



Memorandum

Planning Division
Community & Economic Development Department

To: Historic Landmark Commission

From: Robin Zeigler, Senior Planner

Date: May 27, 2009

Re: PLNHLC2009-00152, Reservoir Park

The Salt Lake City Historic Landmark Commission originally heard case number PLNHLC2009-00152 for partial demolition of the reservoir at Reservoir Park on May 6, 2009 and made a decision to approve the request with conditions. Demolition of the reservoir was approved; however, Public Utilities must return to the commission with a final design before bringing in fill and landscaping. In addition, all trees should be preserved unless otherwise recommended by the Urban Forester, there should be features to tie the park into one unit, and the design should involve the Police Department and Urban Forester.

Attached is the final landscape plan as required in the May approval.

The University Neighborhood Council requested that the memo submitted at the beginning of the May meeting be resubmitted along with a two-page executive summary. These comments are attached also. An additional comment was received via email on May 18th from Laith Shedadeh, which reads:

Hi my name is laith and I love to skate. I think it would be awesome to build a skate park over the reservoir and I would really appreciate it if you could. It would be much better then just regular skating at the avenues. Thanks a lot for the consideration.

The policy of the design guidelines in terms of site features is that "historic landscape features that survive should be preserved when feasible. In addition, new landscape features should be compatible with the historic context." Specifically:

- 1.8 Preserve the historic grading design of the site. Altering the overall appearance of the historic grading is inappropriate. While some changes may be considered, these should remain subordinate and the overall historic grading character shall be preserved.
- 1.9 Preserve historically significant planting designs. For example if a row of street trees is an established historic feature, this should be preserved. Existing trees in such a setting that are in good condition should be maintained. If removal of a tree is necessary, replacing with a species that is similar in character to that used historically should be considered. Retaining historic planting beds, landscape features and walkways also is encouraged.

The site does not have existing historic landscaping and the majority of existing plant life is proposed to remain. The grading will only change slightly.

Since the project has been approved and the landscape plan meets the design guidelines, staff recommends issuance of a Certificate of Appropriateness for the complete project.

ATTACHMENTS:

Landscape Plan
University Neighborhood comments

1.9 Preserve historically significant planting designs. For example if a row of street trees is an established historic feature, this should be preserved. Existing trees in such a setting that are in good condition should be maintained. If removal of a tree is necessary, replacing with a species that is similar in character to that used historically should be considered. Retaining historic planting beds, landscape features and walkways also is encouraged.

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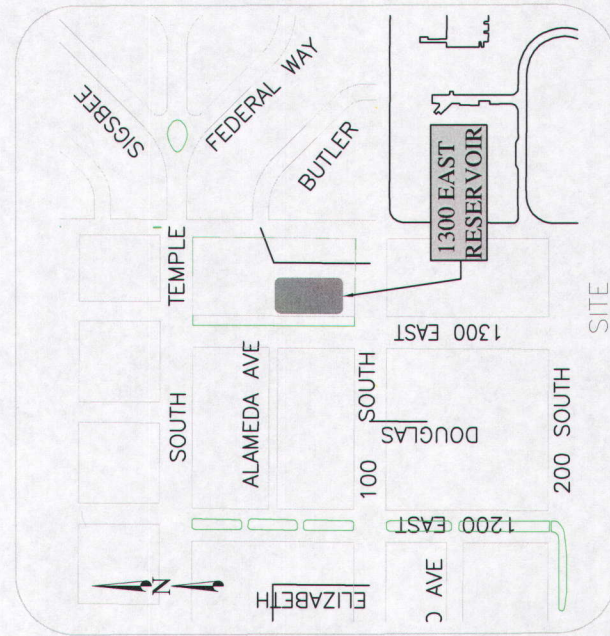
Since the project has been approved and the landscape plan meets the design guidelines, staff recommends issuance of a Certificate of Appropriateness for the complete project.

ATTACHMENTS:

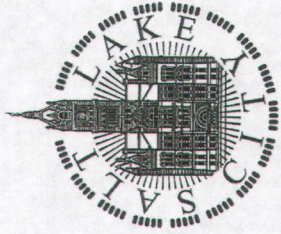
Landscape Plan
University Neighborhood comments

SALT LAKE CITY CORPORATION

PUBLIC UTILITIES DEPARTMENT



DESIGNED BY
FORSGREN
Associates, Inc.
 370 EAST 500 SOUTH, #200
 SALT LAKE CITY, UTAH 84111

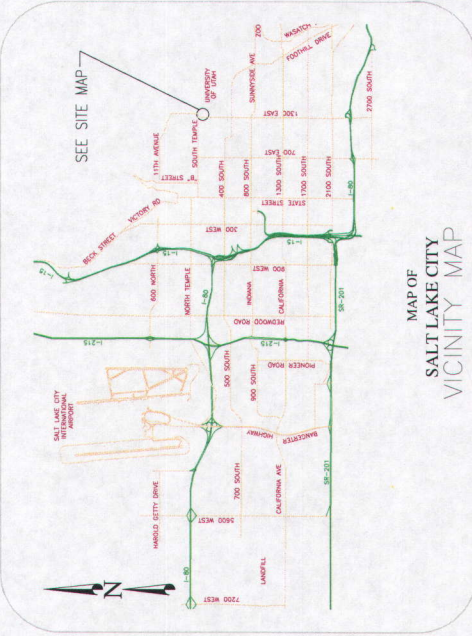


CONSTRUCTION PLANS FOR:

1300 EAST RESERVOIR DEMOLITION JOB NO. 5090041

INDEX OF DRAWINGS

DRAWING ID.	SHEET NO.	DRAWING TITLE
G-01	1	COVER SHEET
G-02	2	GENERAL NOTES AND LEGEND
CD-01	3	SITE DEMOLITION PLAN
CD-02	4	RESERVOIR SECTIONS AND DETAILS
CB-01	5	ALTERNATE SITE GRADING PLAN
CI-01	6	SITE IRRIGATION PLAN
CI-02	7	IRRIGATION SYSTEM DETAILS
D-01	8	WALL DETAILS



