

# HISTORIC LANDMARK COMMISSION

**757 North Wall Street**  
**New Single Family Dwelling**  
Historic Review PLNHLC2013-00362  
Special Exception PLNHLC2013-00689  
September 5, 2013



Planning and Zoning Division  
Department of Community and  
Economic Development

**Applicant:** Dave Robinson

**Staff:** Thomas Irvin  
thomas.irvin@slc.gov.com  
(801)535-7932

**Tax ID:** 08-25-454-020-0000

**Current Zone:** SR-1A, Special  
Development Pattern Residential

**Capitol Hill Master Plan  
Designation:** Low Density  
Residential

**Council District:**  
District 3–Stan Penfold

**Lot Size:** 3,165 square feet

**Current Use:** Vacant Lot

- Applicable Land Use  
Regulations:**
- 21A.34.020 – H Historic Preservation Overlay District
  - 21A.24.080 – CHPA Capitol Hill Protective Area Overlay District

- Notification:**
- Notice mailed: 8/22/13
  - Agenda posted on the Planning Division and Utah Public Meeting Notice websites: 8/22/13
  - Property posted: 8/22/13

- Exhibits:**
- A. Applicant Letter
  - B. Site Plan/Elevations
  - C. Site Photographs

## ***Request***

The applicant, Dave Robinson, is requesting approval to construct a single-family residence at 757 North Wall Street and located within the capitol Hill Historic District. He is also seeking Special Exception approval to deviate from lot coverage, setback requirements, and height limitations.

## ***Recommendation***

Staff recommends that the Historic Landmark Commission review the petition, and grant the request pursuant to the following conditions of approval, and the findings and analysis in this report:

## ***Potential Motions***

**Consistent with Staff Recommendation:** Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Commission approve the request for new construction located at 757 North Wall Street, to include exceeding the maximum lot coverage, setbacks, and height limitations of the zoning district subject to:

1. Approval of the final details of the design including materials, as well as any other direction expressed by the Commission shall be delegated to the Planning staff.
2. The project must meet all other applicable City requirements.
3. The approval will expire if a permit is not taken out or an extension granted within 12 months from the date of approval.

**Not Consistent with Staff Recommendation:** Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Commission deny the request for new construction approval at 757 North Wall Street. Specifically, the Commission finds that the proposed project does not substantially comply with Standards (Commissioner then states findings based on the Standards to support the motion):

	<ol style="list-style-type: none"><li>1. Scale and Form:<ol style="list-style-type: none"><li>a. Height and Width</li><li>b. Proportion of Principal Facades</li><li>c. Roof Shape</li><li>d. Scale of a Structure</li></ol></li> <li>2. Composition of Principal Facades<ol style="list-style-type: none"><li>a. Proportion of Openings</li><li>b. Rhythm of Solids to Voids in Facades</li><li>c. Rhythm of Entrance Porch and Other Projections</li><li>d. Relationship of Materials</li></ol></li> <li>3. Relationship to Street<ol style="list-style-type: none"><li>a. Wall of Continuity</li><li>b. Rhythm of Spacing and Structures on Streets</li><li>c. Directional Expression of Principal Elevation</li><li>d. Streetscape and Pedestrian Improvements</li></ol></li> <li>4. Subdivision of Lots</li></ol>
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## Vicinity Map



## Project Information

### Request

The subject property is an undersized triangular shaped lot. To take advantage of the shape, the home has been designed to consist of two overlapping triangles resulting in a two story home that fronts onto Wall Street. The property slopes down from north to south and from east to west. The grade change, lot shape, and lot size have presented a challenge in developing the property. This proposal is for a home that will be approximately 28 feet above grade at its highest point which exceeds the limitations of the district by 5 feet. A 3 foot interior side yard setback is proposed between this property and the property to the west where 4 feet is normally required. The setback along Wall Street will be 3 feet from the property line and 10 feet from the sidewalk while the setback off of Reed Avenue will also be 3 feet from the property line and 8 feet from the sidewalk. The entrance and attached garage will be provided on the North side. An additional entry is proposed along Reed Avenue towards the rear of the property.

Building materials on the north side will consist of Brazilian hardwood siding ("Jatoba"), aluminum clad windows, aluminum sliding doors, and satin nickel trim. The south side will include architectural concrete and aluminum-zinc alloy coated sheet steel ("galvalume"). The roof will be composed of non-reflective metal.

Based upon the odd shape and small size of the property, the applicant is seeking relief through the special exception process from the 40 percent lot coverage limitations, setbacks along all 3 sides, and the 23 foot pitched roof height limitation.

## Project Details

Based upon the non-standard shape of the property, staff has determined that the Wall Street side is the front yard, the Reed Avenue side is a corner side yard, the west property line is the interior side yard, and the intersection of the interior side yard and corner side yard is defined as the rear yard.

