has submitted two design options for consideration by the HLC: concession style and green walled option (see attachment A for site plan and design details). Based on direction from the HLC staff is recommending that the Commission approve the green walled design in the newly proposed location. All staff analysis is based on this design.

The proposed pump house building would be considered a "feature" of a Landmark Site, Liberty Park, and as a result, design and review authority of all new construction, as well as modifications to existing structures is under the purview of the Historic Landmark Commission.

Project Description

The Salt Lake City Parks Division proposes to build a concrete pump house in the southern portion of Liberty Park. The building would be located directly south of the existing concession building located just outside of the north east corner of Tracy Aviary. The purpose of the pump house is to shelter and provide secure access to the wet well, pumps, filter, and electrical gear, necessary for the irrigation system that will utilize the Liberty Park Lake as its irrigation source.

The proposed building will measure 22' x 26' and will be approximately 12' in height. The rectangular building is proposed as a cement block box with clear vertical commercial style windows on all sides that will enable patrons to see inside the building. The primary entry will be on the east façade with a secondary entry on the west façade in the rear. The applicant proposes to create a "vertical garden" on the building by attaching trellis panels to the walls and allowing ivy and other plants to grow up the side. The interior of the will house:

- 1) Wet well – Concrete vault which houses the two pumps.
- 2) Pumps – Pumps which directly supply water to the irrigation system. Inside wet well.
- 3) Filter System – The secondary level of filtration for the lake intake which filters out particles which may damage the irrigation system.
- 4) Electrical Equipment- Gear to support the above functions

The building would be attached to the existing concession building with a patio, walkway and a wooden pergola style covering. The pergola will match the wooden trusses in the gables of the concession building. There is a ditch shown on the drawings that is part of a future project that is not under review at this time.

Public Comments

At the time of this writing, staff has received no official comments from the public on the design of the building.

Zoning Ordinance and Design Guideline Review of the Green Wall Design

21A.32.100 OS Open Space District: The purpose of the OS open space district is to preserve and protect areas of public and private open space and exert a greater level of control over any potential redevelopment of existing open space areas.

Analysis: Staff has reviewed the project for compliance with all applicable standards in the Open Space zone, and found that it meets the minimum requirements, including height (maximum allowed =35 feet above established grade, proposed = 12 feet above established grade).

Finding: The project meets all the zoning requirements for the OS zone.

Section 21A.34.020.H Standards For Certificate Of Appropriateness Involving New Construction Or Alteration Of A Noncontributing Structure: In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the Historic Landmark Commission, or planning director when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually compatible with surrounding structures and streetscape as illustrated in any design standards adopted by the Historic Landmark Commission and City Council and is in the best interest of the city:

1. Scale and Form:

- a) **Height and Width:** The proposed height and width shall be visually compatible with surrounding structures and streetscape;
- b) **Proportion of Principal Facades:** The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape;
- c) **Roof Shape:** The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and
- d) **Scale of a Structure:** The size and mass of the structures shall be visually compatible with the size and mass of surrounding structure and streetscape.

Analysis: The scale and form of historic structures within the park vary greatly depending on their function. The proposed structure will be relatively small, being 12 feet in height with an approximate footprint of 580square feet. In response to comments from the HLC, the applicant has proposed a building that is relatively industrial in design, which mirrors the proposed use. The design of the structure is such that it is relatively indiscreet, and designed to fade into the background. The size and scale of the building is mitigated by the new location of the building to the south of the concession building. This area is currently unused and is not a focal point for patrons of the park, pedestrians or motorists. These design elements combine to further reduce the scale and impact of the building on the surrounding area. The proposed structure is compatible in size, style and construction with the other structures within the Aviary.

The design of the structure is unique to the Park and to the surrounding historic districts, nonetheless, the scale and form of the proposed structure is appropriate for the use proposed and the needs of the Parks Division to

provide irrigation water to the park.

Finding: The unique use of the building and its relative small size makes it compatible in height, width, proportion scale, and massing and roof shape with other buildings in Liberty Park. The proposal meets this standard.

2. Composition of Principal Facades:

- a) **Proportion of Openings:** The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;
- b) **Rhythm of Solids to Voids in Facades:** The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;
- c) **Rhythm of Entrance Porch and Other Projections:** The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and
- d) **Relationship of Materials:** The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

Analysis: The architectural composition of the building is similar to other pump houses in that it is a cement block box. It does vary from the traditional pump house in that the petitioner has implemented windows on each façade and is proposing the vertical garden trellis system. The lack of a porch entry on the building is not significant due to the use and context of the building, as a pump house. This is consistent with Commission concerns that the original design would cause confusion with the public about the true use of the building. The windows and trellis system elements add interest to the building without eliminating the fundamental design elements of the proposed utility building. The pergola connector establishes a relationship between the concession building and the pump house that makes it visually compatible with the surrounding architecture.

