

HISTORIC LANDMARK COMMISSION
STAFF REPORT



Planning and Zoning Division
Department of Community and
Economic Development

**TRACY AVIARY BIRD HOLDING BUILDINGS
AND AMPHITHEATER**

PLNHLC2011-00648

Liberty Park, 589 East 1300 South

June 7, 2012

Applicant:

Friends of Tracy Aviary

Staff:

Ray Milliner (801)535-7645 or
ray.milliner@slcgov.com

Zone:

OS

Master Plan Designation:

Open Space

Council District:

5, Jill Remington Love

Lot Size:

4,356,000 square feet or
approximately 100 acres

Current Use:

Public Park

Applicable Land Use

Regulations:

- 21A.32.100 OS
- 21A.34.020(G & H)
- 21A.42.070

Notification

- Notice mailed on May 24, 2012
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites May 24, 2012

Attachments:

- A. Building Site Plans & Elevations approved on December 1, 2011
- B. Proposed Site Plan
- C. Proposed Elevations for Bird Holding Buildings
- D. Proposed Elevations for Keeper Building
- E. Proposed Amphitheater Plans

Request

The applicant, Friends of Tracy Aviary is requesting Historic Landmark Commission approval of the following items:

- Certificate of appropriateness involving new construction for two holding buildings.
- Certificate of appropriateness for a keeper building.
- Certificate of appropriateness for an amphitheater.

These items were originally reviewed and approved by the Historic Landmark Commission on December 1, 2011. The applicant has amended the proposed design and is now seeking Commission approval of the new designs.

Staff Recommendation

Staff recommends that the Historic Landmark Commission review the application, conduct a public hearing, and approve both the bird holding buildings and amphitheater at Tracy Aviary pursuant to the findings, analysis and conditions of approval in this staff report.

Conditions of Approval

1. Final approval of exterior materials shall be delegated to staff for compliance with the SLC Historic District Design Guidelines review.
2. Each building must meet all other applicable Zoning Ordinance requirements, including setbacks, maximum footprint and lot coverage.
3. The applicant shall continue working with the City arborist to ensure that all trees proposed to be removed and replaced are appropriate for the site, and that as many existing trees as possible are preserved and maintained.

Vicinity Map



Background

The Aviary was founded and built in 1938 as the first zoo in Utah. Since that time, the Aviary has provided public services as a zoo, swimming pool, aquarium and most recently an aviary. The applicant, Friends of Tracy Aviary is requesting Historic Landmark approval of a Certificate of Appropriateness for two bird holding buildings. Both will be used in conjunction with an amphitheater and will house birds that participate in educational and entertaining shows.

On December 1, 2011, the Historic Landmark Commission reviewed and approved a design for an amphitheater with an attached bird holding building (see approved plans exhibit A). The applicant determined that the approved design would not meet the needed capacity and would be expensive. Therefore, the applicant is requesting that the HLC approve the following modifications:

- Division of single bird holding building into two buildings.
- Construction of a “keeper building” with metal roof and cement based “hardiplank” siding.
- Simplification of design from block building with multiple façade shifts, to utilitarian rectangular buildings with a metal roof and cement based siding or plastic coated chicken wire.

- Elimination of “shotcrete” wall as primary backdrop for the amphitheater stage wall.
- Lining amphitheater stage wall with trees to appear forest like.
- Simplification of amphitheater amenities such as the water feature and playground equipment.

At the February 2, 2011 Historic Landmark Commission meeting, the applicant petitioned that the Historic Landmark Commission review and approve a tree plan to remove 7 trees for the proposed bird show amphitheater and 25 trees for a central plaza and tropical bird exhibit (the tropical bird exhibit is not under review at this time). The reasoning behind the request was to facilitate the design process for each facility. Once it was determined which trees were to be removed and which would stay the applicant could then create site plans for the exhibits, as well as revegetation and landscape plans. The HLC reviewed and approved the plan with the following condition of approval:

1. A landscape plan clearly delineating location, size, and type of trees to be replanted will be reviewed and approved by the HLC as part of any future design approval.

This plan modification is designed to fit within the parameters of the February 2, 2011 approval.

Tracy Aviary and its contents are “features” of a Landmark Site, Liberty Park, and as a result, design and review authority of all new construction, as well as modifications to existing structures is under the purview of the Historic Landmark Commission.

Public Comments

To date, staff has received no public comments regarding this application.

Analysis and Findings

Findings for Amphitheater and Bird Holding Building —New Construction

Section 21A.34.020.H Standards For Certificate Of Appropriateness Involving New Construction Or Alteration Of A Noncontributing Structure: In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the historic landmark commission, or planning director when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually compatible with surrounding structures and streetscape as illustrated in any design standards adopted by the Historic Landmark Commission and City Council and is in the best interest of the city:

1. **Scale and Form:**
 - a. **Height and Width:** The proposed height and width shall be visually compatible with surrounding structures and streetscape;
 - b. **Proportion of Principal Facades:** The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape;
 - c. **Roof Shape:** The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and
 - d. **Scale of a Structure:** The size and mass of the structures shall be visually compatible with the size and mass of surrounding structure and streetscape.

Analysis: The scale and form and function of the proposed holding buildings and keeper building are similar to other display buildings throughout the aviary. Each building has a rectangular footprint and is designed in a linear fashion to maximize the display area for the public. The design is purposely indiscreet and partially transparent so that the birds being held inside can be viewed by the public. The size and scale of the building are mitigated by the low pitch of the roofs, and their lower height (approximately 13 feet above final grade). These design elements will combine to make the structures appear smaller than they actually are. By creating three buildings, the visual mass and scale of the area will be broken into smaller components, and thereby reduces the overall visual mass of the building.

Due to the unique use of the amphitheater, the form, scale and mass of the structure (including the stage wall) is wholly unique. The width and shape of the stage and associated amenities is designed to accommodate the needs of the show, and provide patrons with sight angles to best view the program.

Finding: Staff finds that the 3 proposed buildings are similar to those found throughout the aviary, they are utilitarian buildings designed to cater to the birds, their care takers, and aviary visitors. The unique design of the amphitheater is appropriate due to the needs of the use (bird show support and viewer sight lines). The 13 foot height and the relatively narrow width and length of the building makes it compatible in height, width, proportion, scales, massing and roof shape with other buildings in the Aviary.

2. **Composition of Principal Facades:**

- a. **Proportion of Openings:** The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;
- b. **Rhythm of Solids to Voids in Facades:** The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;
- c. **Rhythm of Entrance Porch and Other Projections:** The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and
- d. **Relationship of Materials:** The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

Analysis: The architectural design of the buildings and amphitheater is not one generally associated with historic districts. Nonetheless, it is appropriate for its location and proposed use. The amphitheater is designed to educate and entertain aviary guests and the holding and keeper buildings to house birds for the show and display them to the public. This use is unique to the historic district and as such the design is warranted. The rhythm of solids to voids along the various facades is broken into smaller components by creating three buildings rather than one. The use of the relatively utilitarian architectural detailing, metal roofing, cement based siding and plastic coated chicken wire, is designed to make the building blend into the surrounding landscape and not distract from the bird related theme of the aviary.

Finding: Staff finds that the composition of the principal facades is compatible with the surrounding architecture in the Tracy Aviary. The design of the structures is suited for the unique use for which they will be employed, and they establishes a defined entertainment area for the aviary.

3. **Relationship to Street:**

- a. **Walls Of Continuity:** Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;

- b. **Rhythm Of Spacing And Structures On Streets:** The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;
- c. **Directional Expression of Principal Elevation:** A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and
- d. **Streetscape Pedestrian Improvements:** Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.

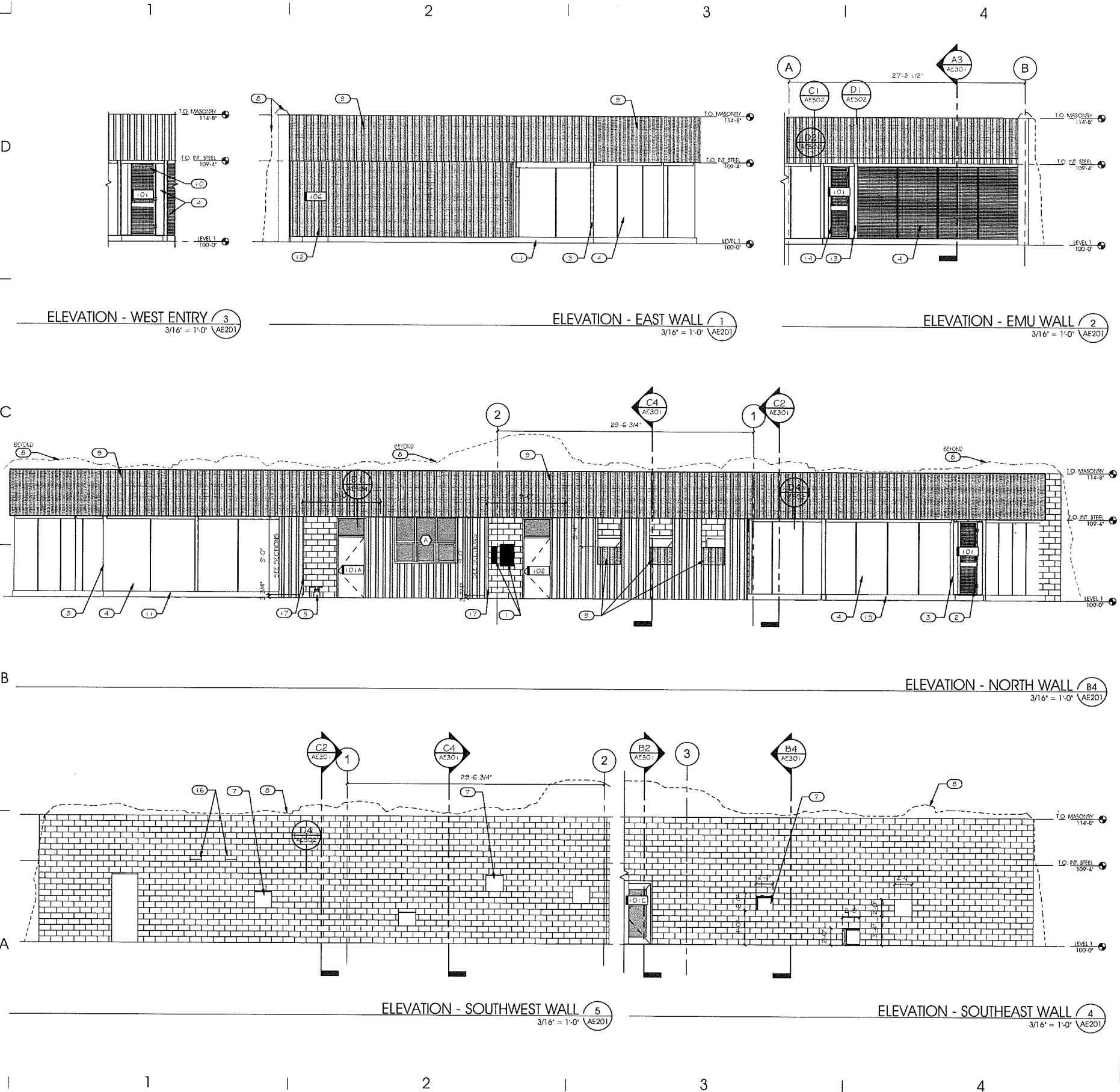
Finding: The buildings relate to pedestrian paths within in the Aviary and not to a street. This standard is not applicable.