Ordinance Requirement	Existing/Proposed	Compliance
<b>Minimum Lot Area And Lot Width:</b> 5,000 square feet and 50 feet	3,165 square foot lot size, two street frontages of 118 feet and 88 ½ feet	<b>Legal Complying Lot</b>
<b>Required Parking:</b> 2 spaces	2 spaces shown	<b>Complies</b>
<b>Maximum Building Height:</b> 16 ft. for flat roof/ 23 ft. for pitched roof	Pitched roof at 28 feet in certain locations	<b>Seeking Special Exception Approval</b>
<b>Minimum Front Yard Requirements:</b> Average of the block face	13 feet from back of sidewalk (A few feet closer than the average)	<b>Seeking Special Exception Approval</b>
<b>Interior Side Yard:</b> 4 feet	3 feet	<b>Seeking Special Exception Approval</b>
<b>Rear Yard:</b> 15 ft.	4 feet	<b>Seeking Special Exception Approval</b>
<b>Maximum Building Coverage:</b> 40%	Approximately 69%	<b>Seeking Special Exception Approval</b>

## Comments

### Public Comments

No public comments were received prior to the time of the preparation and distribution of this staff report.

## Analysis and Findings

### ZONING ORDINANCE AND DESIGN GUIDELINES 21A.34.020 H Historic Preservation Overlay District

**Standards For Certificate Of Appropriateness Involving New Construction Or Alteration Of A Noncontributing Structure:** In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the historic landmark commission, or planning director, when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually compatible with surrounding structures and streetscape and is in the best interest of the city:

#### Standard 1: Scale and Form:

- a) Height And Width: The proposed height and width shall be visually compatible with surrounding structures and streetscape;
- b) Proportion of Principal Facades: The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape; and,
- c) Roof Shape: The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and
- d) Scale of a Structure: The size and mass of the structure shall be visually compatible with the size and mass of surrounding structures and streetscape.

## Applicable Design Standards

### *Mass and Scale*

#### **12.5 A new building should be designed to reinforce a sense of human scale.**

- A new building may convey a sense of human scale by employing techniques such as these:
  - Using building materials that are of traditional dimensions.
  - Providing a porch, in form and in depth, that is similar to that seen traditionally.
  - Using a building mass that is similar in size to those seen traditionally.
  - Using a solid-to-void (wall to window/door) ratio that is similar to that seen traditionally.
  - Using window openings that are similar in size to those seen traditionally.

#### **12.6 A new building should appear similar in scale to the established scale of the current street block.**

- Larger masses should be subdivided into smaller “modules” similar in size to buildings seen traditionally, wherever possible.
- The scale of principal elements such as porches and window bays is important in establishing and continuing compatibility in building scale.

#### **12.7 The roof form of a new building should be designed to respect the range of forms and massing found within the district.**

- This can help to maintain the sense of human scale characteristics of the area.
- The variety often inherent in the context can provide a range of design options for compatible new roof forms.

#### **12.8 A front façade should be similar in scale to those seen traditionally in the block.**

- The front façade should include a one-story element, such as a porch or other single-story feature characteristic of the context or the neighborhood.
- The primary plane of the front façade should not appear taller than those of typical historic structures in the block.
- A single wall plane should not exceed the typical maximum façade width in the district.

### *Height*

#### **12.9 Building heights should appear similar to those found historically in the district.**

#### **12.10 The back side of a building may be taller than the established norm if the change in scale would not be perceived from the public way.**

### *Width*

#### **12.11 A new building should appear similar in width to that established by nearby historic buildings.**

- If a building would be wider overall than structures seen historically, the façade should be divided into subordinate planes that are similar in width to those of the context.
- Stepping back sections of wall plane helps to create an impression of similar width in such a case.

### *Solid to Void Ratio*

#### **12.12 The ratio of wall-to-window (solid to void) should be similar to that found in historic structures in the district.**

- Large surfaces of glass are usually inappropriate in residential structures.
- Divide large glass surfaces into smaller windows.

### ***Building Form Guidelines***

#### **12.13 Building forms should be similar to those seen traditionally on the block.**

- Simple rectangular solids are typically appropriate.
- These might characteristically be embellished by front porch elements, a variation in wall planes, and complex roof forms and profiles.

#### **12.14 Roof forms should be similar to those seen traditionally in the block and in the wider district.**

- Visually, the roof is the single most important element in the overall form of the building
- Gable and hip roofs are characteristic and appropriate for primary roof forms in most residential areas.
- Roof pitch and form should be designed to relate to the context.
- Flat roof forms, with or without a parapet, are an architectural characteristic of particular building types and styles.
- In commercial areas, a wider variety of roof forms might be appropriate for residential uses.

### ***Proportion and Emphasis of Building Façade Elements***

#### **12.15 Overall façade proportions should be designed to be similar to those of historic buildings in the neighborhood.**

- The “overall proportion” is the ratio of the width to height of the building, especially the front façade.
- The design of principal elements of a façade, for example projecting bays and porches, can provide an alternative and balancing visual emphasis.
- See the discussions of individual historic districts (PART III), and the review of typical historic building styles (PART I, Section 4), for more details about façade proportions.

## **Applicable Design Standards for the Capitol Hill Historic District**

### ***Building Form***

#### **14.8 A new building should be designed to be similar in scale to those seen historically in the neighborhood.**

- In the Marmalade area, homes tend to be more modest, with heights ranging from one to two stories.
- Throughout Arsenal Hill larger, grander homes reached two-and-a-half to three stories.
- Front facades should appear similar in height to those seen historically on the block.

#### **14.9 A new building should be designed with a primary form that is similar to those seen historically.**

- In most cases, the primary form for the house was a single rectangular volume.
- In some styles, smaller, subordinate masses were then attached to this primary form.
- New buildings should continue this tradition.