RALPH BECKER - MAYOR

- CITY COUNCIL
- CARLTON J. CHRISTENSEN
 - VAN TURNER
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 - LUKE GARROTT
 - JILL REMINGTON LOVE
 - J.T. MARTIN
 - SOREN D. SIMONSEN

APPROVED
 JEFFREY T. NERMEYER, P.E.
DIRECTOR OF PUBLIC UTILITIES



APPROVED

CHARLES H. CALL JR., P.E.
CHIEF ENGINEER

	PRESENTED TO THE WORK OF SALT LAKE CITY APPROVED _____ DATE _____ THE _____ DAY OF _____, 20____ CITY RECORDS	APPROVALS DATE _____ DATE _____ CITY MANAGER _____ FIRE MARSHAL _____	REVISIONS NO. DATE BY _____ _____ _____	5090041 JOB NO.
	SALT LAKE CITY CORPORATION DEPARTMENT of PUBLIC UTILITIES 1450 SOUTH WEST PEACOCK SALT LAKE CITY, UTAH 84115	COVER SHEET 1300 EAST 100 SOUTH	BEARING ID.	5090041

LEGEND

PLAN VIEW	EXISTING	PROPOSED	PLAN VIEW	EXISTING	PROPOSED
PROPERTY OR R/W LINE	---	---	SIGN	PP	PP
EASEMENT LINE	---	---	POWER POLE	PP	PP
STREET MONUMENT LINE	---	---	TELEPHONE BOX	DTB	DTB
WIRE FENCE	---	---	SANITARY SEWER MANHOLE	SS	SS
CHAIN LINK FENCE	---	---	STORM DRAIN MANHOLE	SD	SD
CONTOUR LINE	4250.0	4250.0	CONIFEROUS TREE	CT	CT
SPOT ELEVATION	4250.0	4250.0	TREE/SHRUB	3' Ø	3' Ø
BANK SLOPES	---	---	CONTROL POINT	CP	CP
STORM DRAIN LINE	---	---			
WATER LINE	---	---			
GAS LINE	---	---			
TELEPHONE CABLE	---	---			
ELECTRIC CABLE	---	---			
SANITARY SEWER LINE	---	---			
IRRIGATION LINE	---	---			
SECONDARY WATER	---	---			
ASPHALT PAVING	---	---			
FIRE HYDRANT	---	---			
VALVE, WATER OR GAS	---	---			
WATER METER	---	---			
CATCH BASIN	---	---			
CLEAN OUT BOX	---	---			
POLE & ANCHOR	---	---			
STREET LIGHT	---	---			
STRUCTURE	---	---			
CURB & GUTTER	---	---			
SIDEWALK	---	---			

SECTION VIEW	EXISTING	PROPOSED
CONCRETE	[Pattern]	[Pattern]
ASPHALT PAVEMENT	[Pattern]	[Pattern]
SAND	[Pattern]	[Pattern]
UNDISTURBED SOIL	[Pattern]	[Pattern]
RIP RAP/SEWER ROCK	[Pattern]	[Pattern]
UNTREATED BASE COURSE	[Pattern]	[Pattern]
STRUCTURAL FILL	[Pattern]	[Pattern]

GENERAL NOTES

- PROJECT CONSTRUCTION WILL USE AFWA STANDARD SPECIFICATIONS AND DRAWINGS, SPECIAL PROVISIONS LISTED IN BID PACKAGE, AND DETAILS SHOWN IN PLAN SET.
- CONTRACTOR TO NOTIFY THE FOLLOWING 48 HOURS PRIOR TO DEMOLITION:
 - SALT LAKE CITY DEPARTMENT OF PUBLIC UTILITIES @ 801-483-6764 TO SCHEDULE
 - THE UTAH TRANSIT AUTHORITY FOR REROUTING SERVICE @ 801-292-5626 FOR
 - SALT LAKE CITY PARKS DEPARTMENT 801-972-7800
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMIT(S) AND COMPLY WITH ALL REQUIREMENTS.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE SALT LAKE CITY DEPARTMENT OF PUBLIC UTILITIES CHIEF ENGINEER.
- ALL UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL UTILITIES AND SERVICE LATERALS (WHETHER OR NOT SHOWN ON THE PLANS), AND FOR REPAIRING ALL DAMAGE THAT OCCURS TO THE UTILITIES DURING CONSTRUCTION.
- ALL SALT LAKE CITY DEPARTMENT OF PUBLIC UTILITIES SURVEY STAKES AND MARKERS WILL BE PROTECTED AND LEFT IN PLACE UNTIL FINAL MEASUREMENTS ARE COMPLETED.
- CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH CITY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR WILL BE RESPONSIBLE FOR DUST CONTROL, ACCORDING TO GOVERNING AGENCIES STANDARDS: WET DOWN DRY MATERIALS AND RUBBER TO PREVENT BLOWING.
- CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO AND REPAIR OF ADJACENT SURFACE IMPROVEMENTS DURING CONSTRUCTION.
- CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING STORM DRAINS.
- CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS NECESSARY TO COMPLETE THE PROJECT.
- TRAFFIC CONTROL TO CONFORM TO THE CURRENT CITY TRAFFIC BARRICADE MANUAL.
- CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POTTING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTOR NEGLECTING TO POTT HOLE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER.
- ALL CONSTRUCTION WILL CONFORM WITH UTAH PUBLIC WORKS GENERAL CONDITIONS AND STANDARD SPECIFICATIONS FOR CONSTRUCTION (1991 EDITION) AND STANDARD PLANS FOR PUBLIC FACILITIES CONSTRUCTION, SALT LAKE CITY CORPORATION (MARCH 1993 EDITION).
 - AMEND THE ABOVE DOCUMENTS AS FOLLOWS:
 - STANDARD PLAN PB-02-01 - DELETE NOTE 5 IN ITS ENTIRETY.
 - STANDARD PLAN PB-02-01 - IF INSTALLING FLEXIBLE PIPE, CHANGE NOTE 1 TO READ "PLACE GRADED GRANULAR BACKFILL (MAXIMUM 3/4" SIZE) IN PIPE ZONE AT OPTIMUM MOISTURE IN HORIZONTAL 8' DEEP LAYERS. COMPACT TO 96% ASTM D698 DRY DENSITY WITH NO DENSITY TEST LESS THAN 92%."
- ALL ELEVATIONS ARE U.S.G.S. DATUM.
- CONTRACTOR SHALL INSTALL INVERT COVERS IN ALL SEWER MANHOLES IN THE PROJECT AREA.
- CONTRACTOR TO NOTIFY UTILITY COMPANIES 2 WEEKS IN ADVANCE OF UTILITY CONFLICTS REQUIRING RELOCATION OF MANHOLES, 1 WEEK IN ADVANCE OF CONFLICTS REQUIRING RELOCATION OF SERVICE LATERALS.