4. **Subdivision Of Lots:** The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

Finding: This standard is not relevant since a subdivision of lots is not part of the proposed project.

Attachment A
December 1, 2011 HLC Approved Plans

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 ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF PJC ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED THEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PJC ARCHITECTS. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY, OR FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS DRAWING. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON.



GENERAL NOTES AND LEGEND:

- SEE SHEET AE301 FOR GENERAL NOTES.
- SEE TITLE SHEET FOR DRAWING INDEX.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR/SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

KEYED NOTES:

- 1 ELECTRICAL EQUIPMENT. SEE ELECTRICAL DWGS.
- 2 MESH.
- 3 STRUCTURAL COLUMN, TYP. SEE STRUCTURAL DRAWINGS.
- 4 BIRD ENCLOSURE MEETING, BY OTHERS.
- 5 MECHANICAL EQUIPMENT. SEE MECHANICAL DRAWINGS.
- 6 SEE MECHANICAL DRAWINGS.
- 7 SWITCH, TYP. SEE EXHIBIT DRAWINGS.
- 8 SHOTCRETE WALL BY OTHERS, SHOWN DASHED, IN SEPARATE DESIGN CONTRACT.
- 9 PERFORATED, CORRUGATED METAL PANEL.
- 10 DOOR. SEE DOOR SCHEDULE.
- 11 CONCRETE CURB, SEE DETAILS.
- 12 GATE. SEE DOOR SCHEDULE.
- 13 STEEL COLUMN, PAINT. SEE STRUCTURAL DRAWINGS.
- 14 NON-MASTERFORMAT KEYNOTES
- 15 THRU WALL DRAIN, SEE DETAIL INDICATED.
- 16
- 17 STEEL PLATE MECHANICAL SCREEN. MOUNTED TO CMU. SEE DETAILS.

ARCHITECT 1115

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OWNER INFORMATION

Tracy Aviary

589 East 1300 South
Salt Lake City, UT 84105
ph: 801.596.8500
info@tracyaviary.com

PROJECT DESCRIPTION

**TRACY AVIARY
BIRD PROGRAM
HOLDING
BUILDING**

589 EAST 1300 SOUTH
SALT LAKE CITY, UT 84105

SHEET NAME:

**BUILDING
ELEVATIONS**

REVISIONS

MARK	DATE	DESCRIPTION

ISSUE DATA

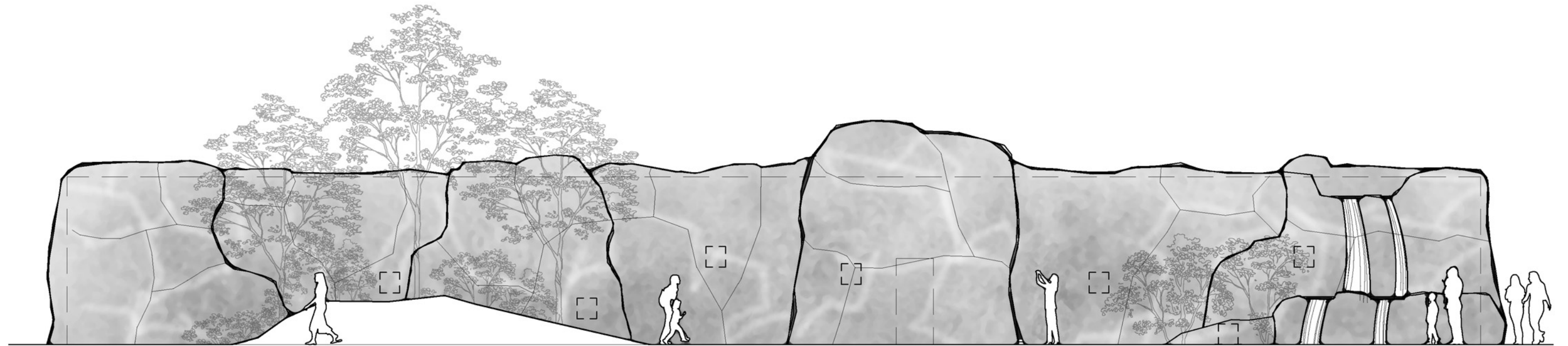
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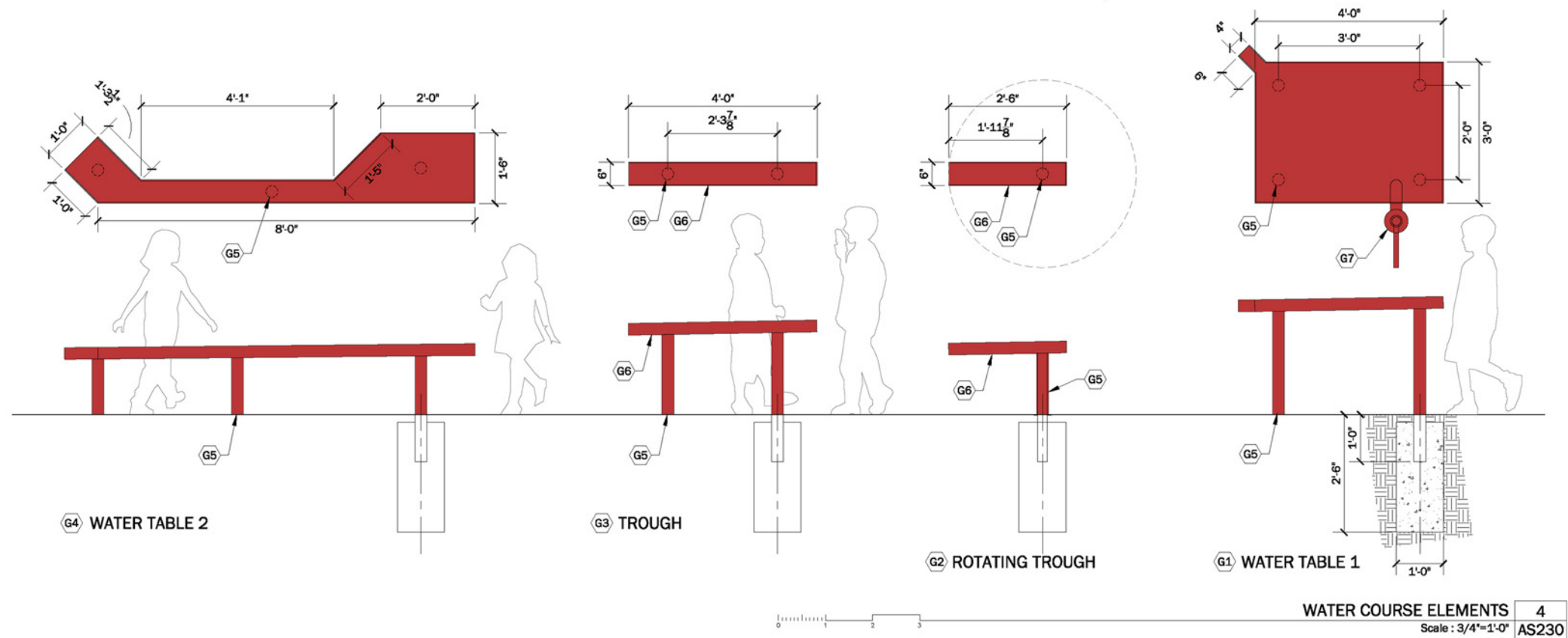
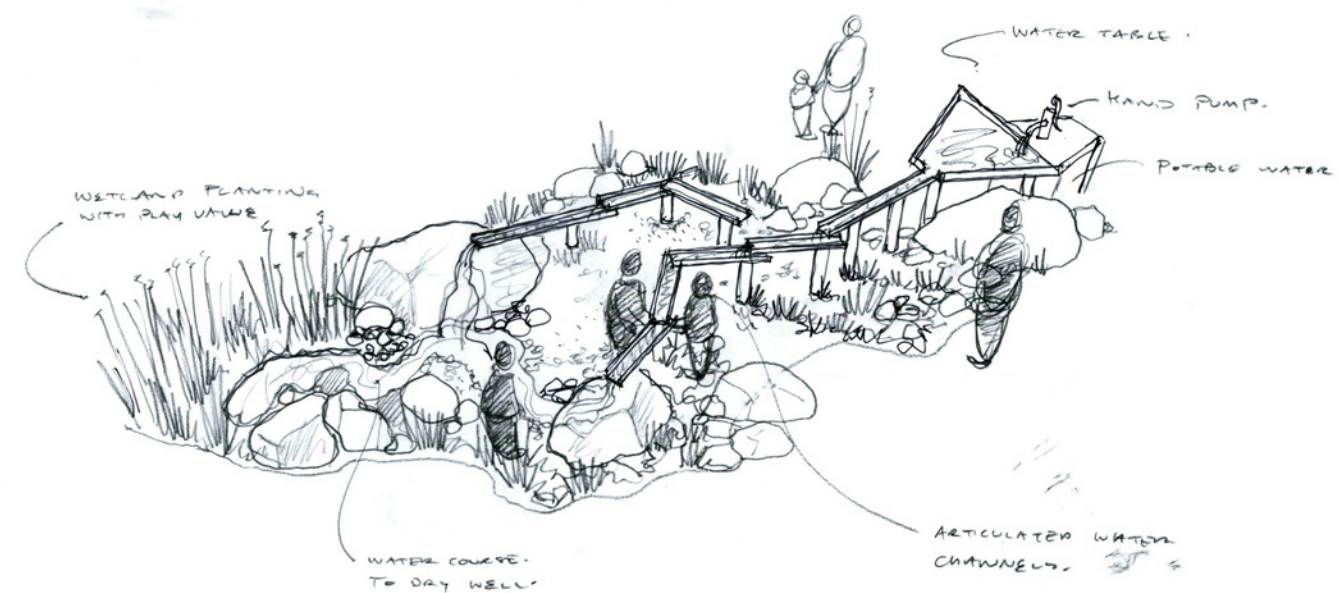
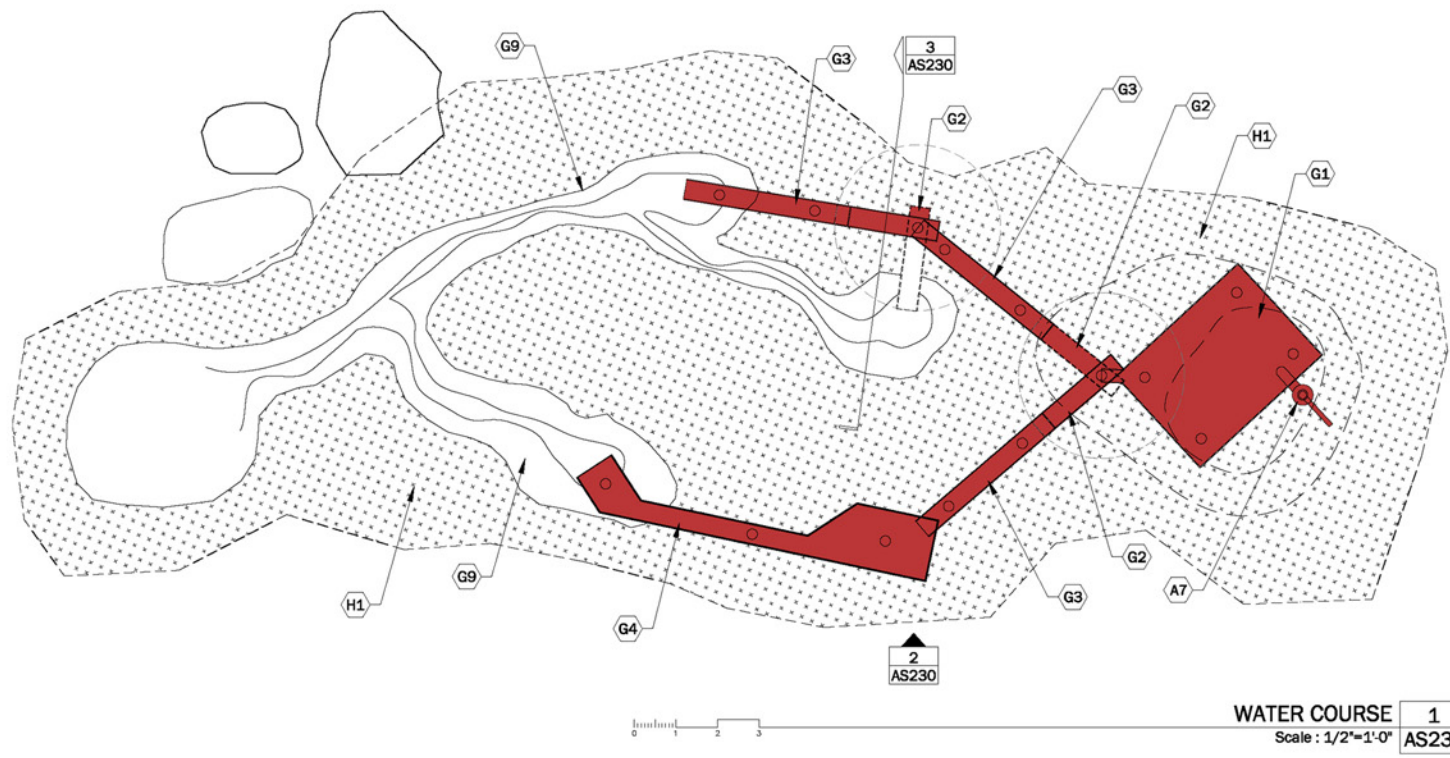
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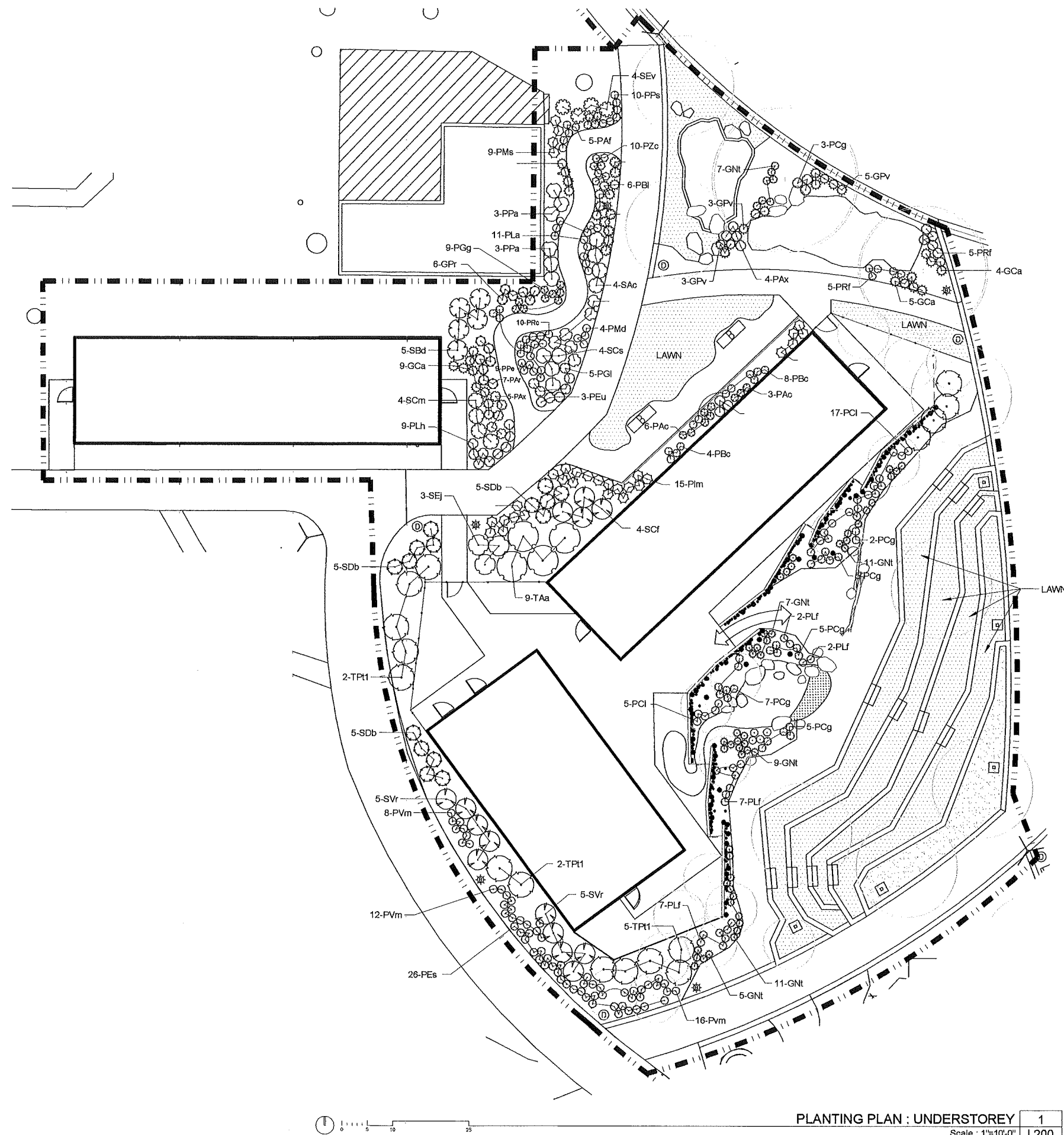


- Legend.
- a. Wetland / Polishing Pond
 - b. Stream / Stormwater Management Feature
 - c & d. Discovery Play Spaces
 - e. Central Plaza
 - f. Bird Show
 - g. Bird Show Program Holding Building
 - h. Bird Show Amphitheatre
 - i. Lori Building