**Analysis:** The proposed structure, although of a more modern design, has similar mass and scale to some of the existing structures along the Reed Avenue block face. This street has an eclectic mix of house heights with the adjoining home being about 22 feet in height. The proposed home will be 6 feet taller than this (28 feet) at its highest point based upon the slope of the lot. The home is a bit wider along Reed Avenue; however, this is expected as it is a side-yard compared to neighboring front yards. The roof shapes of neighboring homes represent an eclectic mix of gable and hipped roof styles. The proposed shed roof will compliment this mix.

The block face along Wall Street does not present a uniform style as it consists of; a rear yard of the adjoining home, the front yards of two single family homes, and the parking area of a large multi-family property. Warm Springs Park and a transformer station are immediately across the street. These conditions provide an opportunity to create a unique front façade for the home which the architect has done. While the large bank of windows and shed dormer are not common to the neighborhood, they will serve to improve the street frontage along Wall Street while not overpowering adjoining homes.

**Finding:** Staff finds that the proposed structure is generally compatible in mass, scale, height, width and form with other structures on the blocks.

## **Standard 2: Composition of Principal Facades:**

- a) Proportion of Openings: The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;
- b) Rhythm of Solids To Voids In Facades: The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;
- c) Rhythm of Entrance Porch And Other Projections: The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and
- d) Relationship of Materials: The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

## **Applicable Design Standards**

### ***Solid-to-Void Ratio***

**12.12 The ratio of wall-to-window (solid to void) should be similar to that found in historic structures in the district.**

- Large surfaces of glass are usually inappropriate in residential structures.
- Divide large glass surfaces into smaller windows.

### ***Rhythm & Spacing of Windows & Doors***

**12.16 The pattern and proportions of window and door openings should fall within the range associated with historic buildings in the area.**

- This is an important design criterion, because these details directly influence the compatibility of a building within its context.
- Where there is a strong fenestration relationship between the current historic buildings, large expanses of glass, either vertical or horizontal, may be less appropriate in a new building.

### ***Materials***

**12.17 Use building materials that contribute to the traditional sense of human scale of the setting.**

- This approach helps to complement and reinforce the traditional palette of the neighborhood and the sense of visual continuity in the district.

**12.19 New materials that are similar in character to traditional materials may be acceptable with appropriate detailing.**

- Alternative materials should appear similar in scale, proportion, texture and finish to those used historically.

## *Windows*

### **12.20 Windows with vertical emphasis are encouraged.**

- A general rule is that the height of the vertically proportioned window should be twice the dimension of the width in most residential contexts.
- Certain styles and contexts, e.g. the bungalow form, will often be characterized by horizontally proportioned windows.
- See also the discussions of the character of the relevant historic district (PART III) and architectural styles (Ch. 4, PART I).

### **12.22 Windows and doors should be framed in materials that appear similar in scale, proportion and character to those used traditionally in the neighborhood.**

- Double-hung windows with traditional reveal depth and trim will be characteristic of most districts.
- See also the rehabilitation section on windows (PART II, Ch. 3) as well as the discussions of specific historic districts (PART III) and relevant architectural styles (PART I, Ch. 4).

## *Architectural Character*

### **12.23 Building components should reflect the size, depth and shape of those found historically along the street.**

- These include eaves, windows, doors, and porches, and their associated decorative composition and detail.

### **12.26 The replication of historic styles is generally discouraged.**

- Replication may blur the distinction between old and new buildings, clouding the interpretation of the architectural evolution of a district or setting.
- Interpretations of a historic form or style may be appropriate if it is subtly distinguishable as new.

## **Applicable Design Standards for Capitol Hill Historic District**

### **14.10 Building materials that are similar to those used historically should be used.**

- Appropriate primary building materials include stone, brick, stucco and painted wood.

**Analysis:** The proportion of windows and doors along Reed Avenue is similar to existing properties. This is not the case along Wall Street, but the Wall Street frontage does not have a uniform residential character that can be compared to. The larger eaves also compliment the architecture of multiple bungalows along the block face and will not overpower the existing scale. While the south elevation is not considered the front yard, it is more residential in character than the north. An entry door, balcony, and porch have been provided which will serve to compliment the streetscape. While there are multiple windows provided, they are divided into smaller masses by the by the varying building planes and do not represent a bank of windows. The exterior facades of homes along Reed Avenue are predominately brick with a few that have wood siding or stucco. The proposed home will have metal siding and concrete. While not used along the street, these materials will allow the home to stand out as a new addition to the neighborhood.

The north elevation will consist of a bank of windows that include sliding glass doors which will serve as the primary entrance. The remainder of the façade will be sided in wide plank wood. As stated earlier, there are only a few homes along Wall Street which were originally brick but have been sheathed in stucco. While large window banks are not normally supported, the street frontage is not clearly defined, allowing for a more innovative approach.



**Finding:** The proposed façade of the subject structure is consistent and compatible with other structures on the block face and in the immediate vicinity in terms of the proposed proportion of openings, solid to void ratio, rhythm of the entrance porch and other projections, and materials.

### **Standard 3: Relationship to Street:**

- a) Walls of Continuity: Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;
- b) Rhythm of Spacing And Structures On Streets: The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;
- c) Directional Expression of Principal Elevation: A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and
- d) Streetscape; Pedestrian Improvements: Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.

### **Applicable Design Standards**

**12.3 When designing a new building, the historic settlement patterns of the district and context should be respected.**

- A new building should be situated on its site in a manner similar to the historic buildings in the area.
- This includes consideration of building setbacks, orientation and open space. (See also the individual district guidelines in PART III).