Finding: Staff finds that the architectural composition of the building draws upon the fundamental design elements of a typical utility building and use as a pump house. Staff finds that the use of windows, and the vertical garden trellis system add architectural interest to the building, and that the pergola style connector establishes a relationship with the building and the surrounding architecture that is suitable for the unique use for which it will be employed and is built in an unobtrusive way.

3. Relationship to Street:

- a) **Walls Of Continuity:** Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;
- b) **Rhythm Of Spacing And Structures On Streets:** The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;
- c) **Directional Expression of Principal Elevation:** A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and
- d) **Streetscape Pedestrian Improvements:** Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.

Analysis: The original location of the building was in a spot that is easily visible from many angles in the Park including 700 East and 1300 South. The revised location sites the building directly to the south of the existing concession building in a location that is less visible and less obtrusive than the original location. This new location will preserve the existing open space near the lake that is used extensively by park patrons. The spacing between the pump house and the concession building is appropriate, with a patio attachment between the two. The building relates to pedestrian paths within in the Aviary and Liberty Park, and will not be visible from either 700 East or 1300 South.

Finding: Staff finds that the proposed location of the pump house is appropriate for the rhythm of spacing in Liberty Park because it is in a location that is less visible to park patrons as well as to passing vehicles on 700 East and 1300 South. Staff further finds that the proposed location best preserves valuable open space in the Park while enabling the use of the pumps to provide irrigation water.

5.Subdivision Of Lots:

The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

Finding: This standard is not relevant since a subdivision of lots is not part of the proposed project.

Attachment A
Letter from Applicant

Liberty Lake – Pump House

Objective:

The purpose of the pump house at Liberty Park is to aesthetically shelter and provide secure access to the wet well, pumps, filter, and electrical gear, necessary for the irrigation system to utilize the Liberty Park Lake as its irrigation source.

The project will utilize the untreated water from Liberty Lake for landscape irrigation at the Park, and will conserve an average of 45 million gallons of treated water annually, which can be utilized by local homes and businesses, and save operational expenses for the Salt Lake City Parks Department.

The structure provides the following functions:

- 1) Safety and Code compliance – preventing accidental contact with irrigation and electrical equipment.
- 2) Future Maintenance - The building is designed to allow the removal of pumps through the roof for future maintenance and replacement.
- 3) Park Impact - The site has been chosen to minimize the impact to the park and no trees will be removed.
- 4) Inhibits Vandalism – The structure inhibits vandalism to the equipment and will have alarm protection.
- 5) Increased Equipment Life - The structure provides protection for the equipment from exposure to the elements, increasing the lifespan and lowering the cost of equipment maintenance.

The Pump House will contain the following equipment:

- 1) Wet well – Concrete vault which houses the two pumps.
- 2) Pumps – Pumps which directly supply water to the irrigation system. Inside wet well.
- 3) Filter System – The secondary level of filtration for the lake intake which filters out particles which may damage the irrigation system.
- 4) Electrical Equipment- Gear to support the above functions.

Two styles of the Pump House are being developed:

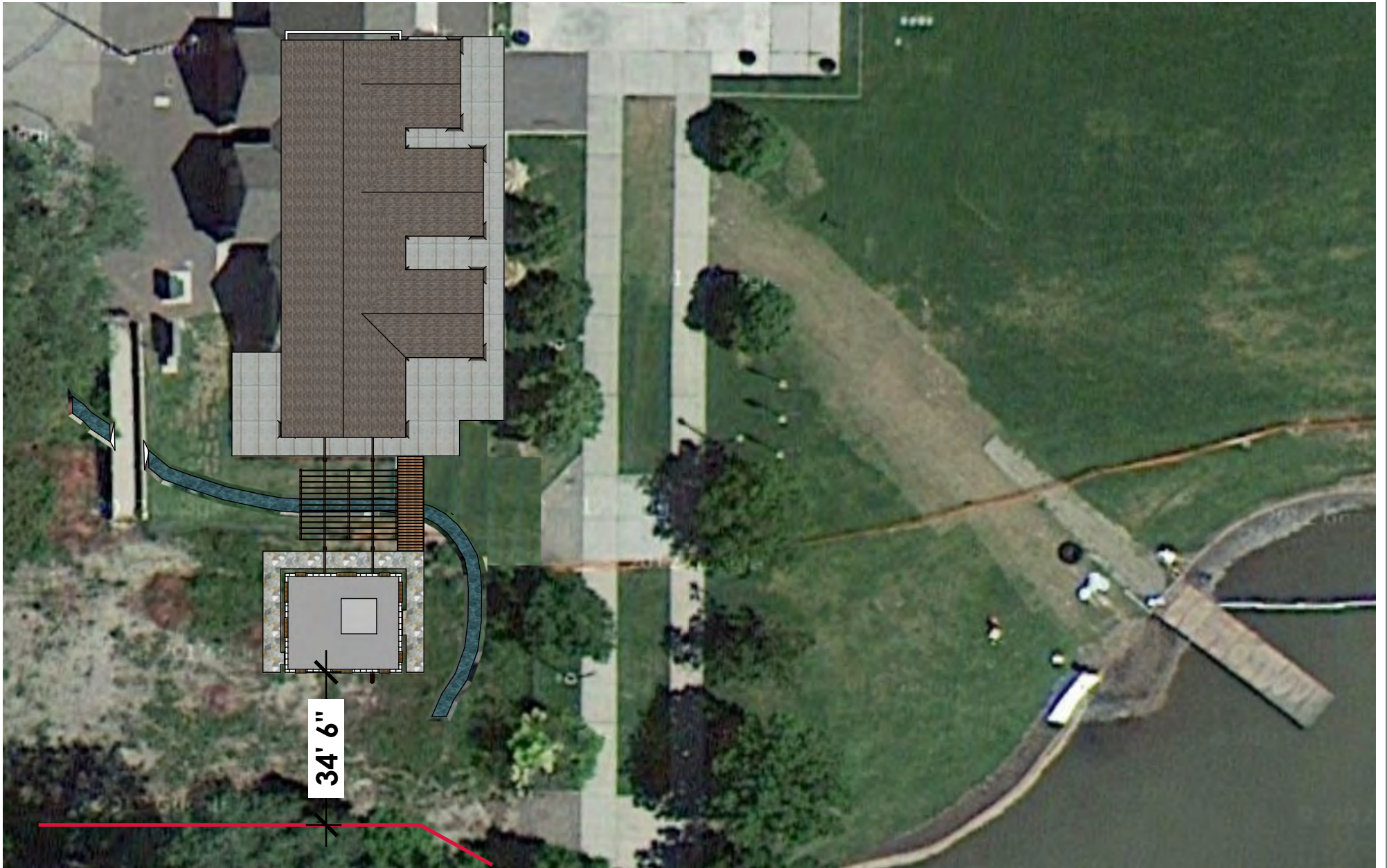
- 1) Green Walled Style – The walls of the structure would be constructed with the same materials as the concession style but would utilize a trellis panel system to hold a vertical garden. The panel system and vertical garden would be continued around all sides of the building to provide an aesthetic variation.
- 2) Concession Style – Incorporates many of the architectural finishes used in the concession building. The structure would be located to the south of the concession building. A trellis would be utilized to visually tie the two structures together while still providing natural sunlight in the space.

