

HISTORIC LANDMARK COMMISSION
STAFF REPORT



Planning and Zoning
Division
Department of Community
Development

Petition 470-08-01 Liberty Park Children's Garden
New Construction and Major Alterations to a Landmark Site
Between 500-700 East and 900-1300 South Streets
March 5, 2008

Applicant:

SLC Department of Public
Services, Engineering Division

Staff:

Janice Lew
(801) 535-7625
janice.lew@slcgov.com

Tax ID:

16-07-427-001

Current Zone:

OS, Open Space District

Council District:

District 5, Jill Love

Acreage:

Approximately 110 acres

Current Use:

Public Park

**Applicable City Code Land
Use Regulations:**

- Section 21A.32.100
- Section 21A.34.020
-

Attachments:

- A. Plans
- B. June 7, 2006 Staff
Report
- C. June 7, 2006 Minutes
- D. Public Comment

REQUEST

Salt Lake City Department of Public Services, represented by Dell Cook, Project Manager, is requesting approval to undertake improvements to revitalize the Liberty Park Children's Garden located between 500-700 East and 900-1300 South streets. The park is listed as a "Landmark Site" on the Salt Lake City Register of Cultural Resources and is also a National Register Historic District.

PUBLIC NOTICE

Public notice was mailed on February 15, 2008 to all property owners within eighty-five feet (85') of the subject property which satisfies the Zoning Ordinance requirement for fourteen (14) day notice. Notice was also sent to interested parties on the Historic Landmark Commission's e-mail listserve and posted on the Planning Division's Web site. Community Council review is not required by the City Code for permitted uses relating to a landmark site.

STAFF RECOMMENDATION:

Based upon the comments, analysis and findings of fact noted in the staff report, Planning Staff recommends the Historic Landmark Commission approve the request to undertake improvements to the children's garden and reshaping the northwest edge of Liberty Lake, subject to the following conditions:

1. Landscape elements such as light poles and walks shall be in keeping with approved designs of similar features in the park.
2. The project must meet all applicable City requirements, unless otherwise modified within the authority of the Historic Landmark Commission, Administrative Hearing Officer, or Board of Adjustment.

OPTIONS

The Historic Landmark Commission has the following options regarding this proposal:

1. The Historic Landmark Commission may approve the proposal by finding that the proposal substantially complies with all applicable ordinances and design guidelines;
2. The Historic Landmark Commission may deny the proposal by finding that the proposal does not substantially comply with applicable ordinances and design guidelines; or
3. The Historic Landmark Commission may continue the decision for additional information and further review of the design of the proposal.

VICINITY MAP



BACKGROUND

Liberty Park sits on land that was once the southern edge of the city and the site of a mill and farm established by Isaac Chase. Chase was assigned the plot in the original "Big Field" survey of 1847, which distributed farming plots to the first settlers of the Salt Lake Valley. Brigham Young obtained the property from Chase in 1860. His estate sold the land to Salt Lake City for development of a city park in 1881. The dedication of the park was celebrated June 17, 1882, the anniversary of the Battle of Bunker Hill. Originally the park included several pavilions, a bandstand, a small lake, and several informal planted areas. Other notable dates that illustrate the evolution of the historic character of the site include:

- Greenhouse constructed 1903,
- City Zoo 1914-1931,
- Tennis courts constructed c.1915,
- Entrance gates constructed 1920,
- Tracy Aviary opens 1939,
- Swimming pool opens 1949, and
- Tennis bubble approved February 6, 2008.

The park has been the focus of several major upgrades and the site of numerous smaller construction projects over the course of the last century. Planning for another major upgrade began in 1997 when Landmark Design, hired by the City Parks Division to develop the *Liberty Park Landscape Scoping Project*. The scoping plan completed in 1998 outlines a phasing program for improvements, the first phase of which was reviewed by the

Historic Landmark Commission in February of 2000. At that time, the Commission approved several infrastructure projects listed among the highest priority improvements in the document. These improvements included new lighting, restrooms, a jogging path, a new basketball court and other upgrades to the park's infrastructure. During the past eight years, most of the goals of the scoping plan have been achieved. Recent improvements reviewed by the Commission include:

- August 4, 2005 – Gazebo and bridge on the north island of the southeast quadrant and improvements to the duck pond,
- March 2, 2005 – New concession building, and
- December 7, 2005 – Signage and wayfinding program.

As part of the City's ongoing efforts to revitalize the park, the Historic Landmark Commission reviewed a number of projects on June 7, 2006. The submittal contained a phasing program to accomplish the improvements. The plan identifies the concession area and pedestrian path and allée improvements to be completed first. The second phase consists of reconstruction of the children's garden including demolition of the structures and improvements to the streambed in this area. The final phase would include construction of an amphitheatre and improvements to Liberty Lake. At that time, the Commission approved the requested circulation changes and granted conditional conceptual approval for Site Plan Option 1. Please see Attachment B.

PROPOSAL

The children's garden was originally designed as an adventure park with high viewing platforms, ramps, steps, cargo nets for climbing and other play features. The area was closed several years ago due to safety concerns. The restroom facility adjacent to this area was also closed as it was an area conducive to vandalism and of concern from a safety aspect. The applicant proposes work to put the children's garden back into active public use by reconstructing this area of the park. The design includes berms, benches, groupings of boulders, sandstone stepping stones and a woodchip walking surface. Several vertical poles will remain to become part of a "forest". A new picnic pavilion is proposed on the edge of the adventure garden. The pavilion design would match the concession building in materials and form. The proposed new structure has a steeply-pitched cross-gabled roof that is sheathed with asphalt shingles and supported by cobblestone piers. The proposed scope of work also includes improvements to an old streambed and reshaping the northwest edge of Liberty Lake. Demolition work that has taken place includes the existing platforms and climbing elements, as well as the restroom and ball crawl.

PUBLIC COMMENT

The staff report includes an e-mail from Melissa Barbenell expressing her concern about the level of construction in Liberty Park.

STAFF ANALYSIS AND FINDINGS

New Construction

In considering the proposed pavilion, the Historic Landmark Commission should make findings based on the following section of the Zoning Ordinance.

21A.34.020 H. Standards for Certificate of Appropriateness Involving New Construction or Alteration of a Noncontributing Structure. In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the historic landmark commission, or planning director when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually

compatible with surrounding structures and streetscape as illustrated in any design standards adopted by the historic landmark commission and city council and is in the best interest of the city.

1. Scale and Form.

- a. Height and Width. The proposed height and width shall be visually compatible with surrounding structures and streetscape;*
- b. Proportion of Principal Facades. The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape;*
- c. Roof Shape. The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and*
- d. Scale of a Structure. The size and mass of the structures shall be visually compatible with the size and mass of surrounding structure and streetscape.*

Analysis: In this case, the surrounding streetscape of the proposed new structures is the park landscape. The structures in the park are a wide range of sizes and scales. The size of the new pavilion would be similar to that of the restroom facility that it will replace. The proposed scale and roof shapes are consistent with other similar type park structures.

Finding: The proposed pavilion meets the intent of this standard as the height and width, proportions, and scale of the proposed new structures do not overpower or detract from the natural and historic features of the park.

2. Composition of Principal Facades.

- a. Proportion of Openings. The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;*
- b. Rhythm of Solids to Voids in Facades. The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;*
- c. Rhythm of Entrance Porch and Other Projections. The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and*
- d. Relationship of Materials. The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.*

Analysis: The proposed design of the new structure relates to the specific function of the use of the structure. The proposed materials of the new structure would be in keeping with materials used for other buildings in the park, such as the concession building.

Finding: The application complies with this standard as the simple design of the new structure is largely functional. The proposed construction materials are consistent with materials used for other buildings in the park, evoke historic elements of park structures, and are thus appropriate for the historic park setting.

3. Relationship to Street.

- a. Walls of Continuity. Facades and site structures, such as walls, fences and landscape masses shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;*
- b. Rhythm of Spacing and Structures on Streets. The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;*

- c. Directional Expression of Principal Elevation. A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and*
- d. Streetscape-Pedestrian Improvements. Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.*

Analysis: In this case, the park landscape is considered the streetscape. Walls of continuity and the rhythm of spacing and structures on streets is not a considerable issue because the proposed building is a unique feature that ties to its setting and location within the large historic park. This area is not readily visible to the surrounding streets or the roadway in the park. The location and orientation of the proposed structure is compatible with the alignment of surrounding park features.

Finding: The siting of the new structure is generally compatible with the existing historic landscape.

4. Subdivision of Lots. The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

Finding: This application has no subdivision issues.

Alterations of a Landmark Site

In considering the proposed alterations to the park including reconstruction of the children's garden and reshaping the edge of Liberty Lake, the Historic Landmark Commission should make findings based on the following section of the Zoning Ordinance.

21A.34.020 (G). Standards for Certificate of Appropriateness for Alteration of a Landmark Site or Contributing Structure. In considering an application for a certificate of appropriateness for alteration of a landmark site or contributing structure, the historic landmark commission, or the planning director, for administrative decisions, shall find that the project substantially complies with all of the following general standards that pertain to the application and that the decision is in the best interest of the city:

- 1. A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment;*
- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;*
- 3. All sites, structures and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed;*
- 4. Alterations or additions that have acquired historic significance in their own right shall be retained and preserved;*
- 5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved;*
- 6. Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on*

accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects;

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;

8. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment;

9. Additions or alterations to structures and objects shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment;

10. Certain building materials are prohibited including the following:
a. Vinyl or aluminum cladding when applied directly to an original or historic material, and
b. Any other imitation siding material designed to look like wood siding but fabricated from an imitation material or materials;

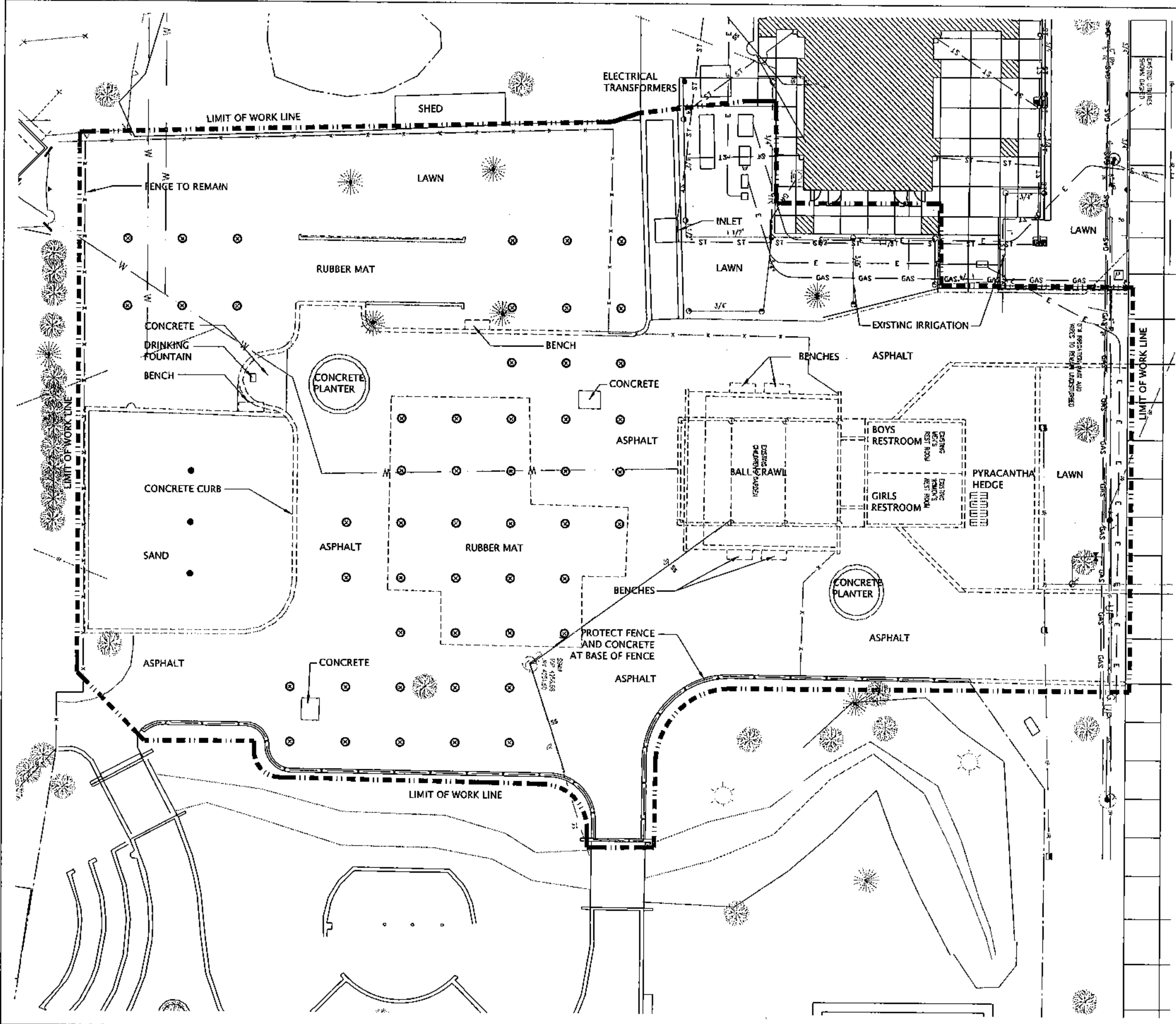
11. Any new sign and any change in the appearance of any existing sign located on a landmark site or within the H historic preservation overlay district, which is visible from any public way or open space shall be consistent with the historic character of the landmark site or H historic preservation overlay district and shall comply with the standards outlined in Part IV, Chapter 21A.46, Signs;

12. Additional design standards adopted by the historic landmark commission and city council.

Analysis: The proposed alterations to the children's garden of the park involve replacement of non-historic features which appear to have been built during the 1980's, and are necessary improvements to reactivate the space. No architectural or landscape elements that have acquired their own significance will be removed. The proposed alterations would have minimal impact on the historic character of the park since its contemporary design is in keeping with approved designs for similar work in the park. All of the alterations proposed would be reversible and would differ enough in style for a casual user to identify historic and non-historic portions of the park.

Finding: The design of the alterations and additions generally makes use of the basic principles recommended by the City's Zoning Ordinance and standards listed above. This helps ensure that the essential form and integrity of the park will not be adversely affected by the alterations. The proposed scope of work involves replacement of deteriorated accessory structures that were not of an age to have achieved historic significance in their own right. The application substantially complies with the pertinent standards outlined in Section 21A.34.020(G) of the Zoning Ordinance.

Attachment A Plans

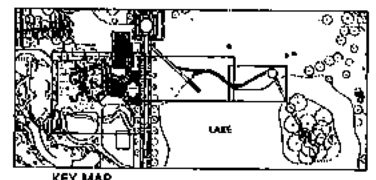


UTILITY LEGEND

SS	SANITARY SEWER
ST	STORM DRAIN
E	ELECTRICAL
GAS	NATURAL GAS



Scale: 1" = 10'-0"



L-C101 EXISTING CONDITIONS

NO.	AUTHORIZED BY	REVISIONS	MADE BY	DATE



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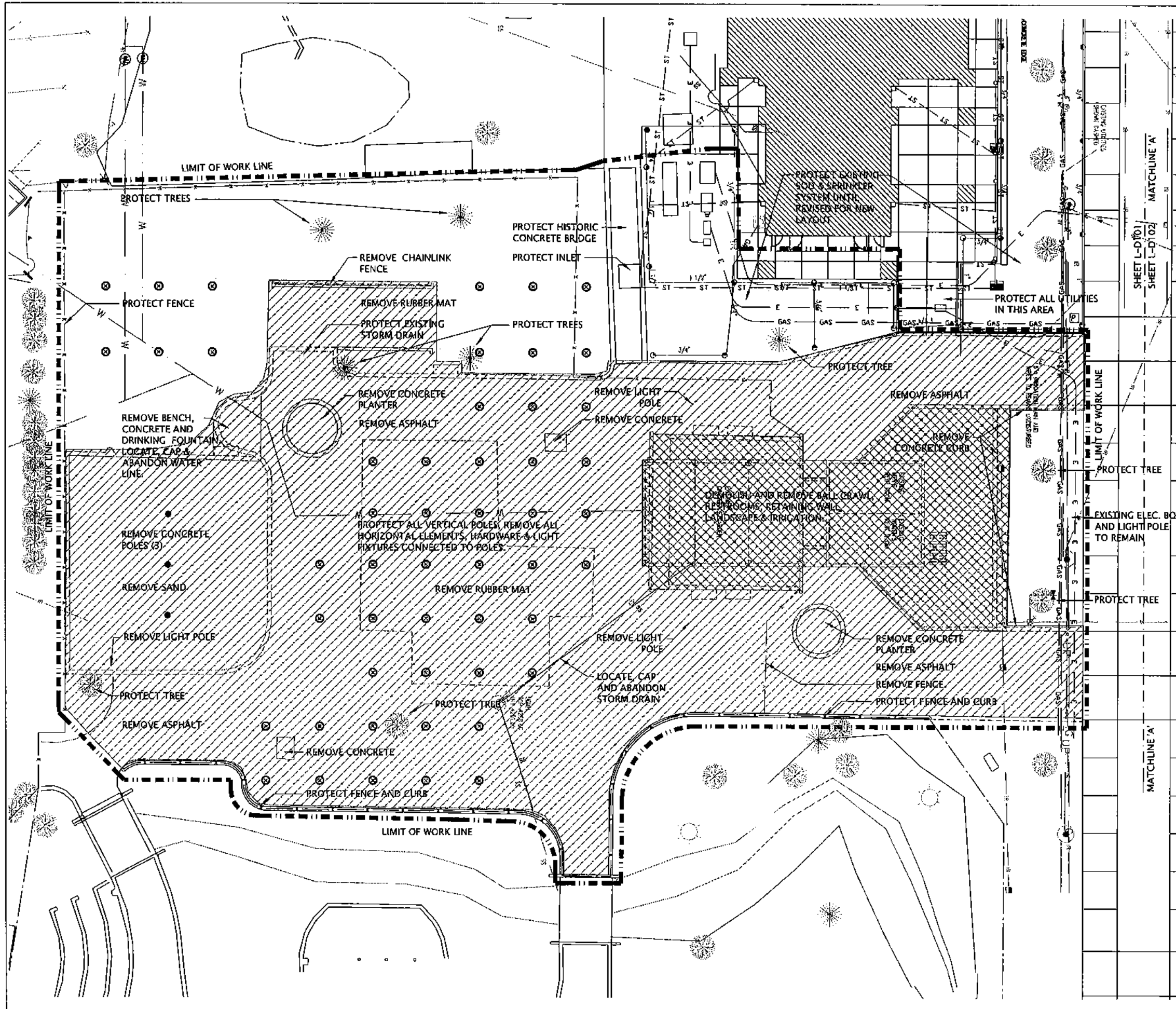
Urban Designer
Landscape Planner
Landscape Architect
145 West 200 South
Salt Lake City, Utah 84119
Tel: (801) 524-4444
Fax: (801) 524-4444
www.mgb+a.com

**90% REVIEW:
NOT FOR
CONSTRUCTION**

DESIGNED BY	LMG
DRAWN BY	GBB
CHECKED BY	LMG
SCALE HORIZ	1" = 10'
SCALE VERT	--
DATE	11-8-2007

VAULT NO.	2007001B
JOB NO.	220146
SHEET	2 OF 20 SHEETS
DRAWING NO.	L-C-101

LANDSCAPE ARCHITECT STAMP



UTILITY LEGEND

SS	SANITARY SEWER
ST	STORM DRAIN
E	ELECTRICAL
GAS	NATURAL GAS

- DEMOLITION NOTES:**
1. ALL DEMOLITION TO BE DONE BY SALT LAKE CITY PARKS STAFF.
 2. LOCATE AND CAP ALL ABANDONED UTILITY LINES.

North

Scale: 1" = 10'-0"

0 5' 10' 20'

KEY MAP

L-D101 - DEMOLITION

NO.	AUTHORIZED BY	REVISIONS	MADE BY	DATE

SALT LAKE CITY CORPORATION

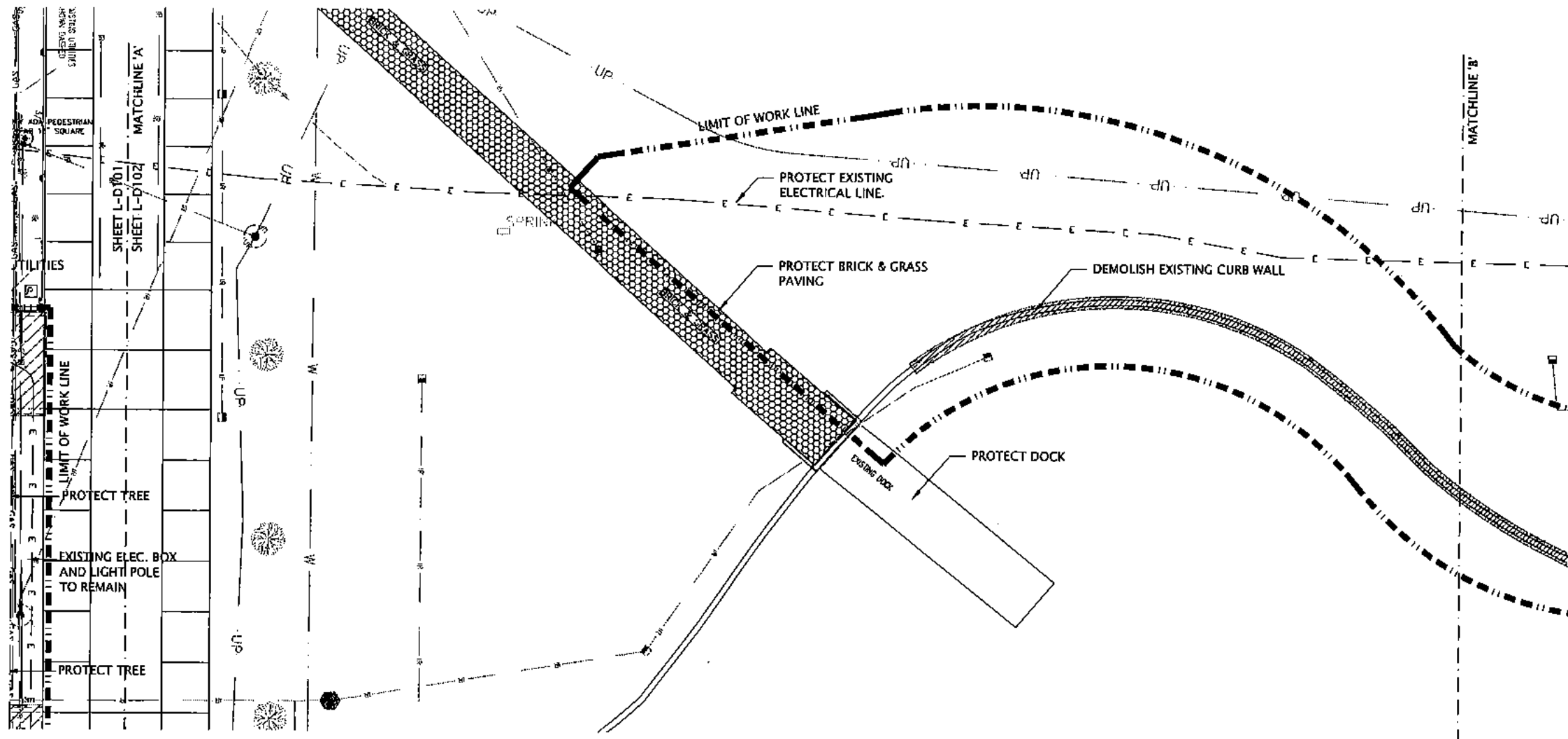
MGB+A
Urban Designers
Landscape Architects
145 West 100 South
Salt Lake City, Utah 84111
Tel: (801) 224-4118
Fax: (801) 224-4118
www.grandmga.com

DESIGNED BY: LG
DRAWN BY: GB
CHECKED BY: LG
SCALE: HORIZ: 1" = 10'
VERT: --
DATE: 11-5-2007

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CONSTRUCTION**

LANDSCAPE ARCHITECT STAMP

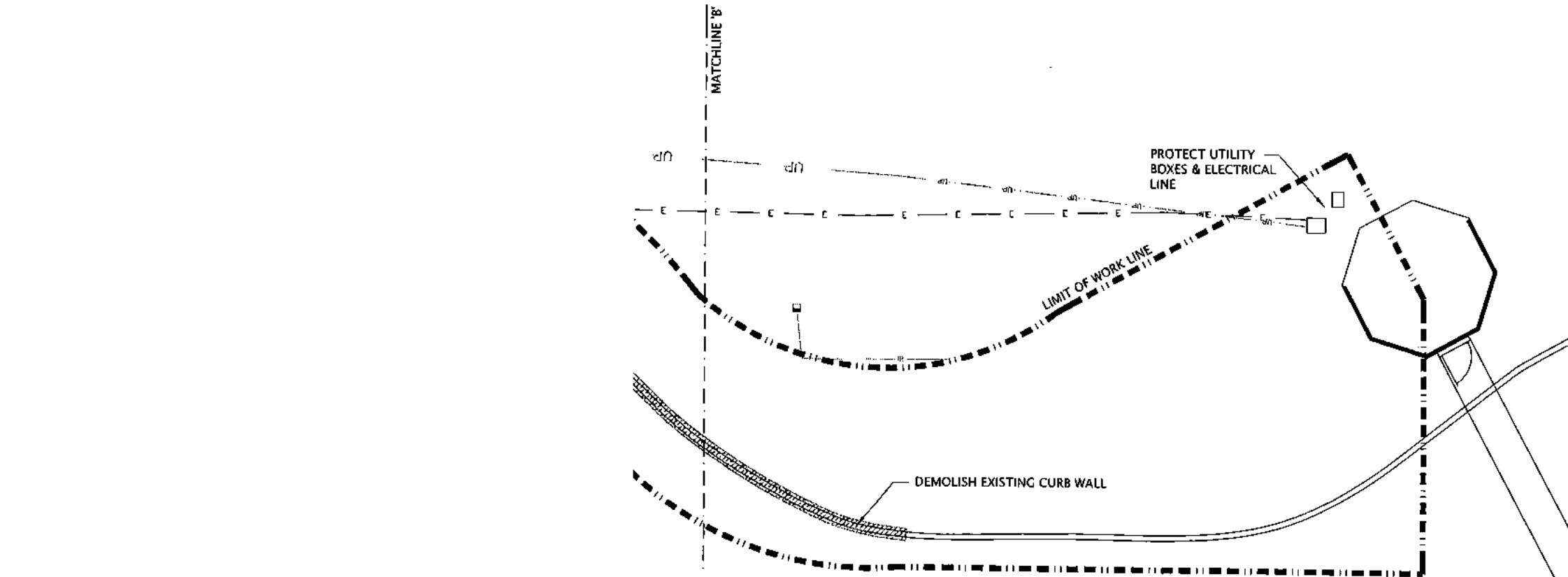
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JOB NO. 220146
SHEET 3 OF 20 SHEETS
DRAWING NO. L-D101



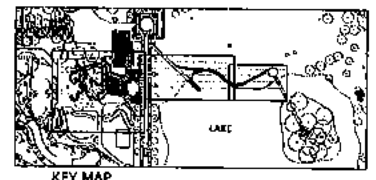
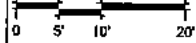
UTILITY LEGEND

	SANITARY SEWER
	STORM DRAIN
	ELECTRICAL
	NATURAL GAS

- DEMOLITION NOTES:**
1. ALL DEMOLITION TO BE DONE BY SALT LAKE CITY PARKS STAFF.
 2. LOCATE AND CAP ALL ABANDONED UTILITY LINES.
 3. IRRIGATION SYSTEM WILL BE AFFECTED IN SOME AREAS BY THE NEW SIDEWALK AND SEAT WALLS. CONTRACTOR MAKE ADJUSTMENTS TO THE EXISTING IRRIGATION SYSTEM AS NECESSARY.



Scale: 1" = 10'-0"



L-D102 DEMOLITION PLAN

NO.	AUTHORIZED BY	REVISIONS	MADE BY	DATE



SALT LAKE CITY CORPORATION



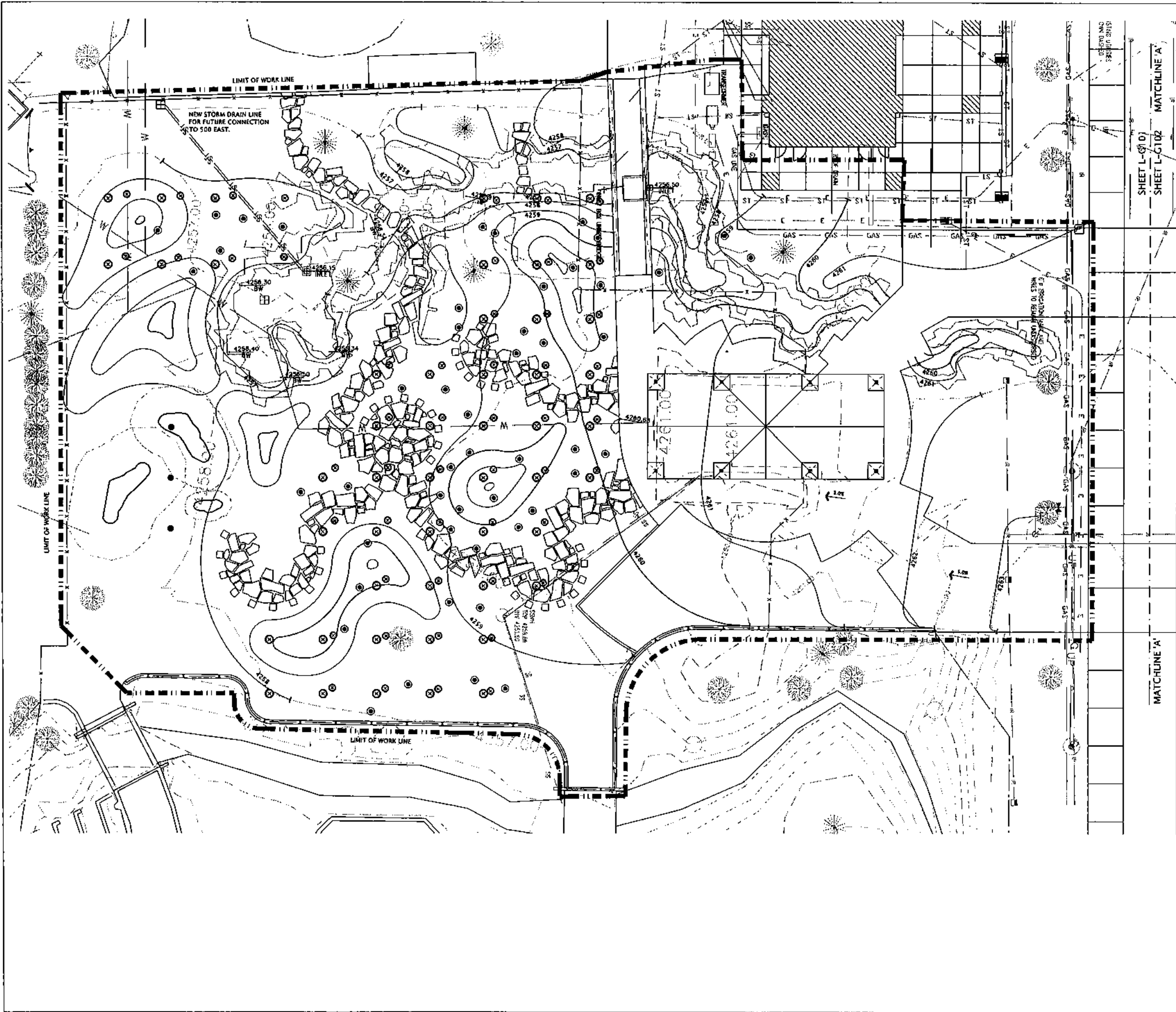
Urban Designers
Landscape Planners
Landscape Architects
1-4 West 200 South
Salt Lake City, Utah 84144
Tel: (801) 261-0111
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DESIGNED BY	LG
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SCALE	HORIZ 1" = 10'
VERT	---
DATE	11-5-2007

VAULT NO.	20070018
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SHEET	4 OF 20 SHEETS
DRAWING NO.	L-D102

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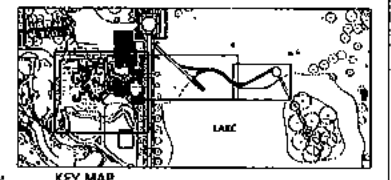
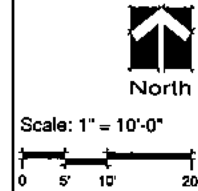


UTILITY LEGEND

—S—	SANITARY SEWER
—S1—	STORM DRAIN
—E—	ELECTRICAL
—GAS—	NATURAL GAS

SHEET L-G101
SHEET L-G102 MATCHLINE 'A'

MATCHLINE 'A'