**12.4 The front and the entrance of a primary structure should orient to the street.**

- A new building should be oriented parallel to the lot lines, maintaining the traditional grid pattern of the block.
- An exception might be where early developments have introduced irregular or curvilinear streets, such as in Capitol Hill.

### **Applicable Design Standards for the Capitol Hill Historic District**

**14.4 The tradition setback and alignment of buildings to the street, as established by traditional street patterns, should be maintained.**

- In Arsenal Hill, street patterns and lot lines call for more uniform setback and sitting of primary structures.
- Historically, the Marmalade District developed irregular setbacks and lot shapes.
- Many homes were built toward compass points, with the street running at diagonals.
- This positioning, mixed with variations in slope, cause rows of staggered houses, each with limited views of the streetscape.
- Staggered setbacks are appropriate in this part of the district because of the historical development.
- Traditionally, smaller structures were located closer to the street, while larger ones tended to be set back further.

**14.5 The side yard setbacks of a new structure, or an addition, should be similar to those seen traditionally in the sub-district or block.**

- The traditional building pattern should be followed in order to continue the historic character of the street.
- Consider the visual impact of new construction and additions on neighboring houses and yards.
- Consider varying the setback and height of the structure along the side yard to reduce scale and impact.

**14.6 The front of a primary structure should be oriented to the street.**

- The entry should be defined with a porch or portico.

**Analysis:** The proposed home will be constructed closer to the sidewalk than other homes along either block face. This is primarily driven by the shape and undersized character of the parcel. The home immediately to the west along Reed Avenue is setback 4 feet from the property line and the other setbacks generally increase as you continue westward. Along Wall Street, some homes are as close as 7 feet from the property line. Based upon averaging the block faces, the ordinance would normally require a 10.5 foot setback along Reed Avenue and a 13 foot setback along Wall Street. This proposal is for a 3 foot setback along both street frontages. The impact of allowing this modification will be diminished by the slight rise in grade and the presence of large park strip trees which will be retained. The relationship of solids to voids (set-backs between structures) on the south façade will be visually compatible with surrounding structures. Several homes have between 4 and 6 feet between them. There are two street frontages. Both have been respectfully designed with entryways, a porch at the corner, and a concrete patio along the north. The pedestrian sidewalk is improved and the existing trees in the park strip will be retained.

**Finding:** Staff finds that the proposed home meets this standard. The established wall of continuity and orientation of the building will be consistent with both block faces.

**Standard 4: Subdivision of Lots:** The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

**Analysis:** This standard is not applicable as no subdivision amendments are proposed.

**Finding:** Staff finds that this standard is not applicable.

**General Standards for Special Exceptions, Section 21A.52.060**

The applicant is seeking relief through the Special Exception process from setbacks, yard coverage, and height limitations in the district. The standards of review for a special exception are set forth in Section 21A.52.060 of the Salt Lake City Zoning Ordinance. The standards are as follows:

- A. **Compliance With Zoning Ordinance And District Purposes:** The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.

**Analysis:** The purpose of the SR-1A special development residential district is to maintain the unique character of older predominantly single-family and two-family dwelling neighborhoods that display a variety of yards, lot sizes and bulk characteristics.

Side yard and coverage requirements are typically used to maintain adequate separation between neighboring buildings for privacy, sunlight, visual uniformity, and provide the opportunity for landscaping. In this case, the parcel is extremely undersized and shaped in a manner where the standard setback and coverage requirements have left it effectively unbuildable. Providing relief from these limitations will allow the property to be developed and serve to clean-up a corner that has been blighted for many years.

The zoning ordinance limits lot coverage to 40 percent of the property. The applicant is seeking 69 percent coverage. Based upon averaging the block faces, the ordinance would normally require a 10.5 foot setback along Reed Avenue and a 13 foot setback along Wall Street.

The applicant is also seeking approximately 5 feet of additional building height. This is necessitated by the slope of the property and will be most predominate on the southwest corner. The additional height will be negligible on the Wall Street frontage and less of a concern as it is adjoining the neighboring properties rear yard. The home immediately west of this property is 22 feet tall and there are several between 23 and 24 feet in height across the street. As is typical in the Capitol Hill District, there is an eclectic mix of home sizes in the area. As the majority of the home will be below the 23 foot limit, staff believes that the additional height will not negatively affect the neighborhood.

**Finding:** Relief from setbacks, lot coverage, and height limitations will be in harmony with the purposes of the zoning district.

- B. No Substantial Impairment Of Property Value:** The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.

**Analysis:** The property is zoned for single-family homes. Multiple attempts at developing the lot have been hindered by setback and coverage requirements. Providing relief from these limitations will allow the property to be developed as a home which is sized to complement existing residential uses in the neighborhood. Allowing for the construction of a home at this undeveloped location will serve to enliven the corner and address a property that has long been overlooked.

**Finding:** Constructing a home at this location will not substantial impair property values. The petition complies with this standard.

- C. No Undue Adverse Impact:** The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.

**Analysis:** The use of the property as a home is in keeping with the purposes of the zoning district. It is understood that the SR-1A district exhibits a variety of yard and bulk characteristics. As the proposed home is similar in mass to adjoining houses, it will not materially affect the character of the neighborhood. The proposed 3 foot setbacks along Reed and Wall Street will only be 3 feet closer than the adjacent property along Reed, and 4 feet less than the closest house along Wall Street.

