

# HISTORIC LANDMARK COMMISSION STAFF REPORT



Planning and Zoning Division  
Department of Community  
and Economic Development

## Publik on Three and G Case Number: PLNHLC2013-00335 502 and 518 East Third Avenue July 18, 2013

**Applicant:** Warren Lloyd of  
Lloyd Architects

**Staff:** Maryann Pickering  
(801) 535-7660  
[maryann.pickering@slcgov.com](mailto:maryann.pickering@slcgov.com)

**Tax ID's:** 09-31-478-001 and  
09-31-478-007

**Current Zone:** CN  
(Neighborhood Commercial)  
and RMF-35 (Moderate Density  
Multi-Family Residential  
District)

**Master Plan Designation:**  
Medium Density 8-20 Units per  
Gross Acre

**Council District:** District 3 –  
Stan Penfold

**Lot Size:** Main lot – 4,764  
square feet and secondary lot –  
2,826 square feet for a total of  
7,590 square feet

**Current Use:** Former coffee  
shop now vacant

### **Applicable Land Use Regulations:**

- 21A.06.050(B)
- 21.34.020(F)
- 21.34.020(H)

### **Notification:**

- Notice mailed on July 3, 2013
- Sign posted on July 3, 2013
- Agenda posted on the  
Planning Division and Utah  
Public Meeting Notice  
websites July 3, 2012

### **Request**

A request by Warren Lloyd of Lloyd Architects for an addition of approximately 450 square feet to an existing commercial building location at approximately 502 East Third Avenue. The subject property is located in the CN (Neighborhood Commercial) and RMF-35 (Moderate Density Multi-family Residential) districts within the Avenues Historic District.

### **Staff Recommendation**

Based on the discussion and findings listed in this staff report, it is Planning Staff's opinion that the proposed addition meets applicable Zoning Ordinance Standards and related Design Guidelines, and recommends that the Historic Landmark Commission approve the alterations to the original structure with the following conditions:

1. The two lots shall be combined as one lot.
2. The project must meet all other applicable city requirements.
3. The approval will expire if a permit has not been taken out or an extension granted within 12 months of the date of approval.

### **Potential Motions**

**Consistent with Staff Recommendation:** Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Commission approve the request for a major alteration at 502 and 518 East Third Avenue subject to the conditions in the staff report. Specifically, the Commission finds that the proposed project complies with all of the review standards.

-or-

**Not Consistent with Staff Recommendation:** Based on the testimony and the proposal presented, I move that the Commission deny the request for a major alteration at 502 and 518 East Third Avenue based on the following findings (Commissioner then states findings based on the Standards to support the motion):

1. A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment;
2. The historic character of a property shall be retained and preserved. The removal

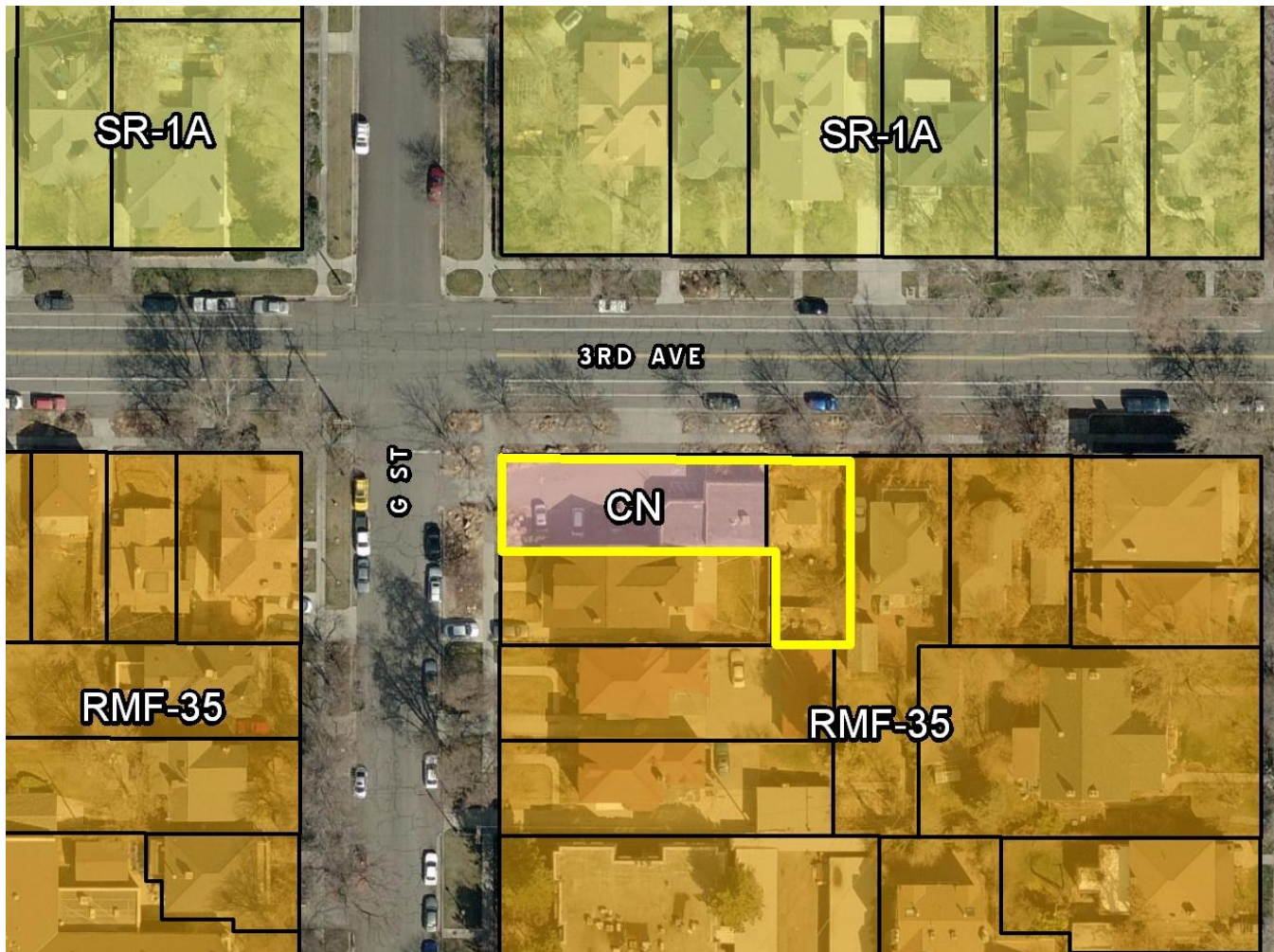
**Attachments:**

- A. Site Plan and Elevations
- B. Additional Applicant Information
- C. Photographs

of historic materials or alteration of features and spaces that characterize a property shall be avoided;

- 3. All sites, structures and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed;
- 4. Alterations or additions that have acquired historic significance in their own right shall be retained and preserved;
- 5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved;
- 6. Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects;
- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;
- 8. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment;
- 9. Additions or alterations to structures and objects shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment;
- 10. Certain building materials are prohibited including the following:
  - a. Aluminum, asbestos, or vinyl cladding when applied directly to an original or historic material.
- 11. Any new sign and any change in the appearance of any existing sign located on a landmark site or within the H historic preservation overlay district, which is visible from any public way or open space shall be consistent with the historic character of the landmark site or H historic preservation overlay district and shall comply with the standards outlined in chapter 21A.46 of this title.

## VICINITY MAP



### **Background**

#### **Project Information**

The proposed project is located within the Avenues Historic District. There are two rectangular parcels that make up the site for the proposed project. The larger parcel (502 E. Third Ave.) is located on the corner of Third Avenue and G Street is zoned CN (Neighborhood Commercial) and has approximately 115 feet of frontage along Third Avenue and approximately 41 feet along G Street. The total size of this lot is approximately 4,764 square feet. The other lot (518 E. Third Ave.) is located adjacent to and east of 502 E. fronting on Third Avenue and is zoned RMF-35 (Moderate Density Multi-Family Residential District). This lot is approximately 35 feet wide by 82 feet deep with a total size of approximately 2,826 square feet. The total square footage for both lots is approximately 7,590 square feet.

The existing commercial building is located predominantly on the lot at 502 E. but does straddle the property line and encroaches onto the lot at 518 E. A previous Board of Adjustment case confirmed the non-conforming right of the commercial encroachment onto the residentially zoned lot at 518 E. Third Avenue. With that decision and the provisions of the non-conforming use chapter of the Zoning

Ordinance, the proposed addition to the commercial building may be constructed on the residentially zoned lot.

The proposed addition is located on the parcel that is zoned RMF-35. Therefore, the addition will need to comply with the RMF-35 development standards. The addition will add approximately 450 square feet to the existing building. Within the addition, the applicant is proposing to add a small kitchen and office. In addition to the building, there will be outdoor dining added place north of the addition along Third Avenue.

The existing building is a small commercial building constructed with painted brick. The proposed addition will be set back from the main street face of the existing building, similar to the west portion of the building. The height, window proportions, number of windows and cornice height of the existing building would also be reflected in the proposed addition. The contemporary exterior finishes of the new addition contrast and complement the existing building. The foundation of the additions will be gray concrete. A majority of the exterior of the addition will be clad in reclaimed weathered wood. The weathered cedar siding will be a light grey in color. It will be mitered at the corners to mimic wrapping of the brick on the existing building. The aluminum clad windows on the addition will be framed with a weathering steel plate. All new windows and doors on the addition will be aluminum clad wood in either dark bronze or black. The proposed trellis is cedar with steel connection plates.

### Project Details

The following table is a summary of the RMF-35 Zoning Ordinance requirements:

Regulation	Zone Standard	Proposal
Use	Primarily residential uses	<b>Complies:</b> The proposed use is not allowed in the zoning district. However, this use is a nonconforming use. The previous use was a coffee shop and therefore, a new coffee shop use is permitted.
Lot Coverage	Maximum 60%	<b>Complies:</b> 22% proposed.
Height	35 feet	<b>Complies:</b> Proposed height is less than 14 feet.
Front Yard Setback	20 feet. For buildings legally existing on April 12, 1995, the required yard shall be no greater than the established setback line of the existing building	<b>Complies:</b> The proposed addition is approximately 25 feet from the property line.
Corner Side Yard Setback	10 feet	<b>N/A:</b> There is no corner side yard on the property being developed.
Rear Yard Setback	25% of the lot depth, but no less than 20 feet and not to exceed 25 feet	<b>Complies:</b> The proposed rear yard setback is 30 feet.
Side Yard Setback	10 feet on each side	<b>Complies:</b> Both side yard setbacks are 10 feet.

Minimum Lot Size	5,000 square feet minimum	<b>Will Comply:</b> If the two lots are combined, the minimum size is 7,590. A condition is included to combine the lots.
Minimum Lot Width	50 feet	<b>Complies:</b> The frontage on G Street is less than 50 feet but is considered to be legal non-complying.
Required Parking	2 per 1,000 square feet of building floor area and 3 spaces per 1,000 square feet of outdoor patio	<b>Complies:</b> The addition meets the parking requirements.

**Discussion:** The project complies with the minimum requirements for development. The lot is a legal non-complying lot and the use is a legal non-conforming use. The addition meets the minimum setback standards for the zoning district, except where the property line bisects the existing building. Staff has included a condition of approval requiring that the two lots be combined which therefore, makes the addition comply with the interior side yard requirement.

**Comments**

**Public Comments**

There have been no comments received regarding the proposed project at the time of this writing.

**City Comments**

Comments have been received by various city divisions. However, there are no comments that cannot be adequately addressed if this application was approved.

**Standards of Review**

The standards of review for a certificate of appropriateness are set forth in Section 21A.34.020 of the Salt Lake City Zoning Ordinance. The standards are as follows:

**G. Standards For Certificate Of Appropriateness For Alteration Of A Landmark Site Or Contributing Structure Including New Construction Of An Accessory Structure:**

In considering an application for a certificate of appropriateness for alteration of a landmark site or contributing structure, the historic landmark commission, or the planning director, for administrative decisions, shall find that the project substantially complies with all of the following general standards that pertain to the application and that the decision is in the best interest of the city:

- 1. A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment;**

**Analysis and Finding:** The use of the structure will remain as a commercial business. The building was first used as a service station and has remained a commercial use. The proposed use of a coffee shop is the same use as the last tenant of the building. The

proposed project meets this standard.

**2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;**

*Design Guidelines for Historic Commercial Properties & Districts in Salt Lake City*

8.2 *The overall design of the addition should be in keeping with the character of the historic building and not detract from its historic integrity.*

- The addition should be compatible with the original building in scale, proportion and rhythm.
- The design of the addition should be distinguishable from the historic building.
- Subtle differences in materials or detailing can help differentiate new from original portions of the building.

8.3 *An addition should not obscure or damage significant architectural features.*

- Loss or alteration of cornices, architectural details, and other important features should be avoided.
- A new addition should cause minimal damage to significant materials.
- An addition should minimize the overall loss of historic walls and roofs.

**Analysis and Finding:** The proposed addition has been designed in a way that meets this standard. The proposed addition is compatible with the original building in scale, proportion and rhythm. The proposed materials for the addition make it distinguishable from the original building. No architectural details or other important features of the building or site will be lost. A small portion around the new addition may be affected, but the impact will be minimal.

**3. All sites, structures and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed;**

8.4 Consider materials that are similar to the historic materials of the primary building for a new addition.

- Brick, stone and wood are the predominant materials in the districts and their use in new construction is preferred.
- Use building materials that are similar in their dimensions to historic units.
- New materials may be considered if they are a quality material that conveys a sense of scale similar to that seen in historic materials.

**Analysis and Finding:** The proposed materials are compatible with those found on the original building but provide some contrast allowing the addition to be distinguishable from the original building. The contemporary use and composition of materials allow the addition to be recognized as a product of their own time.

4. **Alterations or additions that have acquired historic significance in their own right shall be retained and preserved;**

**Analysis and Finding:** The proposal does not affect alterations and additions that have acquired historic significance.

5. **Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved;**

- 1.1 Historically significant site features should be preserved and maintained.
  - This can include original site features such as fencing, retaining walls and driveways.
  - Grading profiles and designs in front of commercial buildings should be retained where they are a historic characteristic.
  - Repair masonry retaining walls, walkways and drive strips using compatible mortar mixes and materials.

