

HISTORIC LANDMARK COMMISSION  
STAFF REPORT

TRACY AVIARY GUEST BIRD HOLDING  
BUILDINGS AND AMPHITHEATER

PLNHLC2011-00648

Liberty Park, 589 East 1300 South

December 1, 2011



Planning and Zoning Division  
Department of Community and  
Economic Development

**Applicant:**

Friends of Tracy Aviary

**Staff:**

Ray Milliner (801)535-7645 or  
[ray.milliner@slcgov.com](mailto:ray.milliner@slcgov.com)

**Tax ID:**

16-07-427-001

**Current Zone:**

OS

**Master Plan Designation:**

Open Space

**Council District:**

5, Jill Remington Love

**Lot Size:**

4,356,000 square feet or  
approximately 100 acres

**Current Use:**

Public Park

**Applicable Land Use**

**Regulations:**

- 21A.32.100 OS
- 21A.34.020(G & H)
- 21A.42.070

**Notification**

- Notice mailed on November 17, 2011
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites November 17, 2011

**Attachments:**

- A. Building Site Plans & Elevations for Amphitheater
- B. Building Site Plans & Elevations for Bird Holding Building
- C. Landscape Plan

***Request***

The applicant, Friends of Tracy Aviary is requesting Historic Landmark Commission approval of the following items:

- Certificate of appropriateness involving new construction for a holding building with an amphitheater.
- Certificate of appropriateness involving new construction for a bird holding building.

***Staff Recommendation***

Staff recommends that the Historic Landmark Commission review the application, conduct a public hearing, and approve both the bird holding building with an amphitheater and the second bird holding building at Tracy Aviary pursuant to the findings, analysis and conditions of approval in this staff report.

**Conditions of Approval**

1. Final approval of exterior materials and windows shall be delegated to staff for compliance with the SLC Historic District Design Guidelines review.
2. Both buildings must meet all other applicable Zoning Ordinance requirements, including setbacks, maximum footprint and lot coverage.
3. The applicant shall continue working with the City arborist to ensure that all trees proposed to be removed and replaced are appropriate for the site, and that as many existing trees as possible are preserved and maintained.

## Vicinity Map



## Background

The Aviary was founded and built in 1938 as the first zoo in Utah. Since that time, the Aviary has provided public services as a zoo, swimming pool, aquarium and most recently an aviary. The applicant, Friends of Tracy Aviary is requesting Historic Landmark approval of a Certificate of Appropriateness for two bird holding buildings. One will be used in conjunction with an amphitheater and will house birds that participate in educational and entertaining shows, while the other will be used to display birds, and for housing and taking care of birds that are not on display. These improvements are made possible by a 19.6 million dollar bond for upgrades to the aviary. Previous components of the project were reviewed and approved by the HLC including:

- Construction of a Ground Hornbills Exhibit
- Remodel and renovation of the Wilson Pavilion
- Construction and installation of a temporary bird holding trailer
- The review and approval of a Master Plan for the Aviary
- Review and approval of an education and guest services building
- Review and approval of an upgrade to the utilities and infrastructure
- Review and approval of a new owl forest exhibit.
- Review and approval of a tree removal and preservation plan for the area.

These projects have been completed or are currently under construction, and the applicant is now prepared to begin work on the next phase of project.

At the February 2, 2011 Historic Landmark Commission meeting, the applicant petitioned that the Historic Landmark Commission review and approve a tree plan to remove 7 trees for the proposed bird show amphitheater and 25 trees for a central plaza and tropical bird exhibit (the tropical bird exhibit is not under review at this time). The reasoning behind the request was to facilitate the design process for each facility. Once it was determined which trees were to be removed and which would stay the applicant could then create site plans for the exhibits, as well as revegetation and landscape plans. The HLC reviewed and approved the plan with the following condition of approval:

1. A landscape plan clearly delineating location, size, and type of trees to be replanted will be reviewed and approved by the HLC as part of any future design approval.

The proposed landscape plan is attached as exhibit B.

Tracy Aviary and its contents are “features” of a Landmark Site, Liberty Park, and as a result, design and review authority of all new construction, as well as modifications to existing structures is under the purview of the Historic Landmark Commission.

## ***Project Description***

The Tracy Aviary, located in the southern portion of Liberty Park, proposes new construction of two bird holding buildings one with an amphitheater the other for housing birds not on display.

### **Bird Holding and Amphitheater Building — New Construction**

This building is proposed to replace the existing holding buildings, amphitheater and an unused swimming pool located in the heart of the aviary. The one story building will be approximately 2,200 square feet in size with the concrete amphitheater located to the east. The building will be primarily cement block construction with a decorative tin sheathing around the top on the west, north and south elevations. The entire building will have a large parapet designed to hide the roof, as it will have multiple skylights and breaks designed to provide the birds with as much sunlight as possible. The amphitheater itself is designed as an entertainment facility, with a large faux rock wall along the east elevation of the holding building that will act as the bird show stage wall. This wall will be decorated with trees and vines etc and will change based on the needs of the show. There will be small pond and stream along the stage and a bird themed spray shower and flamingo nest located at the rear. There is a significant amount of landscaping proposed all around the structure. Plans, including landscaping, for this building are attached as exhibit A.

### **Bird Holding Building**

This building will be located on the south west corner of the aviary (facing 1300 South and 500 East). The one story building will have a footprint of approximately 3,400 square feet of which 1,800 square feet will be enclosed (the rest will be mesh bird display areas). The building will be a concrete block building with standing seam metal siding on the south and concrete block on the other three sides. The east elevation will feature the decorative metal siding previously approved by the Commission for the Education and Guest Services building now under construction. Plans for this building are attached as exhibit B.

## **Landscape Plan**

Landscaping is an important component in the design of the two proposed buildings, as the architecture has been kept relatively utilitarian anticipating that it will be screened by landscaping. Each façade has a significant amount of vegetation proposed that should screen the various walls from view. The landscaping surrounding the amphitheater is designed to provide patrons with a sense of being in the natural habitat of the birds. There are a number of larger trees proposed that once mature will create a significant canopy.

## **Public Comments**

To date, staff has received no public comments regarding this application.

## **Analysis and Findings**

### **Findings for Amphitheater and Bird Holding Building —New Construction**

**Section 21A.34.020.H Standards For Certificate Of Appropriateness Involving New Construction Or Alteration Of A Noncontributing Structure:** In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the historic landmark commission, or planning director when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually compatible with surrounding structures and streetscape as illustrated in any design standards adopted by the Historic Landmark Commission and City Council and is in the best interest of the city:

1. **Scale and Form:**
  - a. **Height and Width:** The proposed height and width shall be visually compatible with surrounding structures and streetscape;
  - b. **Proportion of Principal Facades:** The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape;
  - c. **Roof Shape:** The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and
  - d. **Scale of a Structure:** The size and mass of the structures shall be visually compatible with the size and mass of surrounding structure and streetscape.

**Analysis:** The scale and form of historic structures within the park vary greatly depending on their function. The building is designed to be long and narrow (approximately 80' x 30'). The design is such that it is relatively indiscreet. The size and scale of the building are mitigated by the variegated footprint, the flat roof, and the lower height. These design elements combine to make the structure appear smaller than it actually is. The footprint breaks the building into smaller components, and thereby reduces the overall visual mass of the building while adding architectural interest. The incorporation of the flat roof into the design reduces the overall height, and mass of the building. The result is a relatively large building that appears much smaller.

Due to the unique use of the amphitheater and its supporting holding building, the form, scale and mass of the building (including the faux rock stage wall) are wholly unique. The width and shape of the building is designed to accommodate the needs of the show, and provide patrons with sight angles to best view the program.

**Finding:** Staff finds that although the building is different than other structures in Liberty Park, the unique design of the structure is appropriate due to the needs of the use (bird show support and viewer sight lines). The 16 foot height and the relatively narrow width and length of the building makes it compatible in height, width, proportion, scales, massing and roof shape with other buildings in the Aviary.

## 2. **Composition of Principal Facades:**

- a. **Proportion of Openings:** The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;
- b. **Rhythm of Solids to Voids in Facades:** The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;
- c. **Rhythm of Entrance Porch and Other Projections:** The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and
- d. **Relationship of Materials:** The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

**Analysis:** The architectural design of the building is unique, the footprint and openings are not styles generally associated with historic districts. Nonetheless, it is appropriate for its location and proposed use. The amphitheater is designed to educate and entertain aviary guests and the building to house the birds for the show. This use is unique to the historic district and as such the design is warranted. The rhythm of solids to voids along the various facades is broken into smaller components to reduce the scale of the building when viewed from the entrance, or adjacent areas in the park. The use of the relatively subdued architectural detailing, concrete block and wrinkly tin, is designed to make the building blend into the surrounding landscape and not distract from the bird related theme of the aviary.

**Finding:** Staff finds that the composition of the principal facades is compatible with the surrounding architecture in the Tracy Aviary. The design of the structure is suited for the unique use for which it will be employed, and it establishes a defined entry into the aviary.

## 3. **Relationship to Street:**

- a. **Walls Of Continuity:** Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;
- b. **Rhythm Of Spacing And Structures On Streets:** The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;
- c. **Directional Expression of Principal Elevation:** A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and
- d. **Streetscape Pedestrian Improvements:** Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.

**Finding:** The building relates to pedestrian paths within in the Aviary and not to a street. This standard is not applicable.

4. **Subdivision Of Lots:** The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

**Finding:** This standard is not relevant since a subdivision of lots is not part of the proposed project.

### Findings for Holding Building — New Construction

#### 1. **Scale and Form:**

- a. **Height and Width:** The proposed height and width shall be visually compatible with surrounding structures and streetscape;
- b. **Proportion of Principal Facades:** The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape;
- c. **Roof Shape:** The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and
- d. **Scale of a Structure:** The size and mass of the structures shall be visually compatible with the size and mass of surrounding structure and streetscape.

**Analysis:** The scale and form of historic structures within the park vary greatly depending on their function. The proposed holding building will be larger in size, but the design of the structure is such that it is relatively indiscreet, with over half of the footprint designed to feature birds. The size and scale of the building is mitigated by the low height of the structure (twelve (12) feet above grade), and the relatively benign design and materials (with the exception of the decorative metal on the east elevation). These design elements, mixed with the significant amount of vegetation proposed around the building, combine to further reduce the scale and impact of the building on the surrounding area.