L-G101 GRADING PLAN

NO.	AUTHORIZED BY	REVISIONS	MADE BY	DATE



SALT LAKE CITY CORPORATION



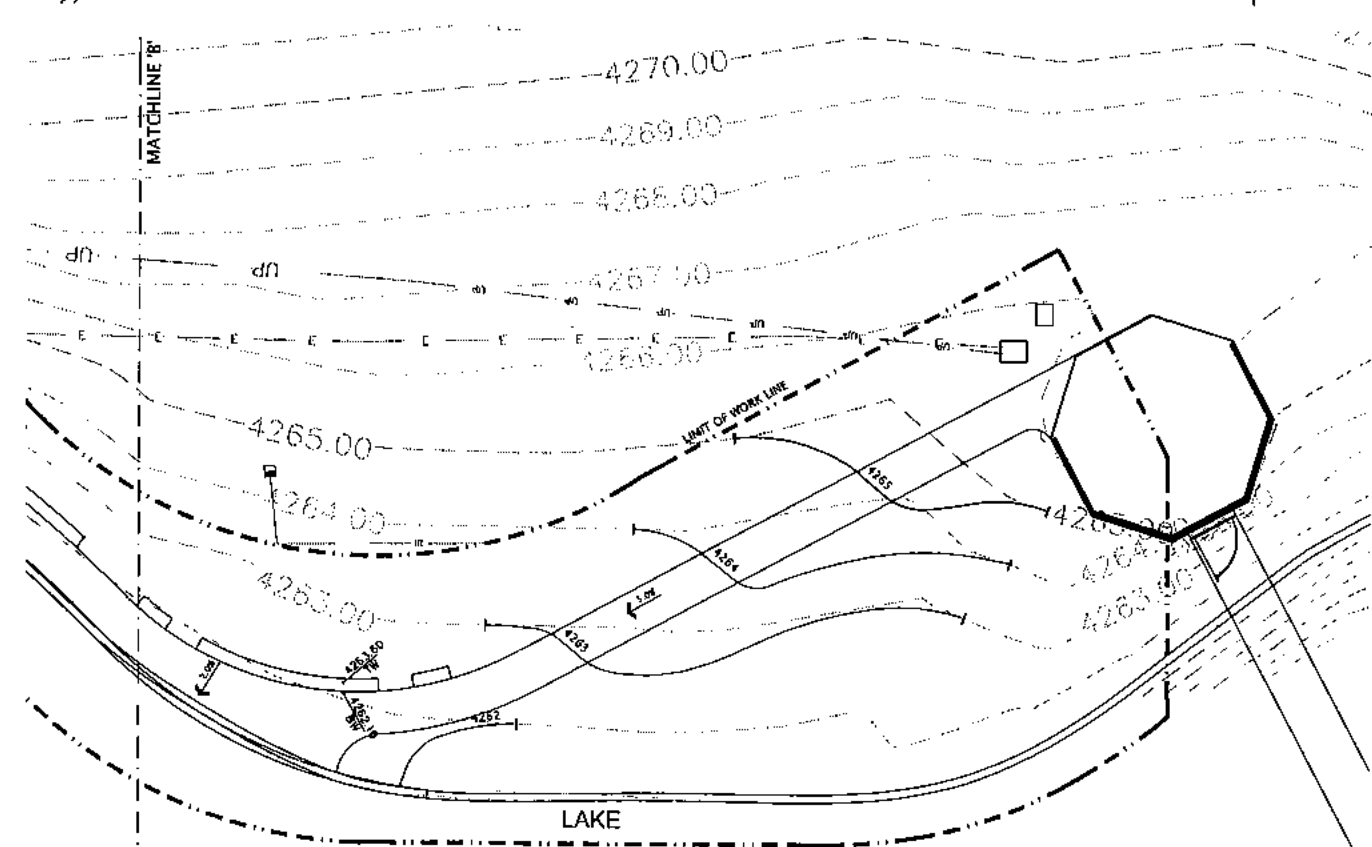
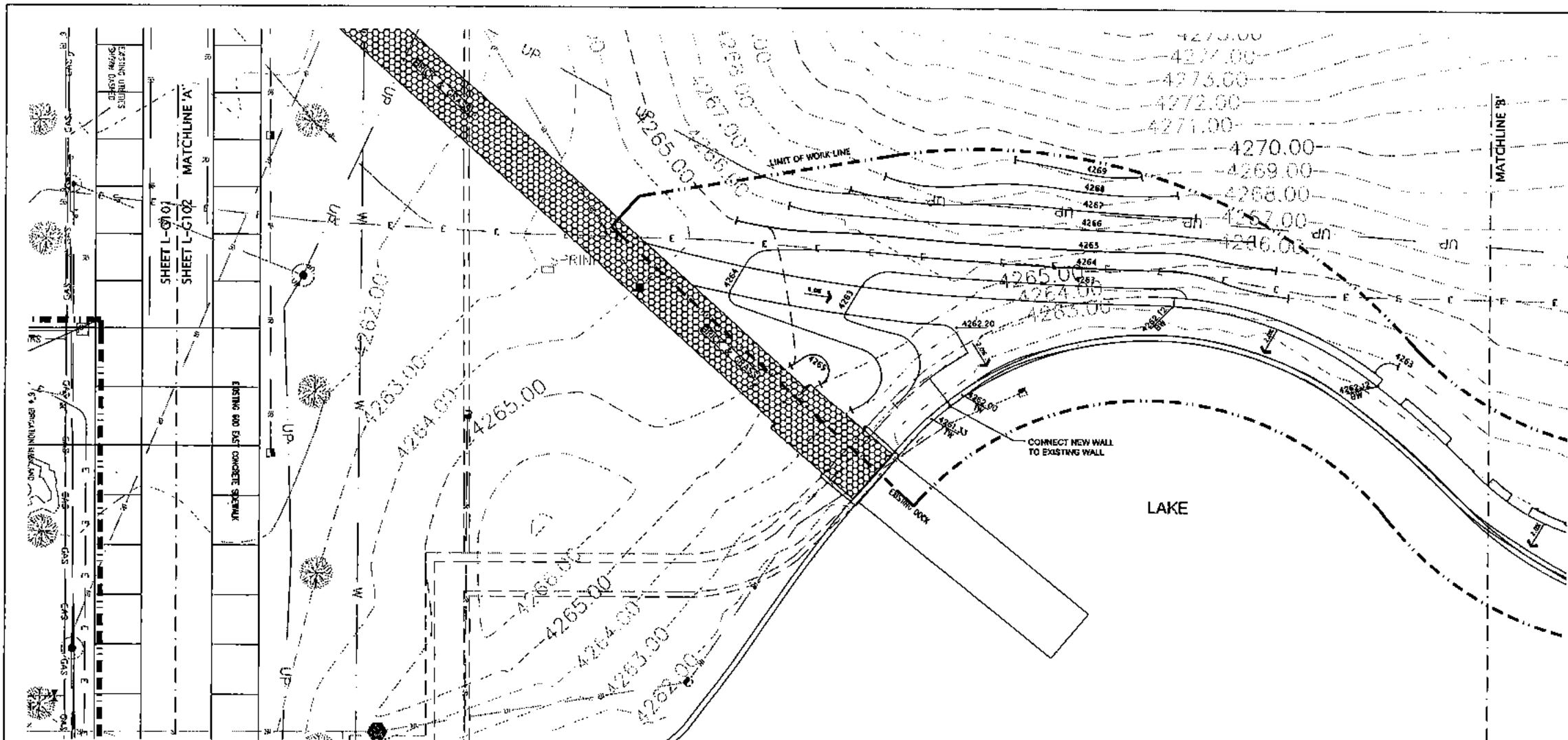
Urban Design
Landscape Architecture
145 West 200 South
Salt Lake City, Utah 84111
Tel: (801) 320-8888
Fax: (801) 320-8889
www.mgbplus.com

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CONSTRUCTION**

DESIGNED BY	LG
DRAWN BY	GB
CHECKED BY	LG
SCALE	HORIZ 1" = 10'
	VERT --
DATE	11-5-2007

VAULT NO.	20070018
JOB NO.	220146
SHEET	5 OF 20 SHEETS
DRAWING NO.	L-G101

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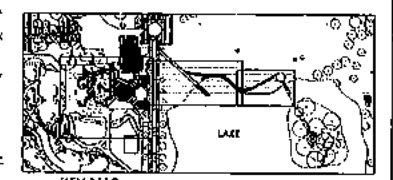
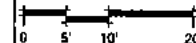


UTILITY LEGEND

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ST	STORM DRAIN
E	ELECTRICAL
GAS	NATURAL GAS



Scale: 1" = 10'-0"



L-G102 GRADING PLAN

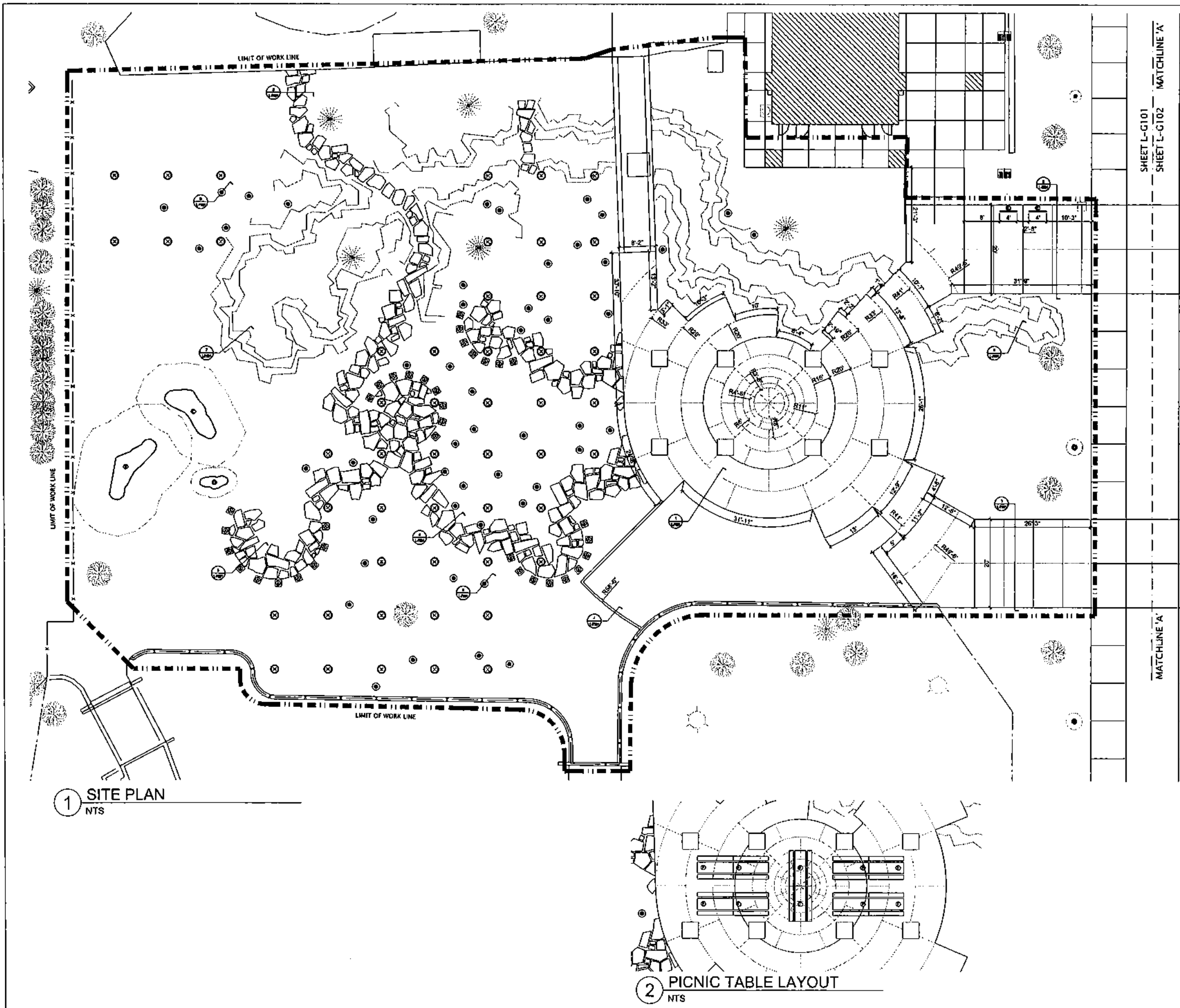
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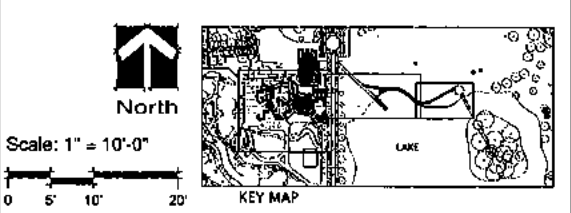
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VERT	
DATE	11-5-2007
Vault No.	20070018
JOB NO.	220140
SHEET	6 OF 20 SHEETS
DRAWING NO.	L-G102

LANDSCAPE ARCHITECT STAMP



- LEGEND**
- | SYMBOL | DESCRIPTION |
|--------|--|
| ⊗ | EXISTING POLES |
| ⊙ | NEW POLES |
| □ | SANDSTONE BLOCK BENCHES |
| ▣ | SANDSTONE PAVERS |
| Ⓐ | SANDSTONE BLOCK BENCH
- 18" L x 18" W x 22" H |
| Ⓑ | CLIFF BOULDER -
16'3" L x 6'9" W x 7'6" H
(BY HUNA DESIGNS) |
| Ⓒ | MOUNTAIN BOULDER -
14'4" L x 6'6" W x 4'6" H
(BY HUNA DESIGNS) |
| Ⓓ | BENCH BOULDER -
6'6" L x 3'0" W x 1'6" H
(BY HUNA DESIGNS) |
| Ⓔ | BIKE RACK -
MADRAX: KY2-IG-P-BLACK |
| Ⓕ | PICNIC TABLE -
EXPANDED STEEL, 8'
LONG, PORTABLE, BLACK.
TWO TABLES TO BE ADA
APPROVED.
(BY KEN COAT) |



L-S101 SITE PLAN

NO.	AUTHORIZED BY	REVISIONS	MADE BY	DATE



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CONSTRUCTION**

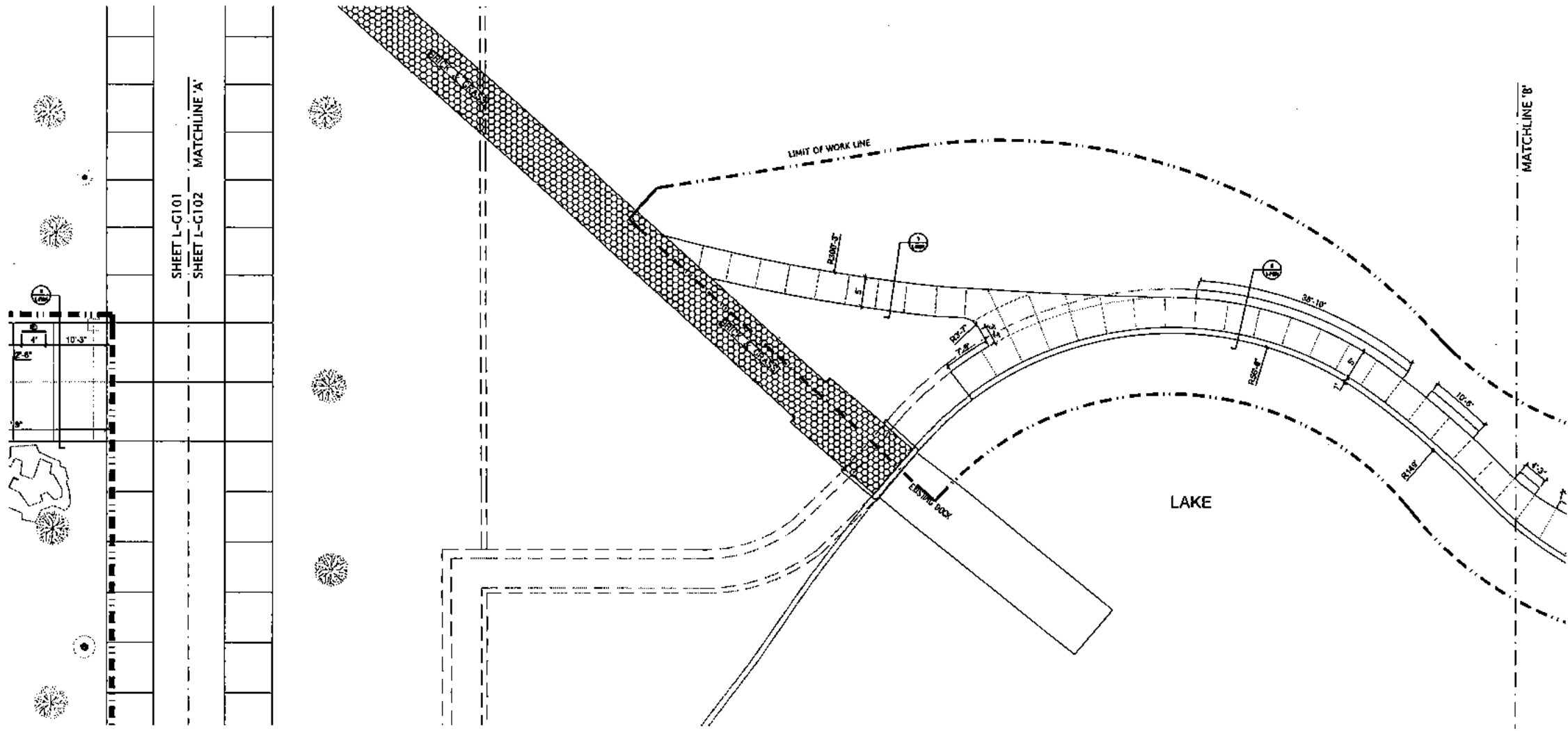
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 DRAWN BY GB
 CHECKED BY L.S.
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 VERT -
 DATE 11-5-2007

VAULT NO. 20070018
 JOB NO. 229146
 SHEET 7 OF 20 SHEETS
 DRAWING NO. L-S101

LANDSCAPE ARCHITECT STAMP

1 SITE PLAN
NTS

2 PICNIC TABLE LAYOUT
NTS

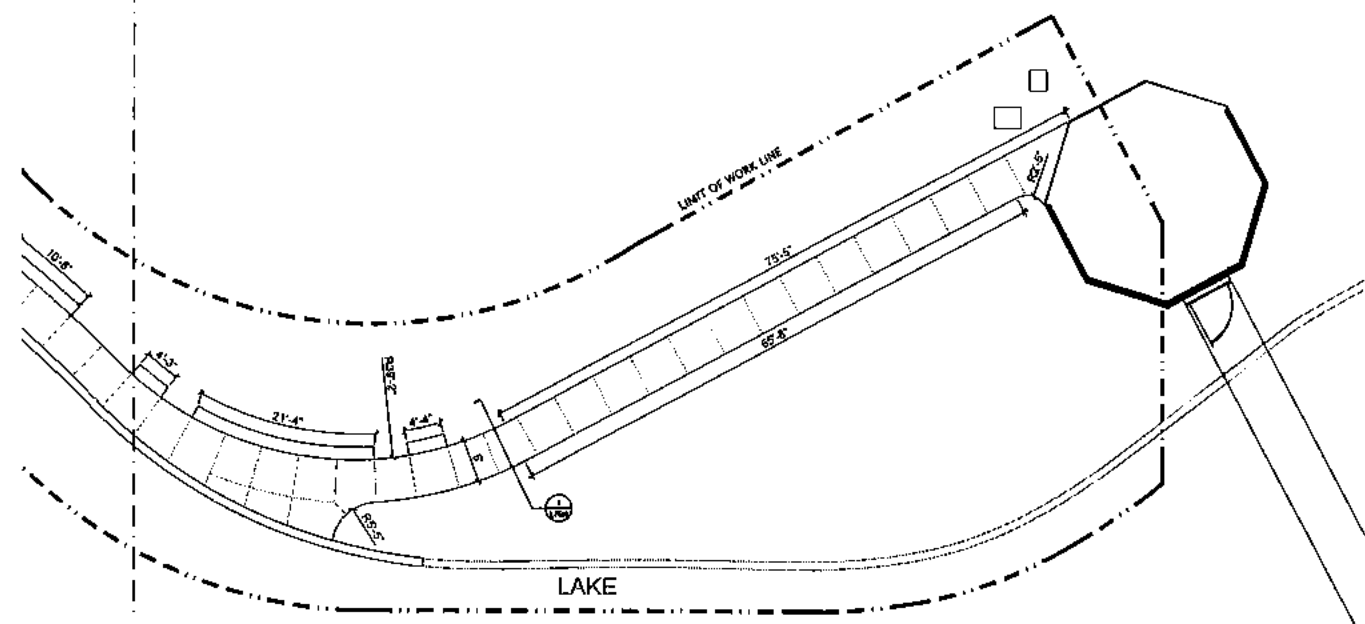


SHEET L-G101
SHEET L-G102

MATCHLINE A

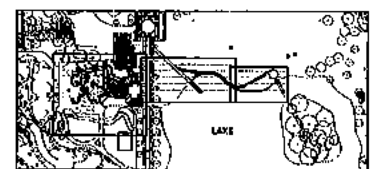
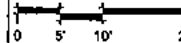
MATCHLINE B

MATCHLINE B



North

Scale: 1" = 10'-0"



KEY MAP

L-S102 SITE PLAN

NO.	AUTHORIZED BY	REVISIONS	MADE BY	DATE



SALT LAKE CITY CORPORATION



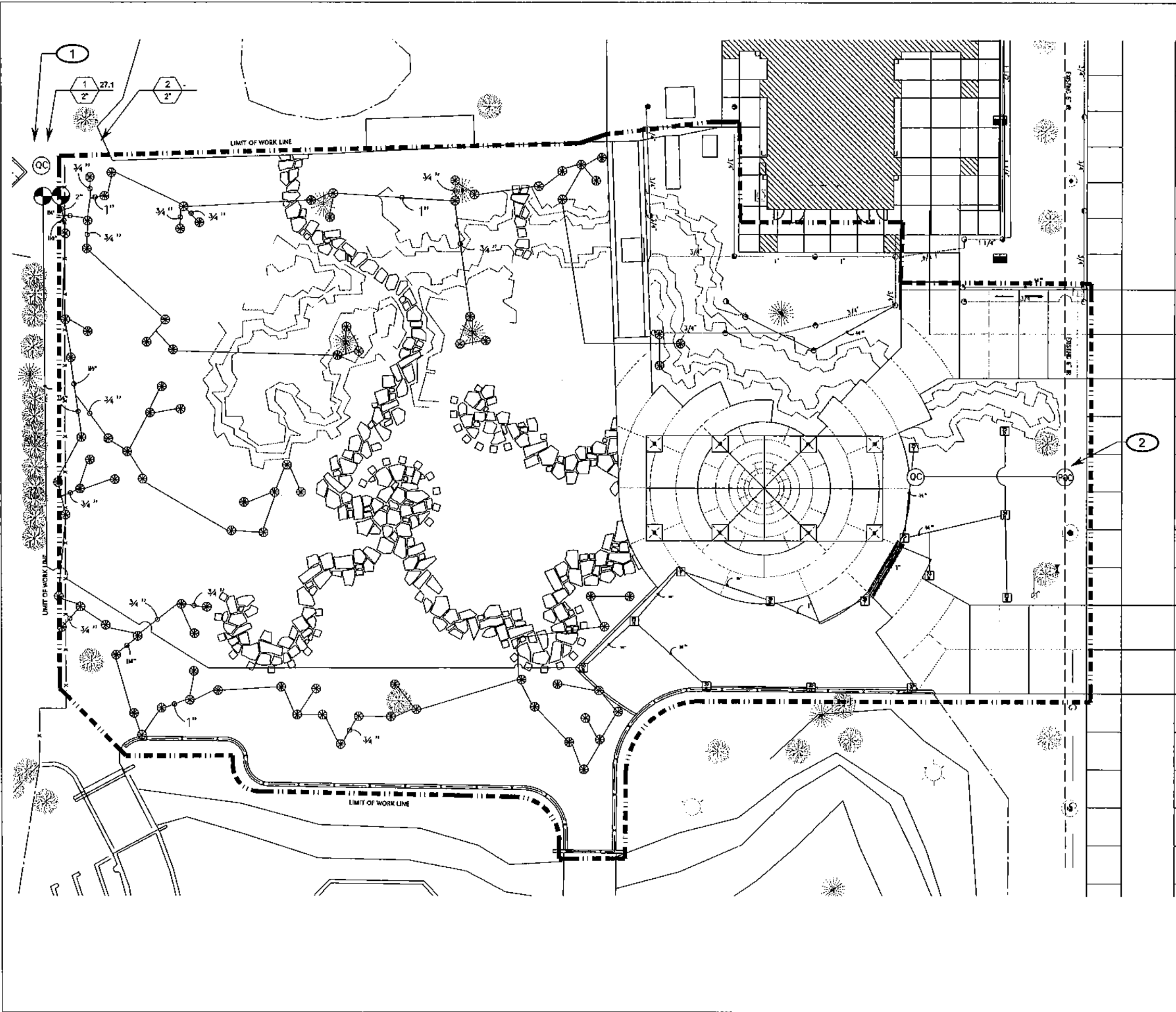
Urban Designers
Landscape Planners
Landscape Architects
118 West City Center
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Tel: (801) 224-4444
Fax: (801) 224-4777
www.mgbplus.com

90% REVIEW:
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CONSTRUCTION

DESIGNED BY	LG
DRAWN BY	GB
CHECKED BY	LG
SCALE	HORIZ 1" = 10'
DATE	11-5-2007

Vault No.	20070018
Job No.	220146
Sheet	8 OF 20 SHEETS
Drawing No.	L-S102

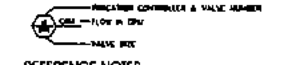
LANDSCAPE ARCHITECT STAMP



IRRIGATION LEGEND

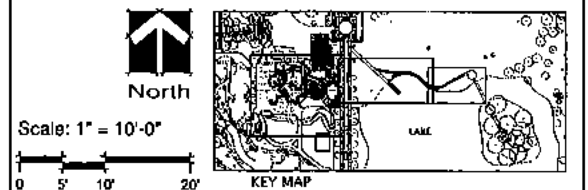
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	SIZE
⊙	POINT OF CONNECTION LOCATION (FIELD MEAS.)			
⊙	ADJUSTABLE VALVE	RAMBO	CV-100-0	PER PLAN
⊙	CONTROL VALVE	RAMBO	TYPE-34-P-14	LINE SIZ. 1" AND SMALLER
⊙	CHECK VALVE	RAMBO	250	LINE SIZ. 1/2" AND GREATER
⊙	ROOT KILLER SYSTEM	RAMBO	RR-1000	
---	EXISTING MAIN LINE			
---	PVC LATERAL LINE		SCHEDULE 40	PER PLAN
---	SLEEVE UNDER PAVED AREAS		SCHEDULE 40	PER SPEC

- POP-UP SPRINKLER HEADS**
- RAMBO POP-UP SPRINKLER HEADS (1/2" P.I. W/ 1/2" S.P.)
 - 1/2" (RAMBO SPR-15-1)
 - 3/4" (RAMBO SPR-25-1)
 - 1" (RAMBO SPR-35-1)
 - 1 1/2" (RAMBO SPR-45-1)
- RAMBO ROTARY SPRINKLER HEADS (1/2" P.I. W/ 1/2" S.P.)**
- 1" (RAMBO SPR-30-1)
 - 1 1/2" (RAMBO SPR-35-1)
 - 2" (RAMBO SPR-40-1)
 - 3" (RAMBO SPR-45-1)



- REFERENCE NOTES**
- CONNECTION TO EXISTING TO EXISTING ADJUSTABLE VALVE IN THE ADJUSTABLE VALVE. CONNECTION WITH SALT LAKE CITY PAVED FOR EXISTING LOCATION. ADJUSTABLE VALVE TO BE LOCATED IN NEW VALVE BOX NEAR P.I.C. CONNECT VALVE TO EXISTING MAIN BY SIZ. LOCATION.
 - CONNECTION TO EXISTING TO EXISTING ROTARY SPRINKLER IN THE ADJUSTABLE VALVE. CONNECTION WITH SALT LAKE CITY PAVED FOR EXISTING LOCATION.

- IRRIGATION SITE NOTES**
- CONNECTION TO EXISTING CONTROL VALVE TO EXISTING MAIN LOCATED AT POINT OF CONNECTION. CONNECTION WITH SALT LAKE CITY PAVED FOR EXISTING LOCATION. CONNECTION WITH SALT LAKE CITY PAVED FOR EXISTING LOCATION.



L-1101 IRRIGATION PLAN

NO.	AUTHORIZED BY	REVISIONS	MADE BY	DATE



**90% REVIEW:
NOT FOR
CONSTRUCTION**

DESIGNED BY: JDB
 DRAWN BY: JDB
 CHECKED BY: LG
 SCALE HORIZ: 1" = 10'
 SCALE VERT: --
 DATE: 11-5-2007

Vault No. 28020018
 Job No. 220149
 Sheet 9 of 20 Sheets
 Drawing No. L-1101

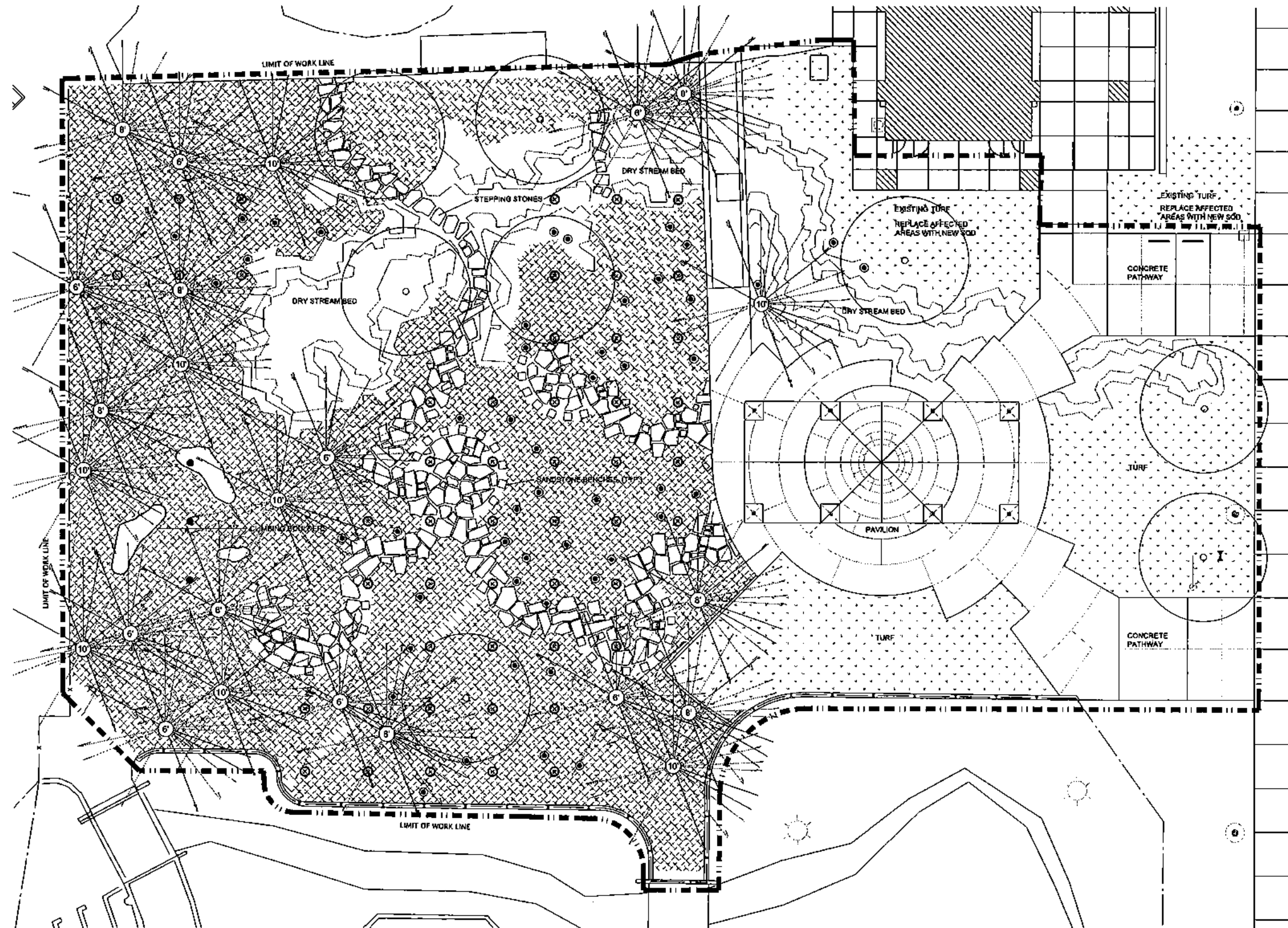
LANDSCAPE ARCHITECT STAMP

PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE	QTY.
	<i>Pinus ponderosa</i>	PONDEROSA PINE	1/3 @ 10' 1/3 @ 8' 1/3 @ 6'	50'x35'	24
	Turf	KENTUCKY BLUEGRASS	SOD	--	--

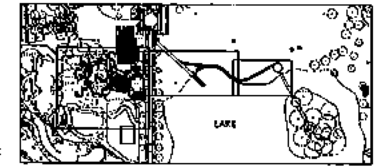
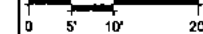
LEGEND

SYMBOL	DESCRIPTION
	EXISTING TREES
	SHREDED BARK MULCH



North

Scale: 1" = 10'-0"



L-1102 PLANTING PLAN

NO.	AUTHORIZED BY	REVISIONS	MADE BY	DATE



SALT LAKE CITY CORPORATION

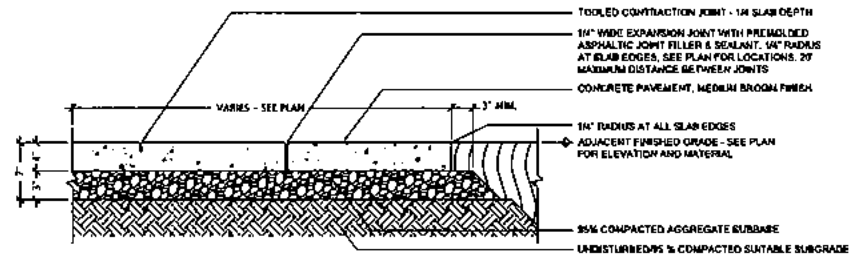


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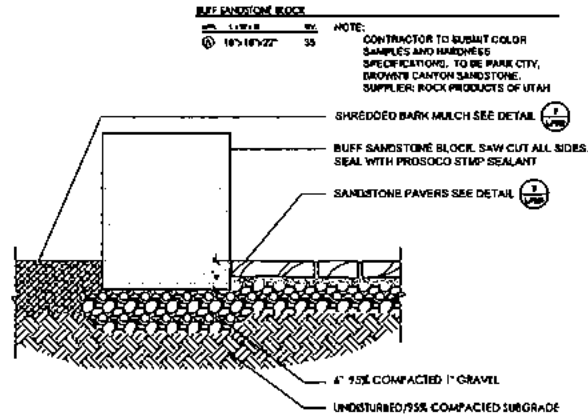
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CONSTRUCTION**

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DRAWN BY	GB
CHECKED BY	LG
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DATE	11-5-2007
Vault No.	20070918
Job No.	220146
SHEET	10 OF 20 SHEETS
DRAWING NO.	L-1102