**Analysis and Finding:** The wrought iron fence currently running parallel with the north wall of the original building will be relocated to the north property line. The location of the fence will help delineate the transition from public to private space.

6. **Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects;**

**Analysis and Finding:** There are no deteriorated or missing features on the original structure that are proposed to be modified. Therefore, the proposal does not impact any historic architectural features.

7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;**

**Analysis and Finding:** The proposal does not impact the matters addressed by this standard as no portion of the original building is proposed to be modified.

8. **Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment;**

- 8.1 A new addition should be situated and designed to preserve the established massing and orientation of the historic building.
- For example, if the building historically has a horizontal emphasis, this should be reflected in the addition.
- 8.4 Consider materials that are similar to the historic materials of the primary building for a new addition.
- Brick, stone and wood are the predominant materials in the districts and their use in new construction is preferred.
  - Use building materials that are similar in their dimensions to historic units.
  - New materials may be considered if they are a quality material that conveys a sense of scale similar to that seen in historic materials.
- 8.5 The addition should be physically and visually subordinate to the historic building and compatible with the scale of the historic building.
- Locating an addition at the front of a building is usually inappropriate.
  - An addition should be sited to the rear of a building or set back from the front wall plane to allow the original proportions and character of the historic building to remain prominent.
  - Rear additions should not be prominently visible from the street.
  - If it is necessary to install a lateral addition, set it apart from the historic building and use a “connector” to link it.

**Analysis and Finding:** The proposed materials are compatible with those found on the original building but provide some contrast allowing the addition to be distinguishable from the original building. The contemporary use and composition of materials allow the addition to be recognized as a product of their own time. The proposed addition is setback from the front façade of the original building allowing the original proportions and character of the historic building remain prominent.

- 9. Additions or alterations to structures and objects shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment;**

*Design Guidelines for Historic Commercial Properties & Districts in Salt Lake City*

- 8.2 *The overall design of the addition should be in keeping with the character of the historic building and not detract from its historic integrity.*
- The addition should be compatible with the original building in scale, proportion and rhythm.
  - The design of the addition should be distinguishable from the historic building.
  - Subtle differences in materials or detailing can help differentiate new from original portions of the building.



8.4 *Consider materials that are similar to the historic materials of the primary building for a new addition.*

- Brick, stone and wood are the predominant materials in the districts and their use in new construction is preferred.
- Use building materials that are similar in their dimensions to historic units.

**Analysis and Finding:** The proposed addition to the historic features of this site can be removed in the future without impairing the form and integrity of the building. The new work is differentiated by a different material and is compatible with the massing, size, scale and architectural features.

**10. Certain building materials are prohibited including the following:**

- a. **Aluminum, asbestos, or vinyl cladding when applied directly to an original or historic material.**

**Analysis and Finding:** No prohibited materials are proposed for this project.

**11. Any new sign and any change in the appearance of any existing sign located on a landmark site or within the H historic preservation overlay district, which is visible from any public way or open space shall be consistent with the historic character of the landmark site or H historic preservation overlay district and shall comply with the standards outlined in chapter 21A.46 of this title.**

**Analysis and Finding:** The details of any proposed signs have not been provided at this time. Any proposed signs will require a Certificate of Appropriateness and can be reviewed at a staff level. Staff would ensure that any proposed sign meets the standard above.

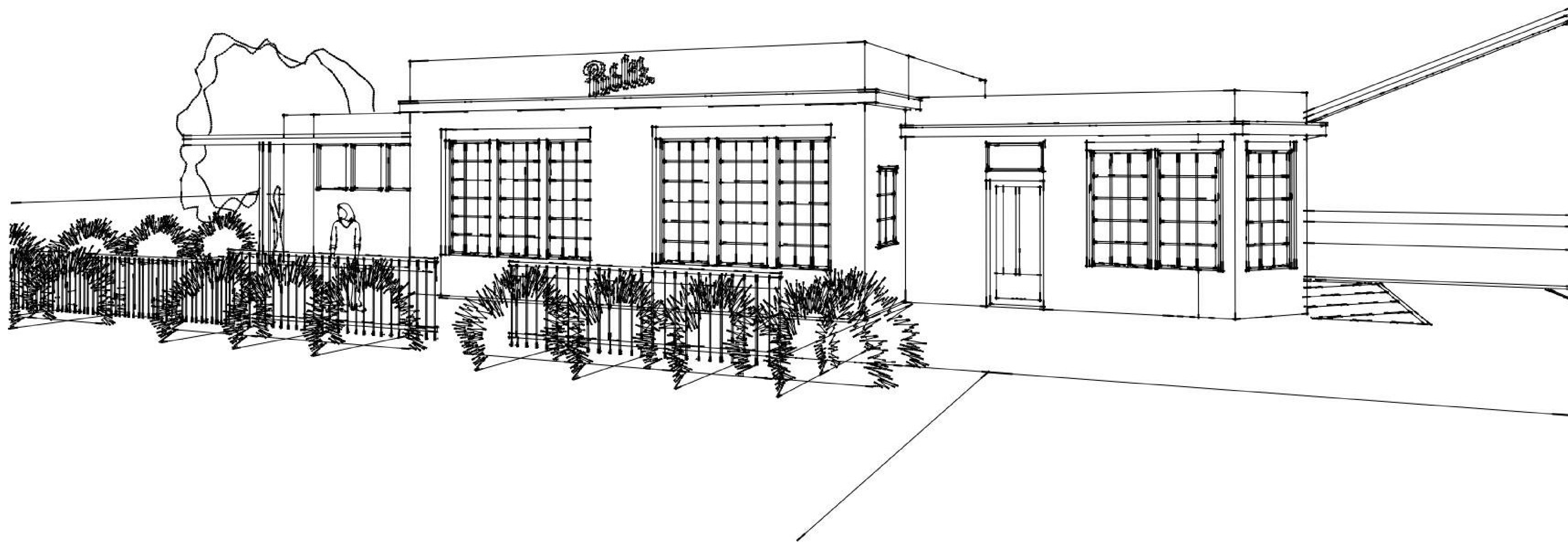
**Exhibit A  
Proposed Plans**

# THE PUBLIK ADDITION

502 EAST THIRD AVENUE, SALT LAKE CITY, UTAH

Lloyd Architects  
 573 EAST 600 SOUTH 6211 ROOSEVELT WAY NE  
 SALT LAKE CITY, UT 84102 SEATTLE, WA 98115  
 801.328.3245 LLOYD-ARCH.COM

## PROJECT IMAGE



## SHEET INDEX

<u>GENERAL</u>	
A001	COVER SHEET
A002	GENERAL NOTES
A003	CODE ANALYSIS
A004	ADA NOTES AND DETAILS
<u>SITE</u>	
AS101	EXISTING SITE PLAN
AS102	SITE PLAN
<u>EXISTING/DEMO</u>	
AD101	MAIN FLOOR DEMO PLAN
<u>ARCHITECTURAL</u>	
A101	MAIN FLOOR PLAN
A102	ROOF PLAN
A201	BUILDING ELEVATIONS
A202	BUILDING ELEVATIONS
A801	MAIN FLOOR REFLECTED CEILING PLAN
<u>MECHANICAL</u>	
AP101	MAIN MECHANICAL/PLUMBING PLAN
AP102	ROOF MECHANICAL/PLUMBING PLAN
<u>STRUCTURAL</u>	
S-001	STRUCTURAL NOTES
S-101	STRUCTURAL PLAN
S-201	STRUCTURAL DETAILS

# THE PUBLIK ADDITION

502 E. THIRD AVENUE

SEAL

DATE

07/05/13

REVISIONS

-

## PROJECT TEAM

### OWNER

AMAZING GRACE  
 MISSY GREIS & MATT BOURGEOIS

### ARCHITECT

LLOYD ARCHITECTS  
 WARREN LLOYD  
 573 EAST 600 SOUTH  
 SALT LAKE CITY, UT 84102  
 P: 801.328.3245

### CONTRACTOR:

EVERGREEN CONSTRUCTION  
 571 EAST 600 SOUTH  
 SALT LAKE CITY, UT 84102  
 P: 801.598.3320  
 F: 801.649.5920

### STRUCTURAL ENGINEER

-

### ELECTRICAL ENGINEER:

HUNT ELECTRIC  
 BRAD BUNNELL  
 1863 W. ALEXANDER ST.  
 SALT LAKE CITY, UT 84119  
 P.801.975.8844

### CIVIL ENGINEER:

ENSGN ENGINEERING  
 45 W. 10000 S., SUITE 500  
 SANDY, UT 84070  
 P. 801.255.0529  
 F. 801.2554449

CONTACT THE UTAH DIVISION OF AIR  
 QUALITY AND BLUESTAKES OF UTAH BEFORE  
 ANY WORK.

AIR QUALITY: 801.536.4000  
 BLUESTAKES: 801.208.2100

SHEET TITLE

COVER SHEET

SHEET NO.

A000

IF THIS SHEET IS LESS THAN 24" X 36" IT IS A REDUCED PRINT. SCALE REDUCED ACCORDINGLY

**GENERAL CONSTRUCTION**

- These plan shall be designed and reviewed under 2012 IBC.
- The contractor shall be responsible for obtaining all permits required for construction by the permitting authorities having jurisdiction.
- The contractor shall carefully read, study, and understand all plans and specifications for trades. Coordination between trades will be necessary and the responsibility of the contractor, any questions that arise shall be clarified by the architect prior to construction.
- Drawings are not to be scaled. Dimensional discrepancies are to be clarified with the architect before proceeding with construction.
- The contractor shall verify existing power, water, data cable and other utilities prior to excavation. Contact blue-stakes or authorities having jurisdiction prior to any excavation.
- The contractor shall notify the designer of discrepancies in the documents, and of any field conditions that deviate from the documents.
- The architects approval must be obtained for any deviations from the construction documents, including but not limited to changes in dimensions, design, materials, products, and finishes. In no case may the contractor make these changes without the approval of the architect.
- Shop drawings and other submittals are to be submitted for approval by the architect with sufficient time for review prior to execution of work. Submittals must conform to the requirements indicated on construction documents, structural notes, and specifications.
- See door and window schedule for sizes, types, and finishes.
- All construction shall conform to and strictly comply with all applicable codes, covenants, restrictions, and Salt Lake City building standards.
- In no event shall the contractor substitute a standard construction detail for a detail specified in these documents. The contractor shall bring all work into conformity with the construction documents, as the designer orders, before approval of that construction will be granted.
- The contractor is to verify all dimensions, datum & levels prior to construction. Exterior walls are dimensioned from face of concrete unless otherwise noted. Exterior wall studs at heated spaces shall be 2x6 except as noted. All other wall studs shall be 2x4 except where noted otherwise on construction documents.
- Glazing in locations subject to human impact such as panes in doors, glazing within 12" of door opening, glazing within 18" of floor, and shower doors shall be tempered or laminated safety glass as per 2009 IBC.
- Provide and install smoke detectors as per 2009 IBC.
- Provide attic access, minimum 22" x 30" with minimum 30" headroom at unobstructed readily accessible opening as per 2009 IBC.
- Building shall comply with Utah State Energy Code. The contractor is to seal and caulk all cracks to prevent air infiltration. The contractor shall insulate the walls to R-19, ceilings to R-38, and floors over unheated spaces to R-38 unless otherwise noted.
- These drawings are the exclusive property of Lloyd Architects and may be reproduced only with the written permission of the architect. Authorized reproductions must bear the name of the architect.

**CONSTRUCTION**

- EMERGENCY ESCAPE AND RESCUE OPENINGS: NOT APPLICABLE.
- EXIT DOORS AND HALLWAYS: one 3'-0" x 6'-8" door required, 36 inch min. width in hallways.
- LANDINGS AT DOORS AND STAIRWAYS: 36" min. out from door and door width minimum.
- RAMPS, SLOPES AND RAILS: NOT USED.
- STAIRWAYS: 36" width minimum, TREADS AND RISERS: 7" rise and 11" tread minimum, HEADROOM: 6'- 8" minimum, UNDER STAIR PROTECTION: 5/8" GWB, HANDRAILS: required with (2) or more risers, 34" to 38" in height and 1 1/4 to 2 5/8" in diameter if circular. Exception for existing stair.
- GUARDRAILS (GUARDS): required at floors over 30" above grade, 42" min. height, a 4" sphere shall not pass through with design as to eliminate ladder effect.
- LUMBER PROTECTION AGAINST DECAY: Provide treated plate on concrete slab less than 8" above exposed ground and framing and siding less than 6" from the ground. All lumber in contact with concrete, earth, or within 18" of finish grade shall be pressure treated. Pressure treat above ground items with water-borne preservatives complying with AWPB LP-2. Wood members in contact with ground shall be pressure treated with water-borne preservative complying AWPB LP-22.
- WOOD COLUMNS: required to be 1" above the floor or finish grade. See structural for connection to foundation or slab.
- MINIMUM AREA DIMENSIONS AND HEIGHTS: see sheets A1.1 and A1.2 for all room sizes.
- INTERIOR MOISTURE VAPOR RETARDERS: on "warm-in-winter" side of wall.

**WALL CONSTRUCTION**

- INTERIOR WALL COVERINGS: 5/8" GWB. Green Gyp. board to be limited to for no direct contact to moisture. Attached with screws as per industry standard, or alternate installation using adhesive and reduced screws as per industry standard.
- EXTERIOR WALL COVERINGS AND WEATHER BARRIERS: 15# felt paper or approved equal.
- STRUCTURAL COLUMNS: see structural sheets for all column sizes and locations.
- MID-HEIGHT BRIDGING: in unfinished walls
- BRACED WALL LINES AND PANELS: see structural notes. Minimum requirement are to provide within 12'-6" of wall corner, at 4'-0" in length for plywood w/ nailing @ 6" O.C. @ edges and 12" O.C. in field, at 8'-0" for GWB w/ screws @ 7" O.C. @ edges and field.