The additional 5 feet in height and 29 percent in lot coverage is deemed appropriate when considering the square footage available and the limitations of constructing on a double frontage lot.

**Finding:** The petition complies with this standard.

- D. **Compatible With Surrounding Development:** The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.

**Analysis:** Single family homes represent the predominant development pattern. The drive approach will be provided along Wall Street and is adjacent to the neighbors parking areas. The configuration of the home on the lot embraces its unique character and is found to be compatible with adjoining properties.

**Finding:** The petition complies with this standard.

- E. **No Destruction Of Significant Features:** The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.

**Analysis:** Over the years, this undeveloped property has often been allowed to be over-run with weeds. Allowing its development will improve the neighborhood. Along Reed Avenue, there are several mature trees in the park strip. These will be retained.

**Finding:** The petition complies with this standard.

- F. **No Material Pollution Of Environment:** The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.

**Analysis:** A modification of setback and lot coverage requirements will not create air, water, soil or noise pollution.

**Finding:** The petition complies with this standard.

- G. **Compliance With Standards:** The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.

**Analysis:** The zoning ordinance allows the Landmarks Commission to modify bulk and lot regulations of the zoning district where it is found that the underlying zoning would not be compatible with the historic district. In this case, a strict interpretation of the setback and coverage requirements has left the property undevelopable. Providing relief from these requirements while complying with all other standards will allow for the proper development of the property.

**Finding:** The petition complies with this standard.



May 21, 2013

Re: 757 WALL STREET

To whom it may concern;

757 Wall Street is a triangle shaped vacant parcel located where Reed Ave and Wall St connect.

To our knowledge, this parcel has never had a structure built on it. According to City records, there have been prior submittals for construction on the subject parcel. The surrounding neighbors include a city park (Warm Springs) across the street, a power station built primarily of steel, numerous old homes dating to the early 1900's, duplex's, multi-family and office space. To say that the area is diverse and eclectic is an understatement.

Traditional home styles and designs were unsuccessfully designed for the subject lot. In addition, when the standard front yard, side and rear yard set backs are applied; one is left with an unbuildable lot.

To truly capture the uniqueness of this lot, the architect embraced the triangle instead of trying to force it to be something it is not.

The proposed home is unique and consists of two overlapping triangles. The main floor is approximately 2,000 square feet with a kitchen, family room, dining area, a half bath and a master bedroom/bath. There are stairs leading to a loft which is situated over the garage area. The loft consists of a bedroom, a ¼ bath, office/sitting area, a deck and an open library.

The unfinished basement includes the furnace/utility room, a ¾ bath, a wet bar and possibly a couple bedrooms.

The exterior materials include glass, concrete, metal and wood. The roof is non-reflective metal. The materials on the south side of the home are concrete, metal and glass. The materials on the front of the home are Brazilian hardwood (Jatoba) and glass.

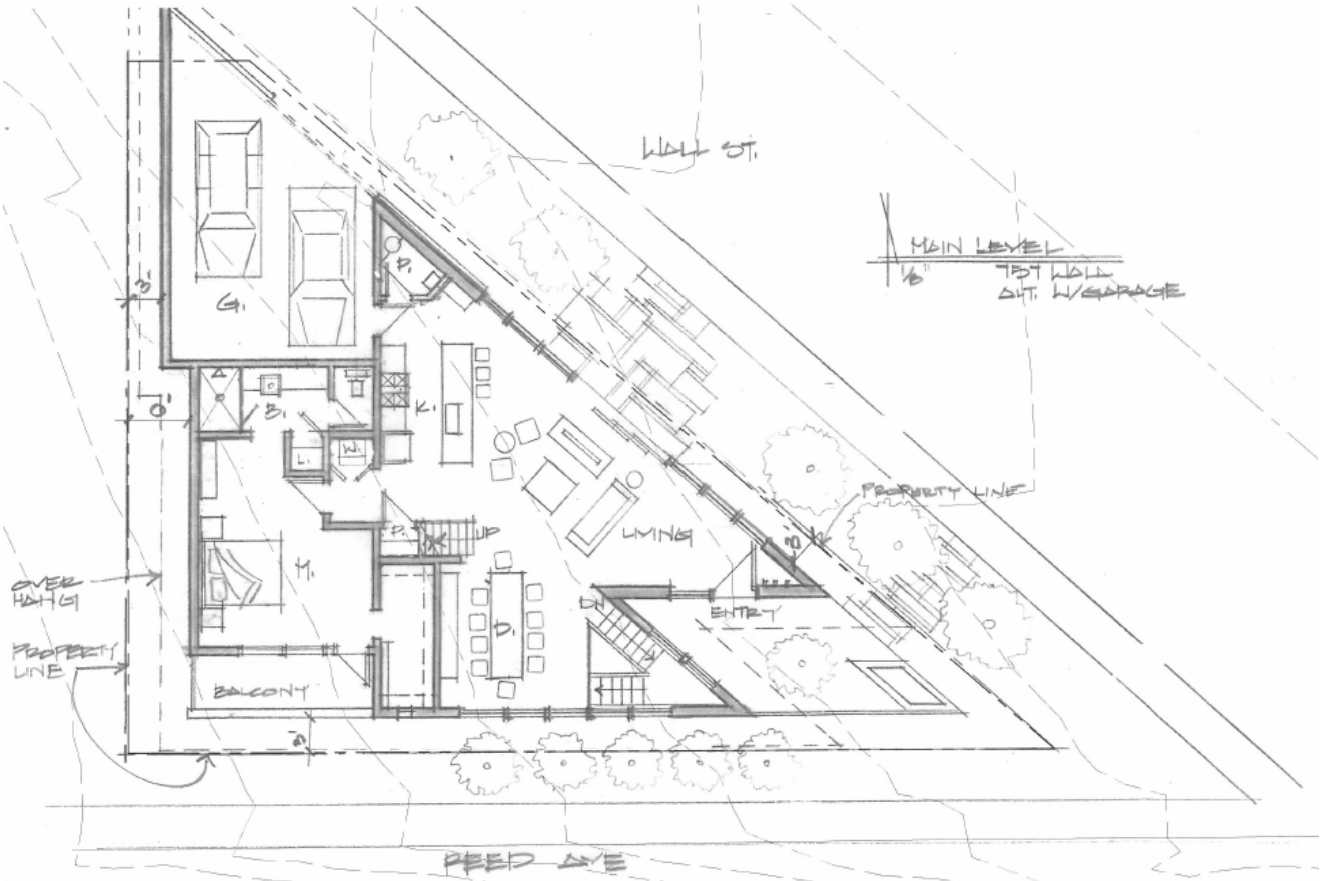
We believe that the proposed home is appropriate for the neighborhood and will be a great asset to the area.