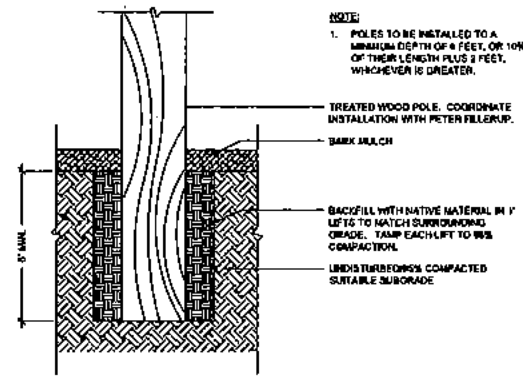
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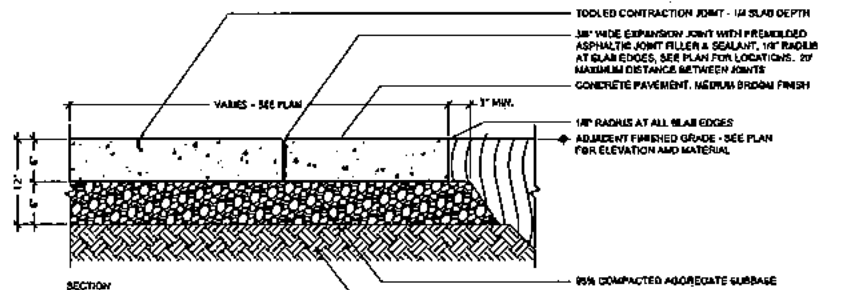
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1 PEDESTRIAN CONCRETE PAVEMENT
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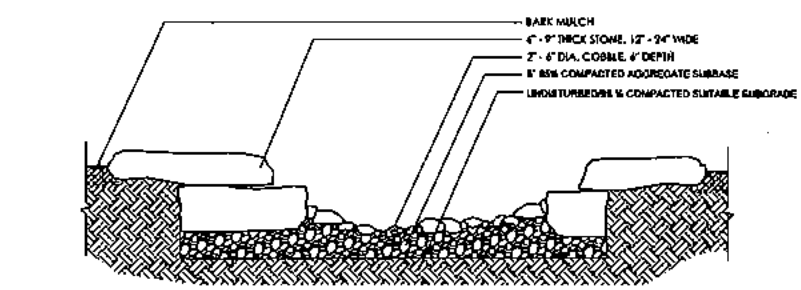
SECTION
6 SANDSTONE BLOCK
SCALE: 1" = 1'-0"



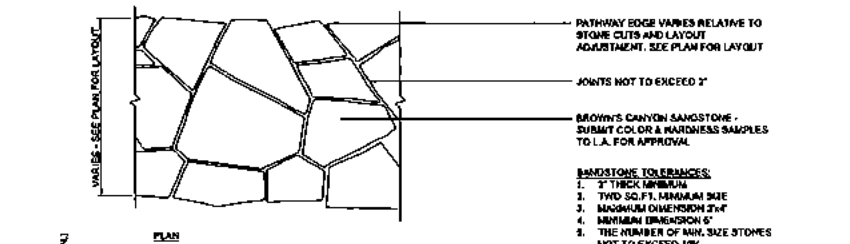
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8 POLE INSTALLATION
SCALE: NTS



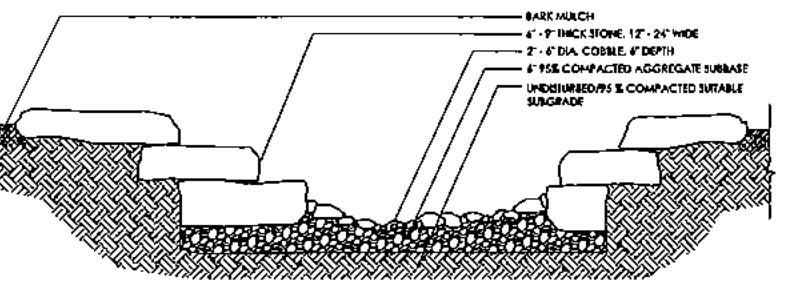
SECTION
4 VEHICULAR CONCRETE PAVEMENT
SCALE: 1" = 1'-0"



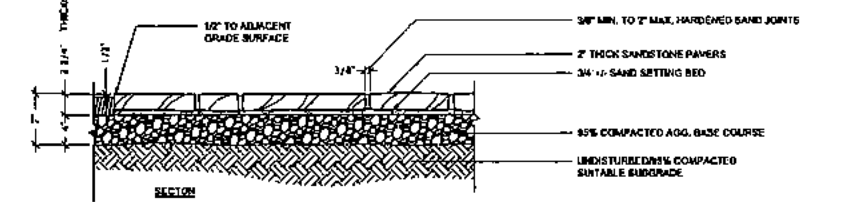
SECTION
5 DRY STREAMBED SECTION - 2 LAYERS
SCALE: 1" = 1'-0"



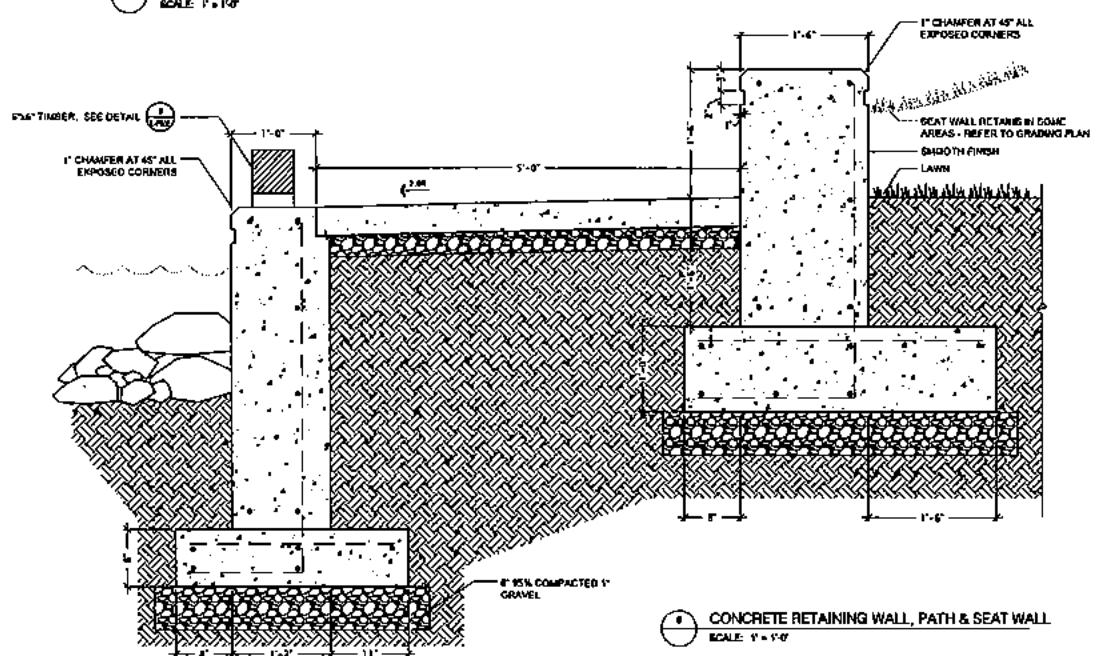
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3 STONE PAVING
SCALE: 1" = 1'-0"



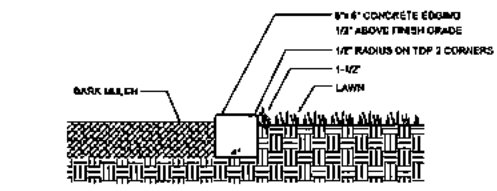
SECTION
7 DRY STREAMBED SECTION - 3 LAYERS
SCALE: 1" = 1'-0"



SECTION
2 CONCRETE EDGING
SCALE: 1" = 1'-0"



SECTION
9 CONCRETE RETAINING WALL, PATH & SEAT WALL
SCALE: 1" = 1'-0"



SECTION
7 CONCRETE EDGING
SCALE: 1" = 1'-0"

L-P501 DETAILS

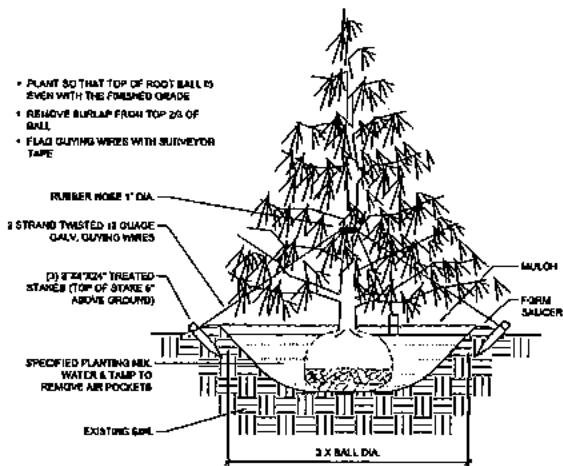
NO.	AUTHORIZED BY	REVISIONS	MADE BY	DATE



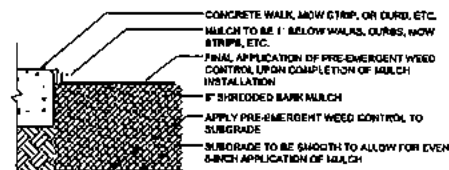
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 DRAWN BY: GB
 CHECKED BY: LG
 SCALE: HORIZ: ---, VERT: ---
 DATE: 11-5-2007
 VAULT NO.: 20070018
 JOB NO.: 220196
 SHEET: 11 OF 20 SHEETS
 DRAWING NO.: L-P501

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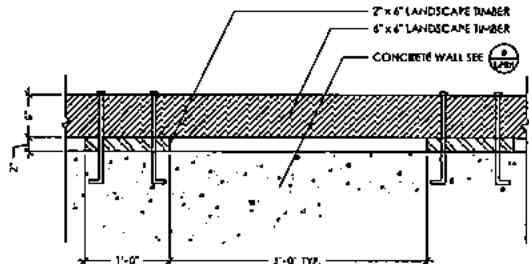
LANDSCAPE ARCHITECT STAMP



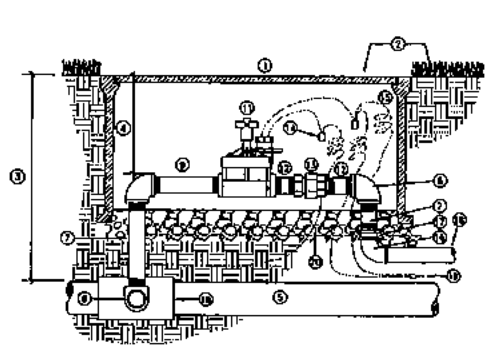
1 EVERGREEN TREE PLANTING
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2 SHREDDED BARK MULCH
 SCALE: NTS

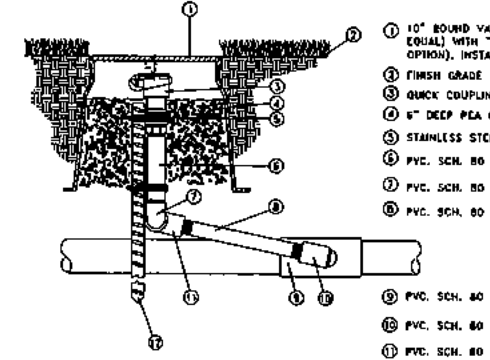


3 6"x6" PATHWAY BORDER
 SCALE: NTS



NOTE:
 1. ALL FITTINGS AND PIPE IN MANHOLE SHALL BE SCH. 80 PVC.
 2. TWO ROBOTIC CONTROL VALVES PER BOX (MAX).

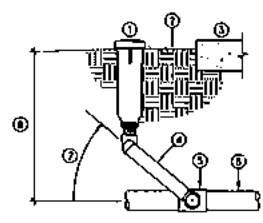
4 CONTROL VALVE
 SCALE: NTS



- 10" ROUND VALVE BOX BY CARSON-BROOKS (OR EQUAL) WITH "T" STYLE LID (WITH BOLT DOWN OPTION). INSTALL FLUSH WITH FINISH GRADE.
- FINISH GRADE
- QUICK COUPLER VALVE
- 6" DEEP PEA GRAVEL
- STAINLESS STEEL OAR CLAMPS (1 OF 2)
- PVC. SCH. 80 NIPPLE (6" LENGTH)
- PVC. SCH. 80 STREET ELL (MPT X FPT)
- PVC. SCH. 80 NIPPLE (6" LENGTH)
- PVC. SCH. 80 ICE
- PVC. SCH. 80 STREET ELL (MPT X FPT)
- PVC. SCH. 80 ELL (MPT X FPT)
- REBAR STAKE (24" LENGTH)

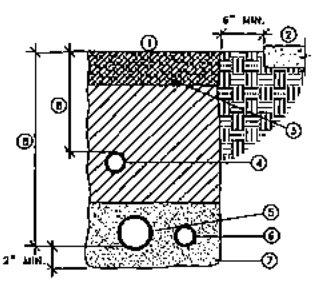
NOTE:
 1. ALL FITTINGS AND PIPE IN MANHOLE SHALL BE SCH. 80 PVC.

5 QUICK COUPLER VALVE
 SCALE: NTS



- POP-UP ROTOR SPRINKLER - SEE LEGEND
- FINISH GRADE
- NOTE: ALL SPRAY HEADS TO BE PLACED 2" CLEAR OF ALL HARDSCAPE SURFACES
- SCH. 80 THREADED NIPPLE W/ HARLEX STREET ELBOWS
- PVC SCH. 80 S&W TEE (OR ELL)
- PVC LATERAL LINE, SIZE AS NOTED ON PLAN
- SWING JOINT ARM INSTALLED AT ANGLE BETWEEN 90 AND 45 DEG. OF LATERAL PIPE. USE HALF THREAD MODEL
- DEPTH - SEE NOTES & TRENCH DETAIL

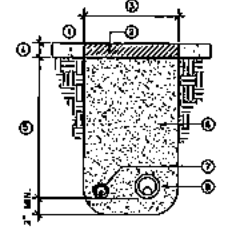
6 ROTOR HEAD
 SCALE: NTS



- IF LAWN IS EXISTING, REPLACE SOD AS PER OWNER'S SPECIFICATIONS
- ADJACENT HARD SURFACE
- TOPSOIL (6" DEPTH IN LAWN AREAS, 12" DEPTH IN SHRUB AREAS. SEE OWNER'S SPECIFICATIONS.)
- NON-PRESSURE LATERAL LINE
- PRESSURE MAIN LINE
- LOW VOLTAGE CONTROL WIRE CONDUIT (WIRING NOT IN THIS PROJECT). PLACE 6" EITHER SIDE OF PIPE OR 6" BELOW.
- MORTAR SAND BEDDING 2" BELOW AND ABOVE PIPE. NO ROCKS LARGER THAN 1" DIAMETER TO GO BACK INTO TRENCH AS PER WRITTEN SPECIFICATIONS.
- PIPE DEPTHS:
 MAIN LINE: 18" MIN. COVER (FROM BOTTOM OF PIPE TO TOP OF GRADE)

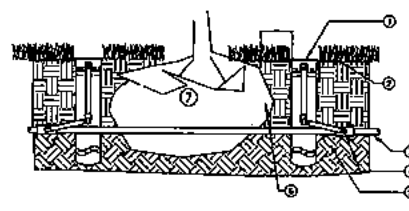
7 TRENCH DETAIL
 SCALE: NTS

- JUMBO VALVE BOX BY CARSON-BROOKS OR EQUAL "T" STYLE LID WITH BOLT DOWN OPTION. (TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION)
- INSTALL AT FINISH GRADE
- 30" MAX. DEPTH
- 8"-12"
- MAIN WATER SUPPLY LINE
- PVC SCH. 80 ELBOW
- PVC SCH. 80 NIPPLE; LENGTH AS REQUIRED (TYP.)
- PVC SCH. 80 ELL SAME SIZE AS VALVE
- SCH. 80 NIPPLE ON EITHER SIDE OF GATE VALVE
- PVC SCH. 80 TEE SIZES WITH SCH. 80 S&T BUSHING OR DOUBLE STRAP BUSHING.
- ELECTRIC CONTROL VALVE - SEE IRRIGATION LEGEND ON PLAN
- SCH. 80 NIPPLE ON EITHER SIDE OF UNION
- PVC SCH. 80 UNION
- WATER TIGHT CONNECTORS (SU DBY ONLY)
- PROVIDE 18" EXPANSION LOOP AT EACH WIRE CONNECTOR IN BOX.
- SCH. 80 ELBOW WITH SCH. 80 NIPPLE INTO S X T BUSHING TO LATERAL
- SCH. 80 ELBOW /NIPPLES
- LATERAL LINE
- CONTROL WIRES
- 6" MIN. DEPTH CLEAN PEA GRAVEL



- EXISTING PAVED SURFACE
 - SAFETY PATCH PAVED AREAS AS REQUIRED (UNLESS EXISTING)
 - WIDTH AS REQUIRED
 - DEPTH OF PAVED SURFACE
 - DEPTH AS REQUIRED TO MATCH EXISTING (18"-30") OR LATERAL WIRES (18"-30")
 - COMPACTED BACKFILL FREE FROM ROCKS LARGER THAN 1 1/2" IN DIAMETER.
 - CONTROL WIRES 1" TO EITHER SIDE OR 4" UNDER MANHOLE.
 - PVC MAIN LINE/LATERAL
- NOTES:
 - SLEEVES 6" AND SMALLER USE PVC SCH. 80 PIPE
 - SLEEVES 24" USE PVC S&W PIPE
 - ALL SLEEVES SHALL BE 2" LARGER THAN PIPE TO BE SLEEVED.

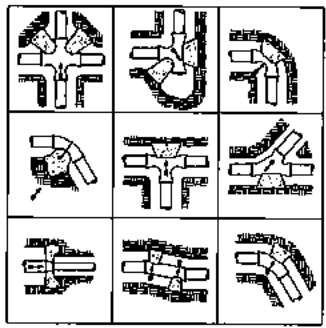
8 PIPE SLEEVING DETAIL
 SCALE: NTS



- ROOT WATER SYSTEM W/ ROCK. SEE PER PLAN FOR MODEL NUMBER
- FINISH GRADE
- LATERAL LINE
- PVC SCH. 80 EL OR TEE
- EXISTING SOIL
- BACKFILL SOIL, PER SPEC.
- TREE ROOT BALL

NOTES:
 1. TWO BUSHINGS PER TREE.
 2. BUSHINGS ARE NOT TO BE INSTALLED ON DOWNHILL SIDE OF TREE ROOT.

9 ROOT WATER SYSTEM
 SCALE: NTS



NOTE: (DIRECTION OF THRUST (TYP.) INSTALL THRUST BLOCKS ON ALL 3" FITTINGS AND VALVES)

10 THRUST BLOCKS
 SCALE: NTS

L-P502 DETAILS

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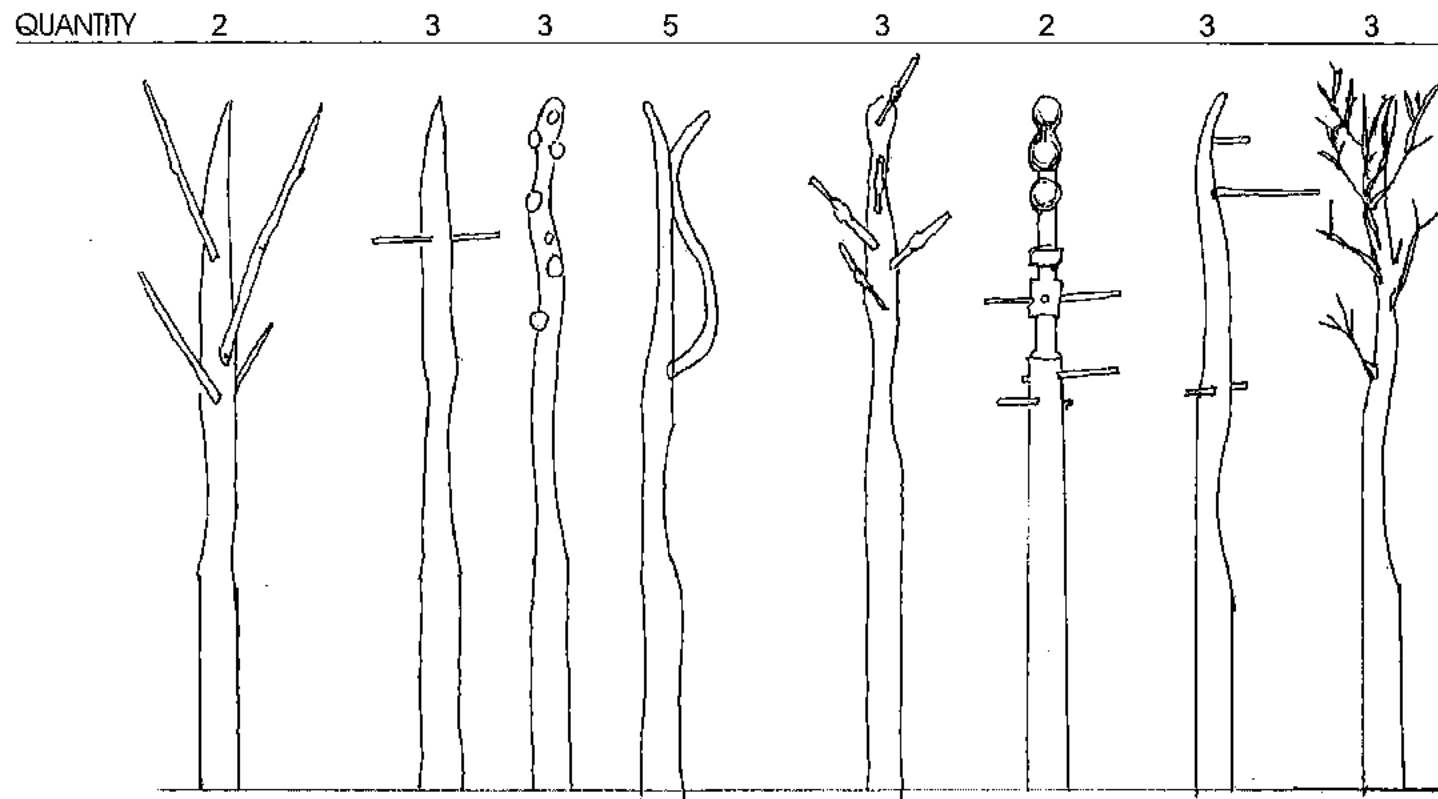


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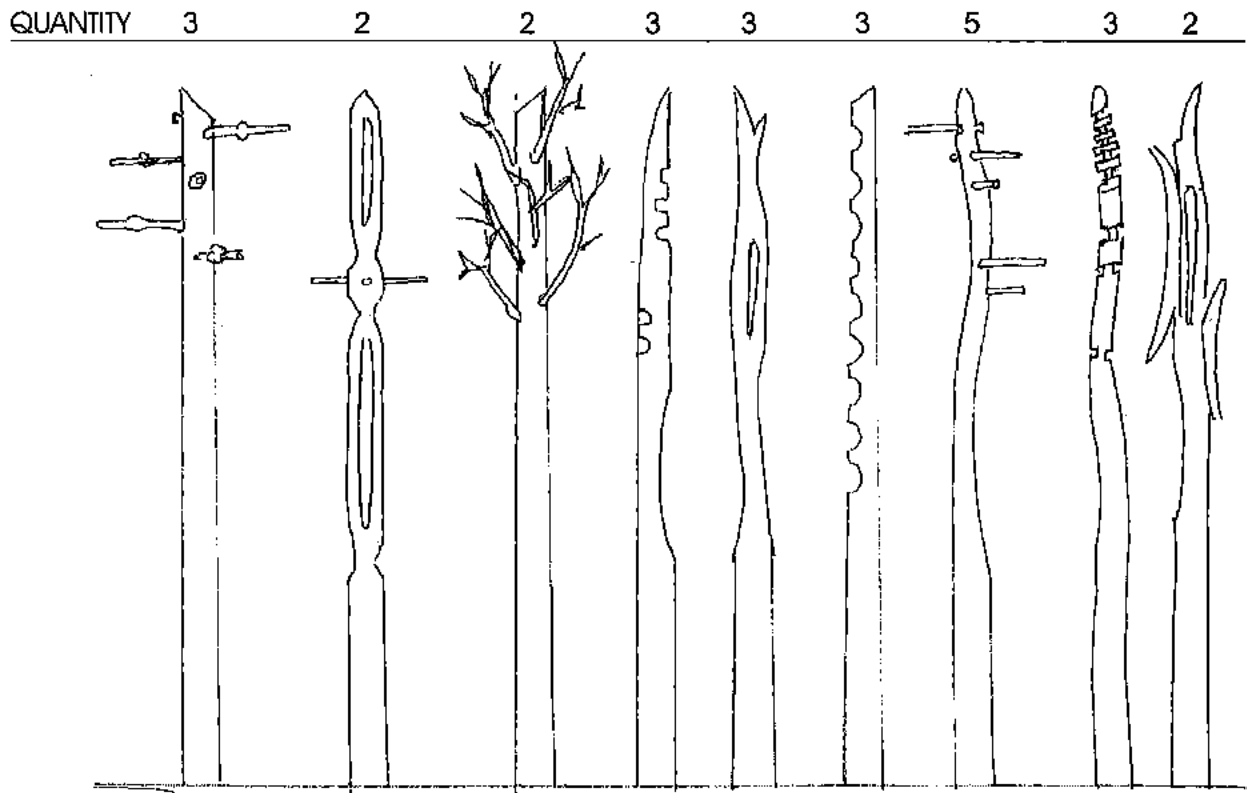
90% REVIEW:
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 CONSTRUCTION

DESIGNED BY	LG
DRAWN BY	GB
CHECKED BY	LG
SCALE	HORIZ 1" = 10'
SCALE	VERT -
DATE	11-5-2007
VAULT NO.	20070018
JOB NO.	220146
SHEET	12 OF 20 SHEETS
DRAWING NO.	L-P501

LANDSCAPE ARCHITECT STAMP



1 POLE CONCEPTS
NTS



2 POLE CONCEPTS
NTS

- DECORATIVE POLE NOTES:**
1. POLES (50 TOTAL) TO BE PURCHASED BY OWNER AND DELIVERED TO PETER FILLERUP (N.I.C.)
 2. PETER FILLERUP TO CARVE, DECORATE AND TREAT POLES (N.I.C.)
 3. CONTRACTOR TO DELIVER POLES FROM PETER FILLERUP'S SHOP TO THE JOB SITE.
 4. CONTRACTOR TO COORDINATE INSTALLATION OF POLES WITH PETER FILLERUP AND MGB+A.
 5. FINAL LOCATION OF POLES TO BE APPROVED BY MGB+A.

L-P503 POLE ELEVATIONS

NO.	AUTHORIZED BY	REVISIONS	MADE BY	DATE



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HORIZ _____
VERT _____
DATE 11-5-2007

VAULT NO. 20070918
JOB NO. 220146
SHEET 13 OF 20 SHEETS
DRAWING NO. L-P501

LANDSCAPE ARCHITECT STAMP

GENERAL NOTES:

- VISITS TO THE JOB SITE BY REPRESENTATIVES OF THE ENGINEER DO NOT SUBSTITUTE APPROVAL OF THE WORK PERFORMED BY THE CONTRACTOR OR HIS SUBCONTRACTORS AND ARE MERELY FOR THE PURPOSE OF OBSERVING THE WORK PERFORMED.
- CONTRACTOR SHALL NOTIFY ENGINEER/ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK INVOLVED. IN ALL CASES, UNLESS OTHERWISE DIRECTED, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN AND BE PERFORMED.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS AND ELEVATIONS, ETC., AT THE SITE AND SHALL COORDINATE WORK PERFORMED BY ALL TRADES. DO NOT SCALE DRAWINGS.
- SHOP DRAWINGS SHALL BE REVIEWED BY THE ENGINEER/ARCHITECT PRIOR TO FABRICATION OR ERECTION FOR ANY PREFABRICATED OR MANUFACTURER-DESIGNED COMPONENTS AND SHALL BE STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THIS STRUCTURE RESIDES.
- SIZES, LOCATIONS, LOADS, AND ANCHORAGES OF EQUIPMENT SHALL BE VERIFIED IN THE FIELD WITH EQUIPMENT MANUFACTURERS (SUPPLIERS) PRIOR TO FABRICATION OR INSTALLATION OF SUPPORTING STRUCTURES.
- TEMPORARY BRACING SHALL BE PROVIDED WHEREVER NECESSARY TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED, INCLUDING WIND. SUCH BRACING SHALL BE LEFT IN PLACE AS LONG AS MAY BE REQUIRED FOR SAFETY, OR UNTIL ALL THE STRUCTURAL ELEMENTS ARE INSTALLED.
- DURING AND AFTER CONSTRUCTION THE CONTRACTOR AND/OR OWNER SHALL KEEP LOADS ON THE STRUCTURE WITHIN THE LIMITS OF THE DESIGN LOAD.
- CONTRACTOR AND ALL SUBCONTRACTORS SHALL PERFORM THEIR TRADES AND DUTIES IN A MANNER CONFORMING TO THE PROCEDURES AND REQUIREMENTS AS STATED IN THE 2006 INTERNATIONAL BUILDING CODE, (OR LATEST ACCEPTED CODE ADOPTED BY THE LOCAL BUILDING OFFICIALS).
- ANY SPECIAL INSPECTIONS REQUIRED BY THE BUILDING OFFICIAL OR THE INTERNATIONAL BUILDING CODE ARE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION WITHIN AND ADJACENT TO THE JOB SITE.

FOOTINGS, FOUNDATIONS AND SLAB ON GRADE NOTES:

- ALL FOOTING SIZES ARE BASED ON AN ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF. ANY SOIL CONDITION ENCOUNTERED DURING EXCAVATION THAT IS CONTRARY TO THOSE USED FOR DESIGN OF FOOTINGS AS OUTLINED IN WORKING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED NATIVE SOIL OR ENGINEERED GRANULAR FILL COMPACTED TO 95% OR MAX. DENSITY, BASED ON ASTM D557 METHOD OF COMPACTION. FILL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES IN DEPTH AFTER COMPACTION AND SHALL EXTEND DOWN TO IN-SITU SOILS. FILL SHALL BE COMPACTED UNDER ALL CONCRETE WORK ON THE SITE.
- NO FOOTINGS SHALL BE PLACED IN WATER, SNOW, FROZEN GROUND, OR UNSTABLE SOILS.
- ALL EXCAVATIONS ADJACENT TO AND BELOW FOOTING ELEVATION FOR OTHER TRADES SHALL BE ACCOMPLISHED PRIOR TO POURING ANY FOOTINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LATERALLY SUPPORTING ALL RETAINING TYPE FOUNDATION WALLS WHILE COMPACTING BEHIND WALLS AND UNTIL ALL SUPPORTING MEMBERS HAVE BEEN PLACED (SUCH AS FLOOR SLABS). ALL OPEN EXCAVATIONS AND TRENCHES SHALL BE SUPPORTED AND BARRICADED BY CONTRACTOR TO CONFORM WITH OSHA SAFETY STANDARDS.
- ALL REINFORCEMENTS SHALL BE SECURELY TIED IN PLACE PRIOR TO POURING CONCRETE.
- PROVIDE DOWELS IN FOOTING AND FOUNDATIONS TO MATCH ALL VERTICAL BARS IN WALLS AND COLUMNS ABOVE, UNLESS NOTED OTHERWISE.
- PROVIDE CONTROL JOINTS (SEE TYPICAL DETAILS) IN SLABS AT A MAXIMUM OF 15 FEET, O.C. EACH WAY AND AS SHOWN ON PLANS. POUR SLABS BETWEEN CONTROL JOINTS, SO THAT ADJACENT POURS ARE STAGGERED AT LEAST TWO DAYS APART. SHORTLY AFTER SLABS ARE POURED, MAKE SAW-CUT JOINTS AT A MAXIMUM OF 12 FT. O.C. BETWEEN POUR CONTROL JOINTS.
- 8" CONCRETE FOUNDATION WALLS SHALL BE REINFORCED WITH VERT #4 BARS (GRADE 60) @ 12" O.C. AND HORIZ #4 BARS (GRADE 60) @ 12" O.C.
- VERTICAL BARS SHALL EXTEND TO WITHIN 3" OF THE TOP OF THE WALL. BOTTOM HORIZ BAR SHALL BE 4" ABOVE THE FOOTING AND TOP HORIZ BAR SHALL BE 4" FROM THE TOP OF THE WALL.

CONCRETE NOTES:

- ALL COLUMNS AND WALLS AND ALL EXTERIOR FLATWORK, CURBS, GUTTERS, ETC., SHALL BE NORMAL WEIGHT CONCRETE WITH A COMPRESSIVE STRENGTH EQUAL TO AT LEAST 4,000 LBS. PER SQUARE INCH WITHIN 28 DAYS AFTER POURING. THE WATER/CEMENT RATIO SHALL BE NO GREATER THAN 0.44 AND SLUMP SHALL BE 3" OR LESS. MINIMUM CEMENT CONTENT SHALL BE 575 LBS. PER CUBIC YARD.
- ALL FOOTINGS, FOUNDATIONS, AND INTERIOR SLABS ON GRADE SHALL BE NORMAL WEIGHT CONCRETE WITH A COMPRESSIVE STRENGTH EQUAL TO AT LEAST 3,000 LBS. PER SQUARE INCH WITHIN 28 DAYS AFTER POURING. THE WATER/CEMENT RATIO SHALL BE NO GREATER THAN 0.50 AND SLUMP SHALL BE 3" OR LESS. MINIMUM CEMENT CONTENT SHALL BE 575 LBS. PER CUBIC YARD.
- UNLESS OTHERWISE NOTED, ALL CONSTRUCTION JOINTS SHALL BE KEYS WITH A KEY 1-1/2" DEEP, A LENGTH 2" LESS THAN THE MEMBER, AND A WIDTH 1/2 OF THE MEMBER. REINFORCING SHALL BE CONTINUOUS THRU JOINT.
- ALL METAL REINFORCEMENT SHALL BE DEFORMED TYPE BARS AND SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS ASTM A615 GRADE 60. BEAM AND COLUMN REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATION A.S.T.M. A615 GRADE 60.
- ALL SPLICES IN CONTINUOUS CONCRETE REINFORCING BARS SHALL LAP 30 BAR DIAMETERS. ALL SUCH SPLICES SHALL BE MADE IN A REGION OF COMPRESSION UNLESS OTHERWISE SHOWN.
- ALL REINFORCEMENT BARS SHALL BE SECURELY ANCHORED AND SHALL BE SPACED FROM THE FORMS (UNLESS SHOWN OTHERWISE) AS FOLLOWS: 2" IN BEAMS AND COLUMNS, 1" IN PROTECTED WALLS AND SUSPENDED SLABS, 2" IN UNPROTECTED WALLS, AND 3" ABOVE BOTTOM AND SIDES OF FOOTINGS.
- ALL OPENINGS IN CONCRETE WALLS SHALL BE REINFORCED WITH 2 #5 BARS EXTENDING 2'-0" MIN BEYOND THE EDGE OF THE OPENING AT EACH FACE OF OPENING.
- ALL CONCRETE WORK SHALL BE PLACED, CURED, STRIPPED, AND PROTECTED AS DIRECTED BY THE SPECIFICATIONS AND ACI STANDARDS AND PRACTICES.
- BEFORE CONCRETE IS POURED CHECK WITH ALL TRADES TO INSURE PROPER PLACEMENT OF ALL OPENINGS, SLEEVES, CURBS, CONDUITS, BOLTS, INSERTS, ETC. RELATIVE TO WORK.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND FORMWORK.
- REFER TO ARCHITECTURAL DRAWINGS FOR MOLDS, GROOVES, ORNAMENT, CLIPS OR GROUNDS, REQUIRED TO BE ENCASED IN CONCRETE AND FLOOR LOCATION OF FLOOR FINISHES AND SLAB DEPRESSIONS.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 AND SHALL HAVE A MINIMUM SIDE LAP OF 8 IN.
- ALL REINFORCEMENT SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH ACI DETAILING MANUAL 315-95 AND ACI STANDARD 310-95.
- FOR STEPS IN FOUNDATION GREATER THAN 2 FEET, WRAP CORNER W/2- #4 BARS EXTENDING 18" EACH DIRECTION.