**FLOOR CONSTRUCTION**

- FLOOR JOISTS: double joists under bearing partitions and blocking shall be installed at bearing walls.
- DRAFT-STOPPING: shall be installed in all concealed spaces over 1,000 sq ft.
- FIREBLOCKING: shall be installed in all concealed spaces at 10'-0" O.C.
- SUBFLOOR SHEATHING: see structural sheets for all floor sheathing callouts, use 3/4" thick tongue & groove osb @ 24" O.C.
- FLOOR JOISTS SUPPORTING BEARING PARTITIONS OFFSETS: offset minimum floor joist depth.
- EXPOSED LAMINATED TIMBERS: ATIC Rated Architectural grade Glu-laminated Timbers: See structural sheets for sizes and locations. not applicable

**ROOF CONSTRUCTION**

- ROOF FRAMING: see structural sheets pre-engineered truss type and layout. Submit shop drawings to architect/engineer for approval.
- ATTIC VENTILATION: Provide a 1 to 150 sq.ft. (or 1 to 300 if 50% is in soffit and 50-80% located more than 3'0" above soffits) of the attic area in ventilation. Provide insulation baffles to insure air flow through space. Cut or drill holes in truss blocking for vent air passage from soffit vents.
- ROOF SLOPES and DRAINAGE: felt paper, 1/4" per foot minimum. provide "ice and water shield" at all valleys U.N.O.
- ICE DAM PROTECTION: "ice and water shield" at eaves to 36" inside the wall plane of the building
- CHIMNEY TERMINATION: chimney shall be 2'-0" higher than any portion of building within 10'-0", 3'-0" tall minimum.

**MASONRY**

- MASONRY VENEERS, AND TIES: see structural sheets, provide minimum brick ties at 16 inches on center in either direction, with horizontal 9 gage wire mechanically attached to ties (if applicable)
- LINTELS: see structural drawings for lintel sizes and locations. SHEARWALLS & HOLDDOWN SCHEDULE: see structural sheets

**MECHANICAL**

- GAS FIREPLACE: N/A
- FIREPLACE HEARTH: N/A
- Energy Analysis: N/A
- CENTRAL FURNACE, CLEARANCE, ACCESS, PLATFORM, LIGHT: provide 3" side and rear of platform, space is 12 inches wider than furnace, 6 inches in front if door or 30 inches in front, 30 x 30 inch access platform with light for servicing
- BTU SIZES OF WATER HEATERS, FURNACES: see mechanical drawings for all mechanical sizing
- COMBUSTION AIR: provide duct or opening within 12 inches of ceiling and size of 1 sq inch for every 3000 btu/h.
- ELEVATION OF COMBUSTION SOURCE OF APPLIANCES: see floor plans for floor heights.
- APPLIANCE PROTECTION FROM IMPACT: N/A
- CONDENSATE DISPOSAL: provide an indirect drain, secondary condensate if located in attic or on wood floor (to be trap seal primer type)
- GAS LINE SCHEMATIC: see MECH sheets.

- WATER HEATERS, LOCATIONS, EXPANSION TANKS, AND PRESSURE RELIEF VALVES: can not be located in closets or bathrooms. If located within sealed enclosures provide combustion air vent. Direct-vent water heaters. Installation shall conform to all local codes, ordinances and regulations pertaining to this work. Manifold and thermostat locations to be approved by the Architect. Provide trap seal primer type drain at water heaters. Gas fired water to have greater than 90% thermal efficiency.

- WATER HEATER ANCHORAGE, FLOOR DRAIN, AND PANS FOR DRAINAGE: provide seismic strap to top third and bottom third of water heater. Provide an indirect drain for water heaters. Provide pan for water heaters on wood floors.

- CLOTHES DRYER EXHAUST: n/a

- EXHAUST VENT TERMINATIONS: 4'-0" below or beside and 1'-0" above doors or windows, 12" above grade

- HEATING: new construction to have a gas fired forced air furnace with roof top condensing unit. Heating facility to maintain 68 degrees.

**PLUMBING**

- WATER PIPING: shall be 200 PSI poly for underground locations. PEX piping for interior locations. Pex manifold use on interior locations.
- WASTE AND VENT PIPING: shall be ABS or PVC fittings above ground as approved by local sanitation and health department; subject to code restrictions.
- HOSE CONNECTION BACKFLOW PREVENTER: provide at all exterior hose bib locations.
- FLOOR DRAINS: Trap seal primer required in mechanical rooms.
- Water piping to have 1 1/2" insulation with vapor barrier wrap. To be located in joist space.

**ELECTRICAL**

- ELECTRICAL SERVICE PANEL LOCATION: shall not be located in bathrooms or firewalls, provide 30" clearance side to side and 36" clearance in front. Provide a minimum of 6'-6" in height.
- RECEPTACLE OUTLETS: see electrical drawings for all outlet locations. Electrical sub-contractor to walk through project with owner to verify all electrical fixture locations prior to commencing work. Follow all local electrical codes.
- ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION: provide in bedrooms.
- GFCI PROTECTION: see electrical sheets for all locations. Provide in bathrooms and jetted tub motors, garage, outdoor, crawlspace, kitchen counters, kitchen islands, and wet-bar.
- LIGHTING WALL SWITCHES: see electrical drawings for all switch locations. Electrical sub-contractor to walk through project with owner to verify all electrical fixture locations prior to commencing work. Follow all local electrical codes.
- RECEPTACLES AND LIGHTING IN DAMP AND WET LOCATIONS: provide weatherproof covers for outlets, lighting to be listed for wet or damp locations.
- LIGHT FIXTURES IN CLOSETS: incandescent fixtures 12" minimum to storage, fluorescent fixtures 6" minimum to storage
- SUPPORT OF CEILING FANS: as per manufacturer's recommendations.
- ELECTRICAL: all wiring to be in accordance with the National Electrical Code and applicable local codes. Locate main panel and meter where indicated on the Drawings. Provide underground power connection from source to main panel.80.
- SMOKE DETECTORS: SMOKE DETECTORS: As required locate (1) inside each office space, in corridors outside office space, and on each level. All smoke detectors to be wired in series.
- CO2 DETECTORS: Locate (1) on each level

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THE PUBLIK ADDITION  
 502 E. THIRD AVENUE

SEAL
DATE 07/05/13
REVISIONS -
SHEET TITLE GENERAL NOTES
SHEET NO. A001

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## BUILDING CODE SUMMARY

LEVEL	MAIN FLOOR
OCCUPANCY	A-2
CONSTRUCTION TYPE	TYPE VB
ALLOWABLE FLOOR AREA (IBC TABLE 503, 504.2 509.2)	6,000 S.F.
PROPOSED GROSS FLOOR AREA (S.F.)	1,682
MAXIMUM AREA OF UNPROTECTED EXTERIOR WALL OPENINGS (IBC TABLE 705.8)	15%
FIRE SPRINKLER SYSTEM	N/A

## ZONING REQUIREMENTS

ZONE: CN/RMF-35

TOTAL LOT AREA: 4,792+ 2,613= 7,405 S.F.  
 GROSS BUILDING AREA: 1,682 S.F.  
 TOTAL LOT COVERAGE: 22%

SETBACKS:

FRONT- EXISTING 12'-5", 15'-0" FOR CN, 20'-0" FOR RMF-35  
 SIDE- 10'-0"  
 REAR- 10'0"

## PLUMBING FIXTURES (IBC 2902.1.1)

**MAIN FLOOR** 1. RESTAURANT DINING = 1177SQ.FT./15 NET = 78.5 OCCUPANTS  
 78.5/2/75 OCC. PER W.C. = .5 WATER CLOSETS PER M & F  
 78.5/2/200 OCC. PER LAV. = .19 LAVATORIES PER M & F  
 78.5/1/500 OCC PER D.F. = .15 DRINKING FOUNTAINS

2. COMMERCIAL KITCHEN = 505SQ.FT./200 = 2.5 OCCUPANTS  
 2.5/2/75 OCC. PER W.C. = .01 EA. WATER CLOSETS PER M & F  
 2.5/2/200 OCC. PER LAV. = .006 LAVATORIES PER M & F  
 2.5/1/500 OCC PER D.F. = .005 DRINKING FOUNTAINS

### TOTAL PLUMBING FIXTURES PROVIDED - FLOOR 1

1 = (1) WATER CLOSETS & (1) URINAL MALE  
 1 = (1) WATER CLOSETS FEMALE  
 .012 = (1) LAVATORIES MALE & (1) LAVATORIES FEMALE  
 .005 = (1) DRINKING FOUNTAINS  
 (1) SERVICE SINK

(SEE A003 FOR ADA INFORMATION)

## APPLICABLE CODE AND ZONING

ZONING	SLC
BUILDING CODE	2011 NEC 2009 IPC 2009 IMC 2009 IECC 2009 IFGC 2012 IBC

## EGRESS NOTES

EXIT TRAVEL DISTANCE A-2 OCCUPANCE MAXIMUM EXIT ACCESS TRAVEL DISTANCE= 200FT (TABLE 1016.1 W/O FIRE SPRINKLERS)

EXIT WIDTH 44" MIN (1018.2)

## PARKING REQUIREMENTS

ZONE: CN/RMF-35

TOTAL BUILDING AREA: 1,682 S.F.  
 REQUIRED PARKING: NONE REQUIRED FOR BUILDINGS LESS THAN 2,500 S.F. IN PEDESTRIAN FRIENDLY AREA. 21A.44.030M

# THE PUBLIK ADDITION

502 E. THIRD AVENUE

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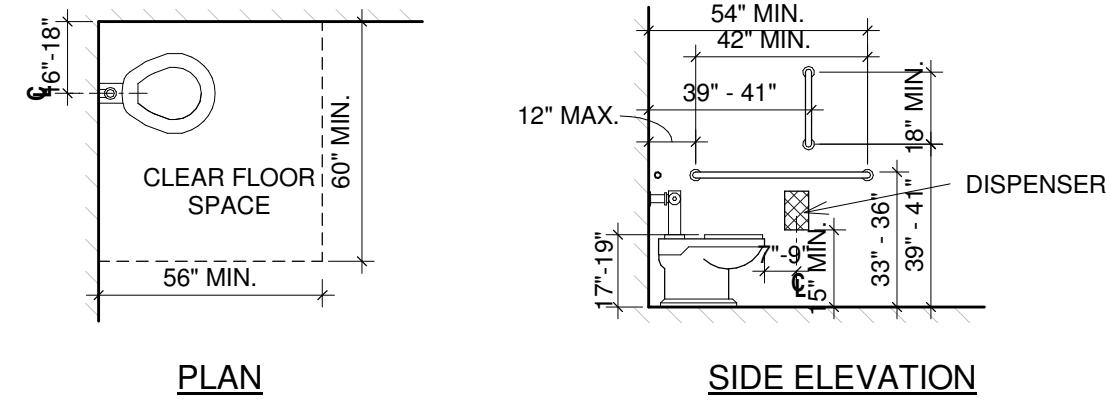
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SHEET TITLE

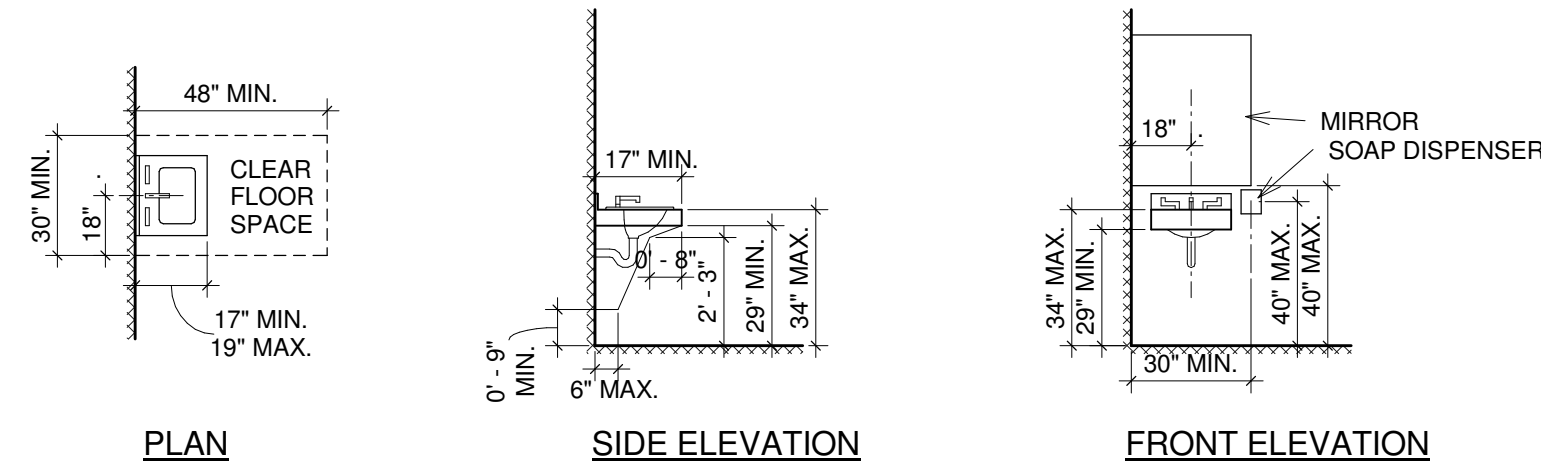
CODE REVIEW

SHEET NO.