The proposed structure is compatible in size, style and construction with the other structures within the Aviary.

**Finding:** The design of the structure (low height, much of the footprint dedicated to display) makes it compatible in height, width, proportion scale, and massing and roof shape with other buildings in the aviary, as well as the park as a whole. The proposal meets this standard.

#### 2. **Composition of Principal Facades:**

3. **Proportion of Openings:** The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;
4. **Rhythm of Solids to Voids in Facades:** The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;
5. **Rhythm of Entrance Porch and Other Projections:** The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and
6. **Relationship of Materials:** The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

**Analysis:** The architectural design of the building is unique to the historic district, as there are very few buildings outside of the aviary designed to house and feature birds. The building is designed to be secondary to the exhibit inside and the overall aviary as a whole. Nonetheless, the architectural design is appropriate for its location and proposed use. The rhythm of solids to voids along the east and north facades are dominated by the

voids, so as to highlight the birds rather than the structure, while the south façade will be obscured by landscaping. The wire mesh is designed to keep the birds in while allowing visitors an unencumbered view of the birds, and the decorative metal sheath is designed to match that of the now under construction guest and education building, providing some architectural continuity to the aviary. The proposed building does not have a porch; however none of the buildings within the Aviary have porches.

**Finding:** Staff finds that the composition of the principal facade is compatible with the surrounding architecture in the Tracy Aviary. The design of the structure is suited for the unique use for which it will be employed, and is built in an unobtrusive way.

### 3. Relationship to Street:

1. **Walls Of Continuity:** Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;
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**Finding:** The building relates to pedestrian paths within in the Aviary and not to a street. This standard is not applicable.

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**Finding:** This standard is not relevant since a subdivision of lots is not part of the proposed project.

**Attachment A**  
Site Plan and Elevation Drawings for Amphitheater





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CONSULTANT

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PROJECT DESCRIPTION

TRACY AVIARY  
BIRD PROGRAM  
HOLDING  
BUILDING

589 EAST 1300 SOUTH  
SALT LAKE CITY, UT 84105

SHEET NAME:

COVER SHEET

REVISIONS

MARK	DATE	DESCRIPTION

ISSUE DATA

ISSUE DATE: 9/20/2011  
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DRAWN BY: ajc  
CHECKED BY: K. RIGBY

SHEET NUMBER:

G1001

# TRACY AVIARY BIRD PROGRAM HOLDING BUILDING

589 EAST 1300 SOUTH  
SALT LAKE CITY, UT 84105

1115

9/20/2011

CONDOC

OWNER

FRIENDS OF TRACY AVIARY

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CIVIL

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COLVIN ENGINEERING ASSOCIATES INC.

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PH #: 801.322.2400 CONTACT: Bret Christiansen

ELECTRICAL

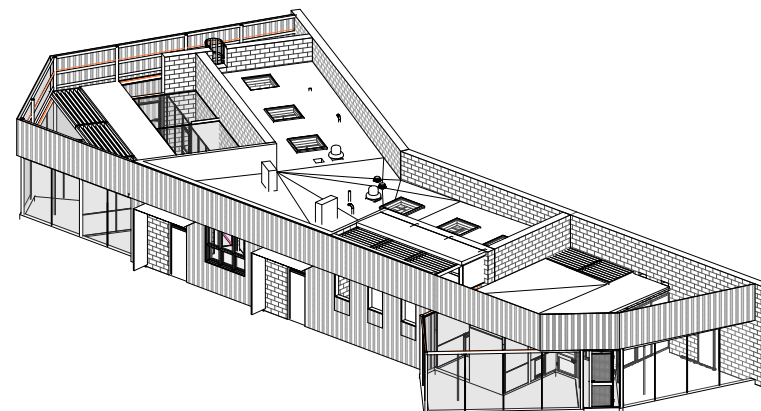
ENVISION ENGINEERING

244 West 300 North, Suite 100  
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PH #: 801.534.1130 CONTACT: W. Kit Farley

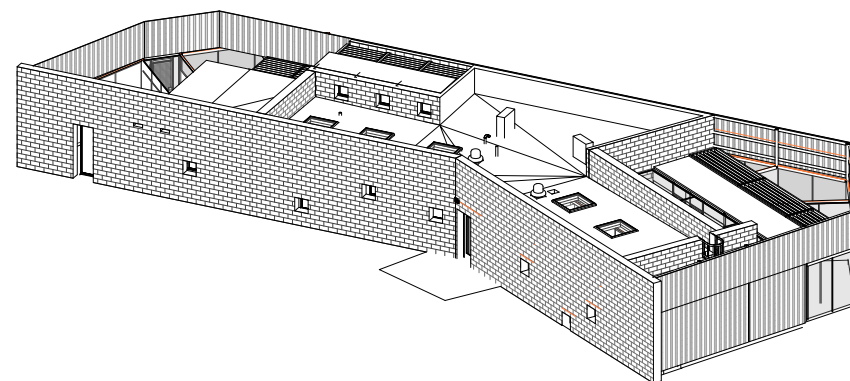
GENERAL CONTRACTOR

BIG-D CONSTRUCTION CORP.

404 West 400 South  
Salt Lake City, Utah 84101  
PH #: 801.415-6000 CONTACT: Forrest McNabb



NORTHWEST AXONOMETRIC (B4 G1001)



SOUTHEAST AXONOMETRIC (A4 G1001)

## DRAWING INDEX:

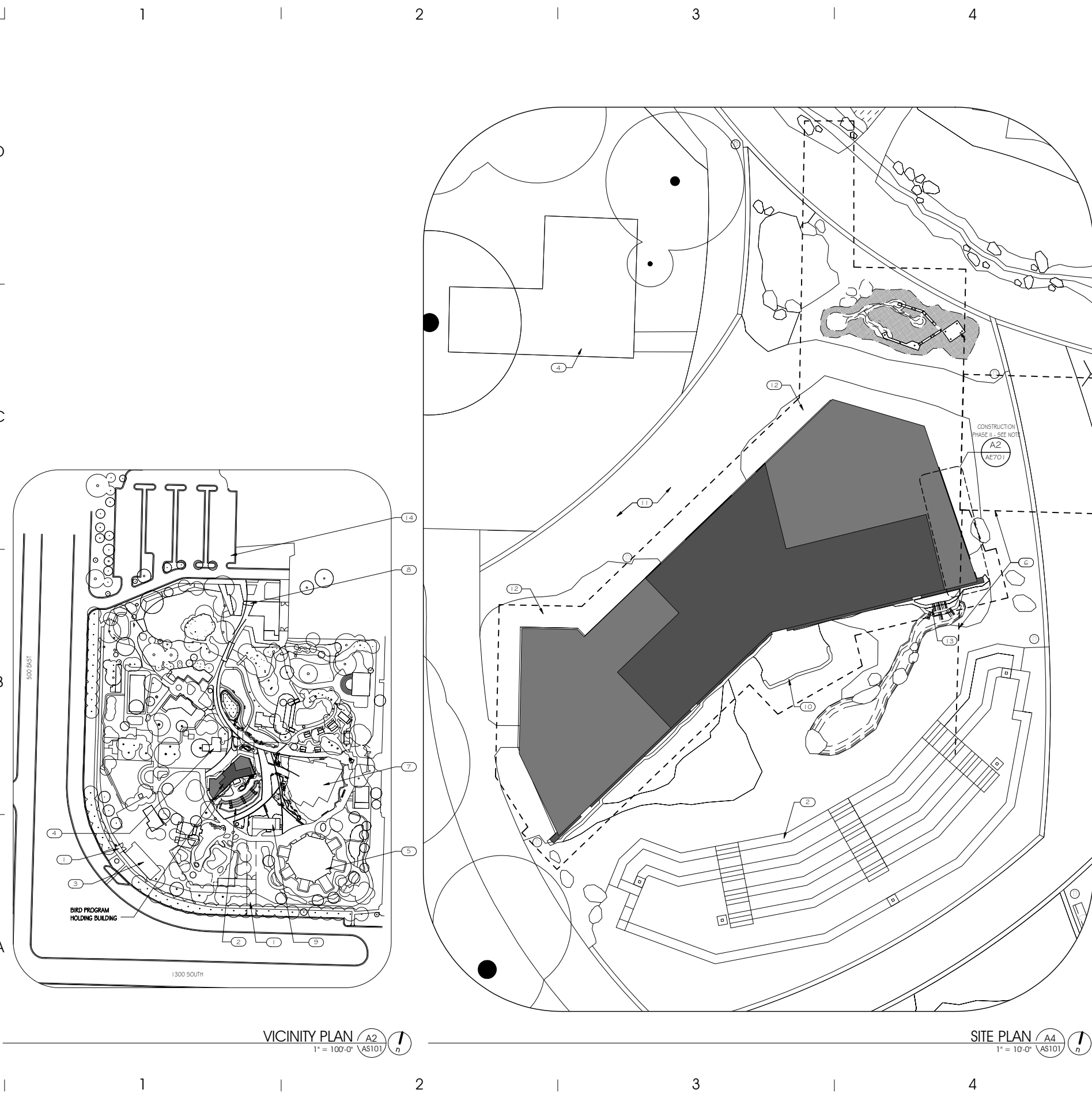
5101	GENERAL STRUCTURAL NOTES
5102	GENERAL STRUCTURAL NOTES
5201	FOOTING AND FOUNDATION PLAN
5202	ROOF FRAMING PLAN
5301	SCHEDULES
5302	SCHEDULES
5501	FOOTING FOUNDATION DETAILS
5502	FOOTING FOUNDATION DETAILS
5503	FOOTING AND FOUNDATION DETAILS
5504	FOOTING FOUNDATION DETAILS
5701	ROOF FRAMING DETAILS
XA-104	REFLECTED CEILING PLAN
XA-201	EXTERIOR ELEVATIONS
XA-302	SECTIONS
XA-403	INTERIOR ELEVATIONS
XA-404	INTERIOR ELEVATIONS
XA-405	INTERIOR ELEVATIONS
XA-503	DETAILS
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G1002	CODE ANALYSIS
G1003	ADA REQUIREMENTS
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CE201	UTILITY PLAN
AS101	VICINITY + SITE PLAN
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AEO02	ASSEMBLY TYPES
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AE102	LEVEL 1 REFERENCE PLAN
AE103	LEVEL 1 FINISH PLAN
AE104	LEVEL 1 REFLECTED CEILING PLAN
AE105	ROOF PLAN
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AE301	BUILDING SECTIONS
AE305	WALL SECTIONS
AE401	INTERIOR ELEVATIONS
AE501	DETAILS
AE502	DETAILS
AE503	DETAILS
AE504	DETAILS
AE505	DETAILS
AE601	DOOR SCHEDULE, FINISH SCHEDULE, + WINDOW TYPES
AE701	BID ALTERNATES
XA-101	PLAN
XA-301	SECTIONS
XA-401	INTERIOR ELEVATIONS
XA-402	INTERIOR ELEVATIONS
XA-501	DETAILS
XA-502	DETAILS
XA-801	SCHEDULES
EG001	SYMBOL SCHEDULES
EG002	SYMBOL SCHEDULES
EG501	DETAILS
EG502	DETAILS
EL101	LIGHTING PLAN
EL601	LIGHT FIXTURE SCHEDULE
EP101	POWER PLAN
EP102	ROOF POWER PLAN
EP701	ONE-LINE DIAGRAMS AND RISERS
EP801	PANELBOARD AND EQUIPMENT SCHEDULES
M001	MECHANICAL LEGEND, SYMBOLS + ABBREVIATIONS
MH101	LEVEL 1 MECHANICAL PLAN
MH102	ROOF PLAN
MH501	MECHANICAL DETAILS
MHG01	MECHANICAL SCHEDULES
PL101	LEVEL 1 PLUMBING PLAN
PL501	PLUMBING DETAILS
PL502	PLUMBING DETAILS
PL601	PLUMBING SCHEDULES