Sincerely,

Dave Robinson

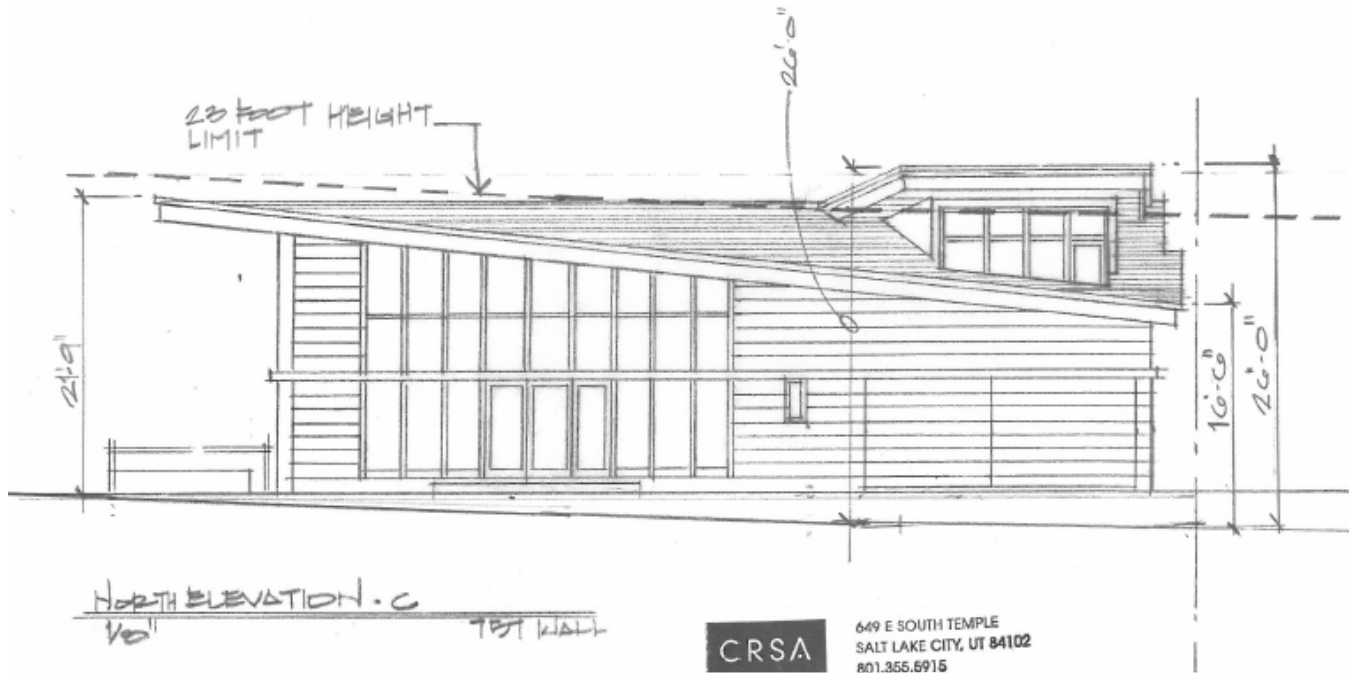
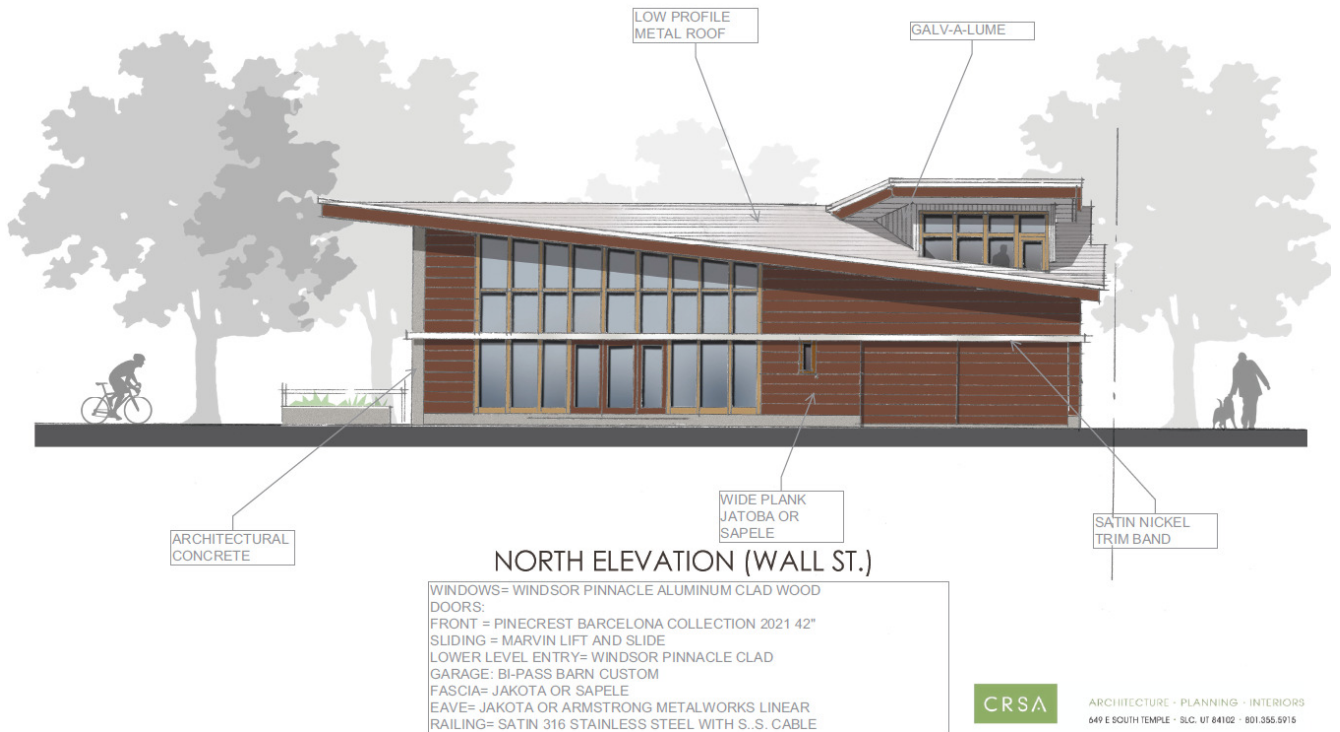