A002

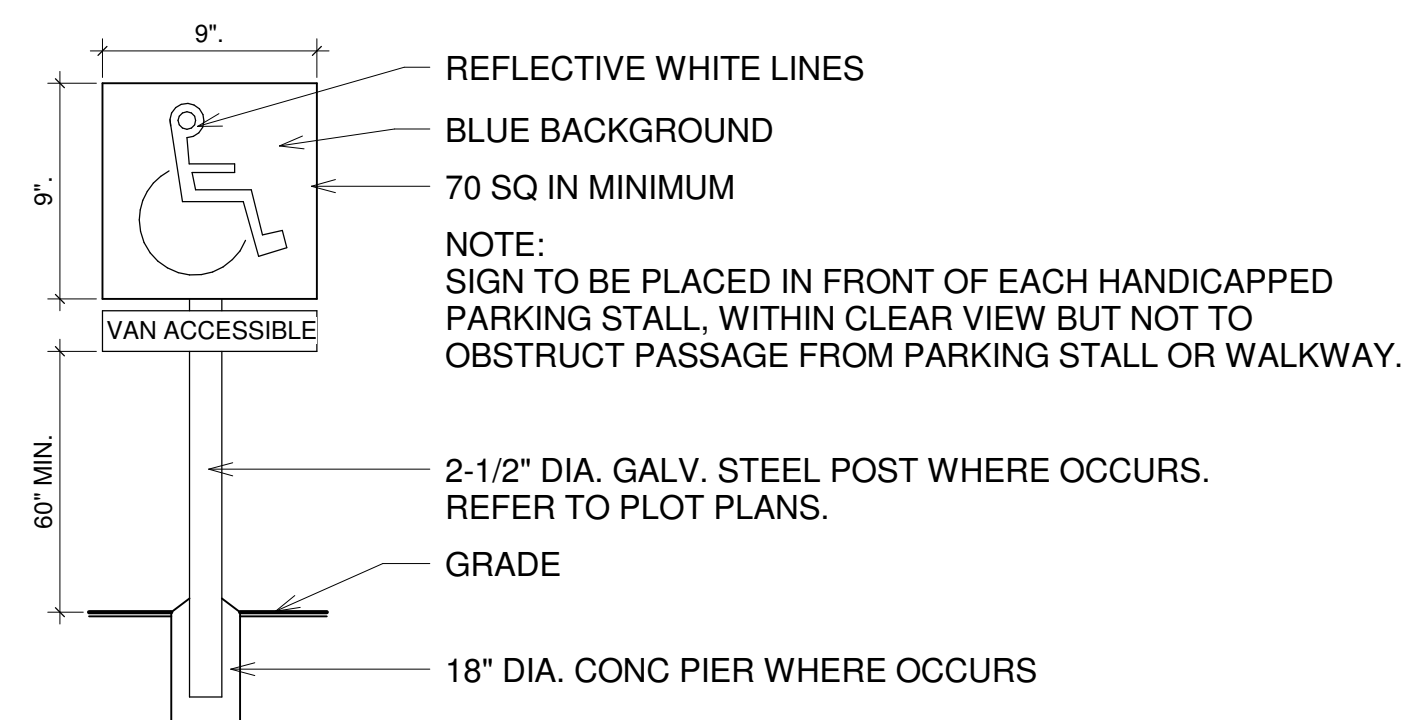


ADA WATER CLOSET DETAIL  
 N.T.S.

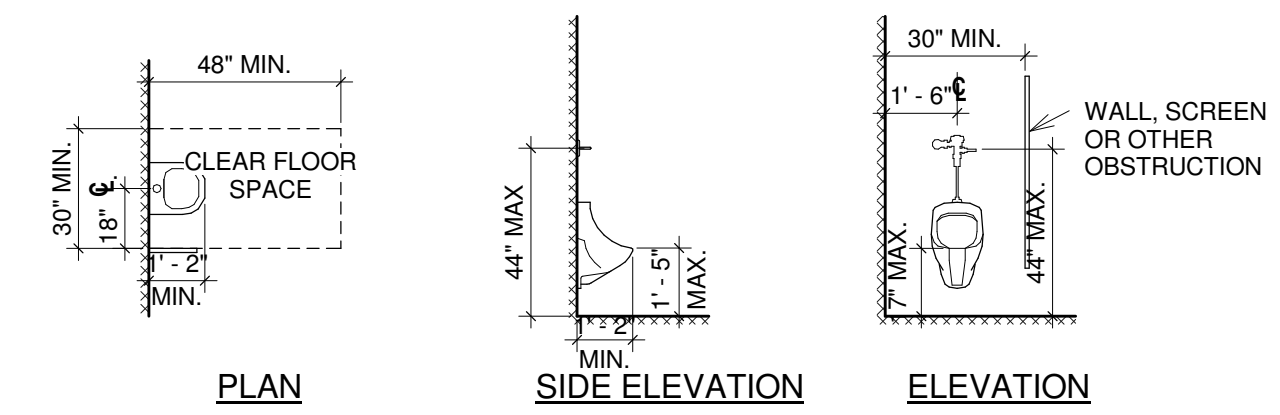


- LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF AT LEAST 29-INCHES FROM THE FLOOR TO THE BOTTOM OF THE APRON WITH KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 30-INCHES IN WIDTH WITH 8-INCHES MINIMUM DEPTH AT THE TOP. TOE CLEARANCE SHALL BE THE SAME WIDTH AND SHALL BE A MINIMUM OF 9-INCHES HIGH FROM THE FLOOR AND A MINIMUM OF 17-INCHES DEEP FROM THE FRONT OF THE LAVATORY.
- A CLEAR FLOOR SPACE 30-INCHES WIDE X 48-INCHES LONG SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW A FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY.
- A PROJECTION OF A LAVATORY BOWL INTO THE 8-INCH CLEAR SPACE, THEREBY REDUCING THE CLEAR HEIGHT BELOW THE LAVATORY TO NO LESS THAN 27-INCHES AT 8-INCHES BACK FROM THE APRON, MEETS THE REQUIREMENT FOR PROVIDING KNEE CLEARANCE. A MAXIMUM HEIGHT OF 34-INCHES TO THE TOP OF THE LAVATORY IS RECOMMENDED.
- HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
- FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS. PER FT. LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

ADA LAVATORY DETAIL  
 N.T.S.

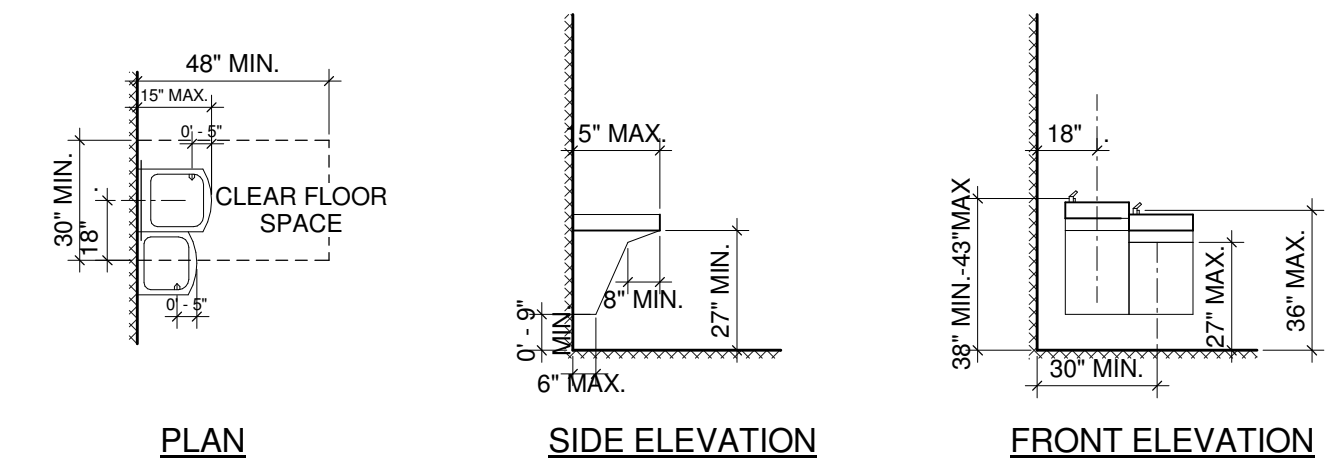


ADA ACCESSIBLE PARKING STALL DETAIL  
 N.T.S.

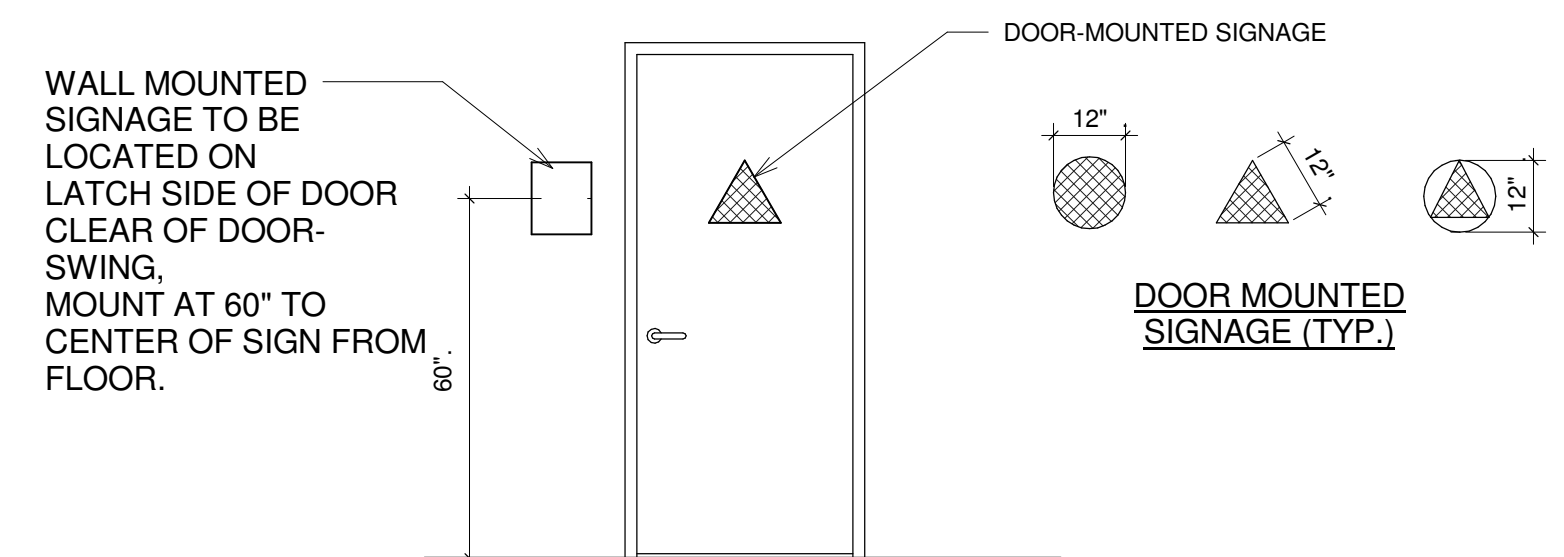


- WHERE URINALS ARE PROVIDED, AT LEAST ONE SHALL HAVE A CLEAR SPACE 30-INCHES WIDE X 48-INCHES LONG IN FRONT OF THE URINAL.
- WHERE URINALS ARE PROVIDED, AT LEAST ONE WITH A RIM PROJECTING A MINIMUM OF 14-INCHES FROM THE WALL AND AT A MAXIMUM OF 17-INCHES ABOVE THE FLOOR SHALL BE PROVIDED.
- FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST AND SHALL BE MOUNTED NO MORE THAN 44-INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS PER FOOT.

ADA URINAL DETAIL  
 N.T.S.

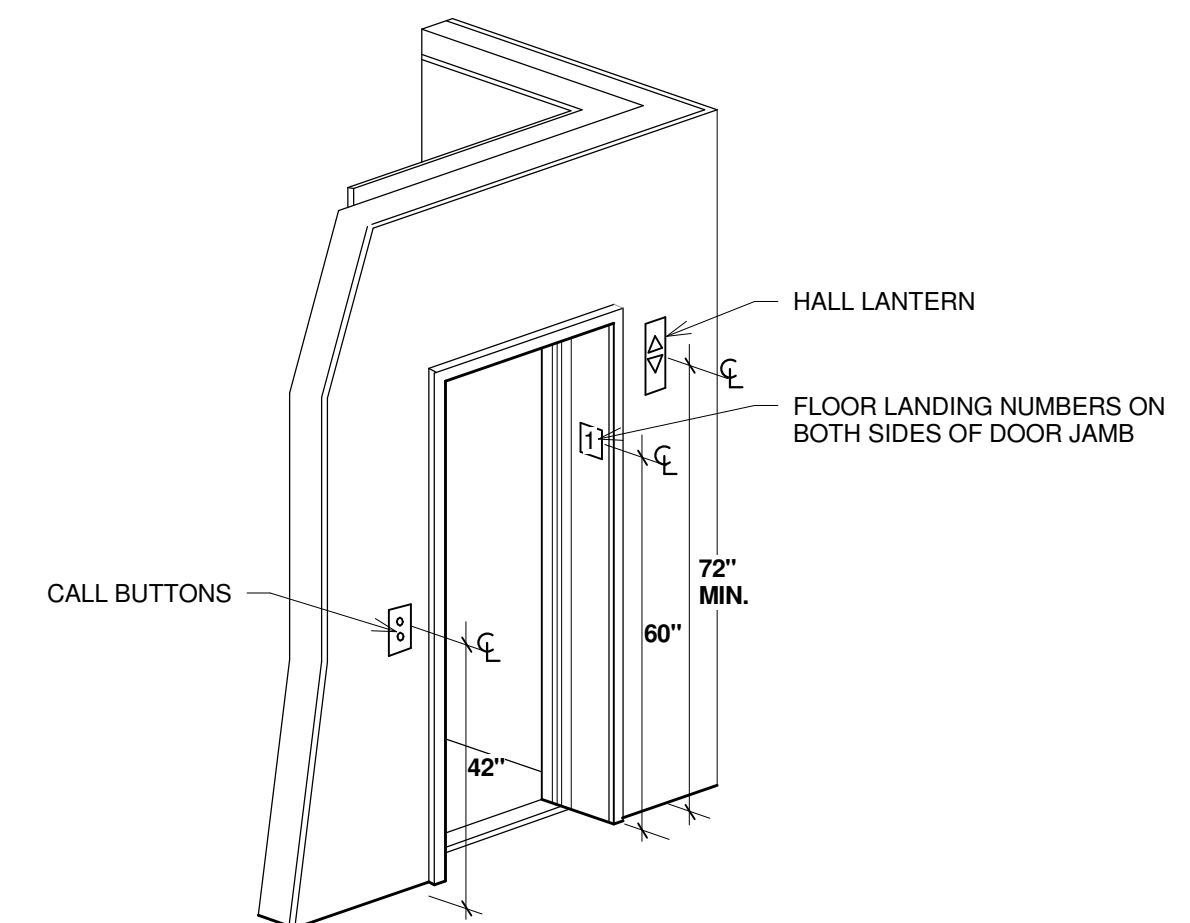


ADA DRINKING FOUNTAIN DETAIL  
 N.T.S.



- WALL MOUNTED SIGNS SHALL HAVE A UNIVERSAL GRAPHIC SYMBOL DESIGNATING THE USER OF THE RESTROOM, 1/4" MIN. IN HEIGHT, UPPER CASE LETTERS RAISED 1/32" AND CORRESPONDING GRADE II BRAILLE

RESTROOM SIGNAGE DETAIL  
 N.T.S.



