

HISTORIC LANDMARK COMMISSION STAFF REPORT

**Newhouse Apartments
New Construction
PLNHLC2012-00538
540 East 500 South
October 4, 2012**



Planning Division
Department of Community and
Economic Development

Applicant

Strategic Capital Group
Adam Paul, Representative

Staff

Elizabeth Buehler (801) 535-6313
elizabeth.buehler@slcgov.com

Tax ID 16-06-476-030, 16-06-476-032,
16-06-476-033, 16-06-476-014

Current Zone

RO Residential Office
RMF-35 Moderate Density Residential

Master Plan Designation

Residential Office Mixed Use
Medium Density Residential

Lot Size .80 acres, 34,848 square feet

Current Use

Vacant office building and
parking lot

Council District Distric 4-Luke Garrott

Review Standards

- 21A.34.020
- 21A.24.180
- 21A.24.130

Notification

- Notice mailed on: September 21, 2012
- Property posted:
September 24, 2012
- Posted on City & State Websites:
September 21, 2012

Attachments

- A. Application
- B. Submittals
- C. Site Photographs

REQUEST

Strategic Capital Group, represented by Adam Paul, requests approval to construct a multi-family structure at approximately 540 East 500 South. The demolition of the existing office building on the site was approved by staff on April 26, 2012.

STAFF RECOMMENDATION

Staff recommends that the Historic Landmark Commission review the petition and deny the request pursuant to the findings and analysis in this report. Specifically, the proposed project does not substantially comply with the following standards: Standard 1, Standard 2 and Standard 3.

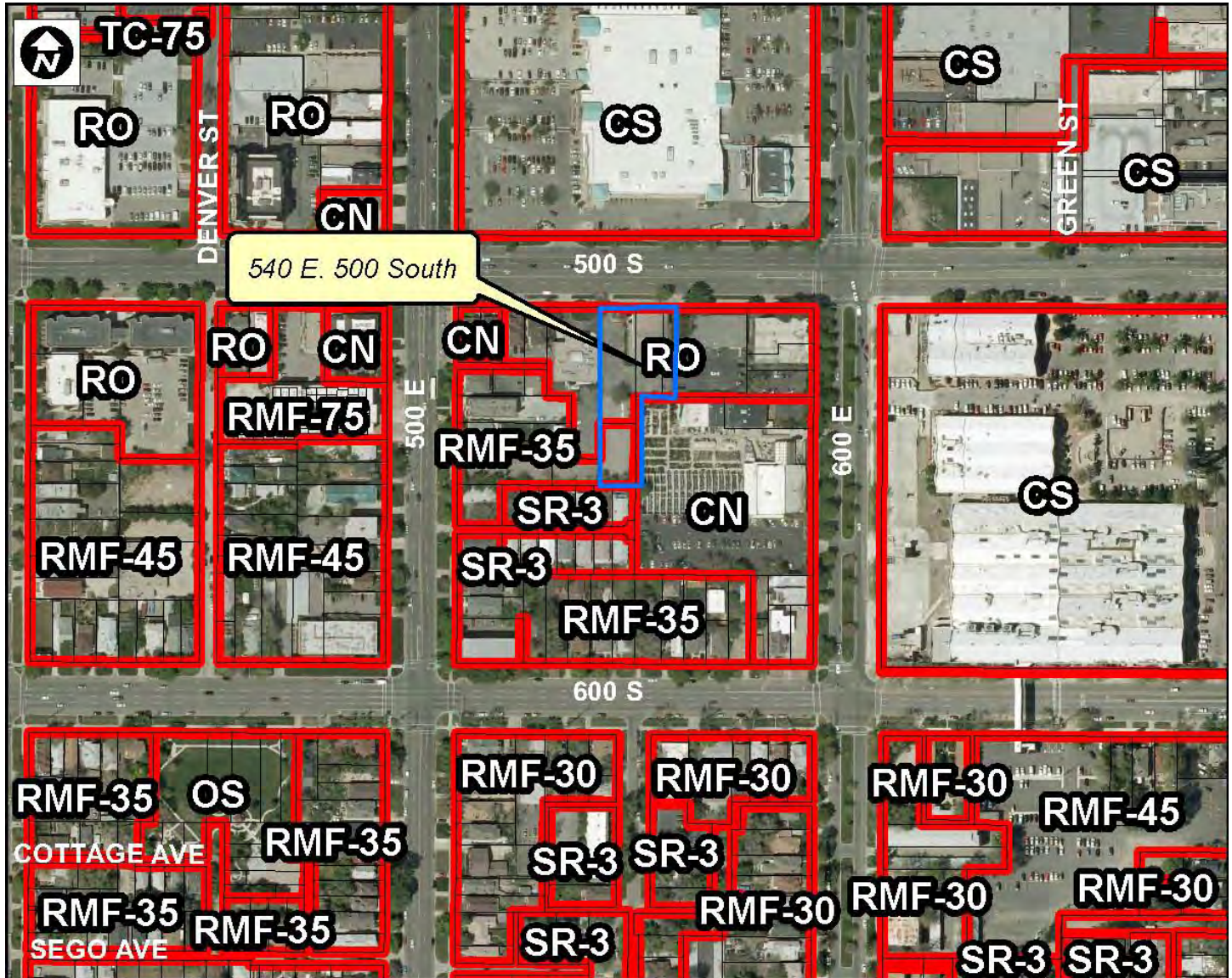
POTENTIAL MOTIONS

Consistent with Staff Recommendation: Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Commission deny the request for new construction approval at 540 East 500 South. Specifically, the Commission finds that the proposed project is does not substantially comply with Standards 1, 2 and 3.

-or-

Not Consistent with Staff Recommendation: Based on the testimony and the proposal presented, I move that the Commission approve the request for new construction approval at 540 East 500 South based on the following findings (Commissioner then states findings based on the Standards to support the motion):

Vicinity Map



Project Information

Request

The applicant, Strategic Capital Group, seeks approval to build a new multi-family structure at approximately 540 East 500 South. The proposed structure will include 72 residential units, an underground parking garage and various residential amenities. The structure will have four stories and be fifty feet (50') tall. The primary building materials include scored CMU block, fiber cement board siding and flat panel zinc-aluminum. The front doors will be aluminum storefront. There will be a variety of window types, though primarily with vinyl frames. The only signage will state the name of the property, "Newhouse," and be over the front pedestrian entrance. The signage's individual letters will be back-lit individual letters. The entrance to the underground parking garage is in the center of the front elevation, directly next to the pedestrian entrance. There are seating areas in the front setback for property residents. (See Attachment B, Submittals)

Project Details

RO Ordinance Requirement	Existing/Proposed	Comply
Minimum Lot Area And Lot Width: No min lot area/100 feet width	34,848 square feet/143 feet	COMPLIES
Maximum Building Height: 60 ft.	50 ft.	COMPLIES
Minimum Front Yard Requirements: 25 ft.	25 ft.	COMPLIES
Interior Side Yard: 4 ft./10 ft.	15 ft./15 ft.	COMPLIES
Rear Yard: 30 ft.	30 ft.	COMPLIES
Maximum Building Coverage: 60%	54%	COMPLIES

Background

The applicant, Strategic Capital Group, owns four parcels at approximately 540 East 500 South. Currently there is an unoccupied office building and parking lot on the parcels. The office building was approved for demolition on April 26, 2012 due to a Land Use Appeal Board decision from 2007 that determined the existing building as non-contributory (PLNHLC2012-00236). The applicant intends to tear down the existing building and place a new multi-family structure in its place. (See Attachment C: Demolition COA)

Two previous proposals have been approved by the Historic Landmark Commission in the past for this site. Both were four story multi-family projects, one was in 2008 (470-07-15), the other in 2009 (PLNHLC2009-00481). Neither project was developed.

Three of the four parcels are zoned RO Residential Office District. An interior parcel with no street access is zoned RMF-35 Moderate Density Multi-Family Residential District. The applicant has rezone and master plan amendment applications in to rezone the interior parcel to RO Residential Office to be the same as the other three parcels. Those applications have received positive recommendations from the Planning Commission. The City Council is scheduled to hold a work session on those applications on October 2, 2012. If City Council does not rezone the interior parcel, the proposed structure before the Historic Landmark Commission will not meet the criteria of the RMF-35 Moderate Density Multi-Family Residential District. This application is contingent on the rezoning being approved.

Comments

Public Comments

Staff has received no comments from the public as of the publication of this report.

Project Review

Staff has reviewed this project and met with the applicant to discuss the design of the project. Staff has expressed concerns about the location of the parking garage drive entrance, the multiple primary building materials and how the design emphasizes the building's mass.

Options

The Historic Landmark Commission can pursue three options with this application. If the Commission feels the application meets all applicable code and design guidelines, it can approve the application. If the Commission feels the application does not meet the applicable code and design guidelines, it can deny the application. Or, the Commission can table the application if it wishes to allow the applicant to respond to specific direction from the Commission.

Analysis and Findings

ZONING ORDINANCE AND DESIGN GUIDELINES 21A.34.020 H Historic Preservation Overlay District

Standards For Certificate Of Appropriateness Involving New Construction Or Alteration Of A Noncontributing Structure: In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the historic landmark commission, or planning director when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually compatible with surrounding structures and streetscape as illustrated in any design standards adopted by the historic landmark commission and city council and is in the best interest of the city:

Standard 1: Scale and Form:

- a) Height And Width: The proposed height and width shall be visually compatible with surrounding structures and streetscape;
- b) Proportion of Principal Facades: The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape;
- c) Roof Shape: The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and
- d) Scale of a Structure: The size and mass of the structures shall be visually compatible with the size and mass of surrounding structure and streetscape.

Applicable Design Standards

Mass and Scale

11.4 Construct a new building to reinforce a sense of human scale. A new building may convey a sense of human scale by employing techniques such as these:

- Using building materials that are of traditional dimensions.
- Providing a one-story porch that is similar to that seen traditionally.
- Using a building mass that is similar in size to those seen traditionally.
- Using a solid-to-void that is similar to that seen traditionally, and using window openings that are similar in size to those seen traditionally.

11.5 Construct a new building to appear similar in scale to the scale that is established in the block. Subdivide larger masses into smaller “modules” that are similar in size to buildings seen traditionally.

11.6 Design a front elevation to be similar in scale to those seen traditionally in the block. The front shall include a one-story element, such as a porch. The primary plane of the front should not appear taller than those to typical historic structures in the block. A single wall plane should not exceed the typical maximum façade width in the district.

Height

11.7 Build to heights that appear similar to those found historically in the district. This is an important standard which should be met in all projects.

11.8 The back side of a building may be taller than the established norm if the change in scale will not be perceived from public ways.

Width

11.9 Design a new building to appear similar in width to that of nearby historic buildings. If a building would be wider overall than structures seen historically, the facade should be divided into subordinate planes that are similar in width to those of the context.

Building Form Standards

11.11 Use building forms that are similar to those seen traditional on the block. Simple rectangular solids are typically appropriate.

11.12 Use roof forms that are similar to those seen traditionally in the block. Visually, the roof is the single most important element in an overall building form. Gable and hip roofs are appropriate for primary roof forms in most residential areas. Shed roofs are appropriate for some additions. Roof pitches should be 6:12 or greater. Flat roofs should be used only in areas where it is appropriate to the context. They are appropriate for multiple apartment buildings, duplexes, and fourplexes. In commercial areas, a wider variety of roof forms may occur.

Proportion of Building Elements

11.13 Design overall facade proportions to be similar to those of historic buildings in the neighborhood. The “overall proportion” is the ratio of the width to height of the building, especially the front facade. See the discussions of individual districts and of typical historic building styles for more details about facade proportions.

Applicable Design Standards for the Central City Historic District

Building Mass

13.27 Design new buildings to be similar in mass to those that were typical historically in the district. If the building would be larger than those seen on the block, subdivide larger masses of the building into smaller “modules” that are similar in size to buildings seen traditionally.

Building Scale

13.28 Design new buildings so that they appear similar in scale to those seen traditionally on the block.. A new front façade should appear similar in height to those seen historically in the block. Taller portions should be set back farther on the lot. Story heights should appear similar to those seen historically. Also, consider using architectural details to give a sense of the traditional scale of the block.

Building Form

13.29 Design a new building to have a form similar to those seen historically. If the building would be larger than those seen on the block, subdivide larger masses of the building into smaller “modules” that are similar in size to buildings seen traditionally.

Analysis: The proposed structure will have a similar width to the surrounding structures but will be significantly taller. The proposed structure will be four stories with a height of fifty feet (50') and a width of one hundred fifteen feet (115'). The structure directly to the east, 560 East 500 South, is twenty feet (25') tall and one-hundred ten feet (110') wide. The structure to the west, 530 East 500 South, is nineteen feet (19') tall and one-hundred feet (100') wide. The second structure to the west, 510 South 600 East, is thirty-two feet (32') tall and one-hundred twenty feet (120') wide. The structures on the western side of the block face are more residential in their design and do not have similar widths to the structures at the eastern side of the block face. Their average height is thirty-two feet (32'). The only existing structure nearby of similar height is the Smith's Marketplace across the street. It has a height of forty-five feet (45').

The proposed structure's additional height will give it more of a square look than the surrounding buildings on the block, which are horizontal rectangles. Other traditional apartment buildings in the district generally have a vertical rectangle look. The proposed building will have a flat roof, similar to the surrounding structures, while traditional apartment buildings in the district generally have pitched roofs. Similar to the surrounding structures and traditional apartment buildings, the proposed building will be the same height from the front elevation to the rear elevation.

The height of the proposed structure will make it the focal point of the block as it will be eighteen feet (18') taller than the current block average. The proposed height is well within the RO Residential Office District standard of sixty feet (60'). The entire block face is zoned RO Residential Office except for the two lots on the western corner, those lots are zoned CN Neighborhood Commercial.

The proposal has a unique solid to void ratio for the block face but there is already a variety of solid to void ratios on the block because of the different building types. The proposal will not seem out of place in that regard.

The proposed building will have four primary building materials on the front façade: scored CMU block, fiber board cement siding in two colors and flat panel zinc-aluminum. Wood siding and brick are traditional materials in the district, while metal was historically used as an accent. Most structures in the district use one primary building material. Surrounding buildings have at most two primary building materials (See Attachment D: Site Photographs). The use of four distinct primary building materials hurts the compatibility of the proposed structure with the surrounding buildings and the historic district.

Also, while the proposed building will be broken into modules, the modules are more vertical than horizontal in nature and help accentuate the height of the structure. This does not help create a human scale, which is needed in such a tall structure for the historic district.

The use of scored CMU block and front yard outdoor seating help accentuate human scale and the pedestrian level of the proposed structure but more needs to be done. The pedestrian entrance is overshadowed by the garage entrance being directly to its left, the garage entrance is the primary feature on the main level front elevation. Emphasizing the pedestrian entrance, possibly with a stronger door feature or pronounced porch, will make the building less auto orientated. Trolley Place Apartments at 520 South 500 East, just outside the historic district, has a similar problem with the central drive becoming the main feature of the front elevation.

Finding: Staff finds that the proposal is generally not in scale nor form with other structures on its block and in the Central City Historic District, primarily due to the building mass being unique to the block face and district.

Standard 2: Composition of Principal Facades:

- a) Proportion of Openings: The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;
- b) Rhythm of Solids To Voids In Facades: The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;
- c) Rhythm of Entrance Porch And Other Projections: The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and

- d) Relationship of Materials: The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

Applicable Design Standards

Solid-to-Void Ratio

11.10 Use a ratio of wall-to-window (solid to void) that is similar to that found on historic structures in the district. Large surfaces of glass are inappropriate in residential structures. Divide large glass surfaces into smaller windows.

Rhythm and Spacing

11.14 Keep the proportions of window and door openings similar to those of historic buildings in the area. This is an important design standard because these details strongly influence the compatibility of a building within its context. Large expanses of glass, either vertical or horizontal, are generally inappropriate on new buildings in historic districts.

Materials

11.15 Use building materials that contribute to the traditional sense of scale of the block. This will reinforce the sense of visual continuity of the district.

11.16 New materials that are similar in character to traditional materials may be acceptable with appropriate detailing. Alternative materials should appear similar in scale, proportion, texture and finish to those used historically. They also must have a proven durability in similar locations in this climate. Metal products are allowed for soffits and eaves only.

Architectural Character

11.17 Use building components that are similar in size and shape to those found historically along the street. These include windows, doors, and porches.

11.18 If they are to be used, design ornamental elements, such as brackets and porches to be in scale with similar historic features. Thin, fake brackets and strap work applied to the surface of a building are inappropriate uses of these traditional details.

11.19 Contemporary interpretations of traditional details are encouraged. New designs for window moldings and door surrounds, for example, can provide visual interest while helping to convey the fact that the building is new. Contemporary details for porch railings and columns are other examples. New soffit details and dormer designs also could be used to create interest while expressing a new, compatible style.

11.20 The imitation of older historic styles is discouraged. One should not replicate historic styles, because this blurs the distinction between old and new buildings, as well as making it more difficult to visually interpret the architectural evolution of the district. Interpretations of historic styles may be considered if they are subtly distinguishable as new.

Windows

11.21 Windows with vertical emphasis are encouraged. A general rule is that the height of the window should be twice the dimension of the width in most residential contexts. See also the discussions of the character of the relevant historic district and architectural styles.