Attachment B
Site Plan and Elevations
Green Wall Design is Staff Recommendation



A CONCESSION STYLE OPTION

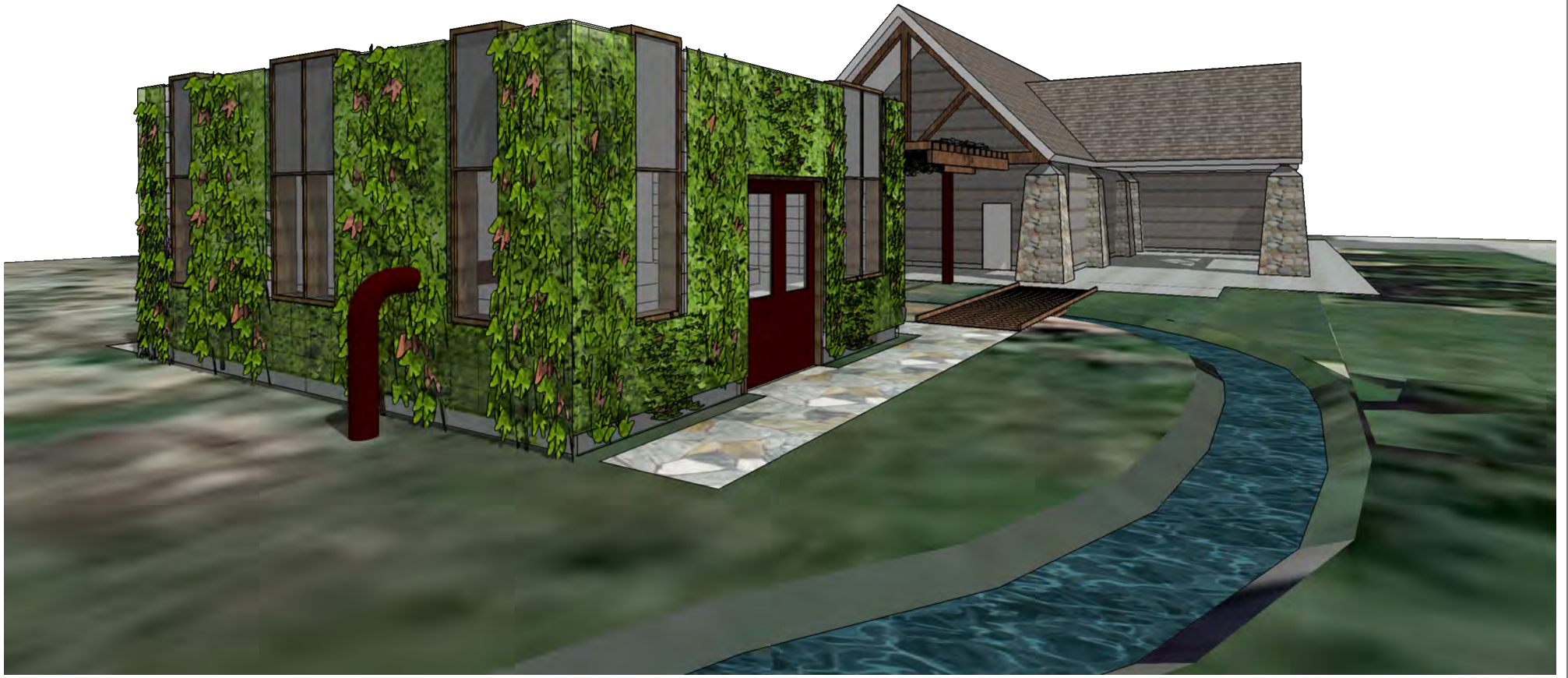
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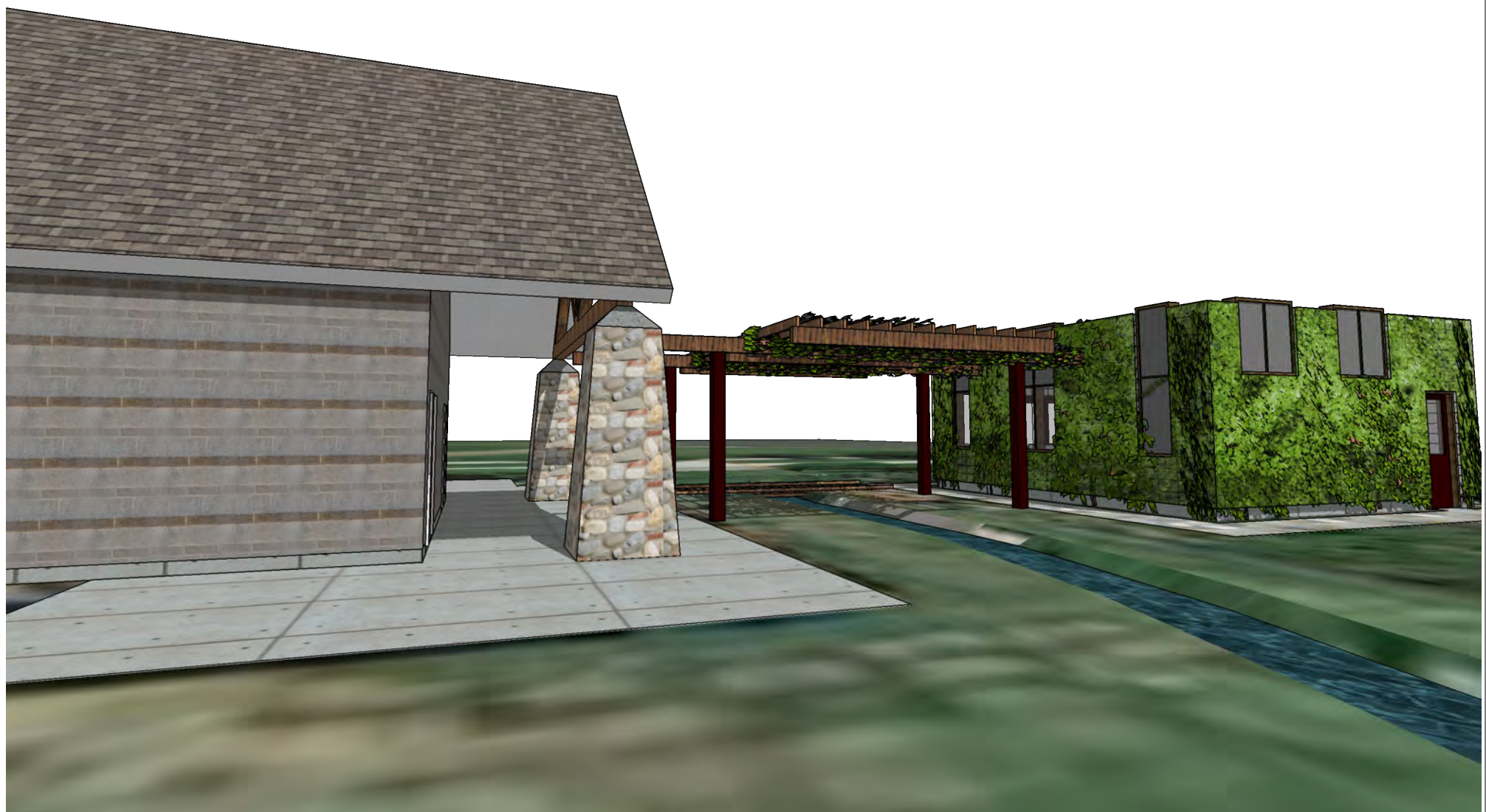
B GREEN WALLED OPTION