ADA - ELEVATOR BUTTON & SIGNAGE DETAIL  
 N.T.S.

SEAL

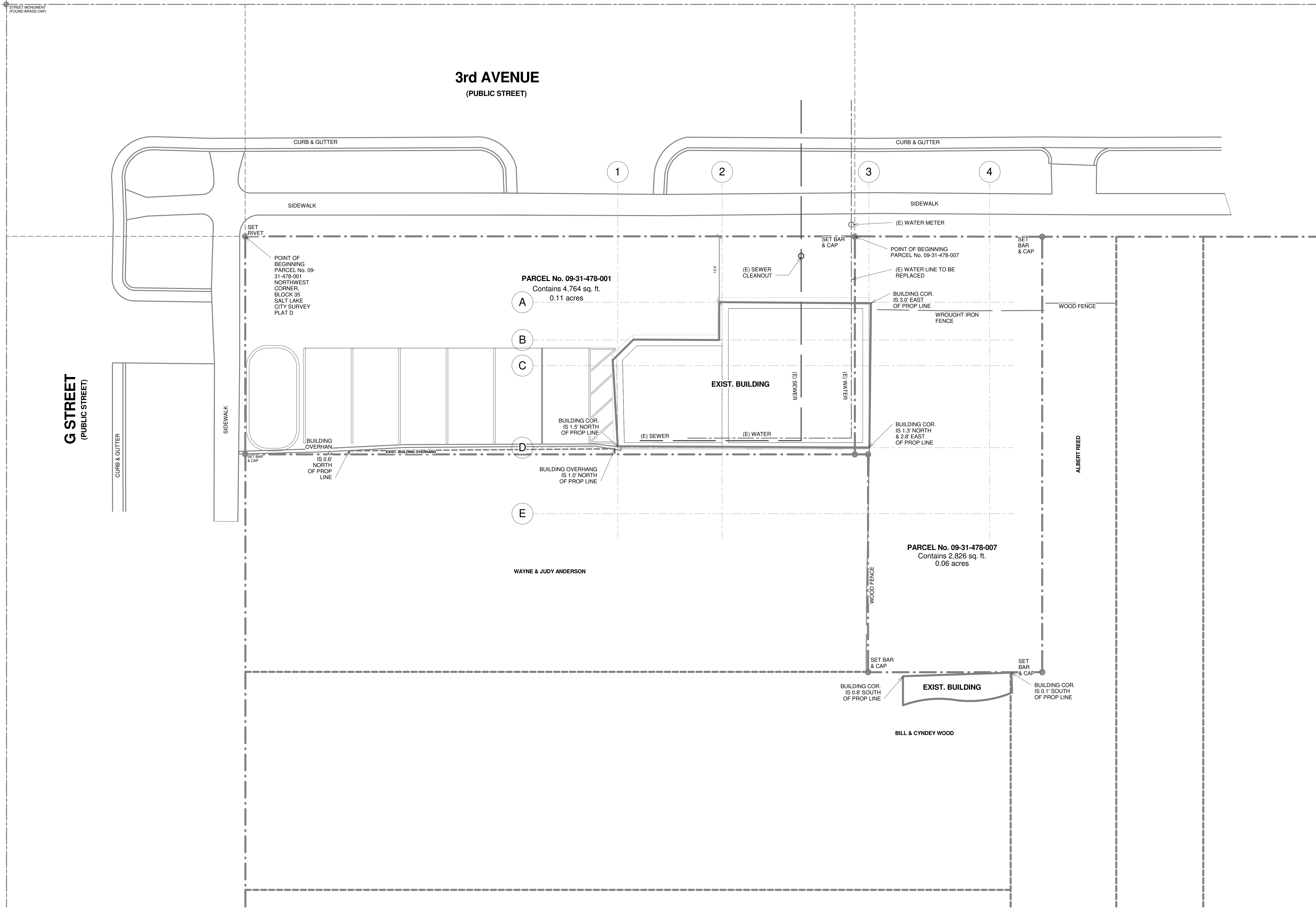
DATE  
 07/05/13

REVISIONS

SHEET TITLE  
 ADA  
 NOTES &  
 DETAILS

SHEET NO.

A003



1 EXISTING SITE PLAN  
1/8" = 1'-0"

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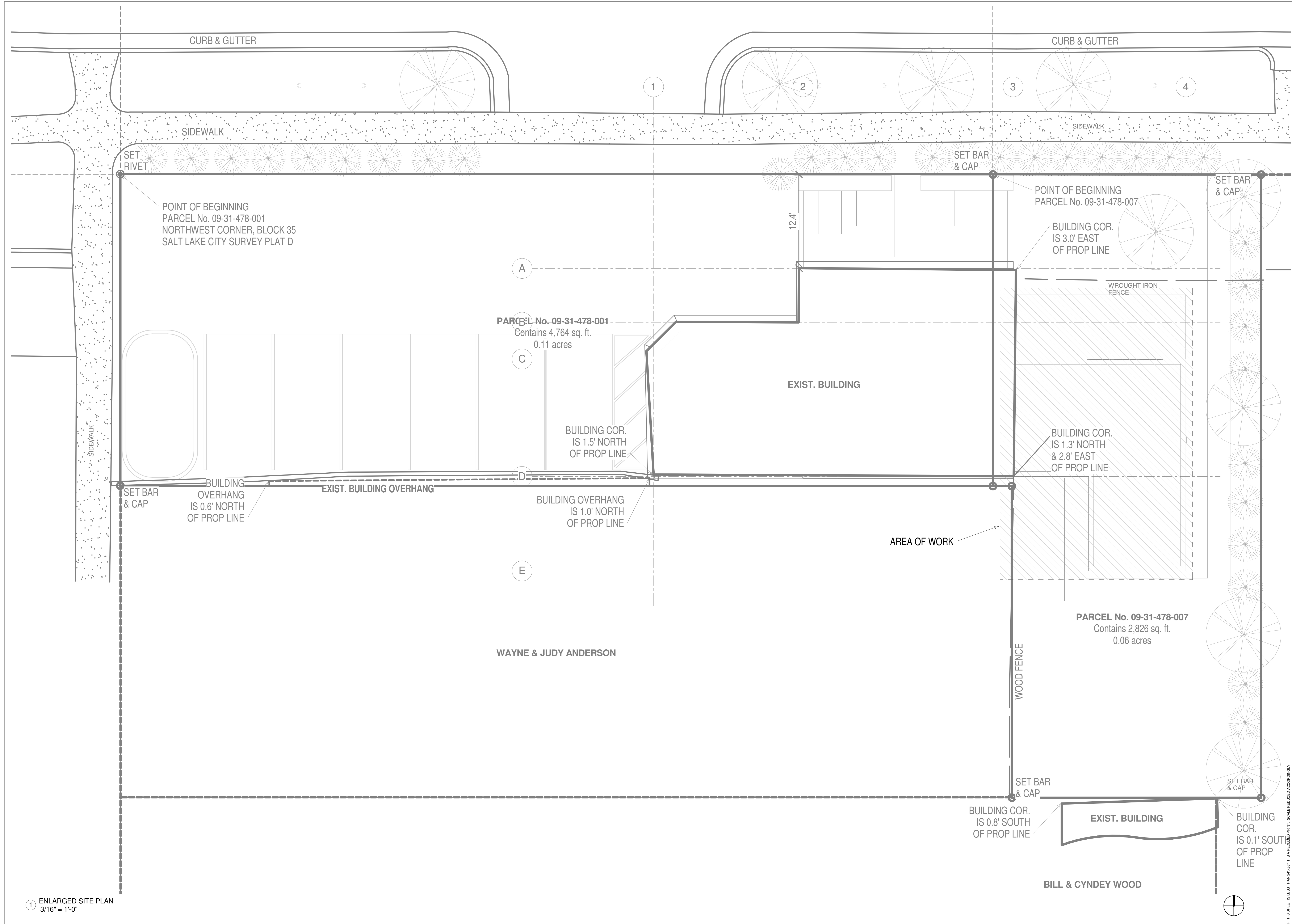
**THE PUBLIK ADDITION**  
502 E. THIRD AVENUE

SEAL
DATE 07/05/13
REVISIONS
SHEET TITLE <b>EXISTING SITE PLAN</b>
SHEET NO. <b>SD101</b>

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CURB & GUTTER

CURB & GUTTER

SIDEWALK

SIDEWALK

SET RIVET

SET BAR & CAP

SET BAR & CAP

POINT OF BEGINNING  
PARCEL No. 09-31-478-001  
NORTHWEST CORNER, BLOCK 35  
SALT LAKE CITY SURVEY PLAT D

POINT OF BEGINNING  
PARCEL No. 09-31-478-007

BUILDING COR.  
IS 3.0' EAST  
OF PROP LINE

PARCEL No. 09-31-478-001  
Contains 4,764 sq. ft.  
0.11 acres

EXIST. BUILDING

BUILDING COR.  
IS 1.5' NORTH  
OF PROP LINE

BUILDING COR.  
IS 1.3' NORTH  
& 2.8' EAST  
OF PROP LINE

SET BAR & CAP

BUILDING  
OVERHANG  
IS 0.6' NORTH  
OF PROP LINE

EXIST. BUILDING OVERHANG

BUILDING OVERHANG  
IS 1.0' NORTH  
OF PROP LINE

AREA OF WORK

WOOD FENCE

PARCEL No. 09-31-478-007  
Contains 2,826 sq. ft.  
0.06 acres

WAYNE & JUDY ANDERSON

SET BAR & CAP

BUILDING COR.  
IS 0.8' SOUTH  
OF PROP LINE

EXIST. BUILDING

SET BAR & CAP

BUILDING COR.  
IS 0.1' SOUTH  
OF PROP LINE

BILL & CYNDEY WOOD

1 ENLARGED SITE PLAN  
3/16" = 1'-0"

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07/05/13

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SHEET TITLE

**ENLARGED  
SITE PLAN**

SHEET NO.

**SD103**

**THE PUBLIK ADDITION**  
 502 E. THIRD AVENUE

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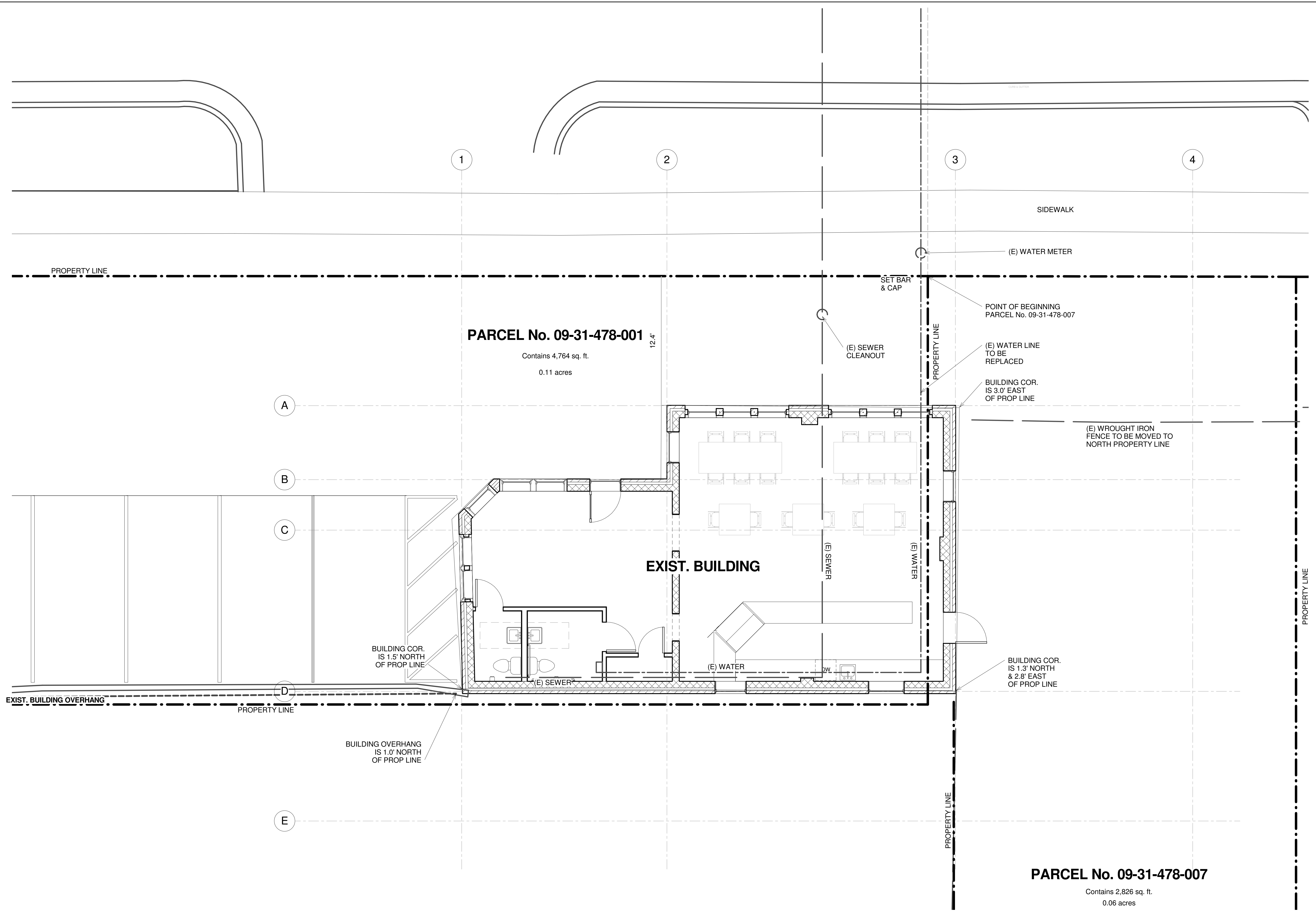
REVISIONS

SHEET TITLE  
**EXIST/DEMO  
 MAIN  
 FLOOR  
 PLAN**

SHEET NO.

