

HISTORIC LANDMARK COMMISSION
STAFF REPORT

TRACY AVIARY MACAW and KING VULTURE
EXHIBIT

PLNHLC2013-00785

Liberty Park, 589 East 1300 South

October 3, 2013



Planning and Zoning Division
Department of Community and
Economic Development

Applicant:

Friends of Tracy Aviary

Staff:

Ray Milliner (801)535-7645 or
ray.milliner@slcgov.com

Zone:

OS

Master Plan Designation:

Open Space

Council District:

5, Jill Remington Love

Lot Size:

4,356,000 square feet or
approximately 100 acres

Current Use:

Public Park

Applicable Land Use

Regulations:

21A.32.100 OS
21A.34.020(G & H)

Notification

- Notice mailed on September 24, 2013
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites September 24, 2013

Attachments:

- A. Proposed Site Plan
- B. Proposed Elevations

Request

The applicant, Friends of Tracy Aviary is requesting Historic Landmark Commission approval of a certificate of appropriateness for a Macaw and King Vulture exhibit to be located within Tracy Aviary just north of the existing Wilson Pavilion

Staff Recommendation

Staff recommends that the Historic Landmark Commission review the application, and approve the proposed Macaw and King Vulture exhibit at Tracy Aviary pursuant to the findings, analysis and conditions of approval in this staff report.

Potential Motions

Approval: Based on the analysis and findings of fact in this staff report, testimony and plans presented, I move that the Historic Landmark Commission approve the proposed Macaw and King Vulture exhibit at Tracy Aviary subject to the conditions of approval below.

Conditions of Approval

1. Types and styles of materials shall be reviewed by staff for final approval prior to installation on the building.
2. Only natural finish materials will be used. No imitation materials, such as but not limited to, cultured stone, cement based siding, or vinyl siding are allowed.
3. Any minor changes, modifications, or deviations from the approved design shall be reviewed and approved by the Planning Director prior to their construction.
4. Any Major changes, modifications or deviations from the approved design shall be reviewed and approved by the Historic Landmark Commission.
5. The architect and/or applicant shall be responsible for coordinating the approved architectural drawings/documents with the approved construction drawings/documents. The overall aesthetics of the approved architectural drawings/documents shall take precedence. Any discrepancies found among these documents that would cause a change in appearance to the approved architectural drawings/documents shall be reviewed and approved prior to construction.
6. The applicant shall continue working with the City arborist to ensure that all trees proposed to be removed and replaced are appropriate for the site, and that as many existing trees as possible are preserved and maintained.

Denial: Based on the testimony, plans presented and the following findings, I move that the Historic Landmark Commission deny the Certificate of Appropriateness for the proposed Macaw and King Vulture exhibit at Tracy Aviary (commissioner would then state findings for denial from the standards listed below):

1. Scale and Form
2. Composition of Principal Facades
3. Relationship to Street
4. Subdivision of Lots

Vicinity Map



Background

Tracy Aviary occupies approximately 8 acres of land at the southwest corner of Liberty Park. It was founded by a local banker named Russell Lord Tracy who donated his private bird collection to Salt Lake City and its children in 1938. Currently the aviary maintains a collection of approximately 400 birds representing 135 species of which many are considered rare or endangered. The aviary is requesting Historic Landmark approval of a Certificate of Appropriateness for a Macaw and King Vulture exhibit. The exhibit would be located just north of the existing Wilson Pavilion (number 16 on the attached site plan) and behind the now under construction amphitheater and bird show pavilion (number 11 on the attached site plan). These improvements

are made possible by a 19.6 million dollar voter approved bond. Previous components of the project approved by the HLC include:

- Construction of a Ground Hornbills Exhibit
- Remodel and renovation of the Wilson Pavilion
- Construction and installation of a temporary bird holding trailer
- The review and approval of a Master Plan for the aviary
- Review and approval of an education and guest services building
- Review and approval of an upgrade to the utilities and infrastructure
- Review and approval of a new owl forest exhibit.
- Review and approval of a tree removal and preservation plan for the area.
- Review and approval of 2 bird holding buildings.
- Review and approval of an amphitheater and bird show pavilion.