scale: 1"=30'

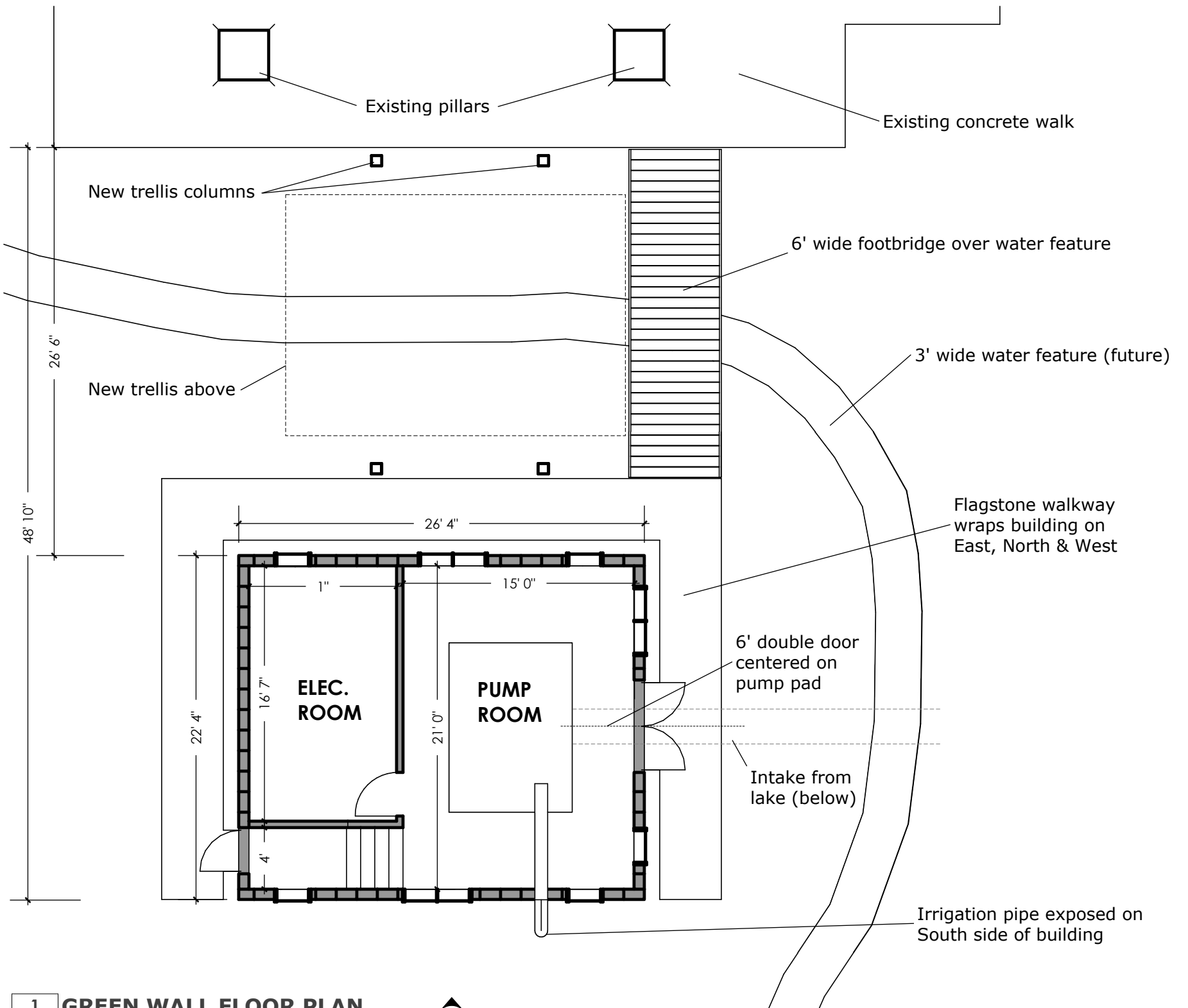