11.22 Frame windows and doors in materials that appear similar in scale, proportion and character to those used traditionally in the neighborhood. Double-hung windows with traditional depth and trim are preferred in most districts.

11.23 Windows shall be simple in shape. Odd window shapes such as octagons, circles, diamonds, etc. are discouraged.

Applicable Design Standards for the Central City Historic District

13.30 Use primary materials on a building that will appear similar to those used historically. Appropriate building materials include: brick, stucco and painted wood. Substitute materials may be considered under some circumstances.

Analysis: The proposed structure has a contemporary design that does not try to imitate historic styles. The proposed proportion of openings and rhythm of solids to voids is unique to the block face, but the block face does not have continuity in either of those areas, due to the different building styles found on the block.

The proposed building will have a variety of window types. Most of the windows in the proposal are rectangular with a vertical emphasis, as found historically in the district. Also, larger windows are divided into smaller panes. All the windows are proposed to be vinyl and not the traditional wood.

The other buildings on the block face do have front pedestrian entrances that are more prominent than the proposal. It would help if the proposal accentuates its pedestrian entrance more, especially since it sits next to the auto garage entrance.

The relationship of materials in the proposal will not be visually compatible with other structures on the block face. While there is a collection of different building materials on the block, brick being the most prominent, the other structures have one or two primary building materials, not four. The proposal is using metal as a primary building material when it is found as an accent normally in the district. The scored CMU block does have a brick appearance but the lack of mortar hurts the brick imitation.

Finding: The proposal does not meet this standard, because the pedestrian entrance is not as prominent as other structures on the block face and in the district and the use of materials is not typical for the district.

Standard 3: Relationship to Street:

- a) Walls of Continuity: Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;
- b) Rhythm of Spacing And Structures On Streets: The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;
- c) Directional Expression of Principal Elevation: A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and
- d) Streetscape; Pedestrian Improvements: Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.

Applicable Design Standards

11.1 Respect historic settlement patterns. Site new buildings such that they are arranged on their sites in ways similar to historic buildings in the area. This includes consideration of building setbacks, orientation and open space, all of which are addressed in more detail in the individual district standards.

11.2 Preserve the historic district's street plan. Most historic parts of the city developed in traditional grid patterns, with the exception of Capitol Hill. In this neighborhood the street system initially followed the steep topography and later a grid system was overlaid with little regard for the slope. Historic street patterns should be maintained. See specific district standards for more detail. The overall shape of a building can influence one's ability to interpret the town grid. Oddly shaped structures, as opposed to linear forms, would diminish one's perception of the grid, for example. In a similar manner, buildings that are sited at eccentric angles could also weaken the perception of the grid, even if the building itself is rectilinear in shape. Closing streets or alleys and aggregating lots into larger properties would also diminish the perception of the grid.

11.3 Orient the front of a primary structure to the street. The building should be oriented parallel to the lot lines, maintaining the traditional grid pattern of the block. An exception is where early developments have introduced curvilinear streets, like Capitol Hill.

12.12 Screening parking areas from view of street. Automobile headlight illumination from parking areas shall be screened from adjacent lots and the street. Fences, walls and plantings, or a combination of these, should be used to screen parking.

Applicable Design Standards for the Central City Historic District

Setback

13.23 Maintain the established alignment of building fronts in the block. In general, larger, taller masses should be set back farther from the front than smaller structures. In some cases, therefore, a setback that is greater than the median setback may be appropriate.

13.24 Maintain the rhythm established by uniform setbacks in the block. It is particularly important that the traditional spacing pattern be maintained as seen from the street. Follow the traditional building pattern in order to maintain the historic character of the street. Consider the visual impact of new construction and additions on neighbors along side yards. Consider varying the height and setback of the structure along the side yard.

Primary Entrance

13.25 Clearly define the primary entrance to the house. Use a porch, stoop, portico or similar one-story feature to indicate the entry. Orienting the entry to the street is preferred. Establishing a "progression" of entry elements, including walkway, landscape elements and porch also is encouraged.

Commercial Area Standards

13.31 Minimize the visual impacts of automobiles as seen from the sidewalk by pedestrians. Provide landscaped buffer areas to screen and separate the sidewalk from parking and drive lanes within individual commercial sites.

13.32 Screen service areas from the residential portions of historic districts. Use fences, walls and planting materials to screen service areas. When feasible, locate service areas away from residential portions of the historic district.

13.33 Minimize the visual impacts of signs. This is particularly important as seen from within residential portions of the historic district. Smaller signs are preferred. Monument signs and low pole-mounted signs are appropriate.

13.34 Shield all site lighting such that it does not spill over into residential portions of the historic district.

Analysis: The proposed structure will continue the continuity of the street and respect the historic settlement patterns of the district. It will be oriented towards the street as other structures on the block face and district. It will have similar setbacks and maintain the street and alley pattern. The proposal will also create a private/public space in the front setback by providing resident seating areas, similar to front porches on residential homes. The signage is similar to traditional apartment buildings in the district due to the only signage being over the pedestrian entrance on the front elevation.

The proposal also does a good job shielding heavier uses from existing single family residential by having the dumpsters in the underground parking area and the service area near the commercial street, 500 South.

However, the proposed building will disrupt the street's wall of continuity in two areas. One, the proposed structure will be much taller than other structures on the block face. The proposed structure will be fifty feet (50'); the block average is thirty-two feet (32') with the building to the east having a height of twenty-five feet (25') and the building to the west being nineteen feet (19'). Two, other structures on the block face have more distinct pedestrian entrances. The wall of continuity would be helped if the pedestrian entrance was made more prominent against the garage entrance.

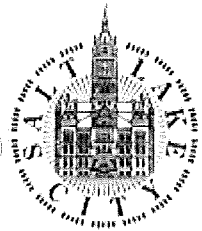
Finding: Staff finds that the proposed structure does not meet this standard. The primary entrance to the building is not clearly defined as other existing buildings on the block face and historic district.

Standard 4: Subdivision of Lots: The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

Analysis: The proposed development includes four parcels. Three of those parcels are zoned RO Residential Office. The fourth parcel is zoned RMF-35 Moderate Density Multi-Family Residential. The applicant has an active application to change the zoning of that parcel from RMF-35 Moderate Density Multi-Family Residential to RO Residential Office and change the master plan designation from medium density residential to residential office mixed use. The Planning Commission has forwarded a positive recommendation to the City Council. The application is waiting a City Council decision. If the zoning application is denied, the project will have to be re-designed because the portion of the building on the fourth parcel will not meet the RMF-35 Moderate Density Multi-Family Residential standards. The applicant is not required to combine the four parcels to build a single structure.

Finding: Staff finds that the application meets this standard if the City Council approves the rezoning and master plan amendment petitions.

**Attachment A:
Application**



HLC: Major Alterations, New Construction, Relocation & Appeal of Admin. Decision

Use for: substantial alteration or addition to a landmark site or contributing site; new construction of principal building; relocation; appeal of administrative decisions; and referral by planning director.

OFFICE USE ONLY	
Petition No.	PLN/HLC-2012-00538
Date Received:	
Reviewed By:	

SALT LAKE CITY PLANNING

Address of Subject Property: 540 East 500 South, SLC, UT

Project Name: 500 South Apartments or Newhouse Apartments

Name of Applicant: 500 South SLC Apartments, LLC (Adam Paul) **Phone:** 801-699-5050

Address of Applicant: 500 N. Marketplace Drive, Centerville, UT 84014

E-mail Address of Applicant: adam@strategiccapitalgroup.com **Cell/Fax:**

Applicant's Interest in Subject Property: owner/developer

Name of Property Owner: 500 South SLC Apartments, LLC **Phone:** 801-699-5050

E-mail Address of Property Owner: adam@strategiccapitalgroup.com **Cell/Fax:**

County Tax ("Sidwell #"): 16-06-476-014, 16-06-476-030, 16-06-476-032, 16-06-476-033 **Zoning:**

Legal Description (if different than tax parcel number):

Please Check Type of Application and submit associated fee

Type	Application Fee	Additional Fee
Major Alteration	\$27.69	Plus cost of first class postage
<input checked="" type="checkbox"/> New Construction	\$221.48	Plus cost of first class postage
Relocation	\$221.48	Plus cost of first class postage
Appeal of Administrative Decision*	\$221.48	Plus cost of first class postage

Notice: Additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information submitted as part of the application may be copied and made public including professional architectural or engineering drawings which will be made available to decision makers, public and any interested party.

File the complete application at:
SLC Planning Division
451 S State, Room 215
PO Box 145471
Salt Lake City, UT 84114-5480
Telephone: (801) 535-7700

Signature of Property Owner David Paul for 500 South SLC Apartments, LLC
Or authorized agent

Please include with the application:

Attach additional sheets, if necessary

All attachments, with the exception of mailing labels, must be submitted in a digital format. Please also submit plans in print format. An additional fee of \$10 will be charged for any plans, drawings, photographs, etc that are not submitted digitally.

- The names and addresses of all property owners within one-hundred and fifty (150) feet of edge of subject property for an alteration OR four-hundred and fifty (450) feet of edge of subject property for new construction. The name, address, and Sidwell number of each property owner must be typed or clearly printed on gummed mailing labels. Please include yourself and the appropriate Community Council Chair. (Not necessary for Minor Alterations.)
- Written explanation of the reason for the request and a description of the project that includes information such as location, dimensions, materials and design. Provide as much detail and information as possible. These will not only help the Staff and HLC visualize your project but it may also assist with a speedier decision. Your application will not be considered complete until all information is provided.
- Recent and historic photographs of the subject property. Current photographs should include one of each elevation of the structure and close up images of details that are proposed to be altered.
- Proposed building plans with preliminary construction drawings which include:
 - Site plan with square footage of existing and proposed buildings and lot, percentage of lot coverage, all setbacks, landscaping
 - Information about the setback and heights of all other structures on the block face
 - All elevations with dimensions called out on the drawings
 - All floor plans with major dimensions called out on the drawings
 - Proposed materials for the exterior of the building
 - Window and door section drawings with information about materials and dimensions
 - Design, dimension and material information for details such as railings, posts, roofing, siding, porch flooring, etc.
- Graphic/photographic documentation stamped by an architect or surveyor (or the equivalent), of the block face(s) showing proportional relationships of the proposed building height to other houses on the block face to establish the existing development pattern and the same showing setbacks of the block face.
- Material samples
- Other information as requested by Zoning Administrator.

For Relocations, please also include:

- Names and address of mover
- New address
- Proposed reuse of cleared lot and use of the structure after it is moved
- An application for New Construction

OR

- a site plan (drawn to scale) which includes the location of the property lines, driveways, sidewalks, landscaping, irrigation system and remaining structures. Please refer to SLC Zoning Ordinance 21A.48 for requirements for landscaped lots. (Relocation Only)

*** Please note that attachments will be included in staff reports that will be available to the public.

Types Of Construction To Be Reviewed By The Historic Landmark Commission:

- i. Substantial alteration or addition to a landmark site or contributing site;
- ii. New construction of principal building in H historic preservation overlay district;
- iii. Relocation of landmark site or contributing site;
- iv. Demolition of landmark site or contributing site;
- v. Applications for administrative approval referred by the planning director; and
- vi. Appeal of administrative decisions by the applicant.

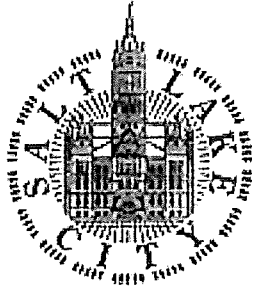
Review: Applications will be reviewed and assigned to planners each week. The application shall be reviewed according to the standards set forth in subsections G, H, or I of section 21A.34.020 as well as Design Guidelines and Policy Document adopted by the Historic Landmark Commission. A link to the ordinance may be found at www.slcgov.com and the Design Guidelines and Policy Document at www.slcgov.com/ced/hlc.

Decision: The Historic Landmark Commission shall make a decision at a regularly scheduled meeting. After reviewing all materials submitted for the case, the recommendation of the planning division and conducting a field inspection, if necessary, the historic landmark commission shall make written findings of fact based on the standards of approval. On the basis of its written findings of fact the historic landmark commission shall either approve, deny or conditionally approve the certificate of appropriateness. The decision of the historic landmark commission shall become effective at the time the decision is made. Written notice of the decision of the historic landmark commission on the application, including a copy of the findings of fact, shall be sent by first class mail to the applicant within ten (10) working days following the historic landmark commission's decision.

Appeal: The applicant, any owner of abutting property or of property located within the same H historic preservation overlay district, any recognized or registered may object to the decision by filing a written appeal with the Land Use Appeals Board within thirty (30) days following the decision.

The Land Use Appeals Board's decision may be appealed to district court within thirty (30) days following their decision.

For More Information: For more information please reference 21A.34.020 and 21A.010 of the Salt Lake City Code.



SALT LAKE CITY CORPORATION

Buzz Center

451 South State Street, Room 215 Phone: (801) 535-7700
 P.O. Box 145471 Fax : (801) 535-7750
 Salt Lake City, Utah 84114

Date: Aug 03, 2012

ADAM PAUL

HISTORIC LANDMARK COMMISSION

500 N MARKET PLACE DR
 CENTERVILLE, UT 84014

Project Name: 540 E 500 S, NEW CONSTRUCTION

Project Address: 540 E 500 S

Detailed Description:

□

Description	Qty	Dept	C Ctr	Obj	Amount		
					Invoice	Paid	Due
Invoice Number: 982174							
Filing Fee (1	06	00900	1485	\$27.69		
Total for invoice 982174					\$27.69		\$27.69
Invoice Number: 982175							
Postage	61	06	00600	1890	\$27.45		
Planning Fee Adjustment (194	06	00900	1890	\$193.79		
Total for invoice 982175					\$221.24		\$221.24
Total for PLNHLC2012-00538					\$248.93		\$248.93