In addition to these approvals, the HLC approved an Andean Condor exhibit and Turkey Vulture and Hawk exhibit. These projects were not paid for by the 19.6 million dollar bond,

Tracy Aviary and its contents are “features” of a Landmark Site, Liberty Park, and as a result, design and review authority of all new construction, as well as modifications to existing structures is under the purview of the Historic Landmark Commission.

Project Description

The Friends of Tracy Aviary propose new construction of an exhibit designed to house and display Macaws and King Vultures. The 800 square foot and 17 foot high building features an enclosed central structure with two transparent exhibit areas attached on the east and west elevations. The enclosed section of the building would be clad with reclaimed wood and corrugated metal. The proposed roof shape is generally flat with a moderate slope toward the middle and is designed to provide as much open wall at the transparent display areas as possible. The rear wall of the exhibit sections would be a rock with coated wire mesh on the remaining sides. Landscaping is proposed around the building to replace any existing trees or shrubs that would be removed as part of the construction. The site plan and elevations for the building are attached as exhibits A and B.

Public Comments

To date, staff has received no public comments regarding this application.

Zoning Ordinance and Design Guidelines

21A.32.100 OS Open Space District: The purpose of the OS open space district is to preserve and protect areas of public and private open space and exert a greater level of control over any potential redevelopment of existing open space areas.

Analysis: Staff has reviewed the project for compliance with all applicable standards in the Open Space zone, and found that it meets the minimum requirements, including height (maximum allowed =35 feet above established grade, proposed = 17 feet above established grade) coverage and setbacks.

Finding: The project meets all the zoning requirements for the OS zone.

Section 21A.34.020.H Standards For Certificate Of Appropriateness Involving New Construction Or Alteration Of A Noncontributing Structure: In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the Historic Landmark Commission, or planning director when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually compatible with surrounding structures and streetscape as illustrated in any design standards adopted by the Historic Landmark Commission and City Council and is in the best interest of the city:

1. Scale and Form:

- a) **Height and Width:** The proposed height and width shall be visually compatible with surrounding structures and streetscape;
- b) **Proportion of Principal Facades:** The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape;
- c) **Roof Shape:** The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and
- d) **Scale of a Structure:** The size and mass of the structures shall be visually compatible with the size and mass of surrounding structure and streetscape.

Analysis: The scale and form of structures within the aviary is unique to Liberty Park, as well as Salt Lake City’s historic districts. Each structure is designed specifically to either support the care and welfare of birds, or to display the birds to the public. As a result, the scale, and form of each building is unique. The proposed Macaw and King Vulture exhibit is relatively small, measuring 17 feet in height with an approximate 800 square foot footprint. The exhibit is relatively indiscreet, and designed to feature what is inside (the birds). The proposed roof shape is generally flat with a moderate slope toward the middle and is designed to provide as much open wall at the transparent display areas as possible. The scale is compatible with other exhibits in the aviary and will blend accordingly.

Finding: Staff finds that the proposed design is compatible in height, width, proportion, scale, massing and roof shape with other buildings in the aviary. Although the scale and form of the proposed structure is not traditional as it relates to the overall historic district, it is appropriate for the aviary due to the unique use of the site, and the needs of the birds on display. The proposal meets this standard.

2. Composition of Principal Facades:

- a) **Proportion of Openings:** The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;
- b) **Rhythm of Solids to Voids in Facades:** The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;
- c) **Rhythm of Entrance Porch and Other Projections:** The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and
- d) **Relationship of Materials:** The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

Analysis: The architectural composition of the building is similar in design and materials to other display buildings in the aviary. The display areas are transparent with no traditional features such as windows, doors and entry porches with the solid mass of the building recessed. Nonetheless, the architectural design is

appropriate for its context/location and proposed use. The rhythm of solids to voids along the various facades is dominated by the voids, and is consistent with newer bird enclosures in the aviary. The wire mesh is designed to provide visitors with an unencumbered view of the birds, while the enclosed building provides caretakers and aviary employees with an area to care for the birds and protect them.