LUMBER NOTES:

- MEMBER GRADES SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
GLU-LAM BEAMS 24F-V4 DF/DL
JOISTS MEM-FIR #2 BTR
HEADERS MEM-FIR #2 BTR
POSTS MEM-FIR #1 BTR
STUDS NON-BEARING WALLS MEM-FIR STUD GRADE BTR
STUDS BEARING WALLS MEM-FIR #2 BTR
FIRE-FIB JOISTS AS PER MANUFACTURER
SPL PLATES IN CONTACT WITH CONCRETE MEM-FIR #2 PRESSURE TREATED FOR MOISTURE PROTECTION
- WHERE NOT NOTED OTHERWISE, CONNECT ALL WOOD TO CONCRETE, WOOD TO STEEL AND WOOD TO WOOD (EXCEPT STUD TO PLATE) WITH SIMPSON CONNECTORS.
- ALL MULTIPLE PLATES AND LEDGERS SHALL BE NAILED TOGETHER WITH 16d NAILS AT 8" ON CENTER.
- STUD WALLS SHALL RUN CONTINUOUS BETWEEN POINTS OF HORIZONTAL SUPPORT. PROVIDE BRACING WHERE OTHERWISE.
- BLOCK ALL HORIZONTAL EDGES OF PLYWOOD WALL SHEATHING WITH 2" NOMINAL BLOCKING. BLOCK EDGES OF PLYWOOD ON FLOORS AND ROOF AS DIRECTED ON DRAWINGS.
- SOLID 2" NOMINAL BLOCKING SHALL BE PROVIDED AT ENDS OR POINTS OF SUPPORT OF ALL WOOD JOISTS.
- ALL LEDGER BOLTS SHALL HAVE PLATE WASHERS WITH A MINIMUM DIA. EQUAL TO 3 TIMES THE BOLT DIA. UNLESS SHOWN OTHERWISE IN DETAILS.
- MINIMUM NAILING SHALL BE AS PER IRC.
- FASTENERS SUCH AS STAPLES, CAN ONLY BE SUBSTITUTED FOR NAILS AT A RATE EQUAL TO LOAD VALUES PROVIDED BY I.C.B.O. APPROVAL. SEE ATTACHED SCHEDULE.
- JOISTS SHALL HAVE BRIDGING, BLOCKING AND NOTCHED BEARING PLATES AS RECOMMENDED BY THE MANUFACTURER WITH A MINIMUM OF ONE ROW OF BRACING AT MID SPAN. MANUFACTURER SHALL SUPPLY AND CONTRACTOR SHALL INSTALL.

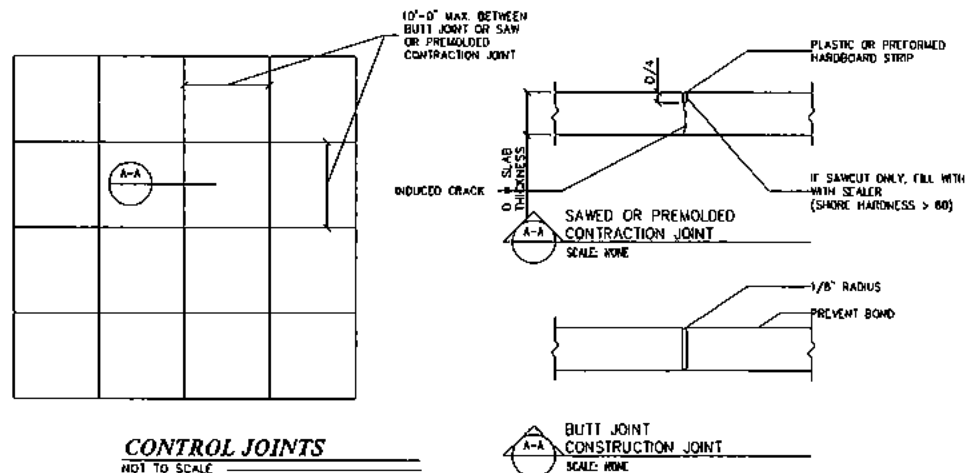
DESIGN CRITERIA

GOVERNING CODE 2006 IBC
SEISMIC DESIGN CATEGORY D

BASIC WIND SPEED 90 MPH EXPOSURE C

ROOF DEAD LOAD 20 PSF
LIVE LOAD 30 PSF

SOIL BEARING PRESSURE 1500 PSF (ASSUMED)



CONTROL JOINTS
NOT TO SCALE

BUTT JOINT CONSTRUCTION JOINT
SCALE: NONE

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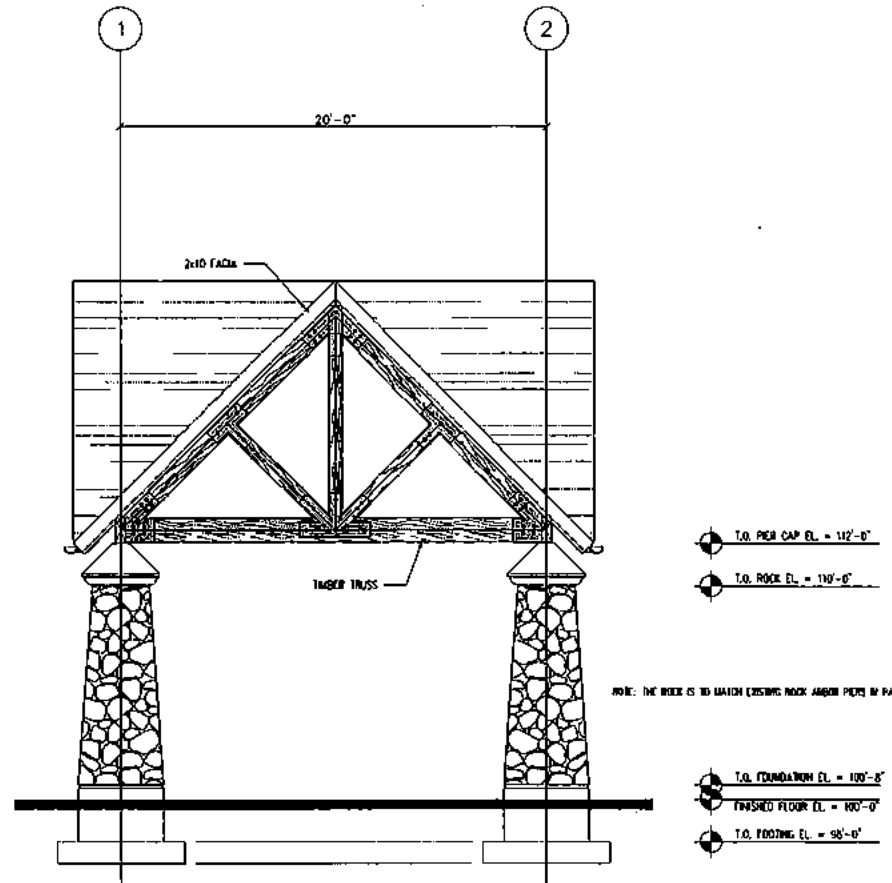
SALT LAKE CITY CORPORATION



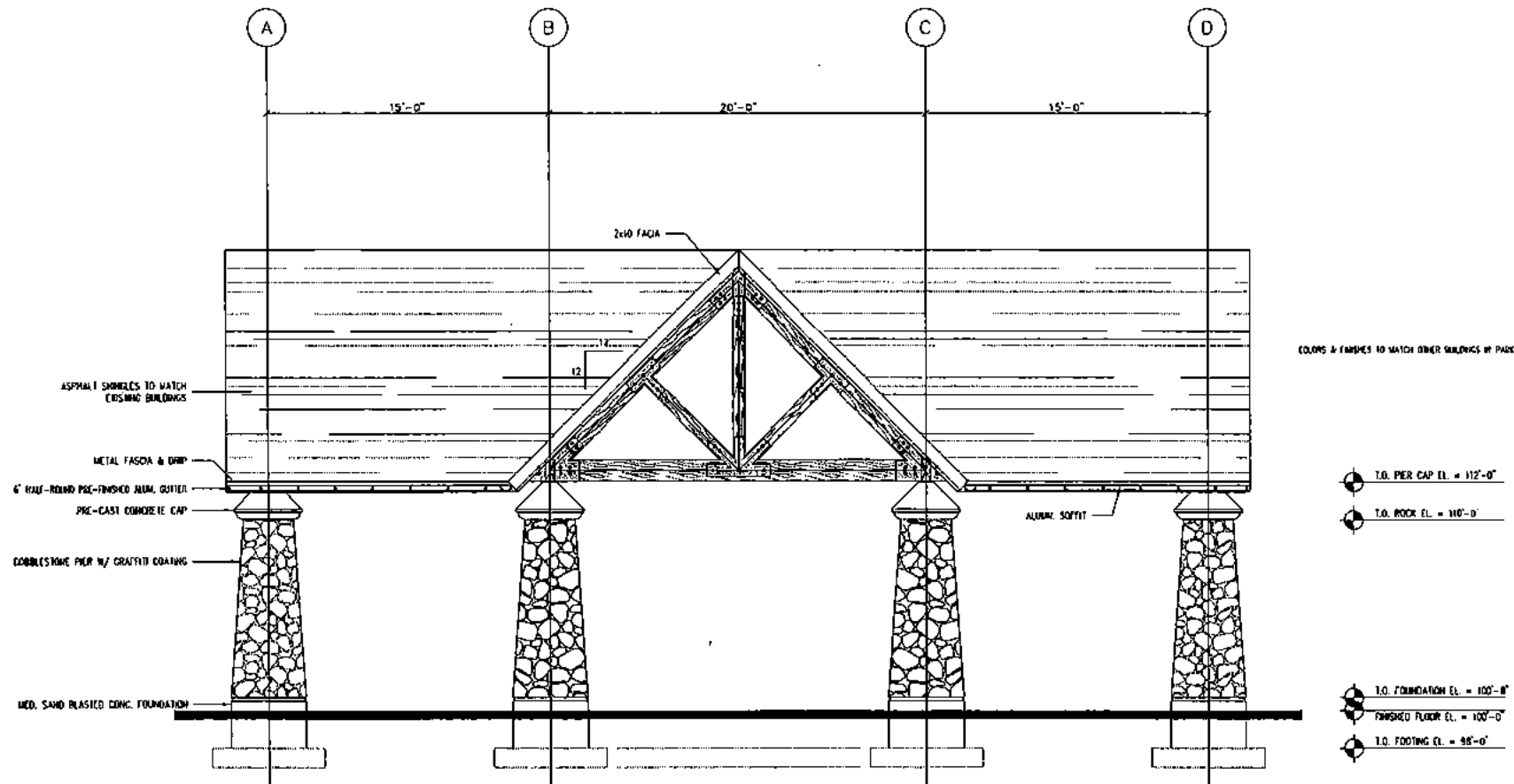
SILVERPEAK ENGINEERING
115 West 5th South
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90% REVIEW: NOT FOR CONSTRUCTION	DESIGNED BY	---
	DRAWN BY	NKB
	CHECKED BY	JRJ
	SCALE	HORIZ VERT
DATE	11-5-2007	
Vault No.	20070016	
Job No.	220146	
SHEET	14	OF 20 SHEETS
DRAWING NO.	S1	

LANDSCAPE ARCHITECT STAMP




SIDE ELEVATION
SCALE: 1/4" = 1'-0"




FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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CONSTRUCTION**

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DRAWN BY: NKB

CHECKED BY: JBJ

SCALE: HORIZ: _____

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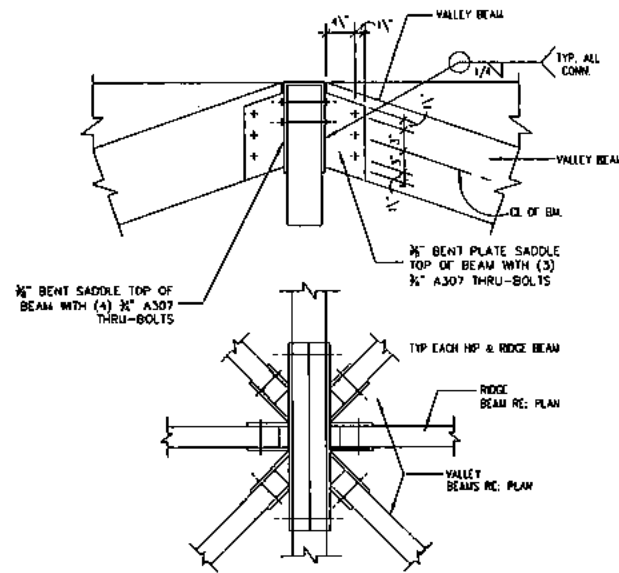
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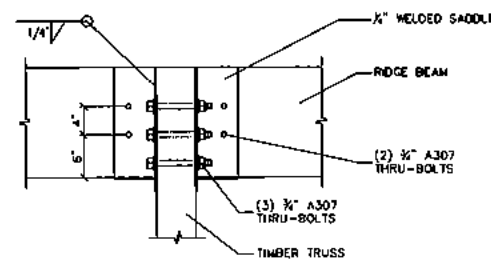
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SHEET 15 OF 20 SHEETS

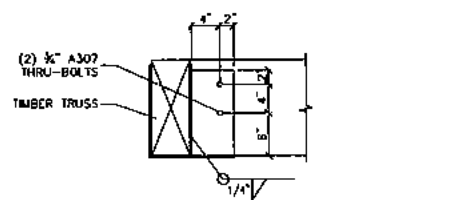
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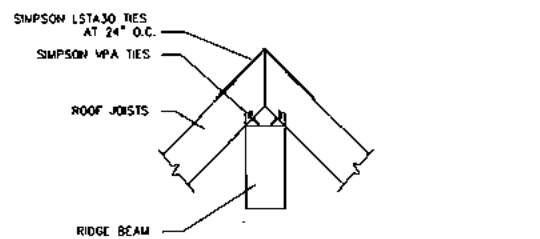
RIDGE / HIP BEAM CONNECTION 1
NOT TO SCALE S4



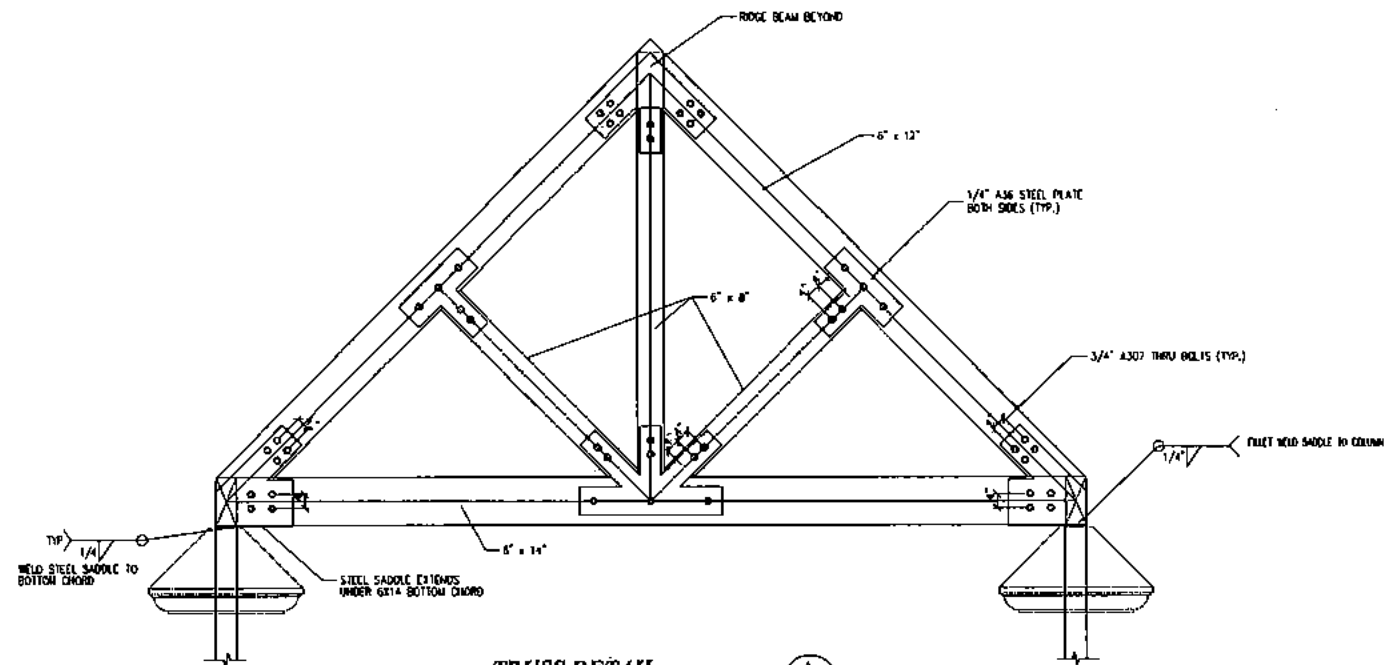
RIDGE BEAM TO TRUSS CONNECTION 2
NOT TO SCALE S4



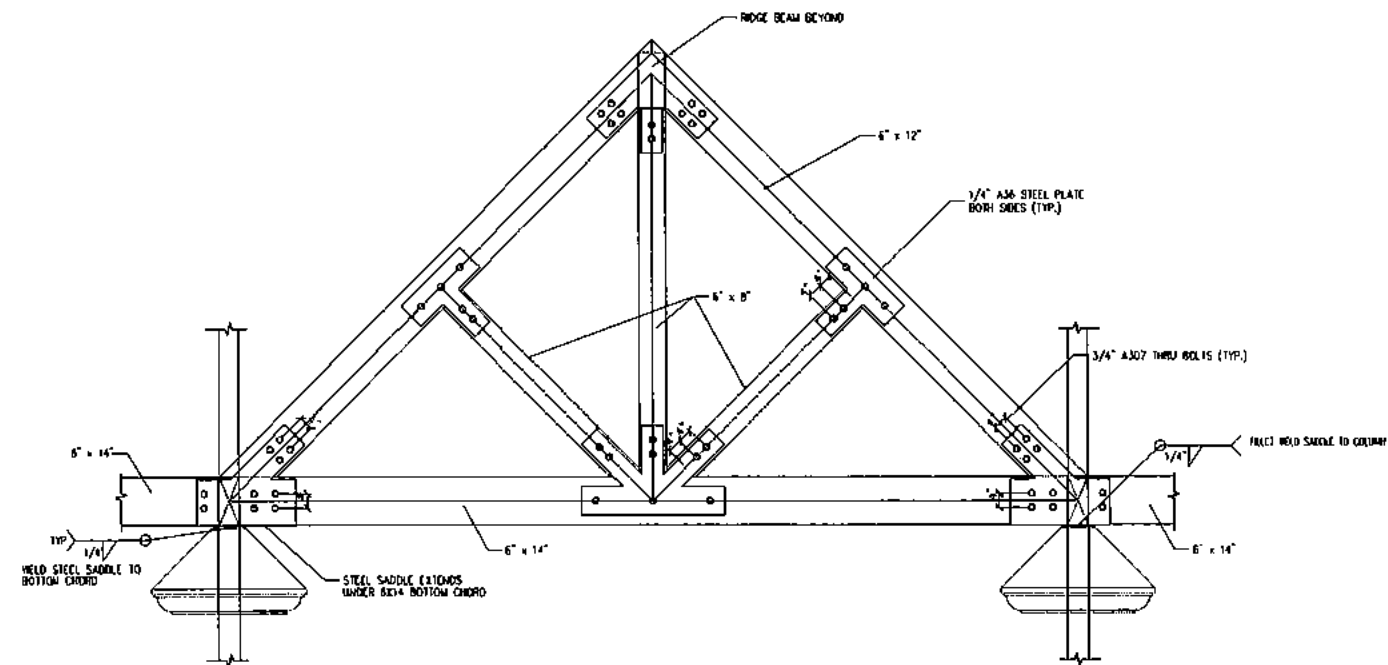
ROOF BEAM CONNECTION 3
NOT TO SCALE S4



ROOF JOIST TO RIDGE BEAM 4
NOT TO SCALE S4



TRUSS DETAIL A
SCALE: 1/2" = 1'-0" S4



TRUSS DETAIL B
SCALE: 1/2" = 1'-0" S4

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 DRAWN BY: HKB
 CHECKED BY: JRJ
 SCALE: HORIZ: --
 VERT: --
 DATE: 11-5-2007

Vault No. 20070019
 Job No. 220146
 Sheet 17 of 20 Sheets
 Drawing No. S4

LANDSCAPE ARCHITECT STAMP

FIXTURE SCHEDULE

TYPE	DESCRIPTION	CATALOG NUMBER	VOLTS	LAMPS
A	METAL HALIDE FLOODLIGHT, TOWER MOUNTING, 125W METAL HALIDE	DIMMITY LIGHTING 350-12-11-125W-08-170-19	120	(1) 125W MH

GENERAL NOTES

1. CONSULT ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF ALL LIGHTING FIXTURES.
2. VERIFY ALL COMPONENT DIMENSIONS AND LOCATIONS BEFORE BEGINNING ROUGH IN. CONSULT ALL APPLICABLE CONTRACT DRAWINGS AND SHOP DRAWINGS TO INSURE NEC LOAD CLEARANCES REQUIRED AROUND ALL ELECTRICAL EQUIPMENT.
3. CONTRACTOR SHALL VERIFY ALL ELECTRICAL LOADS (VOLTAGE, PHASE, CONNECTION REQUIREMENTS, ETC.) OF EQUIPMENT FURNISHED UNDER DIVISION 15 WITH APPROVED MECHANICAL SHOP DRAWINGS BEFORE BEGINNING ROUGH IN.
4. SEE SECTION 16510 OF THE SPECIFICATION REQUIRED COORDINATION MEETINGS WITH MECHANICAL AND CEILING CONTRACTORS.
5. SEE APPLICABLE SHOP DRAWINGS FOR ROUGH IN LOCATION OF ALL EQUIPMENT, WIRING DEVICES, ETC. WHERE APPLICABLE MOUNT ALL WIRING DEVICES ABOVE BACK SPLASH EXCEPT THOSE SERVING UNDER COUNTER EQUIPMENT.
6. SEE SPECIFICATION FOR ENERGY SAVING LAMP AND BALLAST REQUIREMENTS.
7. FINISHES OF ALL LIGHT FIXTURES SHALL BE AS SELECTED BY ARCHITECT.
8. THE ELECTRICAL CONTRACTOR SHALL NOTIFY AND COOPERATE WITH THE MECHANICAL CONTRACTOR SUCH THAT NO PIPING, BURSTS, OR EQUIPMENT FORCED TO THE OPERATION OF THE ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE INSTALLED IN, ENTER OR PASS THRU ELECTRICAL ROOMS OR SPACES, OR ABOVE OR BELOW ELECTRICAL EQUIPMENT IN OTHER AREAS.
9. ELECTRICAL BOXES SHALL NOT BE LOCATED IN MASONRY COLUMNS IN BRICK WALLS OR IN ROUTED CELLS ADJACENT TO OPERINGS. COORDINATE LOCATION OF BOXES WITH MASONRY CONTRACTOR.
10. ALL PENETRATIONS OF FIRE RATED FLOORS, WALLS, AND CEILINGS SHALL BE SEALED WITH APPROVED MATERIAL TO MAINTAIN FIRE RATING OF SURFACE PENETRATED.
11. CIRCUITS EXCEEDING OVER 70' FOR 120 VOLT AND 180' FOR 277 VOLT 20 AMP CIRCUITS SHALL BE RUN WITH MINIMUM #10 CONDUCTORS.

ELECTRICAL SYMBOL SCHEDULE

STANDARD MOUNTING HEIGHT UNLESS OTHERWISE NOTED ON PLANS			
SYMBOL	DESCRIPTION	MOUNTING HEIGHT	NOTES
—	ONE CIRCUIT, TWO WIRE HOME RUN TO PANEL		
—	2 CIRCUIT, 3 WIRE, COMMON NEUTRAL HOME RUN		
—	3 CIRCUIT, 4 WIRE, COMMON NEUTRAL HOME RUN		
—	CONDUIT RUN CONCEALED IN WALL OR CEILING		
—	CONDUIT RUN CONCEALED IN FLOOR OR GROUND		
—	CONDUIT UP		
—	CONDUIT DOWN		
—	CONDUIT STUB LOCATION	CONC. CONSULT	
—	CABLE TRAY	AS NOTED	
○	CEILING LIGHT FIXTURE	CEILING	1.
○	WALL LIGHT FIXTURE	AS NOTED	1.
○	RECESSED DOWNLIGHT FIXTURE	CEILING	1.
○	FLUORESCENT LIGHT FIXTURE	AS NOTED	1.
○	FLUORESCENT GROSS LIGHT FIXTURE	AS NOTED	UNSWITCHED
○	AREA LIGHT POLE AND FIXTURE	CONCRETE BASE	SEE DIAGRAM
○	FLOOD OR TRACK FIXTURE	AS NOTED	
○	CEILING MOUNTED EXIT LIGHT	CEILING	1,3,5.
○	WALL MOUNTED EXIT LIGHT	AS NOTED	1,3,5.
⌘	SINGLE POLE SWITCH	+4'-0"	2.
⌘	SINGLE POLE SWITCH	+4'-0"	4, 2.
⌘	THREE-WAY SWITCH	+4'-0"	2.
⌘	FOUR-WAY SWITCH	+4'-0"	2.
⊖	SIMPLEX RECEPTACLE	+18" OR AS NOTED	9, 11.

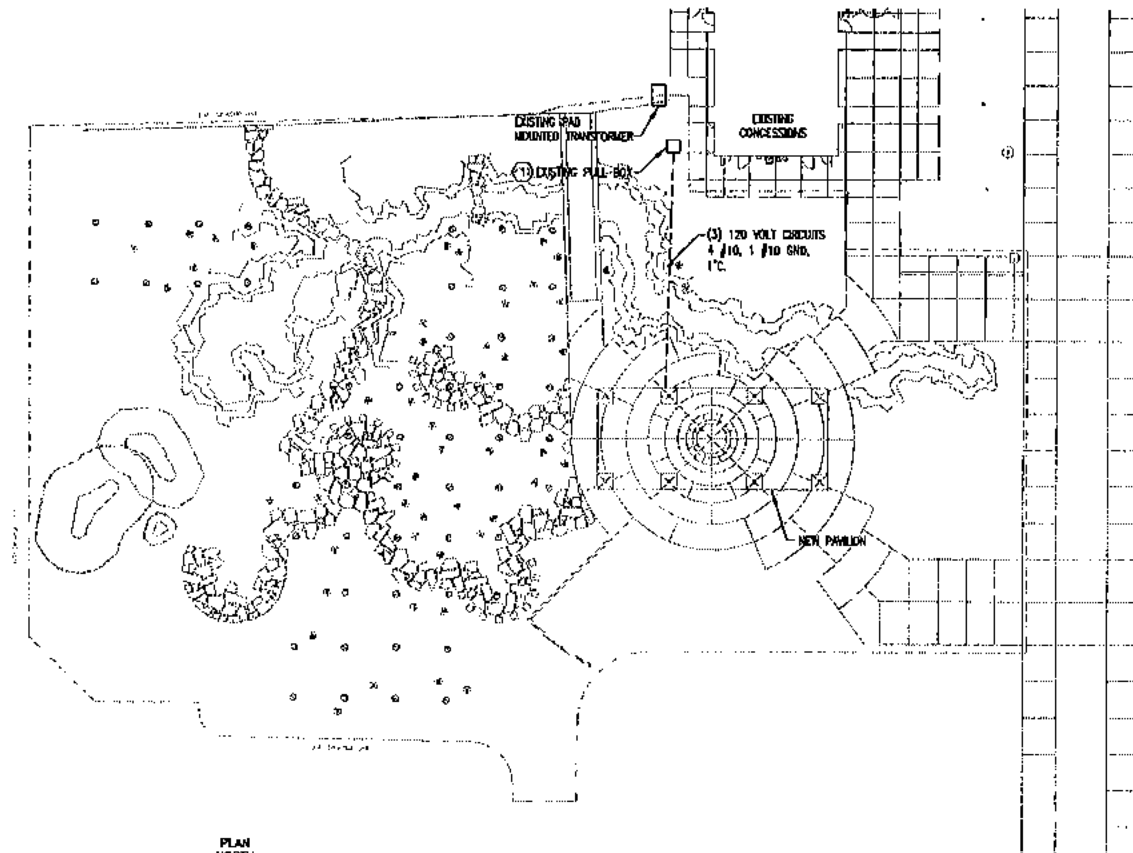
STANDARD MOUNTING HEIGHT UNLESS OTHERWISE NOTED ON PLANS			
SYMBOL	DESCRIPTION	MOUNTING HEIGHT	NOTES
⊖	DUPLEX RECEPTACLE	+18" OR AS NOTED	9, 11.
⊖ WP	WEATHERPROOF RECEPTACLE	+24" OR AS NOTED	2, 9.
⊖	GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE	+18" OR AS NOTED	9, 11.
⊖	FOURPLEX RECEPTACLE	+18" OR AS NOTED	9, 11.
▷	DATA OUTLET	+18" OR AS NOTED	9, 11.
▷	TELEPHONE OUTLET	+18" OR AS NOTED	9, 11.
▷	TELEPHONE/DATA OUTLET	+18" OR AS NOTED	9, 11.
⊖	JUNCTION BOX (1" IN FLOOR)	AS NOTED	
⊖	MOTOR OUTLET	TO SURF EQUIP.	
⊖	PHOTO-ELECTRIC CONTROL	AS NOTED	TORR 2000A
⊖	TIME CLOCK	+5'-0"	2.
⊖	PUSHBUTTON	+4'-0"	2.
⊖	NON-FUSED DISCONNECT SWITCH	+5'-0"	5.
⊖	FUSED DISCONNECT SWITCH	+5'-0"	5.
⊖	MANUAL STARTER THERMAL OVERLOAD SWITCH WITH PILOT LIGHT	+4'-0"	2.
⊖	MAGNETIC STARTER	+5'-0"	7.
⊖	MAGNETIC STARTER / DISCONNECT COMBINATION	+5'-0"	
⊖	PANEL BOARD	TOP AT +8'-0"	
⊖	MAIN DISTRIBUTION PANEL	TOP AT +8'-0"	
⊖	TELEPHONE TERMINAL BOARD		
⊖	ARCHITECTURAL ROOM NUMBER		
⊖	LIGHT FIXTURE (LETTER DESIGNATES TYPE)		
⊖	EQUIPMENT NUMBER		

SHEET KEYNOTES

- ① CONNECT NEW CIRCUITS TO EXISTING POWER SOURCES IN PULL BOX.

INDEX OF ELECTRICAL DRAWINGS


- E1 SYMBOLS, SCHEDULES AND NOTES
- E2 SPECIFICATIONS
- E3 ELECTRICAL PLAN




PLAN NORTH
ELECTRICAL SITE PLAN
1" = 20'-0"

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Vault No.	---
JOB NO.	07388A
SHEET	18 OF 20 SHEETS
DRAWING NO.	E1

ENGINEERS STAMP

ELECTRICAL SPECIFICATIONS

GENERAL PROVISIONS

- A. REFERENCE**
- THE GENERAL CONDITIONS AND OTHER CONTRACT CONDITIONS AS SET FORTH IN THE FOREGOING PAGES ARE HEREBY INCORPORATED INTO AND BECOME A PART OF THE SPECIFICATIONS FOR WORK UNDER THIS TITLE, INsofar AS THEY APPLY HERETO.
 - ALL SPECIFICATIONS UNDER THIS DIVISION TITLE ARE DIRECTED TO AND ARE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. UNLESS OTHER TRADES OR PERSONS ARE SPECIFICALLY MENTIONED, "ELECTRICAL CONTRACTOR" IS INTENDED AND INTENDED.
- B. CONTRACT DRAWINGS**
- THE DRAWINGS ACCOMPANYING THESE SPECIFICATIONS ARE COMPLEMENTARY EACH TO THE OTHER AND WHAT IS CALLED FOR BY ONE SHALL BE AS IF CALLED FOR BY BOTH.
 - CONSULT ALL CONTRACT DRAWINGS WHICH MAY AFFECT THE LOCATION OF EQUIPMENT, CONDUIT AND WIRING AND MAKE NECESSARY ADJUSTMENTS IN LOCATION TO SECURE COORDINATION.
 - WIRING LAYOUT IS SCHEMATIC AND EXACT LOCATIONS SHALL BE DETERMINED BY FIELD CONDITIONS.
 - OTHER THAN MINOR ADJUSTMENTS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE PROCEEDING WITH THE WORK.
- C. JOB-SITE COPY OF DOCUMENTS**
- MAINTAIN AT THE SITE, ONE COPY OF ALL DRAWINGS, SPECIFICATIONS, ADDENDA APPROVED SHOP DRAWINGS, CHANGE ORDERS AND OTHER MODIFICATIONS IN GOOD ORDER AND MARKED TO RECORD ALL CHANGES MADE DURING CONSTRUCTION. THESE SHALL BE AVAILABLE TO THE OWNER'S REPRESENTATIVE. THE DRAWINGS MARKED TO RECORD ALL CHANGES MADE DURING CONSTRUCTION SHALL BE DELIVERED TO THE OWNER'S REPRESENTATIVE FOR THE OWNER UPON COMPLETION OF THE WORK. AN ADDITIONAL SET OF DRAWINGS WILL BE FURNISHED BY THE OWNER'S REPRESENTATIVE FOR HIS PURPOSE UPON REQUEST.
- D. MANUFACTURER'S DRAWINGS**
- THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR REVIEW, (4) COPIES OF MANUFACTURER'S DRAWINGS AND WIRING DIAGRAMS. THE ENGINEER WILL REVIEW CONTRACTOR'S SHOP DRAWINGS AND RELATED SUBMITTALS (AS INDICATED BELOW) WITH RESPECT TO THE ABILITY OF THE DETAIL WORK, WHEN COMPLETE, TO BE A PROPERLY FUNCTIONING INTEGRAL ELEMENT OF THE OVERALL SYSTEM DESIGNED BY THE ENGINEER. BEFORE SUBMITTING A SHOP DRAWING OR ANY RELATED MATERIAL TO THE ENGINEER, CONTRACTOR SHALL REVIEW EACH SUCH SUBMISSION FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND OPERATIONS OF CONSTRUCTION, AND SAFETY PRECAUTIONS AND PROGRAMS INDICATED THEREIN, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF CONTRACTOR. APPROVE EACH SUCH SUBMISSION BEFORE SUBMITTING IT, AND SO STAMP EACH SUCH SUBMISSION BEFORE SUBMITTING IT. THE ENGINEER SHALL ASSUME THAT NO SHOP DRAWING OR RELATED SUBMITTAL COMPRISES A VARIATION UNLESS CONTRACTOR ADVISES OTHERWISE VIA A WRITTEN INSTRUMENT WHICH IS ACKNOWLEDGED BY CONTRACTOR IN WRITING. THE ITEMS, TYPES OF SUBMITTALS AND RELATED MATERIAL (IF ANY) CALLED FOR ARE INDICATED BELOW:
- | ITEMS | TYPICAL SUBMITTALS REQUIRED |
|-------------------------------|-----------------------------|
| LIGHTING AND POWER PANELS | SHOP DRAWINGS |
| LIGHTING FIXTURES | CATALOG CUTS |
| LIGHTING CONTROL EQUIPMENT | CATALOG CUTS |
| ELECTRICAL LIGHTING EQUIPMENT | CATALOG CUTS |
- E. WARRANTIES**
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEFECTS, REPAIRS AND REPLACEMENTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF SUBSTANTIAL COMPLETION AS DETERMINED BY THE OWNER'S REPRESENTATIVE. PRODUCT WARRANTIES GREATER THAN ONE (1) YEAR SHALL BE PASSED ALONG TO THE OWNER FOR FULL BENEFIT OF THE MANUFACTURER'S WARRANTY.