FORSYTH
 370 EAST 500 SOUTH
 SUITE 200
 SALT LAKE CITY, UTAH 84111

DATE: MAY 2009
 DESIGNED BY: J. WILLIAMS
 DRAWN BY: J. WILLIAMS
 CHECKED BY: J. PRESTWICH
 HORIZ: NONE
 SCALE: VERT NONE
 SHEET 2 OF 8 SHEETS



811
 CALL FOR THE BLUE STAKES
 BEFORE YOU DIG
 CALL 811

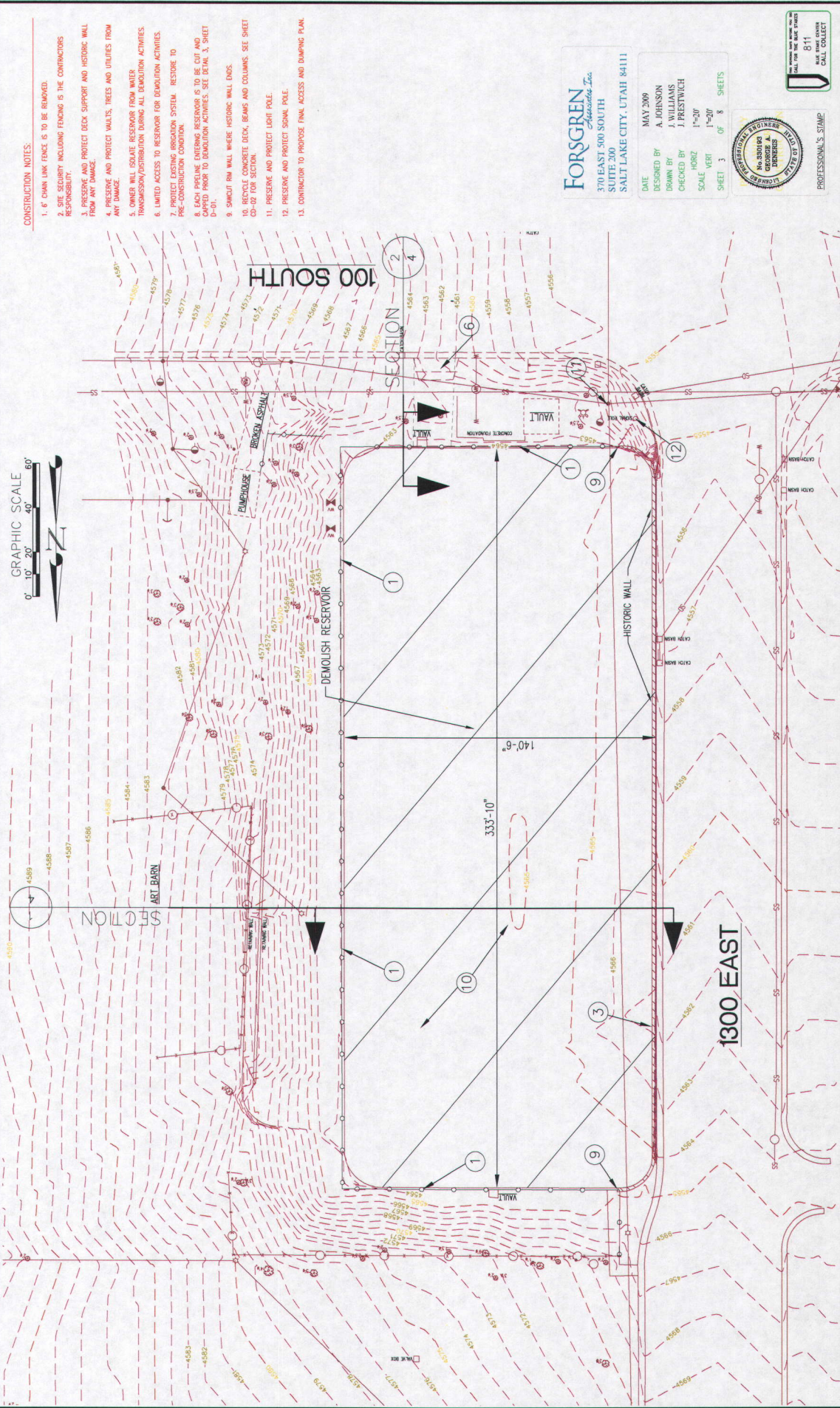
5090041
 0508
 0508

NO.	DATE	BY	REVISIONS

**1300 EAST RESERVOIR
 GENERAL NOTES**

SALT LAKE CITY CORPORATION
 DEPARTMENT OF PUBLIC UTILITIES
 1530 SOUTH WEST TOWER
 SALT LAKE CITY, UTAH 84115





- CONSTRUCTION NOTES:**
1. IF CHAIN LINK FENCE IS TO BE REMOVED.
 2. SITE SECURITY INCLUDING FENCING IS THE CONTRACTORS RESPONSIBILITY.
 3. PRESERVE AND PROTECT DECK SUPPORT AND HISTORIC WALL FROM ANY DAMAGE.
 4. PRESERVE AND PROTECT VAULTS, TREES AND UTILITIES FROM ANY DAMAGE.
 5. OWNER WILL ISOLATE RESERVOIR FROM WATER TRANSMISSION/DISTRIBUTION DURING ALL DEMOLITION ACTIVITIES.
 6. LIMITED ACCESS TO RESERVOIR FOR DEMOLITION ACTIVITIES.
 7. PROTECT EXISTING IRRIGATION SYSTEM. RESTORE TO PRE-CONSTRUCTION CONDITION.
 8. EACH PIPELINE ENTERING RESERVOIR IS TO BE CUT AND CAPPED PRIOR TO DEMOLITION ACTIVITIES. SEE DETAIL 3, SHEET 4-01.
 9. SWICUT RAIL WALL WHERE HISTORIC WALL ENDS.
 10. RECYCLE CONCRETE DECK, BEAMS AND COLUMNS. SEE SHEET CD-02 FOR SECTION.
 11. PRESERVE AND PROTECT LIGHT POLE.
 12. PRESERVE AND PROTECT SIGN POLE.
 13. CONTRACTOR TO PROPOSE FINAL ACCESS AND DUMPING PLAN.