Finding: Staff finds that the composition of the principal facades is compatible with the surrounding architecture in the Tracy Aviary. The design of the structure is suited for the unique use for which it will be employed, and is built in an unobtrusive way.

3. Relationship to Street:

- a) **Walls Of Continuity:** Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;
- b) **Rhythm Of Spacing And Structures On Streets:** The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;
- c) **Directional Expression of Principal Elevation:** A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and
- d) **Streetscape Pedestrian Improvements:** Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.

Analysis: The exhibit relates to pedestrian paths within in the aviary and Liberty Park, and will not be visible from either 700 East or 1300 South. The exhibits are designed to provide visitors with an enjoyable experience at a human scale by spacing them far enough apart that people can view each feature without interfering with people who are viewing a different exhibit. The directional expression of the buildings is designed to provide patrons with the best view of the birds while protecting the birds from harm.

Finding: Staff finds that the proposed location from the internal walkways of the Macaw and King Vulture exhibit is appropriate for the rhythm of spacing in Tracy Aviary because it is proposed in a location that is consistent with the established circulation patterns in the aviary and is designed to provide patrons with an unencumbered view of the birds while protecting the birds from potential harm.

4. Subdivision Of Lots: The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

Finding: This standard is not relevant since a subdivision of lots is not part of the proposed project.

Attachment A
Site Plan

PROJECT

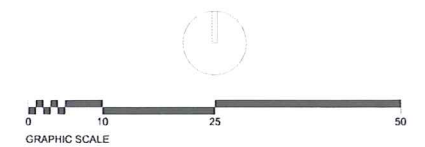
Macaw & King Vulture Exhibit

OWNER

Tracy Aviary
 589 East 1300 South
 Salt Lake City
 Utah 84105

Legend

- 1 Guest Services & Education
- 2 Pelican Pond & Boardwalk
- 3 King of the Andes
- 4 Rare Birds
- 5 Birds of Prey of the Americas
- 6 Ground Hornbills
- 7 Office House
- 8 Sand Hill Cranes
- 9 Discovery Play
- 10 Bird Show West
- 11 Bird Show
- 12 Service Area
- 13 Backyard Birds
- 14 Destination Argentina
- 15 Lori Building
- 16 South American Pavilion
- 17 Amazon Adventure
- 18 Owl Forest
- 19 Kennecot Wetland Experience
- 20 Chase Mill
- 21 Teaching Stream
- 22 Turkey Vultures & Hawks
- 23 Macaws & King Vultures