WORK INCLUDED

- A. INSTALLATION, MATERIALS, AND WORKMANSHIP**
- FURNISH AND INSTALL ALL NECESSARY ANCHORS, SUPPORTS, STRAPS, BOXES, FITTINGS AND OTHER SIMILAR APPURTENANCES NOT INDICATED ON THE DRAWINGS BUT WHICH ARE REQUIRED FOR A COMPLETE AND PROPERLY INSTALLED SYSTEM CONSISTENT WITH THE ARCHITECTURAL TREATMENT OF THE BUILDING.
 - THE ELECTRICAL CONTRACTOR, INsofar AS THE WORK IS CONCERNED, SHALL AT ALL TIMES KEEP THE PREMISES IN A NEAT AND ORDERLY CONDITION, AND AT THE COMPLETION OF THE WORK, SHALL PROPERLY CLEAN UP AND CART AWAY DEBRIS AND EXCESS MATERIALS. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF DUMPSTER & RECYCLE DISPOSAL AS REQUIRED FOR ELECTRICAL WORK.
 - ALL MATERIALS SHALL BE NEW AND UNDETERIORATED AND OF A QUALITY NOT LESS THAN THE MINIMUM SPECIFIED.
- B. COORDINATION OF PLANS AND SPECIFICATIONS**
- CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY IF THERE IS ANY QUESTION REGARDING THE MEANING OR SCOPE OF EITHER PLANS OR SPECIFICATIONS, OR UPON NOTING ANY DISCREPANCIES OR QUESTIONS IN EITHER PLANS OR SPECIFICATIONS.
- C. CUTTING AND PATCHING**
- PATCHING SHALL MATCH EXISTING SURFACES IN KIND AND FINISH AND SHALL BE DONE BY THE GENERAL CONTRACTOR AT THE ELECTRICAL CONTRACTOR'S EXPENSE.
 - REPAIR OF DAMAGES, BY THE ELECTRICAL CONTRACTOR, TO NEWLY PATCHED AND REFRESHED AREAS SHALL BE DONE BY THE GENERAL CONTRACTOR AT THE ELECTRICAL CONTRACTOR'S EXPENSE, TO MATCH EXISTING CONDITION.
 - WHERE REQUIRED TO MAINTAIN FIRE RATING, OPENINGS SHALL BE SEALED UTILIZING 3/4" BRAND FIRE BARRIER PENETRATION EQUAL TO SYSTEMS FINE BARRIER OR FIRE STOP SYSTEMS FROM CROUSE-HINDS, THOMAS & BETTS OR DOW CORNING MAY BE USED AT CONTRACTOR'S OPTION. THIS INCLUDES HOLES LEFT DUE TO REMOVAL OF EXISTING CONDUITS, BUS TUBING, OPENINGS SHALL BE TEMPORARILY FIRE STOPPED UNTIL PERMANENT FIRE STOPPING IS DONE.
- D. CLEANING AND PAINTING**
- ALL ELECTRICAL EQUIPMENT SHALL BE KEPT DRY AND CLEAN DURING THE CONSTRUCTION PERIOD. INTERIOR OF ALL ENCLOSURES SHALL BE CLEANED OF DIRT AND DEBRIS BEFORE INSTALLING TUB OR COVERS.
 - ALL FINISHED SURFACES OF EQUIPMENT FURNISHED UNDER THIS CONTRACT SHALL BE THOROUGHLY CLEANED OF DIRT AND ALL SCRATCHED OR DAMAGED SURFACES SHALL BE TOUCHED UP WITH MATCHING MATERIALS BEFORE FINAL ACCEPTANCE OF THE WORK.
 - WHEN ALL WORK IS COMPLETED AND ALL WORK HAS BEEN SATISFACTORILY TESTED AND ACCEPTED BY THE OWNER'S REPRESENTATIVE, ALL CONDUIT AND OTHER EXPOSED SURFACES SHALL BE THOROUGHLY CLEANED.

CODES AND LIES

- A. CODES:**
- ALL WORK PERFORMED UNDER THIS SPECIFICATION SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AS PREPARED AND PUBLISHED BY THE NATIONAL FIRE PROTECTION ASSOCIATION AND ANY APPLICABLE STATE OR LOCAL CODES.
- B. FEES:**
- OBTAIN AND PAY FOR ANY AND ALL PERMITS REQUIRED BY ALL LAWS AND REGULATIONS AND PUBLIC AUTHORITY HAVING SUCH JURISDICTION.

TESTS AND INSPECTIONS

- OBTAIN ALL INSPECTIONS REQUIRED BY ALL LAWS, ORDINANCES, RULES, REGULATIONS OR PUBLIC AUTHORITY HAVING JURISDICTION AND OBTAIN CERTIFICATES OF SUCH INSPECTIONS AND SUBMIT SAME TO THE OWNER'S REPRESENTATIVE. PAY ALL FEES, CHARGES AND OTHER EXPENSES IN CONNECTION THEREOF. OBTAIN OCCUPANCY PERMIT AS REQUIRED BY OWNER. FINAL PAYMENT SHALL NOT BE MADE UNTIL OCCUPANCY PERMIT IS OBTAINED.
- WORK SHALL BE UNACCEPTABLE WHEN FOUND TO BE DEFECTIVE OR CONTRARY TO THE PLANS, SPECIFICATIONS, CODES SPECIFIED OR ACCEPTED STANDARDS OF GOOD WORKMANSHIP.
- THE CONTRACTOR SHALL PROMPTLY CORRECT ALL WORK FOUND UNACCEPTABLE BY THE OWNER'S REPRESENTATIVE WHETHER OBSERVED BEFORE OR AFTER SUBSTANTIAL COMPLETION AND WHETHER OR NOT FABRICATED, INSTALLED OR COMPLETED. THE CONTRACTOR SHALL BEAR ALL COSTS OF CORRECTIVE SUCH UNACCEPTABLE WORK, INCLUDING COMPENSATION FOR THE OWNER'S REPRESENTATIVE ADDITIONAL SERVICES MADE NECESSARY THEREOF.

CONDUIT

- FURNISH AND INSTALL ALL CONDUITS, BOXES, FITTINGS, ETC., FOR A COMPLETE RACEWAY SYSTEM.
- ALL WIRING SHALL BE RUN IN DRY CONDUIT OR MC WITH GROUND CONDUCTOR UNLESS OTHERWISE NOTED.
- ALL CONDUIT SIZES STATED HEREIN OR MARKED ON THE DRAWINGS ARE NOMINAL SIZE AND SHALL BE NO LESS THAN 1/2" UNLESS OTHERWISE NOTED.
- ALL CONDUIT SHALL BE SUBSTANTIALLY SUPPORTED BY PIPE STRAPS OR SUITABLE CLAMPS OR HANGERS ATTACHED TO THE ELEMENTS OF THE BUILDING STRUCTURE TO PROVIDE PROPER INSTALLATION; IN NO CASE SHALL CONDUIT BE ATTACHED OR SUPPORTED FROM ADJOINING PIPE OR INSTALLED IN SUCH A MANNER AS TO PREVENT THE READY REMOVAL OF OTHER PIPE TIME REPAIRS.

WIRE AND CABLE

- ALL CONDUCTORS SHALL BE COPPER AND OF THE AWG SIZE AND TYPE SHOWN ON THE DRAWINGS. WHERE NO SIZE OR TYPE IS SHOWN, CONDUCTORS SHALL NOT BE LESS THAN #12 TYPE 90°C, THIN, OR THIN, CONDUCTORS #8 AWG AND LARGER SHALL BE STRANDED COPPER AND HAVE 600 VOLT INSULATION; BE 1% LABELED AND OF AMERICAN MANUFACTURE.
 - ALL CONNECTIONS ARE TO BE MADE USING PRESSURE-TYPE TERMINALS.
 - THE FOLLOWING COLOR CODE SHALL BE USED:
- | 120/208 VOLT | WIRE COLOR |
|--------------|------------|
| PHASE A | BLACK |
| PHASE B | RED |
| PHASE C | BLUE |
| NEUTRAL | WHITE |
| GROUND | GREEN |
- CONDUCTORS NO. 10 AWG OR SMALLER SHALL HAVE INSULATION COLORED AS NOTED ABOVE.
 - CONDUCTORS NO. 8 AWG OR LARGER SHALL HAVE INSULATION COLORED AS NOTED ABOVE OR COLORED TAPE, MINIMUM SIZE 1/2", WRAPPED THREE AROUND AT THE FOLLOWING POINTS:
 - AT EACH TERMINAL
 - AT EACH CONDUIT ENTRANCE
 - AT INTERVALS NOT MORE THAN 12 INCHES APART IN ALL BOXES, PANEL TUBS, SWITCHBOARDS, ETC.
 - ALL BRANCH CIRCUITS SHALL BE MARKED IN THE PANELBOARD CUTTERS. MARKERS SHALL INDICATE CORRESPONDING BRANCH-CIRCUIT NUMBERS.
 - EACH BRANCH CIRCUIT RETURNING A NEUTRAL SHALL BE FURNISHED WITH A SEPARATE INDIVIDUAL NEUTRAL CONDUCTOR.

BOXES AND PANELS

- FURNISH AND INSTALL ALL OUTLET, JUNCTION, AND PULLBOARDS AS INDICATED ON THE DRAWINGS AND AS NECESSARY TO INSTALL THE REQUIRED CONDUIT AND WIRING IN A NEAT AND WORKMANLIKE MANNER.
- PULLBOARDS AND JUNCTION BOXES SHALL BE GALVANIZED AND OF THE CORRECT SIZE AND GAUGE, SIZED IN ACCORDANCE WITH CODE REQUIREMENTS AND SHALL BE 1/4" LABELED.
- FLUSH OUTLET, JUNCTION AND PULLBOARDS SHALL BE PRESSURIZED STEEL GALVANIZED OR GALVANNEED AND SHALL BE A MINIMUM OF 4" SQUARE OR OCTAGONAL, SIMILAR TO APPLICATION. #40. STEEL BOXES CAST IN CONCRETE SHALL BE DESIGNED FOR CONCRETE INSTALLATION.
- FLUSH WALL BOXES IN TILE, MARBLE, BRICK OR OTHER FINISHED MASONRY WALLS SHALL BE STEEL CITY OR 135-C SERIES OR PACO BOX SERIES.
- BOXES AT EXTERIOR AREAS TO BE WEATHERTIGHT AND MUST-TIGHT WITH GASKETED COVERS.
- ALL BOXES FOR EXPOSED WORK IN FINISHED SPACES SHALL BE "YS" TYPE WITH THREADED TABS WITH HOOP CONDUIT RINGS (DEEP WIRELOAD BOXES).
- SWITCH PLATES ON FLUSH AND CAST BOXES SHALL BE SIERRA NO. S-34 (P-1), S-24 (P-2), S-34 (P-3) ETC., AS REQUIRED, AND SHALL BE MADE OF SATIN FINISH #302 STAINLESS STEEL.
- OUTLET RECEPTACLE PLATES ON FLUSH AND CAST BOXES SHALL BE SIERRA NO. S-34 (P-3) SATIN FINISH #302 STAINLESS STEEL.
- ALL BOXES SHALL BE PROPERLY SUPPORTED FROM BUILDING STRUCTURE INDEPENDENT OF THE CONDUIT SYSTEM. BOXES CAST INTO MASONRY OR CONCRETE ARE CONSIDERED TO BE PROPERLY SUPPORTED.

WIRING DEVICES

- WIRING DEVICES SHALL BE SIMILAR TO THOSE LISTED BELOW AND OF SPECIFIED AMPERAGE. OTHER SPECIAL PURPOSE DEVICES SHALL BE AS SPECIFIED ON THE DRAWINGS.
- DOUBLE GROUNDING TYPE RECEPTACLE - 20 AMP, 125 VOLT - NEMA 5-20R
HUBBELL - 5352
ARROW LIGHT - 5352
- SINGLE POLE SWITCHES - 20 AMP, 120 VOLT
HUBBELL - 1221
ARROW HART - 1221
- 3-WAY SWITCHES - 20 AMP, 120 VOLT
HUBBELL - 1223
ARROW HART - 1273
- WEATHERPROOF RECEPTABLES - 20 AMP, 125 VOLT - NEMA 5-20R
HUBBELL - 5363 WITH 9205 COVER INTERMATE CHARDMAN
1 SCOWS, NEMA 5P COVER
ARROW HART - 5353 WITH 4500 COVER
- G.F.I. RECEPTACLE - 20 AMP, 125 VOLT - NEMA 5-20R
HUBBELL - 5262 WITH MATCHING NYLON COVER PLATE OR WP-26 WP COVER
- GROUND ALL RECEPTABLES IN ACCORDANCE WITH ARTICLE 250-146 OF NEC AND AS INDICATED IN THE GROUNDING SECTION OF THIS SPECIFICATION.

IDENTIFICATION

- EACH PIECE OF SERVICE EQUIPMENT AND INDIVIDUAL SWITCHES, ALL DISCONNECTS, STARTERS, ALL EXHAUST FAN MANUAL STARTING SWITCHES.
- IDENTIFICATION SHALL BE IN THE FORM OF LAMINATED PLASTIC NAMEPLATES, BLACK FACE, WITH THE LETTERS ENGRAVED INTO THE WHITE BACKGROUND, MINIMUM 1/4" HIGH. PLATES SHALL BE DRILLED ON EACH END FOR SHEET METAL SCREW ATTACHMENT. NO "OTHO" OR SIMILAR TYPE LABELS WILL BE ALLOWED.
- PANELBOARD DIRECTORY: A TYPED CIRCUIT DIRECTORY SHALL BE PROVIDED INDICATING LOCAL AREA SERVED AND LOCATION FOR EACH BRANCH CIRCUIT.

GROUNDING

- ALL FEEDERS AND BRANCH CIRCUITS OVER 100 VOLTS SHALL INCLUDE A GROUNDING CONDUCTOR SIZED IN ACCORDANCE WITH NEC TABLE 250-122, EXCEPT NOT BE SMALLER THAN #12 FOR FEEDER AND LIGHTING CIRCUITS AND #14 FOR OUTLET CIRCUITS. ALL GROUNDING CONDUCTORS SHALL BE GREEN, OR AS SPECIFIED UNDER SECTION 16120, "WIRE AND CABLE".
- ALL GROUND CLAMPS SHALL BE PENN-LINEN "GM" TYPE OR SIMILAR BY O.E. OR SURINCO.
- CONDUIT FOR SOLITARY GROUND CONDUCTORS SHALL BE IDENTIFIED BY SCHEDULE 40 RIGID NON-METALLIC ELECTRICAL CONDUIT WITH UL LABEL. SOLITARY GROUND CONDUCTORS SHALL NOT BE PLACED THROUGH METALLIC SLEEVES OR CONDUITS AND SHALL NOT BE COMPLETELY ENCASED BY METALLIC HANGERS OR SUPPORTS.
- THE GROUND CONDUCTOR SHALL BE CONNECTED TO THE NEUTRAL IN ONLY TWO LOCATIONS - ON THE SUPPLY SIDE OF THE SERVICE DISCONNECT MEANS PER NEC-250-24 AND ON SEPARATELY DERIVED SYSTEMS PER NEC 250-30.
- AT EACH RECEPTACLE BOX, THE GROUND CONDUCTOR SHALL ENTER AND CONNECT, WITH NORMAL WIRING CONNECTOR, TO: 1) THE GROUND PIGTAIL TO RECEPTACLE; 2) THE GROUND PIGTAIL TO BOX GROUND SCREWS; AND 3) THE OUTGOING GROUND CONDUCTOR TO NEXT DEVICE IF NOT AT END OF RUN. EQUAL TO METAL CONTACT BETWEEN THE DEVICE WIRE AND THE OUTLET BOX IS NOT ACCEPTABLE AS A BOND FOR OTHER SURFACE MOUNTED BOXES OR FLUSH TYPE BOXES.
- CONDUIT SYSTEM SHALL BE ELECTRICALLY CONTINUOUS. ALL LOCK NUTS SHALL CUT THROUGH ENAMELED OR PAINTED SURFACES ON ENCLOSURES. WHERE ENCLOSURES AND NON-CURRENT CARRYING METALS ARE ISOLATED FROM THE CONDUIT SYSTEM, USE BONDING JUMPERS WITH APPROVED CLAMPS. WHERE BONDING WASHERS ARE USED AND WHERE CONDUITS OR ENCLOSURE INTERFACES ARE NOT COMPLETELY REMOVED BONDING WASHERS SHALL BE REQUIRED.

INTERRUPTION OF SERVICE AND OWNER'S OPERATION

- THE ELECTRICAL CONTRACTOR SHALL ORGANIZE HIS WORK SO THAT THESE ALTERATIONS AND ADDITIONS SHALL CAUSE A MINIMUM OF INTERFERENCE AND DISTURBANCE TO THE OWNER. ARRANGEMENTS SHALL BE MADE WITH THE OWNER AND EMPLOYER BEFORE INTERRUPTING SERVICE IN ANY AREA. A WRITTEN DETAILED METHOD OF INTERRUPTION PROCEDURE INDICATING ELAPSED TIME REQUIRED AND TIME OF INTERRUPTION SHALL BE PREPARED BY THE ELECTRICAL CONTRACTOR AND SUBMITTED TO THE OWNER FOR APPROVAL.
- ALL INTERRUPTIONS OF SERVICE SHALL BE MADE WHEN THE LOAD IS AT A MINIMUM AND SHALL BE SCHEDULED AT THE OWNER'S CONVENIENCE. SERVICE INTERRUPTIONS WILL BE SCHEDULED FOR OTHER THAN NORMAL BUSINESS HOURS. THE ELECTRICAL CONTRACTOR SHALL INCLUDE NECESSARY COST FOR OVERTIME LABOR IN ALL BIDS.
- AT NO TIME SHALL THE ELECTRICAL CONTRACTOR OR HIS EMPLOYEES NORMALLY WORKING ON THE PROJECT LEAVE THE FACILITY DURING A TIME WHEN ANY INDIVIDUAL LIVE CIRCUITS OR FEEDERS ARE DISCONNECTED, WITHOUT PERMISSION OF THE ENGINEER.
- ALL MATERIALS, CONNECTIONS AND EQUIPMENT FOR TEMPORARY CONTROL OR POWER WIRING TO MAINTAIN CONTINUITY OF SERVICE DURING CONSTRUCTION SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.

PANELS AND LIGHTING PANELS

- FURNISH AND INSTALL, AS SCHEDULED AND SHOWN ON THE DRAWINGS, POWER PANELS FOR OPERATION ON VOLTAGES INDICATED.
- THE PANELS SHALL BE SQUARE, R. TYPE 1800, NEMA OR I-LINE OR EQUAL, WITH BRANCH BREAKERS AS SCHEDULED ON THE DRAWINGS.
- ALL TERMINATIONS SHALL BE WIRING "75C ONLY", "80/75C" OR LISTED FOR USE OF 75C INSULATED CONDUCTORS AT FULL 75% AMPACITY.
- ALL BUS BARS SHALL BE SILVER OR TIN PLATED COPPER.
- CABINETS SHALL BE OF COMMERCIAL GALVANIZED SHEET STEEL, CORRECT GAUGE AND SIZE, SURFACE OR FLUSH MOUNTED AS CALLED FOR BY THE DRAWINGS. FLUSH PANELS SHALL BE FINISHED WITH PRIME COAT ONLY. DOORS SHALL BE FITTED WITH CHROME PLATED COORDINATION LOCK AND CATCH, AND ALL KEYS ALICE.
- NEUTRAL ASSEMBLY SHALL HAVE INDIVIDUAL ANTI-TURN SOLDERLESS TERMINALS, SIMILAR TO SQUARE D TYPE PH, FOR CONNECTION OF ULTIMATE NUMBER OF NEUTRAL WIRES. SHEET METAL TERMINAL STRIPS AND CONNECTIONS WILL BE REJECTED.
- PANEL SHALL HAVE A COPPER GROUND BAR SIMILAR TO NEUTRAL BAR IN NUMBER, SIZE, AND TYPE OF ANTI-TURN SOLDERLESS LINES. THIS GROUND BAR SHALL BE FACTORY BONDED TO THE PANEL TUB IN THE CUTTER SPACE OPPOSITE THE MAINS AND THE NEUTRAL ASSEMBLY AND SHALL HAVE THE SCREWDROVER SLOTS FACING THE FRONT OF THE PANEL.
- THE MAIN AND BRANCH BREAKERS SHALL BE TYPE DDB OR DDB-H RATED 10000 A.I.C. MINIMUM, MOLDED CASE, TEMPERATURE COMPENSATED, QUACK-WAKE, QUACK-BREAK, WITH THERMAL-MAGNETIC TRIP AND PERMANENTLY BOLTED TO BUS BARS.
- PANELS SHALL BE MOUNTED WITH TOP OF PANEL AT 6'-0" ABOVE FLOOR.

LIGHTING FIXTURES

- CONTRACTOR SHALL FURNISH AND INSTALL LIGHTING FIXTURES AND LAMPS AS INDICATED IN FEATURE SCHEDULE SHOWN ON DRAWINGS, AND SPECIFIED HEREIN.
- LENS THICKNESS FOR FLUORESCENT FIXTURES SHALL BE 0.125 INCHES, MINIMUM (NOT NOMINAL) AND HAVE A MINIMUM WEIGHT OF 8.0 OUNCES PER SQUARE FOOT.
- LAMP SOCKETS FOR BARE TUBE FLUORESCENT FIXTURES SHALL BE SPRING LOADED TURNER TYPE.
- FLUSH FIXTURES MAY BE FURNISHED WITH PRE-WIRED FEATURE PROVIDED THEY ARE UL APPROVED FOR 72C WIRING AND THE JUNCTION BOX CAPACITY IS SUFFICIENT FOR THE CIRCUIT WIRING REQUIREMENTS.
- CLEARANCES FOR RECESSED POSITIONS OF FIXTURES FROM COMBUSTIBLE MATERIAL AND THERMAL INSULATION, SHALL BE IN ACCORDANCE WITH NEC ARTICLE 410-16.
- ALL FLUORESCENT LAMP BALLAST SHALL BE ELECTRONIC WITH LESS THAN 20% HARMONIC DISTORTION. BALLAST SOUND LEVELS SHALL NOT EXCEED CLASS "A", AMBIENT NOISE LEVELS, IEC TYPE, WITH PARALLEL WIRING CONNECTION, BE GEM AND UL APPROVED. BALLAST MAY BE MANUFACTURED BY ADVANCE, TYPE BARY, Y, ETIA INDUSTRIES TYPE, EXP: OR MAGNETEK-TWAO, B SERIES; OR MOTOROLA TYPE MOTOR.
- NEUTRAL ASSEMBLY SHALL HAVE INDIVIDUAL ANTI-TURN SOLDERLESS TERMINALS, SIMILAR TO SQUARE D TYPE PH, FOR CONNECTION OF ULTIMATE NUMBER OF NEUTRAL WIRES. SHEET METAL TERMINAL STRIPS AND CONNECTIONS WILL BE REJECTED.
- PANEL SHALL HAVE A COPPER GROUND BAR SIMILAR TO NEUTRAL BAR IN NUMBER, SIZE, AND TYPE OF ANTI-TURN SOLDERLESS LINES. THIS GROUND BAR SHALL BE FACTORY BONDED TO THE PANEL TUB IN THE CUTTER SPACE OPPOSITE THE MAINS AND THE NEUTRAL ASSEMBLY AND SHALL HAVE THE SCREWDROVER SLOTS FACING THE FRONT OF THE PANEL.
- ALL LAMP HOLDERS INSTALLED BY THE ELECTRICAL CONTRACTOR SHALL BE FURNISHED COMPLETE WITH NEW LAMPS OF THE SIZE INDICATED ON THE FEATURE SCHEDULE.
- FLUORESCENT LAMPS SHALL BE 32 WATT, 18 RAPID START LAMPS WITH A COLOR TEMPERATURE OF 3500K AND A MINIMUM OR OF 74, UNLESS NOTED OTHERWISE.
- LAMP CURRENT CREST FACTOR SHALL NOT EXCEED 1.5 AND SHALL BE COMPATIBLE WITH BALLAST BEING UTILIZED.
- ANY FIXTURES SCRATCHED, BENT, CRACKED OR IN ANY WAY DAMAGED BEFORE ACCEPTANCE BY OWNER SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL LAMPS SHALL BE IN WORKING ORDER AT THE TIME OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
- ALL LIGHTING FIXTURES ARE TO BE GROUNDING ON THE INTERIOR OF THE FIXTURE HOUSING, ON CLEAN BARE METAL (FREE OF PAINT), BY USE OF A PIGTAIL AND FASTENED BY A SCREW USED FOR NO OTHER PURPOSE.
- WHEREVER LIGHTING SYSTEMS ARE SUPPORTED AND FASTENED TO A CEILING SUSPENSION SYSTEM OF THE GRID TYPE, EACH FIXTURE SHALL HAVE A SUPPORT WIRE FASTENED TO THE CORNER OF EACH RECESSED FIXTURE. EACH FIXTURE SHALL BE FASTENED TO THE GRID SYSTEM IN ACCORDANCE WITH NEC ARTICLE 410-16(C) USING SUITABLE CLIPS. THE 1-BAR SHALL NOT BE CUT OUT TO PROVIDE ROOM FOR THE JUNCTION BOX.

NO.	AUTHORIZED BY	REVISIONS	MADE BY	DATE

SALT LAKE CITY CORPORATION

Urban Designer
Land Planner
Landscape Architects

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90% REVIEW: NOT FOR CONSTRUCTION

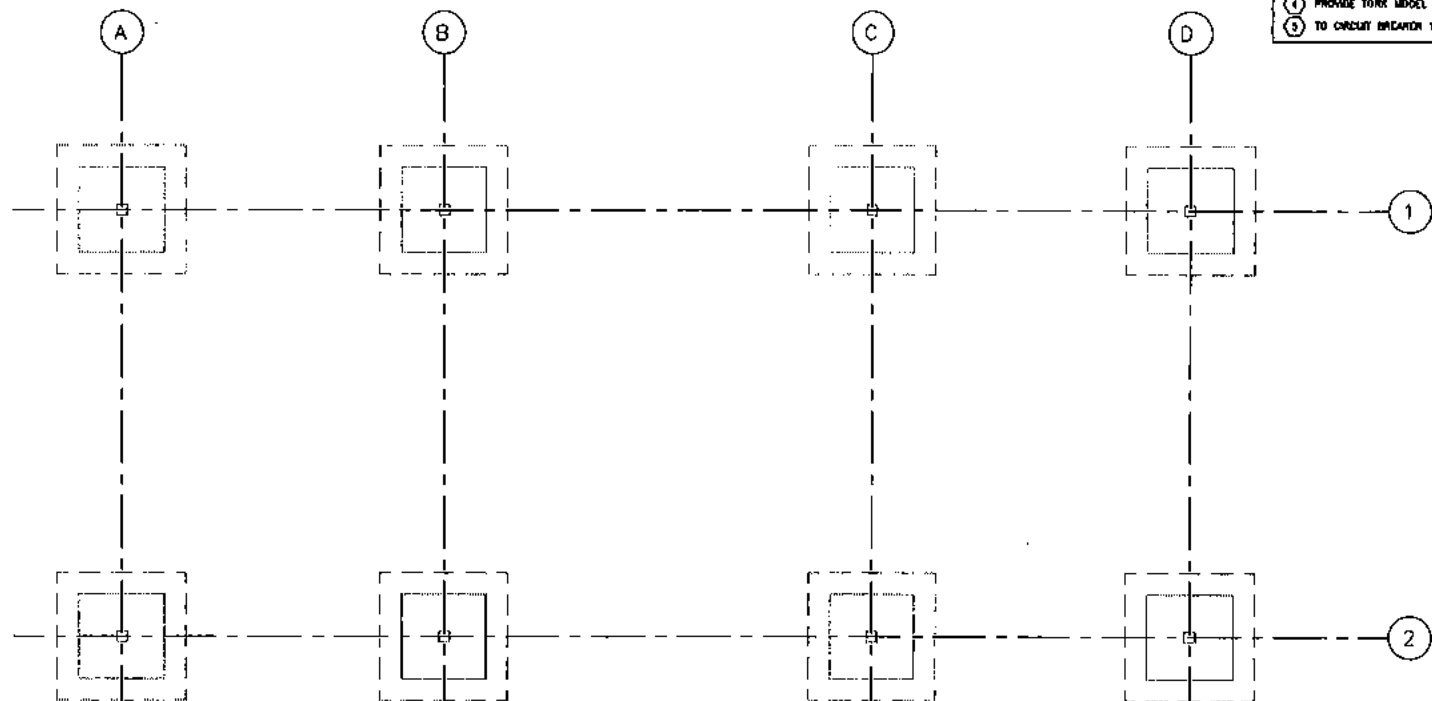
ENGINEERS' STAMP

DESIGNED BY	BNA
DRAWN BY	BNA
CHECKED BY	GM
SCALE	HORIZ AS SHOWN
SCALE	VERT AS SHOWN
DATE	11/5/07
Vault No.	---
JOB NO.	07388A
SHEET	18 OF 20 SHEETS
DRAWING NO.	E2

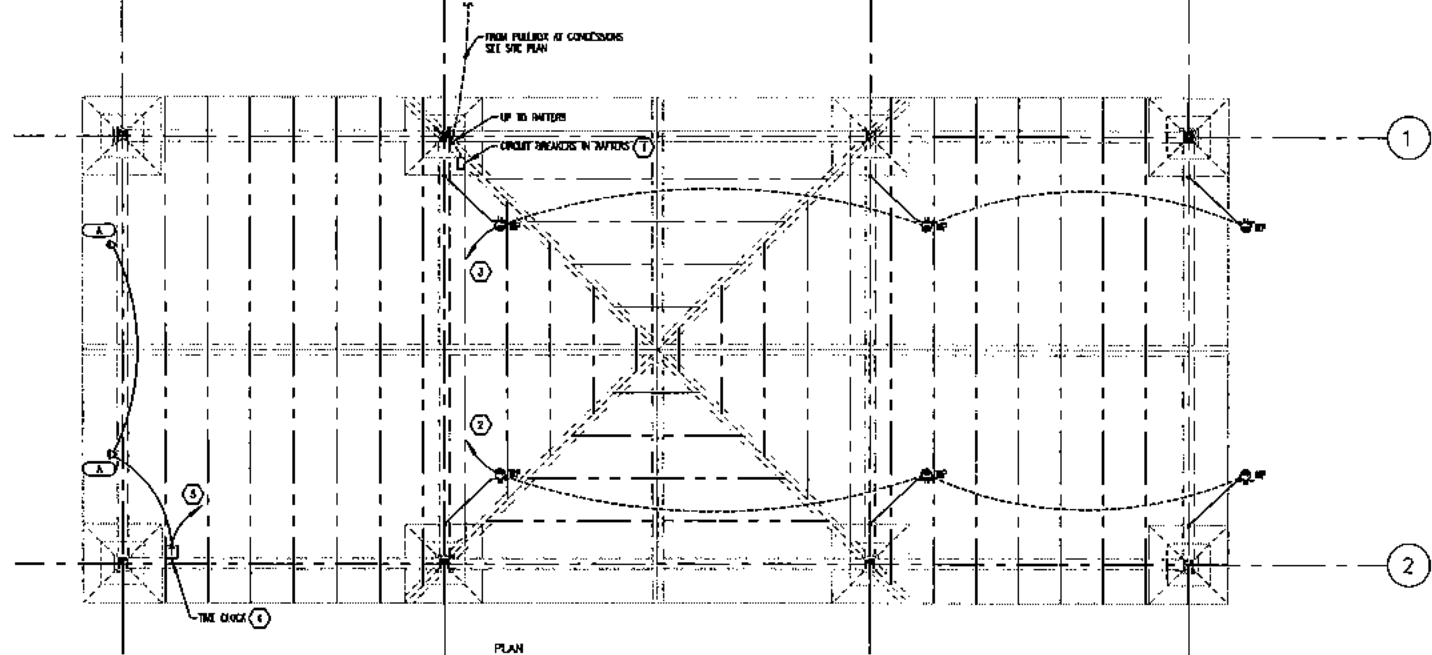
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SHEET KEYNOTES

- ① PROVIDE (3) 20A-1P CIRCUIT BREAKERS IN SEPARATE ENCLOSURES, MOUNT TO RAFTERS. BREAKER 1 FOR FLOORLIGHTS, BREAKERS 2 AND 3 FOR RECEPTACLES.
- ② TO CIRCUIT BREAKER 2.
- ③ TO CIRCUIT BREAKER 3.
- ④ PROVIDE YORK MODEL 1101 MOUNT TO RAFTER.
- ⑤ TO CIRCUIT BREAKER 1.