FORSYTH
Associates, Inc.
 370 EAST 500 SOUTH
 SUITE 200
 SALT LAKE CITY, UTAH 84111

DATE: MAY 2009
 DESIGNED BY: A. JOHNSON
 DRAWN BY: J. WILLIAMS
 CHECKED BY: J. PRESTWICH
 HORZ: 1"=20'
 SCALE: VERT: 1"=20'
 SHEET 3 OF 8 SHEETS



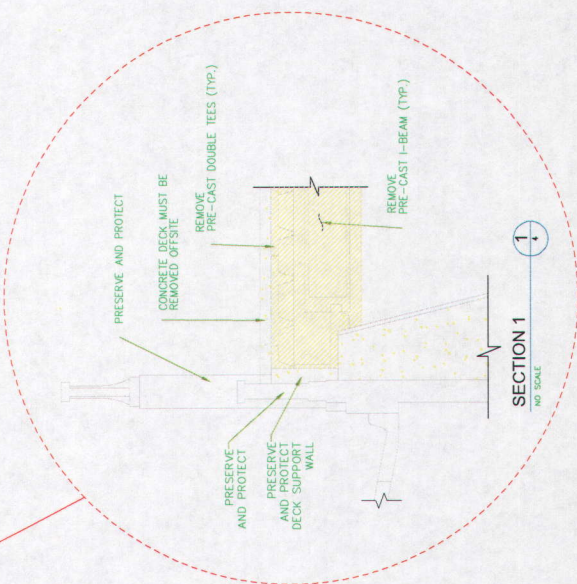
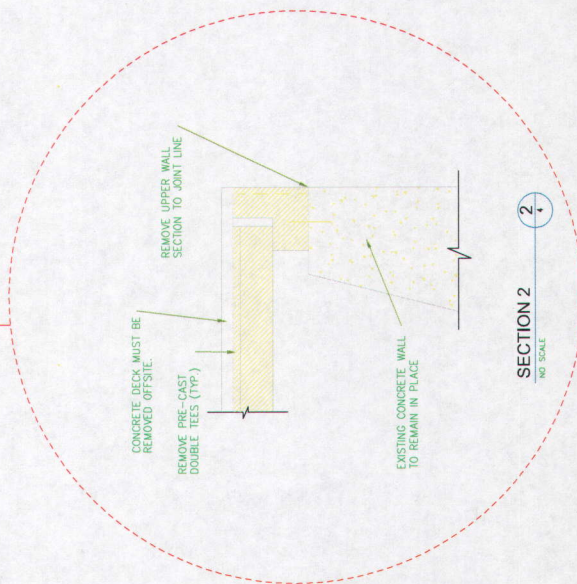
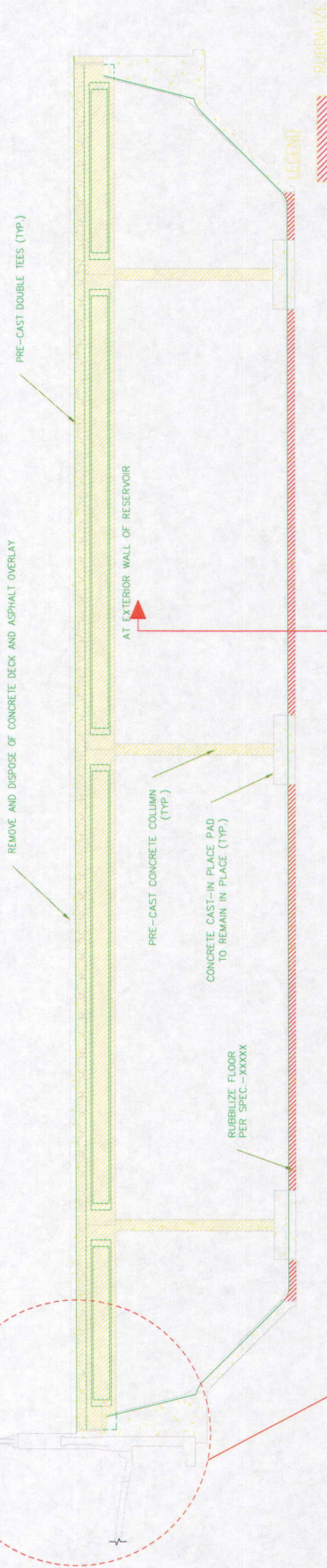
NO.	DATE	REVISIONS

**1300 EAST RESERVOIR
 SITE DEMOLITION PLAN**

SALT LAKE CITY CORPORATION
DEPARTMENT of PUBLIC UTILITIES
 1520 SOUTH WEST FERRIS
 SALT LAKE CITY, UTAH 84115



SECTION THRU RESERVOIR
SCALE 3/16" = 1'-0"



NOTES
1. ALL CONCRETE MAY BE LEFT ONSITE AFTER REBAR HAS BEEN REMOVED UNLESS OTHERWISE SPECIFIED.