Attachment B
Proposed Site Plan



REFERENCE PLANTING SCHEDULE

TREES			
KEY	BOTANIC NAME	COMMON NAME	SIZE
T 4a	AMELANCHIER ALATIFOLIA 'SASKATOON'	SERVICE BERRY	10 GAL CONT.
T 4b	FRAXINUS AMERICANA 'VIE LAIN FURPLE'	AMERICAN ASH	2 1/2' CAL.
T 4c	PLATANUS X ACERIFOLIA 'BLOSSOMOOD'	LONDON PLANE TREE	2 1/2' CAL.
T 4d	POPULUS TREMULOIDES	QUAKING ASPEN	10-12 HT.
T 4e	POPULUS TREMULOIDES	QUAKING ASPEN (2 1/2' CAL.)	2 1/2' CAL.
T 5a	SORBUS ALBAFOLIA 'AMERICAN'	MOUNTAIN ASH	2 1/2' CAL.
T 5b	ZELKOVA SEROTINA 'GREEN VASE'	GREEN VASE ZELKOVIA	2 1/2' CAL.
SHRUBS			
KEY	BOTANIC NAME	COMMON NAME	SIZE
S A3	ARTEMESIA CANINA	SAGE	6 GAL CONT.
S B3	BUDLEIA DAVIDA 'WHITE PROFUSION'	WHITE PROFUSION BUTTERFLY BUSH	6 GAL CONT.
S C3	CHAMAEDORHA VILLOSA	FLAX BUSH	6 GAL CONT.
S C4	CALYCANTHUS FLORIDUS	CARDINALIS ALLSPICE	6 GAL CONT.
S C5	CYRUS SODORIANA	SCOTCH BROOM	6 GAL CONT.
S D3	DAPHNE BURKWOODII 'SOMERSET'	DAPHNE 'SOMERSET'	6 GAL CONT.
S E3	ELIYANDES JAPONICA GRANDIFLORA	EVERGREEN ELIYANDES	10 GAL CONT.
S E4	EPHEDRA VIRGATA	MORMON TEA	6 GAL CONT.
PERENNIALS			
KEY	BOTANIC NAME	COMMON NAME	SIZE
P A3	AGILEIA CHRYSANTHA 'YELLOW STAR'	COLUMBINE	1 GAL CONT.
P A4	ASTER FRIBARTII 'FLORAS DELIGHT'	ASTER	1 GAL CONT.
P Ax	ADHILEA X 'MOONSHINE'	YARROW	1 GAL CONT.
P B3	BESCHERIA CORDIFOLIA 'ROSE'	SOPHORA	1 GAL CONT.
P B4	BESCHERIA LYATA	CHOCOLATE FLOWER	1 GAL CONT.
P C1	CRUCIOSMA LUTIFLORA	MONARCHETTA	1 GAL CONT.
P E4	ERIGERON SPECIOSUS	FLORABANE / SHOWY DANDY	1 GAL CONT.
P E5	ERIGONIA UMBELLATA	SULFUR FLOWER	1 GAL CONT.
P G6	GALLARIA GRANDIFLORA 'BURGLINDY'	BLANKET FLOWER	1 GAL CONT.
P G1	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES'	'WHIRLING BUTTERFLIES' WANDFLOWER	1 GAL CONT.
P H	HIBIS SUSBURGENSIS	ROCKY MOUNTAIN HIBIS	1 GAL CONT.
P La	LUPINUS ARGENTUS	LUPINE	1 GAL CONT.
P Lh	LAVANDULA AUGUSTIFOLIA 'HIDCOPE'	ENGLISH LAVENDER	1 GAL CONT.
P M3	MERANDIA DIDYMA 'GARDENVIEW SCARLET'	BEE BALM	1 GAL CONT.
P Pa	PEROVSKIA ATRIPICIFOLIA 'RUSGRAN'	RUSSIAN SAGE	6 GAL CONT.
P P3	PENSTEMON ELEGANS	FIRECRACKER PENSTEMON	1 GAL CONT.
P P4	PENSTEMON STRICTUS 'ROCKY MOUNTAIN'	ROCKY MOUNTAIN PENSTEMON	2 GAL CONT.
P R3	RAJIBIDA COLUNAIFERA	MEXICAN HAT	1 GAL CONT.
P R4	RUDIGERIA FULGIDA 'GOLDSTURM'	BLACK EYED SUSANS	1 GAL CONT.
P Ym	YOLUERA MULTIFLORA	SHOWY GOLDENEYE	1 GAL CONT.
P Z3	ZAUSCHNERIA CALIFORNICA 'CALALINY'	ORANGE CARPET	1 GAL CONT.
GRASSES			
KEY	BOTANIC NAME	COMMON NAME	SIZE
G C3	CALAMAGROSTIS X ACUTIFOLIA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL CONT.
G M3	MISCANTHUS SINENSIS 'ADAGIIF'	MAIDEN GRASS	1 GAL CONT.
G N3	NESSIA TENUENSIS	MEXICAN FEATHER GRASS	1 GAL CONT.
G P3	PERNISCYRUM RUPICOLA	FOURWAY GRASS	1 GAL CONT.
G Pv	PANICUM VIRGATUM 'PRAIRIE SKY'	SWITCH GRASS	1 GAL CONT.

STAMP
 CONSULTANT

OWNER
TRACY AVIARY
 589 EAST 1300 SOUTH
 SALT LAKE CITY
 UTAH, 84105

PROJECT TITLE
BIRD SHOW

SHEET TITLE
**PLANTING PLAN
 UNDERSTOREY**

REVISIONS
 MARK | DATE | DESCRIPTION

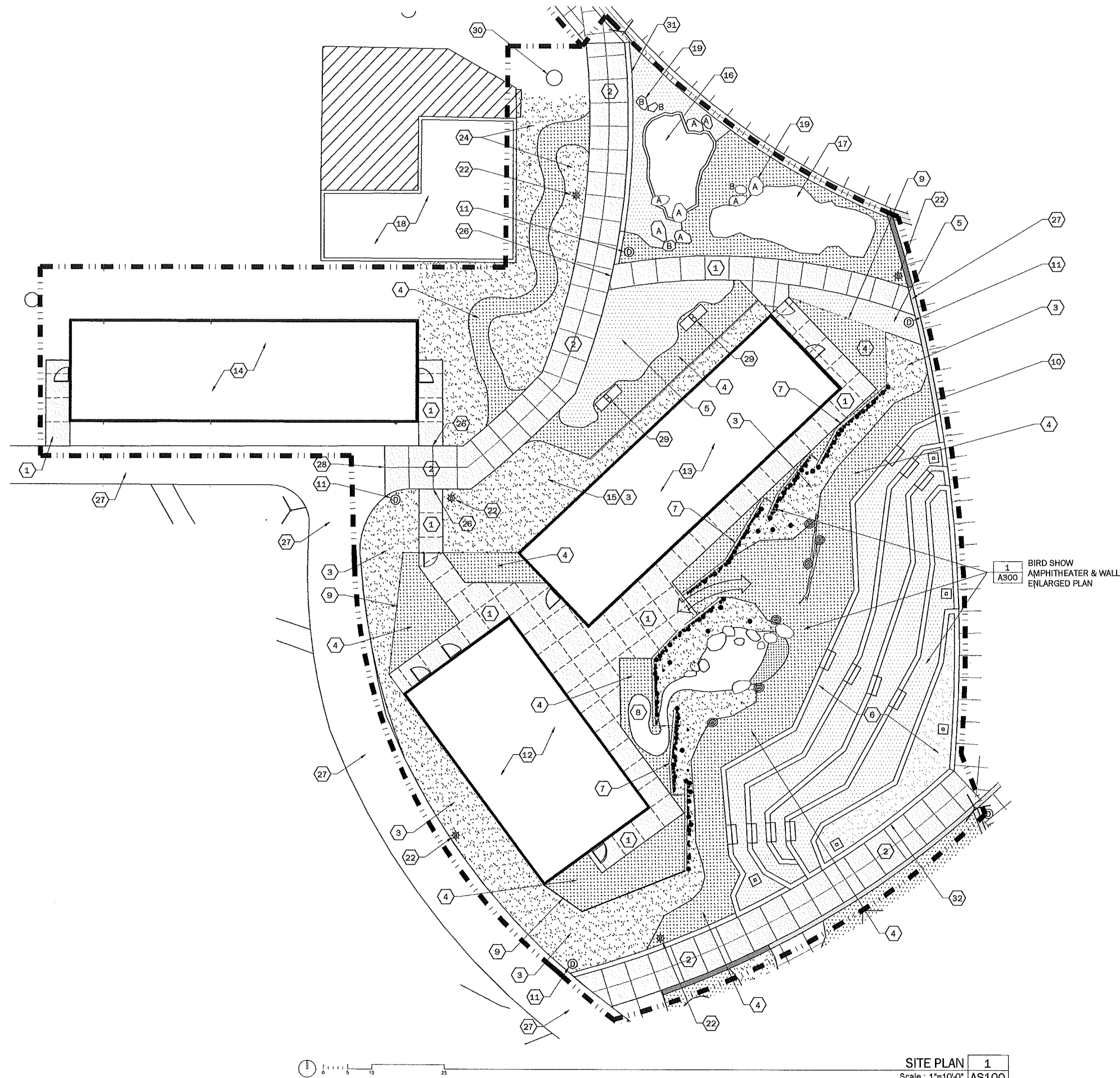
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 CHECKED BY ES

TA-BS
L200

PLANTING PLAN : UNDERSTOREY 1
 Scale: 1"=10'-0" L200

NOTE: NOT ALL PLANT MATERIALS ARE APPLICABLE TO THIS SHEET

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SITE PLAN 1
Scale: 1"=10'-0" AS100