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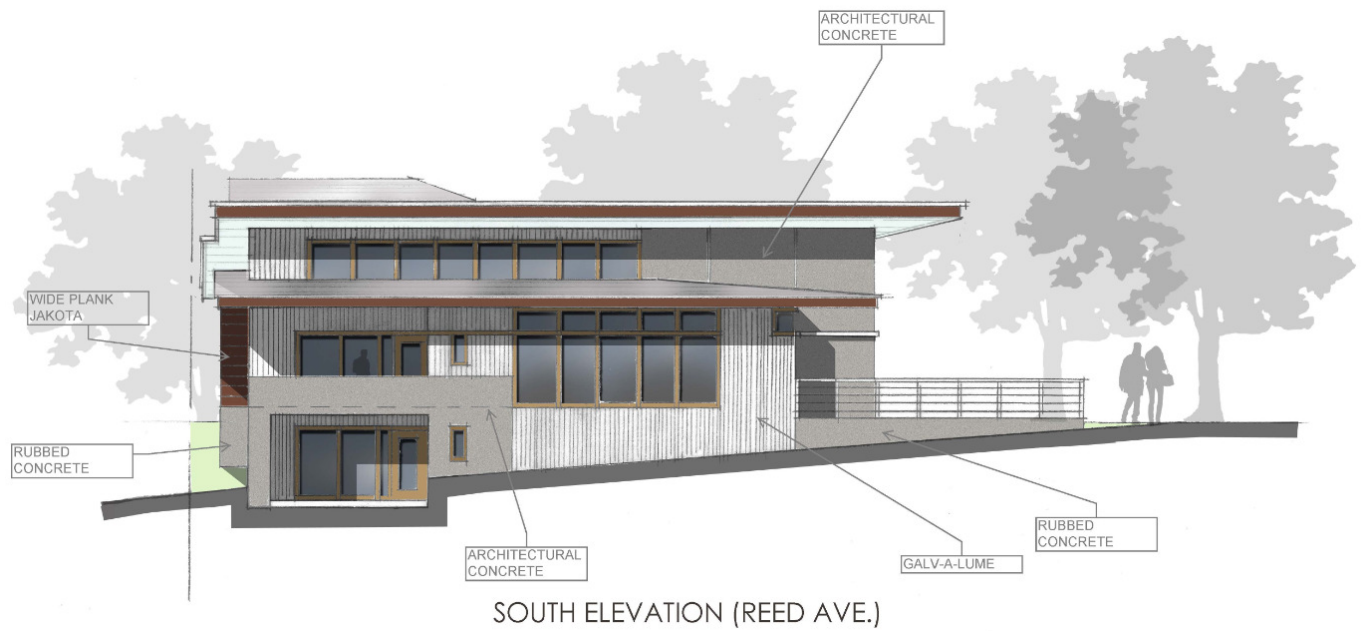