FORSYTH
Associates, Inc.
370 EAST 300 SOUTH
SUITE 300
SALT LAKE CITY, UTAH 84111

DATE: MAY 2009
DESIGNED BY: J. WILLIAMS
DRAWN BY: J. WILLIAMS
CHECKED BY: J. PRESTWICH
HORZ: 3/16"=1'
SCALE: VERT: NONE
SHEET: 4 OF 8 SHEETS



811
CALL FOR THE BEST SERVICE
CALL & COLLECT

NO.	DATE	REVISIONS

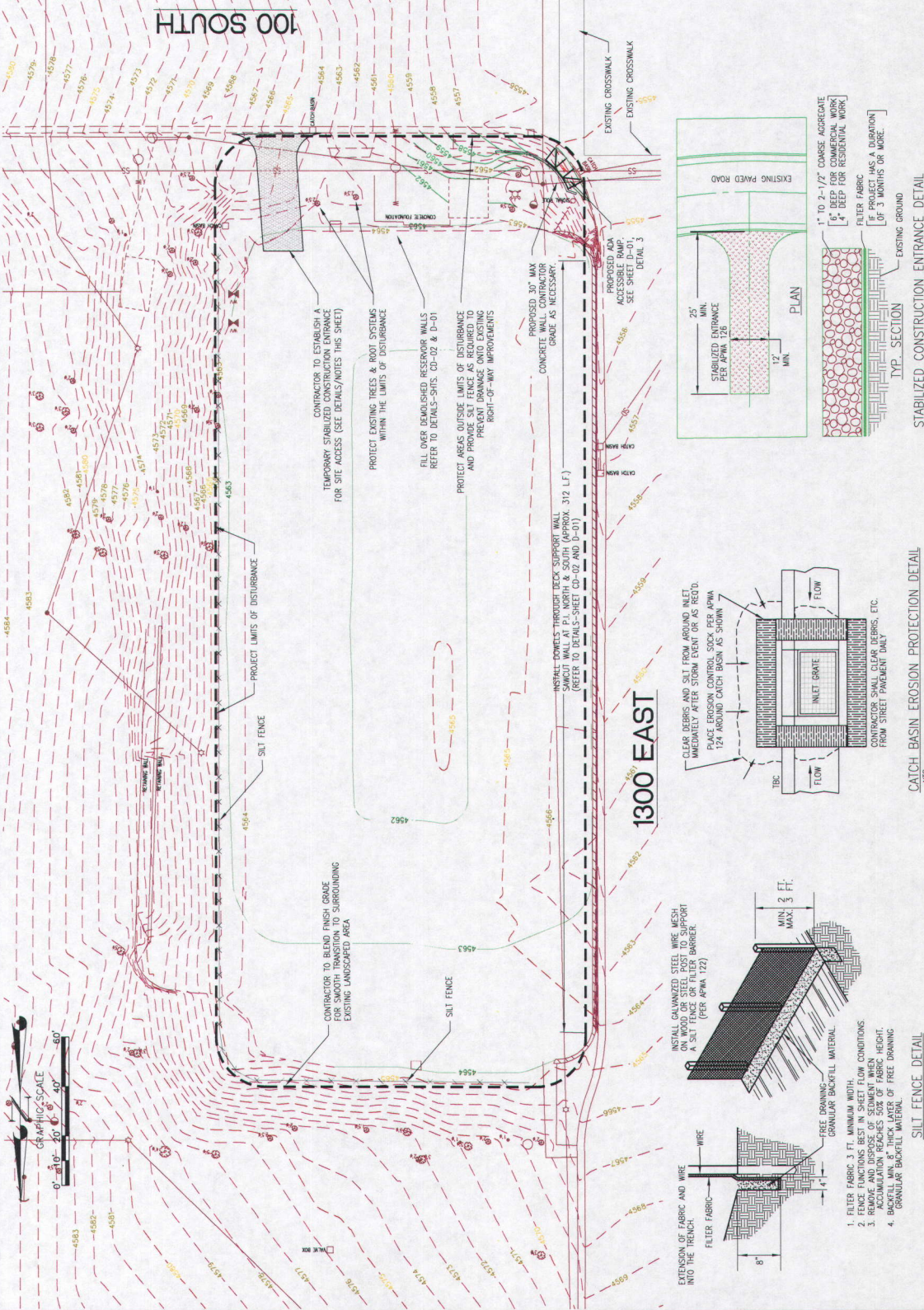
1300 EAST RESERVOIR
RESERVOIR SECTION AND DETAIL

SALT LAKE CITY CORPORATION
DEPARTMENT OF PUBLIC UTILITIES
1525 SOUTH WEST FORDE
SALT LAKE CITY, UTAH 84115



5090041
JOB NO.
DRAWING ID.

- EROSION CONTROL NOTES:**
1. ALL EROSION CONTROL ACTIVITIES SHALL COMPLY WITH SALT LAKE COUNTY ORDINANCES AND SPECIFICATIONS.
 2. ALL NATIVE TREES WILL REMAIN OUTSIDE OF THE LIMITS OF DISTURBANCE.
 3. ALL NATIVE TREES WITHIN THE LIMITS OF DISTURBANCE SHALL BE REVEGETATED PER CONTRACT DOCUMENTS AND SPECIFICATIONS.
 4. SILT TRAP FENCES WILL BE REMOVED AS NECESSARY AFTER STORMS.
 5. SILT TRAP FENCES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 6. IN THE EVENT A CHANGE OCCURS ON THE APPROVED SITE PLAN, PERMANENT LANDSCAPING IS TO BE INSTALLED IN PLACE PRIOR TO THE DISTURBANCE.
 7. DISTURBANCE OCCURS OUTSIDE THE APPROVED AREA OF DISTURBANCE, THE CONTRACTOR WILL STOP WORK AND NOTIFY THE EROSION CONTROL SPECIALIST IMMEDIATELY. WORK SHALL BE STOPPED UNTIL THE EROSION CONTROL SPECIALIST IS ADVISED BY THE ENGINEER AND THE VIOLATION CAN BE CORRECTED UPON.
 8. THE CONTRACTOR WILL MAINTAIN STREETS TO BE FREE FROM SOIL AND DEBRIS 24 HOURS PER DAY, SEVEN DAYS PER WEEK.
- STABILIZED CONSTRUCTION ENTRANCE**
1. STABILIZED CONSTRUCTION ENTRANCE DEFINITION: A STABILIZED CONSTRUCTION ENTRANCE IS A STABILIZED CONSTRUCTION ENTRANCE THAT IS MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND LEAVES THE SITE FROM OR TO A PAVED SURFACE. THE ENTRANCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND LEAVES THE SITE FROM OR TO A PAVED SURFACE. THE ENTRANCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND LEAVES THE SITE FROM OR TO A PAVED SURFACE.
 2. ANY PROJECT HAVING A DURATION OF 3 MONTHS OR MORE MUST INSTALL FILTER FABRIC BENEATH THE ENTRANCE TO PREVENT EROSION AND POLLUTION.
 3. CLEAR AND GRUB AREA AND GRADE TO PRODUCE SLOPE SHOWN FOR DRIVEWAY, OR ACCESS/ INTERSECTION, IF ADJACENT TO WATERWAY, USE A MAXIMUM 2% SLOPE.
 4. COMPACT SURGRADE AND PLACE FILTER FABRIC IF REQUIRED. MINIMUM DEPTH OF 6 INCHES FOR COMMERCIAL PROJECTS, AND 4 INCHES FOR RESIDENTIAL PROJECTS.
 5. MAINTAIN THE ENTRANCE OPEN AND CLEAR OF DEBRIS AND SEDIMENT THROUGHOUT THE CONSTRUCTION PERIOD.
 6. EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAY.
 7. PREVENT ACCESS TO CONSTRUCTION ACCESS DURING OFF HOURS.
 8. MAJOR CONSTRUCTION DISTURBANCE WHEN ALL MAJOR CONSTRUCTION WORK HAS BEEN COMPLETED.