OFFICE USE ONLY
 Intake By: LN1690

CAP ID #
 PLNHLC2012-00538
 Total Due: \$248.93

Salt Lake City Treasurer

Kcp/CS 1397491
 PL PLNHLC2012-00538 DC
 \$248.93 8/7/2012



* P L N H L C 2 0 1 2 - 0 0 5 3 8 *

www.slpermits.com

61

[16-06-455-024-0000]
POLI, BRYAN & MEGUMI T; TC
P O BOX 210050
SAN FRANCISCO, CA 94121-0050

[16-06-477-024-0000]
KILLION, DENNIS & LEWIS, JOEL; TC
7068 SVL BOX
VICTORVILLE, CA 92395

[16-06-477-025-0000]
KILLION, DENNIS & LEWIS, JOEL; TC
7068 SVL BOX
VICTORVILLE, CA 92395

[16-06-476-002-0000]
ARICI, GULPERI & BETOS, CAGLAR; JT
211 N EXCELDA AVE
TAMPA, FL 33609-2309

[16-06-407-040-0000]
HERMES BUILDING ANNEX LLC
3300 ENTERPRISE PARK WAY
BEACHWOOD, OH 44122

[16-06-432-029-0000]
EAST DOWNTOWN SPE LLC
1014 VINE ST
CINCINNATI, OH 45202-1100

[16-06-477-007-0000]
FEDERAL HOME LOAN MORTGAGE CORPORATION
5000 PLANO PKWY
CAROLLTON, TX 75010

[16-06-476-001-0000]
QUINNA, LLC
3408 HUNTINGTON DR
BOUNTIFUL, UT 84010-5844

[16-06-476-014-0000]
SCP 500 SOUTH LLC
500 N MARKET PLACE DR
CENTERVILLE, UT 84014

[16-06-476-030-0000]
SCP 500 SOUTH LLC
500 N MARKET PLACE DR
CENTERVILLE, UT 84014

[16-06-476-032-0000]
SCP 500 SOUTH LLC
500 N MARKET PLACE DR
CENTERVILLE, UT 84014

[16-06-476-033-0000]
SCP 500 SOUTH LLC
500 N MARKET PLACE DR
CENTERVILLE, UT 84014

[16-06-432-030-0000]
EAST DOWNTOWN SPE LLC
PO BOX 712139
COTTONWOOD HEIGHTS, UT 84171-2139

[16-06-455-021-0000]
DIAMANT, JAMES & FOTINI, JT
6948 S HOLLOW MILL DR
COTTONWOOD HTS, UT 84121-3322

[16-06-455-022-0000]
DIAMANT, JAMES & FOTINI, JT
6948 S HOLLOW MILL DR
COTTONWOOD HTS, UT 84121-3322

[16-06-476-041-0000]
AUTONOMY INCORPORATED
6036 S LINDEN ST
HOLLADAY, UT 84121-1464

[16-06-466-098-0000]
DENOYER, ROXANNE
959 S HILLSIDE DR
KANAB, UT 84741

[16-06-476-019-0000]
SUMMERS, THOMAS J
652 S 50 E
KAYSVILLE, UT 84037

[16-06-477-008-0000]
SUMMERS, THOMAS J; ET AL
652 S 50 E
KAYSVILLE, UT 84037

[16-06-476-046-0000]
CHUN, WILLY & K M W LLC; JT
PO BOX 680195
PARK CITY, UT 84068

[16-06-476-048-0000]
CHUN, WILLY & K M W LLC; JT
PO BOX 680195
PARK CITY, UT 84068

[16-06-477-017-0000]
CHRISTIANSEN, GLEN C
12052 S FIELD DOWNS DR
RIVERTON, UT 84065-3163

[16-06-477-005-0000]
CENTURY PROPERTIES, INC
160 S 1000 E #320
SALT LAKE CITY, UT 84102-1454

[16-06-466-099-0000]
FAULKNER, ELLIOT G
520 S 500 E #111
SALT LAKE CITY, UT 84102-1009

[16-06-466-100-0000]
PACK, RILEY & MEEKS, DELBERT; JT
520 S 500 E #112
SALT LAKE CITY, UT 84102-1009

[16-06-466-109-0000]
LEAVITT, BONNIE; TR (BZL IRR TR)
520 S 500 E #202
SALT LAKE CITY, UT 84102-1010

[16-06-466-120-0000]
SOFFE, CAITLIN & NATE; JT
520 S 500 E #311
SALT LAKE CITY, UT 84102-1011

[16-06-466-121-0000]
DOI, WALLACE & BRIAR; TC
520 S 500 E #312
SALT LAKE CITY, UT 84102-1011

[16-06-466-122-0000]
HOANG, WILLIAM; ET AL
520 S 500 E #313
SALT LAKE CITY, UT 84102-1011

[16-06-466-123-0000]
TOLBERT, SKYLAR
520 S 500 E #314
SALT LAKE CITY, UT 84102-1011

[16-06-466-124-0000]
GAO, XIAOJIANG
520 S 500 E #315
SALT LAKE CITY, UT 84102-1011

[16-06-477-002-0000]
BODILY, ASHLEY
555 S 500 E
SALT LAKE CITY, UT 84102-2721

[16-06-477-001-0000]
JACOBS, MICHAEL L
559 S 500 E
SALT LAKE CITY, UT 84102-2721

[16-06-477-003-0000]
WINSLOW, DYLAN & JOAN; JT
565 S 500 E
SALT LAKE CITY, UT 84102-2721

[16-06-477-004-0000]
MALM, KAYLAN
567 S 500 E
SALT LAKE CITY, UT 84102-2721

[16-06-476-027-0000]
VALENTINER ENTERPRISES, LC
524 S 600 E
SALT LAKE CITY, UT 84102-2710

~~[16-06-476-028-0000]
VALENTINER ENTERPRISES, LC
524 S 600 E
SALT LAKE CITY, UT 84102-2710~~

[16-06-476-029-0000]
CLAYTON PROPERTIES I LLC
550 S 600 E
SALT LAKE CITY, UT 84102-2710

[16-06-477-013-0000]
PITTS INVESTMENT INC
519 E 600 S
SALT LAKE CITY, UT 84102-2717

[16-06-477-014-0000]
TENHAGEN, WILLIAM R & SANDRA C; JT
523 E 600 S
SALT LAKE CITY, UT 84102-2717

[16-06-477-015-0000]
NILSSON, LESLIE V
529 E 600 S
SALT LAKE CITY, UT 84102-2717

[16-06-477-018-0000]
DAVIS, AMANDA J & JOHN; JT
543 E 600 S
SALT LAKE CITY, UT 84102-2717

[16-06-476-007-0000]
AMBEL LLC
2159 S 700 E #200
SALT LAKE CITY, UT 84106-1227

[16-06-477-023-0000]
OSAKA, TOSHIO
4446 S ADONIS DR
SALT LAKE CITY, UT 84124-3923

~~[16-06-477-026-0000]
OSAKA, TOSHIO
4446 S ADONIS DR
SALT LAKE CITY, UT 84124-3923~~

~~[16-06-477-028-0000]
OSAKA, TOSHIO
4446 S ADONIS DR
SALT LAKE CITY, UT 84124-3923~~

[16-06-477-020-0000]
SMITH, ZACHARY S
2380 E BEACON DR
SALT LAKE CITY, UT 84108

[16-06-455-023-0000]
DJM2 LLC
1444 S BEACON DR
SALT LAKE CITY, UT 84108-2403

[16-06-476-010-0000]
DJM6, LLC
1444 S BEACON DR
SALT LAKE CITY, UT 84108-2403

[16-06-476-018-0000]
KINGSTON, BONNIE
511 E HAWTHORNE AVE
SALT LAKE CITY, UT 84102

[16-06-477-006-0000]
MOON, TERIKA N
512 E HAWTHORNE AVE
SALT LAKE CITY, UT 84102

[16-06-476-021-0000]
MERRICK, BRENDAN M
525 E HAWTHORNE AVE
SALT LAKE CITY, UT 84102

[16-06-477-009-0000]
JAKINS, SORREL G & LYNETTE; JT
526 E HAWTHORNE AVE
SALT LAKE CITY, UT 84102

[16-06-476-022-0000]
BROWN, RUTH A
529 E HAWTHORNE AVE
SALT LAKE CITY, UT 84102

[16-06-477-010-0000]
HOBBS, AFTON M & CURTIS, CAROL F; JT
530 E HAWTHORNE AVE
SALT LAKE CITY, UT 84102

[16-06-476-023-0000]
HARPER, SHON K & NALBONE, STEPHANIE J; JT
533 E HAWTHORNE AVE
SALT LAKE CITY, UT 84102

[16-06-477-011-0000]
RICHARDSON, LARRY M
534 E HAWTHORNE AVE
SALT LAKE CITY, UT 84102

[16-06-477-012-0000]
JASTRAM, JONATHAN & REGGAN; JT
538 E HAWTHORNE AVE
SALT LAKE CITY, UT 84102

[16-06-476-024-0000]
SHANBRUN, MARK
539 E HAWTHORNE AVE
SALT LAKE CITY, UT 84102

[16-06-455-033-0000]
UNIVERSITY FIRST FEDERAL CREDIT UNION
3450 S HIGHLAND DR
SALT LAKE CITY, UT 84106-3358

[16-06-476-038-0000]
MCCUTCHAN PROPERTIES LLC
2056 E HUBBARD AVE
SALT LAKE CITY, UT 84108-1306

~~[16-06-476-047-0000]
MCCUTCHAN PROPERTIES LLC
2056 E HUBBARD AVE
SALT LAKE CITY, UT 84108-1306~~

[16-06-477-027-0000]
SIXTH AND SIXTH LC
911 S MILITARY DR
SALT LAKE CITY, UT 84108-1325

[16-06-476-025-0000]
RICHARDSON, MARILYN S; TR
2275 E PARLEYS TER
SALT LAKE CITY, UT 84109-1537

~~[16-06-476-026-0000]
RICHARDSON, MARILYN S; TR
2275 E PARLEYS TER
SALT LAKE CITY, UT 84109-1537~~

[16-06-477-019-0000]
CAZIER PROPERTIES LC
1709 E PRINCETON AVE
SALT LAKE CITY, UT 84108-1810

[16-06-476-008-0000]
DESERT KETCH, LLC
1727 E RAMONA AVE
SALT LAKE CITY, UT 84108-3109

~~[16-06-476-034-0000]
DESERT KETCH, LLC
1727 E RAMONA AVE
SALT LAKE CITY, UT 84108-3109~~

[16-06-477-021-0000]
561 EAST 600 SOUTH LLC
1315 E SECOND AVE
SALT LAKE CITY, UT 84103-4402

~~[16-06-477-022-0000]
561 EAST 600 SOUTH LLC
1315 E SECOND AVE
SALT LAKE CITY, UT 84103-4402~~

[16-06-476-049-0000]
BANNAI, KYOKO
3843 E THOUSAND OAKS CIR
SALT LAKE CITY, UT 84124-3973

[16-06-466-132-0000]
TROLLEY PLACE OWNER'S ASSOCIATION INC
9980 S 300 W #310
SANDY, UT 84070-3728

[16-06-477-016-0000]
GALLOWAY, LEANN
PO BOX 900775
SANDY, UT 84090-0775

[16-06-476-003-0000]
EVANS, TODD L & JOANNE; JT
4005 W 6305 S
TAYLORSVILLE, UT 84129-7426

[16-06-476-020-0000]
VALDEZ, LYNN
3596 S 3340 W
WEST VALLEY, UT 84119-3558

Written Explanation
NEWHOUSE APARTMENTS
540 East 500 South, SLC, UT

To Whom It May Concern:

Please accept this letter as written explanation for submittal of the "HLC: New Construction" application attached.

Summary:

500 South SLC Apartments, LLC is proposing new construction on the property at 540 East 500 South, SLC, Ut in the Central City Historic District. The proposed development is .79 acres and will accommodate a 72-unit apartment project.

Existing Structure:

The existing building was determined "non-contributing" and appropriate to demolish through an appeal to the Historic Landmark Commission and LUAB in 2007. See the attached "Certificate of Appropriateness" dated April 26, 2012 referring to these claims.

A Pre Demolition Application was submitted to the City on April 18, 2012. This application is also attached.

Zoning and Master Plan:

The property is comprised of four parcels. Three are zoned RO and one is zoned RMF-35. Concerning the one parcel zoned RMF-35, on July 11, 2012, the Planning Commission voted unanimously to transmit a favorable recommendation to the City Council concerning the request to Modify the Central Community Future Land Use Map from Medium Density Residential to Residential Office Mixed Use, and to Modify the Central Community Zoning Map to change the zoning of the one parcel zoned RMF-35 to RO. These changes would accommodate the proposed development, which is designed to meet the RO zone standards and requirements.

The Project:

As stated above, the project is designed to meet RO zone standards and requirements, as if all parcels of the property were RO. Attached to this letter you find the following concerning the proposed new construction project:

- i. Recent and Historic photographs of the subject property.
- ii. A site plan with square footage of existing and proposed buildings and lot, percentage of coverage, all setbacks, and landscaping.
- iii. Information about the setback and heights of all other structures on the block face.
- iv. All elevations with dimensions called out on the drawings
- v. Proposed materials for the exterior of the building.
- vi. Window and door section drawings with information about materials and dimensions.

- vii. Design, dimension and material information for details such as railings, posts, roofing, siding, porch flooring, etc.
- viii. Graphic/Photographic documentation stamped by an architect or surveyor, of the block faces showing proportional relationships of the proposed building height to other houses on the block face to establish the existing development pattern and the same showing setbacks of the block face.
- ix. Material Examples

Also, it may be helpful to know that a different project, under different ownership, but on the subject property was approved for development by the HLC in 2008. The different project that was approved in 2008 was of very similar scale and dimensions to the project being proposed in this application. You can find more information on the project that was approved by the HLC in 2008 in a Memorandum dated April 30, 2008 with Petition number 470-07-15, Huntington Park Condominiums.

Please feel free to call me if you have any questions or requests for more information. I look forward to working with the Planning Staff and Historic Landmark Commission on this project.

Sincerely,



Adam Paul

801-699-5050

CERTIFICATE OF APPROPRIATENESS

OFFICE USE ONLY
Petition No. PLNHLC2012-00236
Reviewed By: Lex Traugher

Central City

Address of Subject Property: 540 East 500 South

Project Name: 540 East 500 South Demolition

Name of Applicant: SCP 500 South LLC

Address of Applicant: 500 N. Market Place Drive, Ste 201
Centerville, UT 84014

E-mail Address of Applicant: adam@strategiccapitalgroup.com

Ordinance Standards: 21A.34.020(F)

Design Guidelines this project meets:

Are there attached plans or photographs? LUAB Notice of Decision – October 8, 2007

Date of HLC Approval

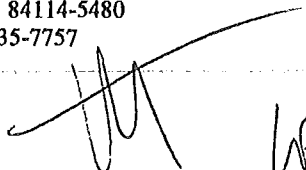
Date of Administrative Approval : April 26, 2012

Description of Approved Work: LUAB Case #07-005 was a request to appeal the HLC's determination that the commercial building located at the above referenced address is/was a contributing structure. On October 8, 2007, the HLC's determination was overturned by LUAB. This Certificate of Appropriateness is authorizing the demolition of the subject building based on LUAB's decision (Notice of Decision is attached).

Note: Please submit your plans and this Certificate of Appropriateness to the Building Services Division in Room 215 for permit issuance

SLC Planning Division
451 S State, Room 406
PO Box 145480
Salt Lake City, UT 84114-5480
Telephone: (801) 535-7757

Signature of Planner



LEX TRAUGHER

SALT LAKE CITY PLANNING

NOTICE OF DECISION

SALT LAKE CITY LAND USE APPEALS BOARD

Date of Appeal Hearing: October 8, 2007

LUAB Case #: 07-005 – A request to appeal the Historic Landmark Commission's determination that the commercial building located in the Central City Historic District at approximately 540 East 500 South is a contributing structure. (Staff: Nick Norris 535-6173 or nick.norris@slcgov.com)

Appellant's Name: Derek Whetten

With a vote of 2-1, the Historic Landmark Commission's determination that the building is a contributing structure has been:

~~XXXX~~ Overturned/Reversed

Upheld

Remanded

The Land Use Appeals Board decision is based on the following findings, as more fully detailed in the record:

- The criteria in Section 21A.34.020.B.2 "Definition of a Contributing Structure" of the Zoning Ordinance have not been met in that the building is not at least 50 years old and historical significance has not been adequately demonstrated in the record; and
- The criteria in Section 21A.34.020.C.2.a have not been met, namely that the structure has:
Significance in local, regional, state or national history, architecture, engineering or culture, associated with at least one of the following:
 - i. Events that have made significant contribution to the broad patterns of history, or
 - ii. Lives of persons significant in the history of the city, region, state, or nation, or
 - iii. The distinctive characteristics of a type, period or method of construction; or the work of a notable architect or master craftsman, or
 - iv. Information important to the understanding of the prehistory or history of Salt Lake City



John Bogart, Land Use Appeals Board Chair



Date

Appeals Process: Any person aggrieved by any Land Use Appeals Board decision may appeal that decision to the District Court, provided the appeal is submitted to the District Court within thirty (30) days after the Land Use Appeals Board's decision.



PRE DEMOLITION APPLICATION

FOR OFFICE USE ONLY

Flag Number: 12-02813
 Date Received: At
 Received by: 4-18-12

PROPERTY ADDRESS: 540 E 500 S Zoning District(s): RO/RMF 35
 Type of structure to be demolished (i.e. s/f, duplex, o/b, etc.): office
 SIDWELL NUMBER: 16-06-476-032 Number of units, if residential: _____
 Number of buildings: 2 Number of stories: 3 Type of construction: concrete brick, lumber
 Square foot of each bldg being demolished 20,000 SF / 3,000 SF If residential, how many units are occupied? _____
 Proposed post-demolition use: New Use Permit OR Landscape Bond/Waiver _____
 Property Owner's Name: SCP 500 SOUTH LLC
 Owner's mailing address: 500 N. Marketplace Dr. Ste 201 Centerville, Utah 84014
 Owner's telephone number: 801-699-5050 Zip code for mailing: 84014
 Contractor's Name: TBD
 Mailing address: TBD Zip code for mailing: _____
 Telephone number: TBD State License Number: TBD
 Material disposal location: TBD
 Approximate starting date: July 31, 2012 Finishing date: August 20, 2012
 Barricade, fence and/or scaffolding protection required? _____ Yes _____ No
 Is fill material required to level site after demolition? _____ No _____ Yes _____ Cubic yards

The applicant is responsible for obtaining pre-demolition inspections and approvals from all of the Departments listed below. Permits and/or additional information may be required by some or all of the departments below. Please do not call for inspections until the application has been accepted by the Building Services and Licensing Division in Room 215 of the City & County Building, located at 451 South State Street, Salt Lake City, Utah. P: (801) 535-7752 F: (801) 535-7750. **The Flag # (top right hand corner of this form) and/or a copy of this Pre Demolition Application may be requested by each of the departments below. Please keep this form for reference!**

Transportation Engineering (801) 535-6630 349 S. 200 E., 1 st floor, Permit Counter	Planning Division (801) 535-7225 451 S. State St., Room 406
City Engineer (801) 535-6248 349 S. 200 E., 1 st floor, Permit Counter	Questar Gas (801) 324-5111
Building Services (801) 535-6436 451 S. State St., Room 215 (Use code 810 on the automated system)	Contact the State Div. of Air Quality at (801) 536-4000; 1950 West North Temple for demolition requirements & 10 day waiting period information
Public Utilities (801) 483-6727 1530 S. West Temple St.	Contact the Salt Lake Valley Health Department at (801) 313-6700; 788 E. Woodoak Ln #120 John Hoggan for information pertaining to hazardous materials.

If the property is located in a Historic District, a request for demolition must also be submitted and approved by the Historic Landmarks Committee, Room 406, (801) 535-7759.

I certify the information presented on this application is true and correct.

Adam Paul for SCP 500 South LLC
 Owner's Signature or authorized representative
Adam Paul

April 18, 2012
 Date
801-699-5050
 Phone Number

PRINT the name of person to contact



**Attachment B:
Submittals**





Tuttle and Associates, Inc.