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 ALL DIMENSIONS AND LOCATIONS ARE TO BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.



VICINITY PLAN A2  
1" = 100'-0" AS101

SITE PLAN A4  
1" = 10'-0" AS101

**GENERAL NOTES AND LEGEND:**

- SEE SHEET A2001 FOR GENERAL NOTES.
- SEE TITLE SHEET FOR DRAWING INDEX.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.
- CONSTRUCTION PHASE II. TO BE COMPLETED UPON SUCCESSFUL REMOVAL AND TRANSFER OF WILDLIFE FROM EXISTING BIRD HOLDING BUILDING TO NEW BIRD HOLDING BUILDING. IN ORDER NOT TO DISTURB WILDLIFE IN EXISTING BUILDING DURING CONSTRUCTION PROCESS.

**KEYED NOTES:**

- EXISTING SERVICE ENTRANCE.
- AMPHITHEATER. IN SEPARATE DESIGN PACKAGE.
- BIRD HOLDING BUILDING. IN SEPARATE DESIGN PACKAGE.
- EXISTING OFFICE HOUSE TO REMAIN.
- EXISTING WILSON PAVILION TO REMAIN.
- EXISTING BUILDINGS/STRUCTURE TO BE DEMOLISHED. IN SEPARATE DESIGN PACKAGE.
- TROPICAL AMERICAS EXHIBIT BUILDING. IN SEPARATE DESIGN PACKAGE.
- EXISTING MAIN ENTRANCE TO TRACY AVIARY.
- EXISTING LORIKEET BUILDING TO REMAIN.
- SHOTCRETE WALL BY OTHERS, SHOWN DASHED, IN SEPARATE DESIGN CONTRACT.
- ASPHALT. IN SEPARATE DESIGN PACKAGE.
- LANDSCAPING. IN SEPARATE DESIGN PACKAGE.
- WATERFALL. IN SEPARATE DESIGN PACKAGE.
- EXISTING ADA PARKING STALLS TO REMAIN.

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HOLDING  
BUILDING**

589 EAST 1300 SOUTH  
SALT LAKE CITY, UT 84105

SHEET NAME:

**B VICINITY & SITE  
PLAN**

REVISIONS

MARK	DATE	DESCRIPTION

ISSUE DATA

ISSUE DATE: 9/20/2011  
ISSUE TYPE: CONDOC  
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CHECKED BY: K. RIGBY

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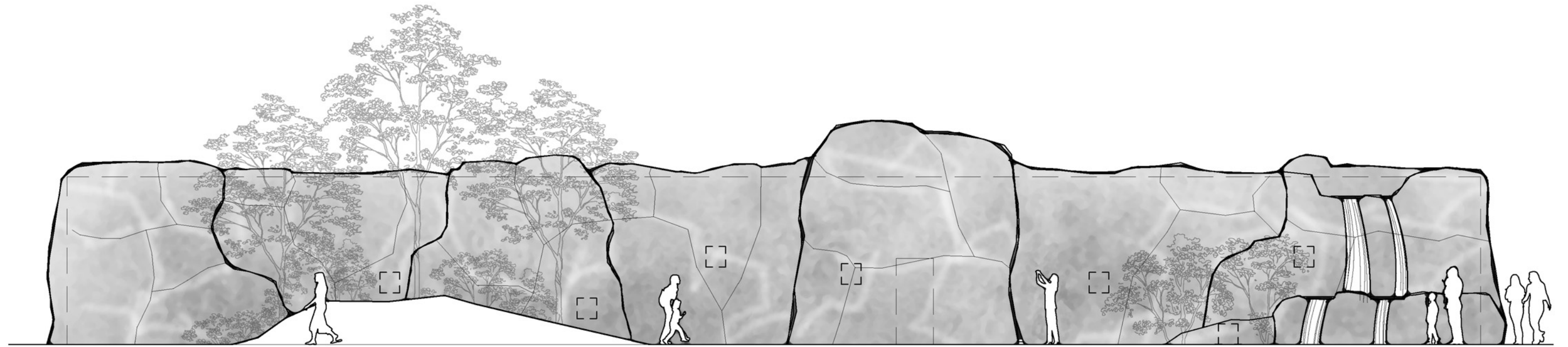
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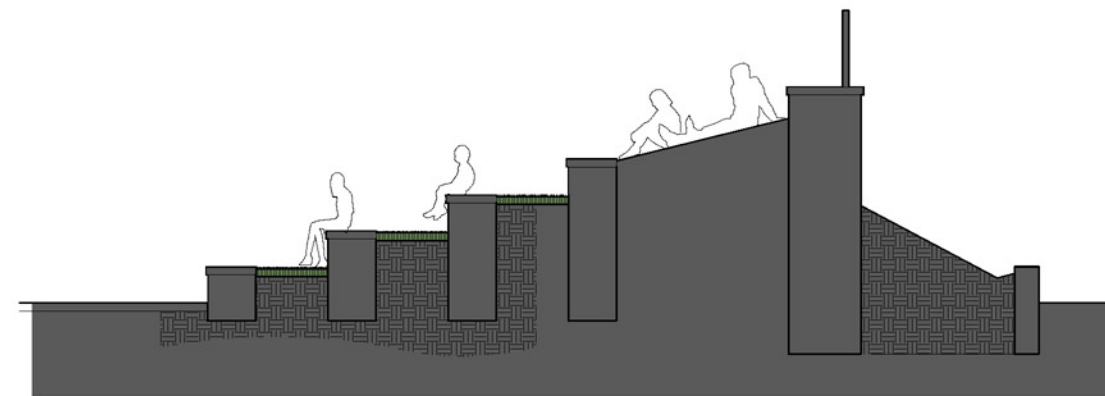
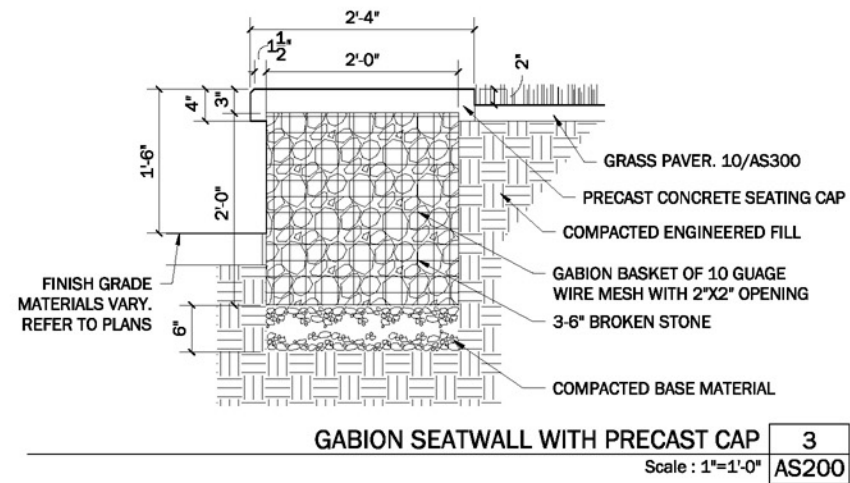