- LEGEND**
- 1 CONCRETE PAVEMENT. 1/AS400 MACHINE CUT SCORE JOINTS AT 60° O.C. TYP. AS SHOWN GRAPHICALLY ON PLAN
 - 2 REINFORCED CONCRETE PAVEMENT. 11/AS400 MACHINE CUT SCORE JOINTS AT 60° O.C. TYP. AS SHOWN GRAPHICALLY ON PLAN
 - 3 LANDSCAPE AREA. REFER TO L SHEETS FOR LANDSCAPE PLANS ALL LANDSCAPED AREAS SHALL RECEIVE MINIMUM OF 3" DEPTH OF ORGANIC MULCH UNLESS NOTED OTHERWISE
 - 4 COMPACTED GRAVEL PAVEMENT. 5/AS400 WITH STEEL EDGE UNLESS NOTED OTHERWISE.
 - 5 LAWN
 - 6 BIRD SHOW AMPHITHEATRE
 - 7 BIRD SHOW STAGE WALL
 - 8 BIRD SHOW POND FEATURE. 1/WF100
 - 9 6' HT WOODEN FENCE
 - 10 FLUSH CONCRETE CURB
 - 11 LITTER RECEPTACLE.
 - 12 KEEPER BUILDING (BY OTHERS)
 - 13 EAST HOLDING BUILDING (BY OTHERS)
 - 14 WEST HOLDING BUILDING (BY OTHERS)
 - 15 RAIN GARDEN
 - 16 SAND BOX
 - 17 WATER COURSE PLAY FEATURE.
 - 18 EXISTING OFFICE HOUSE BUILDING
 - 19 BOULDER. WITH MINIMUM DIMENSIONS AS NOTED A=48x36x24, 3/AS400. B=36x24x24, 3/AS400
 - 20 BIRD SHOW PERCHING 3/AS300
 - 21 STROLLER PARKING AREA
 - 22 LIGHT BOLLARD WITH ELECTRICAL OUTLET. REFER TO ELECTRICAL DRAWING ESP101
 - 23 WHEELCHAIR RESERVED SEATING 12/AS400
 - 24 LOW WATER USE DEMONSTRATION GARDEN
 - 25 EXHIBIT STAND OFF BARRIER TYPE A 1/AS410
 - 26 LIMIT OF REINFORCED CONCRETE PAVEMENT
 - 27 EXISTING CONC. PVMT. PRESERVE & PROTECT
 - 28 LIMIT OF NEW CONCRETE PAVEMENT
 - 29 WOOD & STEEL BENCH. A = 6/AS310, B = 7/AS310
 - 30 EXISTING TREE TO REMAIN
 - 31 CONCRETE SEAT WALL WITH STAINED FINISH
 - 32 WOODEN RETAINING WALL. SEE AMPHITHEATRE
 - 33 GEOGRID PAYER WITH LAWN. 8/AS400
 - 34 CONCRETE STEPS.
 - 35 ASPEN LOG STAGE WALL. REFER TO STRUCTURAL DRAW FOR STEEL STRUCTURE
 - 36 FREESTANDING DEAD FALL ASPEN TREE
 - 37 BLEACHER SEATING 00/0000
 - 38 WOODEN RETAINING WALL & HANDRAIL 00/0000



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1370 South West Temple, Salt Lake City, UT, 84115
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SALT LAKE CITY
UTAH, 84105

PROJECT TITLE
BIRD SHOW

SHEET TITLE
SITE PLAN

REVISIONS
MARK | DATE | DESCRIPTION

ISSUE DATE 11 APRIL 2012
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SCALE AS NOTED
DRAWN BY PJB
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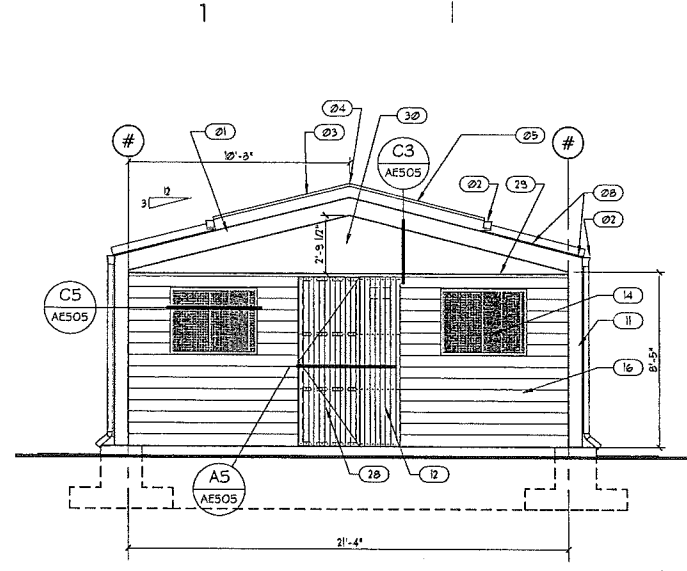
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NOTE: NOT ALL KEY NOTES ARE APPLICABLE TO THIS SHEET

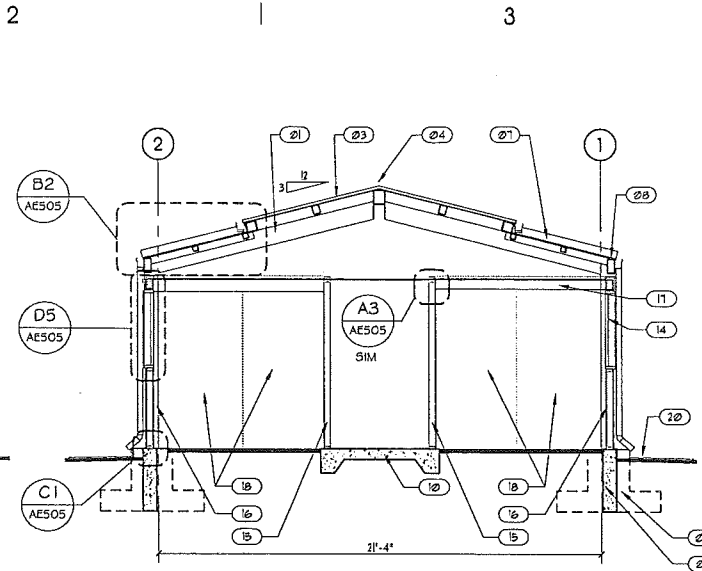
Attachment C
Elevations for Bird Holding Buildings

Attachment C
Elevations for Bird Holding Buildings

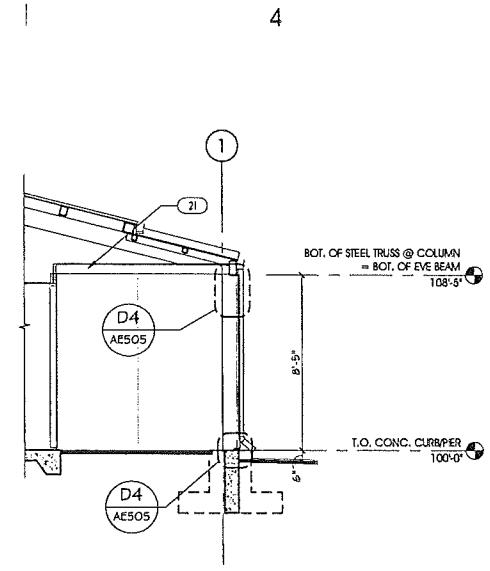
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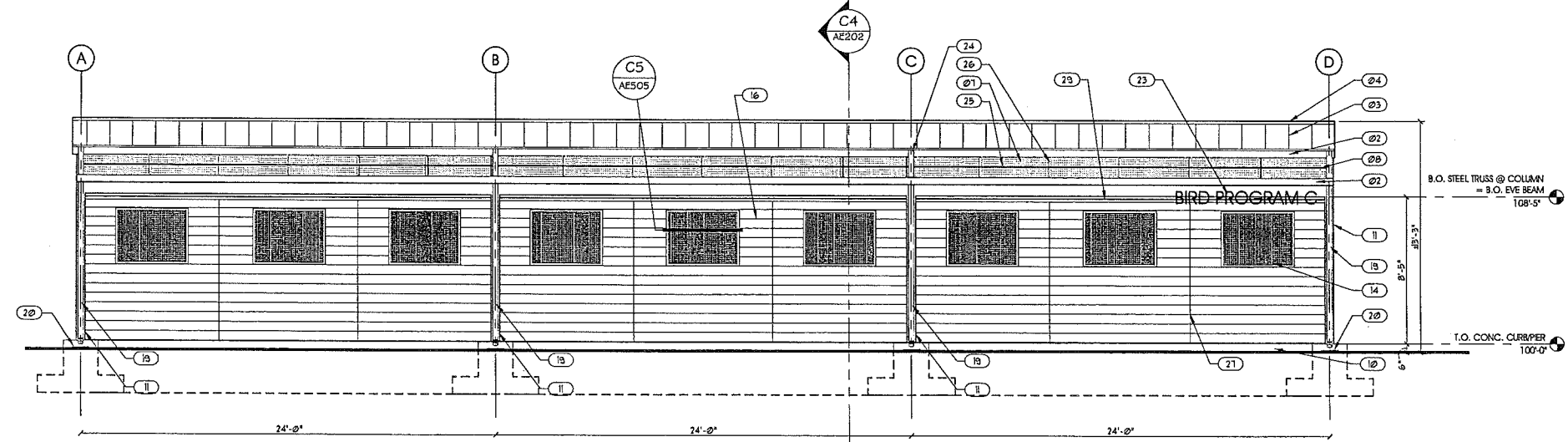
ELEVATION PRE-ENGINEERED BUILDING
SCALE: 1/4" = 1'-0"
C2 AE202



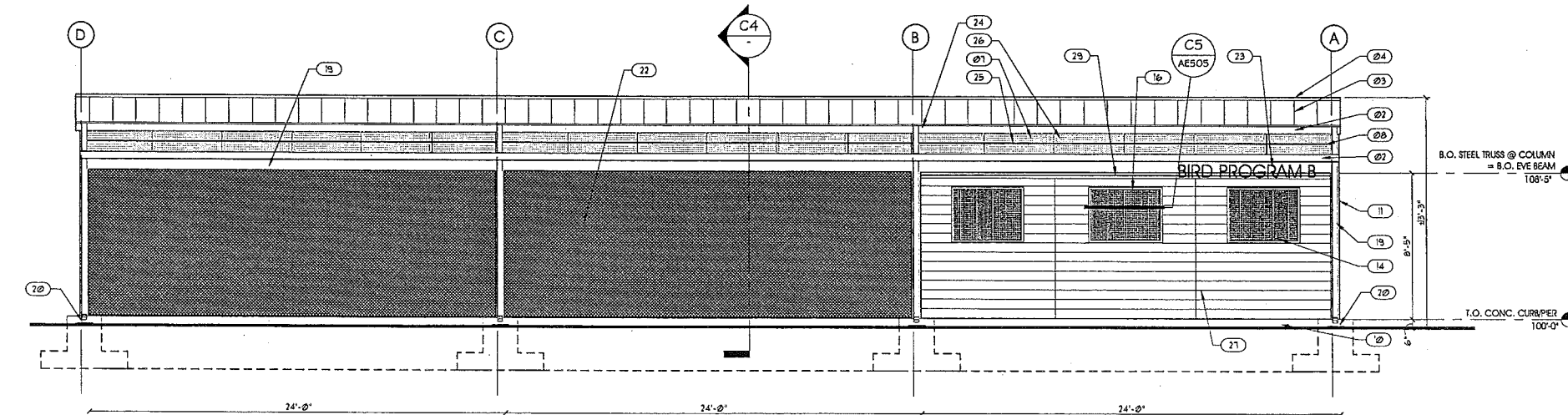
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C3 AE202



SECTION @ EXHIBIT HOLDING ONLY
SCALE: 1/4" = 1'-0"
C4 AE202



ELEVATION PRE-ENGINEERED BUILDING
SCALE: 1/4" = 1'-0"
B4 AE202



ELEVATION PRE-ENGINEERED BUILDING
SCALE: 1/4" = 1'-0"
D4 AE202

GENERAL NOTES AND LEGEND:
FOR SHEET AE202 ONLY.