1648 E 3300 S, SLC, UT 84106

www.etuttle.net

ph. (801) 485-6464

fax (801) 485-6969

Date: *September 9, 2012*

Project Name: *Newhouse*

Location: *540 East 500 South, Salt Lake City, Utah*

Elizabeth Buehler,

Thank you again for meeting with us regarding the proposed design of the Newhouse project. We are very excited about this project and feel it will be a great addition to the city and especially 500 South. We have reviewed carefully your thoughts along with Carl's and Joel's. We have adjusted the design and presentation materials accordingly. Following is a description of adjustments that have been made:

1. The front elevation has been modified. Our previous design showed brick extending only up 1 level. The new design has masonry extending all the way to the roof. We experimented with masonry locations and originally thought it would be better to extend it at the corners of the buildings. After revising the rendering, we discovered that masonry at the corners actually focused attention to the center of the building and de-emphasized the corners. We prefer to keep the accent materials and colors at the corners and masonry in the center. It also helps to simplify the design. Please review the updated colored rendering. Notice that the trees in the rendering have been removed to show the building without obstruction. When the project is built, there will be trees and we suggest they will provide a good layer of screening between the street and the building.
2. We looked at different options for locating the driveway ramp to the basement. We thought moving it to the east and combining it with the existing drive would make sense. However, this created an exceptionally wide vehicular zone and brought even more attention to the driveways. Instead, we have kept the location as previously shown but added more screening and pedestrian emphasis. We've prepared an illustration which explains why our design is successful and considerably different than the Trolley Place condos around the corner. We've also prepared a colored landscape plan of the front yard. This is very helpful to show the amount of screening and pedestrian routes. Additional building views have also been provided. They are not fully rendered but are nevertheless helpful in gaining an understanding of the project.

Again, we appreciate your direction and we look forward to meeting with the HLC.

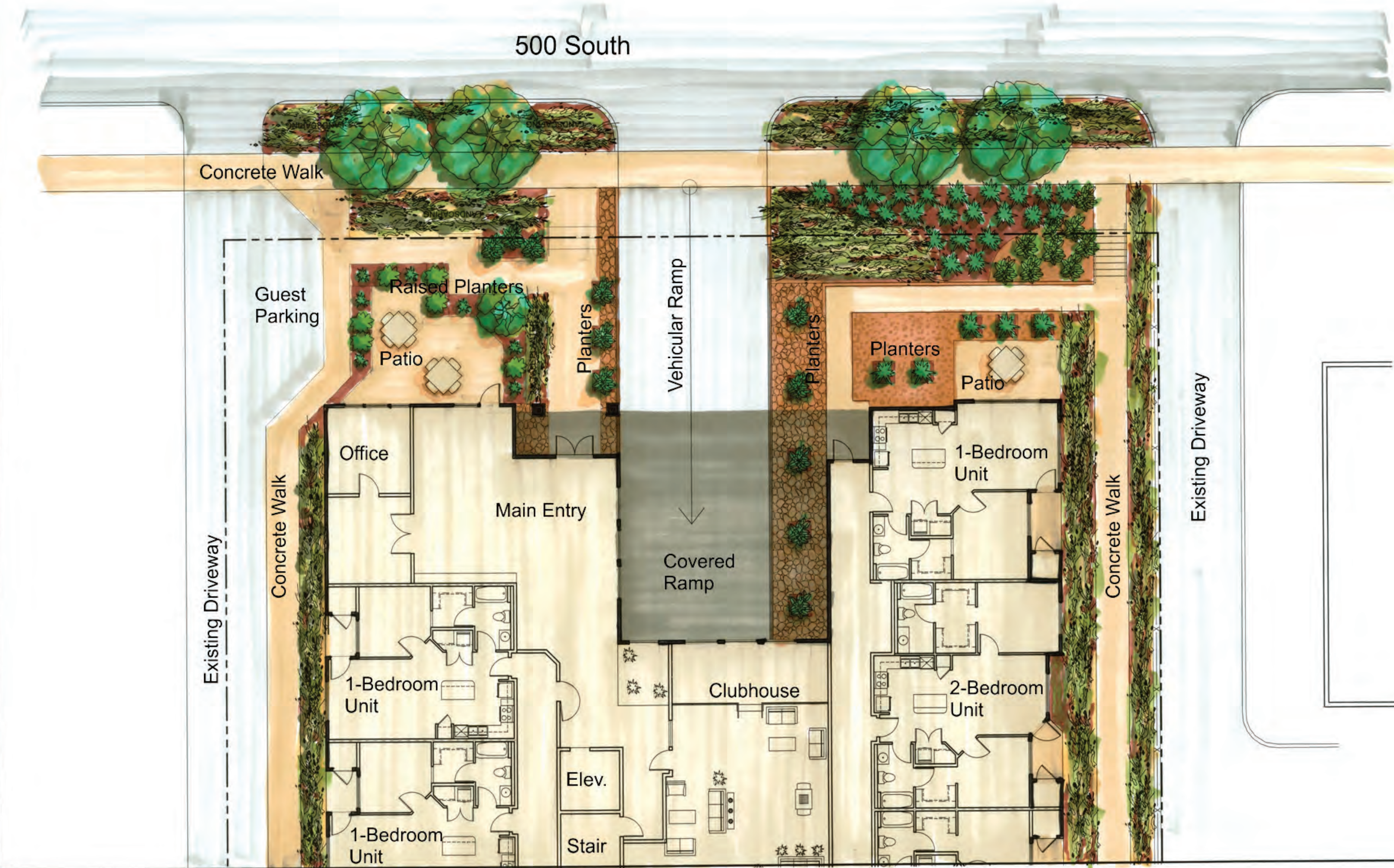
Sincerely,



Eric R. Tuttle, Architect







Tuttle and Associates, Inc.
ARCHITECTS
 1848 E 3300 S
 Salt Lake City, UT 84106
 Tel: (801) 485-5789
 Fax: (801) 485-5789

STRATEGIC DEVELOPMENT

NEWHOUSE
 540 East 500 South
 Salt Lake City, UTAH

STREET YARD PLAN

DATE: Aug. 2, 2012
 REVISIONS:
 DRAWN BY:
 CHECKED BY:
 L-101.1

MATERIAL LEGEND	
①	SCORED CMU
②	FIBER-CEMENT LAP SIDING
③	FIBER-CEMENT BOARD PANEL SIDING
④	ZINC-ALUM. METAL FLAT PANEL SIDING

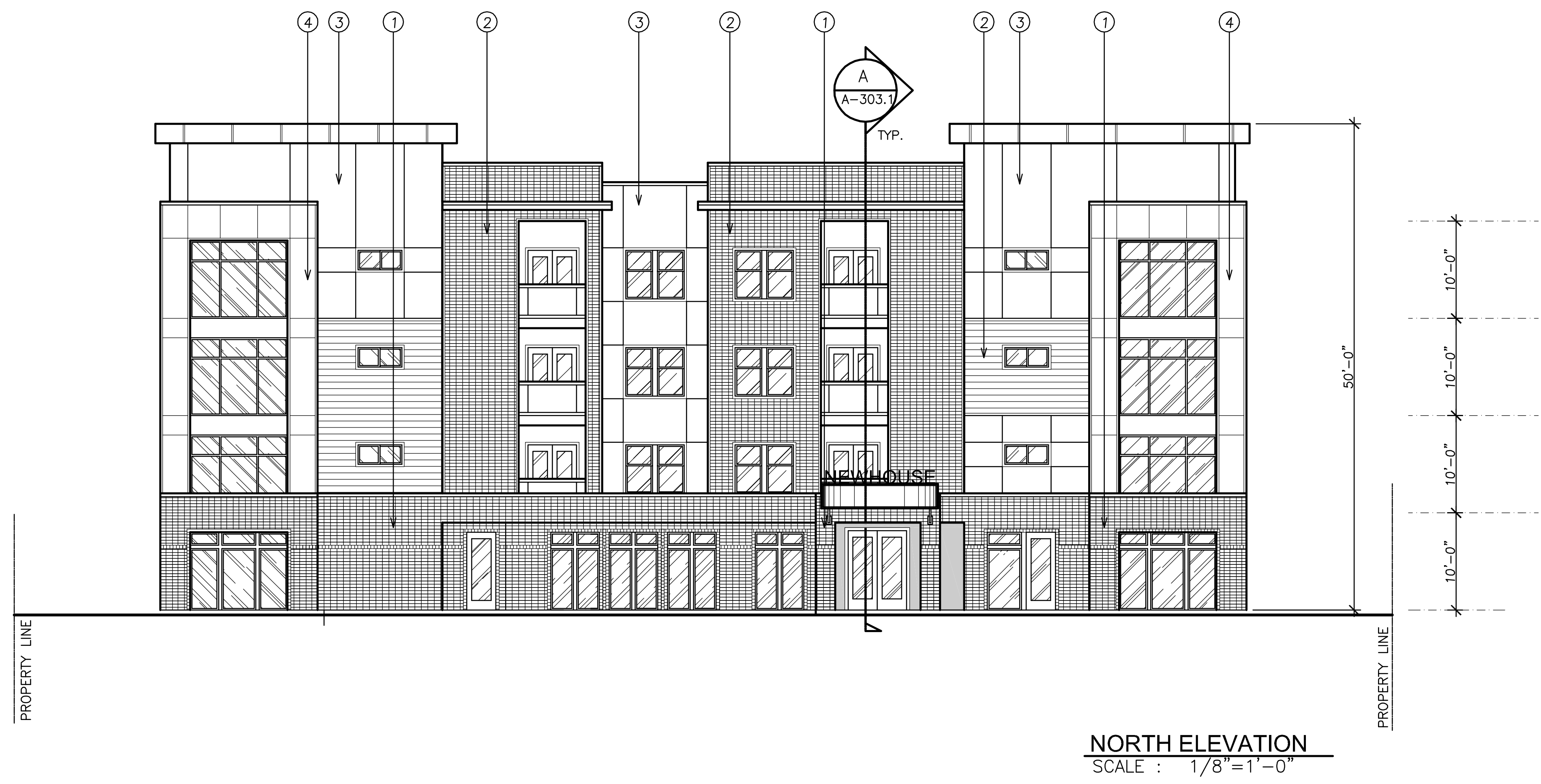
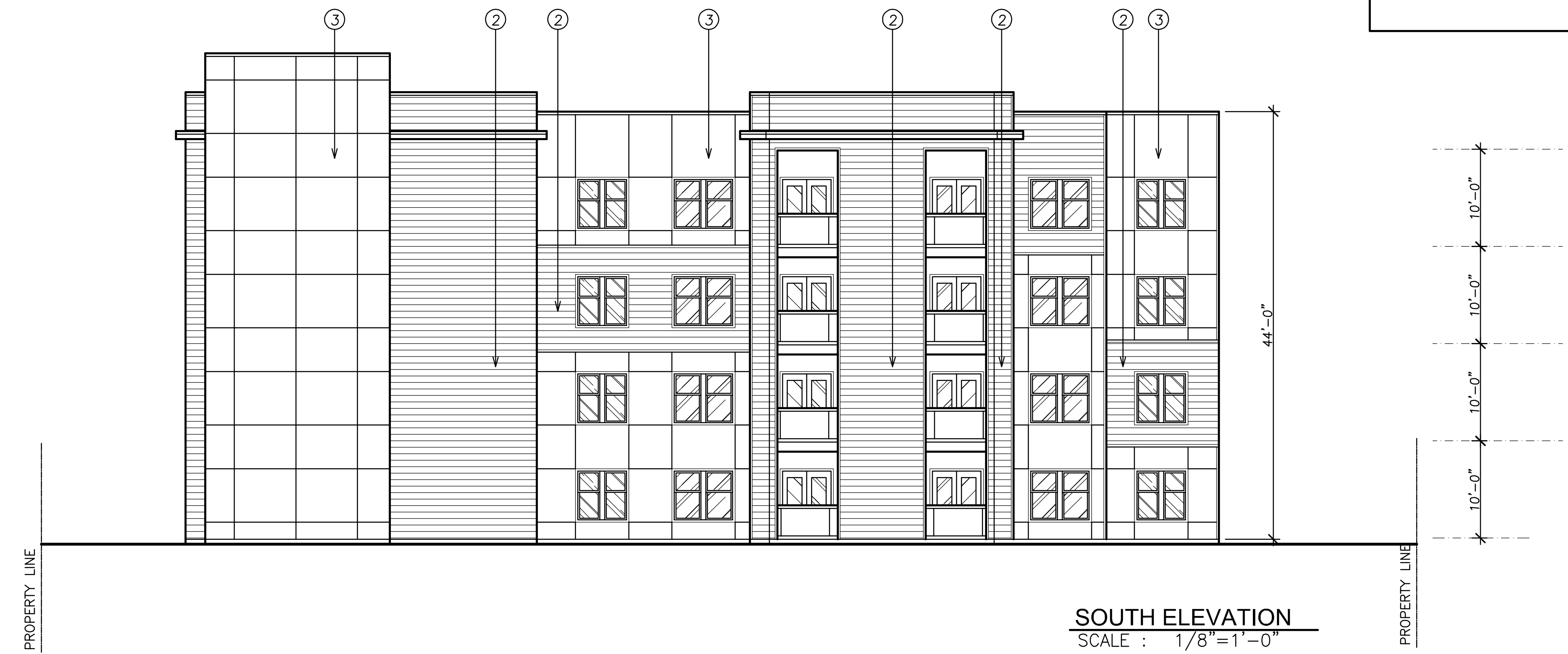
Tuttle and Associates, Inc.
ARCHITECTS
 1648 E. 3300 S.
 Salt Lake City, UT 84106
 ph: (801) 485-4464
 fax: (801) 485-6969

STRATEGIC DEVELOPMENT

NEWHOUSE
 540 East 500 South
 Salt Lake City, UTAH

FRONT ELEVATION

DATE: Sept. 5, 2012
 REVISIONS:
 DRAWN BY:
 DRAWING NO.: **A-201.1**



MATERIAL LEGEND

- ① SCORED CMU
- ② FIBER-CEMENT LAP SIDING
- ③ FIBER-CEMENT BOARD PANEL SIDING
- ④ ZINC-ALUM. METAL FLAT PANEL SIDING

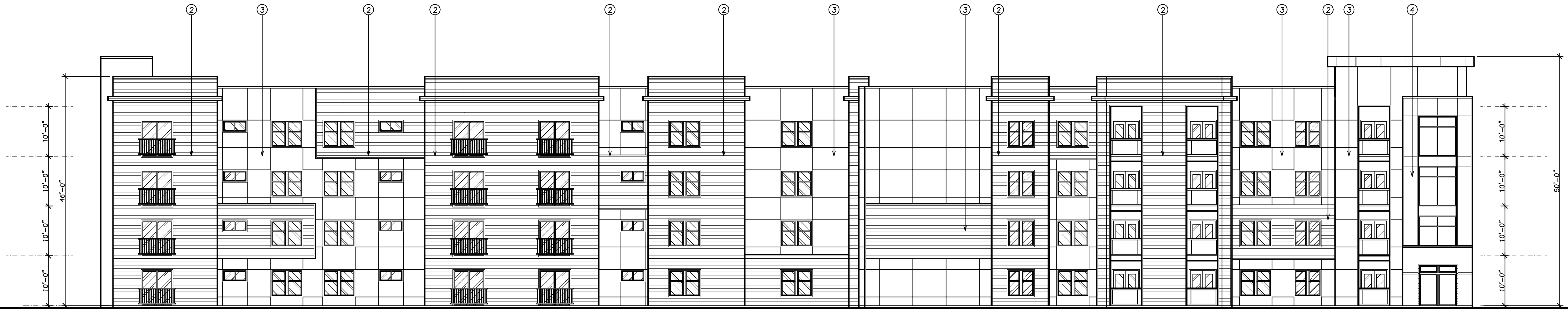
Tuttle and Associates, Inc.
 ARCHITECTS
 1648E 3300S
 Salt Lake City, UT 84106
 PH: (801)465-6664
 FAX: (801)465-6767

STRATEGIC
 DEVELOPMENT

NEWHOUSE
 540 East 500 South
 Salt Lake City, UTAH

SIDE ELEVATION

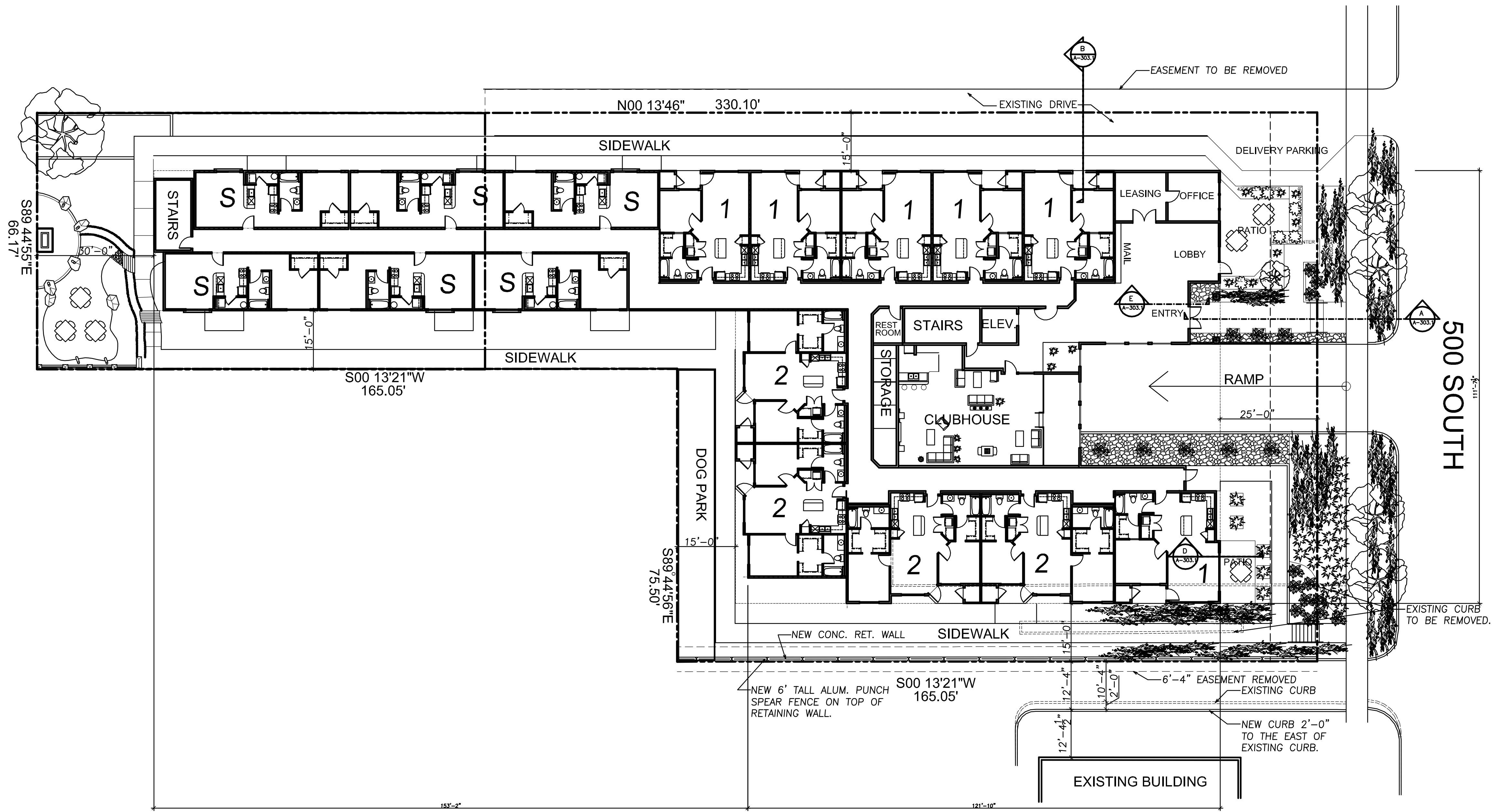
DATE: Sept. 5, 2012
 REVISIONS:
 DRAWN BY:
 DRAWING NO.: A-201.2