**AD101**

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1 EXISTING FLOOR 1  
 1/4" = 1'-0"

**THE PUBLIK ADDITION**  
 502 E. THIRD AVENUE

SEAL

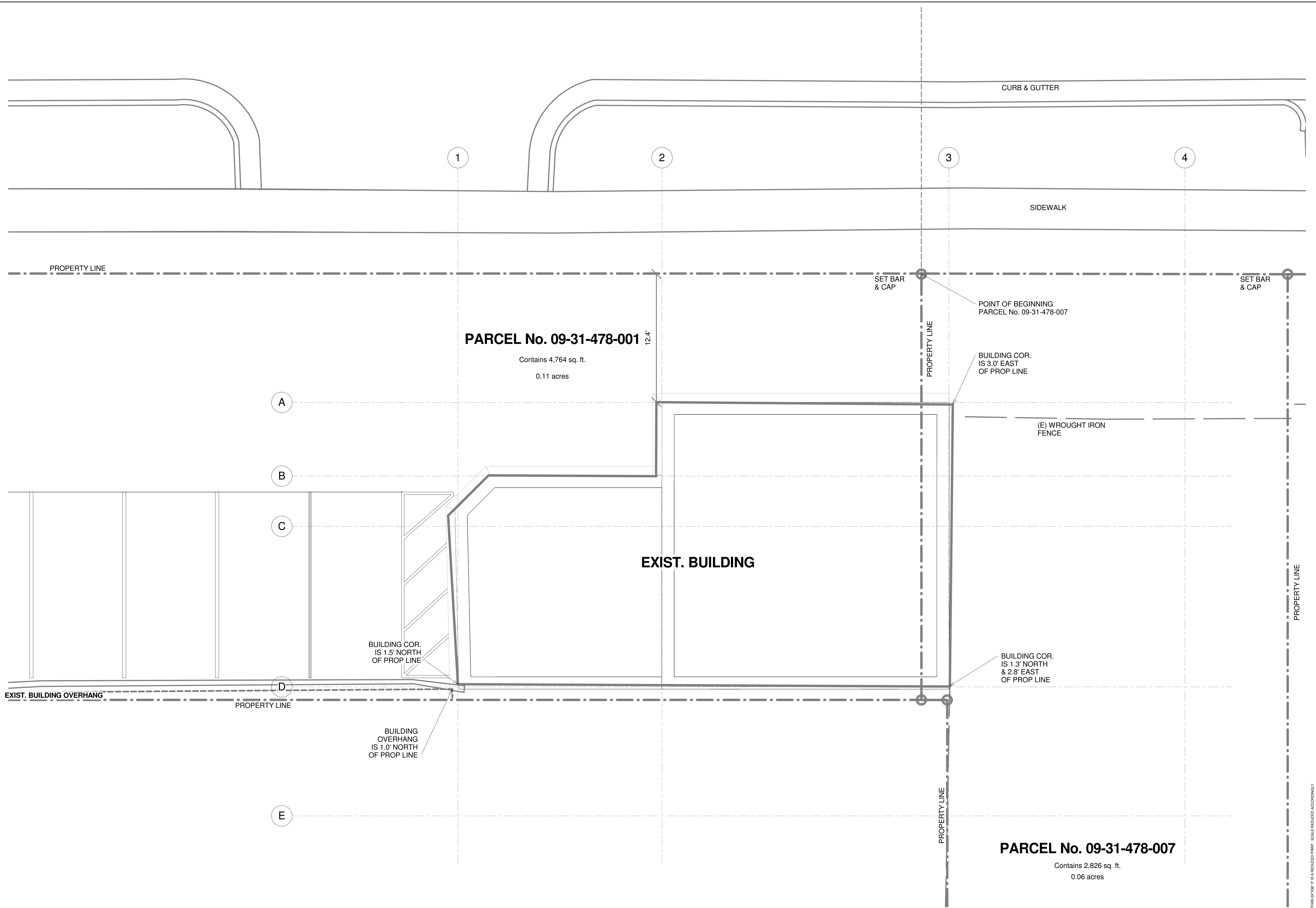
DATE  
 07/05/13

REVISIONS

SHEET TITLE  
**EXIST/DEMO  
 ROOF  
 PLAN**

SHEET NO.

**AD102**



1 EXISTING ROOF PLAN  
 1/4" = 1'-0"

IF THIS SHEET IS LESS THAN 24" X 36" IT IS A REDUCED PRINT - SCALE REDUCED ACCORDINGLY

**THE PUBLIK ADDITION**  
 502 E. THIRD AVENUE

SEAL

DATE

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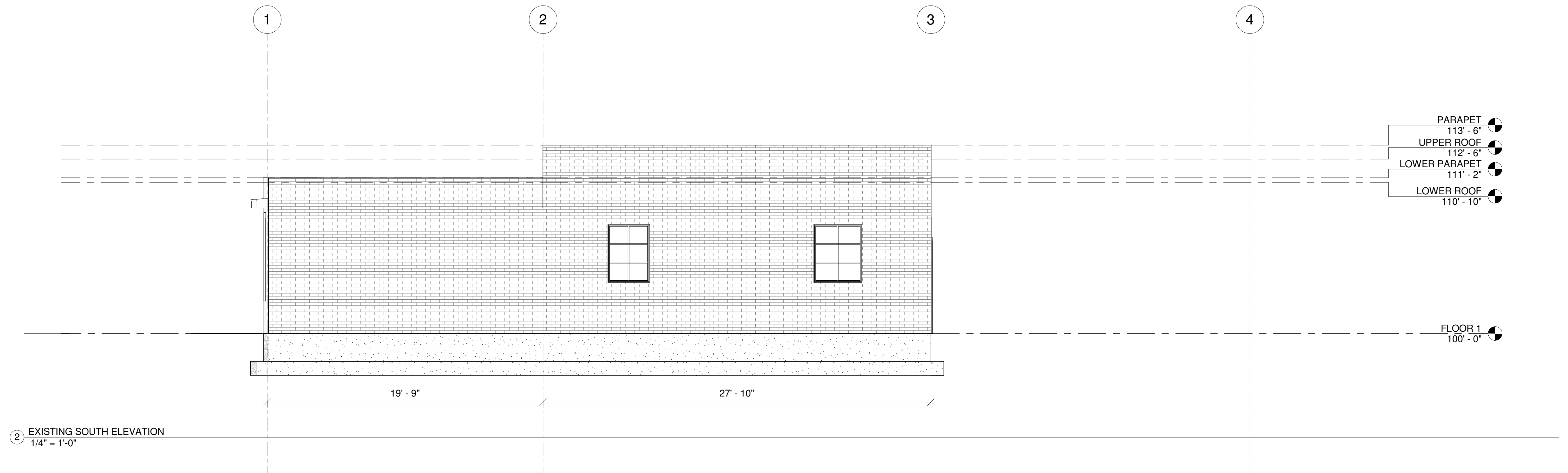
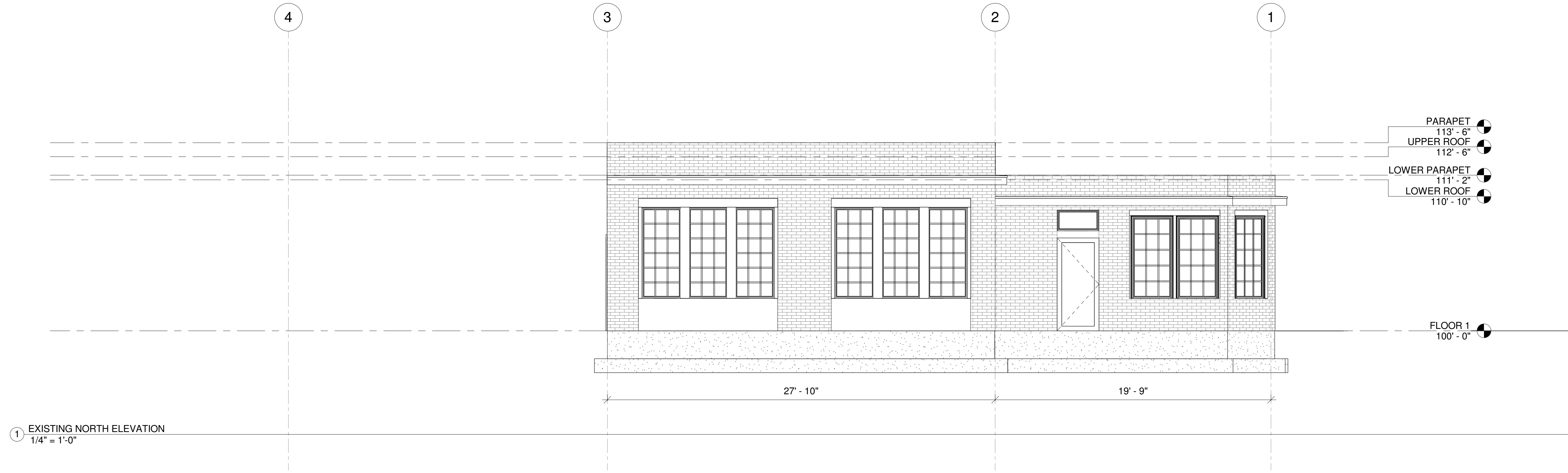
SHEET TITLE

EXISTING ELEVATIONS

SHEET NO.

**AD201**

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 502 E. THIRD AVENUE

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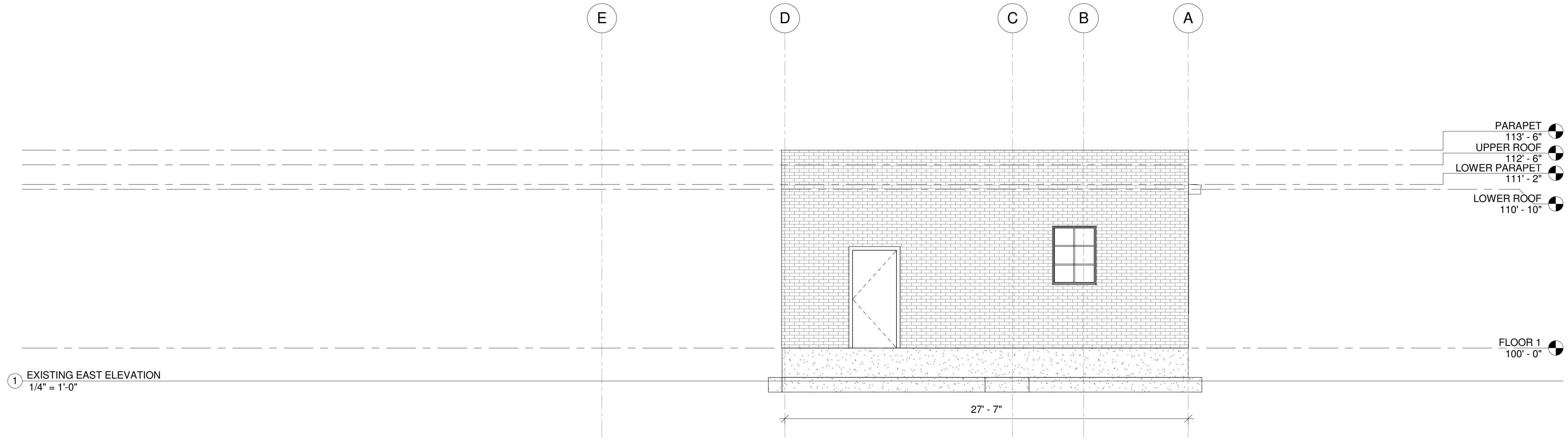
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EXISTING ELEVATIONS

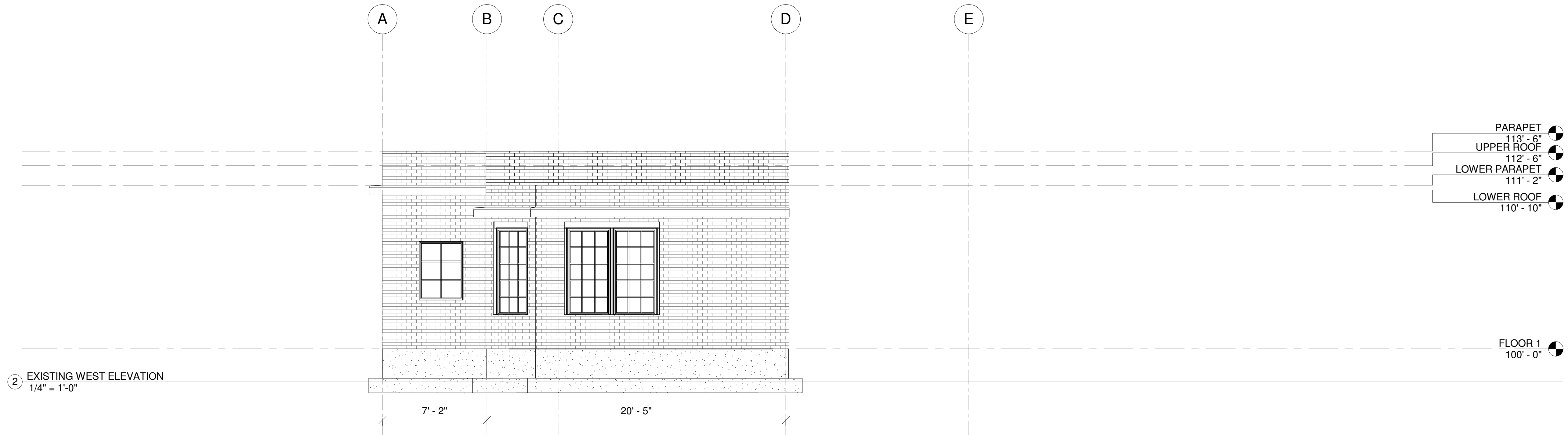
SHEET NO.

**AD202**

IF THIS SHEET IS LESS THAN 24" X 36" IT IS A REDUCED PRINT. SCALE REDUCED ACCORDINGLY.