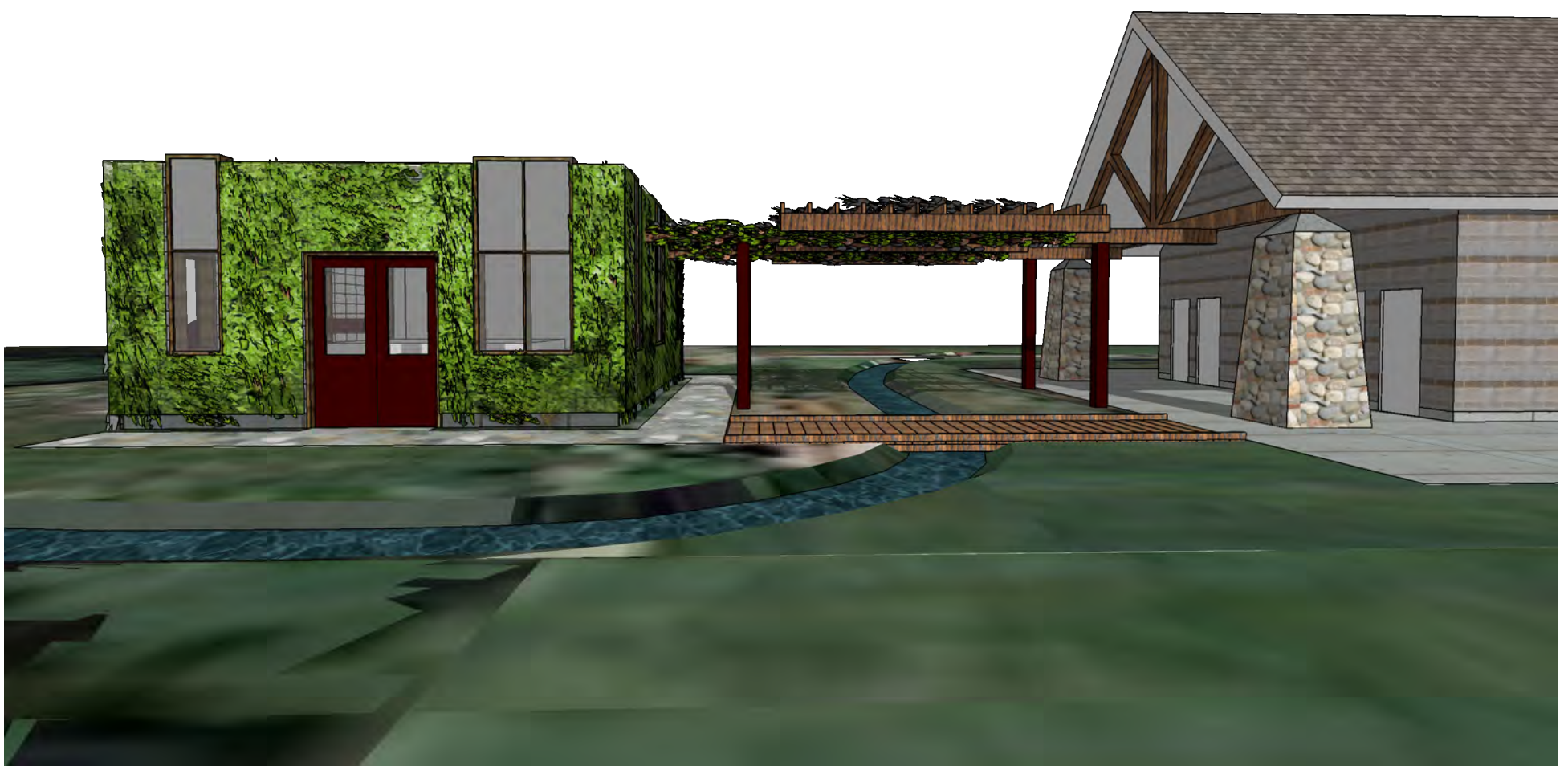
1 GREEN WALL - SOUTHEAST CORNER
 scale: n/a