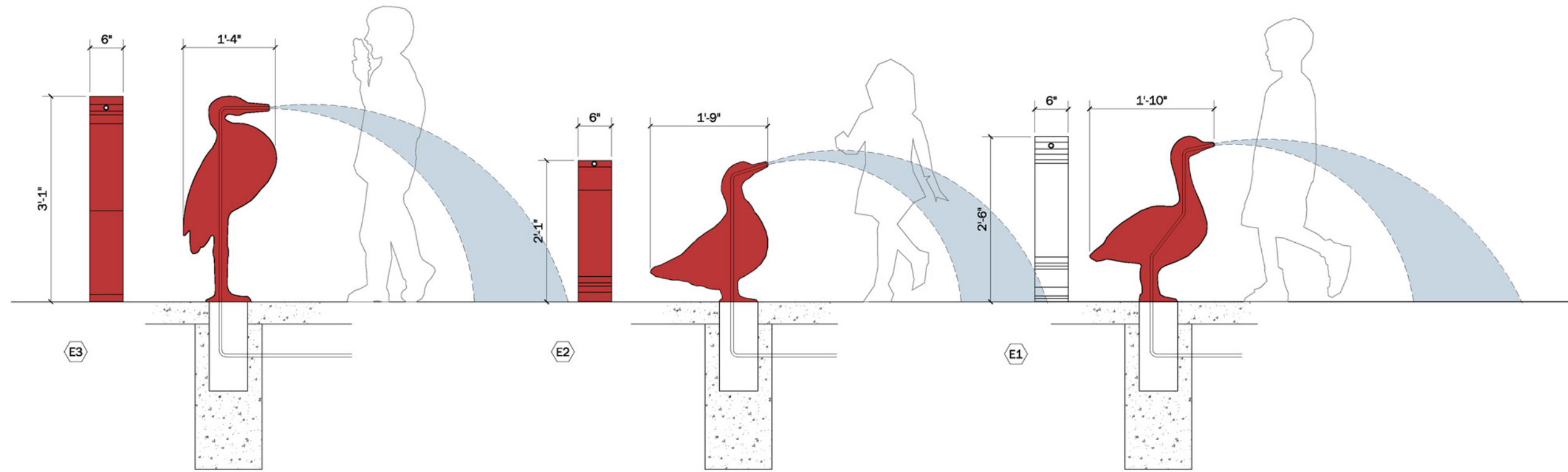
**Attachment B**  
Landscape Plan





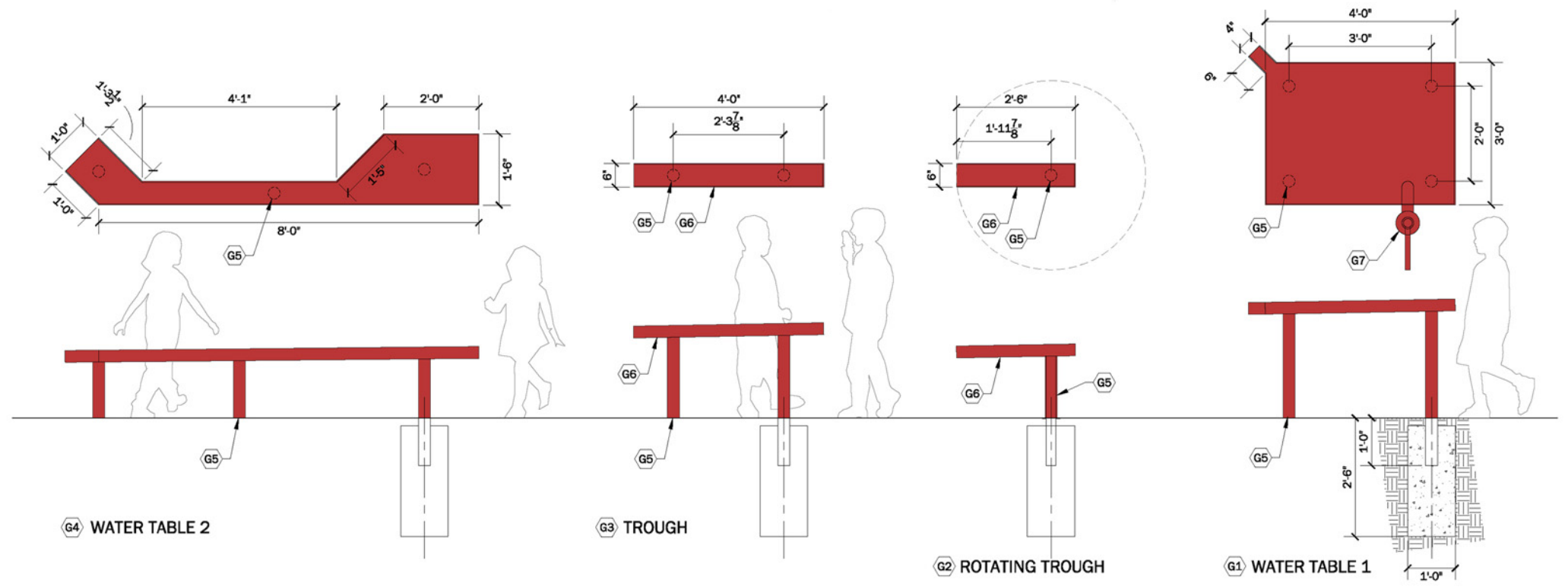
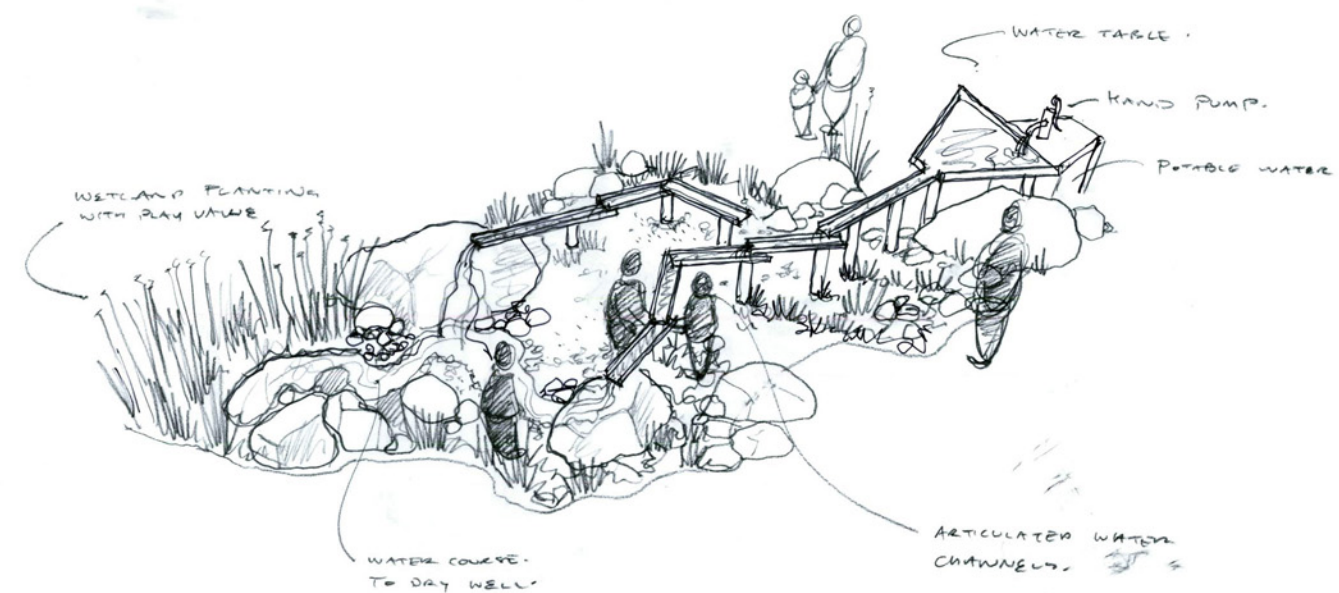
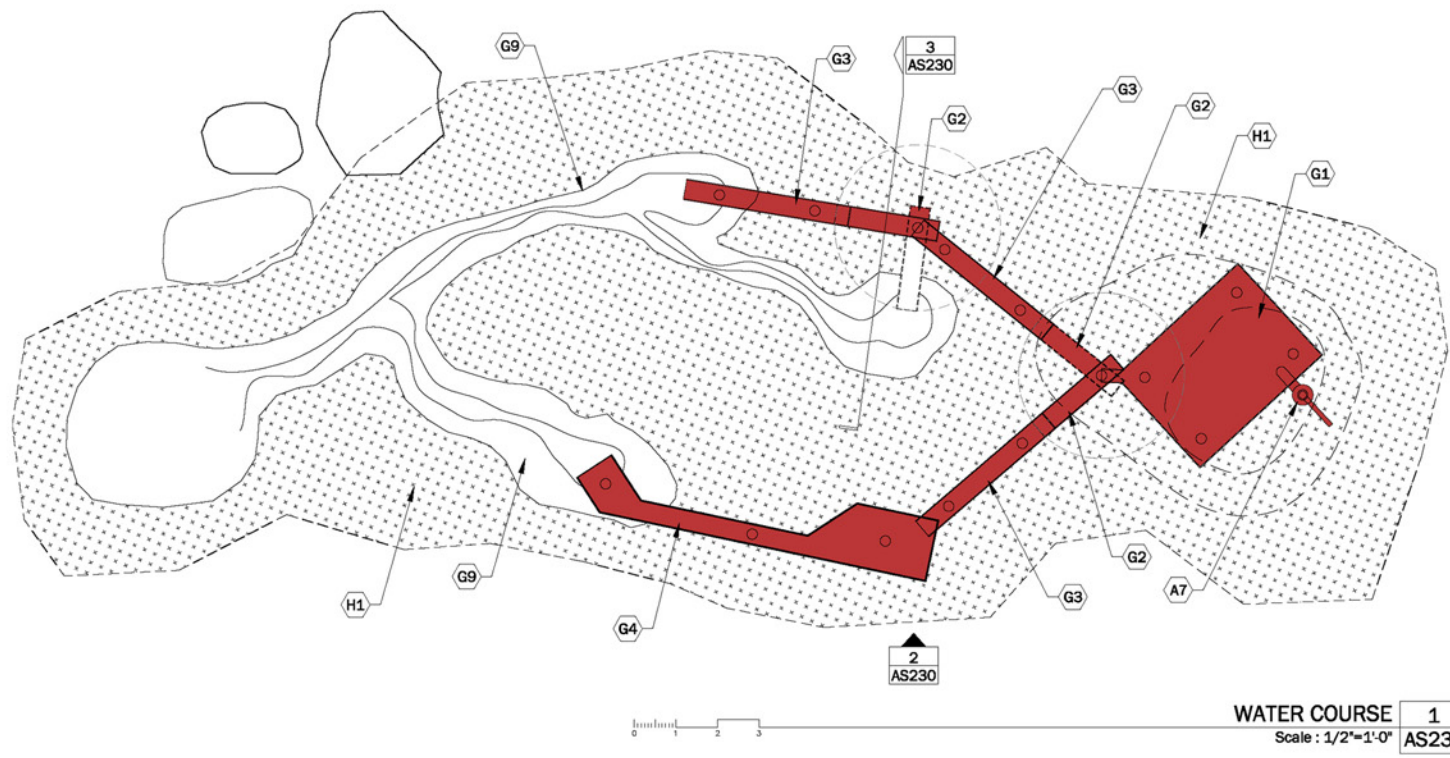