EAST ELEVATION
 SCALE : 3/32"=1'-0"



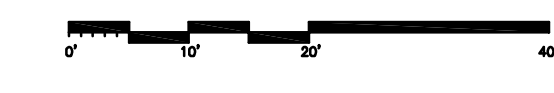
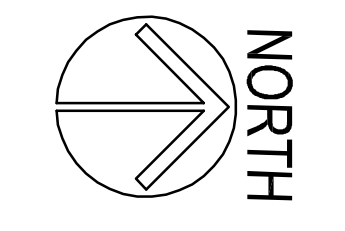
WEST ELEVATION
 SCALE : 3/32"=1'-0"



33 1-BEDROOM STANDARD UNITS
 16 2-BEDROOM UNITS
 8 Long 1-BEDROOM UNITS
 16 STUDIO UNITS
 73 Total Units

% OF LOT COVERAGE = 54%

1ST FLOOR PLAN
 SCALE : 1/16"=1'-0"



Tuttle and Associates, Inc.
 ARCHITECTS
 1648 E. 3300 S.
 Salt Lake City, UT 84106
 ph: (801) 485-4464
 fax: (801) 485-6969

STRATEGIC DEVELOPMENT

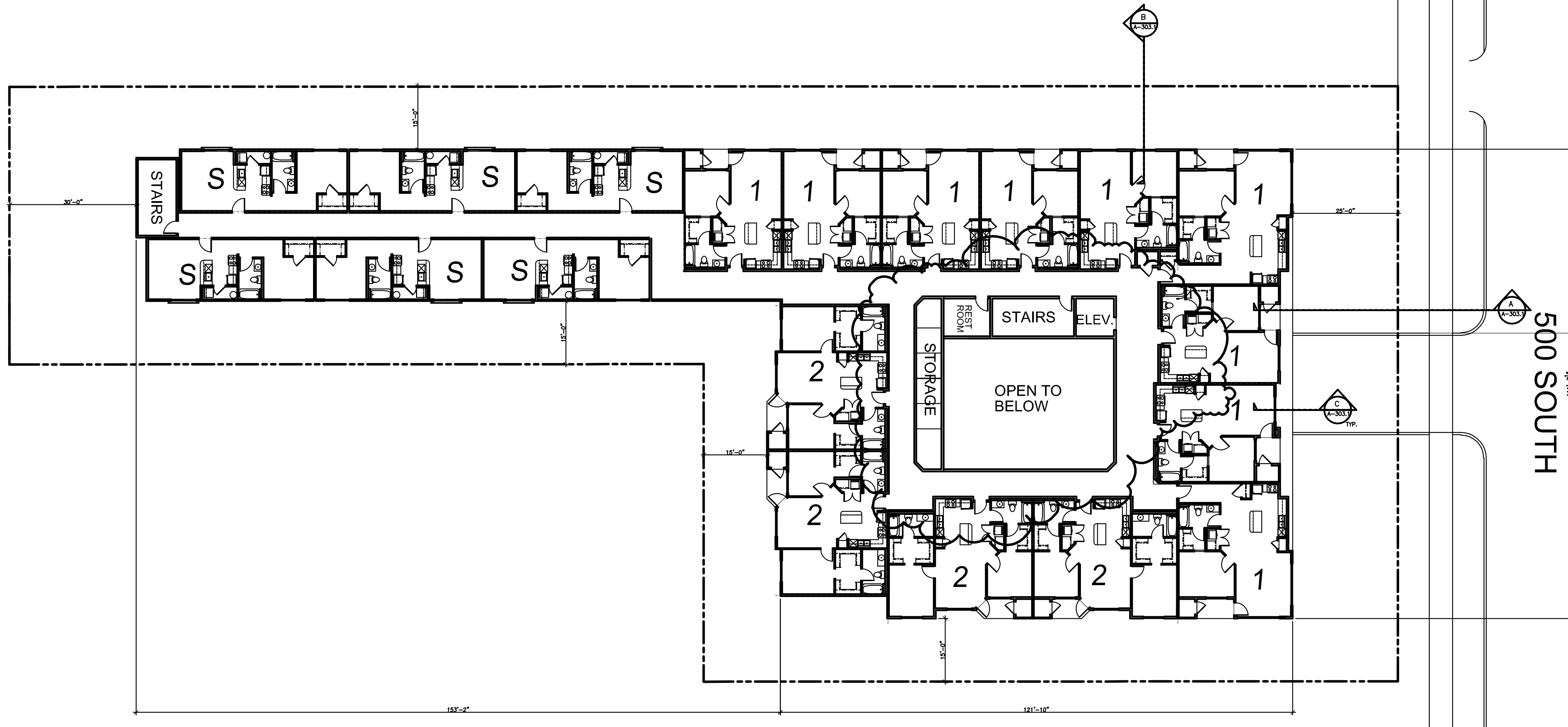
NEWHOUSE
 540 East 500 South
 Salt Lake City, UTAH

SITE & 1ST FLOOR PLAN

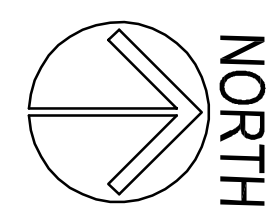
DATE: Sept. 5, 2012

DRAWN BY:

DRAWING NO. A-101.2



2ND FLOOR PLAN
SCALE : 1/16"=1'-0"



Tuttle and Associates, Inc.
ARCHITECTS
16485 3300 S
Salt Lake City, UT 84106
ph: (801) 485-4464
fax: (801) 485-6969

STRATEGIC DEVELOPMENT

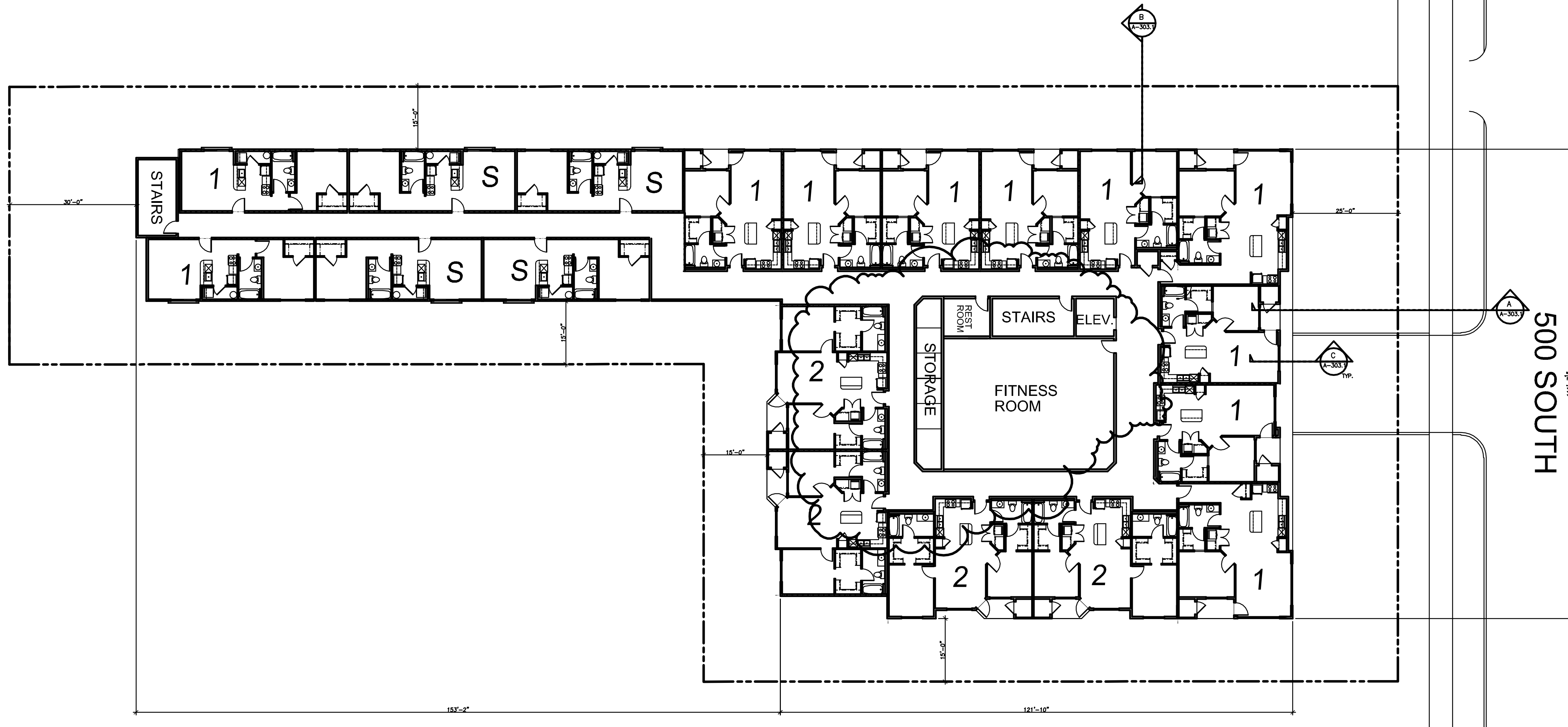
NEWHOUSE
540 East 500 South
Salt Lake City, UTAH

2ND FLOOR PLAN

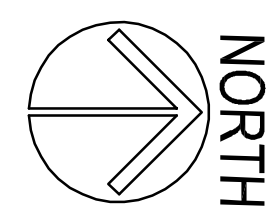
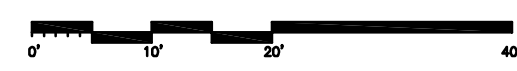
DATE: Sept. 5, 2012

REVISIONS

DRAWING NO.: A-101.3



3RD FLOOR PLAN
SCALE : 1/16"=1'-0"



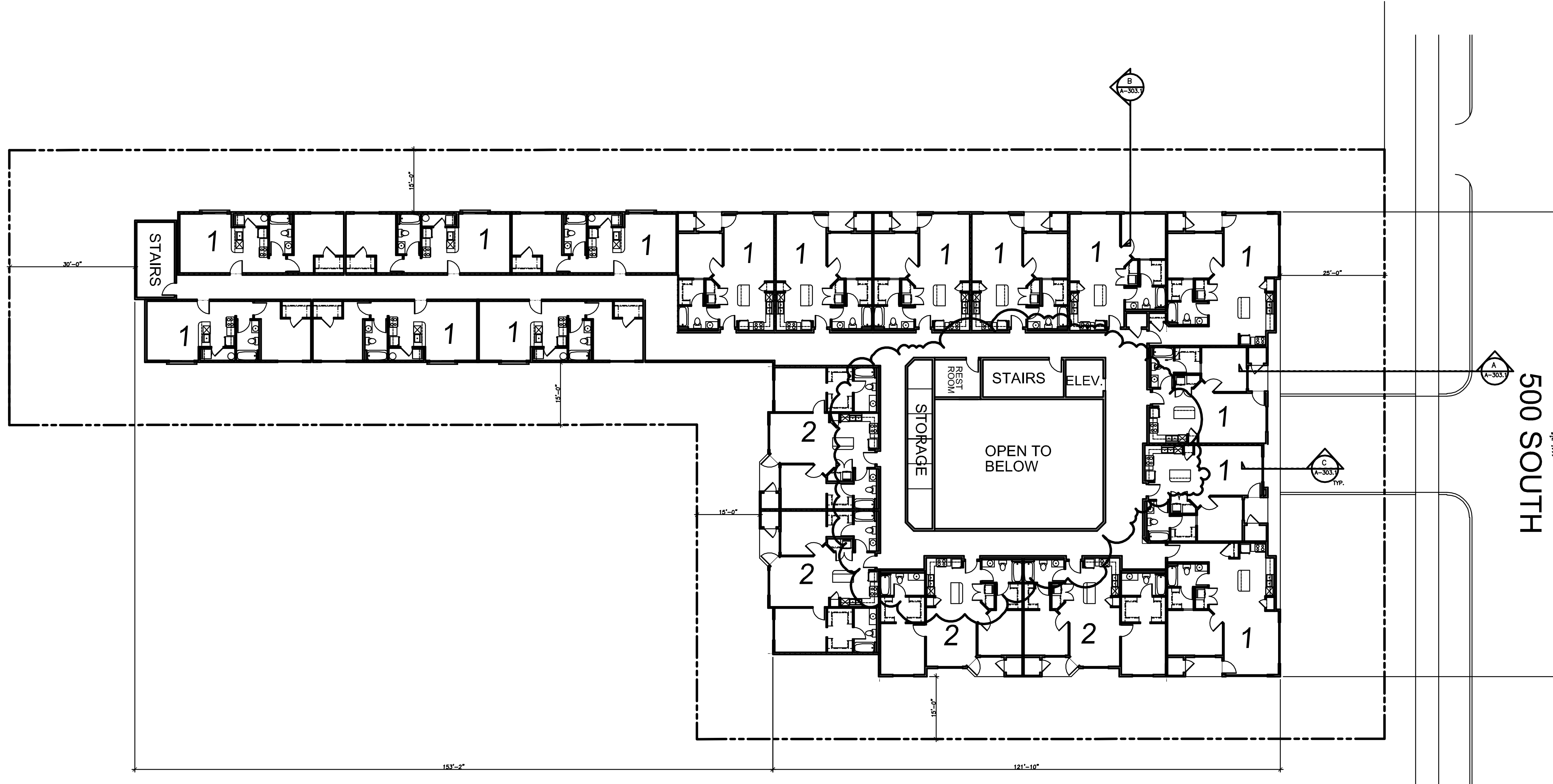
Tuttle and Associates, Inc.
ARCHITECTS
1648 E. 3300 S.
Salt Lake City, UT 84106
ph: (801) 485-4464
fax: (801) 485-6969

STRATEGIC
DEVELOPMENT

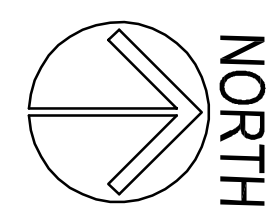
NEWHOUSE
540 East 500 South
Salt Lake City, UTAH

3RD FLOOR PLAN

DATE	Sept. 5, 2012
REVISED	
DRAWN BY	
CHECKED BY	
DRAWING NO.	A-101.4



4TH FLOOR PLAN
SCALE : 1/16"=1'-0"