FORSGREN Associates, Inc.
 370 EAST 300 SOUTH
 SUITE 200
 SALT LAKE CITY, UTAH 84111

DATE: MAY 2009
 DESIGNED BY: A. JOHNSON
 DRAWN BY: J. WILLIAMS
 CHECKED BY: J. PRESTWICH
 SCALE: VERT. 1"=20'
 HORIZ. 1"=20'
 SHEET 5 OF 8 SHEETS

PROFESSIONAL SEAL
 J. WILLIAMS
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF UTAH
 NO. 4011

811
 CALL FOR THE BLUE PRINTS
 CALL COLLECT

REVISIONS

NO.	DATE	DESCRIPTION

**1300 EAST RESERVOIR
 SITE GRADING PLAN**

SALT LAKE CITY CORPORATION
 DEPARTMENT of PUBLIC UTILITIES
 1525 SOUTH WEST EMPIRE
 SALT LAKE CITY, UTAH 84115

5090041
 05B NO.

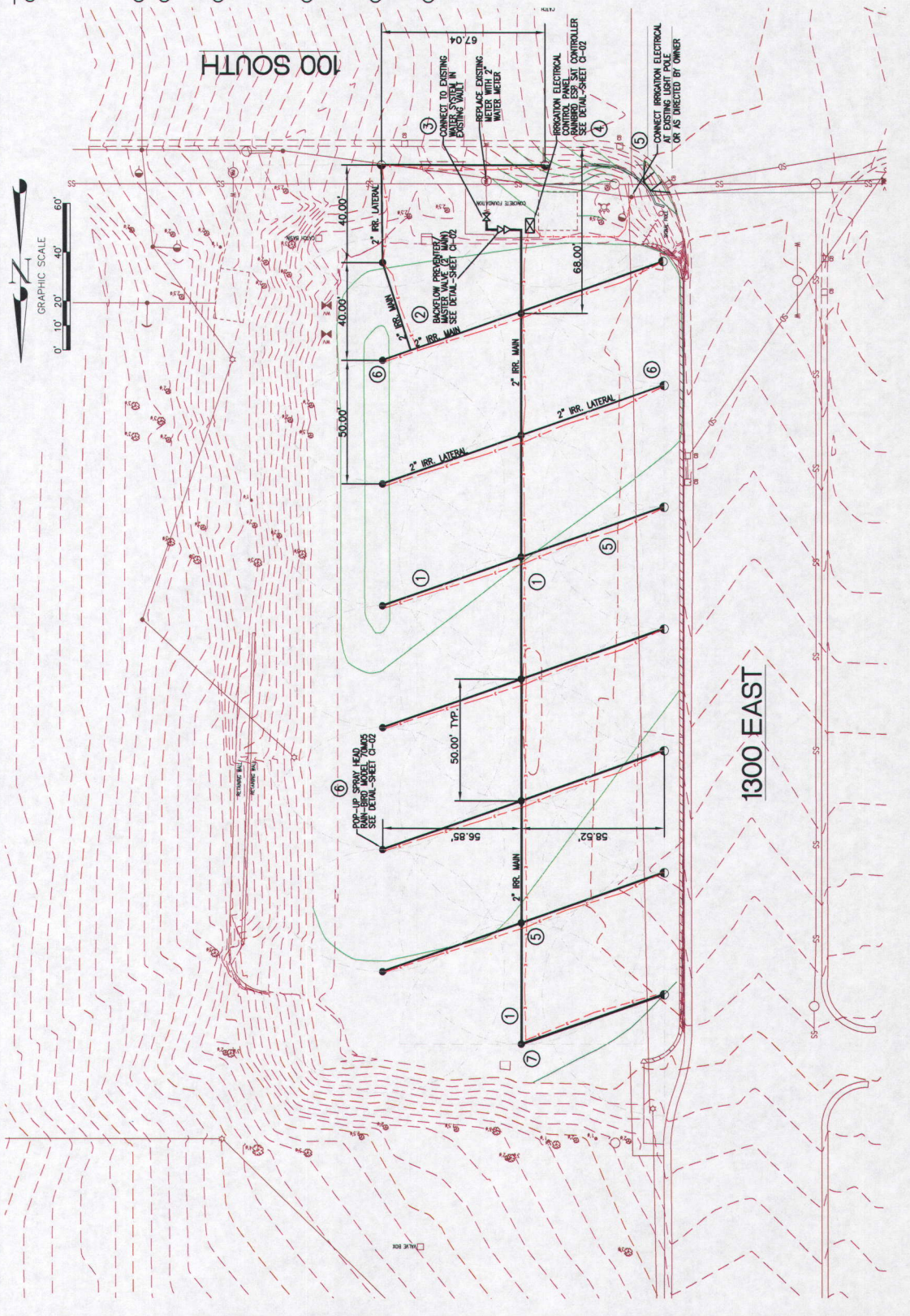
1300 East Reservoir\Drawings\05-CG-01.dwg layout CG-01
 11:48 AM - 11/20/09