PLAN NORTH
FOOTING PLAN
1/4" = 1'-0"



PLAN NORTH
ELECTRICAL PLAN
1/4" = 1'-0"

By: 09/08/07 05:27:10 PM
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NO.	AUTHORIZED BY	REVISIONS	MADE BY	DATE



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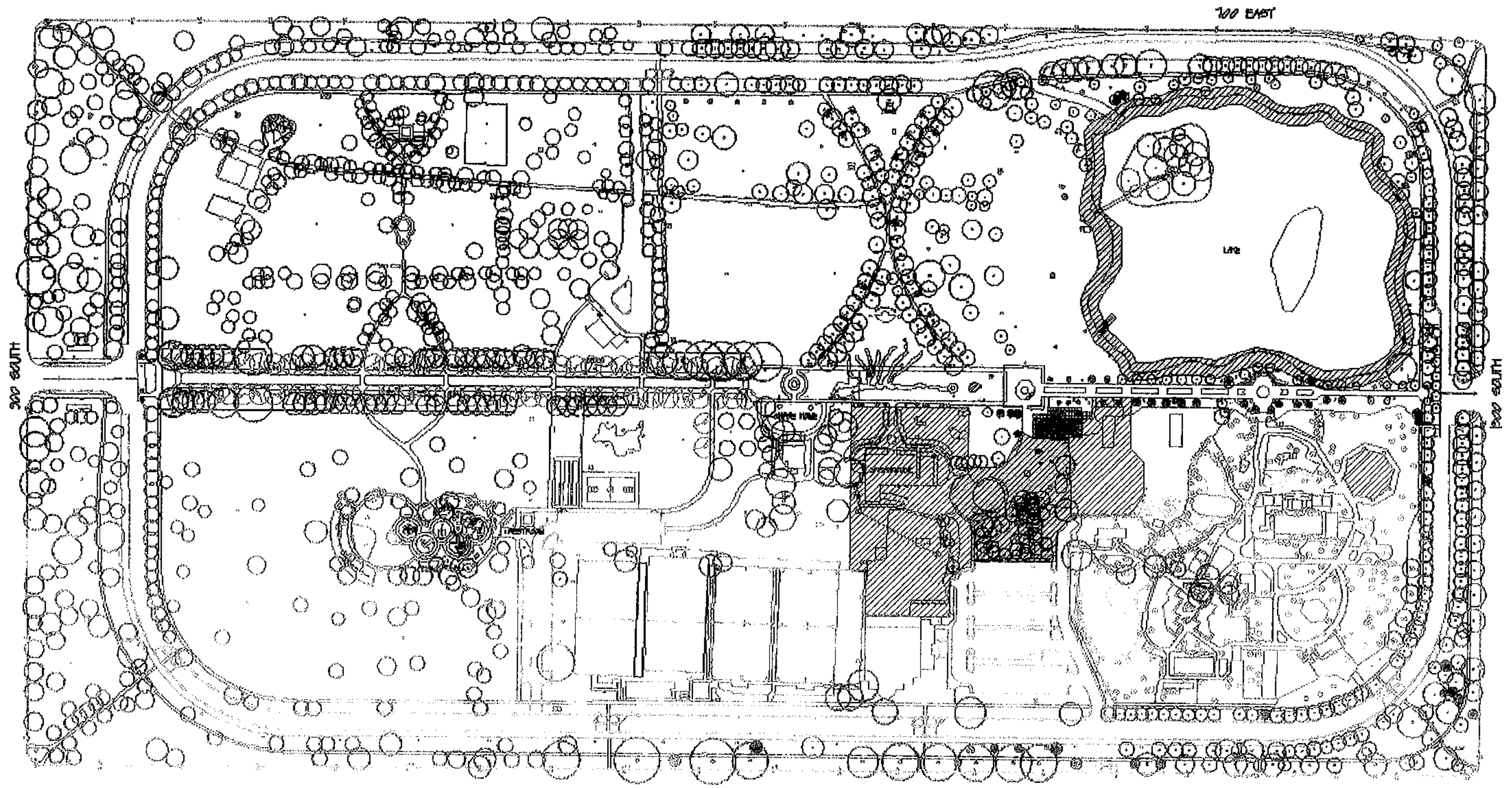
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DESIGNED BY: BNA
 DRAWN BY: BNA
 CHECKED BY: GM
 SCALE HORIZ: AS SHOWN
 SCALE VERT: AS SHOWN
 DATE: 11/5/07

VAULT NO.:
 JOB NO.: 07388A
 SHEET: 20 OF 20 SHEETS
 DRAWING NO.: E3

ENGINEERS' STAMP




 LIBERTY PARK

IMPROVEMENTS LEGEND
 ONGOING IMPROVEMENTS 
 REMAINING PROJECTS 

100 EAST

500 EAST

LIFE

HOUSING ADVISORY AND APPEALS BOARD
City and County Building
451 South State Street, Room 126
POLICY MEETING
February 13, 2008

Board members present: Kate Bradshaw, Kathleen Call, Billy Cruz, Susan Fleming, Jim Guilkey and Bill Nighswonger.

Staff members present: LuAnn Clark, Craig Spangenberg, Randy Isbell, Craig Weinheimer and Diana Hansen.

The meeting was called to order at 1:00 p.m.

Approval of January 9th Minutes

Billy Cruz motioned to approve the minutes for January 9, 2008. Susan Fleming seconded the motion and the motion passed.

Proposed Demolition @ 2583 South 800 East

The structure to be demolished is a single family dwelling. The owner of the property, Kyle Oler, is requesting demolition approval. The proposed post demolition use of the property is to landscape the parcel and market it for sale. The structure is vacant and secured. The dwelling is a single story frame structure. The property is .27 of an acre in size. The property is zoned R-1-7000 (Single Family Residential District) and the area consists of residential uses. The demolition of the structure will impact Salt Lake City's housing stock by reducing the number of residential units by one. Kyle Oler, owner, was not present, but had previously submitted a letter to the housing specialist that was distributed to each HAAB member for review before the meeting. Two neighbors were present, one expressing concern that the home may be replaced with a multi-unit structure and the other was concerned with the landscaping that would be installed until another structure was built on the property. Comments received from the community recommend no delay in issuing the demolition permit. City staff recommends approve of the demolition.

Kate Bradshaw motioned to approve the demolition. Kathleen Call seconded the motion and the motion passed.

Proposed Demolition @ 1497 West Wasatch Avenue

The structure to be demolished is a single family dwelling. The owner of the property, Craig Binks, is requesting demolition approval. The proposed post demolition use of the property has not been determined at this time. The structure has been damaged by fire and is secured. The dwelling is a single story frame structure. The property is .16 of an acre in size. The property is zoned R-1-5000 (Single Family Residential District) and the area consists of residential uses. The demolition of the structure will impact Salt Lake City's housing stock by reducing the number of residential units by one. Matthew Lemelle, general contractor for the owner, was present. One neighbor stated that since this structure was in the family for many years she would like some advance notice before the structure is demolished to gather the family together for sentimental reasons. Comments received from the community are to approve demolition with no delay. City staff recommends demolition with no delay.

Billy Cruz motioned to approve the demolition. Kathleen Call seconded the motion and the motion passed.

Consent Agenda

Attached as part of these minutes.

Jim Guilkey, Chair

Diana Hansen, Secretary

HOUSING ADVISORY AND APPEALS BOARD
City and County Building
451 South State Street, Room 126
February 13, 2008

Appeals Hearing of the Housing Advisory Board, Salt Lake City, Utah was held on Wednesday, February 13, 2008, in Room 126 of the City and County Building.

- ♦ The following members attended the on-site inspection to the properties in question and/or participated at the panel hearings: Kate Bradshaw, Kathleen Call, Billy Cruz, Susan Fleming, Jim Guilkey and Bill Nighswonger.
- ♦ Staff members: LuAnn Clark, Director of Housing and Neighborhood Development; Craig Spangenberg, Housing/Zoning Administrator; Randy Isbell, Housing Specialist; Craig Weinheimer, Legal Investigator; and Diana Hansen, Secretary.

Jim Guilkey, Chair opened the meeting at 1:33 p.m.

Jim Guilkey, Chair, excused himself from the meeting at 1:42 p.m. Bill Nighswonger, Vice Chair, conducted the remainder of the meeting.

ITEMS DISCUSSED

ACTION TAKEN

Case Number H-43-07 @ 169 North State Street

By: Randy Isbell

Dan Maughan, Housing/Zoning Officer

- | | |
|--|---|
| A. The spiral stairway that leads to the 2 nd floor entry into Unit #3 is deficient in (a) headroom, (b) run and (c) width of the stairway. | A. Tabled to allow time to find some solutions for correcting the violations. |
| B. The headroom for the doorway leading into Unit #3 is deficient in height. | B. Tabled to allow time to find a solution for correcting the violation. |
| C. The roof structure encroaches into the doorway access and required ceiling height of the bedroom in Unit #3. | C. Tabled to allow time to find a solution for correcting the violation. |
| D. The same bedroom lacks adequate room dimension and square footage. | D. Tabled to allow time to find a solution for correcting the violation. |
| E. The window in the same bedroom lacks adequate dimension and net openable area for emergency egress. | E. Tabled to allow time to find a solution for correcting the violation. |
-
- ♦ The on-site committee for March 12th will be: Kate Bradshaw, Kathleen Call, Billy Cruz, Susan Fleming, Jim Guilkey and Bill Nighswonger.

As there wasn't any further business to be brought before the Board, Billy Cruz motioned to adjourn the meeting at 1:54 p.m. Kathleen Call seconded the motion and the motion passed.

Jim Guilkey, Chair

Diana Hansen, Secretary

CONSENT AGENDA
February 13, 2008

H-04-06 @ 140 East 2nd Avenue

A. Appealed deficiency: The headroom height for the stairway that leads to the 2nd floor is deficient. The secondary stairway to the 2nd floor is deficient in headroom at two locations. At midway of the stairway the headroom measures 5 feet 10 inches due to an overhead waste line. At the top of the stairway the headroom measures 5 feet 10 inches due to an overhead electrical system and cabinets. ***Findings: To increase the headroom would require major changes to the plumbing and electrical systems; therefore staff recommends approval of the appeal provided the low point is posted with reflective tape.***

Bill Nighswonger motioned to approve staff recommendations. Kathleen Call seconded the motion and the motion passed.

B. Appealed deficiency: The risers in the same stairway exceed the variation in rise and exceed the maximum allowed rise. The rise of the first step in the stairway measures 4 inches and the remaining risers vary from 6½ inches to 8½ inches. The top riser measures 9 inches. ***Findings: To change the stairway to meet code requirements for rise would exacerbate the deficiency in headroom; therefore staff recommends approval of the appeal.***

Bill Nighswonger motioned to approve staff recommendations. Kathleen Call seconded the motion and the motion passed.

C. Appealed deficiency: The guardrail at the top of the stairway that leads to the attic units is deficient in height. The height of the guardrail measures 27 inches. The Existing Housing Code states that guardrails less than 36 inches may be allowed if part of the original construction. ***Findings: Because the stairway appears to be part of the original construction, staff recommends approval of the appeal.***

Bill Nighswonger motioned to approve staff recommendations. Kathleen Call seconded the motion and the motion passed.

D. Appealed deficiency: The handrail for the main entrance and stairway that lead to the upper units is deficient in height. The handrail measures 28 inches from the nose of the treads and is part of the original construction of the building. ***Findings: The historical significance of the stairway would be compromised if changed; therefore staff recommends approval of the appeal.***

Bill Nighswonger motioned to approve staff recommendations. Kathleen Call seconded the motion and the motion passed.

E. Appealed deficiency: The ceiling height over the bathtub in Units #5 & #6 are deficient as to headroom. The bathrooms in both units are mirror images of one another. Above the bathtubs the ceiling slopes due to the roof structure. At the back wall of the bathtub of Unit #5, the ceiling is 3 feet 2 inches, sloping up to 5 feet 4 inches at the bathtubs entrance. In Unit #6 the back wall measures 3 feet 8 inches and slopes to 6 feet 3 inches at a point above the tubs entrance. ***Findings: Because it would require Historic Landmark Commission approval to change the roof line and it would be structurally impractical, staff recommends approval of the appeal.***

Bill Nighswonger motioned to approve staff recommendations. Kathleen Call seconded the motion and the motion passed.

H-38-07 @ 641 North 200 West

A. Appealed deficiency: The stairway that leads to the basement laundry/mechanical room is deficient in headroom height and stairway width. The laundry/mechanical room that is located in the basement and accessible by the tenants is deficient in headroom and measures 4 feet 7 inches. Structural members that support the main floor are the cause of the low headroom. The stairway is also deficient in width, which measures 28 inches. The stairs are concrete and relocating the header for the stairway would require considerable structural changes. ***Findings: Because the Housing Code is silent as to width and headroom for laundry rooms that are located within individual dwelling units and use of the laundry facilities is a choice of the tenants, staff recommends approval of the appeal.***

Bill Nighswonger motioned to approve staff recommendations. Susan Fleming seconded the motion and the motion passed. Kathleen Call opposed the appeal.

H-45-07 @ 1415 & 1417 East Hollywood Avenue

A. Appealed deficiency: The headroom of the stairways leading to the basement of Units #1415 & #1417 are deficient in height. The stairways lead to the basement of each unit and are identical as to their deficiency. The headroom measures, midway of the stairs, 6 feet 2 inches. **Findings: Because it would require structural changes to the main floor supports and the deficiency is minimal, staff recommends approval of the appeal.**

Susan Fleming motioned to approve staff recommendations. Bill Nighswonger seconded the motion and the motion passed.

B. Appealed deficiency: The basement bedrooms in both units are deficient in net openable area and window dimension. In the basement bedrooms which mirror each other, there are two windows that each measure 36 inches by 17½ inches and open to an area of 17 inches by 17½ inches because they are slider type windows. The openable window area is 2.1 square feet. If one window is made fully openable, the area would double and provide 4 square feet of net openable area. Findings: **Staff recommends approval of the appeal provided a fully openable window is installed in each basement bedroom and hardwired smoke detectors are installed in each bedroom and the area giving access to the bedrooms.**

Susan Fleming motioned to approve staff recommendations. Bill Nighswonger seconded the motion and the motion passed.

C. Appealed deficiency: The same windows are excessive as to sill height. The sill height of the windows measures 62 inches from the floor. **Staff recommends that a permanent ladder or step be installed below the window in each bedroom that will be used for egress.**

Susan Fleming motioned to approve staff recommendations. Bill Nighswonger seconded the motion and the motion passed.

H-01-08 @ 1461 East Kensington Avenue

A. Appealed deficiency: The headroom for the main stairway leading to the basement is deficient in height. The low point of the stairway headroom measures 5 feet 10 inches. The stairway opening has been enlarged to achieve as much headroom as possible without encroaching into the living area on the main floor. **Findings: Because changes have been made to increase the deficient headroom to the extent possible staff recommends approval of the appeal.**

Kate Bradshaw motioned to approve staff recommendations. Bill Nighswonger seconded the motion and the motion passed.

B. Appealed deficiency: The secondary stairway leading to the basement is deficient in headroom. The deficient headroom measures 5 feet 8½ inches and the ceiling of the stairway has been altered to increase the headroom. Above the area where the ceiling steps is a bedroom and to increase the headroom would require a section of the bedroom to be stepped and the bedroom would lose square footage. **Because the stairway is used as a secondary exit/entrance into the basement, staff recommends approval of the appeal.**

Kate Bradshaw motioned to approve staff recommendations. Bill Nighswonger seconded the motion and the motion passed.

Attachment B
June 7, 2006 Staff Report

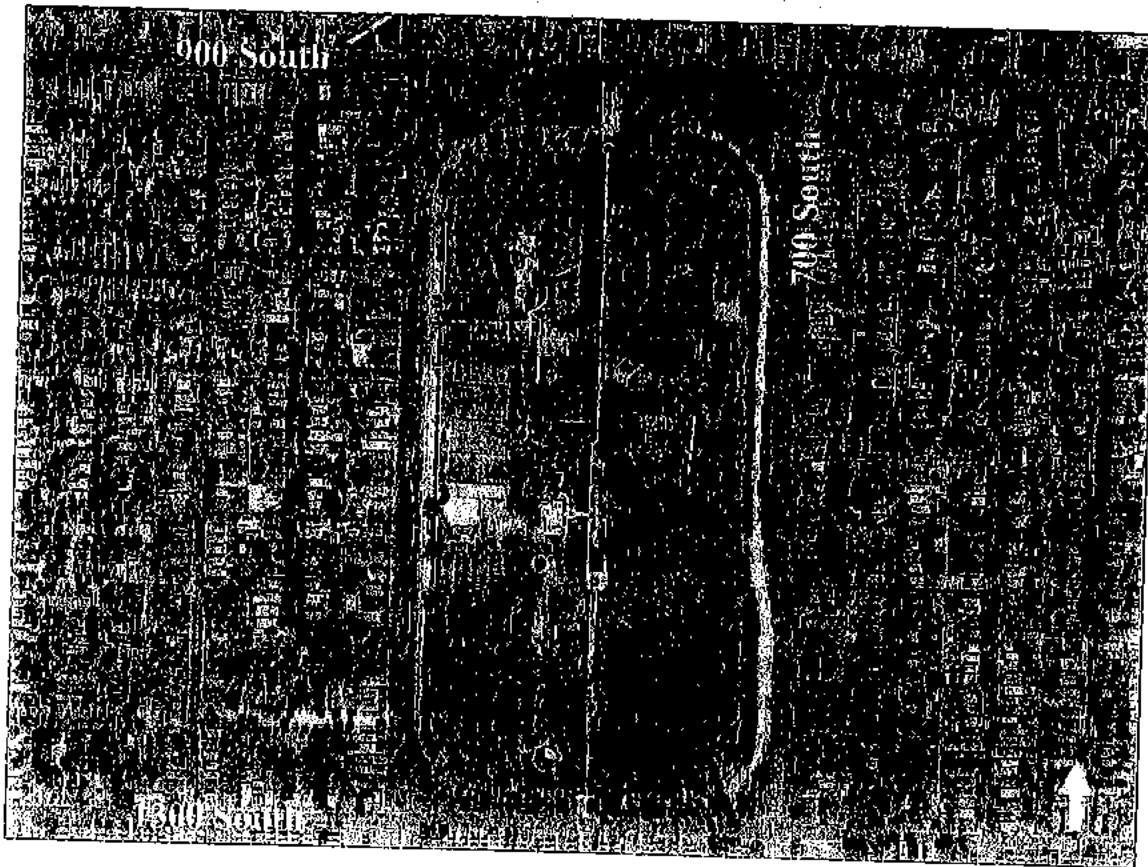
SALT LAKE CITY
HISTORIC LANDMARK COMMISSION

REQUEST BY SALT LAKE CITY PARKS DIVISION FOR CONCEPTUAL
APPROVAL FOR SEVERAL PROJECTS IN LIBERTY PARK

CASE NO. 470-06-02 32
WEDNESDAY, JUNE 7, 2006

OVERVIEW

The Historic Landmark Commission will review a number of projects as part of the proposed phased Conceptual Plan for alterations to Liberty Park by the Salt Lake City Parks Division. Liberty Park is located between 500-700 East and 900-1300 South streets. The entire park is listed as a "Landmark Site" on the Salt Lake City Register of Cultural Resources and is also a National Register Historic District. The Isaac Chase House and the Chase Mill are also individually listed in the Salt Lake City and National Registers.



BACKGROUND

Once the southern edge of the city, the park is on the site of a mill and farm established by Isaac Chase. Chase was assigned the plot in the original "Big Field" survey of 1847, which distributed farming plots to the first settlers of the Salt Lake Valley. Brigham Young obtained the property from Chase in 1860. His estate sold the land to Salt Lake City for development of a city park in 1881. The dedication of the park was celebrated June 17, 1882, the anniversary of the Battle of Bunker Hill. Originally the park included several pavilions, a bandstand, a small lake and several informal planted areas.

The park has been the focus of several major upgrades and the site of numerous smaller construction projects over the course of the last century. Planning for another major upgrade began in 1997, and Landmark Design and the City Parks Division completed the *Liberty Park Landscape Scoping Project*. The 1998 scoping plan outlines a phasing program for improvements, the first phase of which was reviewed by the Historic Landmark Commission in February of 2000. At that time, the Commission approved several infrastructure projects listed among the highest priority improvements. These improvements included new lighting, restrooms, a jogging path, a new basketball court and other upgrades to the park's infrastructure. Over the past eight years, most of the goals of the scoping plan have been achieved. Recent improvements reviewed by the Commission include:

- August 4, 2005 – Gazebo and bridge on the north island of the southeast quadrant and improvements to the duck pond;
- March 2, 2005 – New concession building; and
- December 7, 2005 – Signage and wayfinding program.

The extent of the current proposal includes:

- Improvements to the plaza area around the concession building.
- Extending and realigning the east-west pedestrian path and tree allée.
- Reshaping the northwest edge of Liberty Lake.
- Restoring the natural drainage channel west of Liberty Lake to the bridge.
- Relocation of the World Wars memorial.
- Transforming the children's garden into a picnicking and gathering area.
- Constructing a new amphitheatre.

The submittal contains a phasing program to accomplish the improvements. The plan identifies the concession area and pedestrian path and allée improvements to be completed first. The second phase would consist of improvements to the children's garden and streambed. The final phase would include construction of an amphitheatre and improvements to Liberty Lake.

The construction of an amphitheatre is identified in the *Landscape Scoping Project* document. The document organizes the proposed improvements by project. Project I includes the highest priority improvements and Project II includes the remainder of the work. The

construction of a new public entertainment center (bandstand/amphitheater) is listed in the Project II description of improvements.

PROPOSAL

First Phase

Concession Area – On March 16, 2005, the Historic Landmark Commission granted approval of the new concession building. The building which provides year-round use, is significantly larger than the previous structure and causes circulation conflicts. The applicant proposes improvements to accommodate the new circulation pattern that includes the following:

- The exiting amusement rides will remain, but the hard-surface around the equipment will be upgraded from asphalt to a concrete and paver pattern.
- The two existing concrete planters and five concrete bollards would be removed.
- An information kiosk that was proposed at part of the signage and wayfinding program would be installed. The kiosk would be designed to match the architecture of the concession building.
- The World Wars memorial constructed in 1999 would be rebuilt approximately 100 feet to the south. The new memorial would be similar in design to that of the original and incorporate seating.

Pedestrian Path and Allée Improvements – The applicant proposes to extend the pedestrian path and allée of trees from the parking lot eastward to the concession area. A concrete path would be constructed and trees planted along the existing formal allée. The improvements will define this entrance to the park and create a boundary to the concession area.

Second Phase

Adventure Garden – The children's garden was designed as an adventure park with high viewing platforms, ramps, steps, cargo nets for climbing and other play features. The area was closed several years ago due to safety concerns. The restroom facility adjacent to this area was also closed as it was an area conducive to vandalism and of concern from a safety aspect. The applicant proposes to reconstruct the children's garden. The design includes berms, benches, groupings of boulders, sandstone stepping stones and a woodchip walking surface. Several vertical poles will also remain to become part of a "forest". A new picnic pavilion is proposed on the edge of the adventure garden. The pavilion design will utilize the existing poles for supports and match the concession building in materials and form. The proposed scope of work would also include improvements to an old streambed in the area.

Third Phase

Amphitheatre – An amphitheatre is proposed to provide a place in the park for performances, lectures and other informal gatherings. The amphitheatre would be built into the hillside by extending the berm that runs along the northern side of Liberty Lake. The design of the park feature will consist of grassy seating levels, stone steps and a small stage that would be enclosed by flowering trees. A gazebo that is similar in design to that of the concession stand is also proposed at the knoll of the hill.

Liberty Lake - The northwest corner of Liberty Lake is proposed to be extended to the edge of the 600 East pedestrian walkway. This extension would increase the lake's capacity as a storm water detention basin and creates a direct connection to the boat dock. The existing grass paver path would be eliminated and a wider new dock installed. The concrete curb around the lake would also be replaced with a new sidewalk and shore protection.

ANALYSIS

REQUIREMENTS OF THE ZONING ORDINANCE

Alterations of a Landmark Site

In considering the proposed alterations to the park, the Historic Landmark Commission should make findings based on the following section of the Zoning Ordinance.

21A.34.020 (G). Standards for Certificate of Appropriateness for Alteration of a Landmark Site or Contributing Structure. In considering an application for a certificate of appropriateness for alteration of a landmark site or contributing structure, the historic landmark commission, or the planning director, for administrative decisions, shall find that the project substantially complies with all of the following general standards that pertain to the application and that the decision is in the best interest of the city:

- 1. A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment;*
- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;*
- 3. All sites, structures and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed;*
- 4. Alterations or additions that have acquired historic significance in their own right shall be retained and preserved;*
- 5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved;*
- 6. Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects;*

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;*
8. *Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment;*
9. *Additions or alterations to structures and objects shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment;*
10. *Certain building materials are prohibited including the following:*
 - a. *Vinyl or aluminum cladding when applied directly to an original or historic material, and*
 - b. *Any other imitation siding material designed to look like wood siding but fabricated from an imitation material or materials;*
11. *Any new sign and any change in the appearance of any existing sign located on a landmark site or within the H historic preservation overlay district, which is visible from any public way or open space shall be consistent with the historic character of the landmark site or H historic preservation overlay district and shall comply with the standards outlined in Part IV, Chapter 21A.46, Signs;*
12. *Additional design standards adopted by the historic landmark commission and city council.*

DISCUSSION: Many of the alterations proposed are necessary repairs or improvements to existing non-historic features of the park landscape and would have minimal impact on the historic character of the park. In a few instances, such as the amusement ride area, a large area of asphalt would be replaced with new materials more in keeping with the character of the park. The proposed scope of work also involves the removal of features of unknown age and origin, such as the columns and bollards. These features were not specifically identified as those historically associated with the park in the *Landscape Scoping Project* document or National Register nomination form. The path/allée concept proposes to link key park elements with a formal walkway. Staff is of the opinion that the Historic Landmark Commission should further examine the following issues:

Dry Stream Bed: The plans do not show sufficient detail for Staff to fully evaluate the proposed feature. Final details of this feature should be reviewed by the Historic Landmark Commission.

Boat Dock: It is not clear from the plans what the proposed width of the new boat dock will be. From the conceptual drawing, the dock seems large for such a small body of

water. Final details of this feature should be reviewed by the Historic Landmark Commission.

FINDING: The proposed Conceptual Plan for alterations to the park includes primarily necessary improvements to existing non-historic features. The design of the alterations and additions generally makes use of the basic principles recommended by the City's Zoning Ordinance and listed above. This helps in ensuring that the essential form and integrity of the park will not be adversely affected by the alterations. The application complies with the standards outlined in Section 21A.34.020(G) of the Zoning Ordinance.

New Construction

Several new structures are proposed. In considering the proposed amphitheatre, gazebo information kiosk and pavilion, the Historic Landmark Commission should make findings based on the following section the Zoning Ordinance.

2A.34.020 H Historic Preservation Overlay District:

H. Standards for Certificate of Appropriateness Involving New Construction or Alteration of a Noncontributing Structure. In considering an application for a certificate of appropriateness involving new construction, or alterations of noncontributing structures, the historic landmark commission, or planning director when the application involves the alteration of a noncontributing structure, shall determine whether the project substantially complies with all of the following standards that pertain to the application, is visually compatible with surrounding structures and streetscape as illustrated in any design standards adopted by the historic landmark commission and city council and is in the best interest of the city.

1. Scale and Form.

a. Height and Width. The proposed height and width shall be visually compatible with surrounding structures and streetscape;

b. Proportion of Principal Facades. The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape;

c. Roof Shape. The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape; and

d. Scale of a Structure. The size and mass of the structures shall be visually compatible with the size and mass of surrounding structure and streetscape.

DISCUSSION: In this case, the surrounding streetscape of the proposed new structures is the park landscape. The structures in the park are a wide range of sizes and scales. The size of the new pavilion would be similar to that of the existing restroom facility that it will replace. The proposed scale and roof shapes are consistent with other similar type park structures.

FINDING: The proposed Conceptual Plan meets the intent of this standard as the height and width, proportions, and scale of the proposed new structures do not overpower or detract from the natural and historic features of the park.

2. Composition of Principal Facades.

a. Proportion of Openings. The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape;

b. Rhythm of Solids to Voids in Facades. The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape;

c. Rhythm of Entrance Porch and Other Projections. The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape; and

d. Relationship of Materials. The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape.

DISCUSSION: The proposed design of the new structures relates to the specific function of the use of the buildings. The Conceptual Plan indicates that the materials for the new structures would be in keeping with materials used for other buildings in the park, such as the concession building.

FINDING: The application complies with this standard as the simple designs of the new structures are largely functional. The proposed construction materials are consistent with material used for other buildings, would evoke historic elements of park structures and are thus appropriate for the park setting.

3. Relationship to Street.

a. Walls of Continuity. Facades and site structures, such as walls, fences and landscape masses shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related;

b. Rhythm of Spacing and Structures on Streets. The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related;

c. Directional Expression of Principal Elevation. A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street; and

d. Streetscape-Pedestrian Improvements. Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of the landmark site or H historic preservation overlay district.

DISCUSSION: In this case, the park landscape is considered the streetscape. Walls of continuity and the rhythm of spacing and structures on streets is not a considerable issue because the proposed buildings are unique features that would be tied to their setting and location within the large historic park. The amphitheatre is a complementary addition to the park. It will blend into the hillside, and provide a significant terminus for the new allée of trees. The additional trees proposed for the hillside further replenish the important urban forest features of the Landmark Site. However, the proposed hilltop location of the gazebo is less compatible visually in this setting. It would compromise the integrity of the rolling landscape, one of the most important features of the park, and thus the Commission and applicant should explore other locations if another gazebo is desirable. The location of a new site feature should be as unobtrusive as possible and complement the visual continuity and cohesiveness of the historic site. Excluding the proposed gazebo, the location and orientation of the proposed structures are compatible with the alignment of surrounding park features.

FINDING: The siting of the new structures is generally compatible with the existing historic landscape. The proposed location of the gazebo, however, will affect the visual appearance of the rolling landscape, and thus is inconsistent with this standard.

4. Subdivision of Lots. The planning director shall review subdivision plats proposed for property within an H historic preservation overlay district or of a landmark site and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s).

FINDING: This application has no subdivision issues.

RECOMMENDATION

Based upon the comments, analysis and findings of fact noted above, Planning Staff recommends the Historic Landmark Commission approve the Conceptual Plan for improvements to Liberty Park subject to the following conditions:

1. Approval of the final details for the First Phase improvements shall be delegated to the Planning Staff based upon direction given during the hearing from the Historic Landmark Commission.
2. Based upon direction given during the hearing from the Historic Landmark Commission, final details for the Second and Third Phase of the Conceptual Plan shall return to the Historic Landmark Commission for review. The location of the gazebo will affect the visual appearance of the rolling landscape of the park and is not permitted. A new gazebo shall be as unobtrusive as possible and complement the visual continuity and cohesiveness of the historic site. The relationship of the width and length of the boat dock shall be in scale with Liberty Lake and surrounding park features.

Janice A. Lew
Principal Planner
May 31, 2006

Attachments: Exhibit 1: Historical Documentation
Exhibit 2: Submittal

Exhibit 1
Historical Documentation

United States Department of the Interior
Heritage Conservation and Recreation Service

National Register of Historic Places
Inventory—Nomination Form

See Instructions in *How to Complete National Register Forms*
Type all entries—complete applicable sections

For MCRS use only

received

date entered

1. Name

historic Liberty Park

and/or common

2. Location

street & number Fifth to Seventh East, Ninth to Thirteenth South. not for publication

city, town Salt Lake City vicinity of congressional district

state Utah code 049 county Salt Lake code 035

3. Classification

Category	Ownership	Status	Present Use	
<input type="checkbox"/> district	<input checked="" type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture	<input type="checkbox"/> museum
<input type="checkbox"/> building(s)	<input type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input type="checkbox"/> commercial	<input checked="" type="checkbox"/> park
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational	<input type="checkbox"/> private residence
<input checked="" type="checkbox"/> site	Public Acquisition	Accessible	<input type="checkbox"/> entertainment	<input type="checkbox"/> religious
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input type="checkbox"/> yes: restricted	<input type="checkbox"/> government	<input type="checkbox"/> scientific
	<input type="checkbox"/> being considered	<input checked="" type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial	<input type="checkbox"/> transportation
		<input type="checkbox"/> no	<input type="checkbox"/> military	<input type="checkbox"/> other:

4. Owner of Property

name Salt Lake City Corporation

street & number City and County Building

city, town Salt Lake City vicinity of state Utah

5. Location of Legal Description

courthouse, registry of deeds, etc. Salt Lake City and County Building, County Recorder's Office

street & number City and County Building

city, town Salt Lake City state Utah

6. Representation in Existing Surveys

Utah State Historic Sites Inventory has this property been determined eligible? yes no

date 1978 federal state county local

depository for survey records Utah State Historical Society

city, town Salt Lake City state Utah

UNITED STATES DEPARTMENT OF THE INTERIOR
HERITAGE CONSERVATION AND RECREATION SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

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RECEIVED
DATE ENTERED

CONTINUATION SHEET

ITEM NUMBER

PAGE

The dedicatory procession formed at the City Hall and included Mayor Jennings, ex-mayor Little (who had presided over the purchase of the property), Wilford Woodruff and numerous other city, state, and Mormon Church officials. Music was provided by Croxall's Silver Band, the Union Glee Club and the Sixth Infantry Band. The remarks of the speakers reflected the popular importance of the new large park. Mr. Ben Sheeks concluded one of the orations by saying that the park "gives to the poor a feeling of interest in his country, and to the rich a satisfaction which ever follows the act of giving to those who needs. And who will say that the man, woman or child does not need the opportunity of enjoying a pleasant walk--of beholding the beauties of art or nature--even as they need bread. Let us ever remember that sometimes "the beautiful is as useful as the useful--perhaps more so."

A greenhouse was built in 1903, and tennis courts added about 1915. The large entrance piers at Sixth East and Ninth South were added in 1920. The bandstand was built about 1911, and a bandstand shelter added in 1949. A swimming pool was constructed in 1949. An appropriation for a zoo was made in 1914, and the zoo remained open until the establishment of the Hogle Zoo in 1931. Russell Tracy donated his collection of birds to the city in 1938, with appropriations for its construction matched by Tracy in 1938 and 1939.

A master plan has been proposed by the city, which plans to spend four million dollars during the next ten years improving the facilities and landscaping.

