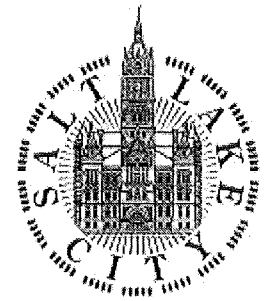


HISTORIC LANDMARK COMMISSION

488 N. Center Street Residence
New Construction
PLNHLC2012-00532
October 4, 2012



Planning and Zoning Division
Department of Community and
Economic Development

Applicant: Adrian Charimonte

Staff: Lex Traughber
lex.traughber@slcgov.com
(801)535-6184

Tax ID: 08-36-279-041

Current Zone: SR-1A, Special
Development Pattern Residential

**Capitol Hill Master Plan
Designation:** Low Density
Residential

Council District:
District 3–Stan Penfold

Lot Size: ~.094 Acres

Current Use: Vacant Lot

**Applicable Land Use
Regulations:**

- 21A.34.020 – H Historic Preservation Overlay District
- 21A.24.080 – CHPA Capitol Hill Protective Area Overlay District

Notification:

- Notice mailed: Sept 20, 2012
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites: Sept 20, 2012
- Property posted: Sept 23, 2012

Exhibits:

- A. Block Face Study
- B. Site Plan/Elevations

Request

The applicant Adrian Charimonte, represented by Dave Robinson of City BLOCK LLC, requests approval to construct a single-family residence at the above referenced address and located within the Capitol Hill Historic District.

Recommendation

Staff recommends that the Historic Landmark Commission review the petition, and grant the request pursuant to the following conditions of approval, and the findings and analysis in this report:

1. Approval of the final details of the design including materials, as well as any other direction expressed by the Commission shall be delegated to the Planning staff.
2. A Special Exception for corner side yard parking required. Prior to building permit approval, the applicant shall obtain approval for said Special Exception or redesign in order to meet required parking requirements for a single-family residence in an SR-1A Zone.
3. The project must meet all other applicable City requirements.
4. The approval will expire if a permit has not been taken out or an extension granted within 12 months from the date of approval.

Potential Motions

Consistent with Staff Recommendation: Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Commission approve the request for new construction located at 488 N. Center Street, subject to the above referenced conditions of approval.



Not Consistent with Staff Recommendation: Based on the analysis and findings listed in this staff report, testimony and the proposal presented, I move that the Commission deny the request for new construction approval at 488 N. Center Street. Specifically, the Commission finds that the proposed project does not substantially comply with Standards (Commissioner then states

findings based on the Standards to support the motion).

Vicinity Map



488 North Center Street

-  Subject Property
-  Neighboring Parcels

Project Information

Request

The proposed project is located in the Marmalade neighborhood of the Capitol Hill Historic District. The subject property is an irregular shaped corner lot. The front of the lot is 74'11", the east property line is 65'3", the west property line 71'0" and the rear/south property line is 50'10". Due to the irregular shape of this corner lot and the restrictive nature of the applicable zoning, there have been numerous design challenges.

The residence proposed will be three stories in height, with a 915 square foot building footprint and approximately 915 square feet per floor for a total of 2,980 square feet. There will be a storage area on the lower level consisting of 120 square feet. The building roof area will be 1,078 square feet. The lot square footage is 4,091 and the building coverage is approximately 34%.

This proposed home exemplifies sustainability, timeless design, high quality traditional materials, and local talent. The sustainable elements consist of smooth architectural concrete, high quality brick, recycled finish materials, and glass. Passive solar heat is captured by glazing to the south which is shaded by a 3 foot overhang in the warmer months. New deciduous trees and landscaping provide shade to the house, courtyard and public sidewalk while enhancing the streetscape and neighborhood. The sustainable landscaping provides water-wise plants, drip systems, drive strips and permeable materials. (See attached Site Plan & Elevations – Exhibit B).

The detached garage will be approximately 250 square feet with a green roof and smooth concrete exterior walls. A smooth paneled garage door is shown. A parking pad is noted to the north of the driveway slightly to the west of the proposed home and garage.

Project Details

Ordinance Requirement	Existing/Proposed	Comply
Minimum Lot Area And Lot Width: 5,000 square feet and 50 feet	4,091 square feet	LEGAL COMPLYING LOT
Maximum Building Height: 16 ft. for flat roof/ 23 ft. for pitched roof	Flat Roof- 16 ft.	COMPLIES
Minimum Front Yard Requirements: Average of the block face	10 ft. 6 in.	COMPLIES (see attached block face study – Exhibit A)
Interior Side Yard: 4 ft./10 ft.	4 ft./10 ft.	COMPLIES
Rear Yard: 15 ft.	17 ft.	COMPLIES
Maximum Building Coverage: 40%	34.0%	COMPLIES
Required Parking: 2 spaces	1 space shown	Must obtain a Special Exception for corner side yard parking
Accessory structure: 480 square foot maximum, 9' height max above existing grade for a flat roof	250 square feet, flat roof < 9' above existing grade	COMPLIES

Comments

Public Comments

No public comments have been received at the time of this writing.

City Comments

The Transportation Division commented on the proposed parking configuration, specifically the proposed parking pad shown on the site plan. They noted that the proposed parking pad is adequate space to accommodate a vehicle.

Analysis and Findings

ZONING ORDINANCE AND DESIGN GUIDELINES

21A.34.020 H Historic Preservation Overlay District

Standards For Certificate Of Appropriateness Involving New Construction Or Alteration Of A

Noncontributing Structure: In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the historic landmark commission, or planning director when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually compatible with surrounding structures and streetscape as illustrated in any design standards adopted by the historic landmark commission and city council and is in the best interest of the city:

Standard 1: Scale and Form:

- a) Height And Width: The proposed height and width shall be visually compatible with surrounding structures and streetscape;
- b) Proportion of Principal Facades: The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape;
- c) Roof Shape: The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and
- d) Scale of a Structure: The size and mass of the structures shall be visually compatible with the size and mass of surrounding structure and streetscape.

Applicable Design Standards

Mass and Scale

11.4 Construct a new building to reinforce a sense of human scale. A new building may convey a sense of human scale by employing techniques such as these:

- Using building materials that are of traditional dimensions.
- Providing a one-story porch that is similar to that seen traditionally.
- Using a building mass that is similar in size to those seen traditionally.
- Using a solid-to-void that is similar to that seen traditionally, and using window openings that are similar in size to those seen traditionally.

11.5 Construct a new building to appear similar in scale to the scale that is established in the block.

Subdivide larger masses into smaller “modules” that are similar in size to buildings seen traditionally.

11.6 Design a front elevation to be similar in scale to those seen traditionally in the block. The front shall include a one-story element, such as a porch. The primary plane of the front should not appear taller than those to typical historic structures in the block. A single wall plane should not exceed the typical maximum façade width in the district.

Height

11.7 Build to heights that appear similar to those found historically in the district. This is an important standard which should be met in all projects.

11.8 The back side of a building may be taller than the established norm if the change in scale will not be perceived from public ways.

Width

11.9 Design a new building to appear similar in width to that of nearby historic buildings. If a building would be wider overall than structures seen historically, the facade should be divided into subordinate planes that are similar in width to those of the context.

Building Form Standards

11.11 Use building forms that are similar to those seen traditional on the block. Simple rectangular solids are typically appropriate.

11.12 Use roof forms that are similar to those seen traditionally in the block. Visually, the roof is the single most important element in an overall building form. Gable and hip roofs are appropriate for primary roof forms in most residential areas. Shed roofs are appropriate for some additions. Roof pitches should be 6:12 or greater. Flat roofs should be used only in areas where it is appropriate to the context. They are appropriate for multiple apartment buildings, duplexes, and fourplexes. In commercial areas, a wider variety of roof forms may occur.

Proportion of Building Elements

11.13 Design overall facade proportions to be similar to those of historic buildings in the neighborhood. The “overall proportion” is the ratio of the width to height of the building, especially the front facade. See the discussions of individual districts and of typical historic building styles for more details about facade proportions.

Applicable Design Standards for the Capitol Hill Historic District

Building Form

13.18 Design new buildings to be similar in scale to those seen historically in the neighborhood. In the Marmalade subdistrict, homes tended to be more modest, with heights ranging from one to two stories, while throughout Arsenal Hill larger, grander homes reached two-and-a-half to three stories. Front facades should appear similar in height to those seen historically on the block.

13.19 Design a new building with a primary form that is similar to those seen historically. In most cases, the primary form for the house was a single rectangular volume. In some styles, smaller subordinate masses were then attached to this primary form. New buildings should continue this tradition.

Analysis: The proposal has similar mass and scale to existing structures on the block. Two stories of the home will be visible from the street fronts (both 500 North and Center Street). To meet the height restrictions in the Zone and the Capitol Hill Overlay, extensive excavation will be required to realize the proposed three story home. Because of this, the height of the proposed home will be substantially less than the homes to the east as one travels to the east up 500 North toward the Capitol Building. The maximum height of a flat roof structure in this Zone is limited to 16 feet. This is demonstrated in the attached elevation drawings. The width of the structure is similar to other structures on the block.

The front elevation is broken up into different planes. This, and the overhang above the front door and glass entry doors, help to create a human scale to the elevation. The overhang to create a front porch element is a modern interpretation of the porches seen on adjacent structures. The overhang will also be sided with glass on the east and west elevations which is a modern interpretation of a traditional bay window.

The flat roof is not traditional, however, there are other flat roofed structures on properties across the street from the subject lot. The flat roof is also consistent with the contemporary style of the home.

Finding: Staff finds that the proposal is generally in scale and form with other structures on its block and in the Marmalade District.

Standard 2: Composition of Principal Facades:

- a) Proportion of Openings: The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;
- b) Rhythm of Solids To Voids In Facades: The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;
- c) Rhythm of Entrance Porch And Other Projections: The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and
- d) Relationship of Materials: The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

Applicable Design Standards

Solid-to-Void Ratio

11.10 Use a ratio of wall-to-window (solid to void) that is similar to that found on historic structures in the district. Large surfaces of glass are inappropriate in residential structures. Divide large glass surfaces into smaller windows.

Rhythm and Spacing

11.14 Keep the proportions of window and door openings similar to those of historic buildings in the area. This is an important design standard because these details strongly influence the compatibility of a building within its context. Large expanses of glass, either vertical or horizontal, are generally inappropriate on new buildings in historic districts.

Materials

11.15 Use building materials that contribute to the traditional sense of scale of the block. This will reinforce the sense of visual continuity of the district.

11.16 New materials that are similar in character to traditional materials may be acceptable with appropriate detailing. Alternative materials should appear similar in scale, proportion, texture and finish to those used historically. They also must have a proven durability in similar locations in this climate. Metal products are allowed for soffits and eaves only.

Architectural Character

11.17 Use building components that are similar in size and shape to those found historically along the street. These include windows, doors, and porches.

11.18 If they are to be used, design ornamental elements, such as brackets and porches to be in scale with similar historic features. Thin, fake brackets and strap work applied to the surface of a building are inappropriate uses of these traditional details.

11.19 Contemporary interpretations of traditional details are encouraged. New designs for window moldings and door surrounds, for example, can provide visual interest while helping to convey the fact that the building is new. Contemporary details for porch railings and columns are other examples. New soffit details and dormer designs also could be used to create interest while expressing a new, compatible style.

11.20 The imitation of older historic styles is discouraged. One should not replicate historic styles, because this blurs the distinction between old and new buildings, as well as making it more difficult to visually interpret the architectural evolution of the district. Interpretations of historic styles may be considered if they are subtly distinguishable as new.

Windows

11.21 Windows with vertical emphasis are encouraged. A general rule is that the height of the window should be twice the dimension of the width in most residential contexts. See also the discussions of the character of the relevant historic district and architectural styles.

11.22 Frame windows and doors in materials that appear similar in scale, proportion and character to those used traditionally in the neighborhood. Double-hung windows with traditional depth and trim are preferred in most districts.

11.23 Windows shall be simple in shape. Odd window shapes such as octagons, circles, diamonds, etc. are discouraged.

Applicable Design Standards for Capitol Hill Historic District

13.9 Use primary materials on a building that are similar to those used historically. Appropriate building materials include: brick, stucco and wood. Building in brick, in sizes and colors similar to those used historically, is preferred. Jumbo, or oversized, brick is inappropriate. Using stone, or veneers applied with the bedding plane in a vertical position, is inappropriate. Stucco should appear similar to that used historically. Using panelized products in a manner that reveals large panel modules is inappropriate. In general, panelized and synthetic materials are inappropriate for primary structures. They may be considered on secondary buildings.