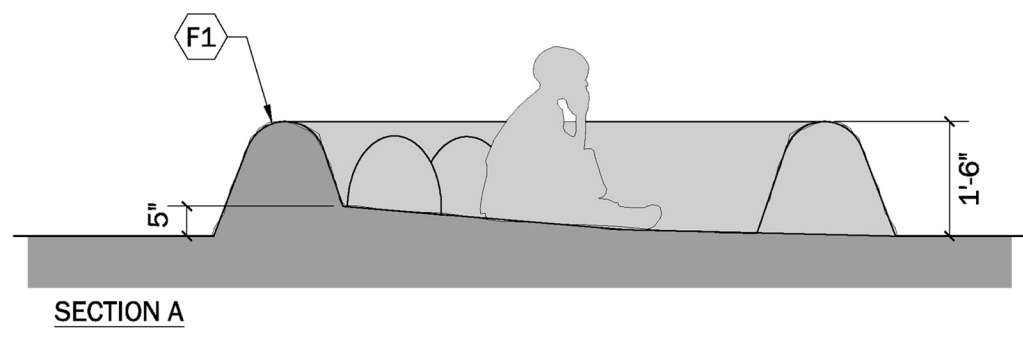
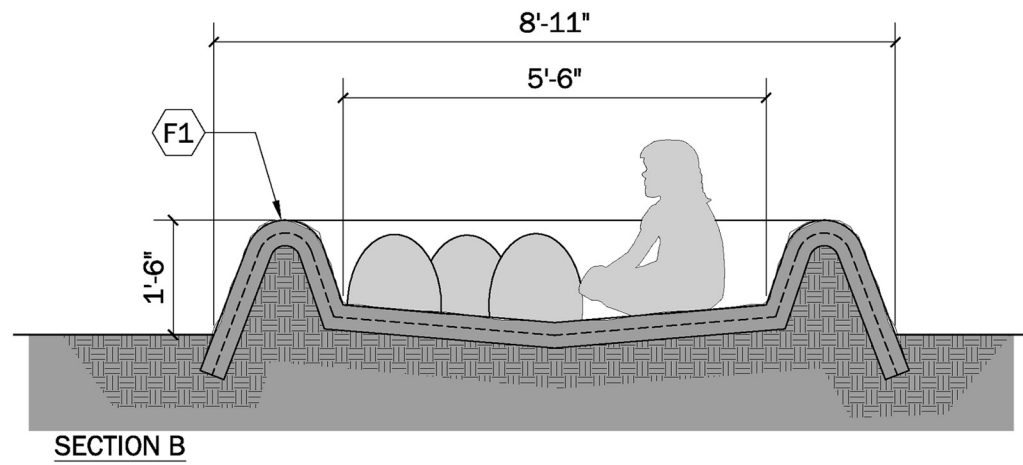


METAL BIRD SPRAY SILHOUETTES 2

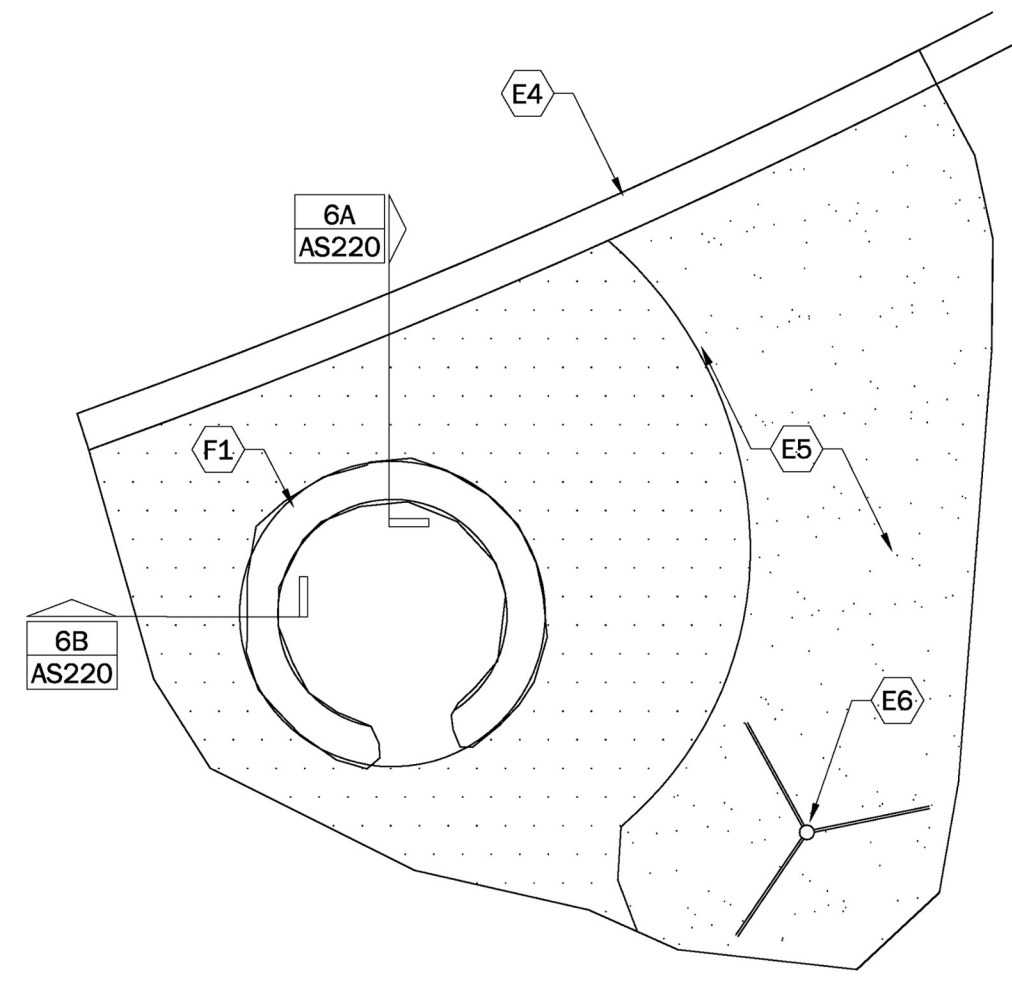
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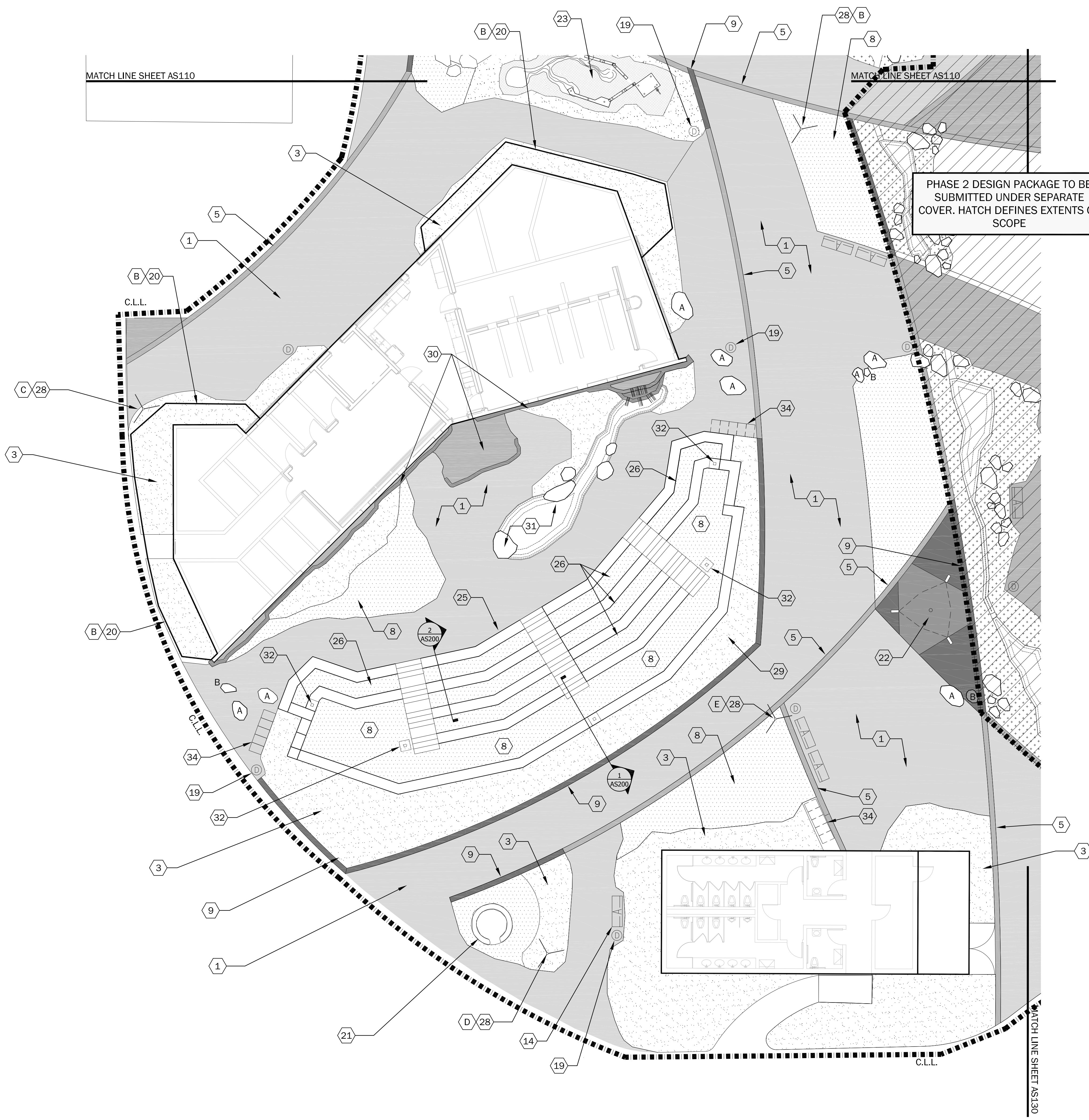
**WATER COURSE ELEMENTS 4**  
Scale: 3/4"=1'-0"  
AS230