9. Major Bibliographical References

Salt Lake Herald, July 2,3, 1881; June 14, 1882
Deseret Evening News, June 17, 1882
Daily Utah Chronicle, September 28, 1977
Utah State Historical Society, "Liberty Park" file

10. Geographical Data

Acres of nominated property ca. 110 acres

Quadrangle name Salt Lake South, Sugarhouse

Quadrangle scale 1:24,000

UMT References

A

1	2	4	5	1	1	1	3	4	2	6	10	4	10
Zone		Easting				Northing							

B

1	2	4	5	1	0	2	3	4	2	6	10	3	10
Zone		Easting				Northing							

C

1	2	4	5	1	0	2	4	4	2	6	4	8	0
Zone		Easting				Northing							

D

1	2	4	5	1	1	1	2	4	2	6	15	0	10
Zone		Easting				Northing							

E

Zone		Easting				Northing							

F

Zone		Easting				Northing							

G

Zone		Easting				Northing							

H

Zone		Easting				Northing							

Verbal boundary description and justification

Boundaries of Liberty Park as originally purchased by Salt Lake City in 1881:
Fifth to Seventh East, Ninth to Thirteenth South Streets

List all states and counties for properties overlapping state or county boundaries

state	code	county	code

11. Form Prepared By

name/title Karl T. Haglund, Architectural Historian

organization Utah State Historical Society

date December 1979

street & number 307 West 200 South

telephone 801 533 6017

city or town Salt Lake City

state Utah

12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

national state local

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the Heritage Conservation and Recreation Service.

State Historic Preservation Officer signature 

title Melvin T. Smith, State Historic Preservation Officer

date January 7, 1979

For HCRS use only

I hereby certify that this property is included in the National Register

date

Keeper of the National Register

Attest:

date

Chief of Registration



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Title: Auto at Liberty Park, Botterill
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Publisher: Utah State Historical Society; Funded by a grant from the National Endowment for the Humanities
Date of photograph: 27 May 1915
Subject: Antique and classic cars
 Automobiles
 Parks
Person:
Corporate name: Tom Botterill Automobile Company
Geopolitical place: Utah; Salt Lake County; Salt Lake City
Historical address: Between 500 East and 700 East, Between 900 South and Martin Avenue (1000 South)
Current address: 922 South 700 East
Historical place name: Liberty Park
Description: Image shows a man driving a classic automobile through Liberty Park.
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Source donors: Shipler, William H.
Source donation date: 1988
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Resolution: TIFF: 800 ppi
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Photographer: [Shipler Commercial Photographers](#); [Shipler, Harry](#)
Publisher: Utah State Historical Society; Funded by a grant from the National Endowment for the Humanities

Date of photograph: [10 May 1911](#)

Subject: [Lakes](#)
[Parks](#)
[Reservoirs](#)
[Mountains](#)

Person:

Corporate name:
Geopolitical place: Utah; Salt Lake County; Salt Lake City
Historical address: Between 500 East and 700 East, Between 900 South and Martin Avenue (1000 South)
Current address: 922 South 700 East
Historical place name: Liberty Park
Description: Image shows a scenic view of the lake at Liberty Park. The snow covered mountains can be seen in the background.
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Source donors: Shipler, William H.
Source donation date: 1988
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Format.Creation:
Resolution: TIFF: 800 ppi
Bit depth: 8-bit grayscale
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Photographer: [Shipler Commercial Photographers](#); [Shipler, Harry](#)
Publisher: Utah State Historical Society; Funded by a grant from the National Endowment for the Humanities
Date of photograph: [10 May 1911](#)
Subject: [Parks](#)
[Pavilions](#)
Person:
Corporate name:
Geopolitical place: [Utah](#); [Salt Lake County](#); [Salt Lake City](#)

Historical address: [Between 500 East and 700 East, Between 900 South and Martin Avenue \(1000 South\)](#)

Current address: [922 South 700 East](#)

Historical place name: [Liberty Park](#)

Description: [Image shows a two-story pavilion amongst a grove of trees at Liberty Park.](#)

Comment:

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Source size: [10 inches x 8 inches](#)

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Source donors: [Shipler, William H.](#)

Source donation date: 1988

Type: image

Format.Use: image/jpeg

Format.Creation:

Resolution: TIFF: 800 ppi

Bit depth: 8-bit grayscale

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Title: [Liberty Park, Bridge and Lake](#)
Photographer: [Shipler Commercial Photographers](#); [Shipler, Harry](#)
Publisher: Utah State Historical Society; Funded by a grant from the National Endowment for the Humanities
Date of photograph: [10 May 1911](#)
Subject: [Lakes](#)
[Parks](#)
[Reservoirs](#)
[Bridges, Wooden](#)
Person:

Corporate name:
Geopolitical place: [Utah; Salt Lake County; Salt Lake City](#)
Historical address: [Between 500 East and 700 East, Between 900 South and Martin Avenue \(1000 South\)](#)
Current address: [922 South 700 East](#)
Historical place name: [Liberty Park](#)
Description: [Image shows a wooden bridge crossing over part of the small reservoir in Liberty Park.](#)
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Source donation date: 1988
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Bit depth: 8-bit grayscale
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Photographer: [Shipler Commercial Photographers; Shipler, Harry](#)
Publisher: Utah State Historical Society; Funded by a grant from the National Endowment for the Humanities
Date of photograph: [16 March 1909](#)
Subject: [Antique and classic cars](#)
[Men in popular culture](#)
[Women in popular culture](#)
Person:
Corporate name:

Geopolitical place: [Utah; Salt Lake County; Salt Lake City](#)
Historical address: [Between 500 South and 700 South, Between 900 South and Martin Avenue \(1000 South\)](#)
Current address: [922 South 700 East](#)
Historical place name: [Liberty Park](#)
Description: [Image shows a group of people riding in a classic automobile at Liberty Park.](#)
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**Exhibit 2
Submittal**

HLC STAFF REPORT, CASE NO. 470-06-02

JUNE 7, 2006

Prepared by:
MCB+A
Sharon Hurn
145 W. 200 S.
Salt Lake City, Utah 84101
801.364.9696

Landmarks Commission Review
May 2006

Liberty Park
Concessions Area and
Adventure Garden



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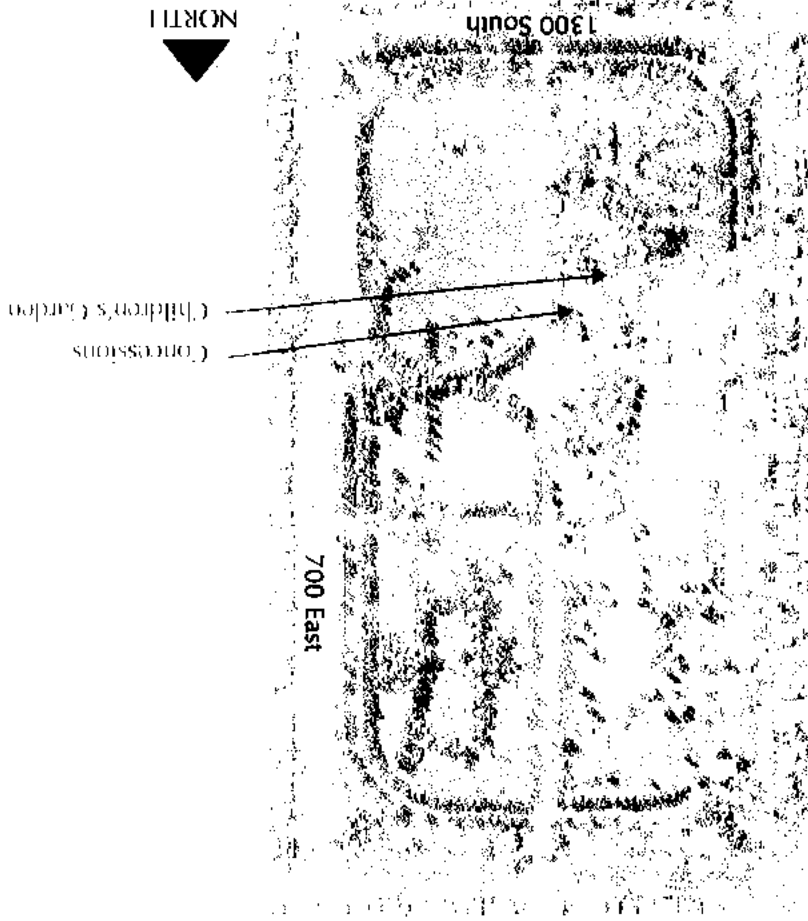
Liberty Park Concessions and Children's Garden

I. PROJECT SUMMARY

Salt Lake City Corporation, with the assistance of consultant MCB+A landscape architects, is proposing to construct several new amenities around the concessions area at Liberty Park. As part of the campaign to revitalize Liberty Park, a new concessions building was constructed here in 2006. This building sits in the location of the previous concessions area (as shown on the *Map 1 - Existing Conditions* foldout). However, the site around the concessions building has not received any attention or improvements. This project is a proposal to make changes to this part of the park to make it more welcoming and to add several new amenities. Proposed improvements (as shown on the *Map 2 - Master Plan* foldout) include:

1. Improvements to the plaza area around the concessions building;
2. Extending and realigning the east-west pedestrian path and tree alleys;
3. Reshaping the northwest edge of Liberty Lake;
4. Restoring the natural drainage channel west of Liberty Lake to the bridge;
5. Rebuilding the World Wars memorial slightly to the south;
6. Constructing a new amphitheatre into the hillside north of the lake;
7. Transforming the Children's Garden into a picnicking and gathering area with a pavilion, new landscaping and seating areas.

Figure 1 - Location of proposed improvements



2. SITE CONDITIONS

A. Historic Conditions

The area around Liberty Lake is one of the oldest, most memorable parts of Liberty Park. Traditionally this area welcomed large gatherings of people for fun, games and performances. The area is shaped primarily by the lake, the landforms that surround it, and the many trees and pathways here. The architecture and built elements have always played a minor role.

There are several small elements that may be considered historical, including several concrete column planters and bollards, a concrete pedestrian bridge. The origin and date of construction of these elements is not known. In addition, there is a World Wars monument that has been reconstructed. All of these elements are in deteriorating condition, and each would be affected by the redesign of this area. The bridge would be repaired to its former condition and restored to use. The War memorial would be moved slightly and rebuilt. The column planters and bollards are proposed to be removed.

B. Existing Conditions

This area of the park has fallen into a bit of disrepair in recent years. The Children's Garden has been closed and fenced off for several years. The restroom facility next to it was also closed. Several pathways were cutoff and the area became a confusing mix of open and closed off activities.

For many years, the concessions area next to Liberty Lake has been a center of activity. People could purchase food and drinks and rent boats from a small concessions building. The paved area around the concessions stand also hosted small rides, including a merry-go-round, swings, and small Ferris wheel. For some time, a "Children's Garden" also operated here, with an adventurous layout of lookout platforms, climbing elements, a ball room, and other activities. The "Existing Conditions" map (*Map 1* foldout) shows these elements.

The new concessions building is constructed in a rustic style, similar to the "parkitecture" of the national parks. It includes large timber beams, cobbled rock, and a grand scale in proportions. It has set the stage for other park elements and gives this area a casual feel.



Figure 2: Concrete column planters and bollards. New concessions building behind.



Figure 3: Concrete pedestrian bridge.



Figure 4: World Wars memorial.

3. PROPOSED IMPROVEMENTS

A. Concessions Area

Building and Plaza

The concessions area will be transformed with the new concessions building. The building is significantly larger than the previous structure and has interior seating and restrooms incorporated into the building. These changes have altered how vehicles and people move around the building and in and out of it. The plaza area around it needs to be improved to accommodate this new circulation, and also deserves to be improved to create a more pleasant place to sit outside, enjoy a meal, and view activity in the park. The existing amusement rides (merry-go-round, Ferris wheel, and swings) will be accommodated, but the hardscape surface around them will be upgraded from asphalt to a concrete and paver pattern. The long-term future of the rides is uncertain because they are not profitable.

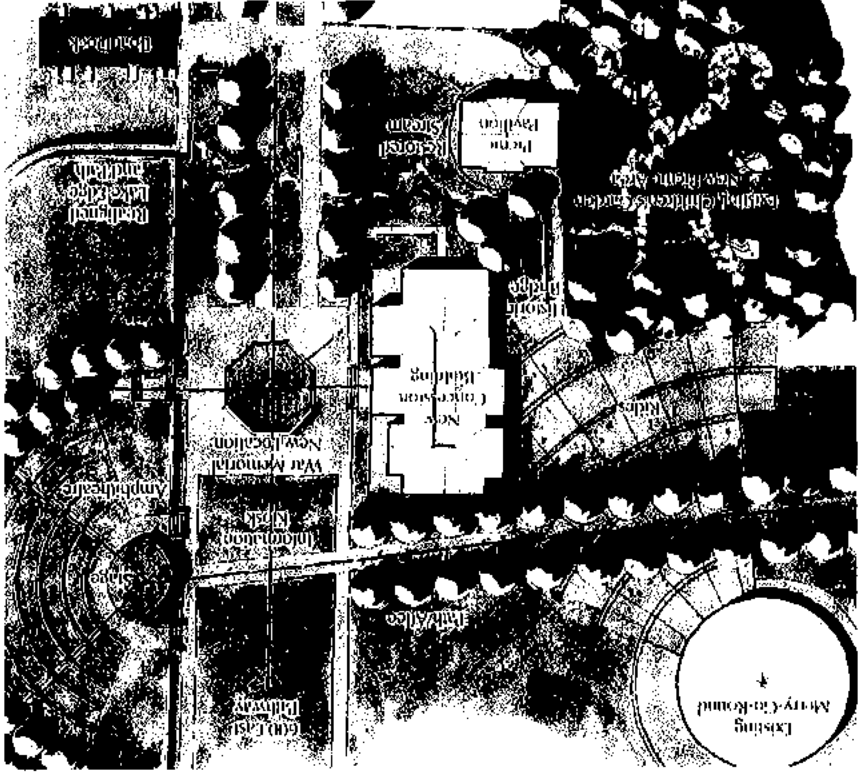


Figure 5 - Improvements to the concessions area.

C. Landmark Status

Liberty Park is an historic district on the National Register of Historic Places and on the Salt Lake City Landmarks listing. This submission fulfills the requirement to request the Salt Lake City Historic Landmarks Commission approval on major construction projects on listed properties.

Liberty Lake

This plan also calls for recreating and improving the water features in this area. The northwest corner of Liberty Lake is proposed to be extended up to the edge of 600 East. This increases the capacity of this stormwater detention basin and creates a direct paved path to the boat dock. This eliminates the current grass paver path, which is often muddy and is not ADA accessible. It also replaces the concrete curb around the lake that is breaking and washing out. A new dock would be installed that will be wider and easier to maneuver.

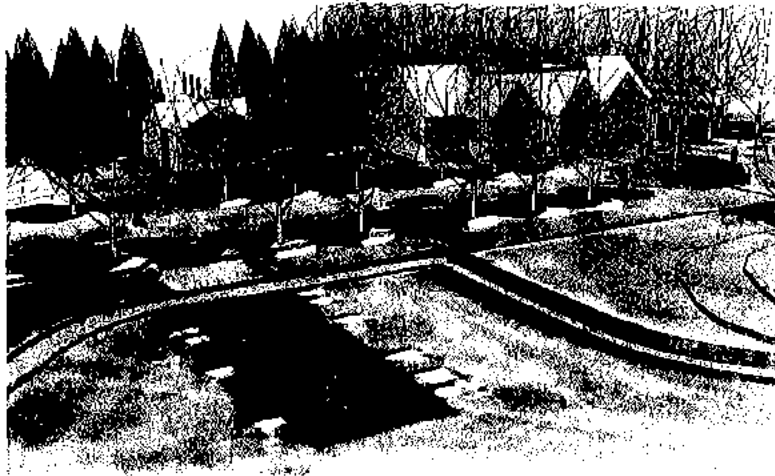


Figure 6 -- New boat dock and extension to Liberty Lake shoreline.

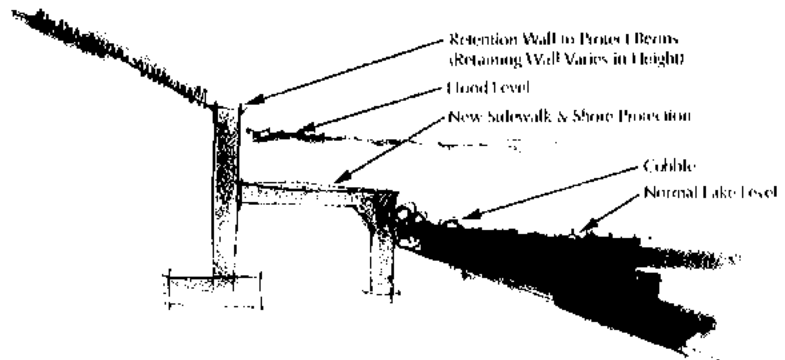


Figure 7 -- Section of a more durable Liberty Lake shoreline construction, showing normal lake level and flood stage.

Figure 11 - Example of kiosk in downtown Salt Lake City. A similar, but smaller scaled kiosk is proposed for Liberty Park's concessions area.



Information Kiosk
Another element to be added to this area is an information kiosk that was proposed as a part of the Signage and Wayfinding program, reviewed by the Landmarks Committee September 2004 and approved in November 2005. This kiosk would contain orientation maps for the park and provide a place for park concessionaires and city event organizers to post information on programs, events, and hours of operations. This kiosk would be designed to match the architecture, materials and scale of the concessions building.



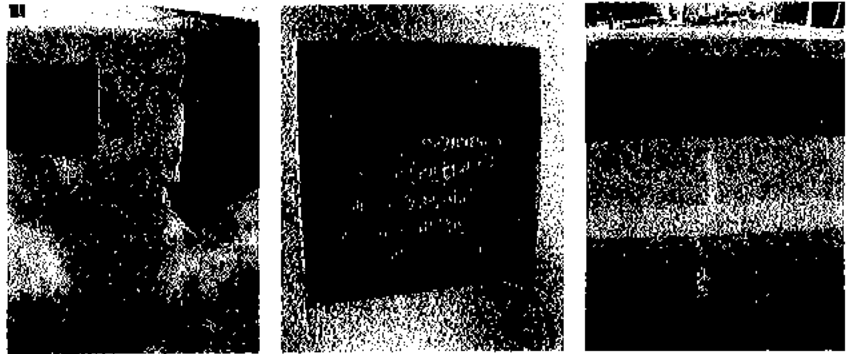
*Figures 8, 9, 10 ---
Concrete column planter and bollards.*



Columns and Bollards
The two existing concrete planters and five short concrete bollards are proposed to be removed. Because of the new building construction and path realignment, these elements no longer line up with the major pathways and create obstructions into proposed plaza areas. These elements are also deteriorating with water damage and spalling concrete. The planters atop the columns could be relocated if their condition permits.

World Wars Memorial

Another change in this area would be the minor relocation of the World Wars memorial. This element is proposed to be shifted approximately 100 feet to the south and rebuilt. In its current location, it is difficult for maintenance vehicles to maneuver around it, and it has been hit repeatedly, knocking off pieces of its corner. The walls also suffer from cracks, concrete spalling and water damage. The date and funding of this reconstructed monument are not known, but a plaque on the monument indicates that this version of the monument is a re-creation of a previous monument. The major features of this memorial are the plaques on each side of the monument. These will be preserved and incorporated into the new memorial, which will be of a similar material, shape and size. The new memorial is also proposed to incorporate seating, as either a seat wall integrated into the wall or benches along it.



Figures 12, 13, 14 -- World War memorial damage, the dedication plaque noting its original construction date (of a prior version) of 1929; and water damage.



Figure 15 -- The existing monument consists of a low wall with plaques on both sides and a large flagpole. Plaques read "To Those Who Served in the World Wars."

B. Pedestrian Path and Tree Allée

The pedestrian path and allée of trees that leads from the parking lot eastward to the concession area is proposed to be extended. A concrete path will be constructed and trees will be planted in the same formal allée. This will make this entry into the park clearer and make wayfinding easier. It also forms a natural boundary to this concession area.

Figure 16 -- Extended path and allée leading to the concessions area.

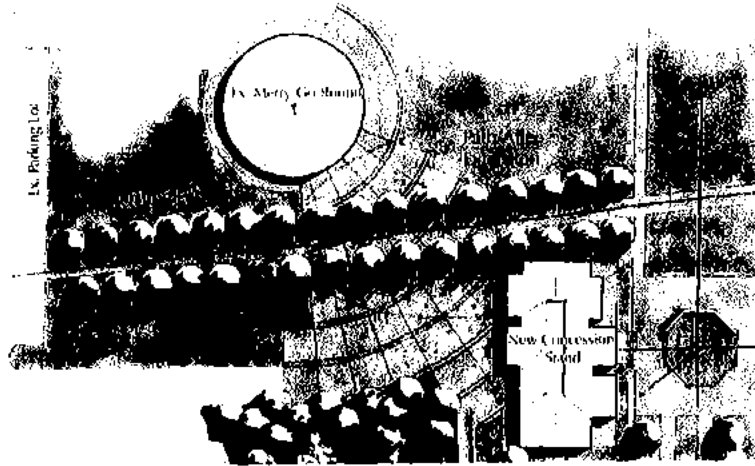


Figure 17 -- Existing path and allée leading to the concessions area.

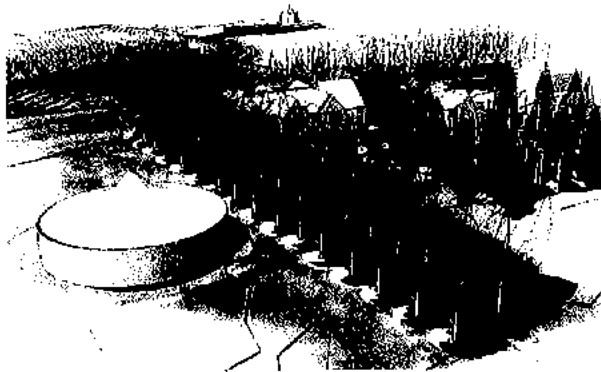


Figure 18 -- Existing path and allée leading to the concessions area.



C. Amphitheatre

An amphitheatre is also proposed in this activity hub and to provide a place in the park for performances, lectures, and another informal seating area. This amphitheatre would be built into the hillside by extending the berm that runs along the northern side of Liberty Lake. This amphitheatre will have a natural feel, with grassy seating levels, simple stone steps, and a small stage, surrounded by flowering trees to enclose it.

Figure 19 – Proposed amphitheatre design.

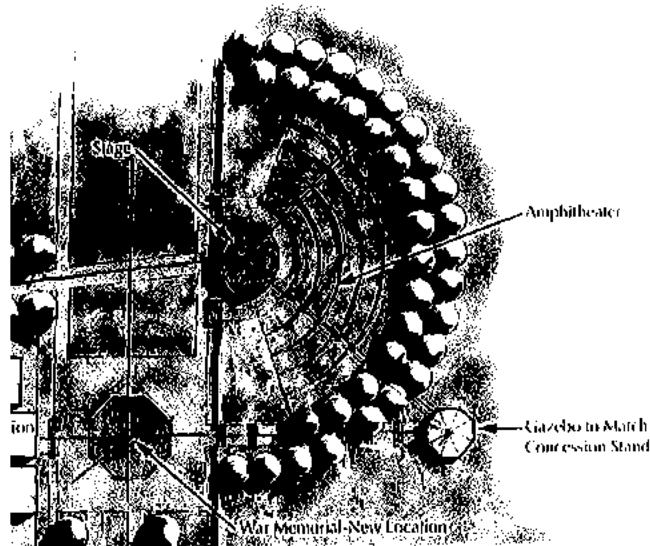


Figure 20 – View of amphitheatre toward concessions building.



Figure 21 – Area north of the grassy hillside that borders Liberty Lake where a new amphitheatre is proposed.



D. Adventure Garden

The Children's Garden was designed as an adventure park for children, with high viewing platforms, ramps, steps, and cargo nets for climbing, a ball room, and other play features. The garden was closed due to safety concerns and has sat unused for a number of years. The restroom adjacent to it was also closed after it continued to attract vandalism and undesirable uses. This area has become a "hole" in the fabric of Liberty Park and is due for revitalization.

Figure 22 - Children's Garden features that remain, behind chainlink fence and a "Closed" sign.

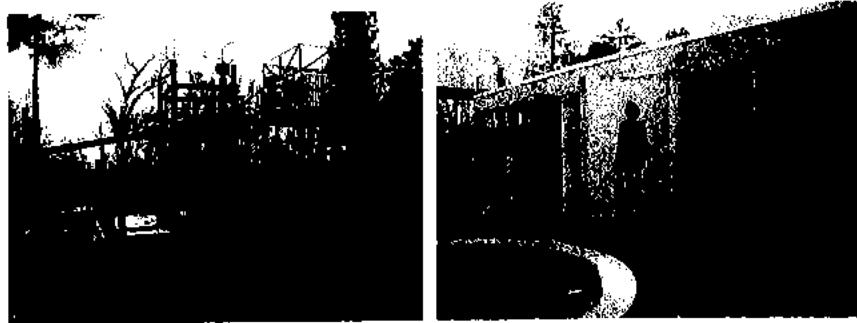
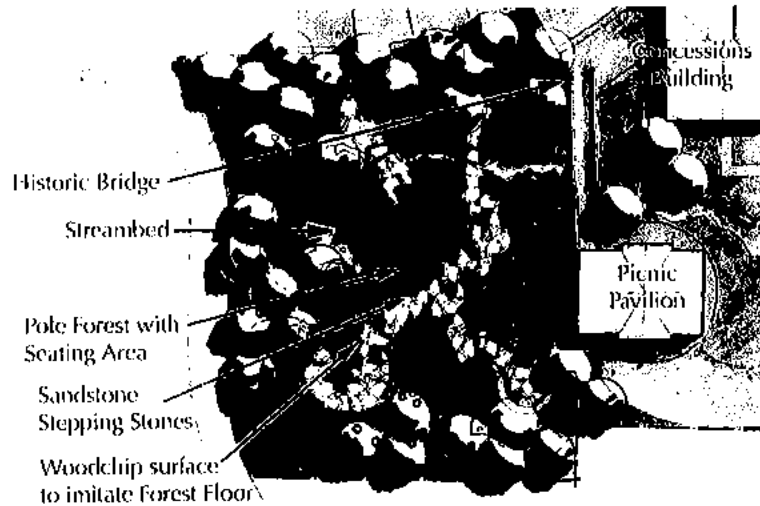


Figure 23 - Restrooms that have been closed and are recommended for demolition.

This plan proposes to demolish the Children's Garden structures except the vertical poles. Demolition would include the platforms and climbing elements, as well as the restroom and ball crawl. Several vertical poles will remain to become a part of a "forest" to be created with additional decoratively carved poles of varying heights and new evergreen trees. Benches and sitting rocks will be added to the area to provide places to picnic and sit. The design includes berms, groupings of boulders, sandstone stepping stones and a woodchip walking surface add to the naturalistic atmosphere and sense of adventure. The design encourages people to explore and play.

Figure 24 - Plan for the former Children's Garden to be transformed into an "Adventure Garden."



This reconstruction would also improve an old streambed in this area. Currently, excess water finds its way into the plaza area and parking lot, creating slippery, mossy areas. Because the water table is so high and the numerous artesian wells in this area, drainage is a common challenge in the

park. This plan creates a meandering dry stream bed from Liberty Lake, underneath the historic concrete bridge, toward Tracy Aviary to the edge of the concessions area. This stream bed will collect excess water and create an attractive natural feature while improving the area's drainage. In the future, some permanent water flow could be introduced into the stream bed if desired.

Figure 25 - Area south of the concessions building where a stream once. A proposed dry streambed here would improve site drainage.



Design North Face

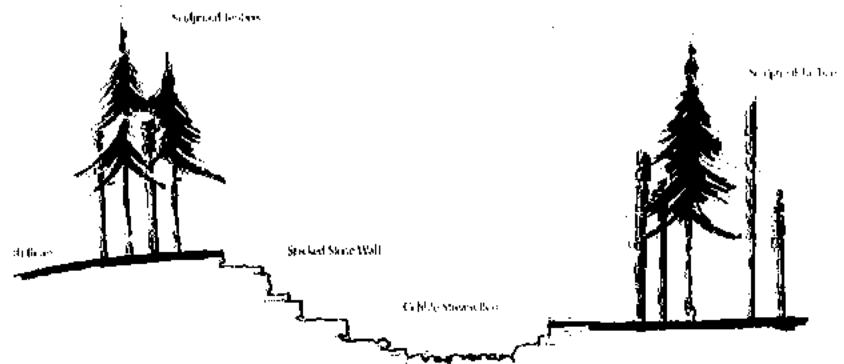


Figure 26 - Typical cross-section of the proposed dry stream bed.

A new picnic pavilion is proposed on the edge of the adventure garden to fill an unmet need in the park for medium-sized group gatherings. This pavilion can host groups and parties, and give them easy access to the adventure garden, Liberty Lake, rides, concessions and amphitheatre. The pavilion design will utilize the poles from the ball crawl as for supports and will match the concessions building in materials and form.

Figure 27 - New picnic pavilion created built on the foundation of the previous ball crawl building.

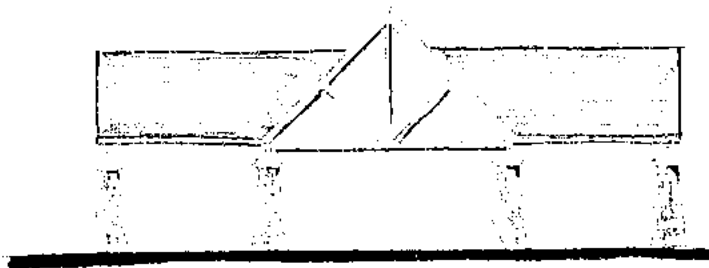


Figure 28 - Overview of the redesigned garden area.

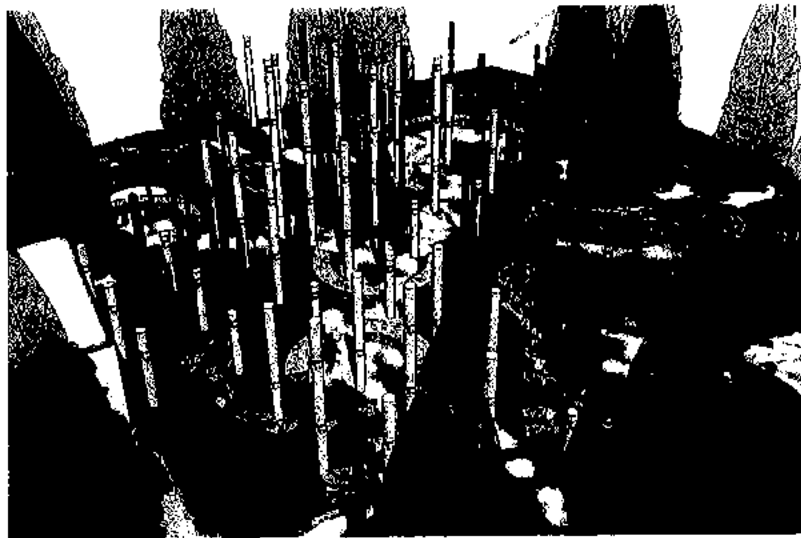
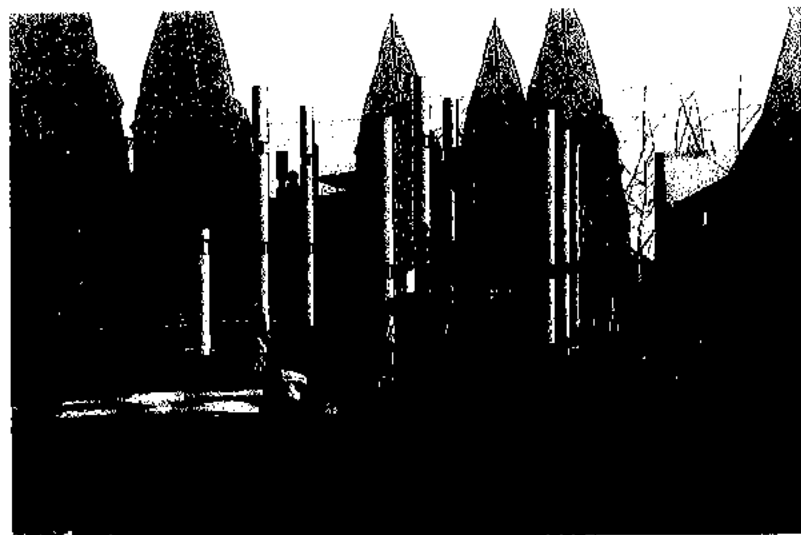


Figure 29 - View of the "pole forest," showing seating rocks, existing poles (grey) and new poles (brown).



4. CONSTRUCTION AND MATERIALS

A. Phasing

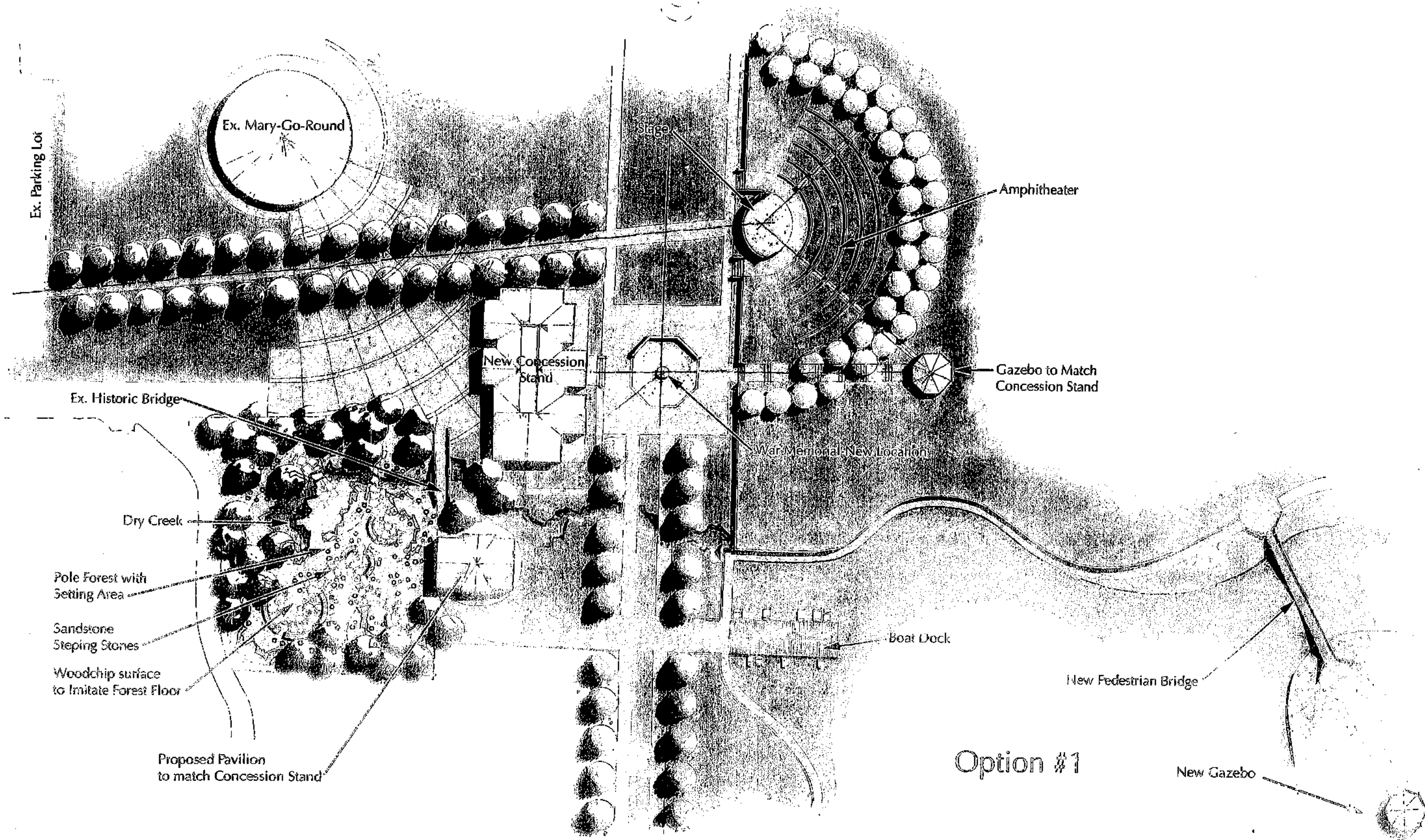
This Master Plan calls for a number of different improvements that will be phased over time. This plan calls for the Concessions Areas, World Wars Memorial and the Path and Allée to be completed first. The second phase would encompass the Children's Garden and the streambed improvements. The final phase would include the Amphitheatre and Liberty Lake improvements.