Campus Plan

28 August 2013

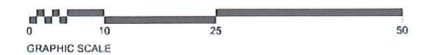


PROJECT
Macaw & King Vulture Exhibit

OWNER
Tracy Aviary
589 East 1300 South
Salt Lake City
Utah 84105

Legend

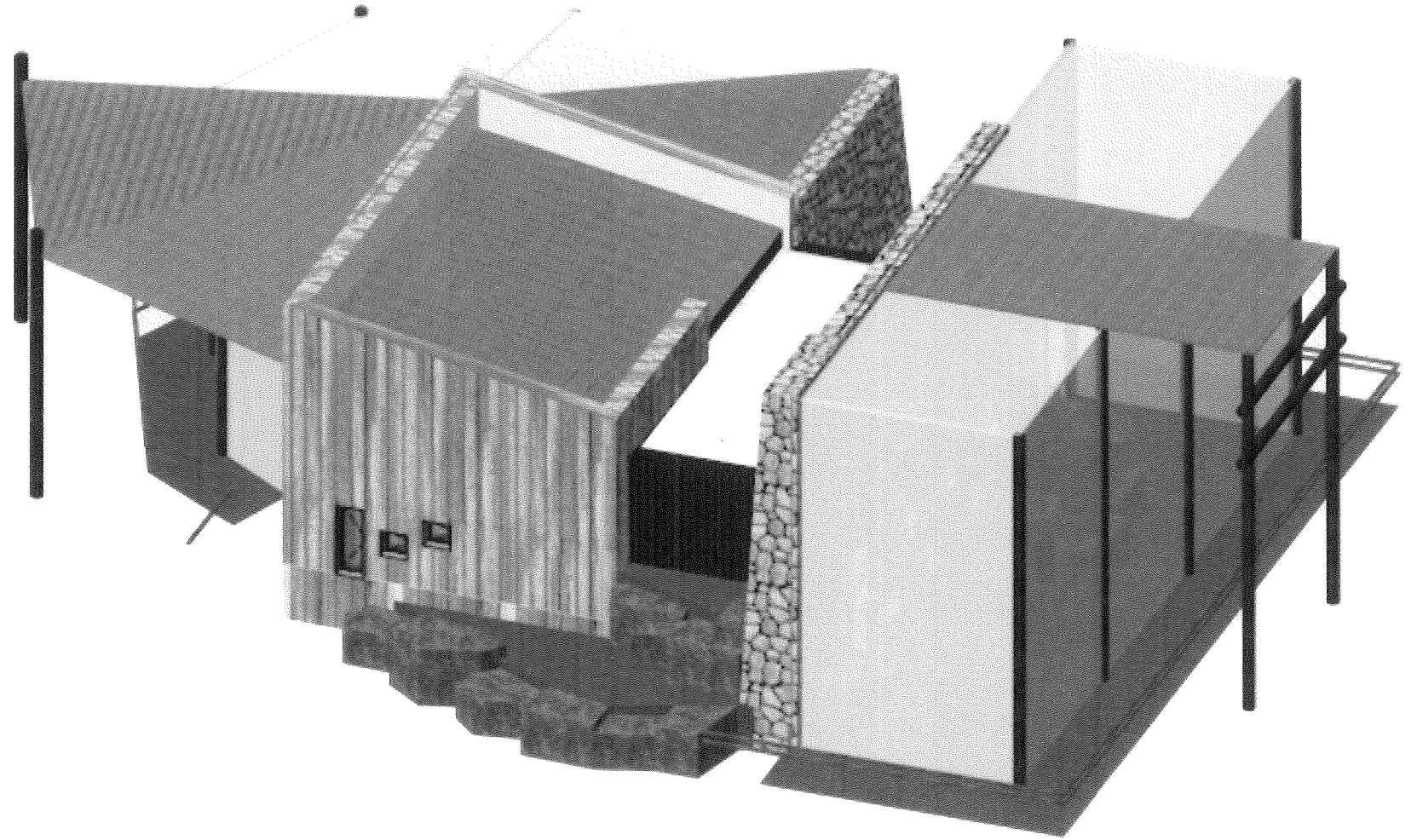
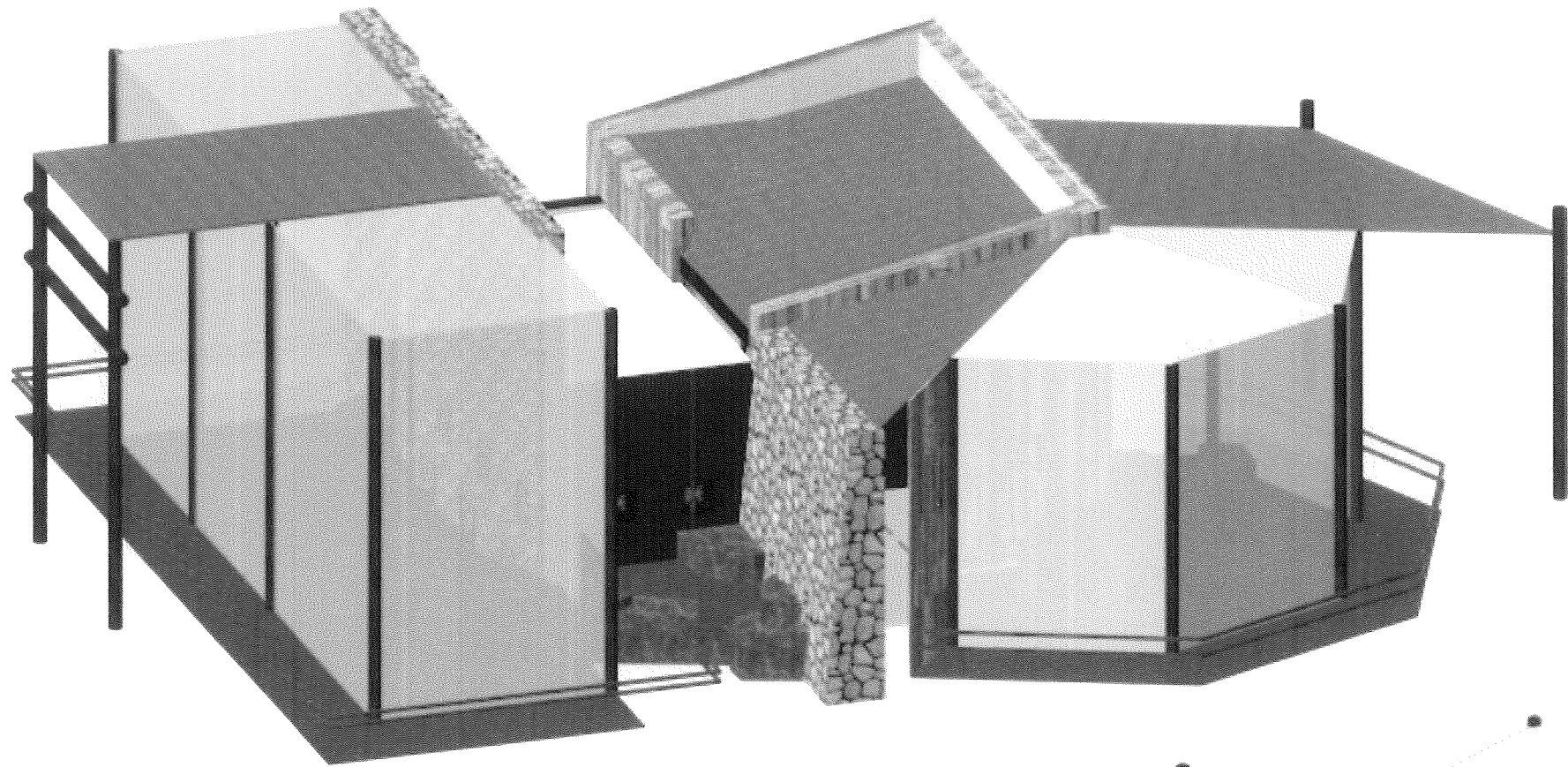
- 1 Macaw Aviary
- 2 Vulture Aviary
- 3 Holding Building
- 4 Owl Forest
- 5 Owl Forest Expansion
- 6 Bird Show Theatre
- 7 Lori Building
- 8 Lawn
- 9 Nature Playground
- 10 Elevated Boardwalk
- 11 Water Play
- 12 Riparian Stream
- 13 Gravel Beach
- 14 Bridge
- 15 Stepping Stones
- 16 Flamingo Nest Feature
- 17 Play Houses
- 18 Vine Tunnel
- 19 Tactile Balance Trail
- 20 Children's Ranger Station
- 21 Service Area
- 22 Existing Tree Canopy