0 1 2 3  
**FLAMINGO NEST SECTION** **6**  
 Scale : 1/2"=1'-0" **AS220**



0 1 2 3 5  
**FLAMINGO NEST FEATURE** **5**  
 Scale : 1/4"=1'-0" **AS220**



PHASE 2 DESIGN PACKAGE TO BE SUBMITTED UNDER SEPARATE COVER. HATCH DEFINES EXTENTS OF SCOPE

- LEGEND**
- 1 CONCRETE PAVEMENT. 1/AS300
  - 2 MACHINE CUT SCORE JOINTS AT 60" O.C. TYP.
  - 3 COLOURED CONCRETE PAVEMENT. 1/AS300
  - 4 MACHINE CUT SCORE JOINTS AT 60" O.C. TYP.
  - 5 LANDSCAPE AREA. REFER TO SHEET L200
  - 6 COMPACTED GRAVEL PAVEMENT. 5/AS310
  - 7 FLUSH COLOURED CONCRETE BAND. 0/0000
  - 8 EXISTING TREE TO REMAIN. PRESERVE & PROTECT
  - 9 FLOW LINE OF SWALE. REFER TO CIVIL DRAWINGS
  - 10 LAWN
  - 11 CONCRETE SEAT WALL WITH STAINED FINISH. 4/AS300
  - 12 FOSSIL SAND BOX. 3/AS220
  - 13 WETLAND / POLISHING POND. SEE CIVIL DRAWINGS
  - 14 BOULDER. WITH MINIMUM DIMENSIONS AS NOTED
  - 15 A=48x36x24, 3/AS300. B=36x24x24, 3/AS300
  - 16 LIMIT OF NEW PAVEMENT
  - 17 WOOD & STEEL BENCH. A = 6/AS300, B = 7/AS300
  - 18 EXISTING BRIDGE
  - 19 EXISTING POND 2
  - 20 EXISTING GRAVEL PAVEMENT TO REMAIN
  - 21 STEEL EDGE. 0/0000
  - 22 LITTER RECEPTACLE. 10/AS300
  - 23 EXHIBIT STAND OFF BARRIER TYPE A B 11/AS300
  - 24 FLAMINGO NEST FEATURE. 5/AS220
  - 25 BIRD THEMED SPRAY SHOWER. 1/AS220
  - 26 WATER PLAY, DISCOVERY GARDEN. 1/AS230
  - 27 BIRD SHOW AND AMPHITHEATRE
  - 28 GABION WALL WITH PRECAST CAP. 3/AS200
  - 29 GEOGRID PAVER WITH LAWN. 10/AS300
  - 30 EXISTING CONCRETE SIDEWALK TO REMAIN
  - 31 WAYFINDING SIGNAGE. 6/AS200
  - 32 not used
  - 33 BIRD SHOW STAGE WALL. 2/AS210
  - 34 BIRD SHOW WATER FEATURE. SEE SHEET W100
  - 35 BIRD SHOW PERCHING 6/AS200
  - 36 GRAVEL STREAM BED. REFER TO CIVIL DRAWINGS
  - 37 STROLLER PARKING AREA

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CONSULTANT

OWNER  
 TRACY AVIARY  
 589 EAST 1300 SOUTH  
 SALT LAKE CITY, UTAH 84105

PROJECT DESCRIPTION  
 PHASE 2C SITE

SHEET TITLE  
 SITE PLAN B

REVISIONS  
 MARK DATE DESCRIPTION

ISSUE DATE 26 OCT 2011  
 ISSUE TITLE CD 95%  
 SCALE AS NOTED  
 DRAWN BY PJB  
 CHECKED BY JF/JH

TA-2C  
 AS-120

SITE PLAN 1  
 Scale: 1"=10'-0"  
 AS120

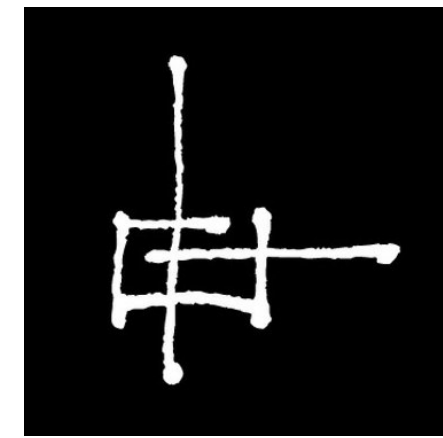
NOTE: NOT ALL KEY NOTES ARE APPLICABLE TO THIS SHEET

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**Attachment C**  
Site Plan and Elevations for Bird Holding Building



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PROJECT DESCRIPTION

TRACY AVIARY  
BIRD HOLDING  
BUILDING

589 EAST 1300 SOUTH  
SALT LAKE CITY, UT 84105

SHEET NAME:

COVER SHEET

REVISIONS

MARK	DATE	DESCRIPTION
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ISSUE DATA

ISSUE DATE:	
ISSUE TYPE:	SCHEM
DRAWN BY:	ajc
CHECKED BY:	K. RIGBY

SHEET NUMBER:

G1001

1115

SCHEM

# TRACY AVIARY BIRD HOLDING BUILDING

589 EAST 1300 SOUTH  
SALT LAKE CITY, UT 84105

OWNER

FRIENDS OF TRACY AVIARY

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PH #: 415.608.8371 CONTACT: Paul Svendsen

CIVIL

WARD ENGINEERING

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PH #: 801.487.8040 CONTACT: Sattar Tabriz

STRUCTURAL

DUNN ASSOCIATES

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PH #: 801.575.8877 CONTACT: Chris Olson

MECHANICAL/PLUMBING

COLVIN ENGINEERING

244 West 300 North  
Salt lake City, UT 84103  
PH #: 801.322.2400 CONTACT: Bret Christiansen

ELECTRICAL

ENVISION ENGINEERING

244 West 300 North, Suite 100  
Salt Lake City, UT 84103  
PH #: 801.534.1130 CONTACT: W. Kit Farley

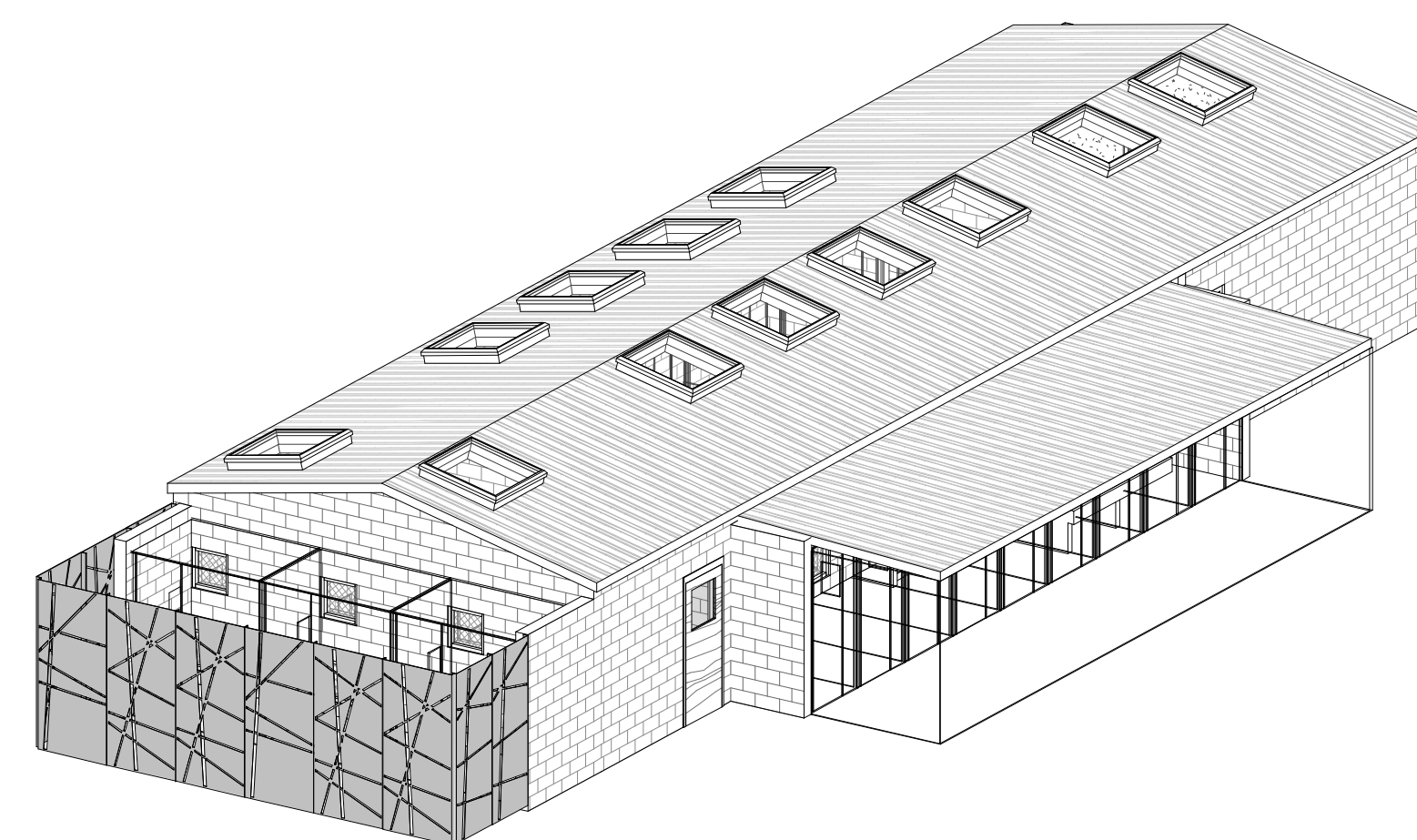
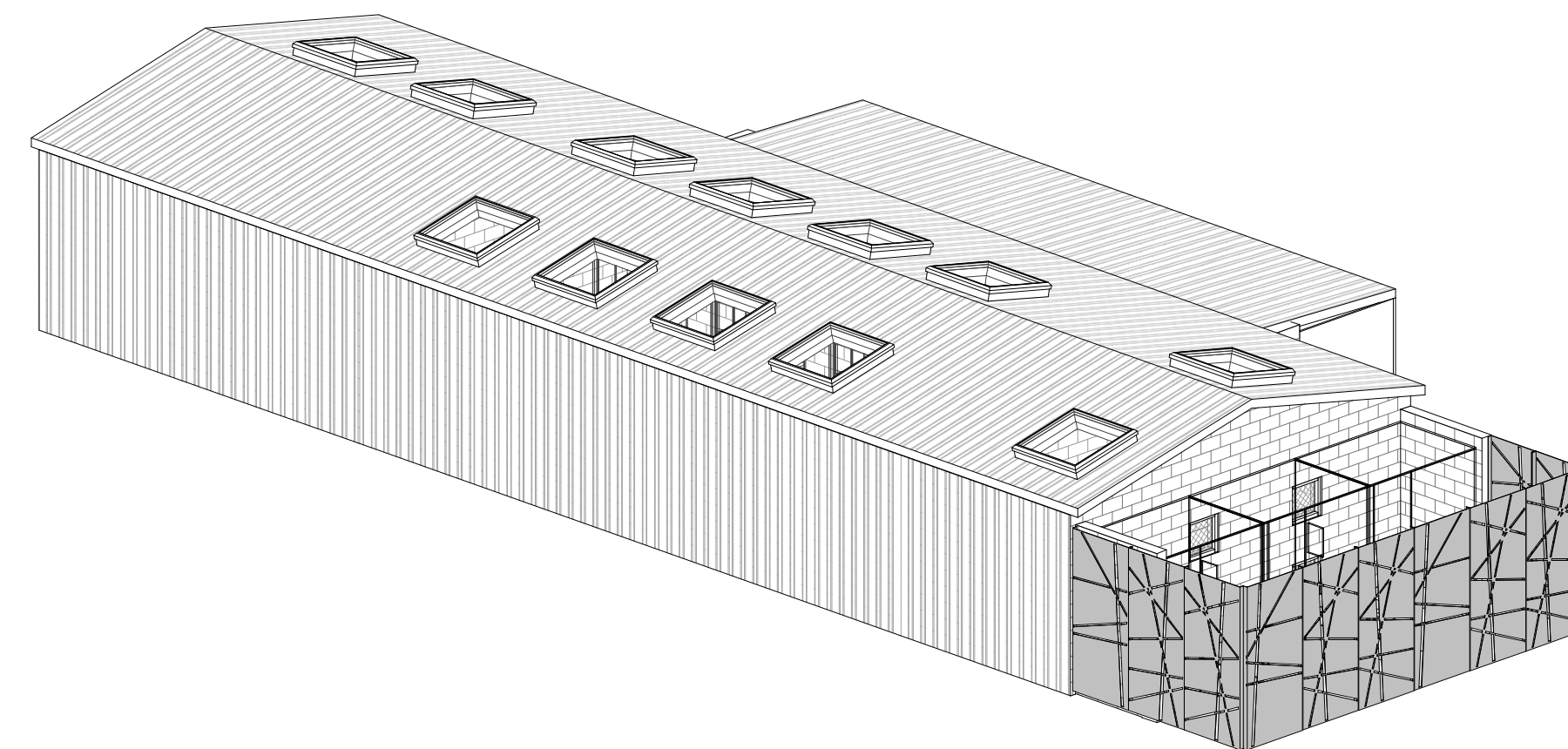
GENERAL CONTRACTOR