- SEE SHEET AE201 FOR GENERAL NOTES.
- SEE COVER SHEET G1001 FOR DRAWING INDEX.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

KEYED NOTE LEGEND:
FOR SHEET AE202 ONLY.

- (21) STEEL GABLE BEAM BY PRE-ENG MTL BLDG MFR.
- (22) PRE-FINISHED GUTTER BY PRE-ENG MTL BLDG MFR.
- (23) MULTI RIB METAL ROOFING BY PRE-ENG MTL BLDG MFR.
- (24) RIDGE CAP BY PRE-ENG MTL BLDG MFR.
- (25) PREFN FLASHING BY PRE-ENG MTL BLDG MFR.
- (26) CONC PIER AND FOOTING BEYOND.
- (27) REMOVABLE POLYCARBONATE ROOF PANELS.
- (28) EYE BEAM BY PRE-ENG MTL BLDG MFR.
- (29) CONCRETE FROST WALL AND CURB.
- (30) CONCRETE SIDEWALK.
- (11) STEEL COLUMN BY PRE-ENG MTL BLDG MFR.
- (12) FLUSH JOINT T&G CEDAR, W/ 3" EXPOSED FACE, W/ HEX HEAD SCREWS.
- (13) EXHIBIT MESH, SEE XA DRAWINGS.
- (14) CEDAR 2x6 OPENING FRAME WITH CLEAR ACRYLIC DOUELS.
- (15) PT 2x4 FENCE WALL WITH FRP ONE SIDE.
- (16) PT 2x4 FENCE WALL WITH FRP AT HOLDING SIDE, + RABBETED BEVELLED CEDAR SIDING OUTSIDE.
- (17) MESH CEILING SPANS OVER CAGE WALLS, AND PT 2x6 1'4" O.C. FRP BEYOND.
- (18) GUTTER DOWNSPOUT BY PRE-ENG MTL BLDG MFR.
- (20) PRECAST CONC. SPLASH BLOCK WHERE OCCURS. SEE AE104.
- (21) MESH CEILING SPANS OVER PT 2x6 1'4" O.C. PT 2x6 ATTACHED TO FENCE CAGE WALL AT CORRIDOR, AND TO EAVE BEAM AT PAINTED STORK AND NORTHERN GROUND HORNBILLS ONLY.
- (27) EXHIBIT MESH.
- (23) 3" TALL 88 DIMENSIONAL LETTER SIGNAGE - ONE NAME ON ANNEX PAVILION, ONE NAME ON AMPHITHEATER PAVILION.
- (24) PREFN GUTTER CHANNEL ON TRUSS BEAM.
- (25) STEEL BAR TO HOLD DOWN REMOVABLE ROOF PANELS.
- (26) FLAT BAR AT INTER-MEDIATE STEEL MEMBERS.
- (21) BUTT CEDAR SIDING ENDS AT 4x4 POSTS, TYP.
- (28) T&G CEDAR OVER TUBE STEEL GATE.
- (29) PREFN MTL COPING.
- (32) SHADE FABRIC, REMOVABLE.

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PROJECT DESCRIPTION
BIRD PROGRAM HOLDING

SHEET NAME:
B ELEVATIONS + SECTION PAVILION 1 AND 2 WITH BIRD HOLDING

REVISIONS

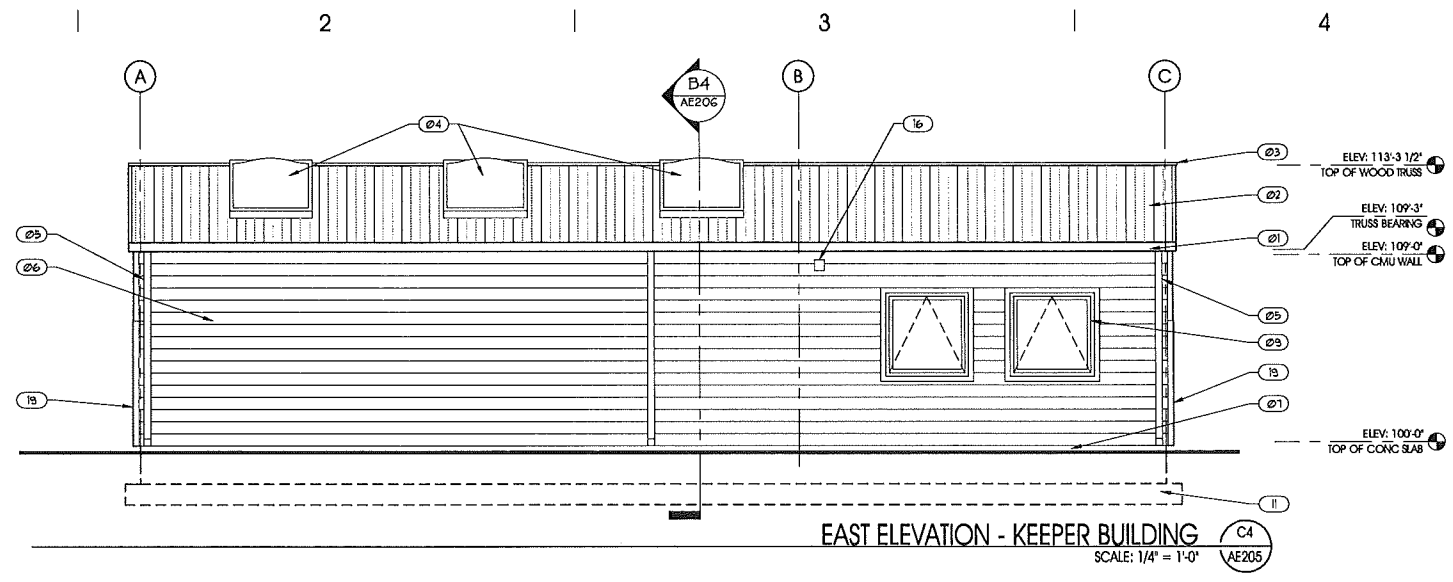
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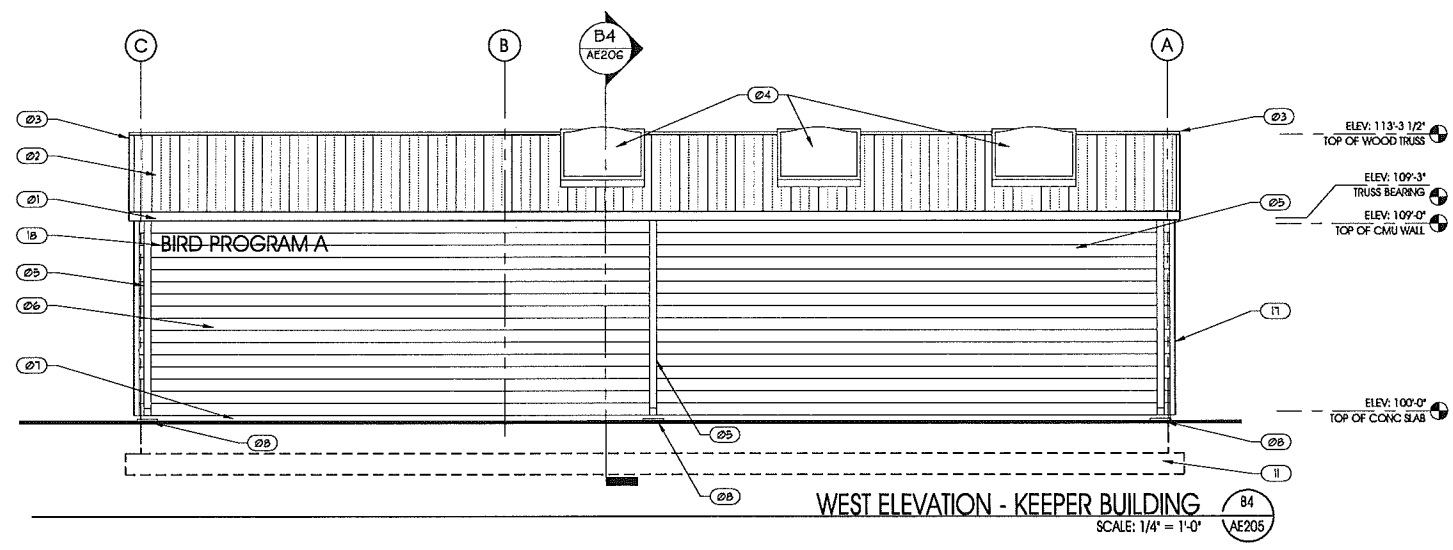
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Attachment D
Elevations for Keeper Building