Schematic Site Plan
28 August 2013



Attachment B
Elevations



311 S 900 E STE 103
SALT LAKE CITY
UTAH 84102
801-322-3053

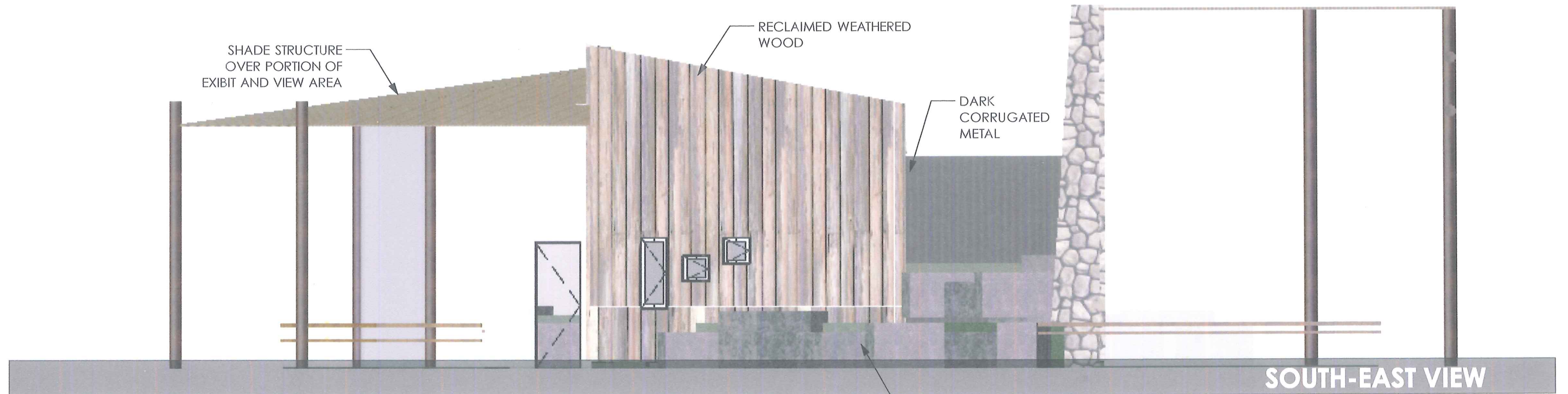
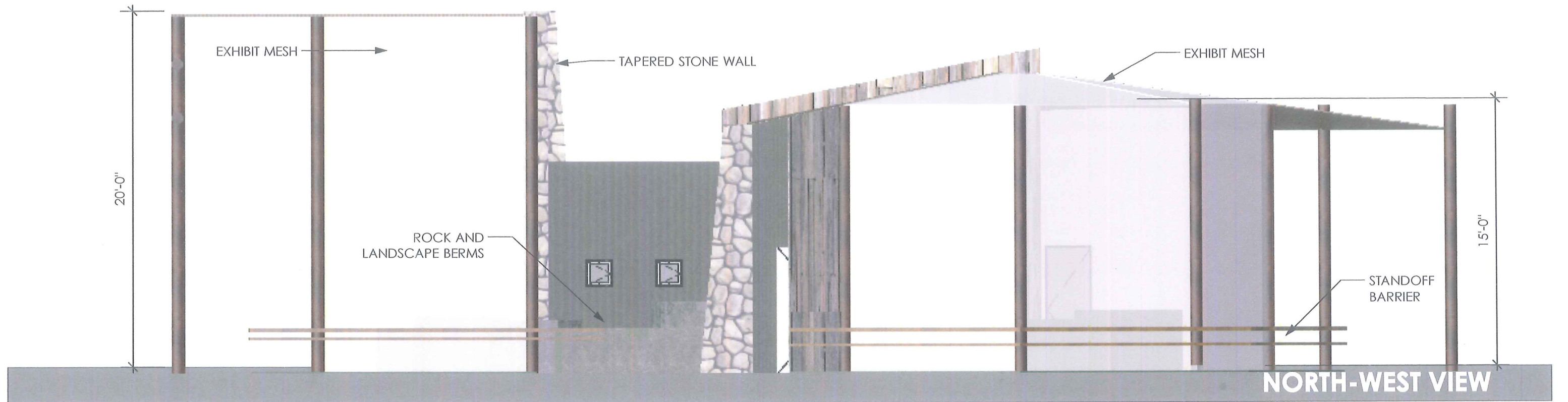
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ARCHITECTURE

28 AUGUST 2013

3D VIEWS

**TRACY AVIARY'S
KING VULTURE-MACAW EXHIBIT**



311 S 900 E STE 103
SALT LAKE CITY
UTAH 84102
801-322-3053

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ROCK AND LANDSCAPE
BERMS

**TRACY AVIARY'S
KING VULTURE-MACAW EXHIBIT**