BIG-D CONSTRUCTION

404 West 400 South  
Salt Lake City, Utah 84101  
PH #: 801.415-6000 CONTACT: Forrest McNabb

## DRAWING INDEX:

G1001	COVER SHEET
G1003	ADA REQUIREMENTS
G1004	ADA REQUIREMENTS
AS101	VICINITY & SITE PLAN
AE001	CODE SHEET
AE002	GENERAL NOTES LEGENDS ABBREVIATIONS
AE003	WALL TYPES
AE101	LEVEL 1 FLOOR PLAN
AE104	LEVEL 1 REFLECTED CEILING PLAN
AE105	ROOF PLAN
AE201	BUILDING ELEVATIONS
AE202	BUILDING ELEVATIONS
AE301	BUILDING SECTIONS
AE601	DOOR SCHEDULE
AE602	WINDOW TYPES
AE603	FINISH SCHEDULE







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1 | 2 | 3 | 4 | 5

KEYED NOTES:

GENERAL NOTES AND LEGEND:

- SEE SHEET AE001 FOR GENERAL NOTES.
- SEE TITLE SHEET FOR DRAWING INDEX.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

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PROJECT DESCRIPTION

TRACY AVIARY  
 BIRD HOLDING  
 BUILDING

589 EAST 1300 SOUTH  
 SALT LAKE CITY, UT 84105

SHEET NAME:

LEVEL 1 FLOOR  
 PLAN

REVISIONS

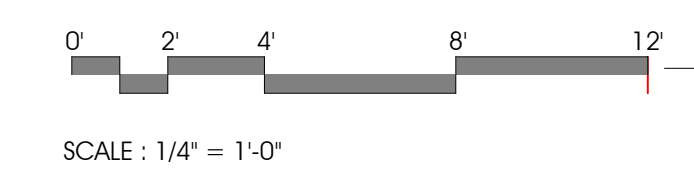
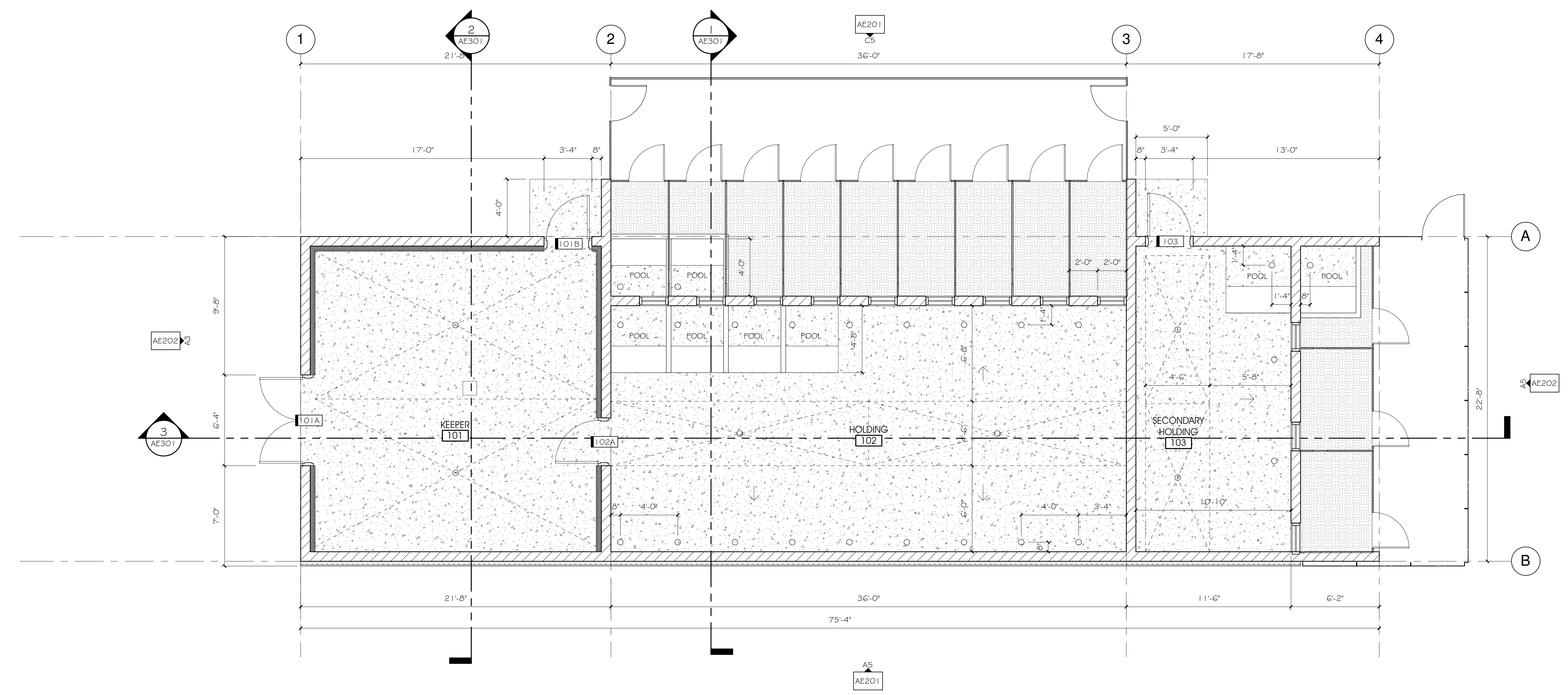
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CHECKED BY:	Checker

SHEET NUMBER:

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LEVEL 1 - PLAN A4  
 1/4" = 1'-0" AE101

1 | 2 | 3 | 4 | 5

D

C

B

A

1

2

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4

5

KEYED NOTES:

GENERAL NOTES AND LEGEND:

- SEE SHEET AE001 FOR GENERAL NOTES.
- SEE TITLE SHEET FOR DRAWING INDEX.
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PROJECT DESCRIPTION

**TRACY AVIARY  
BIRD HOLDING  
BUILDING**

589 EAST 1300 SOUTH  
SALT LAKE CITY, UT 84105

SHEET NAME:

**ROOF PLAN**

REVISIONS

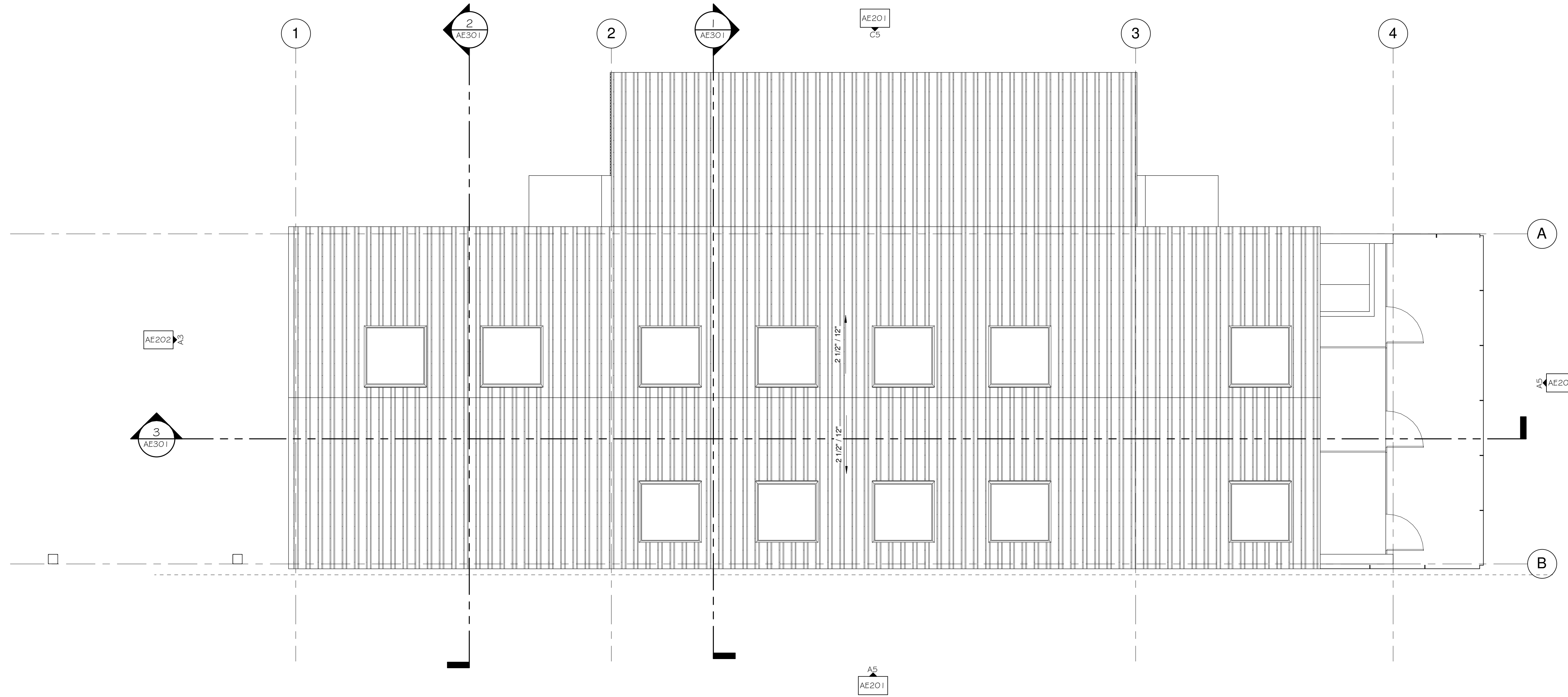
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SCALE: 1/4" = 1'-0"