**Site Plan**

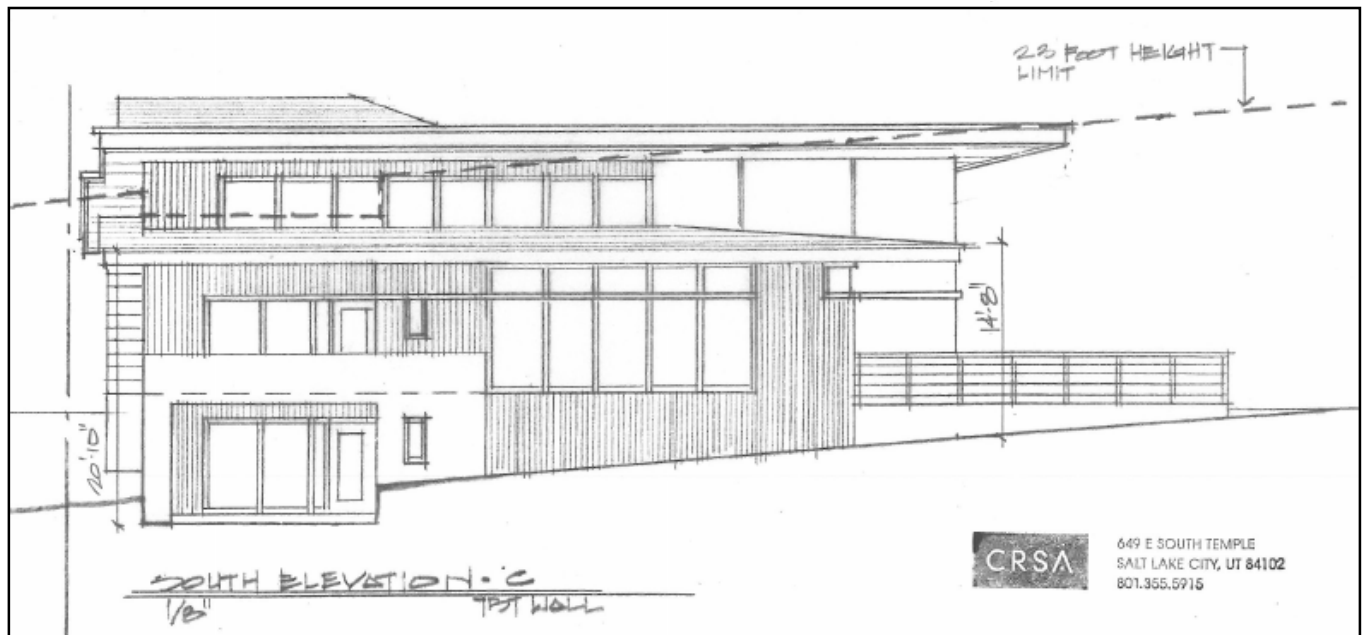




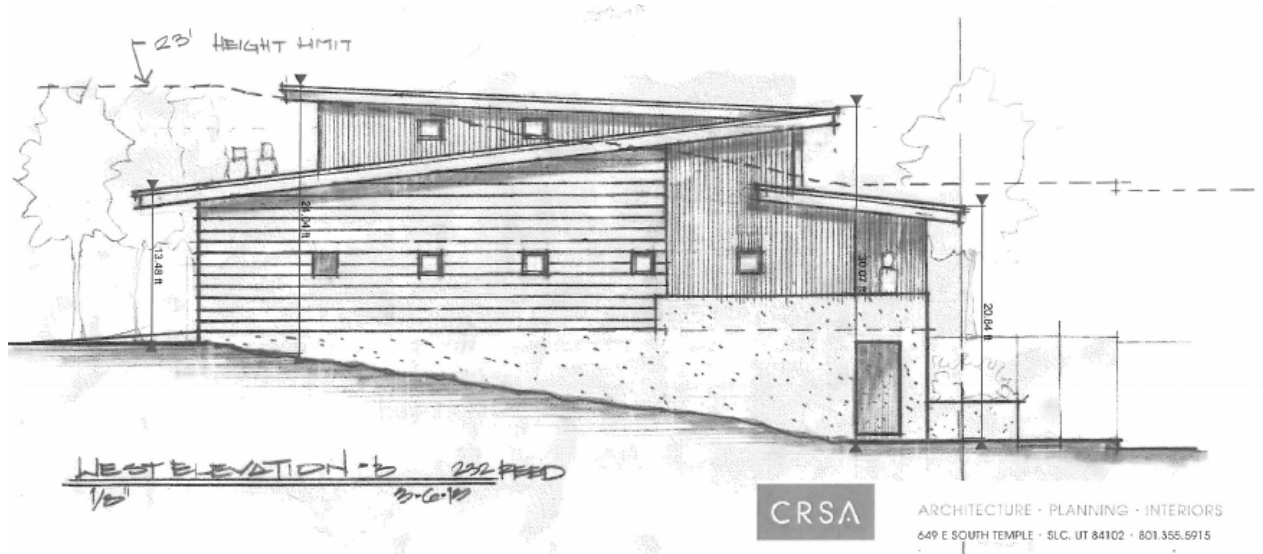
**North Elevation Showing Height Limitations**



SOUTH ELEVATION (REED AVE.)



**South Elevation Including Height Limits**



**West Elevation**

***Attachment C***  
Photographs





**View Looking West**



**View Looking South**



**View Looking East**





**Ariel View of Vicinity**



**Adjoining Property to the West**



**Homes Across the Street on Reed Ave**