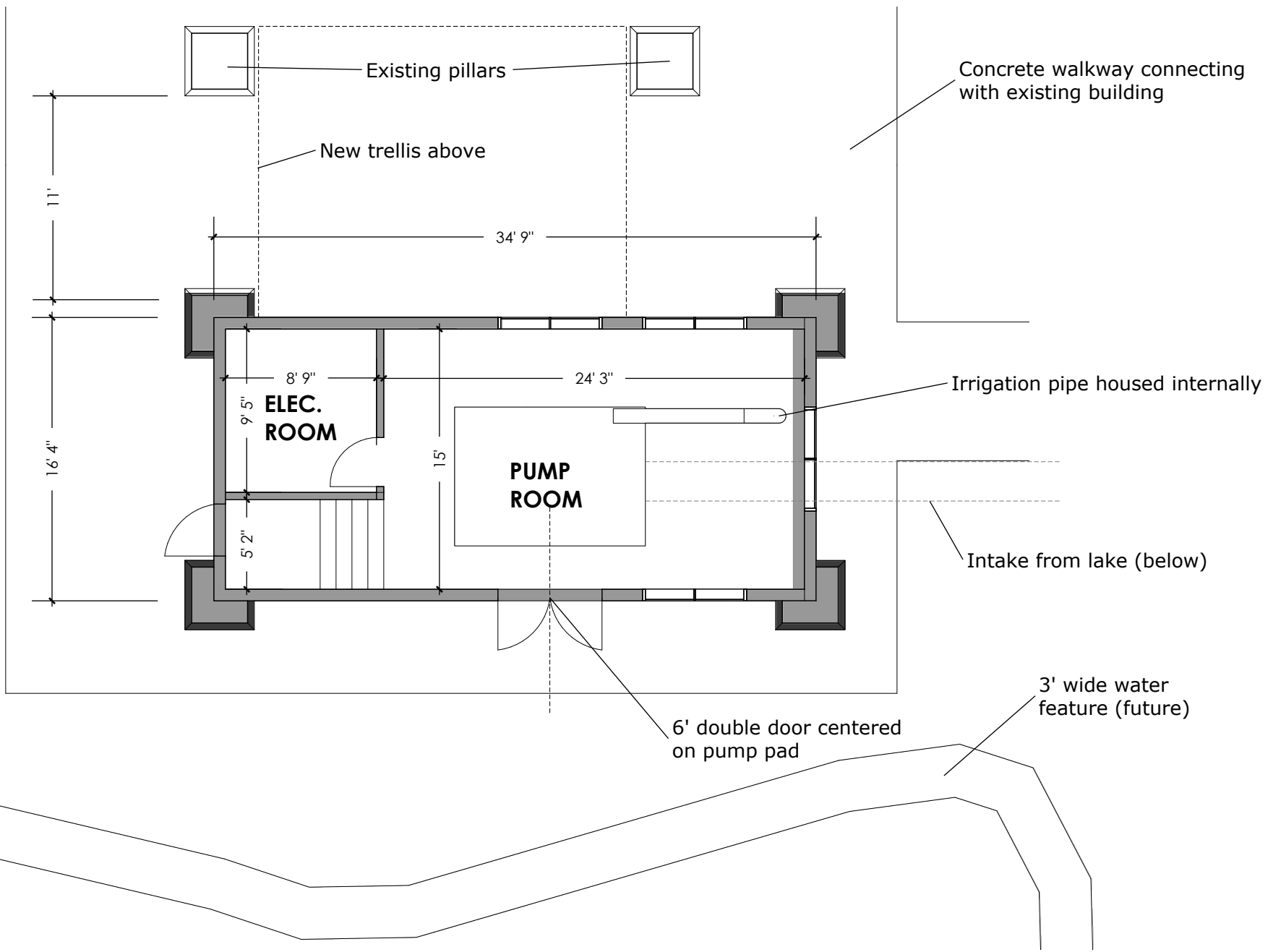
2 GREEN WALL STYLE - NORTHWEST CORNER
 scale: n/a