13.20 Use building materials to those used historically. Appropriate primary building materials include, brick, stucco and painted wood.

Analysis: The proposal does not try to copy older, historical styles in its design. The proposal's design is of its own age. It ties into the other homes on its block face with the use of historic building material and a front porch element.

Generally, the solid-to-void ratio on the 500 North façade is in keeping with those on the block face, while the solid-to-void ratio on the Center Street side is less than other structures on its block; that is to say the Center Street façade contains more glass (void) than other adjacent structures. While some other homes do have large windows on the front elevation, the proposal's windows and glass entry doors dominate its west elevation. The overhang extending over the front door and glass entry doors break up the north elevation and is similar to the porches prevalent on the block.

The proposed home has a mixture of vertical, horizontal, and square windows and does not rely on a single style. While the proposal has several large windows not typically seen on the block face, all the large

windows are divided to break up their surfaces. Most of the windows are simple in shape. The window framing is not traditional as it matches the contemporary style of the home.

Brick, the proposal's primary building material, is traditional for Capitol Hill. The block has a mix of building material, predominately brick.

Finding: Staff finds that the proposed composition of the principal facades, while contemporary in design, bring in historic architectural elements, primarily through its building materials and the use of a front porch.

Standard 3: Relationship to Street:

- a) Walls of Continuity: Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;
- b) Rhythm of Spacing And Structures On Streets: The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;
- c) Directional Expression of Principal Elevation: A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and
- d) Streetscape; Pedestrian Improvements: Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.

Applicable Design Standards

11.1 Respect historic settlement patterns. Site new buildings such that they are arranged on their sites in ways similar to historic buildings in the area. This includes consideration of building setbacks, orientation and open space, all of which are addressed in more detail in the individual district standards.

11.2 Preserve the historic district's street plan. Most historic parts of the city developed in traditional grid patterns, with the exception of Capitol Hill. In this neighborhood the street system initially followed the steep topography and later a grid system was overlaid with little regard for the slope. Historic street patterns should be maintained. See specific district standards for more detail. The overall shape of a building can influence one's ability to interpret the town grid. Oddly shaped structures, as opposed to linear forms, would diminish one's perception of the grid, for example. In a similar manner, buildings that are sited at eccentric angles could also weaken the perception of the grid, even if the building itself is rectilinear in shape. Closing streets or alleys and aggregating lots into larger properties would also diminish the perception of the grid.

11.3 Orient the front of a primary structure to the street. The building should be oriented parallel to the lot lines, maintaining the traditional grid pattern of the block. An exception is where early developments have introduced curvilinear streets, like Capitol Hill.

12.12 Screening parking areas from view of street. Automobile headlight illumination from parking areas shall be screened from adjacent lots and the street. Fences, walls and plantings, or a combination of these, should be used to screen parking.

Applicable Design Standards for the Capitol Hill Historic District

13.15 Maintain the traditional setback and alignment of buildings to the street, as established by traditional street patterns. In Arsenal Hill, street patterns and lot lines call for more uniform setback and siting of primary structures. Historically, the Marmalade District developed irregular setbacks and lot shapes. Many

homes were built toward compass points, with the street running at diagonals. This positioning, mixed with variations in slope, caused rows of staggered houses, each with limited views of the streetscape. Staggered setbacks are appropriate in this part of the district because of the historical development. Traditionally, smaller structures were located closer to the street, while larger ones tended to be set back further.

13.16 Keep the side yard setbacks of a new structure or an addition similar to those seen traditionally in the subdistrict or block. Follow the traditional building pattern in order to continue the historic character of the street. Consider the visual impact of new construction and additions on neighbors along side yards. In response, consider varying the setback and height of the structure along the side yard.

13.17 Orient the front of the primary structure to the street. Define the entry with a porch or portico.

Analysis: The proposed home is sited on the subject lot similarly to other homes on the block face and would contribute to the established wall of continuity of the street. Its side yards will be generally narrow as it is a small lot, 4,094 square feet. Other side yards throughout the Marmalade District and along its block face are also generally small. Parking will be in the rear of the lot tucked behind the primary structure.

A predominant feature of the block and all of the Capitol Hill Historic District is the use of front porches. The proposal calls for a front porch extending from the front door to over entry door. The use of this element will also contribute to the established wall of continuity of the street.

Finding: Staff finds that the proposed home meets this standard. The established wall of continuity and orientation of the building will be consistent with the block face and Marmalade District.

Standard 4: Subdivision of Lots: The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

Analysis: This standard is not applicable as no subdivision amendments are proposed.

Finding: Staff finds that this standard is not applicable.

Exhibit A:
Block Face Study

Exhibit B:
Site Plan and Elevation Drawings

Center Street Residence

488 NORTH CENTER STREET
SALT LAKE CITY, UTAH 84103

BUILDING INFORMATION:

Structure Use: Residential
 Certified Address: 488 North Center Street
 Salt Lake City, Utah 84103
 Property area: 4,091 SF
 Building Roof Area: 1,078 SF
 Garage Roof Area: 290 SF
 Total Lot Coverage: (1,368/4,091) = 34%
 Square Footage: 2,980 GSF (Heated)
 Number of Stories: 3
 Type of Construction: Concrete Slab /Steel Framing

DRAWING INDEX:

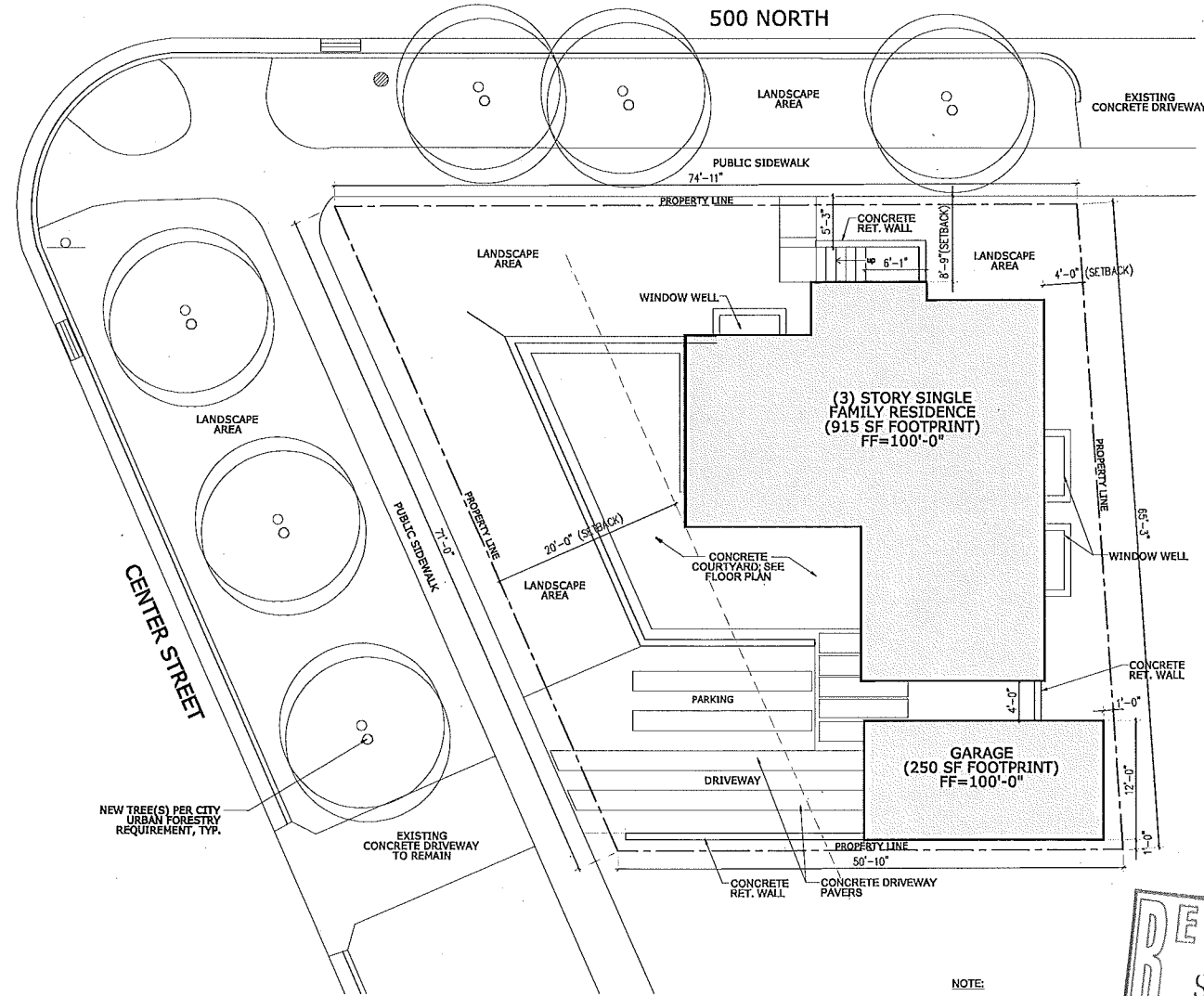
- G001 COVER SHEET AND SITE PLAN
- A201 FLOOR PLAN - LOWER
- A202 FLOOR PLAN - MAIN
- A203 FLOOR PLAN - UPPER
- A401 EXTERIOR ELEVATIONS
- A501 BUILDING SECTIONS

VICINITY PLAN:



Project Location | 488 Center Street

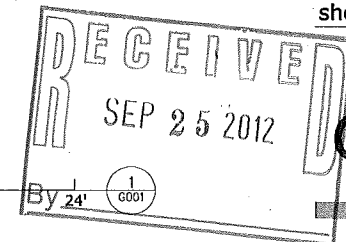
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SITE PLAN

NOTE:

2' 6' 12'



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consultant:

project:

Center Street Residence

488 NORTH CENTER STREET
SALT LAKE CITY,
UTAH 84103

date:

August 20, 2012

sheet title:

COVER SHEET AND SITE PLAN

sheet no.:

G001

SURVEYOR'S CERTIFICATE

I, MICHAEL L. WANGEMANN, SYRACUSE, UTAH, DO HEREBY CERTIFY THAT I AM A LICENSED LAND SURVEYOR AND THAT I HOLD LICENSE NO. 6431156 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH AND THAT I HAVE MADE A SURVEY OF THE BOUNDARIES OF THE FOLLOWING DESCRIBED PROPERTY:

(SEE BELOW)

I FURTHER CERTIFY THAT THIS PLAT CORRECTLY SHOWS THE TRUE DIMENSIONS OF THE BOUNDARIES SURVEYED AND OF THE VISIBLE IMPROVEMENTS EFFECTING THE BOUNDARIES AND THEIR POSITION IN RELATIONSHIP TO SAID BOUNDARIES; THAT NONE OF THE VISIBLE IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY ENCRUSH UPON ADJOINING PROPERTIES; AND THAT NO VISIBLE IMPROVEMENTS, FENCES OR LEAVES OF ADJOINING PROPERTIES ENCRUSH UPON THE SUBJECT PROPERTY EXCEPT AS SHOWN.

I ALSO FURTHER CERTIFY THAT THIS PLAT DOES NOT PURPORT TO DISCLOSE OVERLAPS, GAPS, OR BOUNDARY LINE DISPUTES OF THE PROPERTY SURVEYED WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY OF THE ADJOINING PROPERTIES, NOR DOES IT PURPORT TO DISCLOSE OWNERSHIP OF OR CLAIMS OF EASEMENTS OR ENCUMBRANCES UPON THE PROPERTY SURVEYED.



Michael L. Wangemann, PLS

Date of Plat or Map: _____

PLS# 6431156-2201

LEGAL DESCRIPTION

DEED LEGAL DESCRIPTION:

AS-SURVEYED DESCRIPTION:

UTILITY NOTE

THE UTILITY INFORMATION SHOWN ON THIS PLAT IS BASED ON ABOVE GROUND EXISTING STRUCTURES AS OBSERVED AND LOCATED BY THE SURVEYOR IN THE FIELD AS WELL AS INFORMATION PROVIDED TO THE SURVEYOR. NO FURTHER INVESTIGATION OF EXISTING UTILITIES WERE PERFORMED FOR THIS SURVEY. THEREFORE THE SURVEYOR IS NOT RESPONSIBLE FOR THE REPRESENTATION OR OMISSION OF SUCH INFORMATION ON THIS PLAT. CONTACT BLUE STAKES BEFORE ANY DIGGING, EXCAVATION OR CONSTRUCTION IS TO TAKE PLACE.