IRRIGATION CONSTRUCTION NOTES:

- 1 IRRIGATION SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFIED OTHERWISE BY OWNER. FITTINGS AND VALVES SHALL BE AS RECOMMENDED BY MANUFACTURER OR AS SPECIFIED BY CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM SALT LAKE CITY AFTER COMPLETION OF THE PROJECT.
- 2 BACKFLOW PREVENTER SHALL BE INSTALLED PER DETAILS TO COMPLY WITH SALT LAKE CITY STANDARDS.
- 3 CONNECTION TO SALT LAKE CITY WATER SYSTEM TO BE MADE BY CONTRACTOR. CONTRACTOR SHALL COORDINATE HIS ACTIVITIES TO AVOID ANY INTERRUPTION OF ELECTRICAL SERVICE OR WATER SUPPLY TO SURROUNDING AREA.
- 4 ELECTRICAL COMPONENTS OF SYSTEM SHALL BE TIED INTO EXISTING ELECTRICAL SYSTEM. CONTRACTOR SHALL PROVIDE ADEQUATE GAUGE CONTROL AND SIGNAL WIRING AND TUNING CONTROL AS SPECIFIED BY MANUFACTURER. CONTRACTOR SHALL PROVIDE ALL NECESSARY ELECTRICAL MATERIALS AND LABOR. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM SALT LAKE CITY AFTER COMPLETION OF THE PROJECT.
- 5 ALL ELECTRICAL POWER SUPPLY SHALL BE OF COPPER WIRE UNLESS OTHERWISE SPECIFIED. ALL ELECTRICAL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES. ELECTRICAL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ELECTRICAL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- 6 NEW IRRIGATION SYSTEM MAY NEED TO BE ADJUSTED TO ENSURE ADEQUATE COVERAGE OF IRRIGATED AREA IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE ADEQUATE COVERAGE OF LANDSCAPING OR EXISTING FACILITIES SURROUNDING THE LIMITS OF CONSTRUCTION.
- 7 STOP & WASTE DRAIN VALVES AND CHECK COUPLER CONNECTIONS ARE NOT SHOWN ON THE PLAN, BUT SHOULD BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL COORDINATE WITH THE SYSTEM OPERATOR TO DETERMINE PLACEMENT OF THESE ITEMS TO PROVIDE OPTIMAL DRAINAGE AND EFFICIENCY OF THE SYSTEM.

FORSYTH
Associates, Inc.
 370 EAST 500 SOUTH
 SUITE 200
 SALT LAKE CITY, UTAH 84111

DATE: MAY 2009
 DESIGNED BY: J. WILLIAMS
 DRAWN BY: J. WILLIAMS
 CHECKED BY: J. PRESTWICH
 HORIZ: 1"=20'
 SCALE VERT: 1"=20'
 SHEET 6 OF 8



**1300 EAST RESERVOIR
 SITE IRRIGATION PLAN**

SALT LAKE CITY CORPORATION
 DEPARTMENT OF PUBLIC UTILITIES
 1525 SOUTH WEST TEMPLE
 SALT LAKE CITY, UTAH 84115

DRAWING NO. 50900041
 JOB NO. 081-001

NO.	DATE	REVISIONS

PROFESSIONAL'S STAMP

Reservoir Park - Executive Summary

While the case before the HLC is for the consideration of Reservoir Park, it begins to develop HLC policy of how historic landscapes, gardens, parks, islands, and plant material may be approached.

Reservoir Park is a neighborhood park in the University Neighborhood Council area and abutting the Greater Avenues Community Council.

It is in two city historic districts and faces a third and as such the purview for development and preservation in the park lies with the HLC.

The park as a whole, not just the reservoir, is contributory and significant as a historic resource due to its sustainable development pattern and function, architecture, history and design as a park to name but a few.

There are many defining features that make the park contributory and significant. The list of significant features may include the Art Barn, the trees and Hawthorn tree border, the old tennis courts, the reservoir, the open space, plant material, the sustainable development pattern that uses underground to provide a city utility and establish a park above ground, etc. All significant elements need to be determined so that by preserving one feature unintended consequences are not inflicted on another feature.

An umbrella treatment approach for the park needs to be defined and selected by the HLC to provide the guiding principles for work and development in the park in order to preserve the park and its significant elements. "The Secretary of the Interior's Guidelines for the Treatment of Cultural Landscapes" recommends four potential treatments approaches that are:

1. **Preservation** standards require retention of the greatest amount of historic fabric, including the landscape's historic form, features, and details as they have evolved over time.
2. **Rehabilitation** standards acknowledge the need to alter or add to a cultural landscape to meet continuing or new uses while retaining the landscape's historic character.
3. **Restoration** standards allow for the depiction of a landscape at a particular time in its history by preserving materials from the period of significance and removing materials from other periods.
4. **Reconstruction** standards establish a framework for re-creating a vanished or non-surviving landscape with new materials, primarily for interpretive purposes.

Once the best treatment approach has been selected, the appropriate planning effort can take place. Given that this is a neighborhood park, the planning effort needed may be far less expensive and time consuming than a full master plan. Other options might include a restoration plan or a small area plan depending on the HLC's determination.

To further landscape policy development, HLC may want to consider directing staff to include a recommended treatment approach for historic landscapes for all applications that come to the HLC, as appropriate.

UNC has completed a neighborhood survey regarding park use and development interests by adjoining neighbors. The results are attached.

May 5, 2009

Historic Landmark Commission

Salt Lake City Corporation

451 South State Street

Salt Lake City, Utah

Regarding: **Reservoir Park**
Neighborhood Historical Park

Dear Honorable Commission;

Reservoir Park (which to us includes the entire site; the reservoir, the tennis courts, the streetscape, the trees, the Art Barn, the open space, etc.) offers a defining and significant historical contribution not only to the University Historic District but also the South Temple Historic District and the Avenues Historic District.

Like historic buildings and structures, this special place in history and time (including the open air tennis courts above the reservoir, the rich pink border of Paul Scarlett Hawthorns, the lush green open space, the creative resources of the Art Barn) all reveal aspects of Salt Lake City's origin and development through form and features and in the way the park has been utilized. Today best practices in energy and sustainability planning around the globe place utilities underground with the space above is used for enhancing the public experience.