1 GREEN WALL FLOOR PLAN
 scale: 1/8"=1'



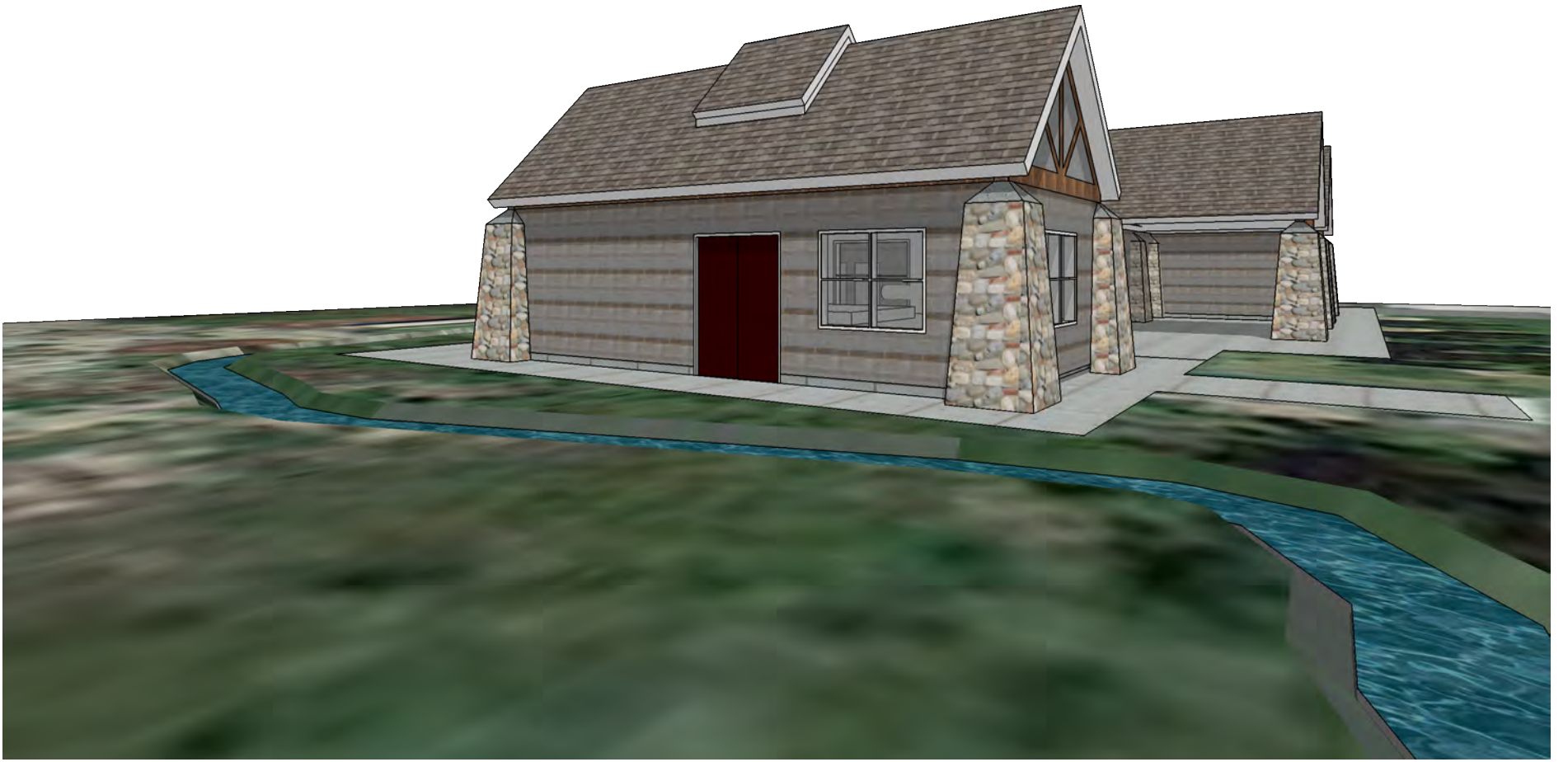
2 GREEN WALL EAST FACADE
 scale: n/a



1 CONCESSION STYLE FLOOR PLAN
 scale: 1/8"=1'



2 CONCESSION STYLE EAST FACADE
 scale: n/a



1 CONCESSION STYLE - SOUTHEAST CORNER
 scale: n/a



2 CONCESSION STYLE - NORTHWEST CORNER
 scale: n/a