GENERAL NOTES

1. ALL COURSES SHOWN IN PARENTHESES ARE RECORD INFORMATION TAKEN FROM DEED DESCRIPTION OR OFFICIAL MAPS OR PLATS OF RECORD. ALL OTHER COURSES ARE THE RESULT OF ACTUAL FIELD MEASUREMENTS.
2. ALL PROPERTY CORNERS ARE SET WITH 5/8" REBAR AND PLASTIC CAP STAMPED "UTAH LAND SURVEYING" OR OTHER PERMANENT MARKERS OR AS OTHERWISE STATED.

SHEET TITLE

SITE PLAN

PREPARED FOR CITY BLOCK, LLC
DAVID ROBINSON
325 WEST 700 NORTH #11
SALT LAKE CITY, UT 84103

LOCATION

REV	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE:	09/19/2012
SCALE:	1" = 20'
DRAWN:	MLW
CHECKED:	MLW

UTAH LAND SURVEYING, LLC
A PROFESSIONAL LICENSED LAND SURVEYING COMPANY



2302 WEST 2100 SOUTH
SYRACUSE UT 84075

PHONE 801.725.8395
FAX 801.820.7775

www.utahlandsurveying.com

JOB NUMBER

0576-12

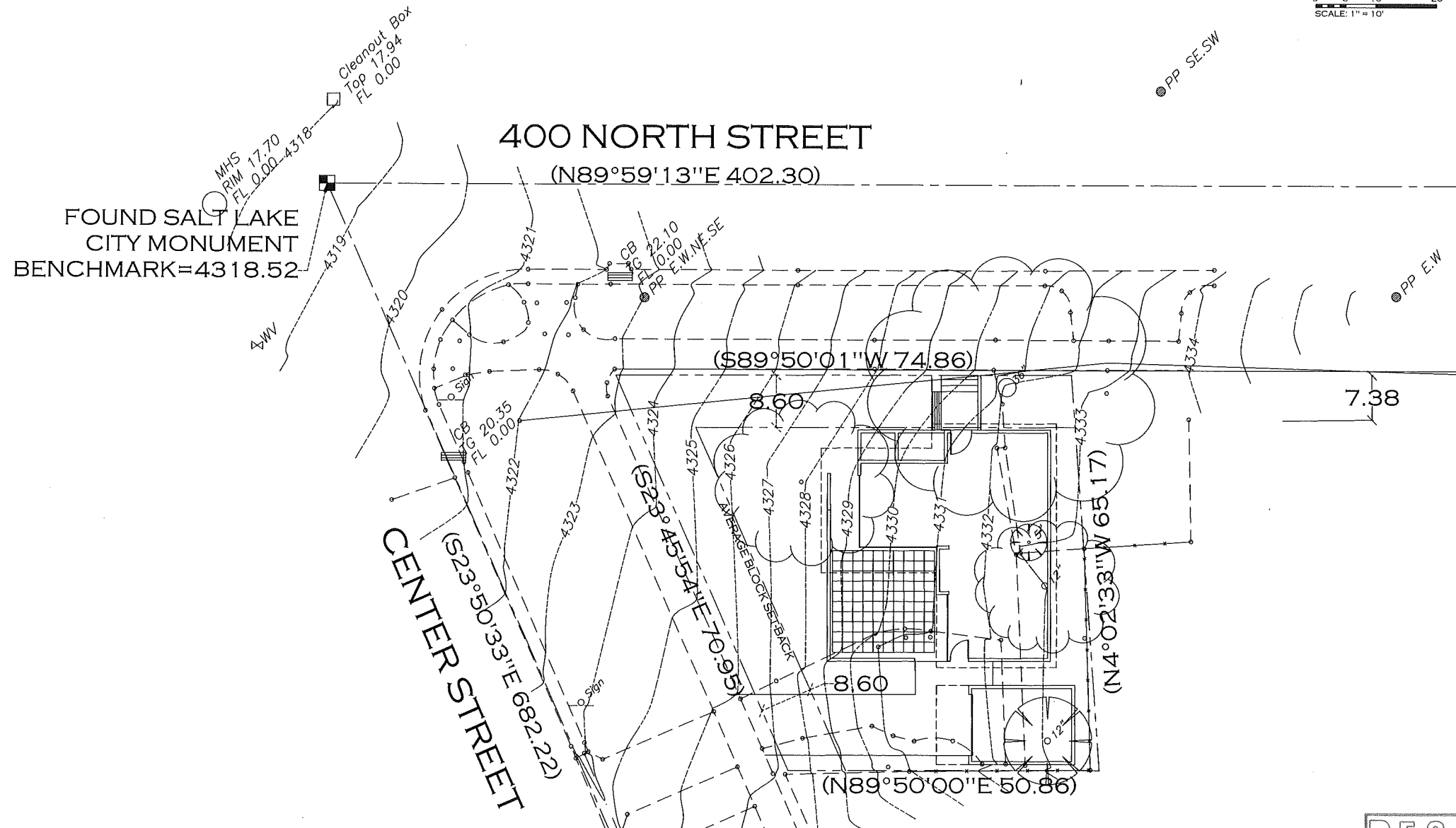
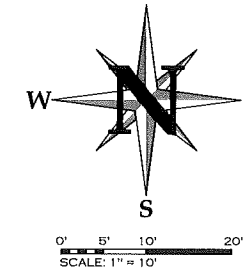
SHEET

1 OF 1

BASIS OF BEARINGS

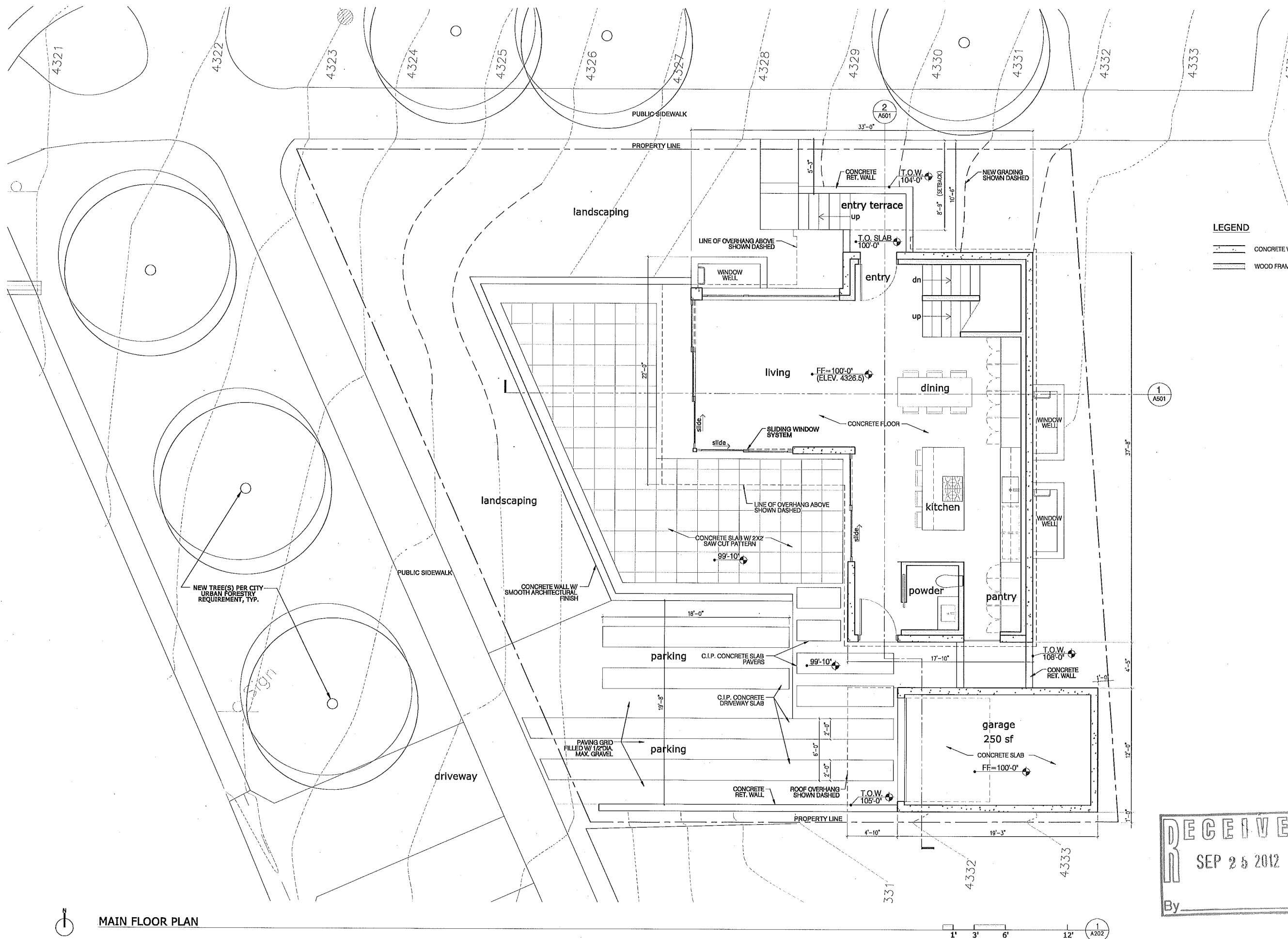
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RECEIVED
SEP 19 2012
By _____



LEGEND

SECTION MONUMENT	STREET MONUMENT	REFERENCE/WITNESS MONUMENT
PROPERTY CORNER	SPOT ELEVATION	LIGHT POLE
FIRE HYDRANT	HANDICAP PARKING	TREE
STORM DRAIN MANHOLE	TELEPHONE PEDESTAL	PARKING STALL COUNT
WATER MANHOLE	WATER METER	GAS METER
SANITARY SEWER MANHOLE	BREAK LINE	ELECTRICAL BOX
POWER MANHOLE		IRRIGATION CONTROL VALVE BOX
PROPERTY LINE	FENCE LINE (OTHER)	
SECTION LINE	VINYL FENCE	
CENTER LINE	CHAIN LINK FENCE	
EASEMENT LINE	WOOD FENCE	
CLUB & GUTTER	WIRE FENCE	
CLUB WALL		
CONTOUR LINE		



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LEGEND

- CONCRETE WALL.
- WOOD FRAMED WALL.

consultant:

project:

Center Street Residence

488 NORTH CENTER STREET
SALT LAKE CITY, UTAH 84103

date:

August 20, 2012

sheet title:

FLOOR PLAN - MAIN

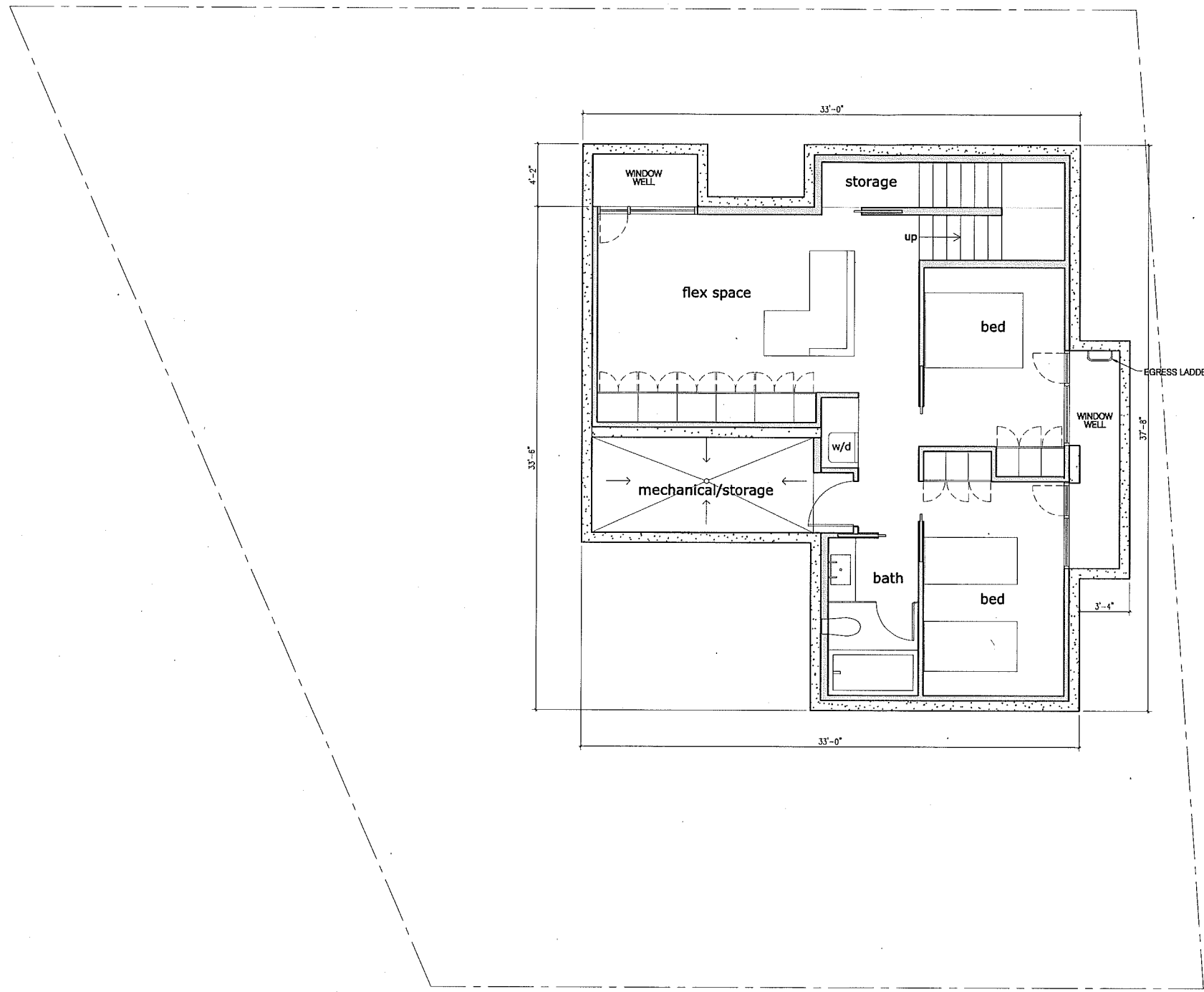
sheet no.:

A202



MAIN FLOOR PLAN





LEGEND

- CONCRETE WALL
- WOOD FRAMED WALL

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consultant:

project:

Center Street Residence

488 NORTH CENTER STREET
SALT LAKE CITY, UTAH 84103

date:

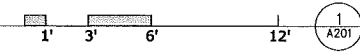
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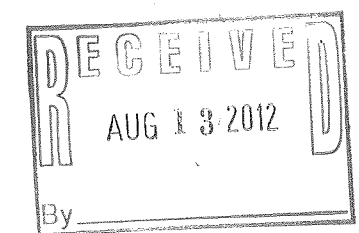
FLOOR PLAN - LOWER

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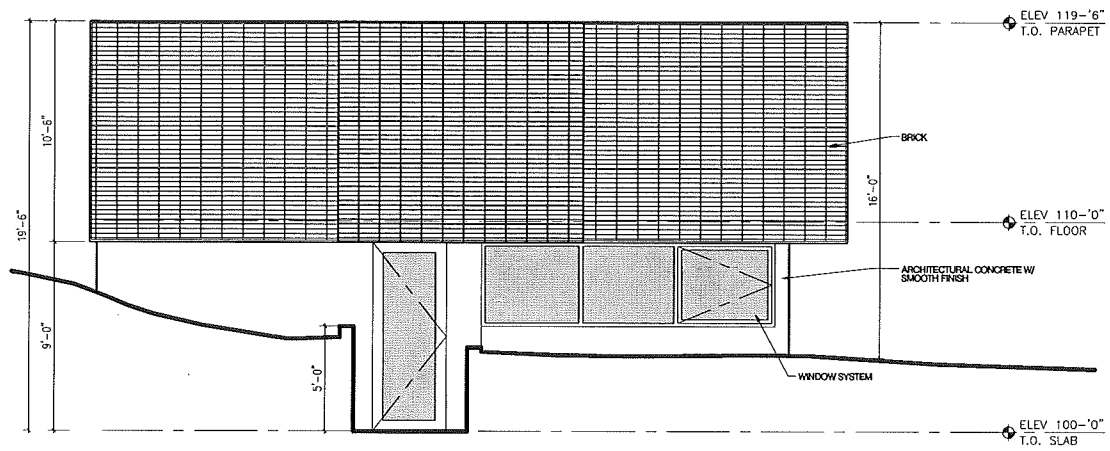
LOWER FLOOR PLAN



1/4" = 1'-0"

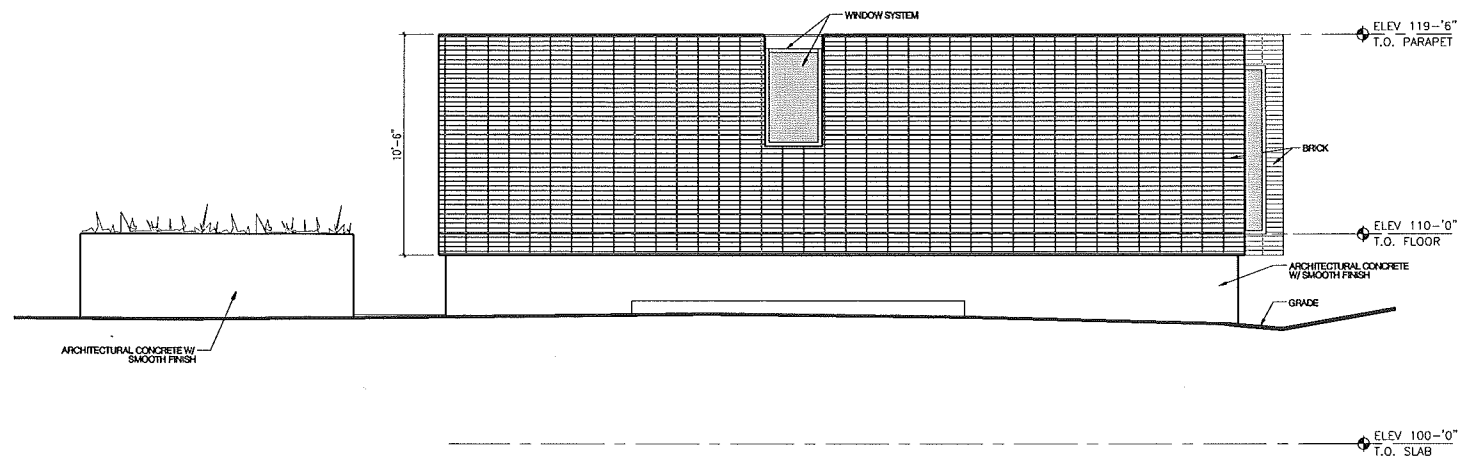


A201



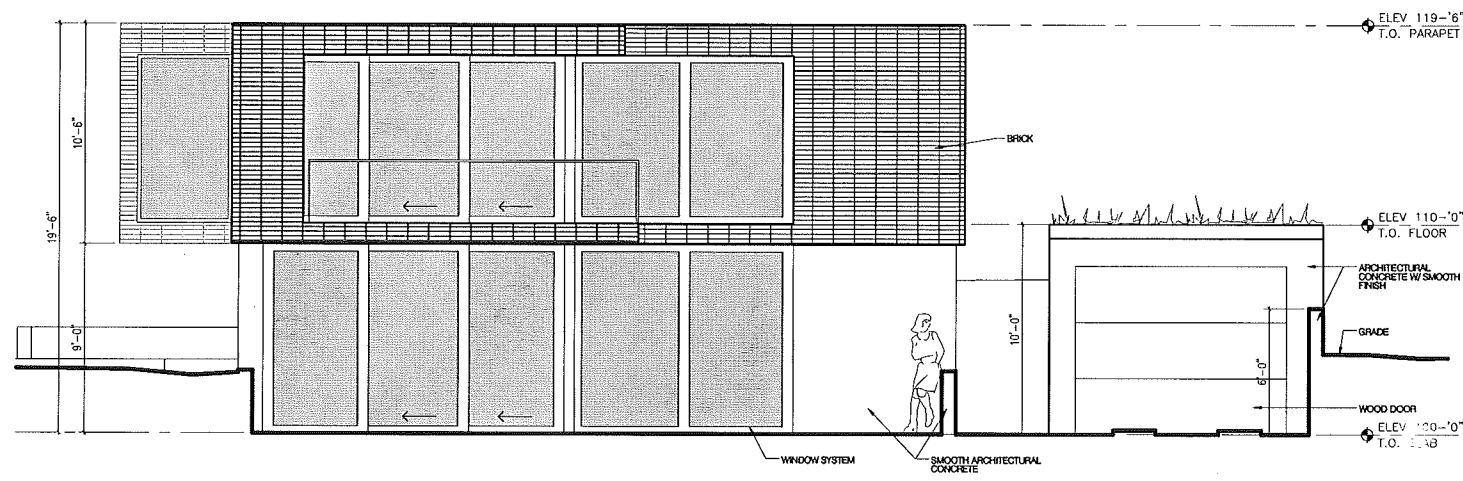
NORTH ELEVATION

2
A4.01



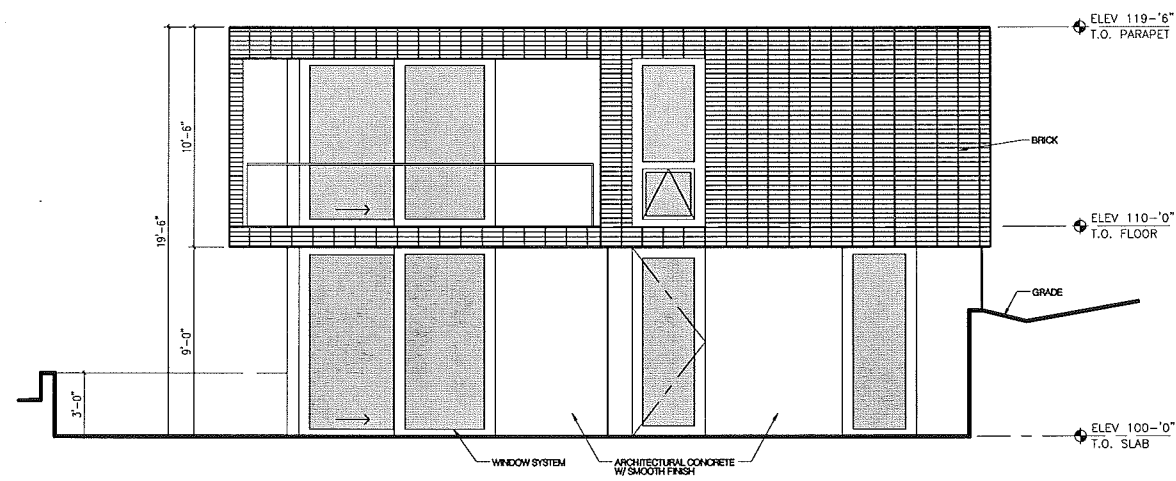
EAST ELEVATION

1
A4.01



WEST ELEVATION

4
A4.01



SOUTH ELEVATION

3
A4.01

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consultant:

project:

Center Street Residence

488 NORTH CENTER STREET
SALT LAKE CITY, UTAH 84103

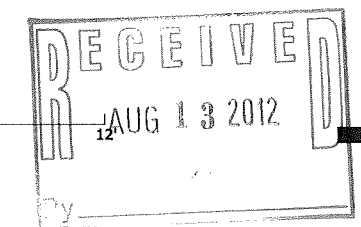
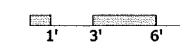
date:

August 02, 2012

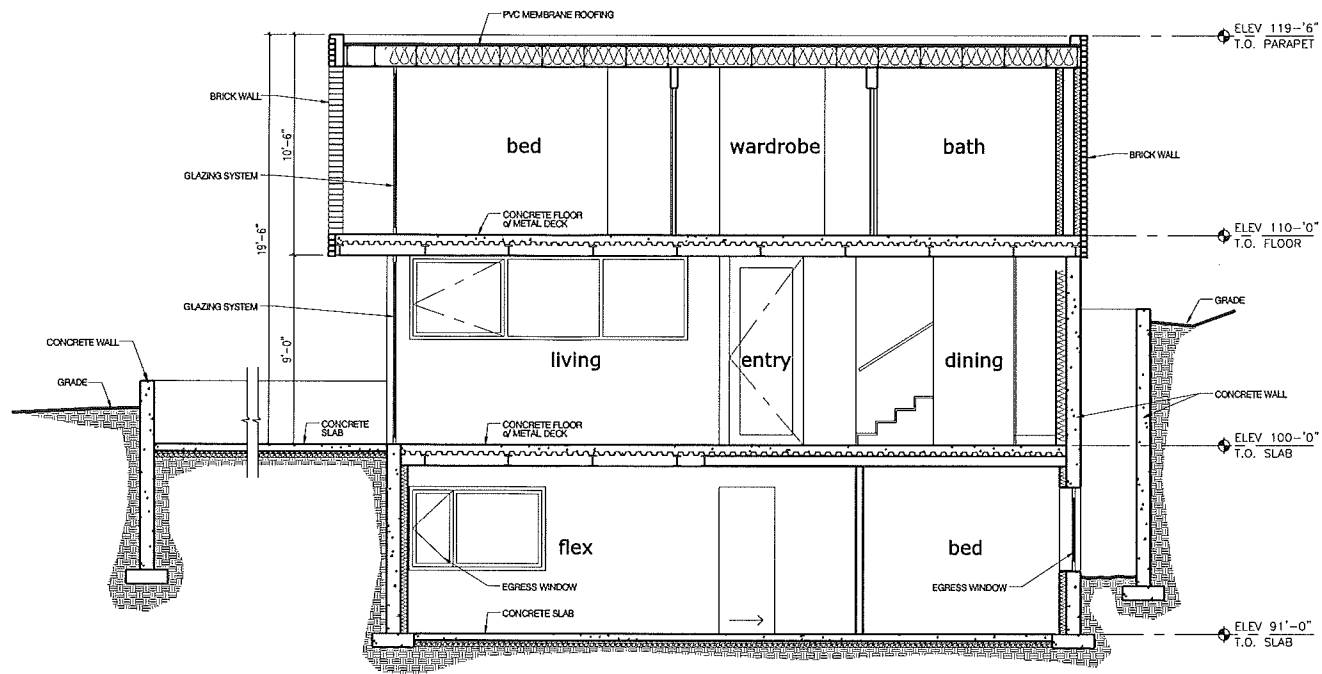
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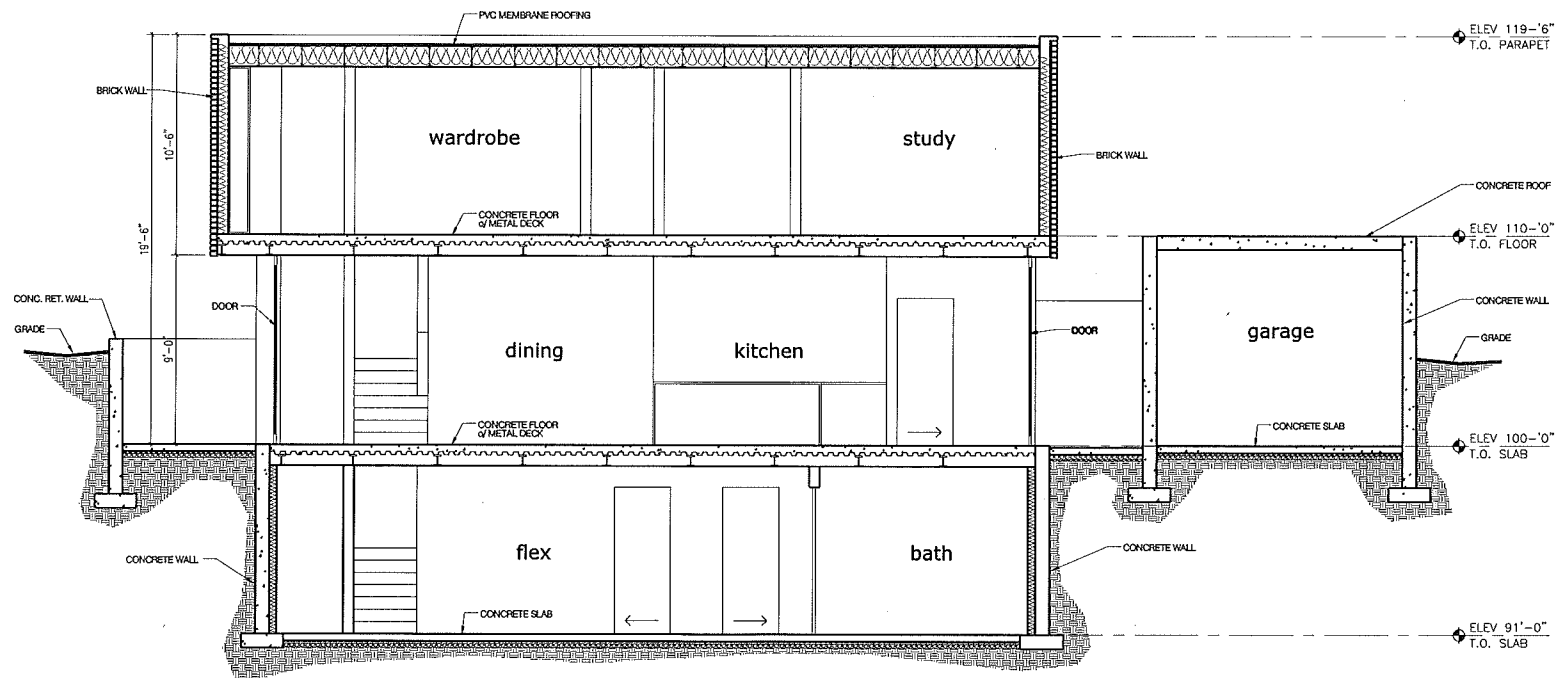
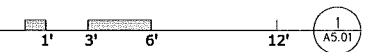
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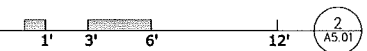
A401



BUILDING SECTION - SHORT



BUILDIGN SECTION - LONG



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consultant:

project:

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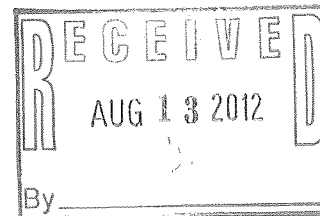
date:

August 02, 2012

sheet title:

BUILDING SECTIONS

sheet no.:



A501



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consultant:

project:

Center Street Residence

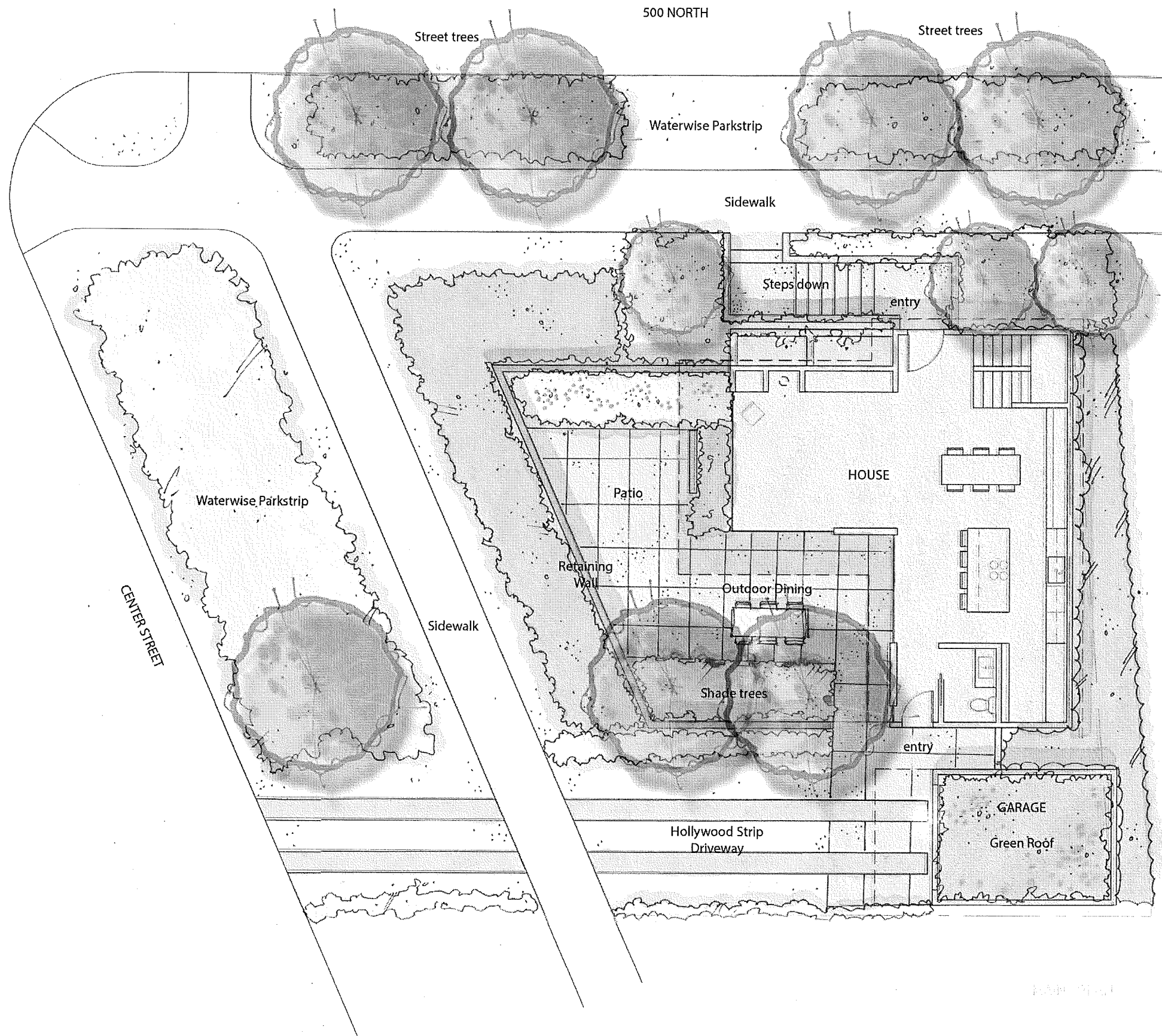
488 NORTH CENTER STREET
SALT LAKE CITY,
UTAH 84103

date:
August 02, 2012

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**SURVEY
(FOR
REFERENCE ONLY)**

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Charamonte Residence
 450 North Center Street
 Salt Lake City, UT 84103

consultant:

project:
Center Street Residence

488 NORTH CENTER STREET
 SALT LAKE CITY, UTAH 84103

date:
 August 02, 2012

No.	Revision/Issue	Date

VODA Landscape + Planning
 35 East 100 South #602
 Salt Lake City, UT 84111
 801-464-2164 www.vodaplanning.com

sheet title:
LANDSCAPE PLAN

Sheet Title
Site Plan

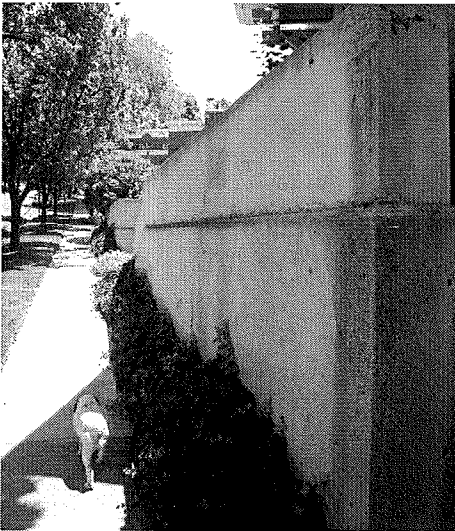
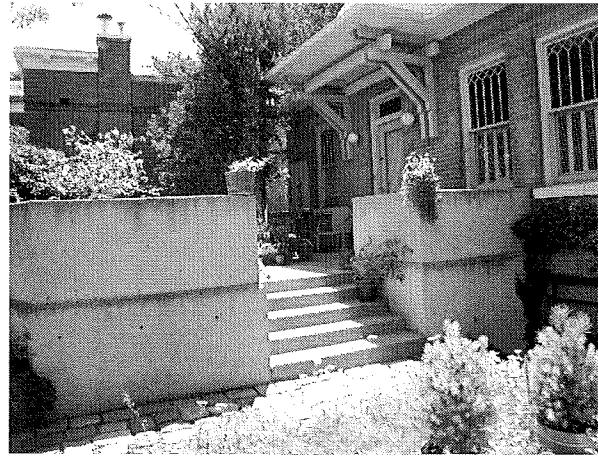
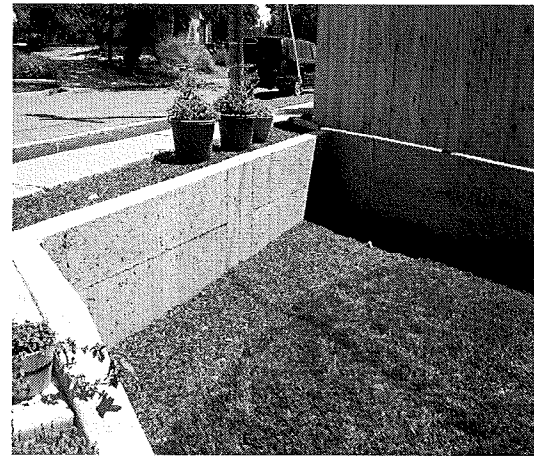
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101