Each phase of construction will build off of the previous elements built and utilize similar materials, colors and textures set by the precedent of previous elements. The specific materials and construction techniques will be determined as each phase of work is approved and funded.

B. Materials

The elements in this design will utilize natural and muted materials. All structures, including the pavilion and amphitheatre will use natural cobble stone and wood shingle, like the concessions building. The rebuilt World Wars memorial will use a similar combination of concrete and textured plaster. New site furniture, including benches, trash cans, and light posts will match the existing Liberty Park standards.

Natural features, such as the dry streambed, the new amphitheatre berm, landscaping, boulders, and the "forest floor" of the Adventure Garden will use materials, shapes and forms that blend with the surrounding natural landscape. Every attempt will be made to blend seamlessly into the existing fabric of the park and make this area appear as if were always there.



Ex. Parking Lot

Ex. Mary-Go-Round

Stage

Amphitheater

New Concession Stand

Gazebo to Match Concession Stand

Ex. Historic Bridge

War Memorial New Location

Dry Creek

Pole Forest with Seating Area

Sandstone Stepping Stones

Woodchip surface to Imitate Forest Floor

Boat Dock

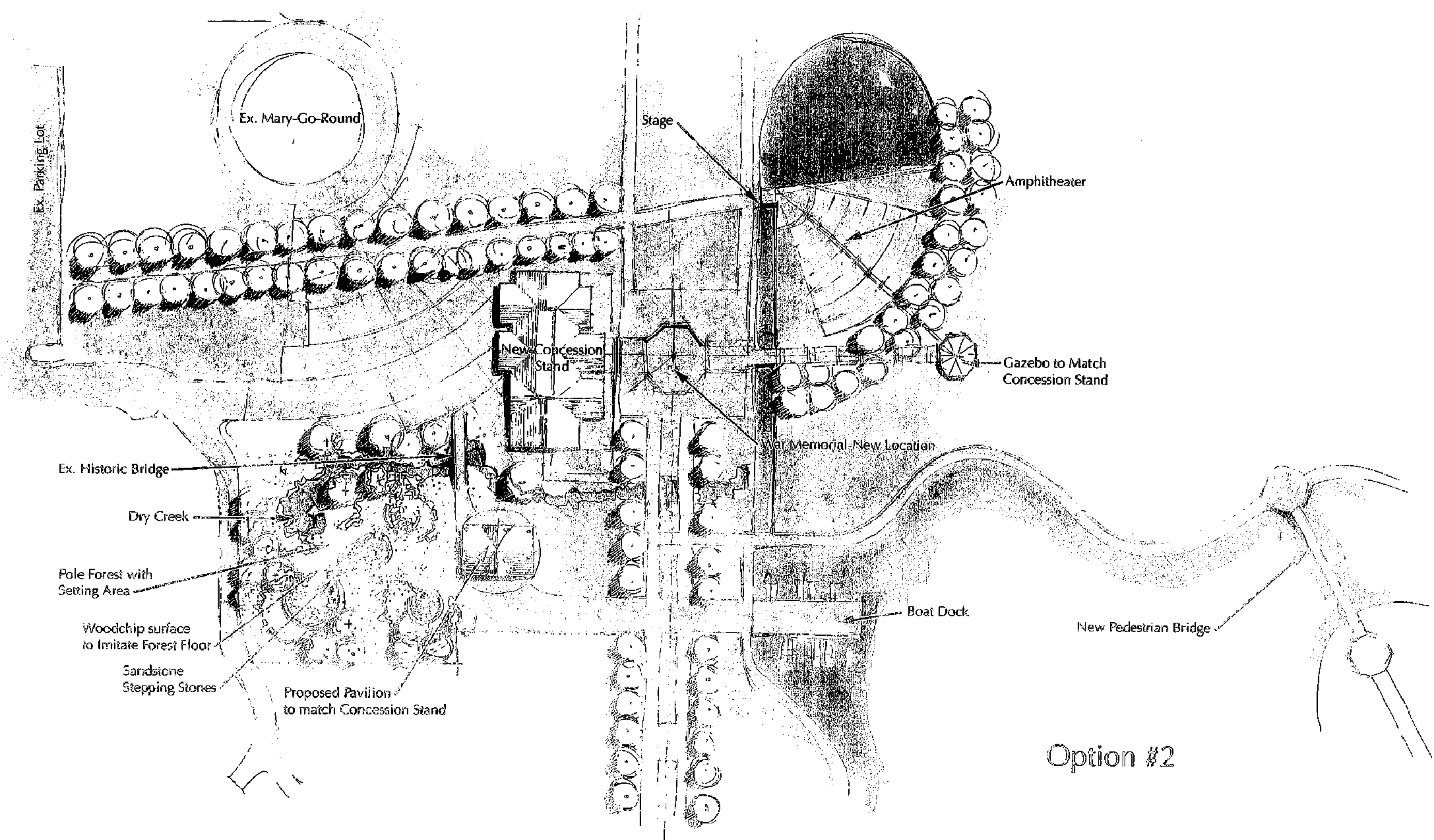
New Pedestrian Bridge

Proposed Pavilion to match Concession Stand

Option #1

New Gazebo





Option #2

Typical Cross Section

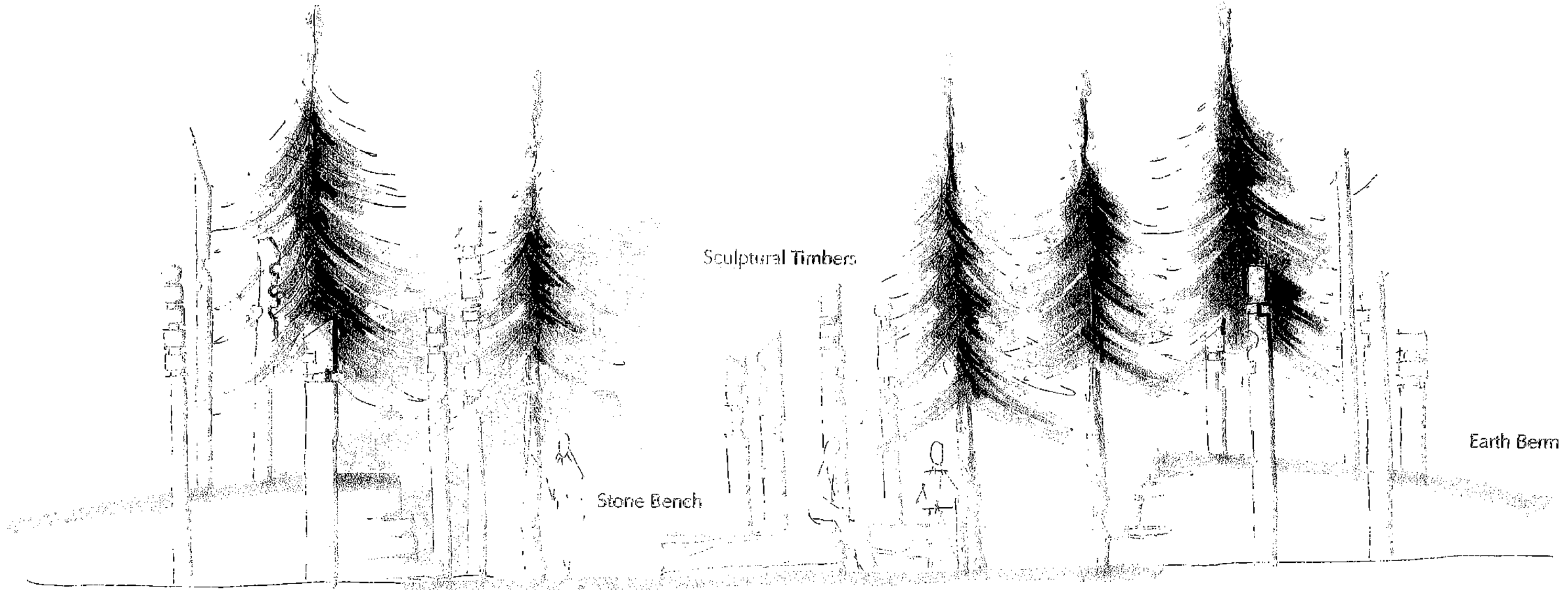
Evergreen Accent Trees

Sculptural Timbers

Stone Bench

Earth Berm

Stacked Stone Wall



Stream Cross Section

Evergreen Accent Trees

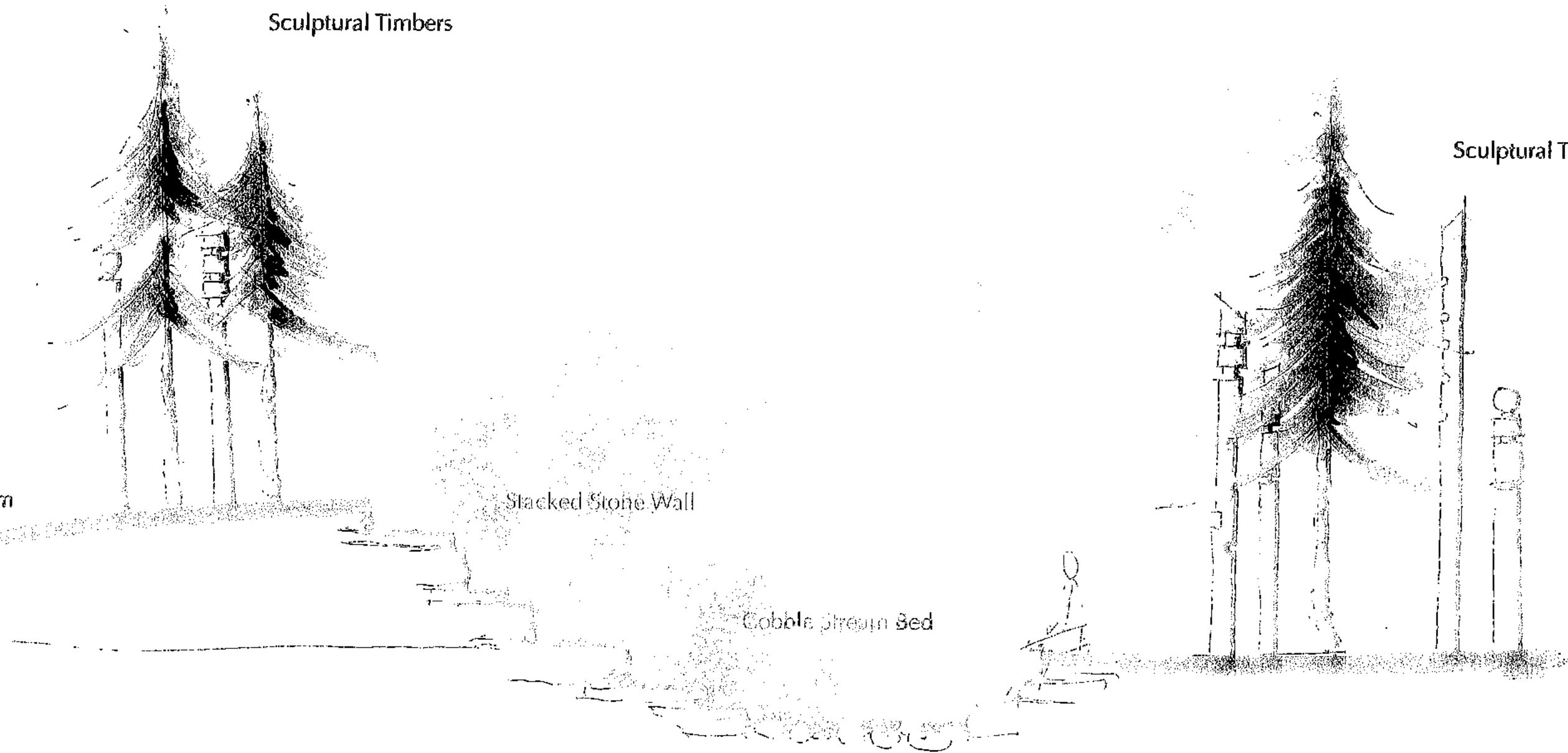
Sculptural Timbers

Sculptural Timbers

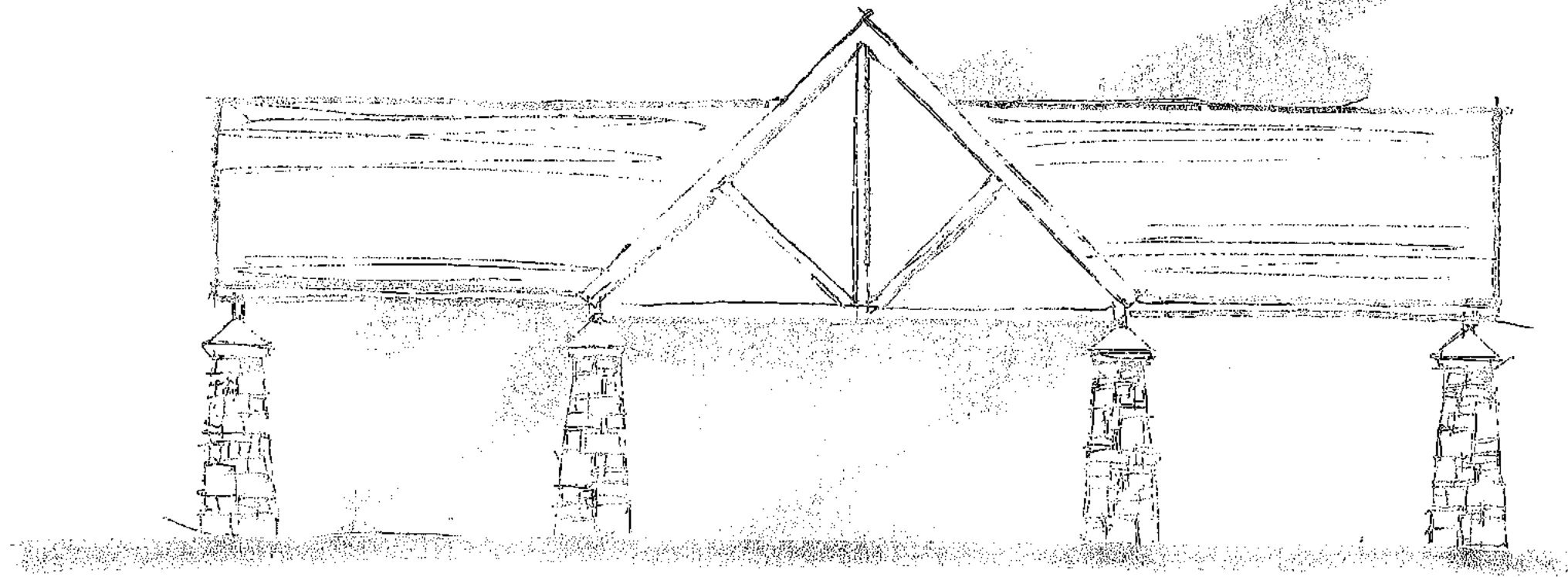
Earth Berm

Stacked Stone Wall

Cobble Stream Bed

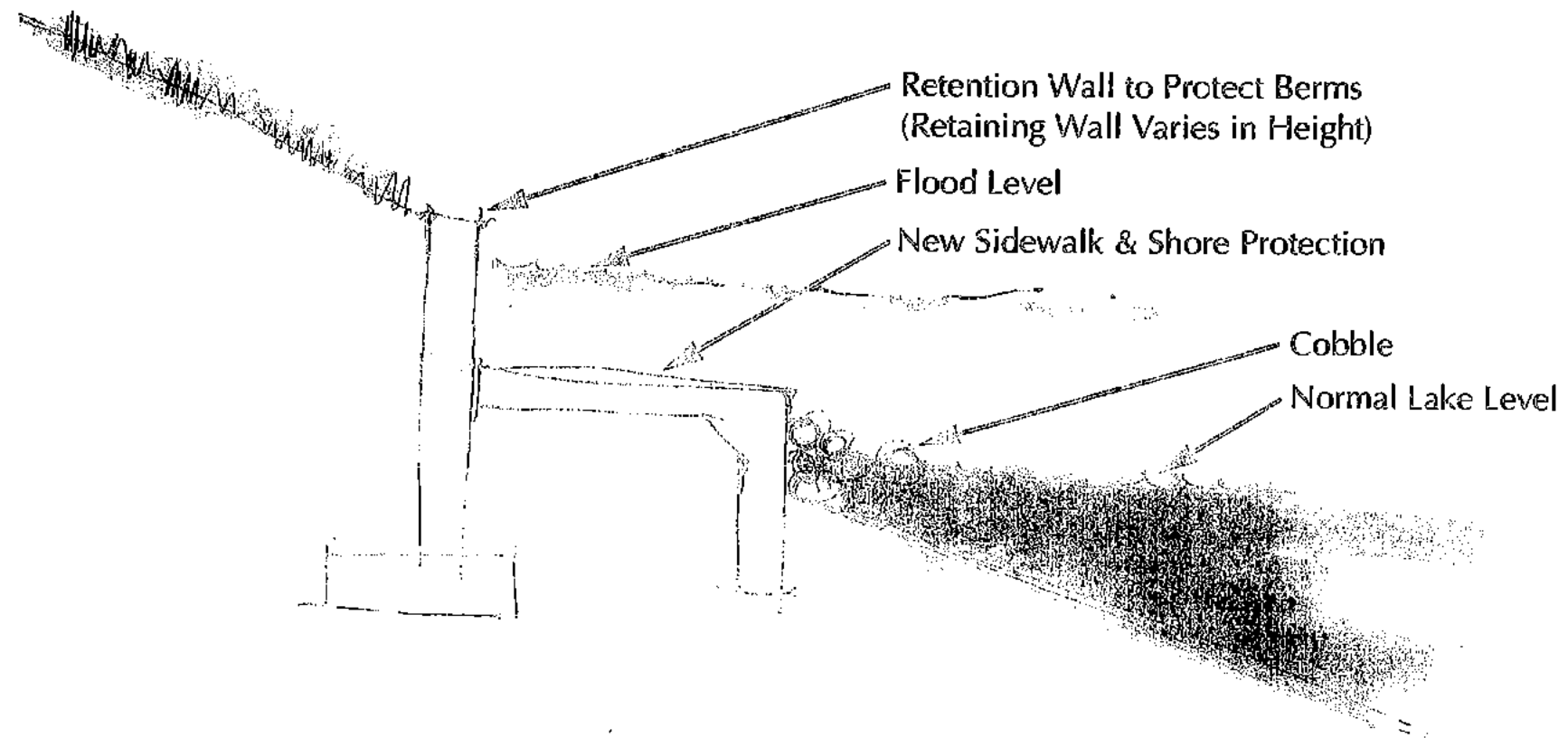


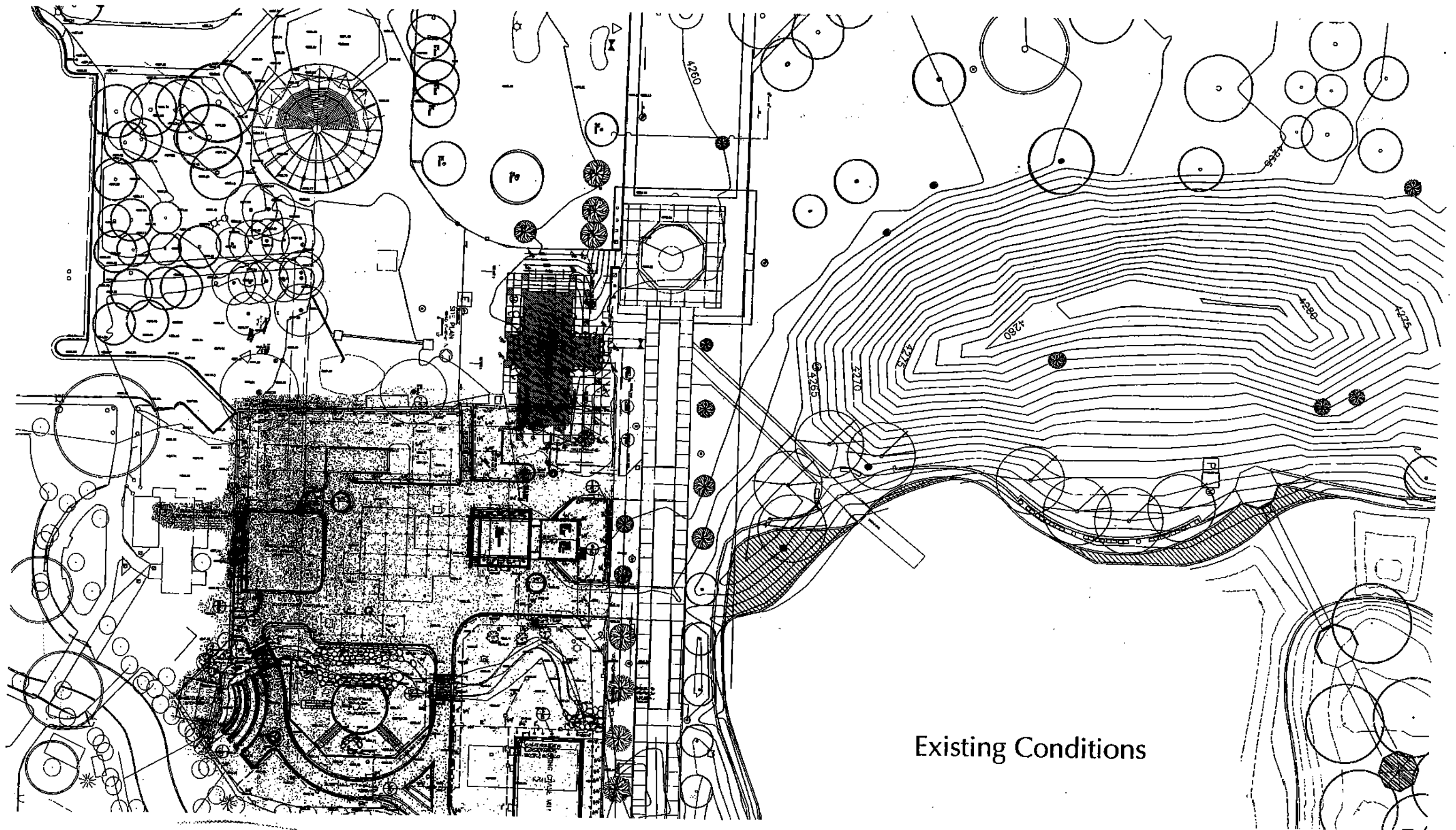
Proposed Pavilion



Architectural style to match that of new Concessions Stand

Retention Wall Cross Section





Existing Conditions

Attachment C
June 7, 2006 Minutes

Addressing Ms. Barbanell concerns, Ms. Hammond-Heid noted that the stage would be surrounded by flowering trees (Staff Report - Page 10). Mr. Cook added that the berm would be enlarged to accommodate a back-drop for the amphitheatre and the flowering trees would be planted on the edge of the hillside and wrap around the back side of the amphitheatre to accent the back drop. They do not intend to place any boulders in that area, but will maintain the grass so that it will appear to be similar to what is already there. The use of the amphitheatre would be covered in the management plan for all parks. Events and times are documented and they require approval.

Paul Wharton submitted a letter from Ethel C. Hale, 436 East 800 South, and read it into the record. In part, the letter states opposition to any proposal that would destroy established green space to accommodate structures or replace the sledding hill with an amphitheatre. Ms. Hale wrote that she believes society needs exercise, not sitting being entertained and eating; and restoration of the still-extant bowling green would be a historic touch. She post-scripted the letter stating that historically, a park is primarily trees, grass, flowers with quiet and minimal structures. An amusement park is structures, excitement, noise and commerce of various kinds.

Seeing no one else requesting to address the Commission, the meeting was closed to public comment and the Historic Landmark Commission discussed the proposal. Acknowledging that the amphitheatre leans toward landscaping features, the consensus of the Commission was that the existing topography must be maintained including relocating the gazebo. Ms. Hunter voiced concerns about eliminating the concrete columns without a better understanding of their history.

Regarding Case No. 470-06-32, based on the comments, analysis and findings of fact, Ms. Carl moved that the Historic Landmark Commission grant approval for the requested circulation changes and conceptual approval on the Option 1 Site Plan as presented in the Staff Report provided:

1. Efforts are made to maintain the existing topography of the sledding hill.
2. The proposed gazebo is moved to a more acceptable location.
3. Information is provided for the concrete columns that are proposed to be removed.

Ms. Hammond-Heid seconded the motion, all voted aye; the motion passed.

Case No. 470-06-22, a request by Howa Capitol to construct a new mixed-use development between 500 North and 600 North and Artic Court and 300 West, consisting of two five-story buildings with retail uses on the main story and dwelling units above, a single-story grocery store and eleven townhouses units. This property is located in the Capitol Hill Historic District. (Staff – Elizabeth Giraud at 535-7128 or Elizabeth.giraud@slcgov.com)

(This item was heard at 5:20:51 p.m.)

Prescott Muir and Dru Damico were present to represent Howa Capitol.

Historic Landmark Commissioner Fitzsimmons disclosed that he has been recently employed by Prescott Muir Architects who is the designer for the project. Mr. Fitzsimmons said that he has not specifically worked on the project and he believes he

The War Memorial would be reconstructed because the corners have been damaged over the years. Relocating the War Memorial would provide a more formal pattern in line with the focal point, and improve ingress and egress of the concession building.

The proposed width of the boat dock was determined because it is currently inadequate. It is so narrow now that two people are unable to pass without the potential of someone falling into the water. The dock was also realigned with the concession area because the boats will be stored in the breezeway of the concession building during winter months and this alignment will allow concessionaire staff better access of the dock activity. As for the width, Mr. Cook said that they would reconsider it and continue discussions as the idea is being developed.

Liberty Lake serves as a storm drainage system and the curb around it is continually eroding away as the water over flows. The old curb will be replaced with a new curb and a five-foot wide sidewalk along with a retaining wall. The new curb system will serve as seating at the edge of the Lake as well as increasing the flood capacity.

The Historic Landmark Commission Members and Mr. Cook discussed the plans, and Mr. Cook further explained that the berm located in the north portion of the Park would be increased to accommodate the amphitheatre. The seating would consist of about six concrete/grass risers. The risers will be concrete about 18 inches high and the treads will be grass.

The original concrete walking bridge from the 1920s would remain and become a feature of the Children's Garden area.

As for the columns/bollards with planters on top, Mr. Cook said he is uncertain of their history and they serve no purpose. The intent is to remove them to improve circulation. The planters belong to the concessionaire and would be relocated to other appropriate areas or perhaps on the terraces of the amphitheatre. The Farris Wheel and Merry-Go-Round are owned by the concessionaire and will continue to operate. Mr. Cook said he is not certain whether or not the other rides will remain, but the paving around them will be redone. Mr. Cook concluded by saying that they are asking approval for the overall concept so that they may proceed with funding and they will come back to the Historic Landmark Commission for review as development progresses.

Melissa Barbanell, 1062 South 500 East, explained that she was involved in the master plan process for Liberty Park and is pleased with some of the changes. However, she is concerned about the visual impact the amphitheatre may have on the Park and other buildings becoming infill lessening the amount of open space in the park. The new concession stand is significantly larger than the old one and she is concerned that losing green space to buildings would diminish the historic value of Liberty Park. Green space and rolling hills are integral to the historical nature, and she agrees with Planning Staff that the gazebo would interfere with the appearance. Ms. Barbanell also asked for clarification of elements behind the seating of the amphitheatre. The hill is used for sledding and she questioned whether or not whatever elements behind the seating would alter the view or use. Ms. Barbanell said that she is also concerned about the noise emitted from the amphitheatre and noted that the Ordinance does not allow loud music after 9:00 p.m.

- (Phase 2) Construction of the Adventure Garden, which would be the children's play area. Ms. Coffey explained that the current Children's Garden has been closed to the public for several years because of safety reasons. Most of the existing structures and the restrooms would be removed. New pedestrian furniture, pavilions and berms would be added. Some existing posts would remain to be integrated with the "pole forest." The small streambed in this area will also be improved.
- (Phase 3) Construction of the new amphitheatre. Ms. Coffey noted that the packet includes two options and future funding would determine which option would be chosen. Option 2 includes a gazebo at the knoll of the hill in line with the concession stand.
- Liberty Lake will be extended toward 600 East and the existing boat dock will be removed and a wider one will be installed to the southwest. The existing concrete curb around the Lake will be replaced with a new sidewalk.

Ms. Coffey explained that Planning Staff recommends conceptual approval for the overall plan with the following considerations: A more suitable location for the proposed gazebo because that location is prominent and the gazebo is not a historic feature of the Park, the width of the dock to be re-evaluated, and more design details for the dry creek bed be provided.

Mr. Cook explained that they are leaning toward Option 1 for the amphitheatre, and the intent is to improve pedestrian circulation around the concession area and make the Park more functional. The Children's Garden has been closed for a long time because the equipment does not meet safety code, and the restrooms and ball crawl are dysfunctional. The building that houses the restrooms and ball crawl will be scaled back to half its current size by eliminating the restrooms. New restrooms were installed to the south of the new concession building when it was constructed. The ball crawl will be modified into a pavilion. The roof of the pavilion will have the same pitch and shingles as the new concession building. The Park has only one other pavilion, which is located in the northeast corner (the opposite side of the Park), and the proposed modification to the ball crawl would provide another spot for group dining and gathering. The design to revitalize the Children's Garden is a "pole forest". The columns will remain and shapes will be carved on the top of them to make them more interesting. Rock and boulders will be added for climbing and sitting areas which would tie into the existing drainage channel creek. The creek is a catch basin for surface drainage for the entire site and drains into the Lake and Aviary. The Aviary no longer wants storm water in their system, so the creek will be piped westward into the 500 South storm drain. The creek would be made more aesthetically pleasing and would provide a play facility for the children. The creek would have water in it for a very short period of time during storm events.

Trees will be planted to extend the alley and provide a dramatic entrance from the parking lot to the concession area and to tie the concession area with 600 East and beyond the new amphitheatre. The gazebo is proposed to be in line with the monument and concession stand to provide a dramatic entrance. The gazebo is only meant as a focal point and is an option.

The master plan for the Park has always called for an amphitheatre for small performances and concerts.

Chairperson Christensen called the meeting to order and welcomed Esther Hunter as a new Salt Lake City Historic Landmark Commission Member.

Comments to the Commission

No one from the public had comments to make to the Commission.

Report by the Planning Director

Mr. Ikefuna had nothing to report at this time.

Approval of the Minute for May 17, 2006

Chairperson Christensen asked for the following revisions:

- Correct spelling of names for Mr. Nephi Kemmethmueller and Ms. Minta Brandon.
- Change the word "Archetupos" to "Archivist" on page 17.

Mr. Fitzsimmons moved for the Historic Landmark Commission to approve the minutes with the aforementioned revisions. Ms. Carl seconded the motion, all voted *aye*; the motion passed.

PUBLIC HEARING

Case No. 470-06-32, by the Salt Lake City Engineering Division, represented by Dell Cook, Project Manager, requesting conceptual approval for several projects in Liberty Park, including the Amphitheatre, Concessions Area, Liberty Lake, Pedestrian Path and Tree Alley and Adventure Garden. Liberty Park is a Salt Lake City Landmark Site. (Staff – Janice Lew at 535-7625 or janice.lew@slcgov.com)

(This item was heard at 4:41 p.m.)

Dell Cook was present to represent the Salt Lake City Engineering Division.

Ms. Coffey, substituting for Ms. Lew, explained that Liberty Park is a Landmark Site and has been undergoing major renovation over the last several years. The overall proposed improvements are as follows and would take place in three phases:

- (Phase 1) Improvements around the plaza, including replacing the existing asphalt hard-surfacing with concrete pavers around the amusement rides and equipment area, and removal of the bollards and planters in the concession area to provide improved pedestrian circulation.
- Construction of a new information kiosk near the concession building.
- Extending and realigning the east/west path from the parking lot toward the concession area. Additional trees will also be planted along this area.
- Reshaping the northwest edge of Liberty Lake.
- Restoring the drainage channel to the west of Liberty Lake.
- Relocating the War Memorial to the south in line with the concession building.

Attachment D
Public Comment

Lew, Janice

From: Barbanell, Melissa (Salt Lake City) [mbarbanell@barrick.com]
Sent: Monday, February 25, 2008 9:38 AM
To: Lew, Janice
Cc: Love, Jill
Subject: staff report on Libert Park Children's Garden

Janice,

Is there a staff report on this? I would like to see it along with the plans. I am happy to come down to the City/County building to pick it up. I am quite concerned about the level of construction in Liberty Park and plan to do my best to ensure that any new proposals for Liberty Park comply with the HPOD.

Melissa

Melissa Barbanell
Senior Counsel, Regulatory Policy
Barrick Gold Corporation
136 East South Temple, #1800
Salt Lake City, UT 84111
Ph: 801-990-3815
Fax: 801-990-3830



ENTREPRENEURSHIP. LEADERSHIP. PASSION TO SUCCEED.

2/27/2008