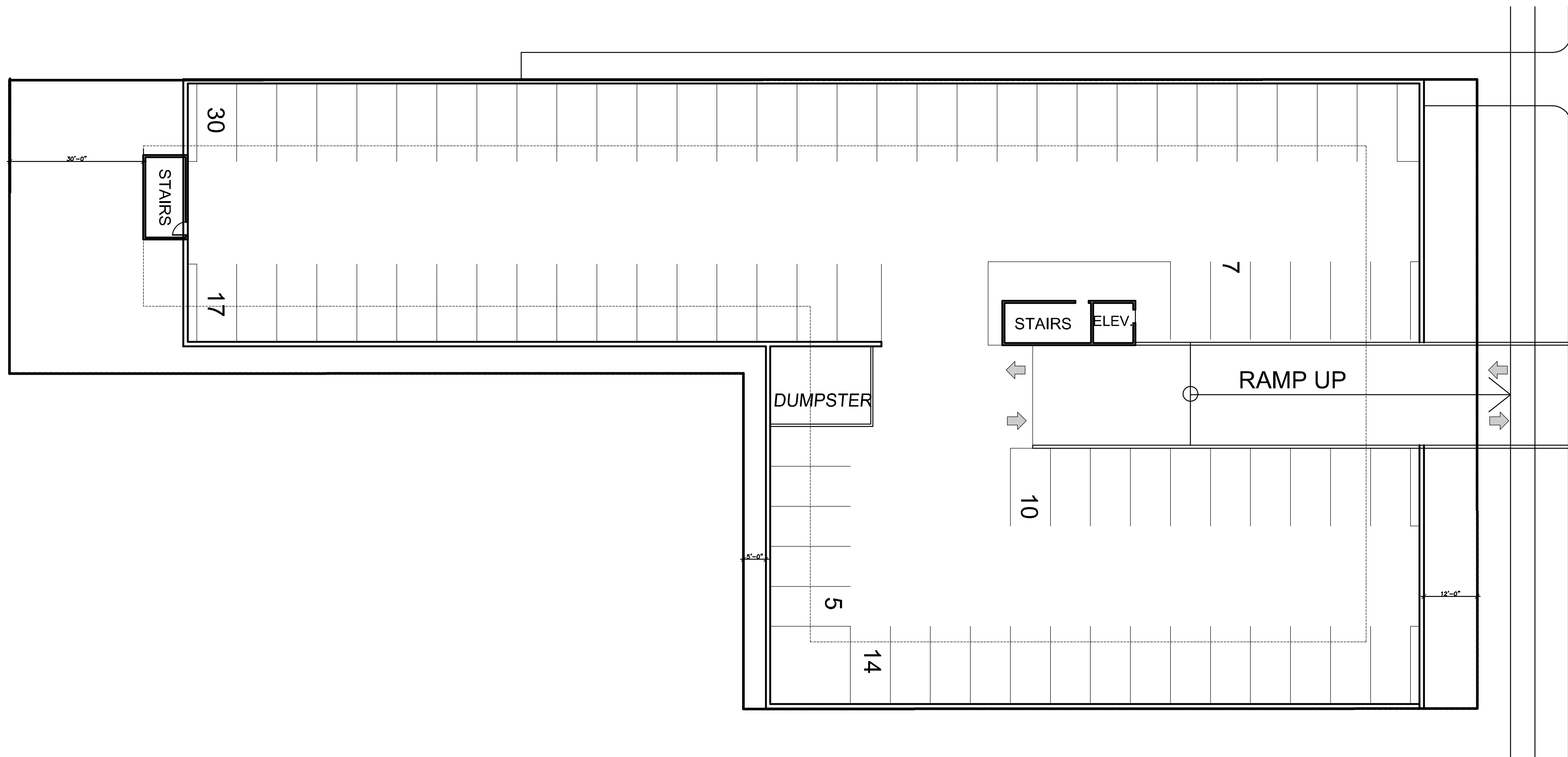
Tuttle and Associates, Inc.
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Salt Lake City, UT 84106
ph: (801) 485-4464
fax: (801) 485-6969

STRATEGIC
DEVELOPMENT

NEWHOUSE
540 East 500 South
Salt Lake City, UTAH

4TH FLOOR PLAN

DATE	Sept. 5, 2012
REVISED	
DRAWN BY	
CHECKED BY	
DRAWING NO.	A-101.5



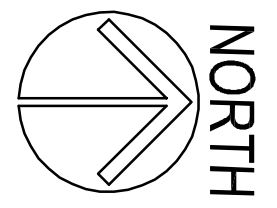
500 SOUTH

PARKING CALCULATIONS

UNIT TYPE	QTY.	REQ. STALLS
1-BEDROOM STANDARD UNITS	33	33
2-BEDROOM UNITS	16	32
Long 1-BEDROOM UNITS	8	8
STUDIO UNITS	16	8
TOTAL	73	81

82 PARKING STALLS PROVIDED

GARAGE LEVEL
SCALE : 1/16"=1'-0"



Tuttle and Associates, Inc.
ARCHITECTS
16485 33005
5411 Lake City, UT 84106
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fax: (801)485-6969

STRATEGIC DEVELOPMENT

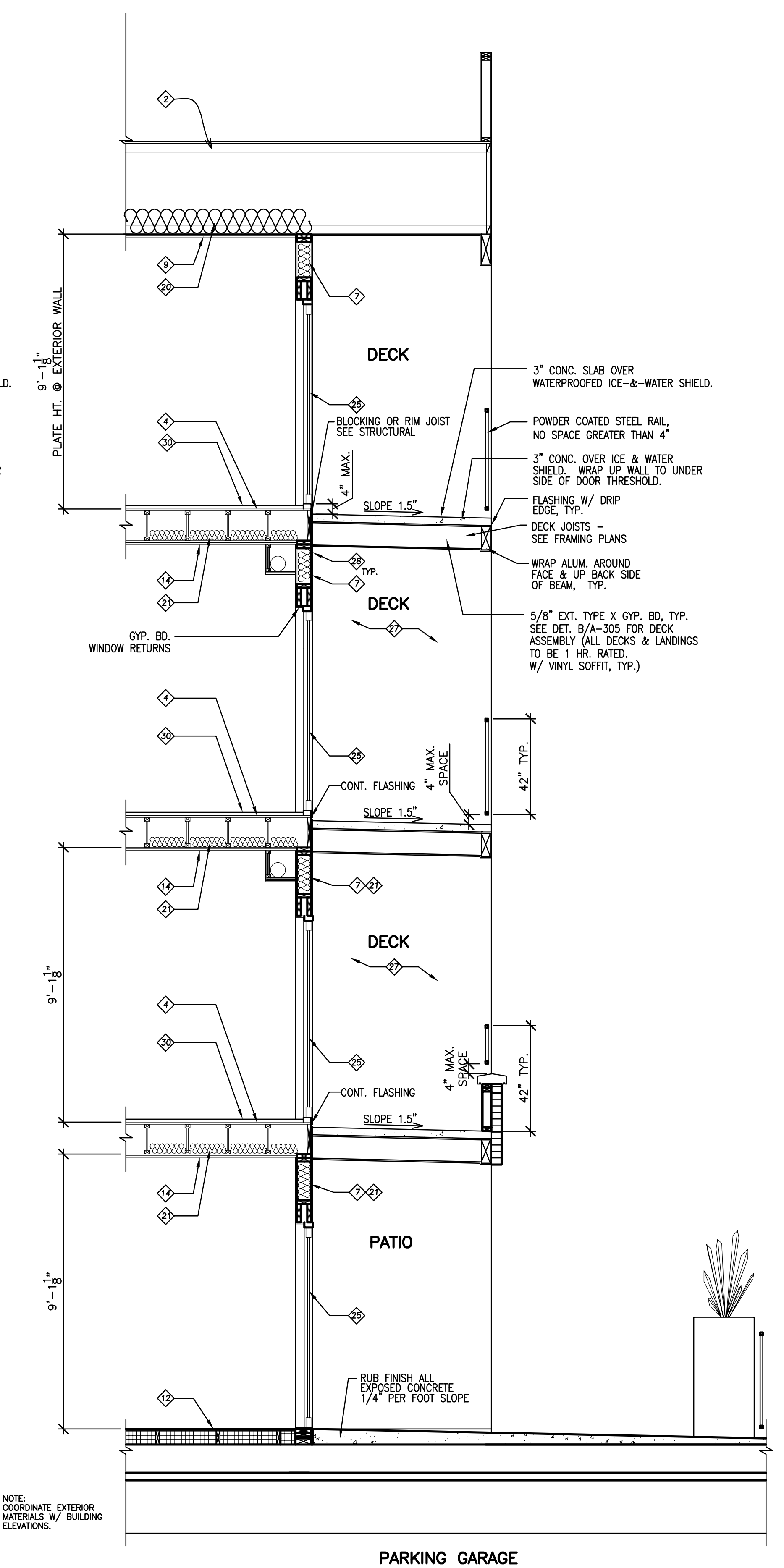
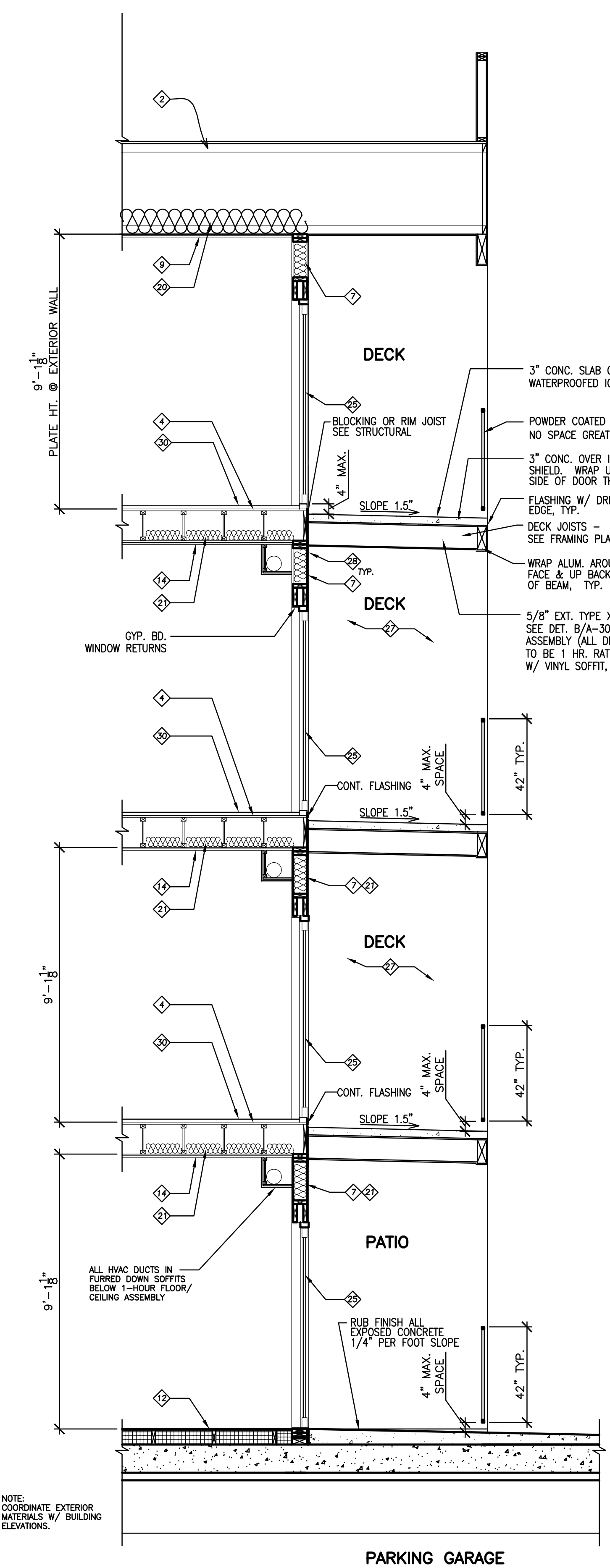
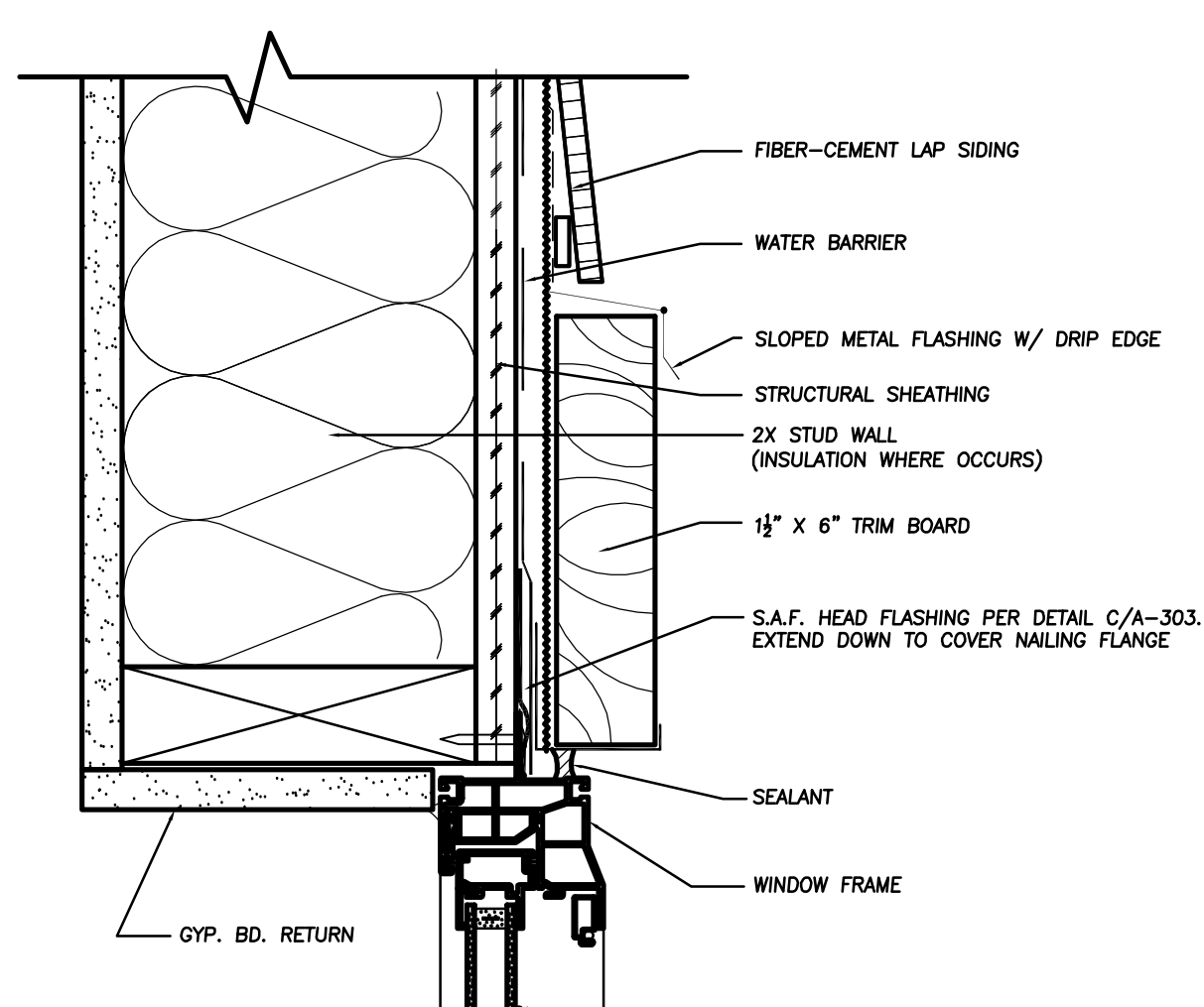
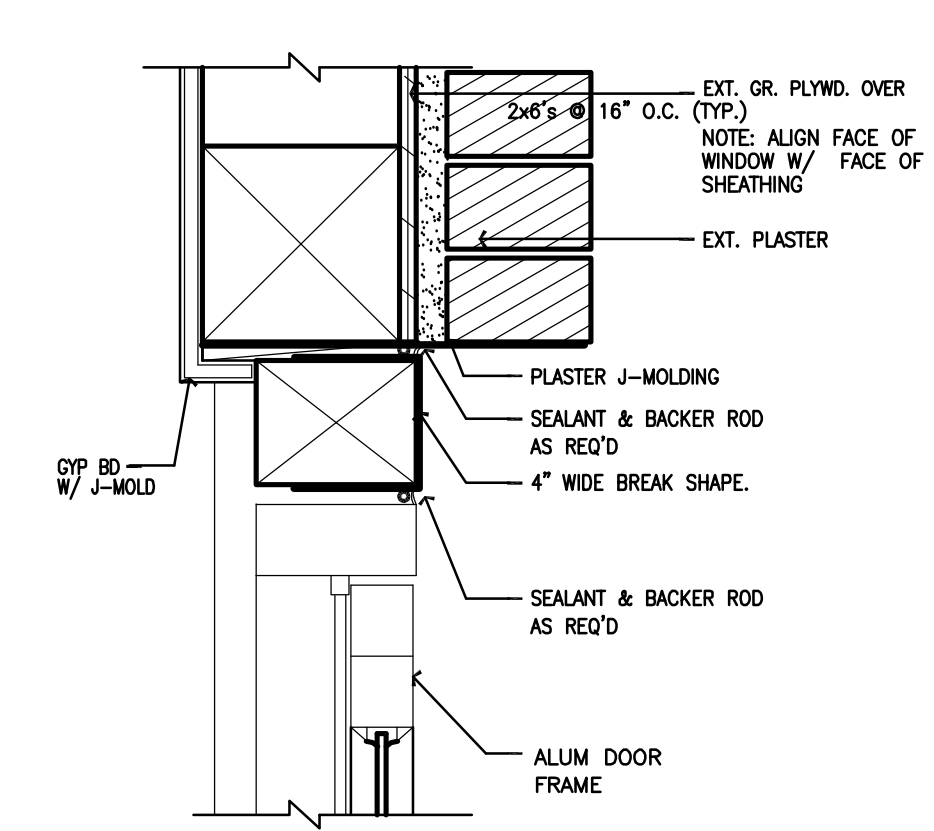
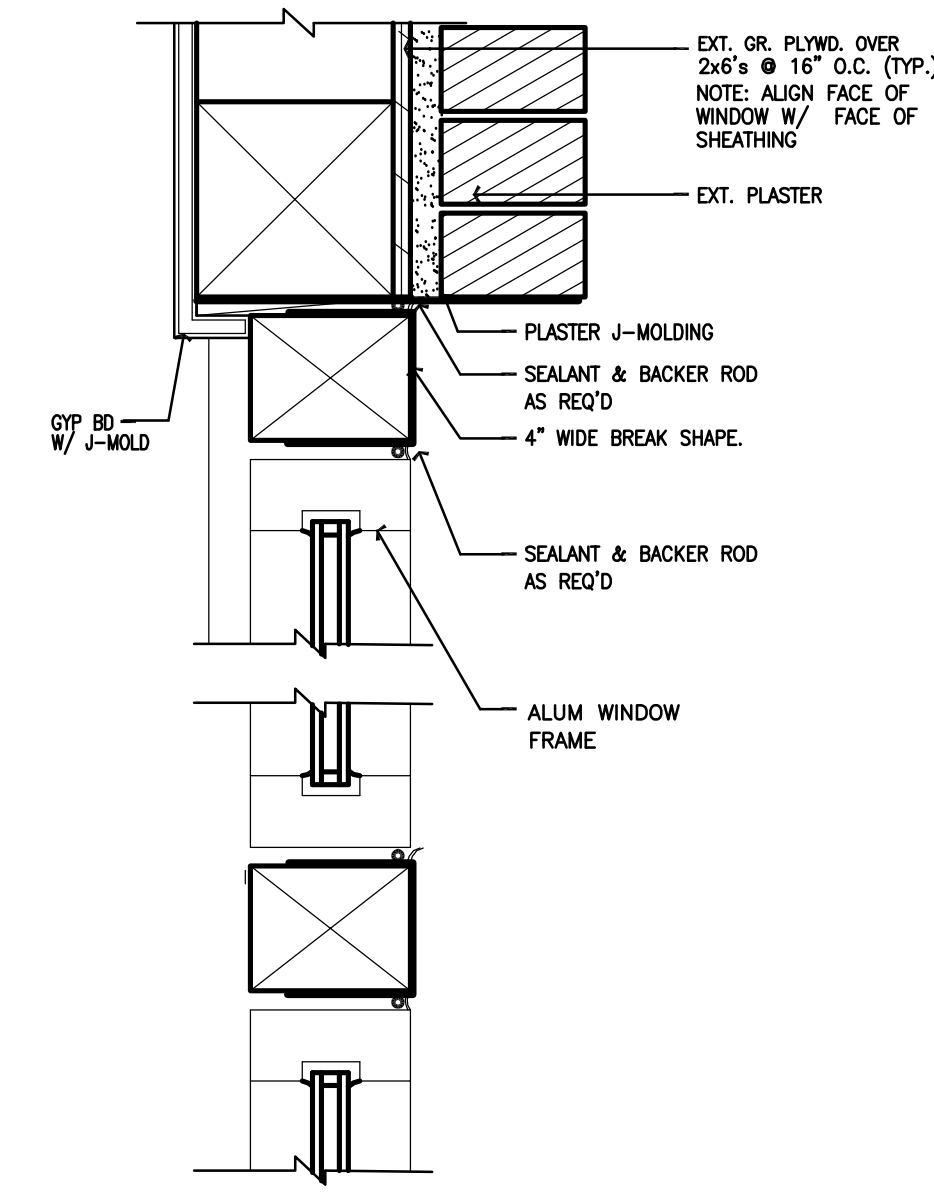
NEWHOUSE
540 East 500 South
Salt Lake City, UTAH

GARAGE PLAN

DATE: Sept. 5, 2012
REVISED:
DRAWN BY:
DRAWING NO.: A-101.1

KEY NOTES

- | | |
|--|--|
| <p>1 FINISH GRADE PER CIVIL DRAWINGS.</p> <p>2 PREFAB. WOOD ROOF TRUSSES, MANUFACTURER TO PROVIDE ENGINEERING & DETAILS TO STRUCTURAL ENGR. & CITY FOR APPROVAL. INSTALL PER MANUF'S. SPECS.</p> <p>3 OVER-BUILD ROOF FRAMING (TRUSSES), SEE STRUCTURAL.</p> <p>4 11-7/8" FLOOR JOIST WITH T&G FLOOR SHEATHING, PER STRUCTURAL.</p> <p>5 2x6 AT 16" O.C. WOOD FRAMED WALL. SHEATHING PER STRUCTURAL.</p> <p>6 2x4 AT 16" O.C. WOOD FRAMED WALL.</p> <p>7 2x6 AT 16" O.C. WOOD FRAMED UNIT SEPARATION WALL. 1-HOUR FIRE-RATED AND 50 STC MIN. SOUND RATING BETWEEN UNITS AND BETWEEN BREZZEWAY/UNITS. SEE NOTE #22 FOR GYP. BOARD AND RESILIENT CHANNEL REQUIREMENTS FOR UNIT SEPARATION WALLS.</p> <p>8 2x6'S AT 16" O.C. AT ALL NON BR'G PLUMBING WALLS. SEE STRUCTURAL PLANS FOR LOCATIONS & DETAILS OF INTERIOR BEARING WALLS.</p> <p>9 1 LAYER 5/8" SHEETROCK. UPPER LEVEL CEILING IS NOT A RATED ASSEMBLY. MECHANICAL CONTRACTOR MAY PENETRATE UPPER LEVEL CEILING WITH DUCTS IF APPROVED DUCT INSULATION IS INSTALLED, TO ELIMINATE THE REQUIREMENT FOR FURR-DOWNS AT THE UPPER CEILING. PRIME W/ PITTSBURG PAINT UC80101 - PERM SEALER VAPOR BARRIER.</p> <p>10 8" REINFORCED CONCRETE FOUNDATION WALL. SEE STRUCTURAL PLANS.</p> <p>11 CONCRETE CONTINUOUS FOOTING. SEE STRUCTURAL PLANS.</p> <p>12 4" CONC. FLOOR SLAB, THICKEN FOR INT. FOOTINGS. SEE STRUCTURAL. COORDINATE UNDER SLAB W/ GEOTECH REPORT AND STRUCTURAL.</p> <p>13 DRAFT STOP IN ATTIC EVERY 3,000 SQ. FT. MIN.</p> <p>14 TWO LAYERS 5/8" TYPE X GYPSUM BOARD W/ RESILIENT CHANNELS AT FLOOR/CEILINGS FOR 1 HOUR ASSEMBLY, PER DET. "D" ON SHEET A-305.</p> <p>PRE-ROCK CLG. NO PENETRATIONS ALLOWED THROUGH 1 HR. RATED FLOOR/CLG ASSEMBLY WITHOUT PRIOR APPROVAL AND 1 HR. RATED PENETRATION DETAIL, TYP.</p> | <p>15 2x4 RIDGE BLOCKING</p> <p>16 ATTIC SPACE VENTILATED PER ROOF PLAN AND I.B.C.</p> <p>17 BLOCKING. SEE DET. 1/A-304</p> <p>18 ALUMINUM FASCIA & TRIM AT ROOF OVERHANGS & DRIP EDGE</p> <p>19 ALUM. SOFFIT, PERFORATED</p> <p>20 BLOWN R-40 ATTIC INSULATION W/ CARDBOARD BAFFLES @ EDGES</p> <p>21 3 1/2" MIN. BATT FLOOR/CLG. INSULATION, IN JOIST SPACES.</p> <p>22 RESILIENT CHANNELS @ 16" o.c. @ RIGHT ANGLES TO ONE SIDE OF STUD WALL W/ (2) LYS'S 5/8" TYPE X ON CHANNEL SIDE & (1) LYS. 5/8" TYPE X OPP. SIDE, W/ 3" MIN. GLASS FIBER INSUL. IN STUD SPACE. PER DET. A/A-305. 1-HOUR FIRE-RATED ASSEMBLY.</p> <p>23 FILL SPACES SECURELY W/ MINERAL WOOL PER IBC 717.2.1.</p> <p>24 ASPHALT SHINGLES</p> <p>25 VINYL FRAMED SLIDING GLASS DOOR</p> <p>26 VINYL WINDOW</p> <p>27 VENEER STUCCO</p> <p>28 NOT USED</p> <p>29 R-21 BATT INSULATION AT EXTERIOR WALLS WITH VAPOR BARRIER ON WARM SIDE OF WALL.</p> <p>30 1 1/4" GYPCRETE UNDER CARPETED FLOORS. 3/4" GYPCRETE WITH 1/2" SOUND BOARD UNDER HARD SURFACES.</p> |
|--|--|



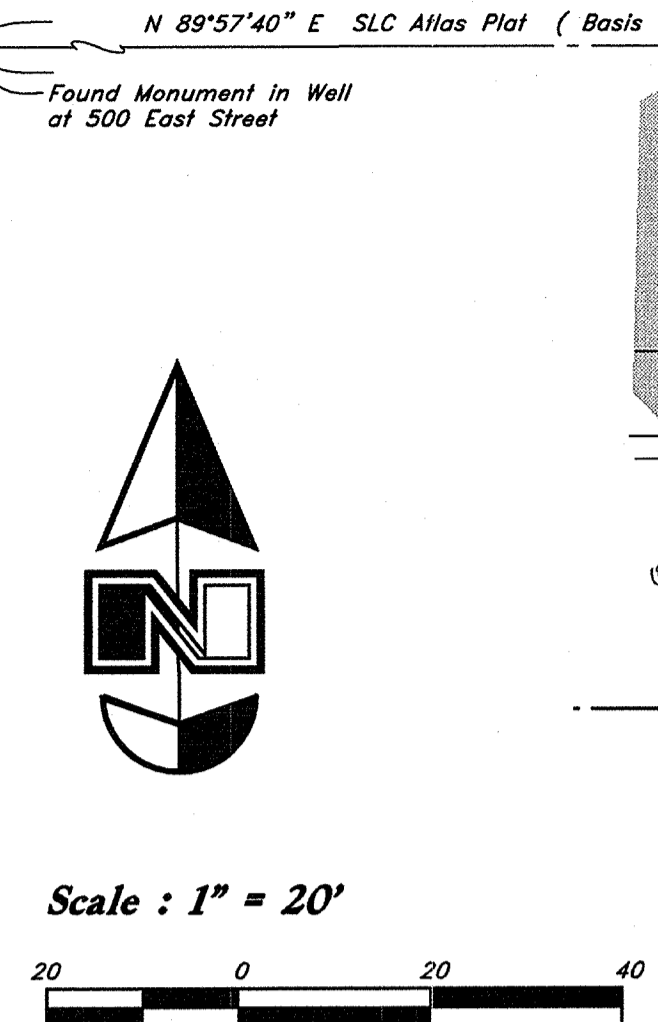
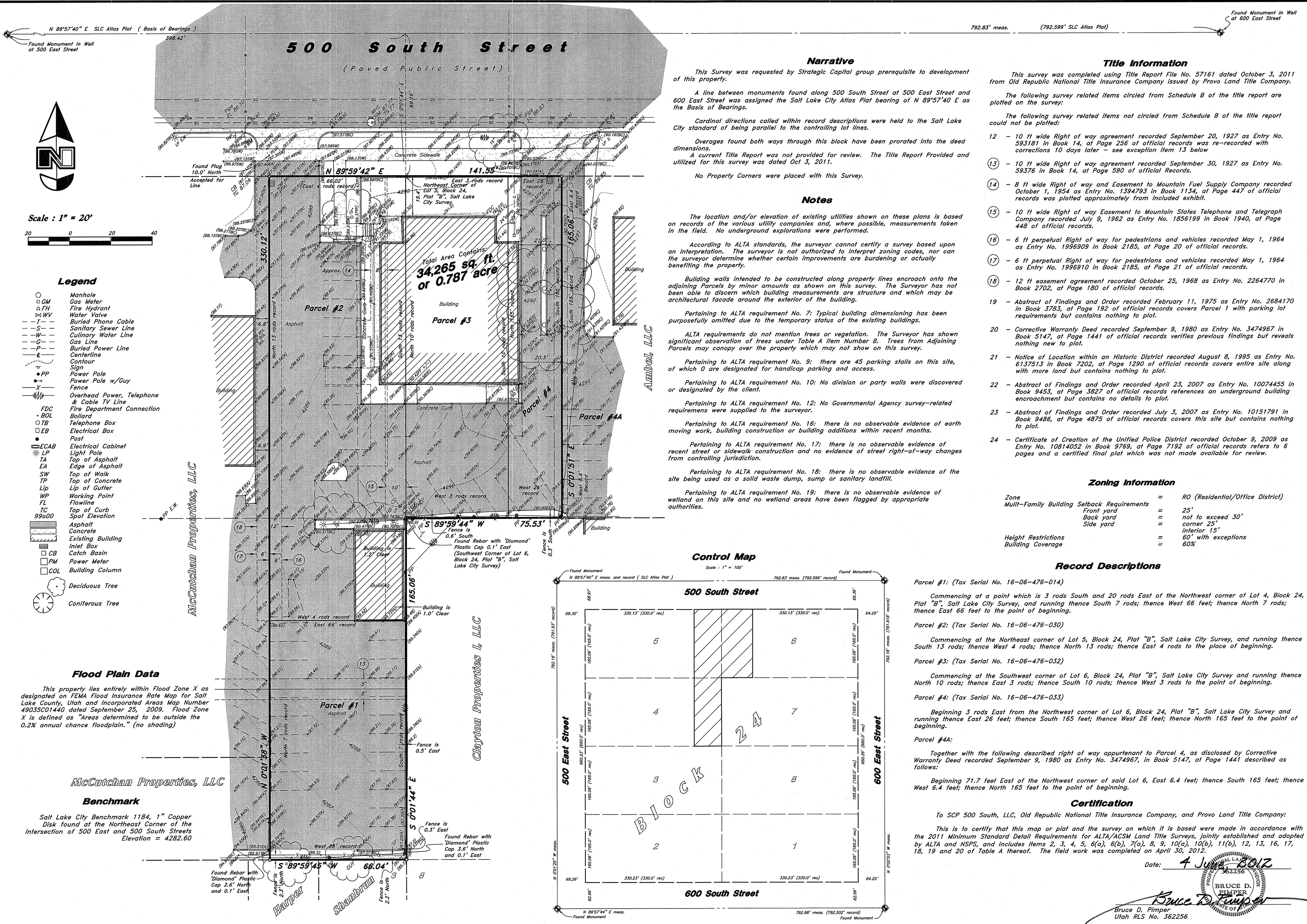
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16088 33005
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PH: (801) 485-6464
FAX: (801) 485-6969

STRATEGIC DEVELOPMENT

NEWHOUSE
540 East 500 South
Salt Lake City, UTAH

WALL SECTIONS

DATE: Aug. 2, 2012
REVISIONS:
DRAWN BY:
DRAWING NO.: A-303.1



- Legend**
- Manhole
 - GM Gas Meter
 - △ FH Fire Hydrant
 - ▽ WV Water Valve
 - Buried Phone Cable
 - S- Sanitary Sewer Line
 - W- Cullinary Water Line
 - G- Gas Line
 - P- Buried Power Line
 - ε Centerline
 - ~ Contour
 - Sign
 - PP Power Pole
 - Power Pole w/Guy
 - X- Fence
 - Overhead Power, Telephone & Cable TV Line
 - FDC Fire Department Connection
 - BOL Bollard
 - TB Telephone Box
 - EB Electrical Box
 - Post
 - ECAB Electrical Cabinet
 - LP Light Pole
 - TA Top of Asphalt
 - EA Edge of Asphalt
 - SW Top of Walk
 - TP Top of Concrete
 - Lip Lip of Gutter
 - WP Working Point
 - FL Flowline
 - TC Top of Curb
 - 99o00 Spot Elevation
 - Asphalt
 - Concrete
 - Existing Building
 - CB Catch Basin
 - PM Power Meter
 - COL Building Column
 - Deciduous Tree
 - Coniferous Tree

Flood Plain Data

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Salt Lake County, Utah and Incorporated Areas Map Number 49035C0144G dated September 25, 2009. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain." (no shading)

Benchmark

Salt Lake City Benchmark 1184, 1" Copper Disk found at the Northeast Corner of the Intersection of 500 East and 500 South Streets
Elevation = 4282.60

Narrative

This Survey was requested by Strategic Capital group prerequisite to development of this property.

A line between monuments found along 500 South Street at 500 East Street and 600 East Street was assigned the Salt Lake City Atlas Plat bearing of N 89°57'40" E as the Basis of Bearings.

Cardinal directions called within record descriptions were held to the Salt Lake City standard of being parallel to the controlling lot lines.

Overages found both ways through this block have been prorated into the deed dimensions.

A current Title Report was not provided for review. The Title Report Provided and utilized for this survey was dated Oct 3, 2011.

No Property Corners were placed with this Survey.

Notes

The location and/or elevation of existing utilities shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. No underground explorations were performed.

According to ALTA standards, the surveyor cannot certify a survey based upon an interpretation. The surveyor is not authorized to interpret zoning codes, nor can the surveyor determine whether certain improvements are burdening or actually benefiting the property.

Building walls intended to be constructed along property lines encroach onto the adjoining Parcels by minor amounts as shown on this survey. The Surveyor has not been able to discern which building measurements are structure and which may be architectural facade around the exterior of the building.

Pertaining to ALTA requirement No. 7: Typical building dimensioning has been purposefully omitted due to the temporary status of the existing buildings.

ALTA requirements do not mention trees or vegetation. The Surveyor has shown significant observation of trees under Table A Item Number 8. Trees from Adjoining Parcels may canopy over the property which may not show on this survey.

Pertaining to ALTA requirement No. 9: there are 45 parking stalls on this site, of which 0 are designated for handicap parking and access.

Pertaining to ALTA requirement No. 10: No division or party walls were discovered or designated by the client.

Pertaining to ALTA requirement No. 12: No Governmental Agency survey-related requirements were supplied to the surveyor.

Pertaining to ALTA requirement No. 16: there is no observable evidence of earth moving work, building construction or building additions within recent months.

Pertaining to ALTA requirement No. 17: there is no observable evidence of recent street or sidewalk construction and no evidence of street right-of-way changes from controlling jurisdiction.

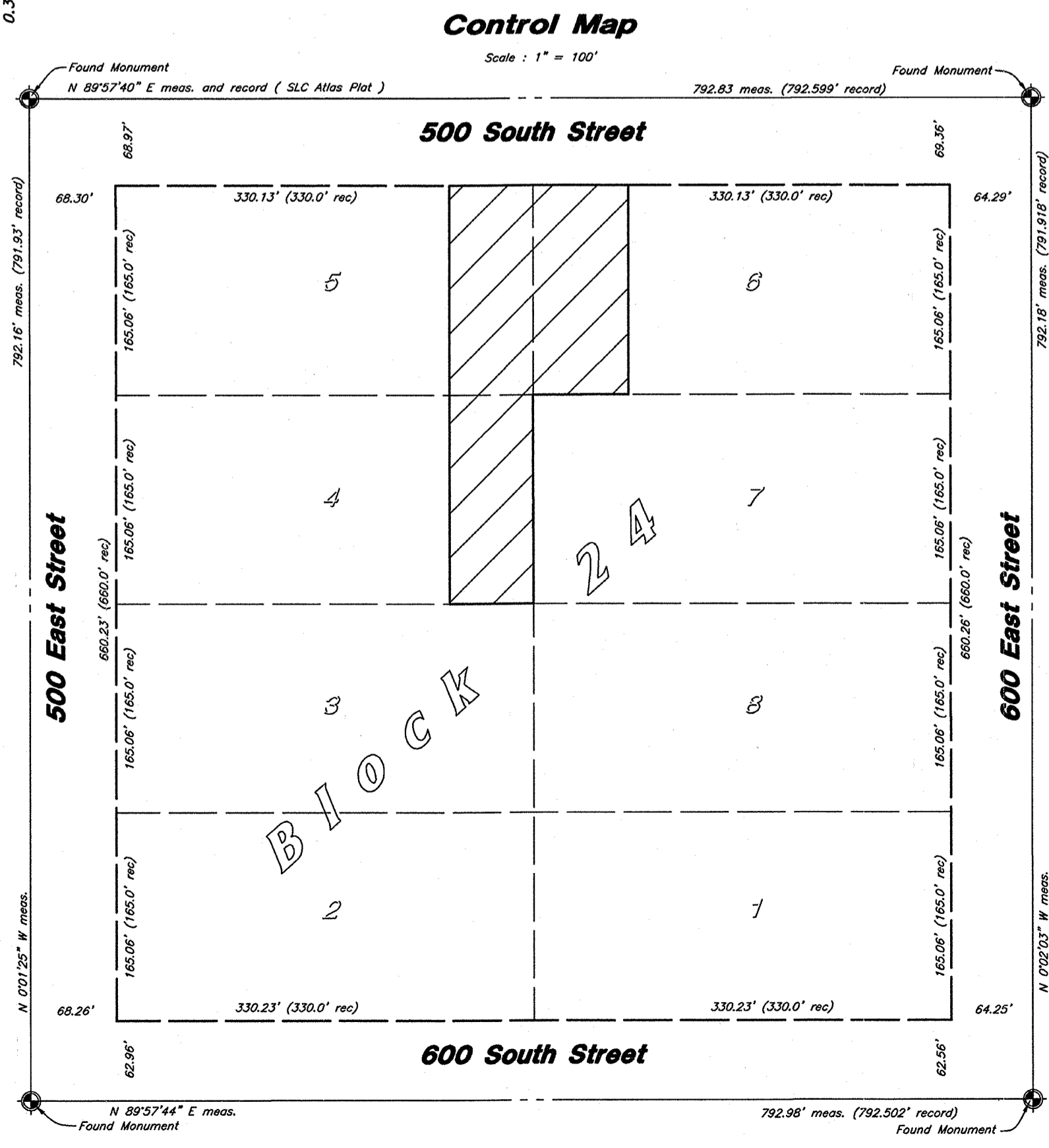
Pertaining to ALTA requirement No. 18: there is no observable evidence of the site being used as a solid waste dump, sump or sanitary landfill.

Pertaining to ALTA requirement No. 19: there is no observable evidence of wetland on this site and no wetland areas have been flagged by appropriate authorities.

- Title Information**
- This survey was completed using Title Report File No. 57161 dated October 3, 2011 from Old Republic National Title Insurance Company issued by Provo Land Title Company.
- The following survey related items circled from Schedule B of the title report are plotted on the survey:
- The following survey related items not circled from Schedule B of the title report could not be plotted:
- 12 - 10 ft wide Right of way agreement recorded September 20, 1927 as Entry No. 593181 in Book 14, at Page 256 of official records was re-recorded with corrections 10 days later - see exception item 13 below
 - 13 - 10 ft wide Right of way agreement recorded September 30, 1927 as Entry No. 59376 in Book 14, at Page 590 of official Records.
 - 14 - 8 ft wide Right of way and Easement to Mountain Fuel Supply Company recorded October 1, 1954 as Entry No. 1394793 in Book 1134, at Page 447 of official records was plotted approximately from included exhibit.
 - 15 - 10 ft wide Right of way Easement to Mountain States Telephone and Telegraph Company recorded July 9, 1962 as Entry No. 1856199 in Book 1940, at Page 448 of official records.
 - 16 - 6 ft perpetual Right of way for pedestrians and vehicles recorded May 1, 1964 as Entry No. 1996909 in Book 2185, at Page 20 of official records.
 - 17 - 6 ft perpetual Right of way for pedestrians and vehicles recorded May 1, 1964 as Entry No. 1996910 in Book 2185, at Page 21 of official records.
 - 18 - 12 ft easement agreement recorded October 25, 1968 as Entry No. 2264770 in Book 2702, at Page 180 of official records.
 - 19 - Abstract of Findings and Order recorded February 11, 1975 as Entry No. 2684170 in Book 3783, at Page 192 of official records covers Parcel 1 with parking lot requirements but contains nothing to plot.
 - 20 - Corrective Warranty Deed recorded September 9, 1980 as Entry No. 3474967 in Book 5147, at Page 1441 of official records verifies previous findings but reveals nothing new to plot.
 - 21 - Notice of Location within an Historic District recorded August 8, 1995 as Entry No. 6137513 in Book 7202, at Page 1290 of official records covers entire site along with more land but contains nothing to plot.
 - 22 - Abstract of Findings and Order recorded April 23, 2007 as Entry No. 10074455 in Book 9453, at Page 3827 of official records references an underground building encroachment but contains no details to plot.
 - 23 - Abstract of Findings and Order recorded July 3, 2007 as Entry No. 10151791 in Book 9486, at Page 4875 of official records covers this site but contains nothing to plot.
 - 24 - Certificate of Creation of the Unified Police District recorded October 9, 2009 as Entry No. 10814052 in Book 9769, at Page 7192 of official records refers to 6 pages and a certified final plat which was not made available for review.

Zoning Information

Zone	=	RO (Residential/Office District)
Multifamily Building Setback Requirements	=	
Front yard	=	25'
Back yard	=	not to exceed 30'
Side yard	=	corner 25'
	=	interior 15'
Height Restrictions	=	60' with exceptions
Building Coverage	=	60%



- Record Descriptions**
- Parcel #1: (Tax Serial No. 16-06-476-014)
- Commencing at a point which is 3 rods South and 20 rods East of the Northwest corner of Lot 4, Block 24, Plat "B", Salt Lake City Survey, and running thence South 7 rods; thence West 66 feet; thence North 7 rods; thence East 66 feet to the point of beginning.
- Parcel #2: (Tax Serial No. 16-06-476-030)
- Commencing at the Northeast corner of Lot 5, Block 24, Plat "B", Salt Lake City Survey, and running thence South 13 rods; thence West 4 rods; thence North 13 rods; thence East 4 rods to the place of beginning.
- Parcel #3: (Tax Serial No. 16-06-476-032)
- Commencing at the Southwest corner of Lot 6, Block 24, Plat "B", Salt Lake City Survey and running thence North 10 rods; thence East 3 rods; thence South 10 rods; thence West 3 rods to the point of beginning.
- Parcel #4: (Tax Serial No. 16-06-476-033)
- Beginning 3 rods East from the Northwest corner of Lot 6, Block 24, Plat "B", Salt Lake City Survey and running thence East 26 feet; thence South 165 feet; thence West 26 feet; thence North 165 feet to the point of beginning.
- Parcel #4A:
- Together with the following described right of way appurtenant to Parcel 4, as disclosed by Corrective Warranty Deed recorded September 9, 1980 as Entry No. 3474967, in Book 5147, at Page 1441 described as follows:
- Beginning 71.7 feet East of the Northwest corner of said Lot 6, East 6.4 feet; thence South 165 feet; thence West 6.4 feet; thence North 165 feet to the point of beginning.

Certification

To SCP 500 South, LLC, Old Republic National Title Insurance Company, and Provo Land Title Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 9, 10(a), 10(b), 11(b), 12, 13, 16, 17, 18, 19 and 20 of Table A thereof. The field work was completed on April 30, 2012.

Date: 4 June 2012

Bruce D. Pimper
Utah RLS No. 362256

Found Monument in Wall at 500 East Street

792.83' meas. (792.599' SLC Atlas Plat)

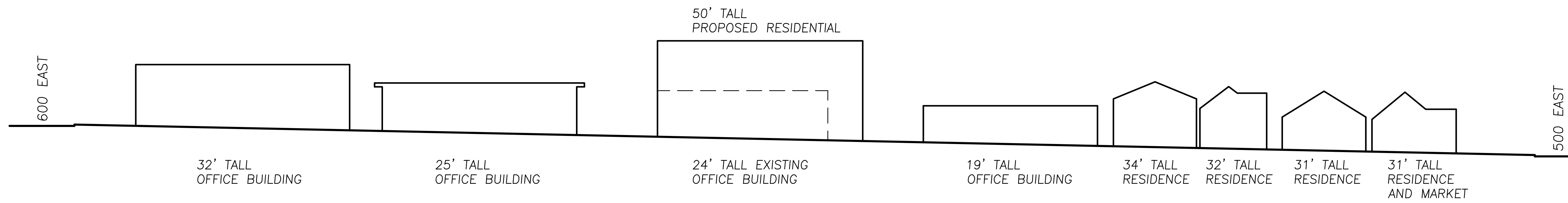
Found Monument in Wall at 600 East Street

DESIGNED BY: ---
DRAFTED BY: kh
CLIENT NAME: Strategic Capital Group
12-604S

GREAT BASIN ENGINEERING - SOUTH
CONSULTING ENGINEERS and LAND SURVEYORS
2010 North Redwood Road, P.O. Box 16747
Salt Lake City, Utah 84116
Salt Lake City (801)521-8529 Ogden (801)394-7888 Provo (801)521-8551

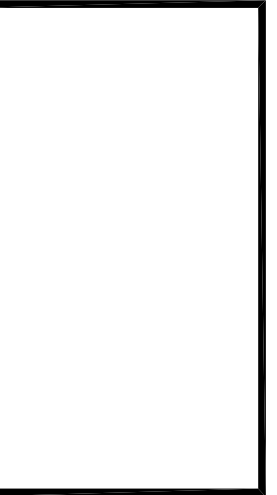
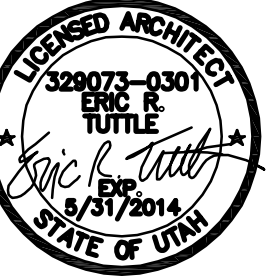
ALTA / ACSM Land Title Survey
Strategic Capital Group
540 East 500 South, Salt Lake City, Utah
A part of Lots 4, 5 and 6, Block 24, Plat "B", Salt Lake City Survey
A Part of the SE 1/4 of Section 6, T1S, R1E, S16&M, U.S. Survey

8 May, 2012
SHEET NO. 1



500 SOUTH - BLOCK FACE ELEVATION
 SCALE : 1" = 30'

Tuttle and Associates, Inc.
 ARCHITECTS
 1648 E. 3300 S.
 Salt Lake City, UT 84106
 ph: (801) 485-4464
 fax: (801) 485-6969



500S RESIDENCES
 STRATEGIC DEVELOPMENT
 540 East 500 South
 Salt Lake City, UTAH

BLOCK FACE ELEVATION

DATE:	Aug. 2, 2012
DESIGNED BY:	
CHECKED BY:	
DRAWN BY:	
DRAWING NO.:	

NEIGHBORHOOD SURVEY NEWHOUSE 540 East 500 South

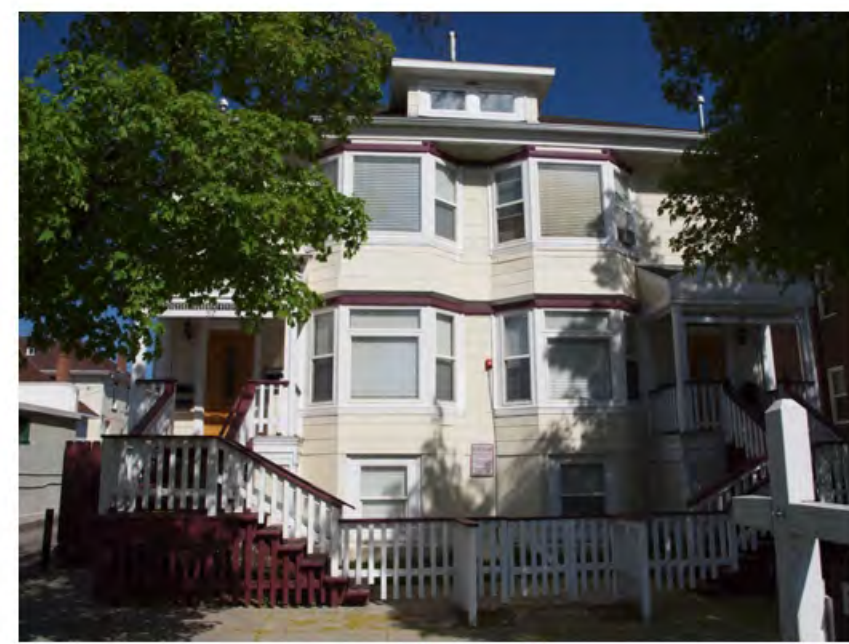
Tuttle and Associates, inc.

ARCHITECTS

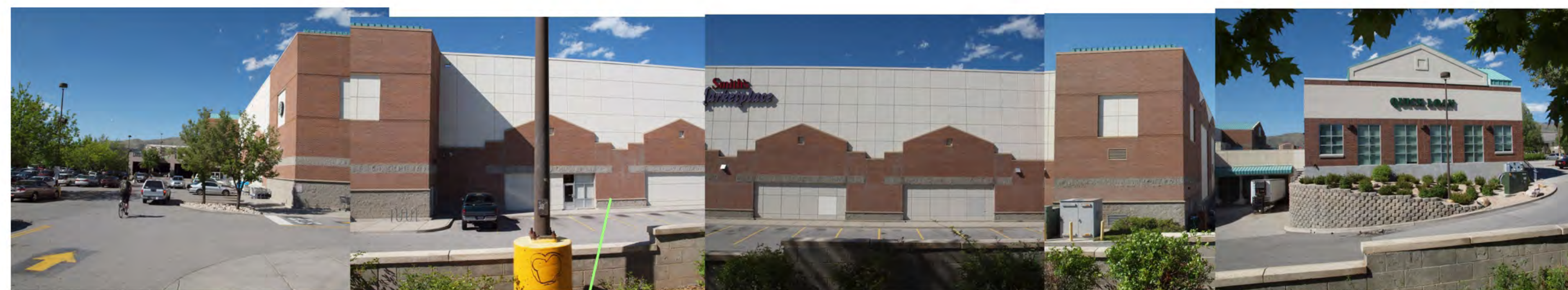
1648 E 3300 S, SLIC, UT 84106
www.etuttle.net
ph.(801)485-6464
fax(801)485-6969



52' TALL



34' TALL TO RIDGE



45' TALL



64' TALL

NUMBER INDICATES SETBACK DISTANCE FROM BACK OF SIDEWALK TO FACE OF BUILDING, TYPICAL



AERIAL VIEW OF NEIGHBORHOOD



44' TALL



39' TALL



41' TALL



ENTRY SIGNAGE



35' TALL TO RIDGE



32' TALL



25' TALL



24' TALL



19' TALL



34' TALL TO RIDGE



32' TALL TO RIDGE



31' TALL TO RIDGE



31' TALL TO RIDGE

500 SOUTH BLOCK FACE

**Attachment C
Site Photographs**



View of Project Site from 500 South



View of Project Site from East



View of the Rear of Project Site



View of Property to the West (530 East 500 South)



View of Property to the East (560 East 500 South)



**Smith's Marketplace
Across 500 South from Subject Property**