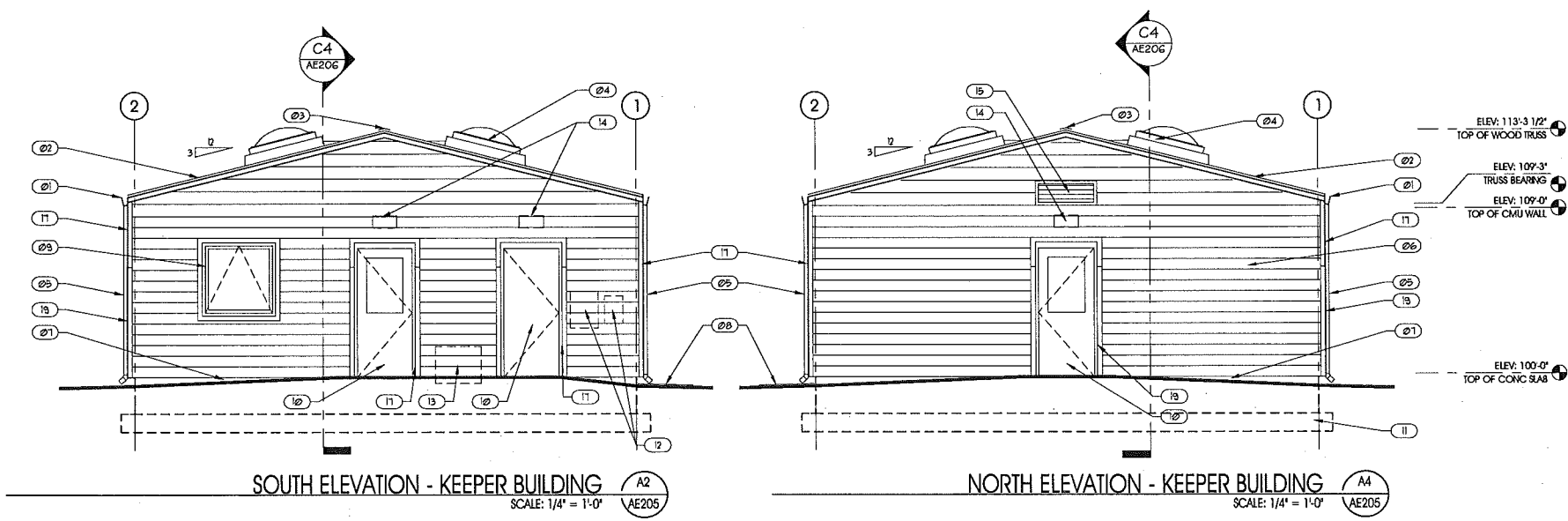
ALL DIMENSIONS, UNLESS OTHERWISE INDICATED, SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON THE JOB.



EAST ELEVATION - KEEPER BUILDING
 SCALE: 1/4" = 1'-0"
 C4 AE205



WEST ELEVATION - KEEPER BUILDING
 SCALE: 1/4" = 1'-0"
 B4 AE205



SOUTH ELEVATION - KEEPER BUILDING
 SCALE: 1/4" = 1'-0"
 A2 AE205

NORTH ELEVATION - KEEPER BUILDING
 SCALE: 1/4" = 1'-0"
 A4 AE205

GENERAL NOTES AND LEGEND:
 FOR SHEET AE205 ONLY.

- SEE SHEET AE201 FOR GENERAL NOTES.
- SEE COVER SHEET G1001 FOR DRAWING INDEX.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

KEYED NOTE LEGEND:
 FOR SHEET AE205 ONLY.

- 01 PRE-FINISHED METAL GUTTER
- 02 PREFIN EXPOSED FASTENER MULTI RIB MTL ROOFING
- 03 VENTED RIDGE CAP
- 04 SKYLIGHT, MANUALLY OPERABLE
- 05 PRE-FINISHED MTL DOWNSPOUT
- 06 CEMENTITIOUS SIDING (BASIS OF DESIGN IS HARDI ARTISAN LAP OR APPROVED EQUAL)
- 07 FOUNDATION LINER OVER RIGID INSULATION
- 08 PRECAST CONCRETE SPLASH BLOCK
- 09 AWNING WINDOW, THERMALLY BROKEN ALUMINUM, CLEAR ANODIZED GLASS TO RECEIVE STANDARD FRIT PATTERN
- 10 HOLLOW METAL DOOR AND FRAME, THERMALLY BROKEN FRAME, GLAZING TO RECEIVE FRIT PATTERN
- 11 CONC. FOOTING
- 12 ELECTRIC METER AND DISCONNECT, SEE ELECTRICAL DRAWINGS.
- 13 GAS METER, SEE ELECTRICAL DRAWINGS.
- 14 LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS.
- 15 CLEAR ANODIZED ALUMINUM LOUVER, SEE MECHANICAL DRAWINGS.
- 16 VENT, SEE MECHANICAL DRAWINGS.
- 17 3/4" WIDE x 1 1/2" DEEP HARDI TRIM, TYP.
- 18 1" TALL 66 DIMENSIONAL LETTER SIGNAGE. BUILDING NAME TBD.
- 19 CORNER GUARD. COLOR TO MATCH SIDING TRIM.

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PROJECT DESCRIPTION
BIRD PROGRAM HOLDING

SHEET NAME:
**ELEVATIONS
 KEEPER BUILDING**

REVISIONS

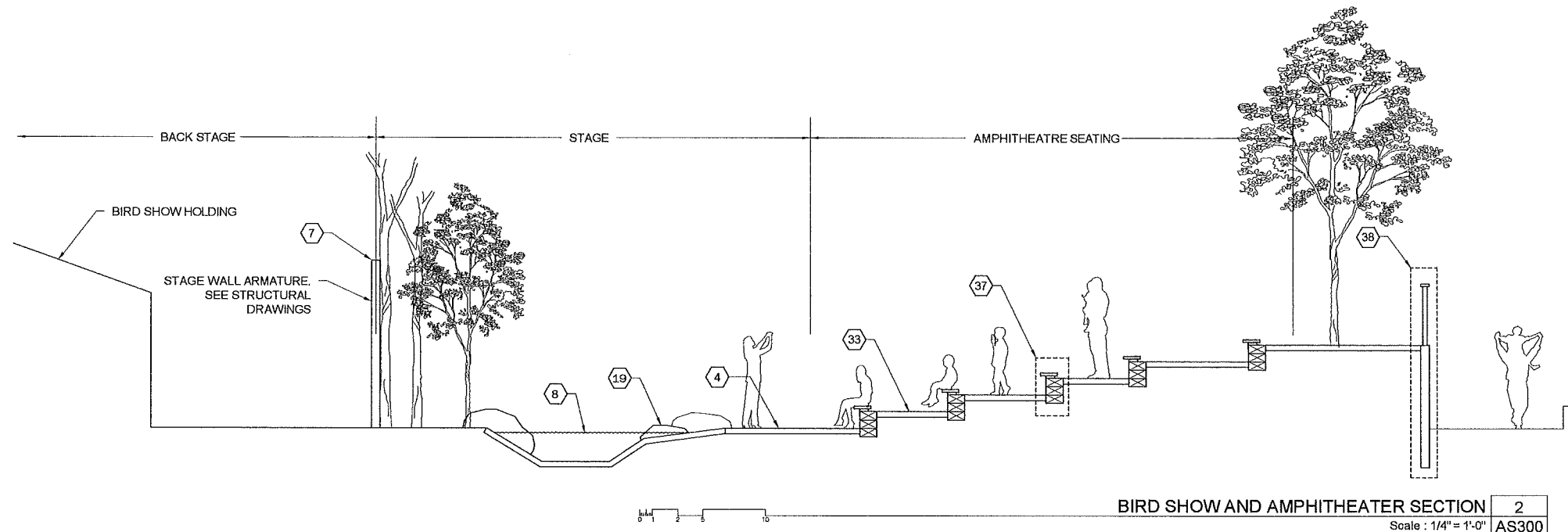
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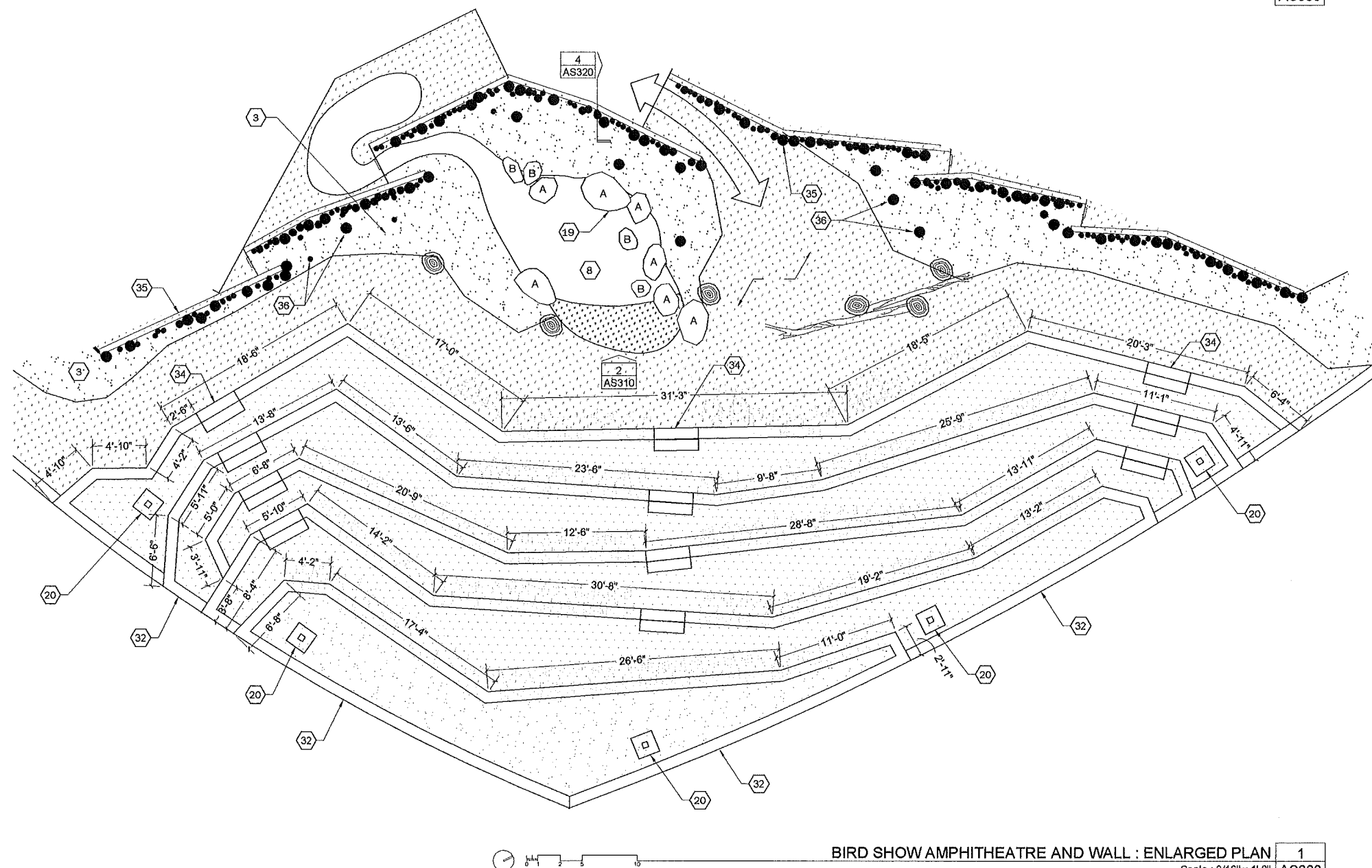
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Attachment E
Proposed Amphitheater Plans