ROOF PLAN 1  
1/4" = 1'-0" AE105



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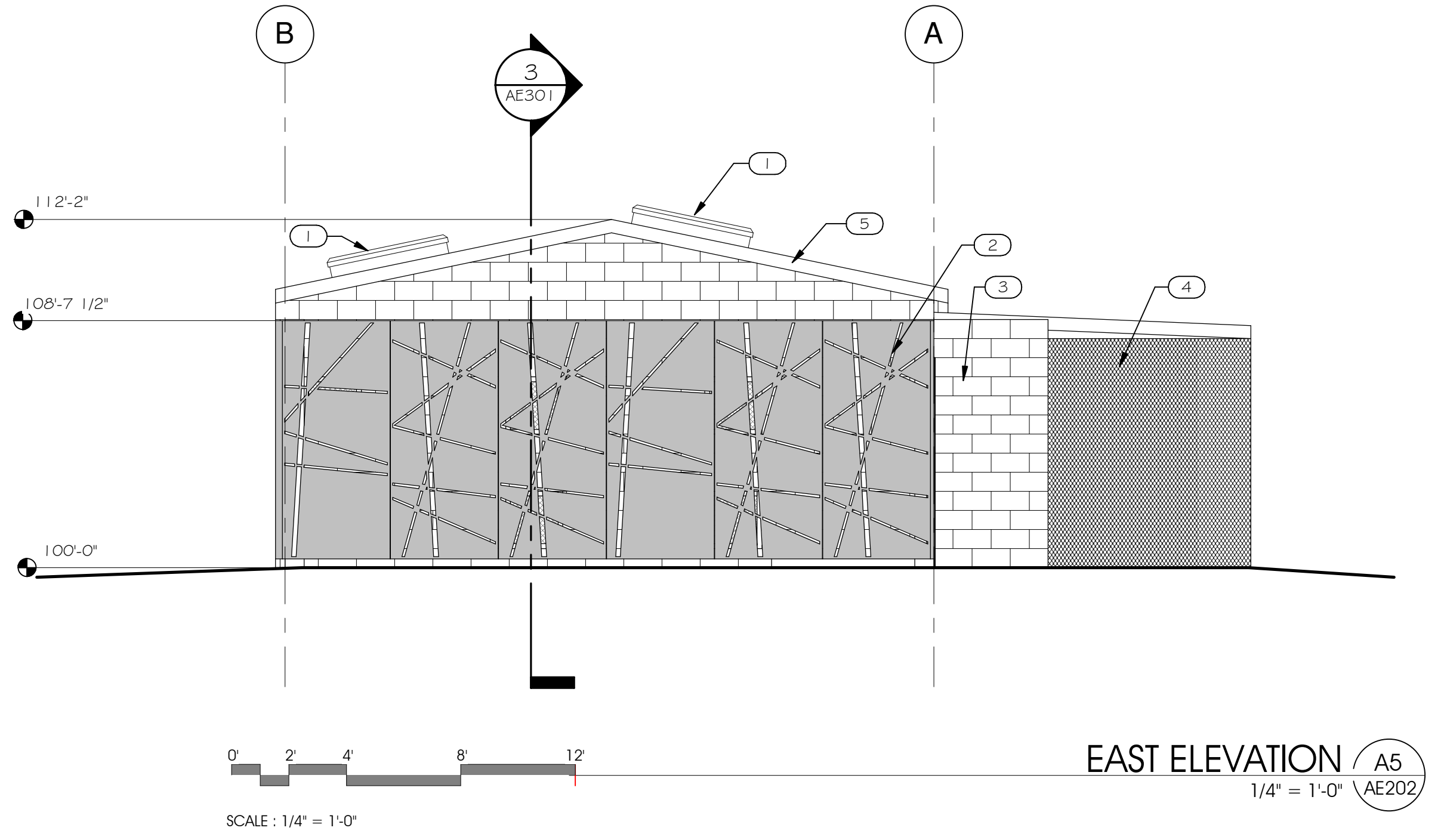
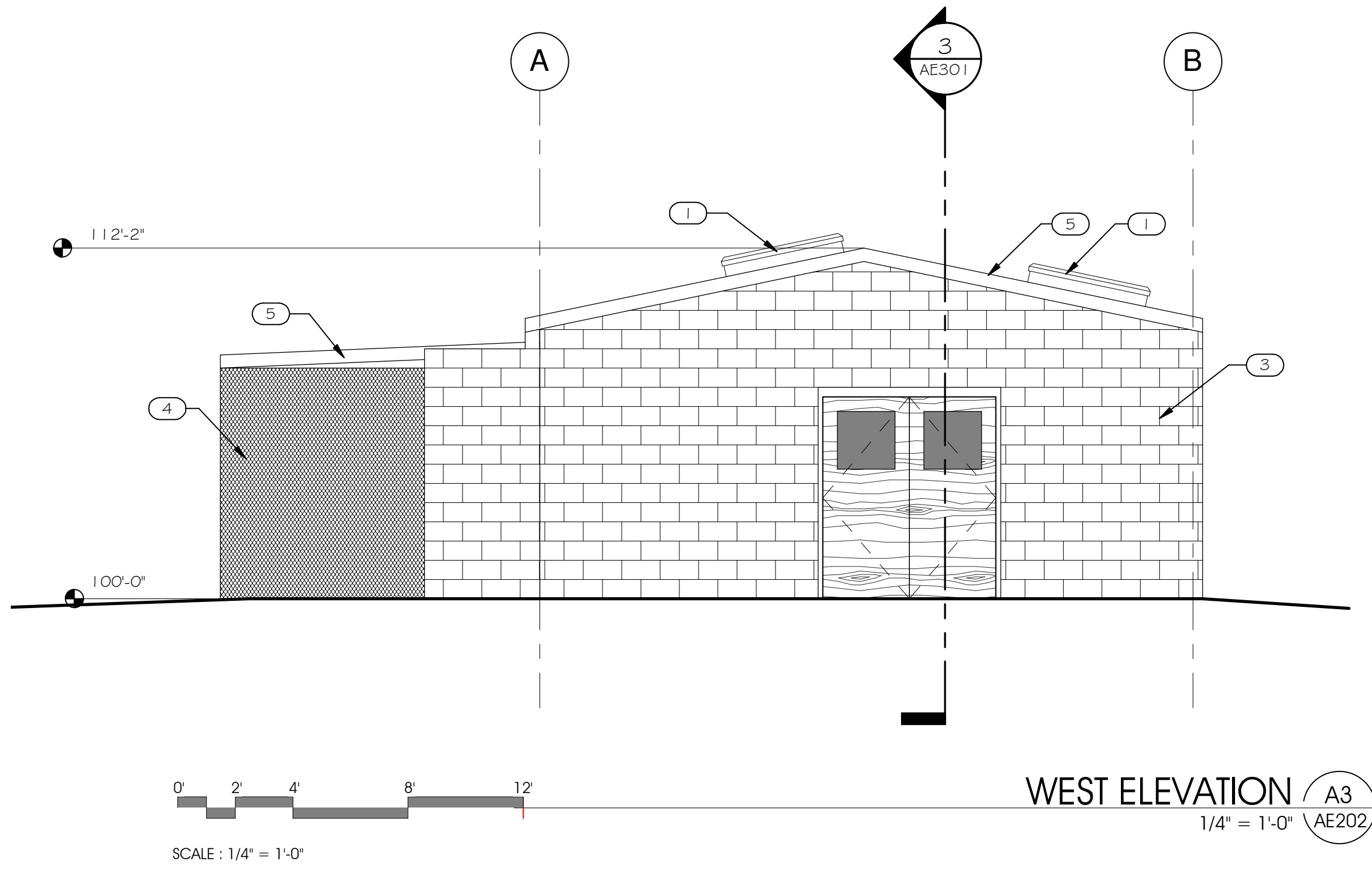
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KEYED NOTES:

- 1 SKYLIGHT, TYP.
- 2 PRE-FINISHED DECORATIVE METAL PANELS.
- 3 8" CMU WALL
- 4 GALVANIZE METAL MESH BIRD CAGING.
- 5 PRE-FINISHED METAL FASCIA.

ARCHITECT 1115



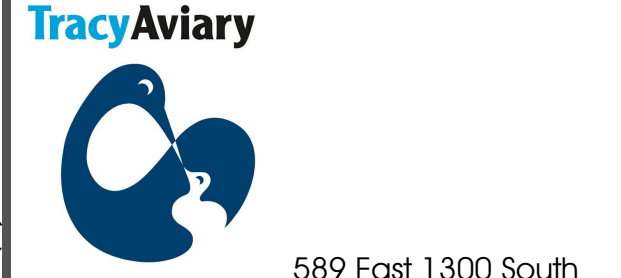
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PROJECT DESCRIPTION

TRACY AVIARY  
BIRD HOLDING  
BUILDING

589 EAST 1300 SOUTH  
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SHEET NAME:

BUILDING  
ELEVATIONS

REVISIONS

MARK	DATE	DESCRIPTION

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