Like Anaheim today with a substation below ground and a park above, Salt Lake City in its early planning years, was ahead of its time in smart land use choices by placing this utility underground while providing a park and tennis courts above.

Like any other historical property, Salt Lake City's historic parks are subject to serious loss and change through inappropriate uses, insensitive development, vandalism, and natural forces. Such loss of historical fabric and character is just as often caused by the cumulative effect of a series of smaller sequential actions.

To emphasize the need for preserving landscapes and parks, in 1992, the Secretary of the Interior's guidelines for preservation was modified to include these important resources. At the same time they also issued **"The Guidelines for the Treatment of Cultural Landscapes"**.

Secretary of the Interior's Standards for Rehabilitation (1990 edition) **Identifying, retaining and preserving buildings and streetscape and landscape features which are important in defining the overall character of the district or neighborhood.** Such features can include streets, alleys, paving, walkways, streetlights, signs, benches, parks and gardens and trees. Protecting and maintaining the historic masonry, wood, and architectural metals which comprise buildings and streetscape features

University Neighborhood Council

through appropriate.....and **protecting and maintaining landscape features, including plant material.**"

Until such time as Salt Lake City has the time and resources to more specifically inventory, define and amend the historic guidelines to add serious protection to historic landscape, plant materials, islands and historic parks, this portion of our heritage counts on your guidance and protection.

H Historic Preservation Overlay District: A geographically or thematically definable area which contains **buildings, structures, sites, objects, landscape features**, archeological sites and works of art, **or a combination thereof**, that contributes to the historic preservation goals of Salt Lake City.

UNC Recommendations and survey results for your consideration:

- Support and uphold the finding that **the entire park is the historic site(including the landscape features)** rather than just considering a component in isolation, such as the reservoir as the only defining feature or structure.
- Support the parks border feature of Paul Scarlett Hawthorn trees. This includes replacement (where disrupted), protection and a maintenance plan. Consider this feature along 13th East.
- Support this historic resource by **staying involved** and asking that any changes to the plan, progress on the project or any future projects be under the guidance of the HLC.
- The UNC and the GACC have formed a special task force concerning this park and its development. UNC conducted a UNC area survey to understand the hoped for use above the current reservoir. This survey (attached) was conducted in person by UNC block captains, 4 blocks surrounding this neighborhood park. The main findings of the survey were:

Reservoir Park's day to day use is from the immediate neighborhood.

Reservoir Park, as a whole, holds historical significance and special reference (beyond just a park) to those surveyed.

Preferred consideration for the ground space (above the reservoir) is:

1. Green/open space ("a continuation of what is there now") combined with some groves of trees, benches and a wandering pathway.
2. Tennis courts
3. Restoration and continuation of the tree border.
4. Restoration and protection of the wall and lighting
5. Support towards narrowing 13th to provide for a pedestrian sidewalk and a bike lane.

- We support **HLC's over site** of the park and in the consideration and use of **the four treatments options** recommended in "The Secretary of the Interior's Guidelines for the Treatment of Cultural Landscapes" in considering this and all alterations to Reservoir Park.

Preservation standards require retention of the greatest amount of historic fabric, including the landscape's historic form, features, and details as they have evolved over time.

Rehabilitation standards acknowledge the need to alter or add to a cultural landscape to meet continuing or new uses while retaining the landscape's historic character.

Restoration standards allow for the depiction of a landscape at a particular time in its history by preserving materials from the period of significance and removing materials from other periods.

Reconstruction standards establish a framework for re-creating a vanished or non-surviving landscape with new materials, primarily for interpretive purposes.


(Please note: Most all of those surveyed supported the need for a skating park somewhere in this quadrant of the city, but only 3 of 116 supported this location. UNC supports our local business interest of this type of development somewhere in the general area but not at this location. Several alternative options were suggested.)

The Larger Issue

This application is a specific example of a broader issue that needs to be addressed by the commission. The ordinance currently does not yet provide specific and detailed guidance for historic parks, islands, plant material, landscape and gardens associated with all historic applications. Almost every historical property has a landscape component. Until such time as new definitions and guidelines can be developed, we encourage the commission and staff to include consideration of these important features in your analysis and findings for all applications.

As always, we appreciate the excellent work and service you provide to our City.

Warmest regards,



Esther E. Hunter
Chair, University Neighborhood Council
(UNC Board Approval May 4, 2009)

Reservoir Park Restoration Plan

Phase 1 (July, 2009) - Demolition

Phase 2 (August-October, 2009) - Import Fill

Phase 3 (October-November, 2009) - Restoration Plan

Phase 4 (Future) - Master Plan

Phase 3 - Restoration Plan – UNC Neighborhood Survey - (230/116)

1. Please list how often you go to Reservoir Park.
Average 2-3 times per week including pass through.
2. Please list what types of things you like to do while in the park.
Walk, children's play ground, tennis when nets are up, Frisbee, baseball, art, sit/rest/relax, walk my dog, Art Barn/classes, photography.
3. What would you like to see developed in the reservoir space?
Leave as Open (green) Space, groves of trees, benches, tennis courts, underground art museum with park on top, quiet sanctuary in the city, art space, skate park, not programmed-not so much cement.
4. Please tell us your favorite memory about this park.
Marriage (4), tennis match, discovered my creativity, softball tournaments,
5. Please rank the following potential uses for the reservoir space?
(Distribution to 4 blocks in UNC that surround the park, and UNC general meeting. Distribution to full neighborhood council pending date for design workshop.)

 __3__ Skate Park
 __48__ Green space
 __17__ Groves of trees
 __5__ Dog Park
 __19__ Tennis Courts
 __2__ Parking
 __5__ Sculptor Garden
 __13__ Art Park
 __4__ Other, please explain
(Drinking fountains, community garden, demonstration garden, art museum and shop)
6. Please tell us anything else we should know.
Benches
Hawthorne Trees
Meandering paths
Add seclusion
Worried about graffiti, and construction process
Save existing trees in the center, utilize permeable concrete (where possible) or other sustainable practices.