① EXISTING EAST ELEVATION  
 1/4" = 1'-0"



② EXISTING WEST ELEVATION  
 1/4" = 1'-0"

**THE PUBLIK ADDITION**  
 502 E. THIRD AVENUE

SEAL

DATE  
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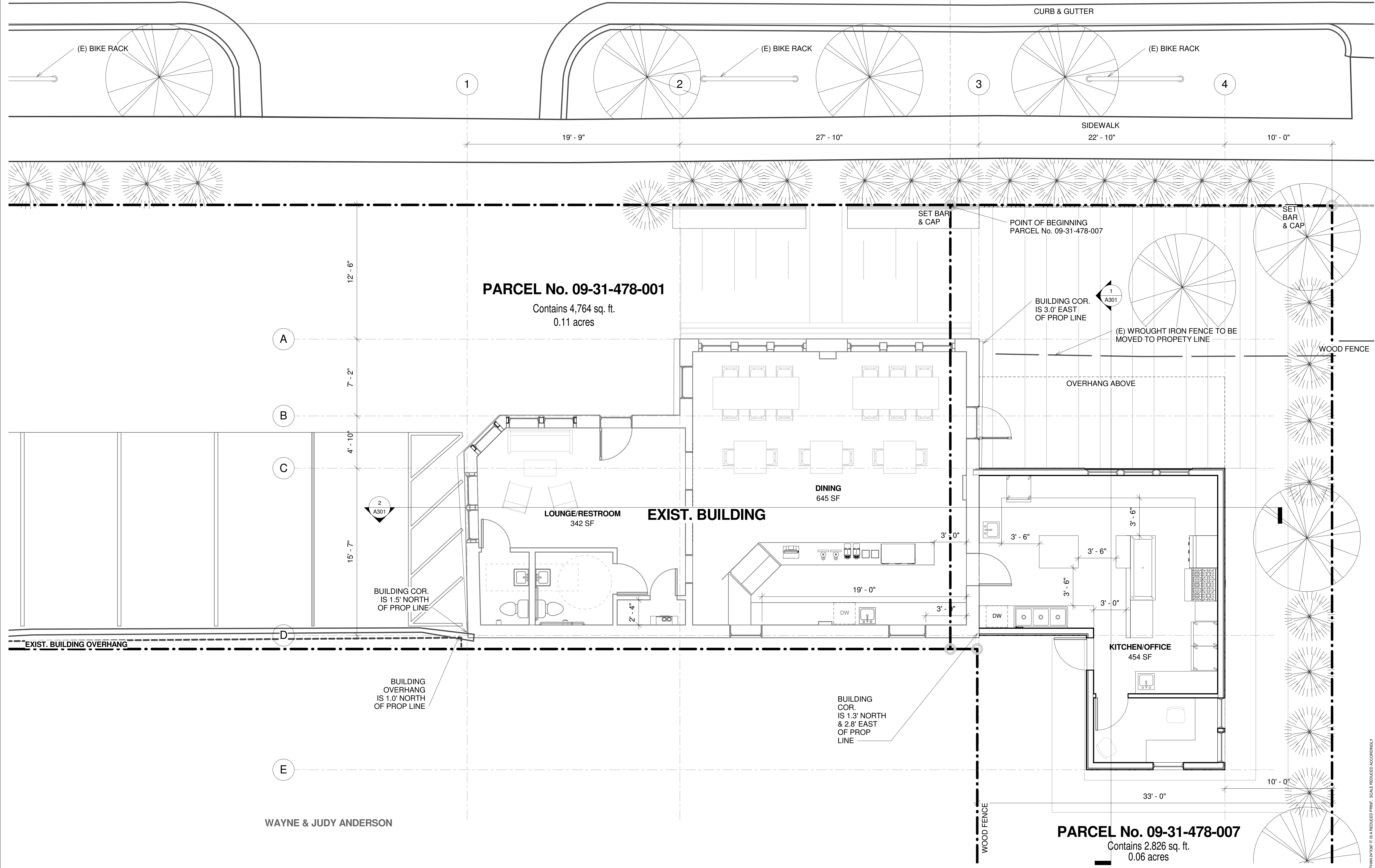
REVISIONS

SHEET TITLE  
**MAIN FLOOR PLAN**

SHEET NO.

**A101**

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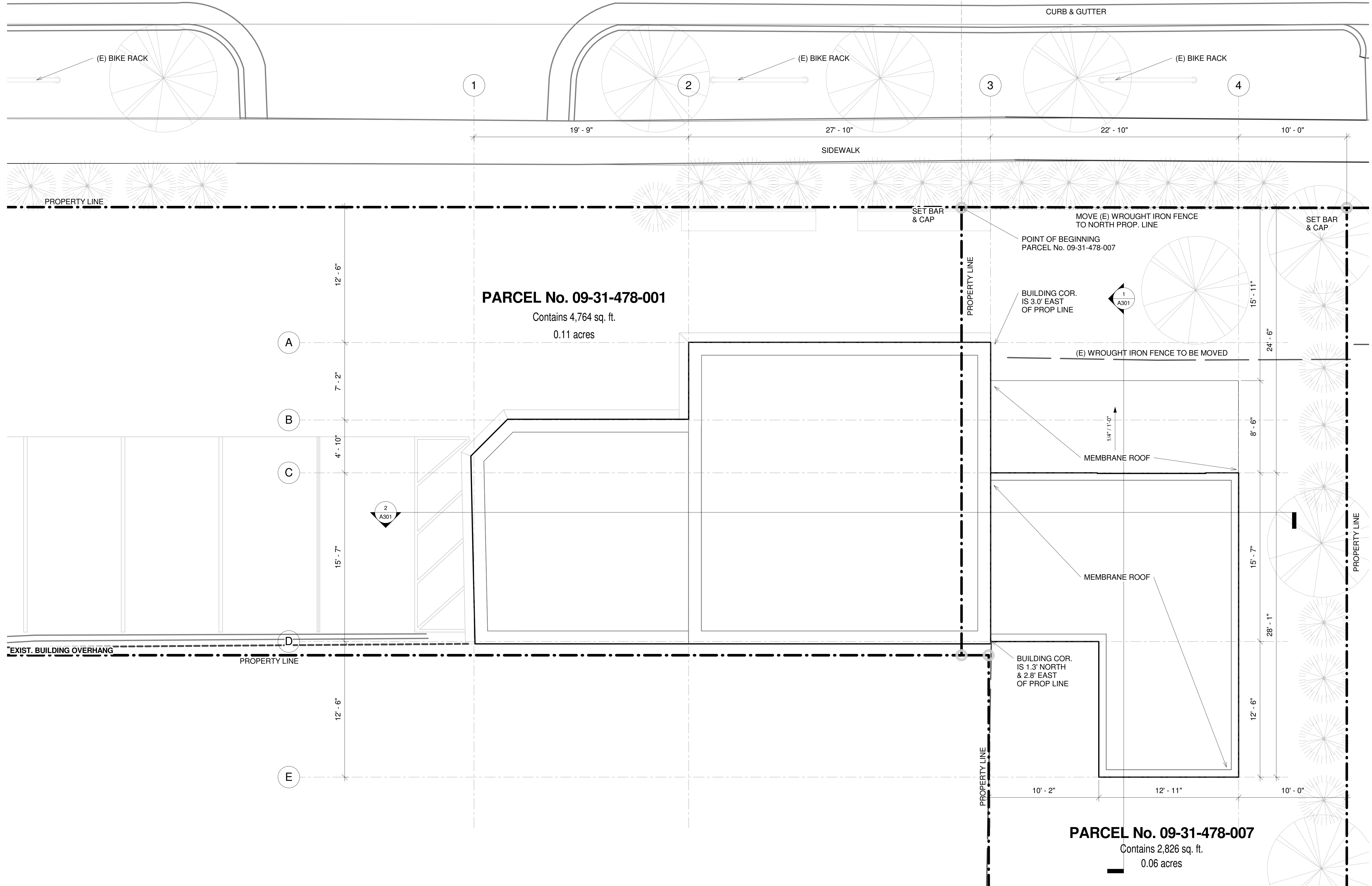
**PARCEL No. 09-31-478-001**  
 Contains 4,764 sq. ft.  
 0.11 acres

**PARCEL No. 09-31-478-007**  
 Contains 2,826 sq. ft.  
 0.06 acres

WAYNE & JUDY ANDERSON

1 FLOOR 1  
 1/4" = 1'-0"

**THE PUBLIK ADDITION**  
 502 E. THIRD AVENUE



① UPPER ROOF  
 1/4" = 1'-0"

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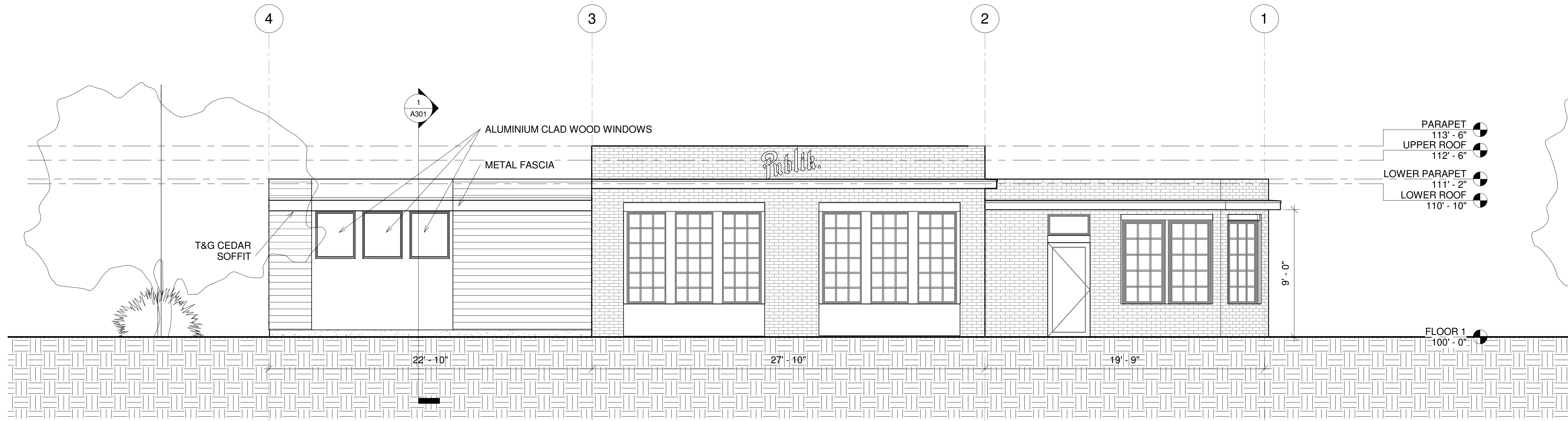
SHEET TITLE

**ROOF PLAN**

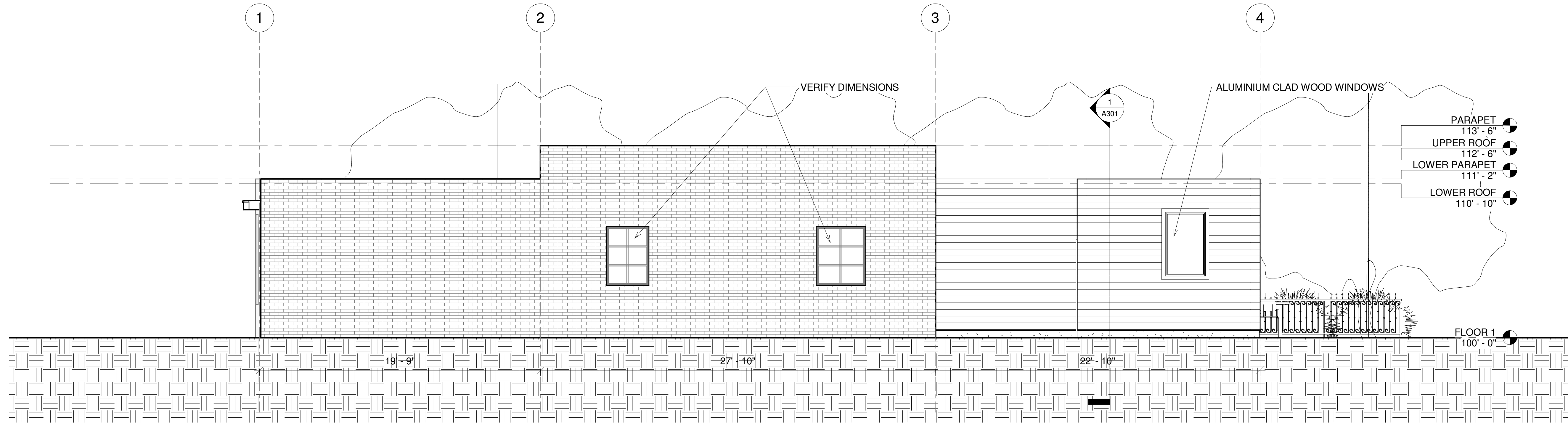
SHEET NO.