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BIRD SHOW AND AMPHITHEATER SECTION 2
Scale : 1/4" = 1'-0" AS300



BIRD SHOW AMPHITHEATRE AND WALL : ENLARGED PLAN 1
Scale : 3/16" = 1'-0" AS300

- LEGEND**
- 1 CONCRETE PAVEMENT. 1/AS400 MACHINE CUT SCORE JOINTS AT 60" O.C. TYP. AS SHOWN GRAPHICALLY ON PLAN
 - 2 REINFORCED CONCRETE PAVEMENT. 11/AS400 MACHINE CUT SCORE JOINTS AT 60" O.C. TYP. AS SHOWN GRAPHICALLY ON PLAN
 - 3 LANDSCAPE AREA. REFER TO L SHEETS FOR LANDSCAPE PLANS ALL LANDSCAPED AREAS SHALL RECEIVE MINIMUM OF 3" DEPTH OF ORGANIC MULCH UNLESS NOTED OTHERWISE
 - 4 COMPACTED GRAVEL PAVEMENT. 5/AS400 WITH STEEL EDGE UNLESS NOTED OTHERWISE.
 - 5 LAWN
 - 6 BIRD SHOW AMPHITHEATRE
 - 7 BIRD SHOW STAGE WALL
 - 8 BIRD SHOW POND FEATURE. 1/WF100
 - 9 6' HT WOODEN FENCE
 - 10 FLUSH CONCRETE CURB
 - 11 LITTER RECEPTACLE.
 - 12 KEEPER BUILDING (BY OTHERS)
 - 13 EAST HOLDING BUILDING (BY OTHERS)
 - 14 WEST HOLDING BUILDING (BY OTHERS)
 - 15 RAIN GARDEN
 - 16 SAND BOX
 - 17 WATER COURSE PLAY FEATURE.
 - 18 EXISTING OFFICE HOUSE BUILDING
 - 19 BOULDER. WITH MINIMUM DIMENSIONS AS NOTED A=48x36x24, 3/AS400. B=36x24x24, 3/AS400
 - 20 BIRD SHOW PERCHING 3/AS300
 - 21 STROLLER PARKING AREA
 - 22 LIGHT BOLLARD WITH ELECTRICAL OUTLET. REFER TO ELECTRICAL DRAWING ESP101
 - 23 WHEELCHAIR RESERVED SEATING 12/AS400
 - 24 LOW WATER USE DEMONSTRATION GARDEN
 - 25 EXHIBIT STAND OFF BARRIER TYPE A 1/AS410
 - 26 LIMIT OF REINFORCED CONCRETE PAVEMENT
 - 27 EXISTING CONC. PVMT. PRESERVE & PROTECT
 - 28 LIMIT OF NEW CONCRETE PAVEMENT
 - 29 WOOD & STEEL BENCH. A = 6/AS310, B = 7/AS310
 - 30 EXISTING TREE TO REMAIN
 - 31 CONCRETE SEAT WALL WITH STAINED FINISH
 - 32 WOODEN RETAINING WALL. SEE AMPHITHEATRE
 - 33 GEOGRID PAYER WITH LAWN. 8/AS400
 - 34 CONCRETE STEPS.
 - 35 ASPEN LOG STAGE WALL. REFER TO STRUCTURAL DRAW FOR STEEL STRUCTURE
 - 36 FREESTANDING DEAD FALL ASPEN TREE
 - 37 BLEACHER SEATING 00/0000
 - 38 WOODEN RETAINING WALL & HANDRAIL 00/0000

NOTE : NOT ALL KEY NOTES ARE APPLICABLE TO THIS SHEET

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PROJECT TITLE
BIRD SHOW

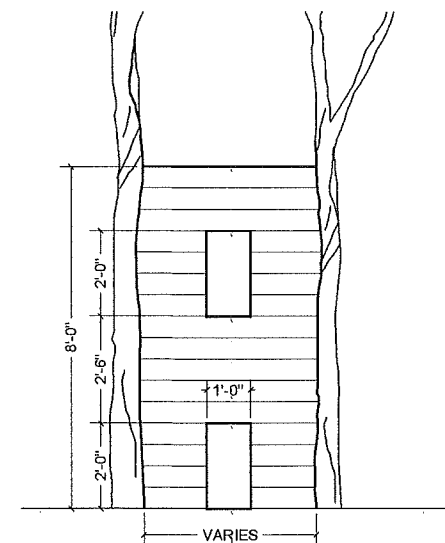
SHEET TITLE
ENLARGED PLAN & SECTION AT AMPHITHEATER

REVISIONS		
MARK	DATE	DESCRIPTION

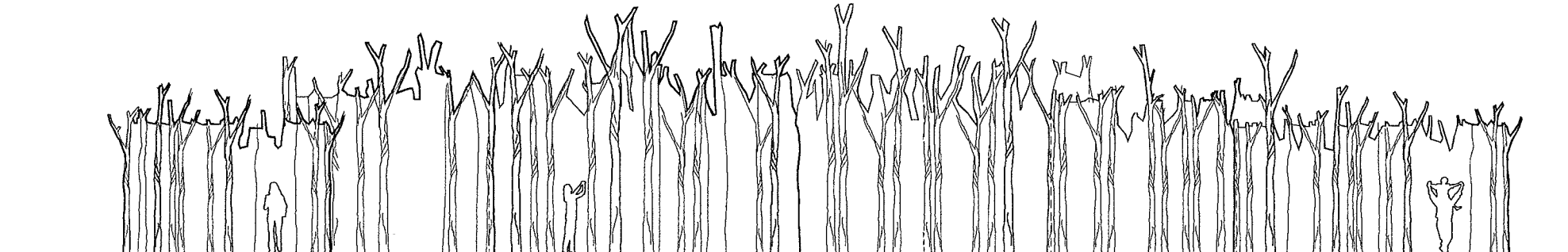
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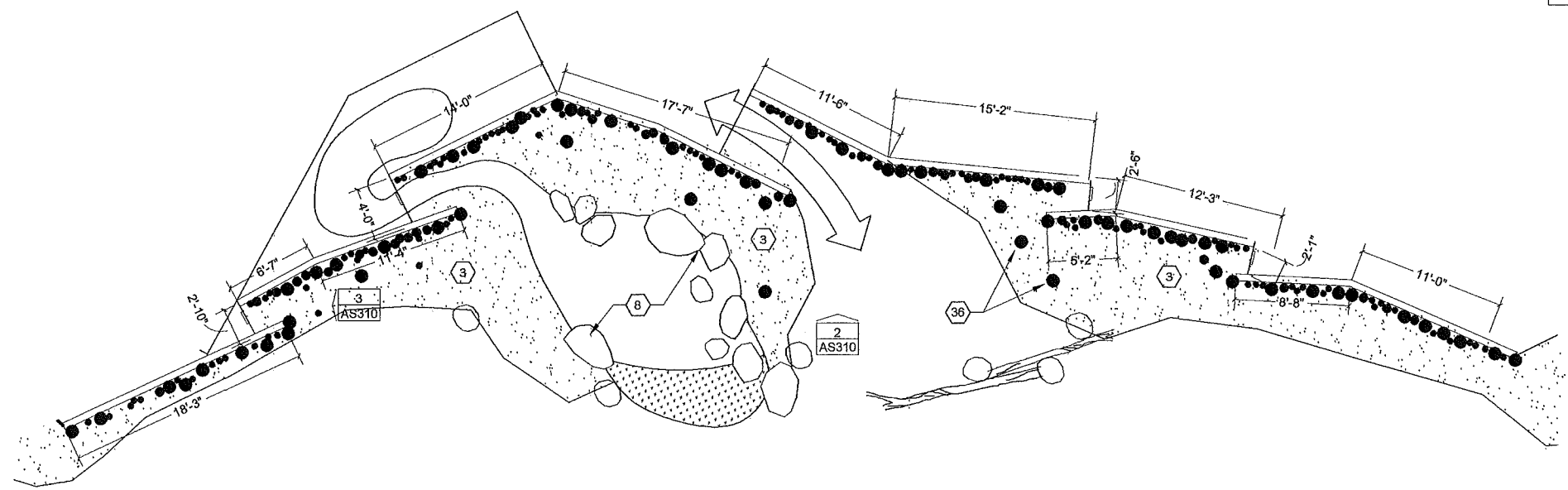
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BIRD RELEASE DOORS 3
Scale : 1/2" = 1'-0" AS310



BIRD SHOW WALL ELEVATION 2
Scale : 3/16" = 1'-0" AS310



BIRD SHOW WALL & POND : ENLARGED PLAN 1
Scale : 3/16" = 1'-0" AS310

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PROJECT TITLE
BIRD SHOW

SHEET TITLE
ENLARGED PLAN & ELEVATION AT STAGE WALL

REVISIONS		
MARK	DATE	DESCRIPTION

ISSUE DATE 11 APRIL 2012
ISSUE TITLE DD
SCALE AS NOTED
DRAWN BY PJB
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