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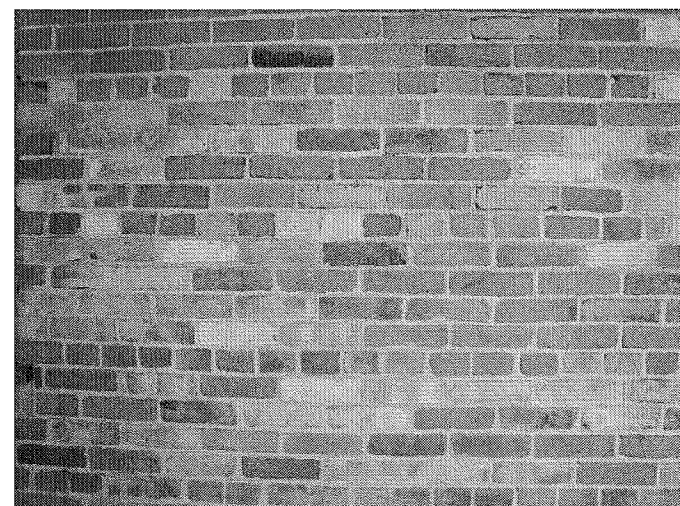
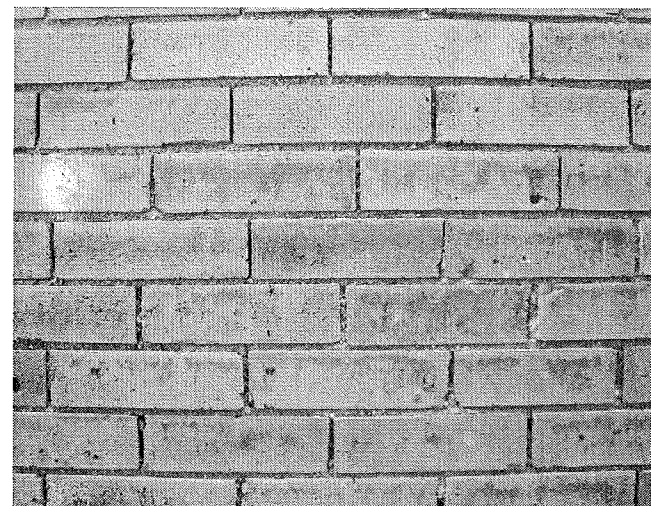
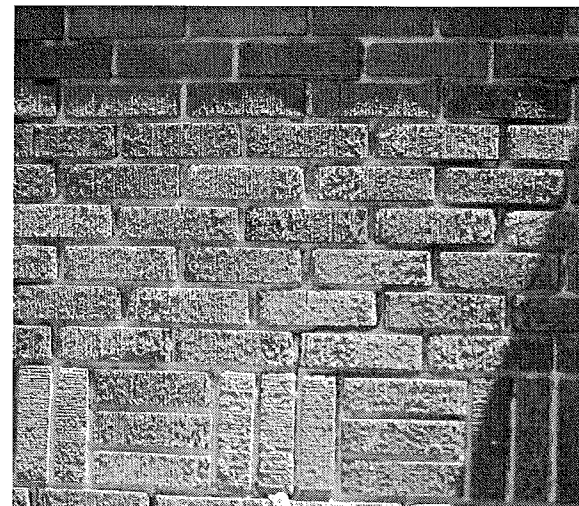
Project P12-27
 Date 19 July 2012
 Scale 1"=10'

North
 ↑

RECEIVED
 AUG 13 2012
 By _____



EXAMPLES OF RETAINING WALLS AND CONCRETE



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SALT LAKE CITY,
UTAH 84103

date:

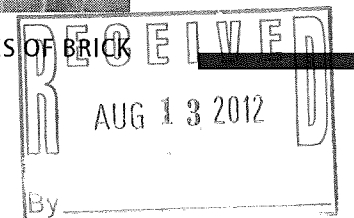
August 02, 2012

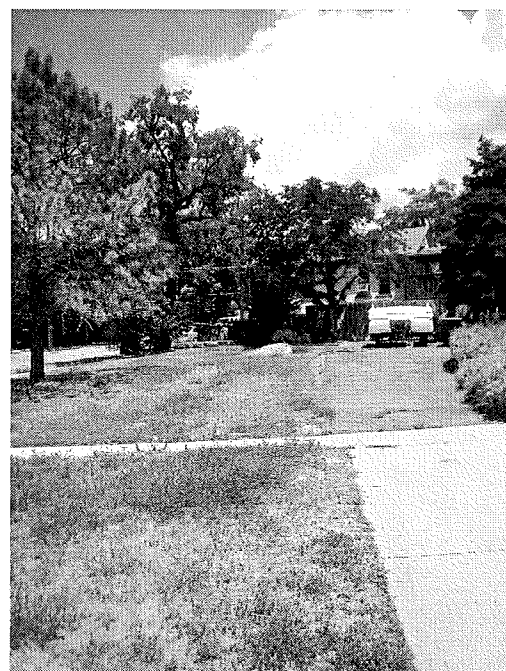
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SITE CONTEXT IMAGES

sheet no.:

EXAMPLES OF BRICK

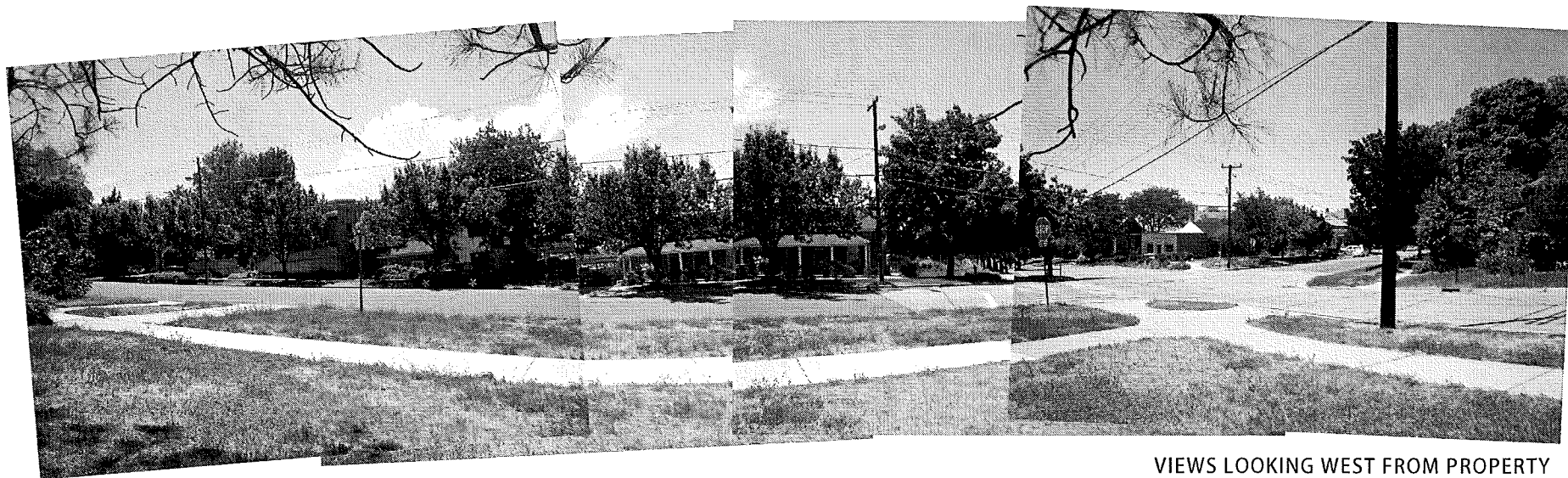




VIEWS INTO PROPERTY - LOOKING EAST



VIEWS FROM MIDDLE OF PROPERTY



VIEWS LOOKING WEST FROM PROPERTY

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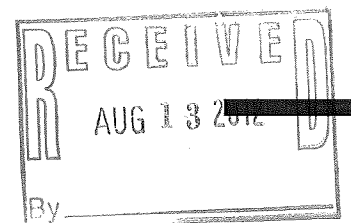
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August 02, 2012

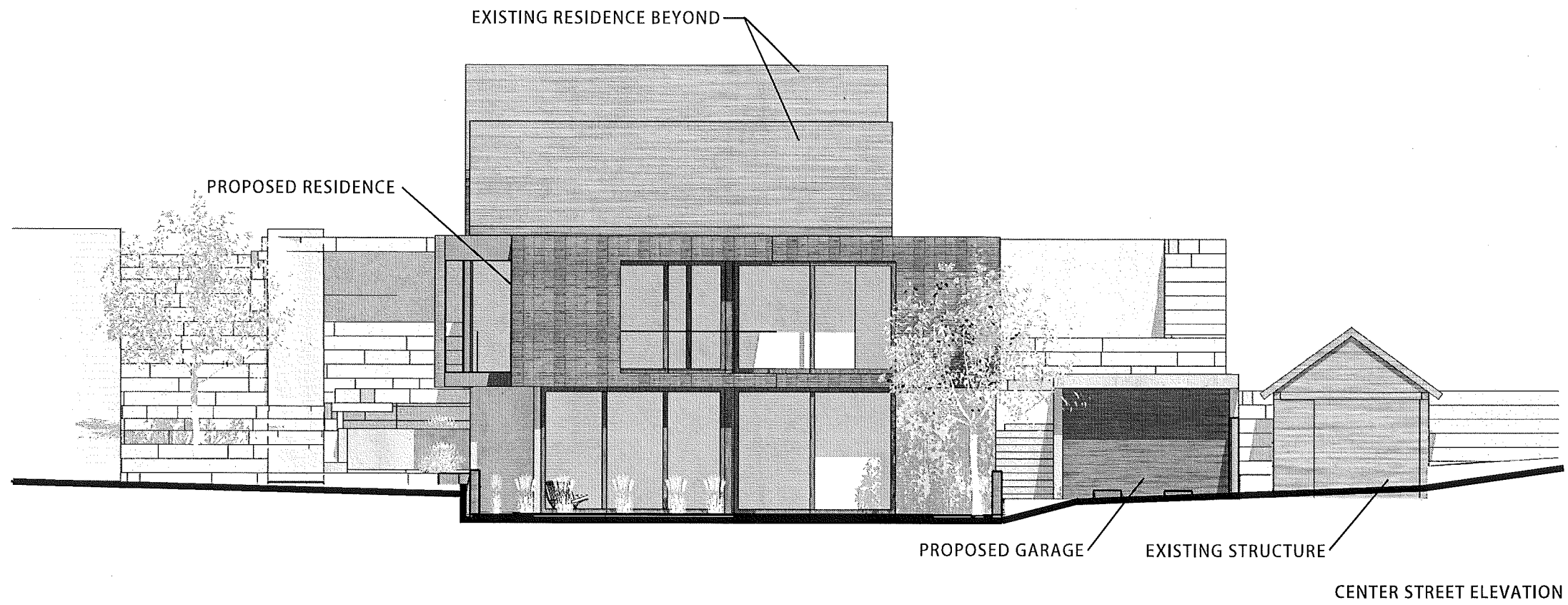
sheet title:

SITE PHOTOGRAPHS

sheet no.:



2467



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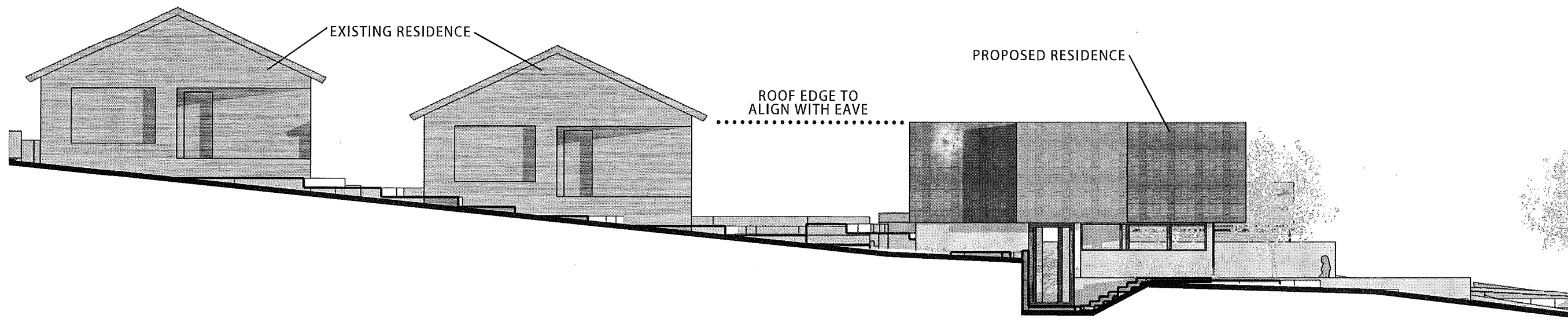
project:

Center Street Residence
 488 NORTH CENTER STREET
 SALT LAKE CITY, UTAH 84103

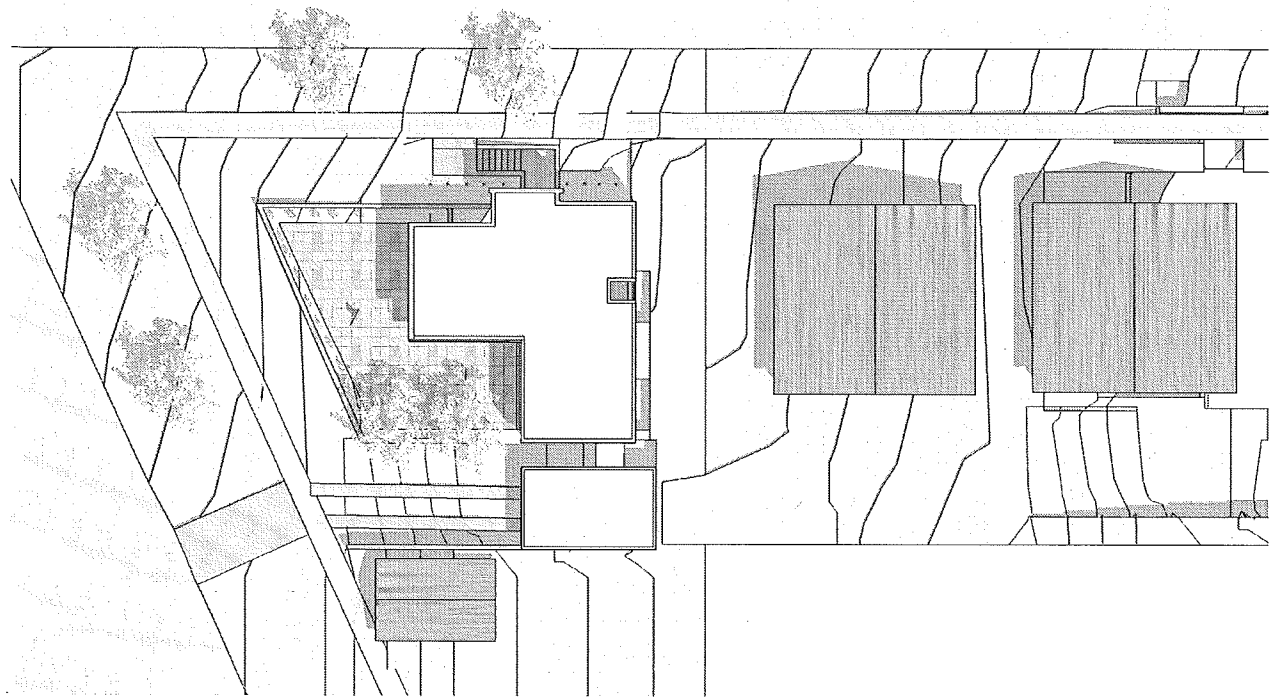
date:
 August 02, 2012

sheet title:
STREET ELEVATIONS

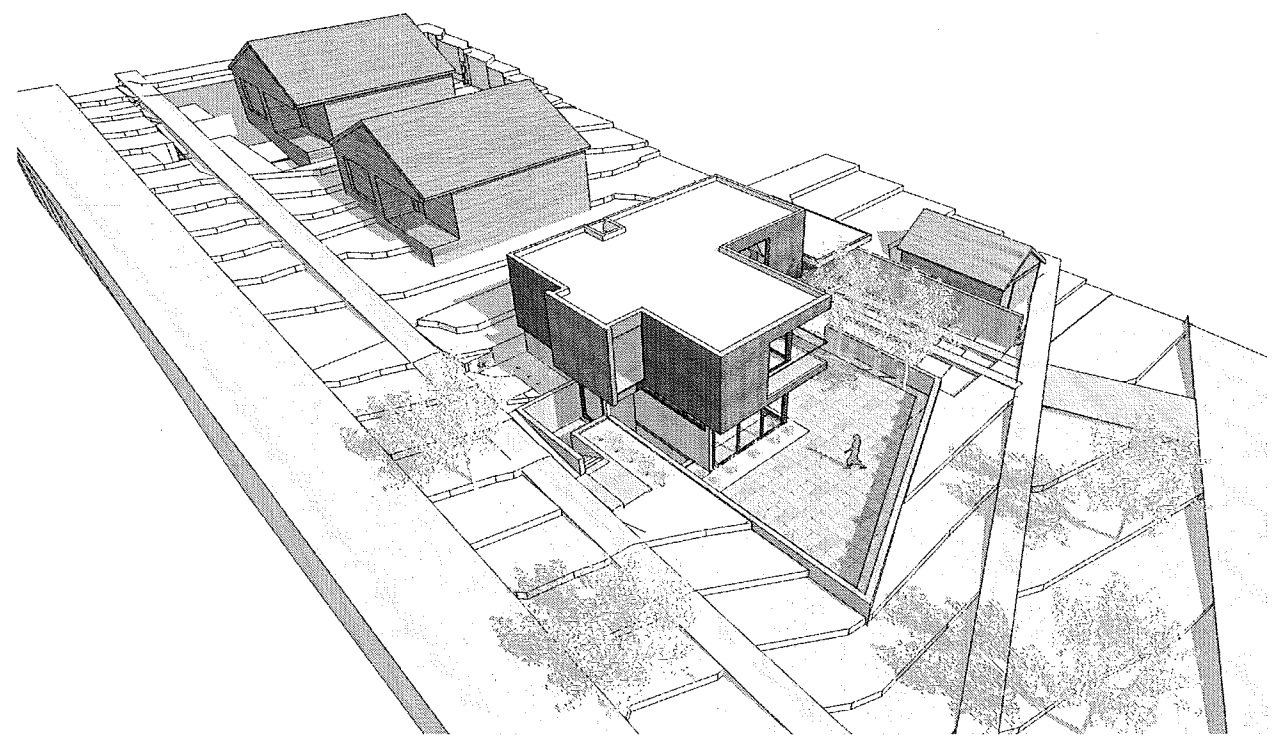
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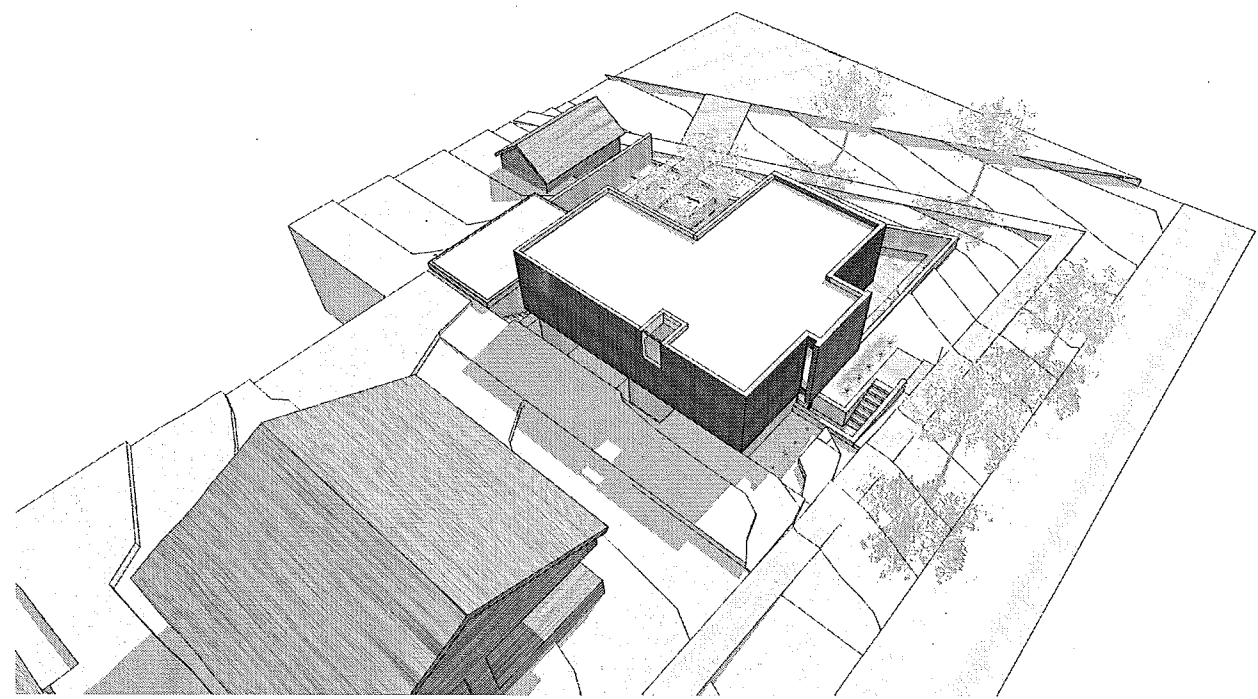
500 N ELEVATION
 AUG 13 2012