**A102**

**THE PUBLIK ADDITION**  
 502 E. THIRD AVENUE



1 NORTH ELEVATION  
 1/4" = 1'-0"



2 SOUTH ELEVATION  
 1/4" = 1'-0"

- PARAPET 113' - 6"
- UPPER ROOF 112' - 6"
- LOWER PARAPET 111' - 2"
- LOWER ROOF 110' - 10"

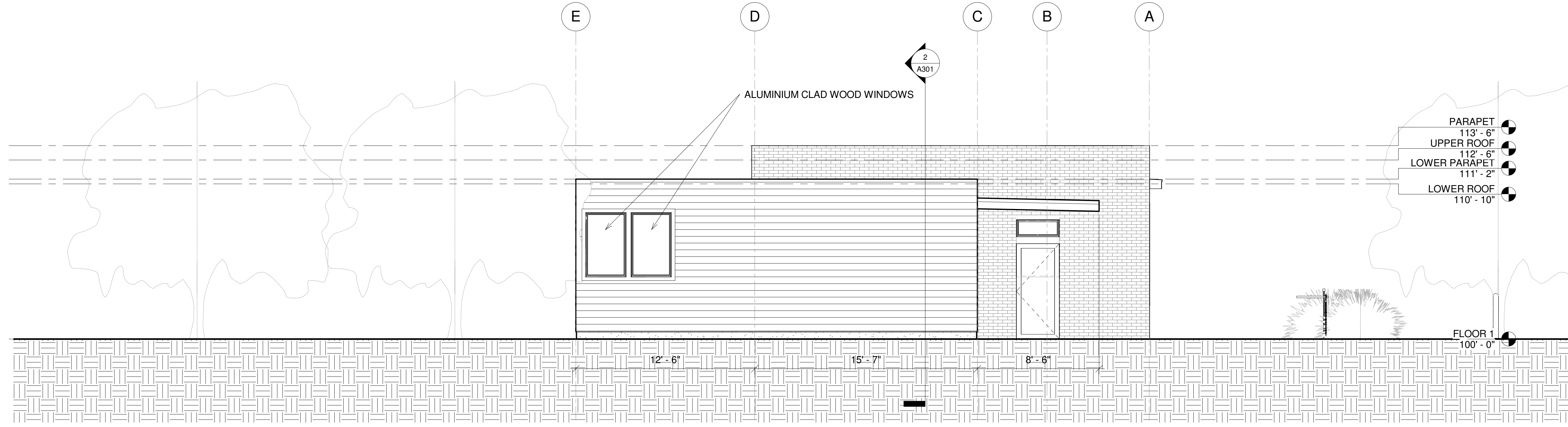
- PARAPET 113' - 6"
- UPPER ROOF 112' - 6"
- LOWER PARAPET 111' - 2"
- LOWER ROOF 110' - 10"

SEAL
DATE 07/05/13
REVISIONS
SHEET TITLE ELEVATIONS
SHEET NO. A201

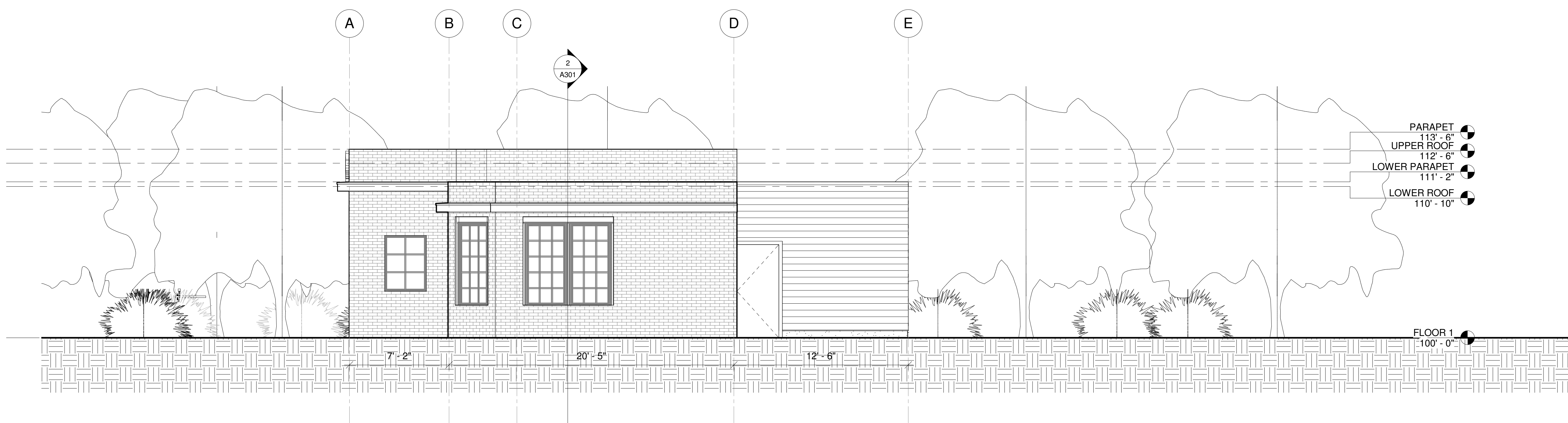
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**THE PUBLIK ADDITION**  
 502 E. THIRD AVENUE



① EAST ELEVATION  
 1/4" = 1'-0"



② WEST ELEVATION  
 1/4" = 1'-0"

SEAL
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SHEET TITLE ELEVATIONS
SHEET NO. A202

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**Exhibit B**  
**Additional Applicant Information**

# PUBLIK AVENUES PROJECT

502 E. THIRD AVE. SALT LAKE CITY, UT

Owners: Matt Bourgeois & Missy Greis

DATE: May 20th, 2013

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## CONTENTS

COVER

AREA MAP

WRITTEN DESCRIPTION

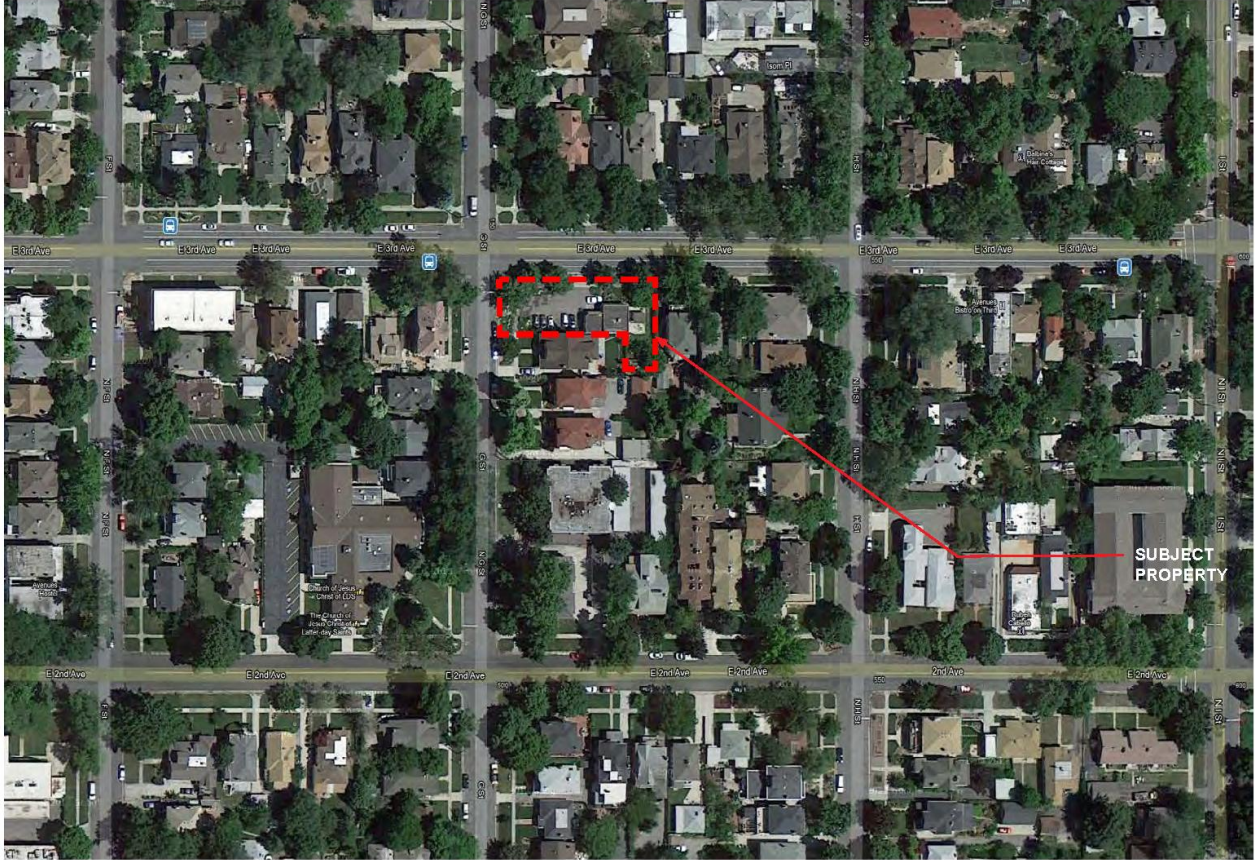
CURRENT PHOTOGRAPHS

PROPOSED MATERIALS

BROCHURES/CUT SHEETS

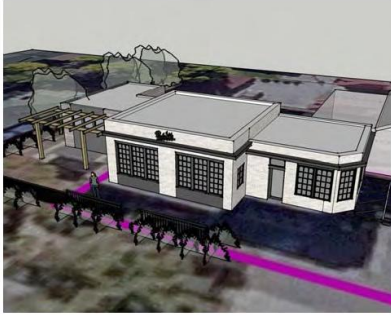
PROPOSED ADDITION

LloydArchitects  
Salt Lake City + Seattle



**AREA MAP**

**PUBLIK AVENUES**  
502 E. THIRD AVENUE, SLC, UT



### WRITTEN DESCRIPTION

The proposed is a 450 square foot addition to the small brick commercial building at 502 East Third Avenue in the Avenues Historic District. The intent of the addition is to improve the function of the existing café by adding a small kitchen and office to the East.

The addition would be set back from the main street face of the building similar to the West portion of the existing building. The height, window proportions, number of windows, and cornice height of the existing building would also be reflected in the proposed addition. The contemporary exterior finishes of the new kitchen would contrast and compliment the existing building without overpowering or imitating the original structure.





**NORTH FACADE**

**PUBLIK AVENUES**  
502 E. THIRD AVENUE, SLC, UT



**WEST FACADE**

**PUBLIK AVENUES**  
502 E. THIRD AVENUE, SLC, UT



**EAST FACADE**

**PUBLIK AVENUES**  
502 E. THIRD AVENUE, SLC, UT





**SOUTH EAST CORNER**

**PUBLIK AVENUES**  
502 E. THIRD AVENUE, SLC, UT



### 1 CONCRETE FOUNDATION WALL

- MINIMUM 6" LIGHT GRAY CONCRETE FOUNDATION WALL EXPOSED BETWEEN GRADE AND SIDING.



### 2 RECLAIMED WEATHERED WOOD SIDING

- 1"X6" SHIPLAPED WEATHERED CEDAR SIDING LIGHT GRAY NATURAL FINISH.
- MITRED AT CORNERS TO MIMIC WRAPPING OF EXISTING BRICK.



### 3 WEATHERING STEEL PLATE

- RECESSED WEATHERING STEEL PANEL FRAMING FRONT WINDOWS OF PROPOSED ADDITION.
- THE SIZE IS TO REFLECT PROPORTIONS OF HISTORIC GARAGE DOORS.

## DESCRIPTION OF MATERIALS

**PUBLIK AVENUES**  
502 E. THIRD AVENUE, SLC, UT



#### **4 ALUMINIUM CLAD WOOD WINDOWS**

- EXTERIOR: ANODIZED DARK BRONZE OR BLACK FINISH.
- INTERIOR: PAINTED AND SEALED WOOD FINISH FOR EASY MAINTENANCE.
- OPERABLE UNITS TO HAVE SIMPLE HARDWARE TO MATCH INTERIOR FINISH.
- WINDOW PROPORTIONS AND PROFILE TO REFLECT EXISTING WINDOWS.



#### **5 ALUMINIUM CLAD WOOD DOORS**

- EXTERIOR: ANODIZED DARK BRONZE OR BLACK FINISH.
- INTERIOR: PAINTED AND SEALED WOOD FINISH FOR EASY MAINTENANCE.
- SIMPLE HARDWARE TO MATCH EXTERIOR FINISH.
- DOOR PROPORTIONS AND PROFILE TO REFLECT EXISTING WINDOWS.
- ONE EXISTING WINDOW ON A SECONDARY FACADE (EAST FACE) TO BE REPLACED BY A DOOR OF SIMILAR CHARACTER.



#### **6 WOOD AND STEEL TRELLIS**

- CEDAR TRELLIS WITH STEEL CONNECTION PLATES.

### **DESCRIPTION OF MATERIALS**

**PUBLIK AVENUES**  
502 E. THIRD AVENUE, SLC, UT



**PROPOSED ADDITION**

**PUBLIK AVENUES**  
502 E. THIRD AVENUE, SLC, UT

**Exhibit C  
Photographs**



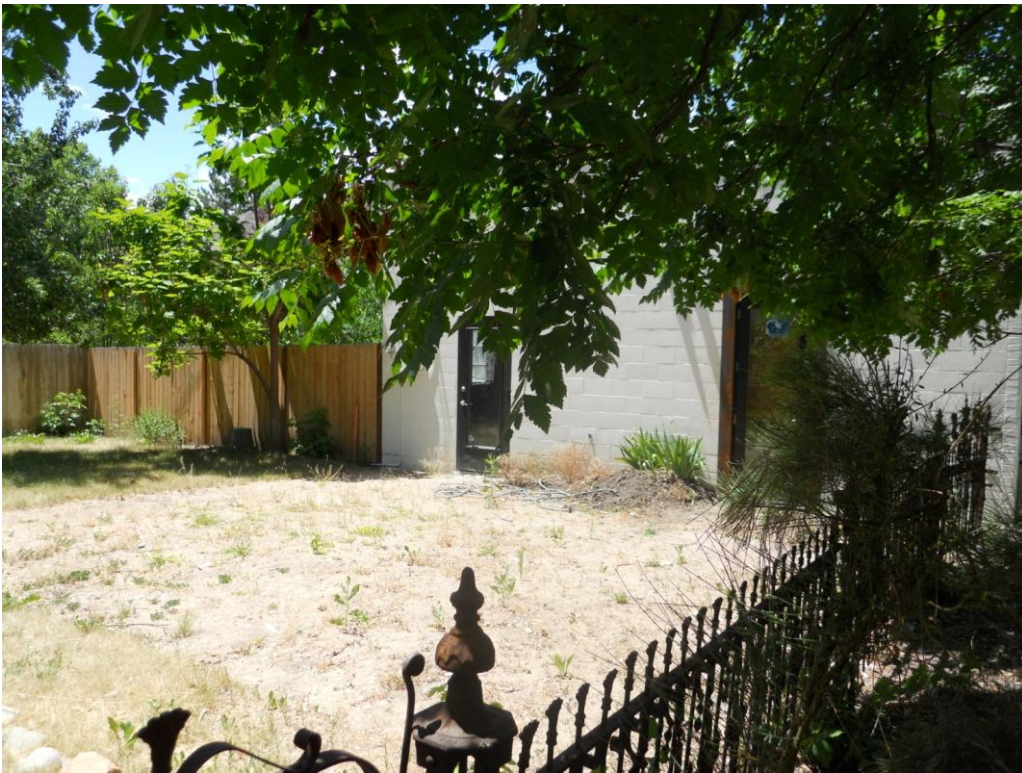
*View of the site looking east from the corner of Third Avenue and G Street*



*Close up of the front or north face of the building.*



*East side of the property (RMF zone) where the proposed addition is located.*



*Alternative view of the east side of the building.  
The addition will be built where the two doors are located.*



*Full side yard where addition is proposed. Taken from sidewalk on Third Avenue.*



*View of front of property taken from eastern edge. Bike racks are shown on the right.*





*Location of property line through the existing building.*