PLAN VIEW



BIRD'S EYE VIEW - NORTHWEST CORNER



BIRD'S EYE VIEW - NORTHEAST CORNER



BIRD'S EYE VIEW - SOUTHWEST CORNER

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UTAH 84103

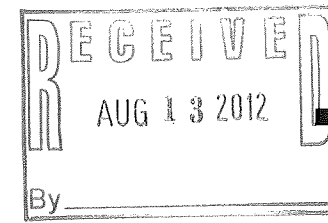
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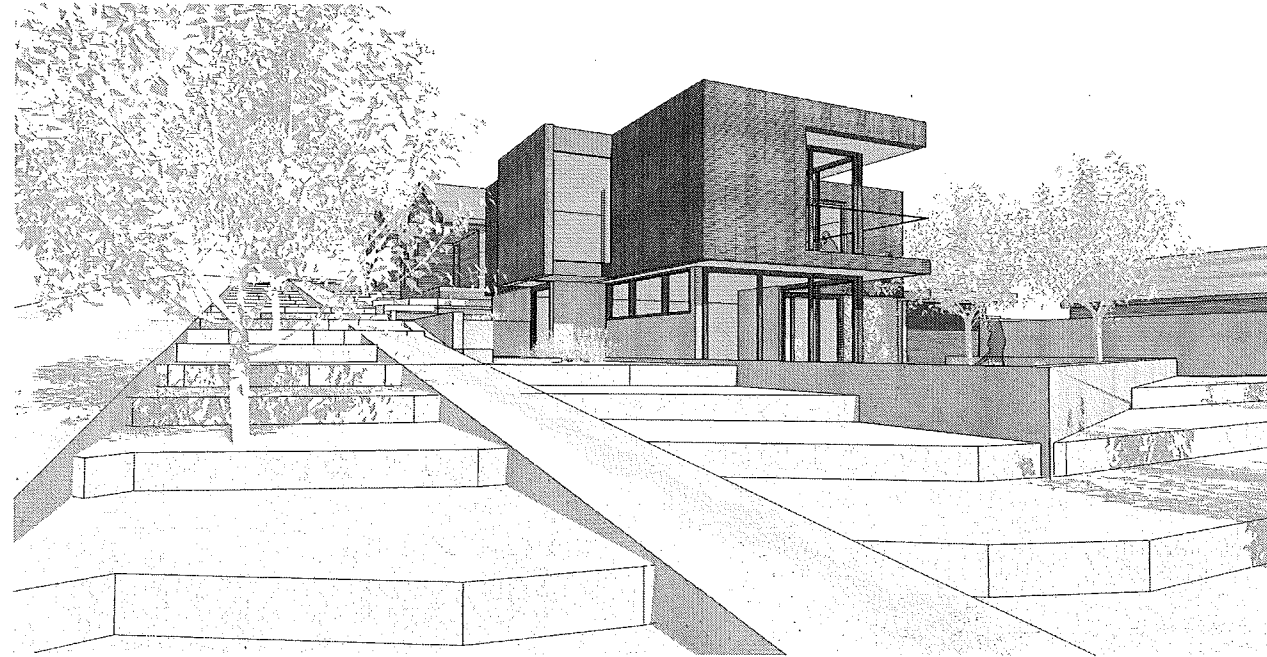
August 02, 2012

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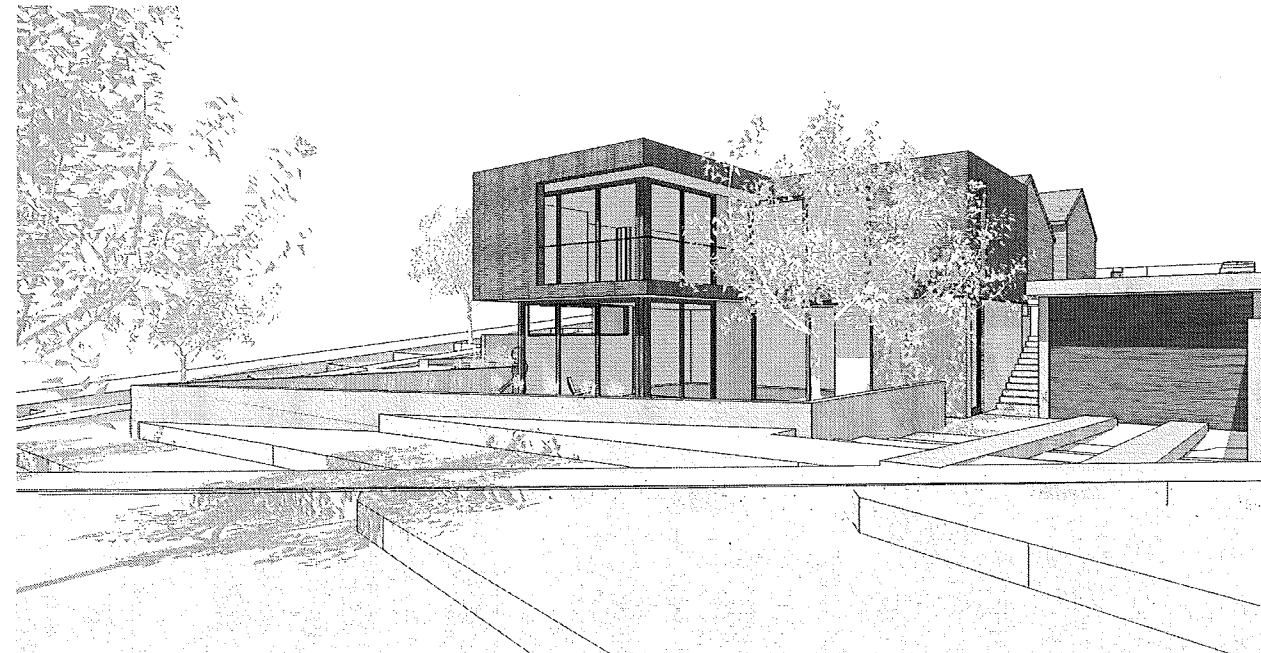
PERSPECTIVE VIEWS 1

sheet no.:





CORNER VIEW



CENTER STREET VIEW



COURTYARD VIEW

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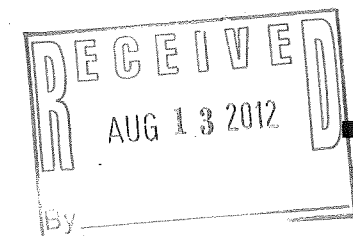
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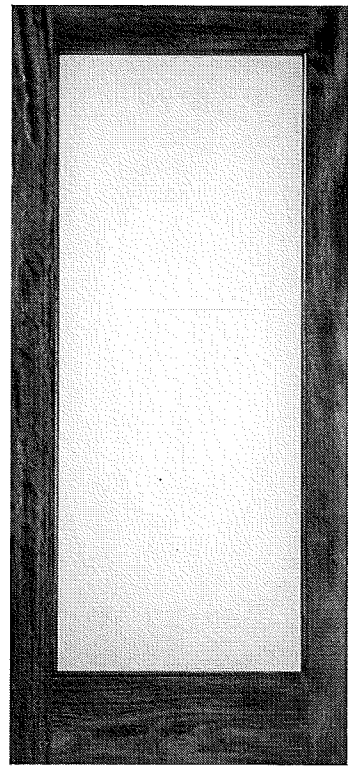
August 02, 2012

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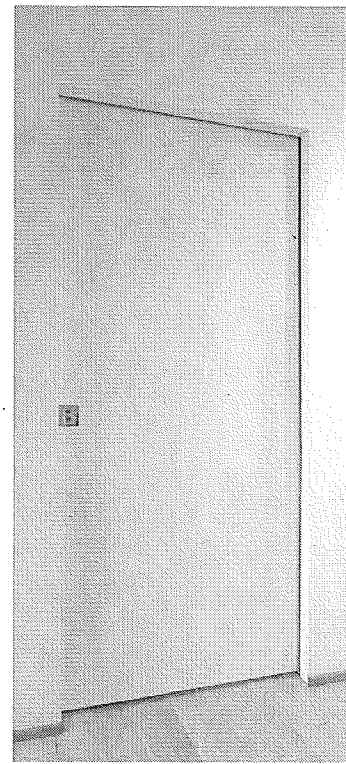
PERSPECTIVE VIEWS 2

sheet no.:

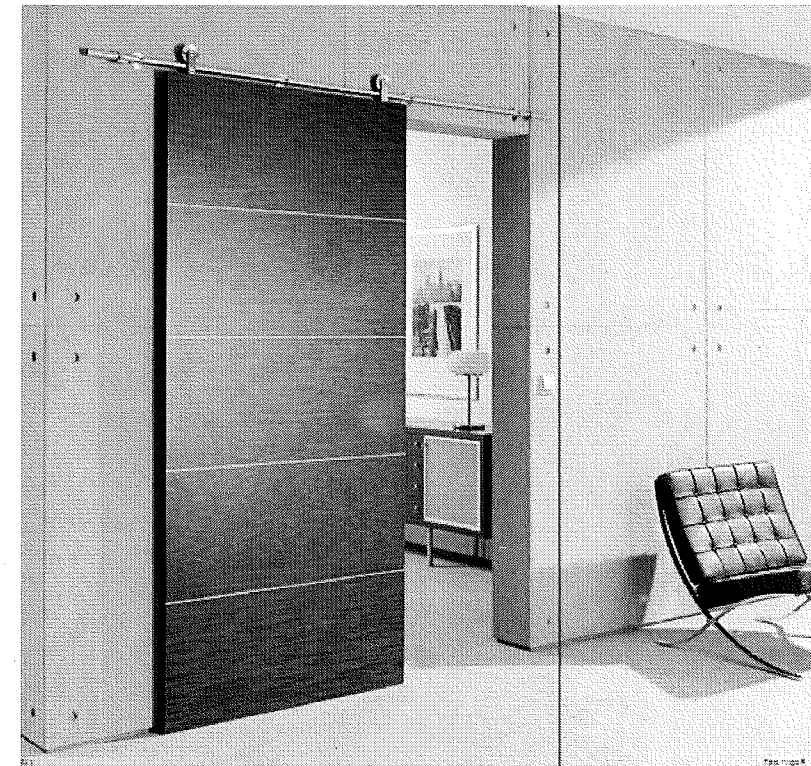




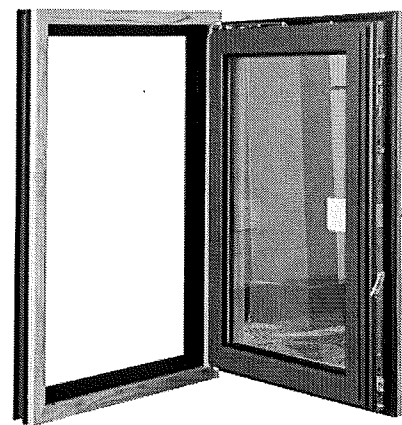
WOOD FRAME DOOR W/ GLASS PANEL - EXTERIOR



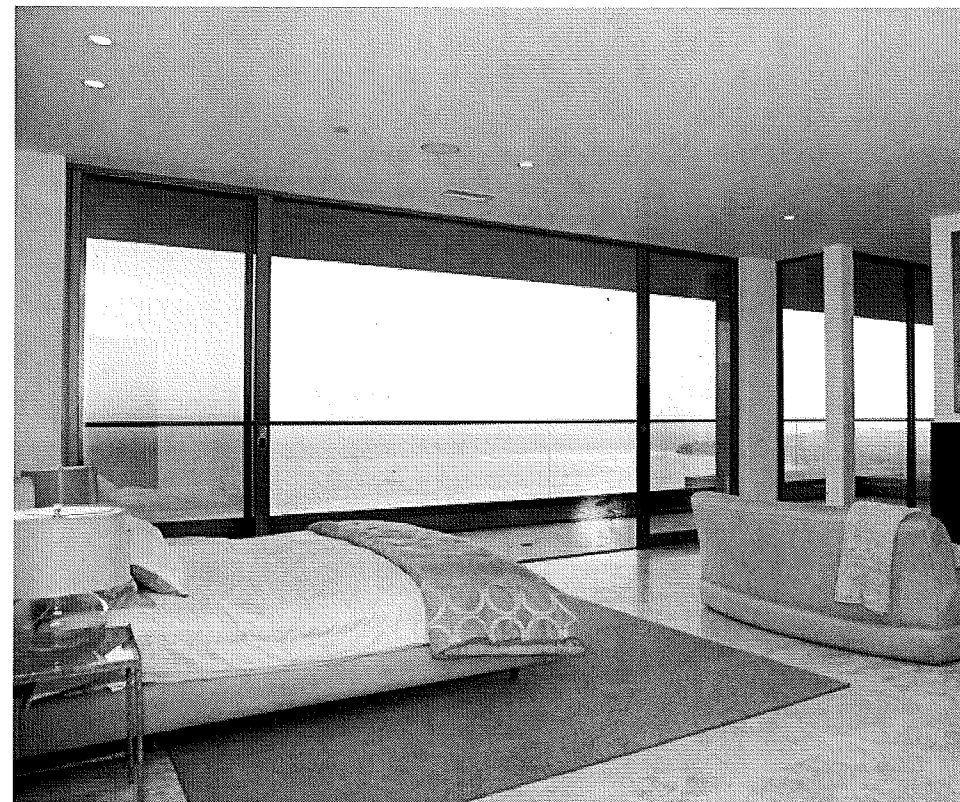
WOOD POCKET DOOR - INTERIOR



TOP TRACK SLIDING DOOR - INTERIOR



ALUMINUM CLAD WOOD WINDOW



MULTIPLE PANEL SLIDING WOOD DOOR SYSTEM - EXTERIOR



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Center Street Residence

488 NORTH CENTER STREET SALT LAKE CITY, UTAH 84103

date:

August 02, 2012

sheet title:

DOOR AND WINDOW EXAMPLES

sheet no.:

