



# Staff Report

PLANNING DIVISION

**To:** Salt Lake City Planning Commission  
**From:** Olivia Cvetko, Principal Planner  
[Olivia.Cvetko@slcgov.com](mailto:Olivia.Cvetko@slcgov.com) | 801-535-7285  
**Date:** December 21, 2023  
**Re:** PLNZAD2023-00837, 3<sup>rd</sup> East Variance

## VARIANCE

**PROPERTY ADDRESS:** 649 S 300 E  
**PARCEL ID:** 16-06-386-003-0000  
**MASTER PLAN:** Central Community Master Plan  
**ZONING DISTRICT:** RMF-35 (Moderate Density Multi-Family Residential)

### REQUEST:

George Gardner, the applicant and property owner, is requesting a variance to reduce the required side and rear yard setbacks for the subject property. The subject property is a landlocked, noncomplying parcel within the RMF-35 (Moderate Density Multi-Family Residential) zone and contains a noncomplying structure that does not meet rear and front setbacks. The proposed variance is to allow a greater encroachment on the rear yard and a new encroachment on the side yard. The proposal would accommodate a 439-square-foot addition to the house and the applicant is requesting a 2-foot setback for the north side yard, where 4 feet is required, and a 2-foot setback for the rear yard, where 20 feet is required.

### RECOMMENDATION:

Based on the information and findings listed in the staff report, it is the Planning Staff's opinion that the request for a reduction in the side and rear yard setbacks does not meet the applicable standards of approval and therefore recommends the Appeals Hearing Officer deny the request.

### ATTACHMENTS:

- A. [ATTACHMENT A: Vicinity Map](#)
- B. [ATTACHMENT B: Application Materials](#)
- C. [ATTACHMENT C: Property & Vicinity Photos](#)
- D. [ATTACHMENT D: RMF-35 Zoning Standards](#)
- E. [ATTACHMENT E: Variance Standards](#)
- F. [ATTACHMENT F: Public Process & Comments](#)

## PROJECT DESCRIPTION

The proposed variance is to allow a greater encroachment on the rear yard and a new encroachment on the side yard, resulting in a 2-foot setback for the north side yard, where 4 feet is required, and a 2-foot setback for the rear yard, where 20 feet is required. The purpose of the addition (outlined in the Application Materials, Attachment B) is to increase the square footage of the existing home by 439 sq ft to add a closet, spare bedroom, and second bathroom. The applicant's reasoning for the location of this addition being to the north of the home, rather than to the south, is that the area on the south of the property is used for parking and vehicle turn-around.

### Subject Property Description

The subject property is a detached, noncomplying structure on a landlocked, noncomplying parcel in the RMF-35 zone. The lot is approximately 3,712 square feet in size. Because the property is landlocked, it is accessed by a private drive easement across the property to the west. The home on this lot was built in 1910 and the lot was created in 1931 in the residential B-2 zone, which required a minimum lot size of 3,000 sq ft for a single-family home.



Section 21A.62.040 Definitions:

*LOT LINE, FRONT:* "Front lot line" means that boundary of a lot which is along an existing or dedicated public street, or where no public street exists, is along a public way. On corner lots, the property owner shall declare the front lot line and corner side yard line on a building permit application. **In the case of landlocked land, the front lot line shall be the lot line that faces access to the lot.**

*LOT LINE, REAR:* "Rear lot line" means that boundary of a lot which is most distant from, and is, or is most nearly, parallel to, the front lot line.

Section 21A.62.040 Definitions defines the front lot line as the one facing access to the lot. This section also calls out the location of the rear lot line as being nearly parallel to the front lot line. This makes the western property line the front and the eastern property line the rear.

Because the front property line is to the west, the lot is considered 45 ft deep and 82.5 ft wide. The required rear and front yard setback for lots in the RMF-35 zone are each 20 ft, leaving a buildable area of 5 ft deep and 68.5 ft wide. The following table provides the dimensions of the property and building setbacks in relation to current zoning regulations, followed by an image provided by Planning Staff showing the building envelope per the RMF-35 zone setbacks on this lot.

RMF-35 Standard	Existing	Proposed
<b>Front Yard Setback</b> 20 ft	8 ft	NA
<b>Side Yard Setback</b> 4 ft, 10 ft	46 ft (South) 8 ft (North)	NA (South) 2 ft (North)
<b>Rear Yard Setback</b> 25% of lot depth with minimum of 20 ft	11 ft	2 ft

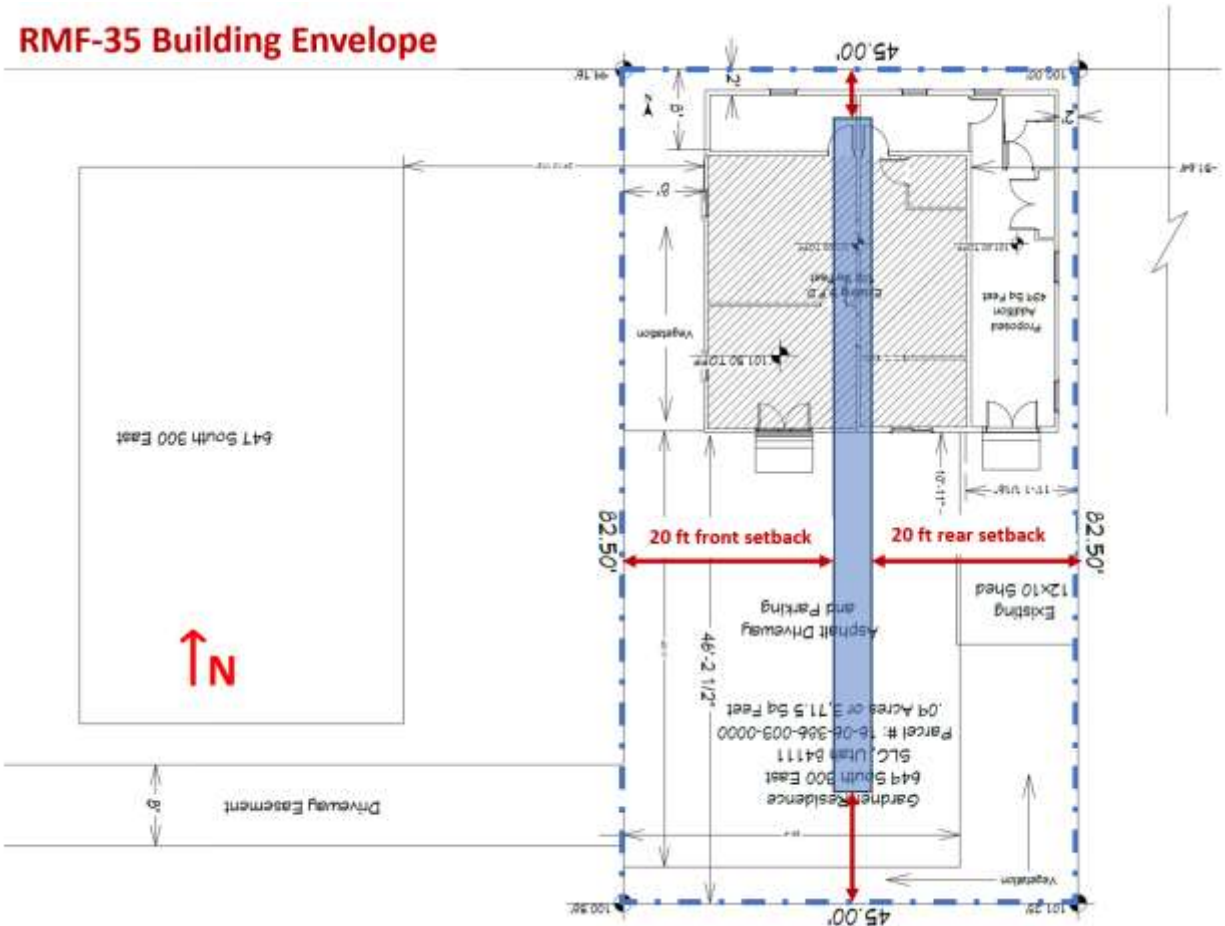


Image showing the proposed site plan and allowed building envelope per RMF-35 zoning requirements.

### Context

The primary structure on this lot was built in 1910, roughly 20 years prior to the creation of the lot. Based on Salt Lake County Historical Records, it appears this structure was originally used as a carriage house prior until it was subdivided from the original, larger parcel to the east in 1931. Because of this, the subject lot and home are both smaller than other lots and homes in the immediate area. The only smaller lot in this area is 648 S Iverson Street, which is in the SR-3 Zone, which only requires a 2,000 sq ft lot for a single-family home. According to assessor data, the subject home is the smallest in the RMF-35 zone in the vicinity.

Immediate neighbors to this property include 644 Iverson Street to the east and 643 S 300 E to the west, both of whom have submitted letters in favor of the addition (Attachment B). Other adjacent neighbors include 648 Iverson Street to the east, 651 S 300 E to the south, and the Central City Recreation Center to the North.

Address	Home Sq. Ft.	Lot Sq. Ft.
649 S 300 E	706	3798
643 S 300 E	2018 (three-plex)	6534
651 S 300 E	1714	5227
644 S Iverson St.	1036	5227
648 S Iverson St.	1036	3049
652 S Iverson St.	2380	6098
669 S 300 E	2075	3920
673 S 300 E	1769	3920
677 S 300 E	1012	4456

### Additions to Noncomplying Structures

Given that the existing home already encroaches into the required front and rear setbacks, Section 21A.38.050 of the code allows a process for an addition to the structure. Specifically, the code permits an extension to the side of the structure aligned with the existing front and rear walls, so long as it does not create further non-conformities. The code prohibits additions that would further encroach into the front or rear setbacks. This allows for an additional 4 ft to the north of the home and 36 ft to the south of the home that could be available for an addition.

Section 21A.38.050 Noncomplying Structures outlines the City’s regulations in regard to enlarging, moving, or altering a noncomplying structure:

#### 21A.38.050.B.1

- a. *Front Yard: A principal building with a front yard setback that is less than the minimum required may be enlarged provided the addition does not further reduce the existing front yard setback and complies with all other applicable requirements of Title 21A.*
- c. *Rear Yards: A principal building noncomplying to rear yard setbacks may be expanded provided the expansion follows an existing noncomplying building wall and does not result in a decrease of the existing rear yard setback and complies with side and corner side yard setbacks of the underlying zoning district. If the building does not comply with the existing side or corner side yard setback, the expansion shall be permitted to extend to the side or corner side yard setback of the underlying zone.*

The applicant has stated that the home is unusual for the area, being landlocked facing south with access from the west, necessitates the entire area south of the home for parking and turnaround to exit the private drive. While staff acknowledges the distinct characteristics of the lot, an evaluation based on dimensions for a vehicle turnaround indicates sufficient space to

accommodate an in-line addition, as shown below and verified by the Transportation Division. Considering the existing code provisions allow for an addition to the home, a variance is not necessary.

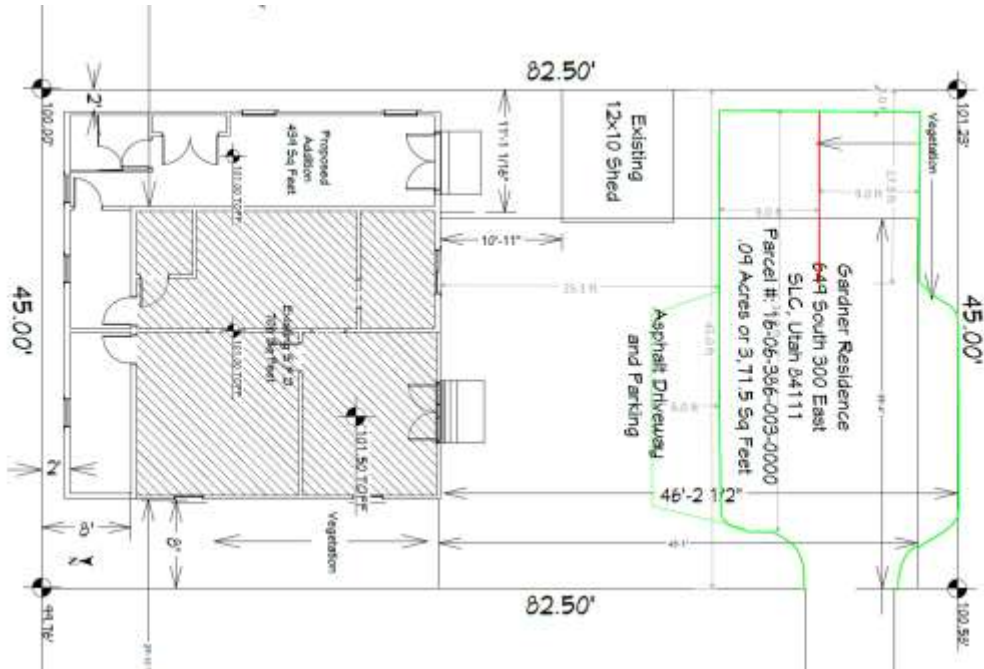


Image showing a vehicle turnaround with parking provided by the Transportation Division.

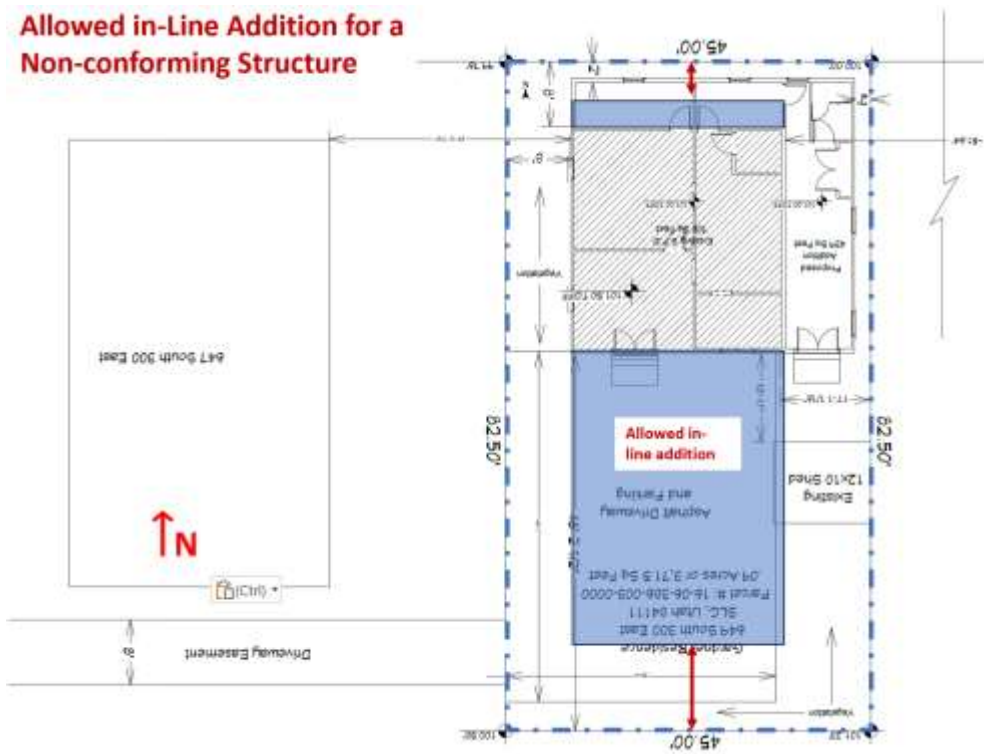


Image showing area appropriate buildable area with an in-line addition to a noncomplying structure (does not account for lot coverage maximums or parking area requirements).

## Variance Standards Analysis and Summary

The standards required for granting a variance are set forth in Utah Code Section 10-9-707 and Salt Lake City Zoning Ordinance, Section 21A.18.060. The Hearing Officer may grant a variance if all of the conditions described in Attachment E are met. The applicant shall bear the burden of demonstrating that the standards have been met and the variance is justified. The key issues have been listed below through analysis of this project.

**Demonstrated Hardship:** As shown in this report, this lot is unique in that, because access (and therefore the front property line) faces west, the lot is only 45 ft deep. With a 25 ft front yard setback and a 20 ft rear yard setback, this leaves a buildable area of only 5 ft deep. This leads staff to believe that this property does have a unique hardship. However, the hardship can be resolved by following the Nonconforming Structure allowance to follow the setback of the existing home to accommodate an addition to the south of the structure.

**Substantial Property Right:** Having a home on the property is a privilege granted to other properties and is a substantial property right. The property currently accommodates an existing single-family home. While the size of the existing home is modest compared to others in the area at 706 sq ft, in Planning Staff's opinion, the request to construct an addition into the required side yard and rear yard setbacks for enlarged living space is not a substantial property right. The desire to expand the home's square footage is a self-imposed hardship, as there is room elsewhere on this lot to accommodate an addition without a variance.

**Minimal Variance Necessary:** Variances should only be granted if, "it is not greater than the minimum variation necessary to relieve the unnecessary hardship demonstrated by the applicant." In reviewing the application materials and site plan, it appears there is adequate space to accommodate an addition to the south side of this home.

### STAFF RECOMMENDATION

Staff recommends that the Appeals Hearing Officer deny the request for a variance at 649 S 300 E. Although this lot is unique in that it's allowed building envelope is only 5 ft deep, in-line additions can be accommodated on the north and south side yards.

### NEXT STEPS

If the requested variance is approved, the applicant could proceed with applying for a building permit to construct the rear and side additions as shown on the project plans in Attachment B. If the variance request is denied, the applicant would not be able to proceed with their planned addition as proposed.

# ATTACHMENT A: Vicinity Map

## Vicinity Map



Salt Lake City Planning Division 12/14/2023

# **ATTACHMENT B: Application Materials**

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## Narrative

We would like to build an addition on the back and side of our house to add a closet, spare bedroom and a second bathroom. Our house is unusual for our area because it is set back in the block and faces south, unlike the rest of the houses on the street that face east. Since our house is situated this way, the area in front of our house is required for parking and turning around to be able to drive back out. This makes building off the front not an option. Building off the back corner is the best way to utilize the space. Our house is significantly smaller than any of the other houses in our area. Even though it is listed as 2 bedrooms, this isn't the case in any practical sense. We only have 1 bedroom. The other room is only 60 square feet. The single bathroom that we do have is only 28 square feet. It is difficult to maintain a functional home with such limited space. Not being able to build closer to our property line is inhibiting our ability to functionally utilize our space. One side of the addition would share a property line with the Central City Rec Center, which would be no intrusion to them. The other side of the addition would share a property line with the back yard of our neighbor, who is in full support of our endeavors (signed letters of support are attached from our neighbor at 644 S Iverson and our neighbor at 643 S 300 E). This poses no intrusion to our neighbor (644 S Iverson St. listed below on the chart). Ultimately, this addition will not cause any problems with anyone and won't even be visible from the street. We have been advised that our request requires a variance from section 21A.24.130 in an email from Trevor Ovenden dated March 8<sup>th</sup>, 2022. A copy of the email is attached in the documents.

Chart showing size comparisons between our house and houses around us

Address	Total Rooms	Square Footage	# of Bedrooms	# of Bathrooms
649 S 300 E	4	706	2	1
643 S 300 E	This is a quadplex. Details are not listed			
651 S 300 E	6	1714	3	1
644 S Iverson St.	6	1036	3	2
648 S Iverson St.	7	1036	2	1
652 S Iverson St.	10	2380	3	2.5





NOTE:  
WINDOW WELLS TO BE A MIN. OF  
3" ABOVE FINISHED GRADE

NOTE:  
ADD FENCING AND WATER  
RETENTION METHODS TO  
PREVENT DIRT & DEBRIS FROM  
ENTERING STORM DRAINS  
DURING CONSTRUCTION

NOTE:  
ALL STORM WATER AND DIRT WILL BE KEPT ON SITE DURING  
CONSTRUCTION UNTIL FINAL LANDSCAPING IS DONE. GENERAL  
CONTRACTOR WILL BE HELD RESPONSIBLE FOR KEEPING DIRT/  
MUD ON SITE DURING BAD WEATHER AND FOR CLEANING UP  
AFTER SUBCONTRACTORS

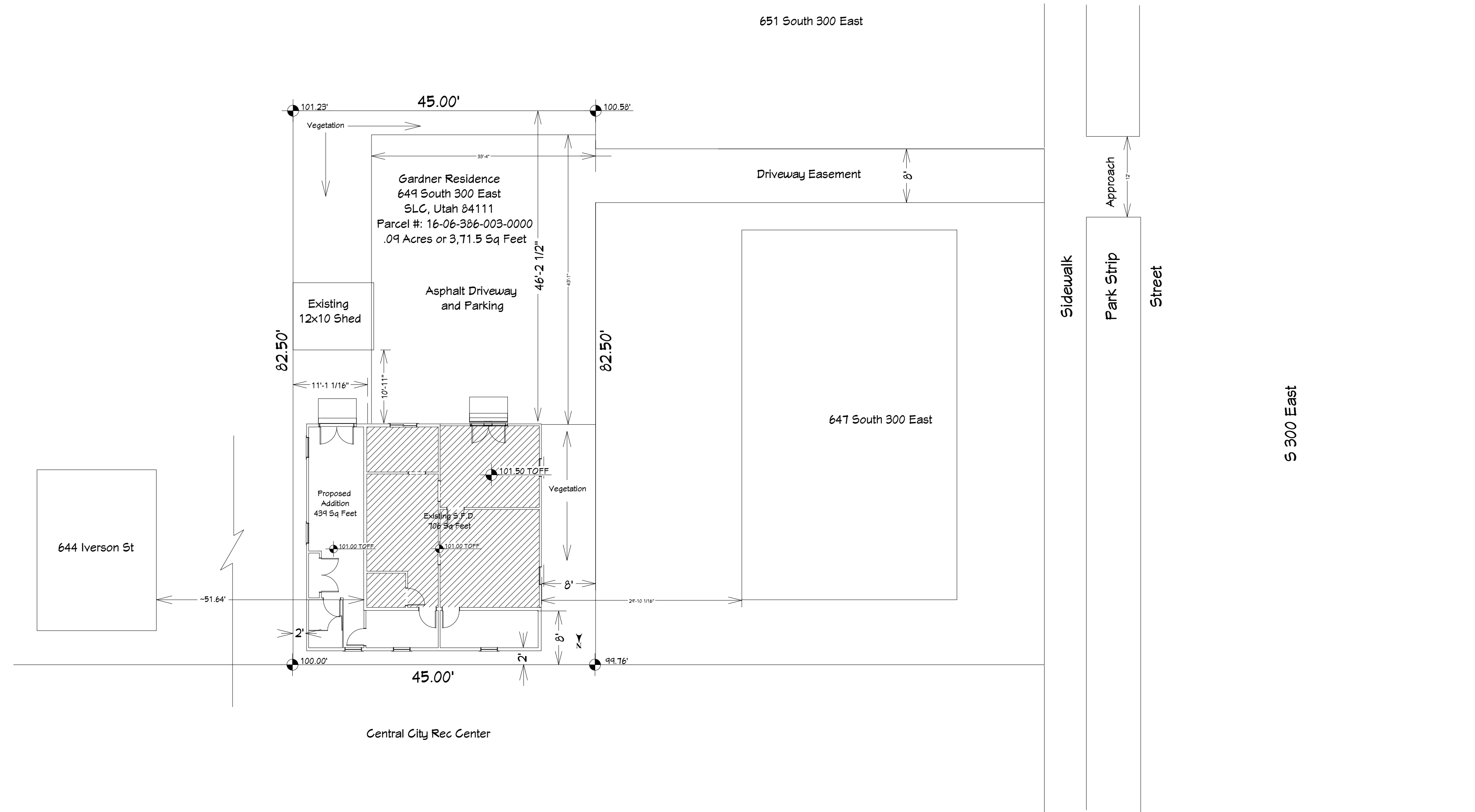
THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A  
MINIMUM OF 6" WITHIN THE FIRST 10 FEET (5%)  
STREET, CURB AND GUTTER WILL BE INSPECTED AND CLEANED  
OF ALL MUD AND DIRT AT THE END OF EVERY DAY  
GRAVEL BAGS TO BE PLACED AND MAINTAINED AROUND ANY  
STORM DRAIN INLET ADJACENT TO OR IMMEDIATELY  
DOWNSTREAM FROM SITE DURING CONSTRUCTION  
SILT FENCES OR BERMS ARE REQUIRED ALONG PROPERTY LINES  
TO PREVENT STORM WATER FLOW ONTO ADJACENT LOTS  
ADD EXTERNAL ACCESSIBLE INTERSYSTEM BONDING TERMINAL  
FOR THE GROUNDING AND BONDING OF COMMUNICATIONS  
SYSTEMS. THIS IS A GROUNDING BUS ON THE OUTSIDE OF THE  
ELECTRICAL SERVICE, NOT A UFER  
A LINED CONCRETE WASHOUT AREA MUST BE PROVIDED AT THE  
SITE FOR ALL CONCRETE WORK. WASHOUT INTO FOUNDATION OR  
ON THE GROUND IS PROHIBITED

CONTRACTOR SHALL VERIFY ALL  
CONDITIONS AND DIMENSIONS AT THE  
JOB SITE AND NOTIFY THE ARCHITECT OF  
ANY DIMENSIONAL ERRORS, OMISSIONS  
OR DISCREPANCIES BEFORE BEGINNING  
OR FABRICATING ANY WORK.

HOMEOWNER WILL TAKE NECESSARY  
PRECAUTIONS TO REMOVE OR  
RELOCATE ITEMS OF VALUE TO BE  
REUSED AND/ OR SAVED, OR IN ANY  
DANGER OF BEING DAMAGED DUE TO  
CONSTRUCTION PROCESS.

Site Plan

Scale: 1" = 10'



ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

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Keynotes

PROJECT  
George & Rylee Gardner  
649 South 300 East  
Salt Lake City, Utah



DESIGNER  
KELLY  
ANDERSON  
2825 EAST  
COTTONWOOD  
PARKWAY  
SUITE 500  
SALT LAKE CITY  
UTAH  
84121  
801-416-3131

SQUARE  
FOOTAGE

MAIN FLOOR:  
~662 Sq Ft  
ADDITION:  
~293 Sq Ft

DATE:  
07/26/2023

SHEET:

A1

**FOUNDATION NOTES:**

SLOPE CRAWL SPACE TO DRAIN. MAXIMUM SLOPE IS 2 HORIZ., 1 VERT. BETWEEN FOOTINGS AT DIFFERENT ELEVATIONS.

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.

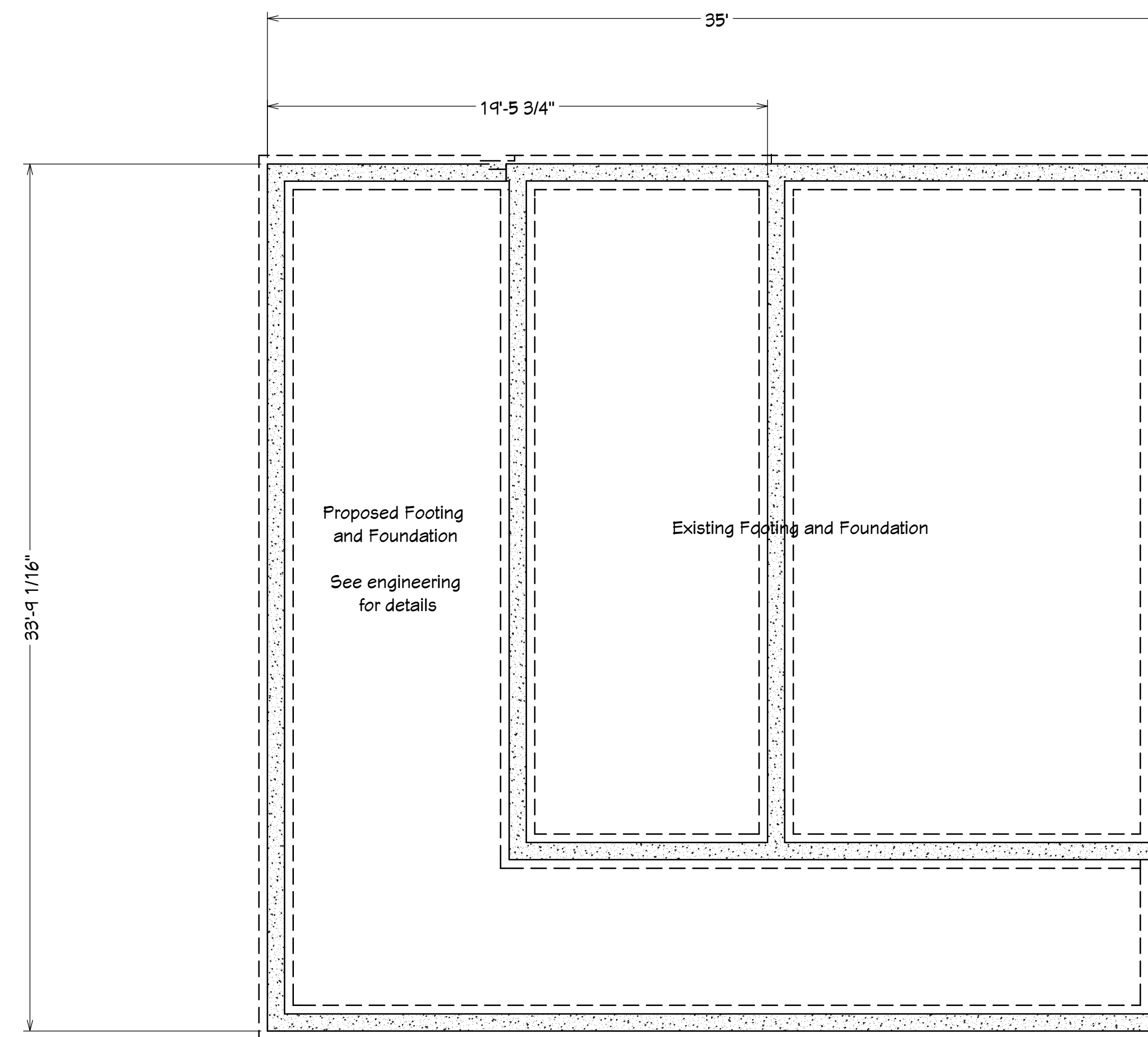
CONCRETE STRENGTH,  
3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI).  
3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION.  
MAXIMUM SLUMP, 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE

CONCRETE EXPASION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- \* JOINTS AROUND WINDOW AND DOOR FRAMES
- \* JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- \* JOINTS BETWEEN WALL AND FOUNDATION
- \* JOINTS BETWEEN WALL AND ROOF
- \* JOINTS BETWEEN WALL PANELS
- \* UTILITY PENETRATIONS THROUGH EXTERIOR WALLS



Foundation

**Foundation Plan & Basement Floor Plan**

Scale: 1/4" = 1'

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

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Keynotes

PROJECT  
George & Rylee Gardner  
649 South 300 East  
Salt Lake City, Utah

Ironwood  
CUSTOM BUILDERS, INC.

DESIGNER  
KELLY  
ANDERSON  
2825 EAST  
COTTONWOOD  
PARKWAY  
SUITE 500  
SALT LAKE CITY  
UTAH  
84121  
801-416-3131

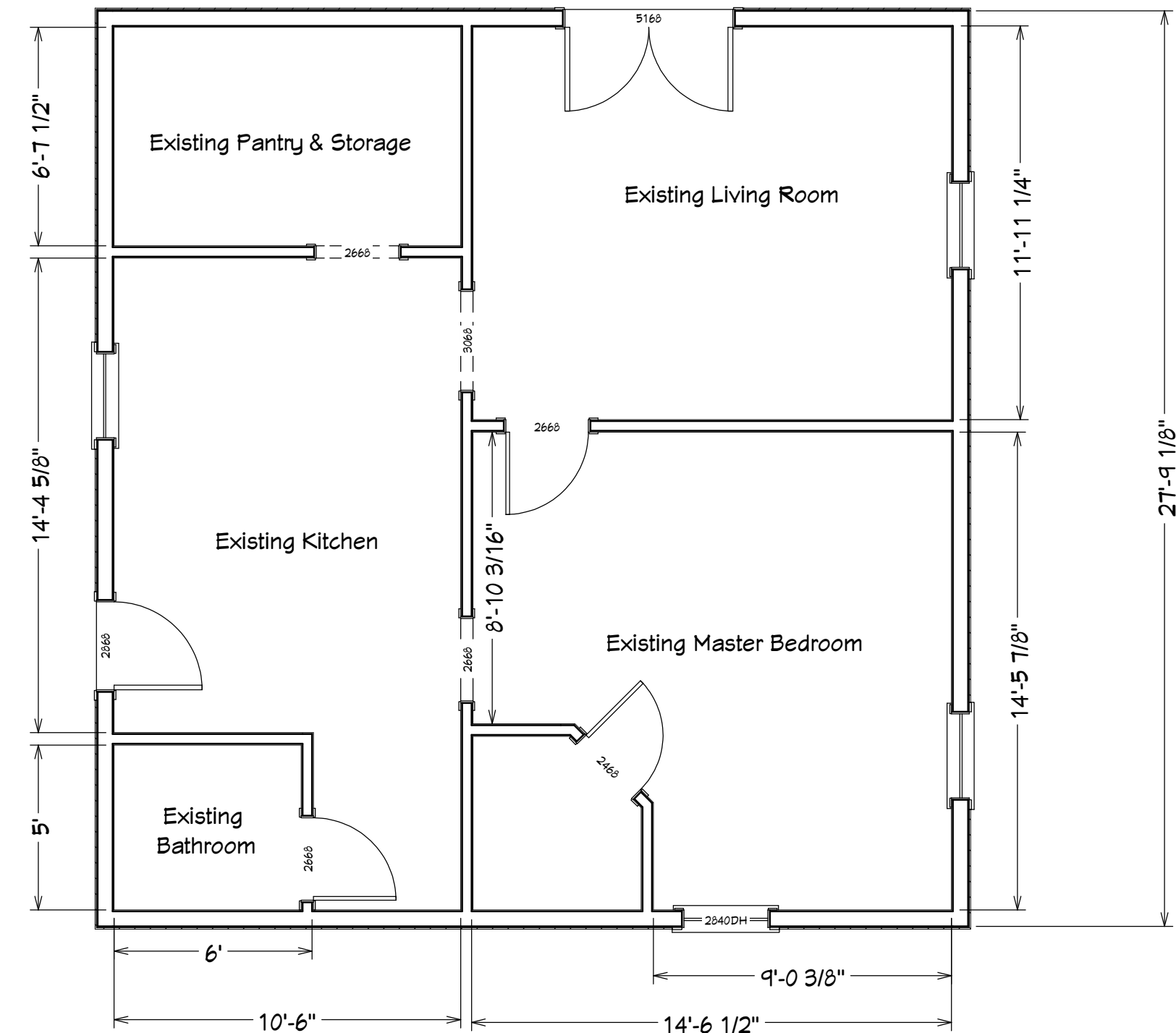
SQUARE  
FOOTAGE

MAIN FLOOR:  
~662 Sq Ft  
ADDITION:  
~293 Sq Ft

DATE:  
07/26/2023

SHEET:

A2



HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/ OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.

Existing Floor Plans & Demolition Plans

Scale: 1/4" = 1'

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

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PROJECT  
George & Rylee Gardner  
649 South 300 East  
Salt Lake City, Utah



DESIGNER  
KELLY ANDERSON  
2825 EAST COTTONWOOD PARKWAY SUITE 500 SALT LAKE CITY UTAH 84121 801-416-3131

SQUARE FOOTAGE  
MAIN FLOOR: ~682 Sq Ft  
ADDITION: ~293 Sq Ft

DATE: 07/26/2023  
SHEET: A3

**CARPENTRY:**

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HJ OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS, OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

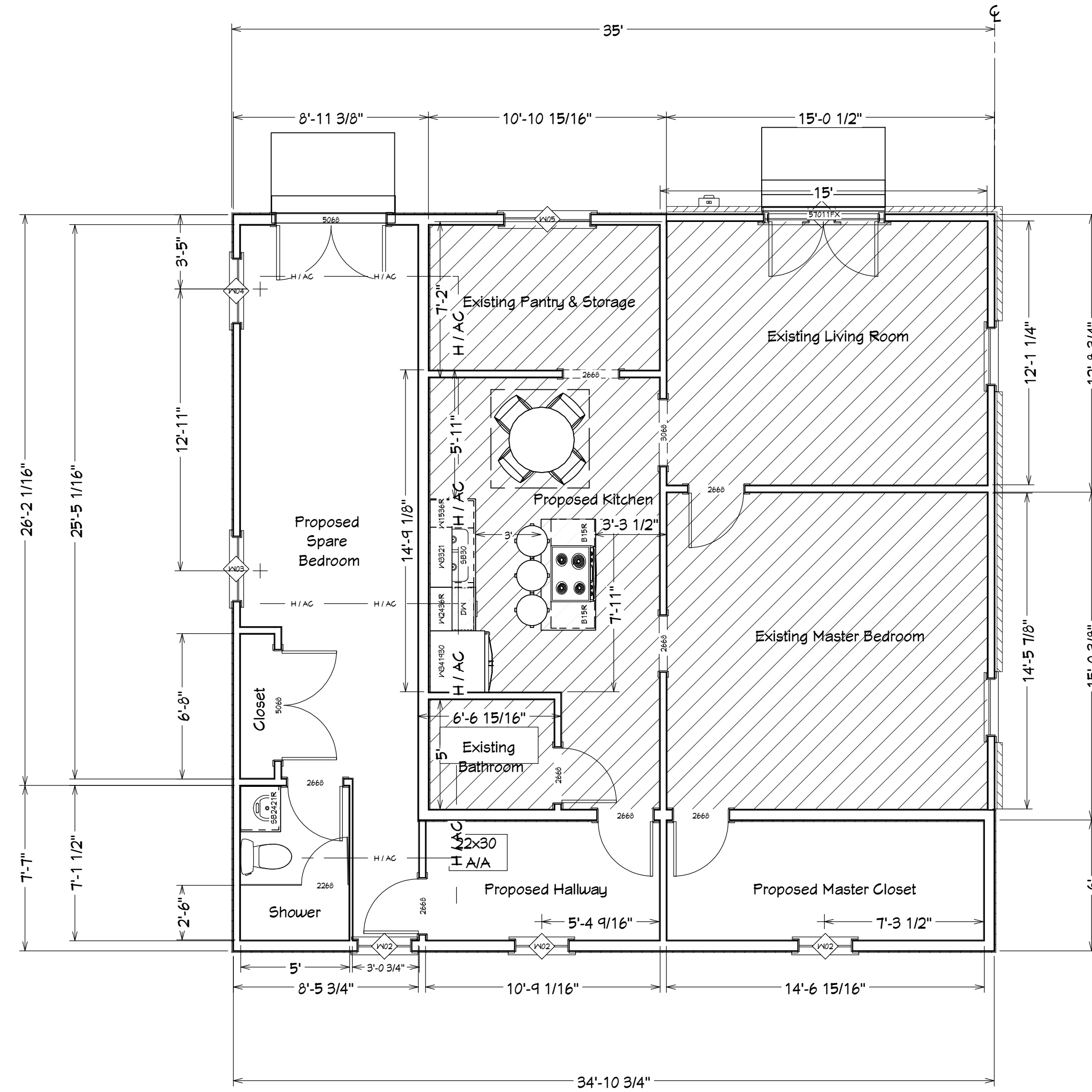
ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(1).

GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 117. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON EG. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW.

DEPTH	COMBINATION SYMBOL	SPECIES	USE
ALL	24F - V4	DF/DF	(SIMPLE SPAN)
ALL	24F - V8	DF/DF	(CONT. OR CANTILEVER)

PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE JOIST MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE ARCHITECT/ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.

- LUMBER SPECIES:
- A. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
  - B. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER
  - C. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
  - D. ALL STUDS TO BE DF#2 OR BETTER.
  - E. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:  
 ROOF SHEATHING SHALL BE 1/2" CDX INT-APA RATED 32/16.  
 WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.  
 FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.
  - F. "1" JOISTS SHALL BE MANUFACTURED BY TRUS JOIST OR ENGINEER APPROVED EQUAL.
  - G. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.



1st Floor

WINDOW SCHEDULE							
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	SIZE	EGRESS	DESCRIPTION
	W01	1325FX	1	1	1325FX		FIXED GLASS-AT
	W02	26405H	3	1	26405H		SINGLE HUNG
	W03	30405H	1	1	30405H		SINGLE HUNG
	W04	30405H	1	1	30405H	YES	SINGLE HUNG
	W05	4030LS	1	1	4030LS		LEFT SLIDING

**Main Floor Plan**

Scale: 1/4" = 1'

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Keynotes

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 Salt Lake City, Utah



DESIGNER  
 KELLY ANDERSON  
 2825 EAST COTTONWOOD PARKWAY SUITE 500 SALT LAKE CITY UTAH 84121 801-416-3131

SQUARE FOOTAGE

MAIN FLOOR: ~682 Sq Ft  
 ADDITION: ~293 Sq Ft

DATE: 07/26/2023

SHEET:

**A4**

PROJECT  
George & Rylee Gardner  
649 South 300 East  
Salt Lake City, Utah

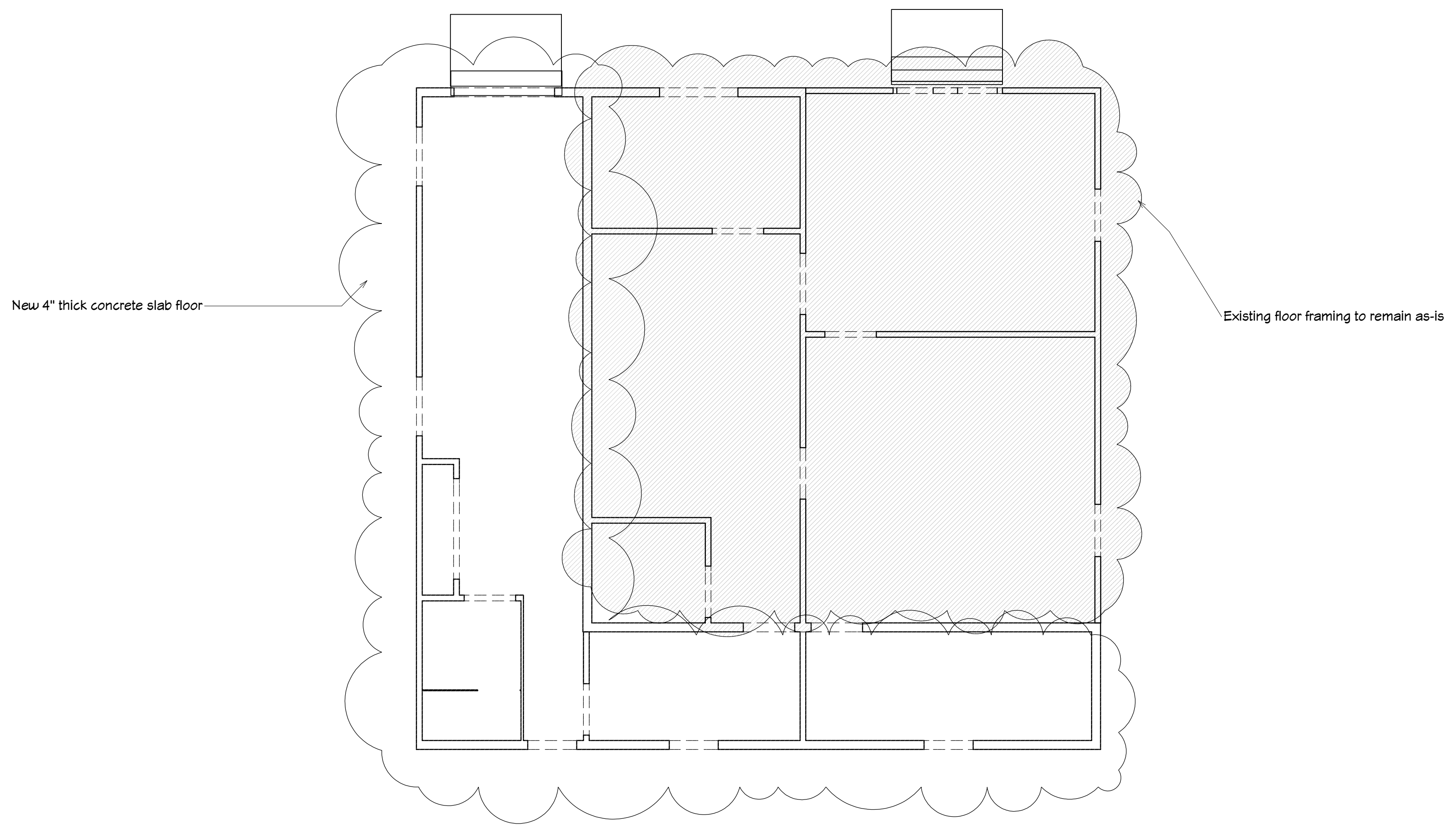


DESIGNER  
KELLY  
ANDERSON  
2825 EAST  
COTTONWOOD  
PARKWAY  
SUITE 500  
SALT LAKE CITY  
UTAH  
84121  
801-416-3131

SQUARE  
FOOTAGE  
MAIN FLOOR:  
~662 Sq Ft  
ADDITION:  
~293 Sq Ft

DATE:  
07/26/2023

SHEET:  
**A5**



Floor Framing Plan

Scale: 1/4" = 1'

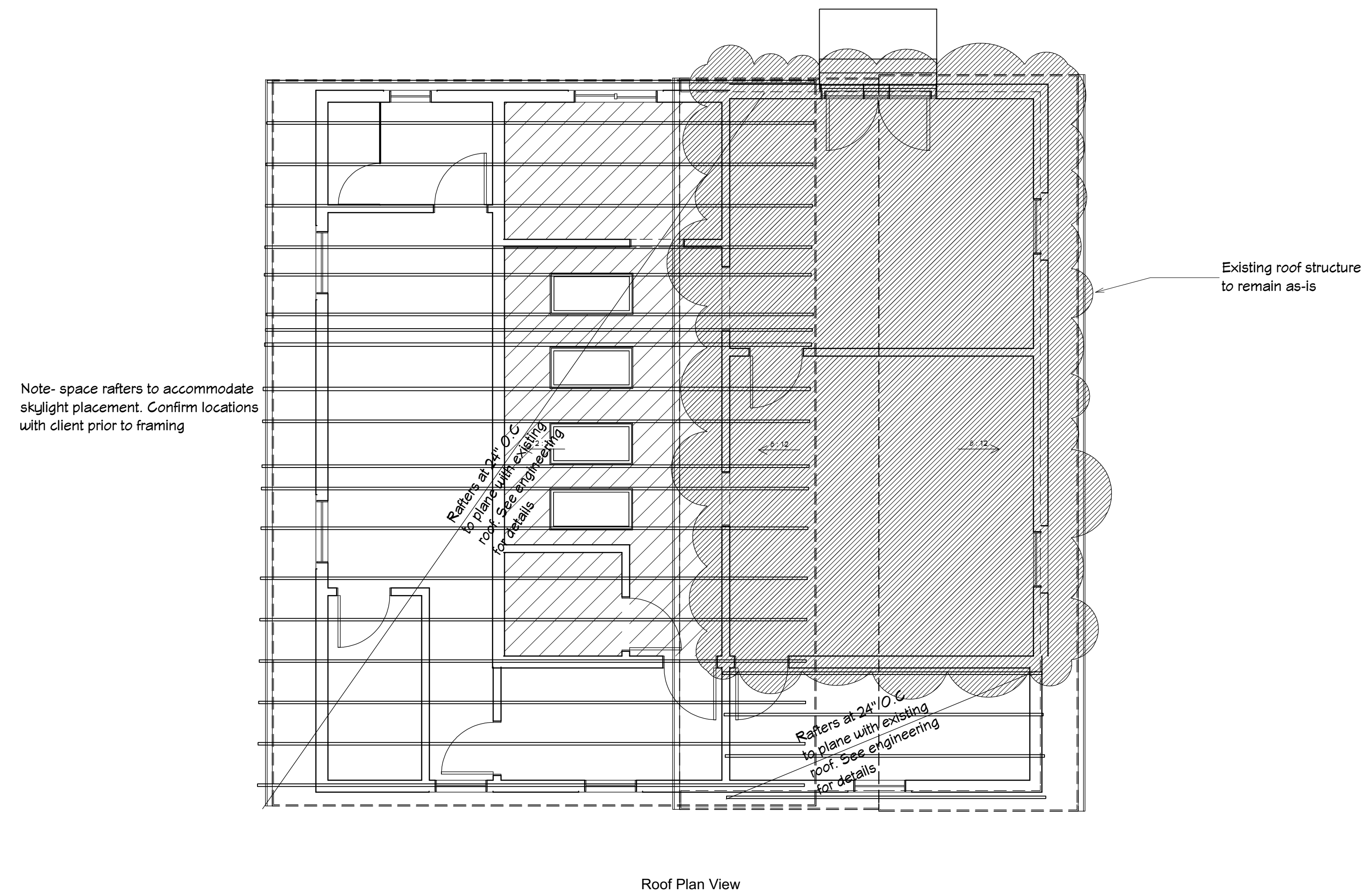
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**TRUSS NOTES**

1. Attic Ventilation= area/300
2. All trusses shall carry manufacturer's stamp
3. All trusses shall be installed and braced to manufacturer's specifications
4. All trusses will not be field altered without prior building department approval of engineering calculations
5. All trusses shall have design details and drawings on site for framing inspection
6. Non bearing walls should be held down from from truss bottom chord to insure that the bottom chord will not bear on the wall
7. All connections of rafters, jack or hip trusses, to main girder to be provided by truss manufacturer
8. All roof framing 24" o.c UNO on truss specs

**Keynotes**



Roof Plan View

**Roof Planes & Roof Framing Plan**

Scale: 1/4" = 1'

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PROJECT  
George & Rylee Gardner  
649 South 300 East  
Salt Lake City, Utah

Ironwood  
CUSTOM BUILDERS, INC.

DESIGNER  
KELLY  
ANDERSON  
2825 EAST  
COTTONWOOD  
PARKWAY  
SUITE 500  
SALT LAKE CITY  
UTAH  
84121  
801-416-3131

SQUARE  
FOOTAGE

MAIN FLOOR:  
~662 Sq Ft  
ADDITION:  
~293 Sq Ft

DATE:  
07/26/2023

SHEET:

**A6**



**ELECTRICAL -**

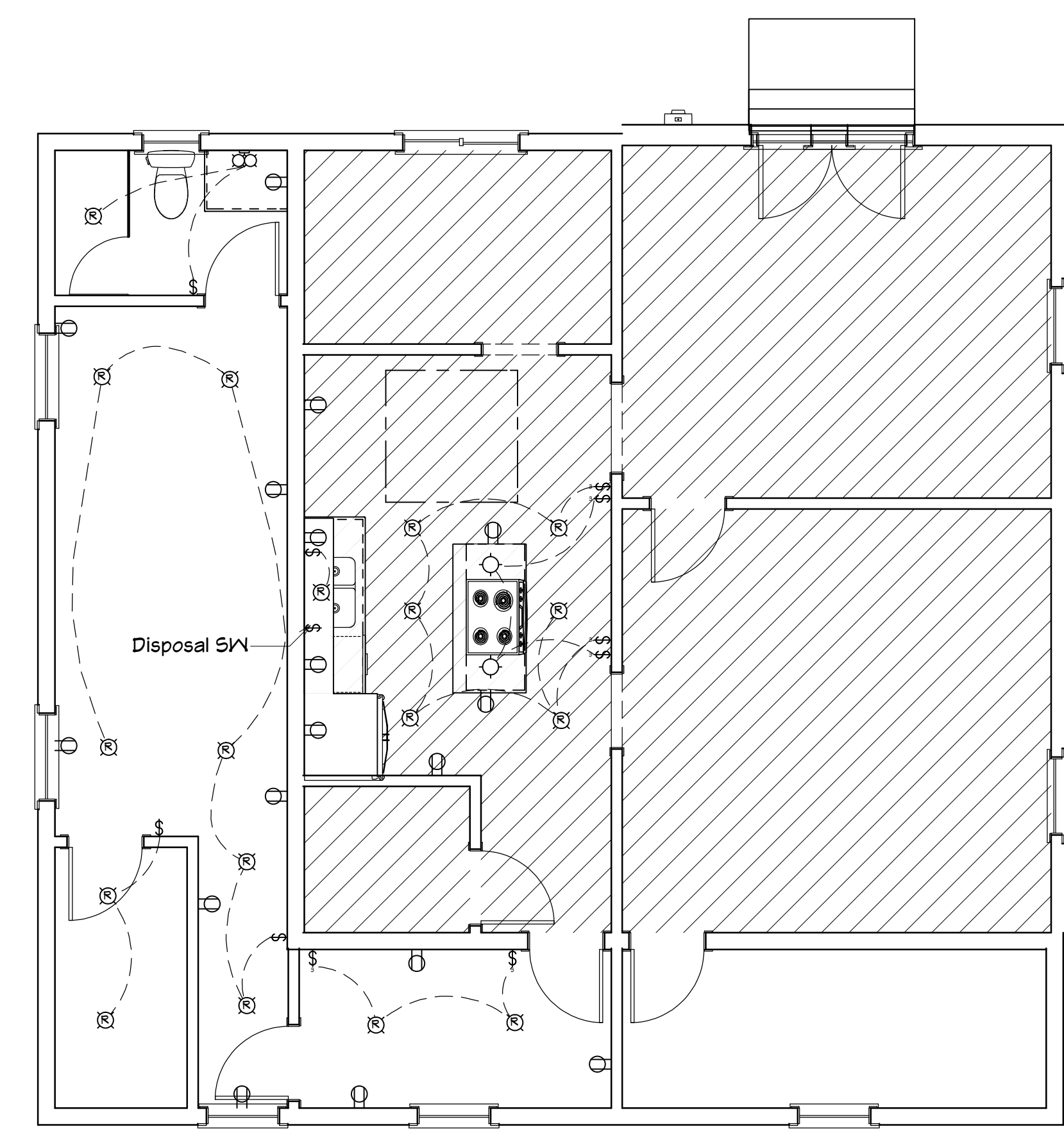
1. **Required Outlets:**( IRC E3801 & NEC 210.52)
  - a. **Wall spaces** 2' or more wide so that any point is not more than 6' from a receptacle measured along the floor line.
  - b. **Wall counter spaces** 12" or wider shall have outlets spaced so that no point along the wall is more than 24" from an outlet.
  - c. **Peninsular and Island counter spaces** with a long dimension of 24" or greater shall have at least one receptacle.
  - Note - receptacles shall not be installed under countertop which extend more than 6" beyond their base.*
  - d. **Bathrooms**, at least one receptacle outlet shall be installed within 36" of the outside edge of each
  - e. **Outdoor**, at least one receptacle outlet shall be installed in the front and back of a dwelling, not more than 6.5' above grade
  - f. **Laundry**, at least one receptacle outlet required
  - g. **Hallways**, at least one receptacle outlet required in hallways of 10' or more in length.
  - h. **Basements & Garages**, at least one receptacle outlet required

**2. Required 20 amp Branch Circuits: (IRC E3603 & NEC 210.11)**

- a. Kitchen, dining room, pantry, breakfast room, or similar areas shall be served by at least 2 - 20 amp small appliance branch circuits.
  - b. Bathroom receptacles shall be served by a dedicated 20 amp circuit
  - c. Laundry areas
3. **Mechanical equipment:** a service outlet within 25' of any mechanical equipment. IRC E3801.11 & NEC 210.63
4. **GFCI protection:** shall be provided for all receptacle outlets on kitchen countertops, in bathrooms, garages, outdoors, within 6' of laundry, utility or wet bar, and in unfinished basements. IRC E3802 NEC 210.8A.
5. **AFCI protection:** required for all circuits serving bedrooms. IRC E3802.12 NEC 210.12B

6. **Electrical Panels:** fuse boxes, switchgear, and similar equipment will be provided with adequate working space. (min. 30" wide, 36" deep, and 78" high) IRC E3305.2 NEC 110.26
7. **Smoke Detectors:** required in all bedrooms, at all hallways leading to bedrooms, and at each floor level including basements. Smoke Detectors shall be hard wired together in series with battery back up. IRC R313
8. **Carbon Monoxide Detectors/Alarms:** required on every habitable level of a residence that contains a fuel burning appliance. SA – R313.2
9. **Alterations, repairs, and additions:** Interior repairs or alterations requiring a permit occur, the dwelling shall be provided with smoke alarms located as required for new dwellings. In existing construction, battery type alarms may be provided when hard wiring and interconnection is not feasible. SA-R313.5

10. **Lights in Closets:** min 12" clearance between incandescent fixture and storage space or 6" clearance between fluorescent fixture and storage space. IRC E3903.11 NEC 410.8
11. **Temporary Wiring:** shall conform to NEC Article 590
12. **Nail Plates:** (shield Plates) shall be installed to protect concealed wiring inside of framing members, where the bored hole is closer than 1-1/4" to the nearest edge of the framing member or the framing member is notched, a steel plate not less than 1/16" thick and appropriate length and width shall be installed to cover the area of the wiring. IRC TABLE E3702.1 NEC 300.4 (A)(1) & (2)
13. **Smoke and Carbon Alarms:** Install smoke and carbon alarms per IRC R314 and R315



Electrical Plan View

Note- not all symbols will be used

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

**Main Floor Electrical Plan**

Scale: 1/4" = 1'

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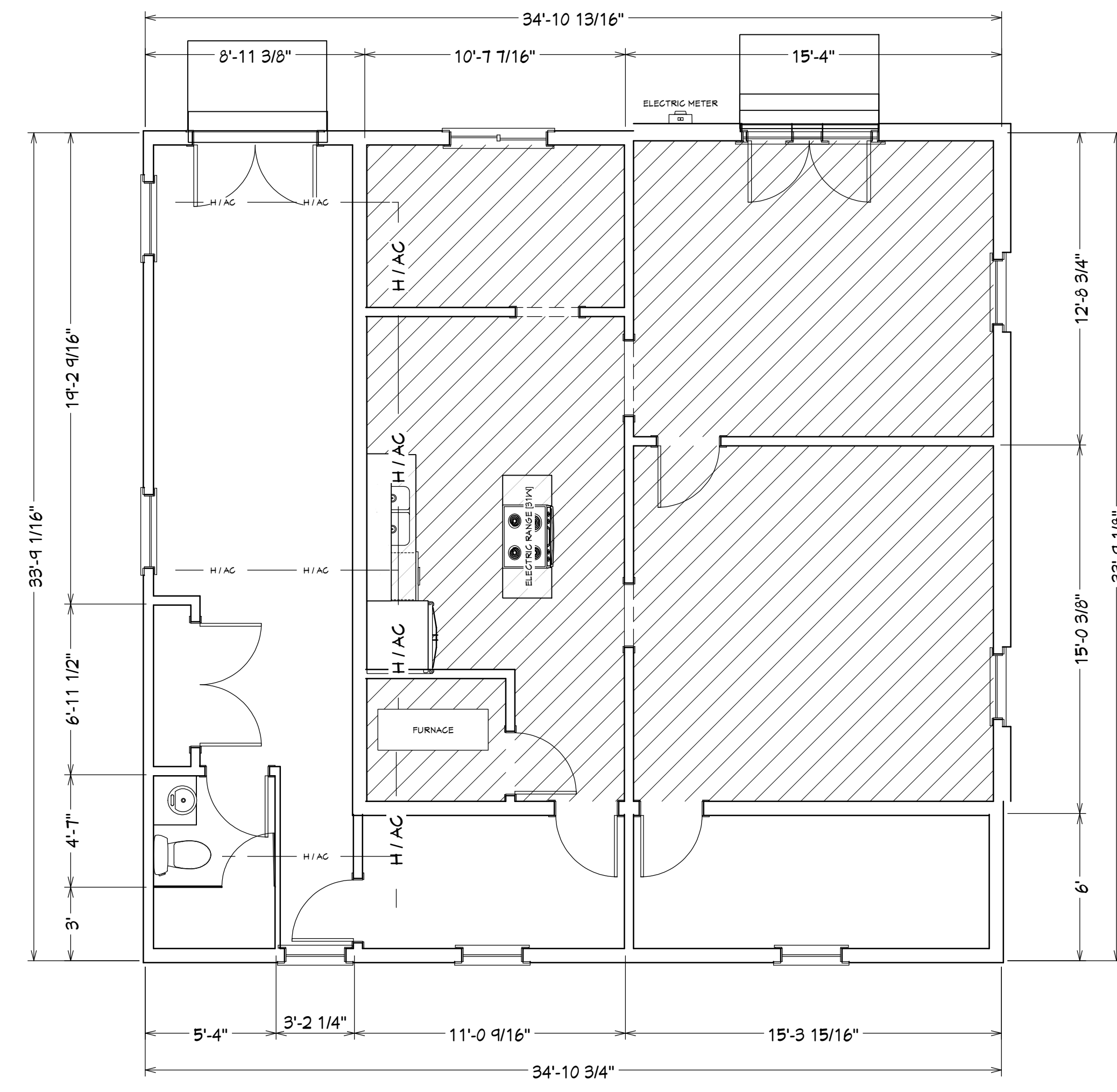
PROJECT  
George & Rylee Gardner  
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Salt Lake City, Utah

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CUSTOM BUILDERS, INC.

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~293 Sq Ft

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07/26/2023  
SHEET:  
**A7**



Both main and upper floor ducts shown.  
 Layout is for illustration only.  
 Supply and returns will only be run in finished areas of basement. Actual site conditions may vary.  
 Layout of supply air and return air shall be left to the discretion of the installers who will lay out duct per the Manual J & D, building code, and accepted industry standard

**Main Floor HVAC Plan**

Scale:

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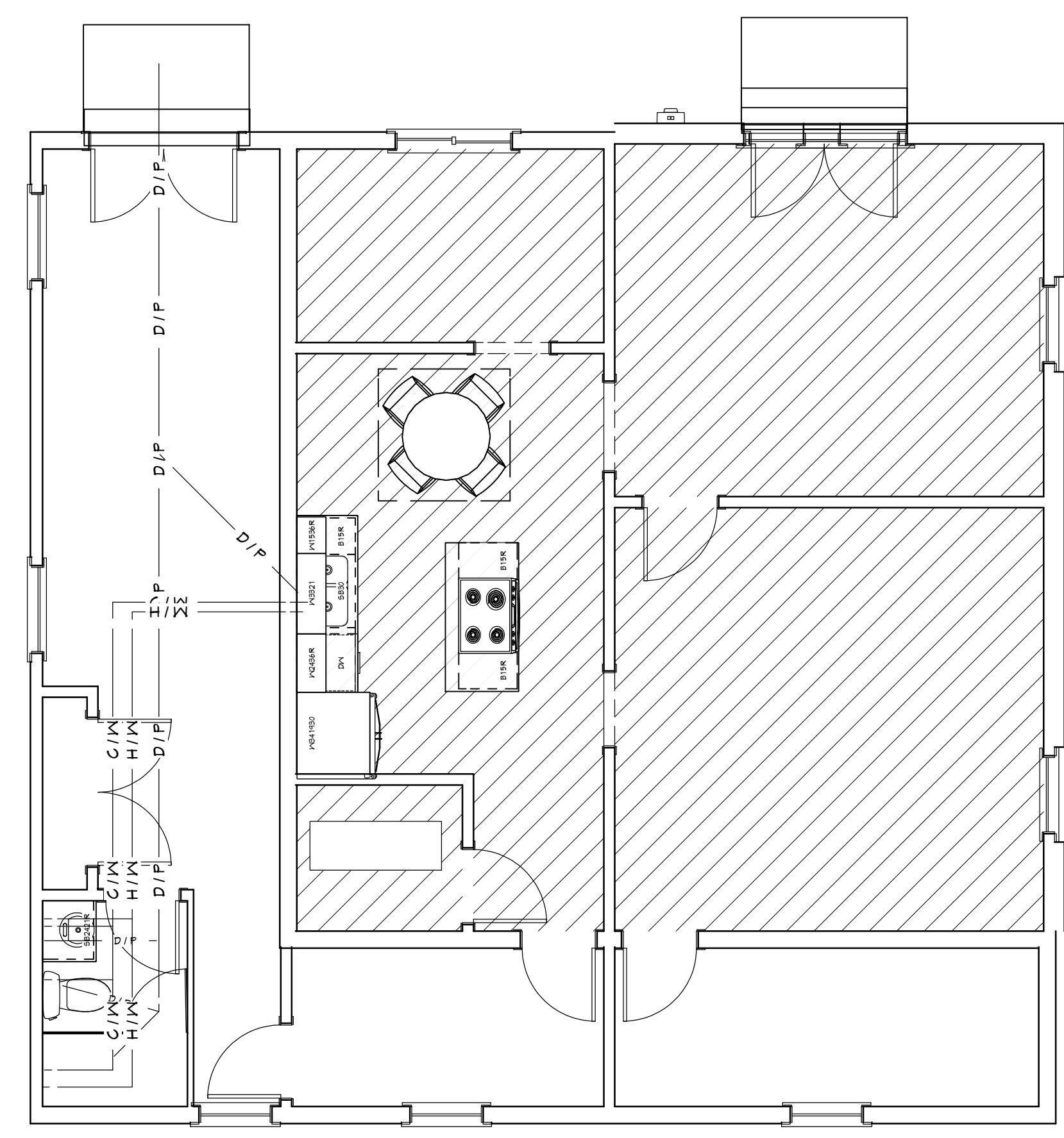
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 2825 EAST COTTONWOOD PARKWAY  
 SUITE 500  
 SALT LAKE CITY UTAH 84121  
 801-416-3131

SQUARE FOOTAGE  
 MAIN FLOOR: ~682 Sq Ft  
 ADDITION: ~293 Sq Ft

DATE:  
 07/26/2023  
 SHEET:  
**A8**



Note: Actual site conditions may vary which may require the actual layout of drains and supply lines to differ from what is shown herein.

Hose Bib	⊕ <sub>HB</sub>
ABS Drain Pipe	— D/P —
Cold Water Supply	— C/W —
Hot Water Supply	— H/W —
Floor Drain	⊙

Main Floor Plumbing Plan

Scale:

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FOOTAGE

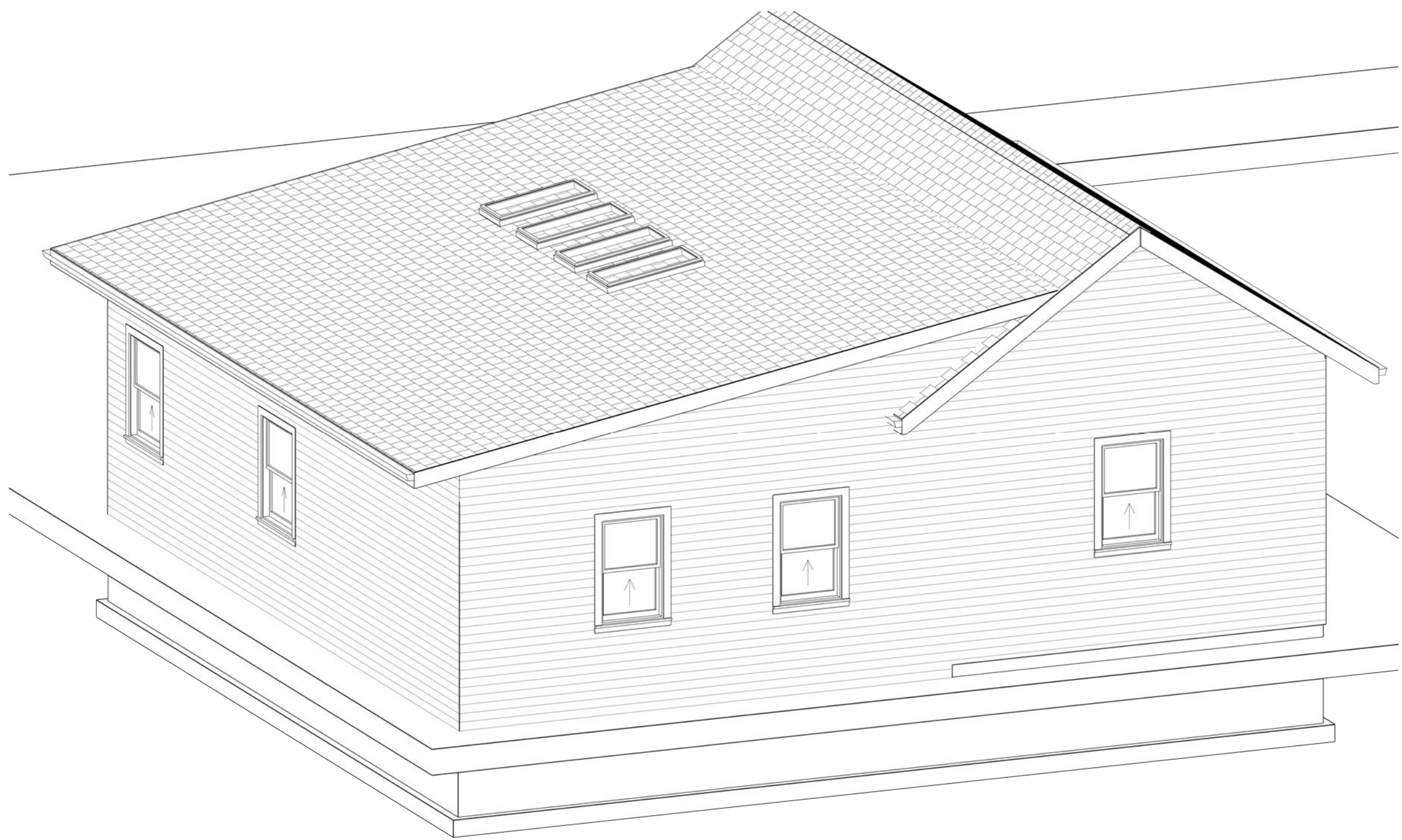
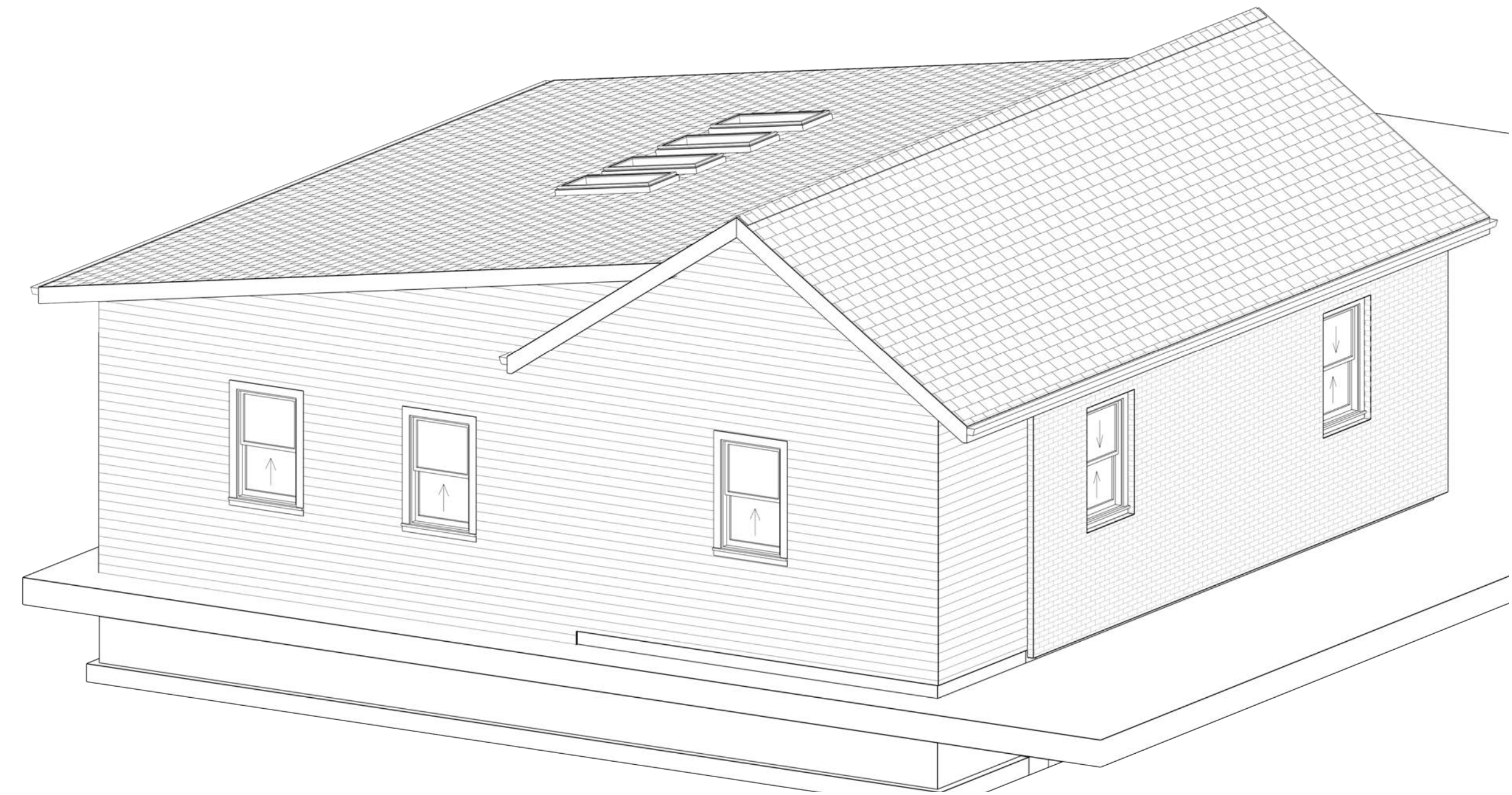
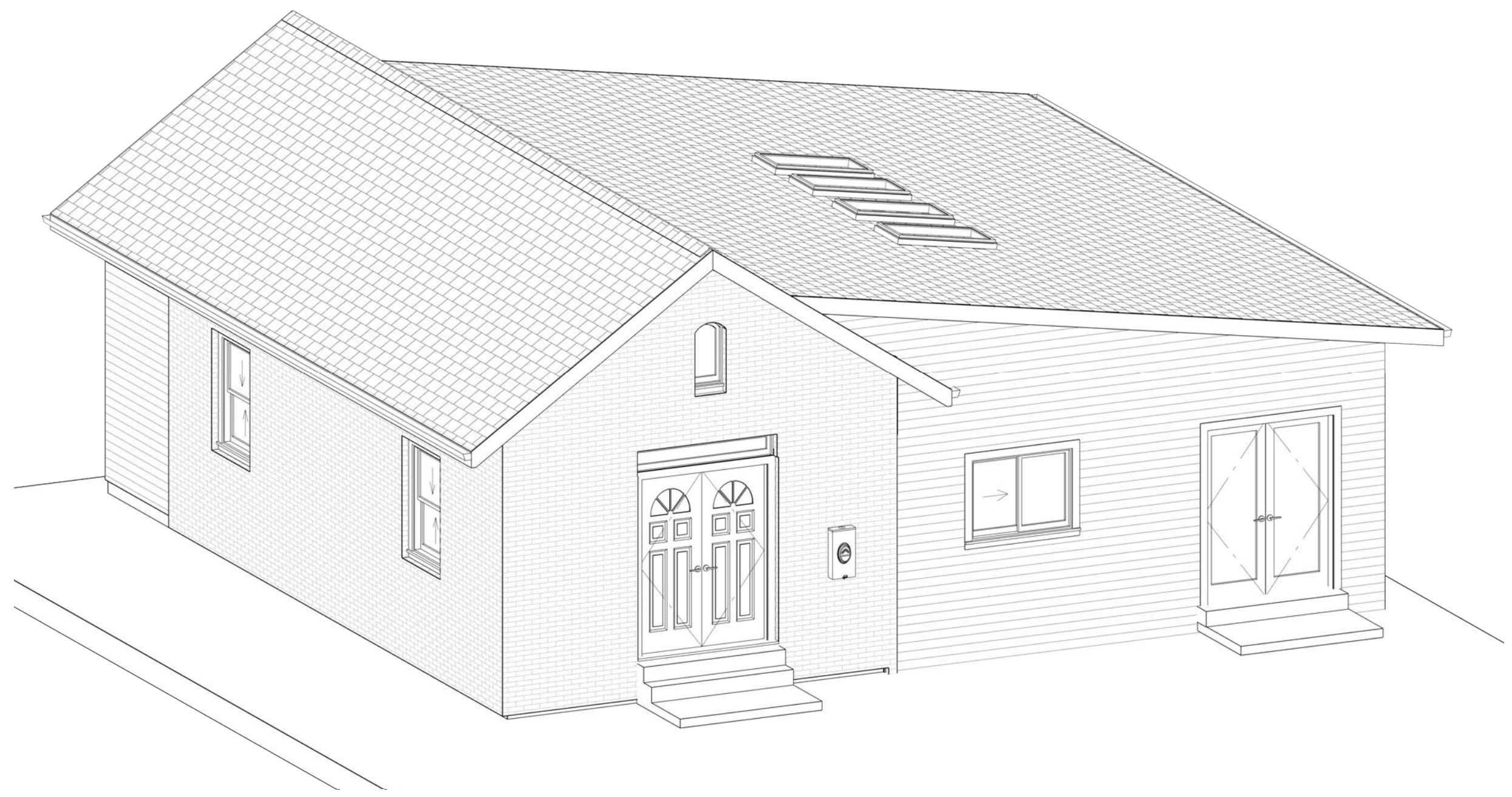
MAIN FLOOR:  
~662 Sq Ft

ADDITION:  
~293 Sq Ft

DATE:  
07/26/2023

SHEET:

**A9**



3D Exterior Elevations

Scale: 1/4" = 1'

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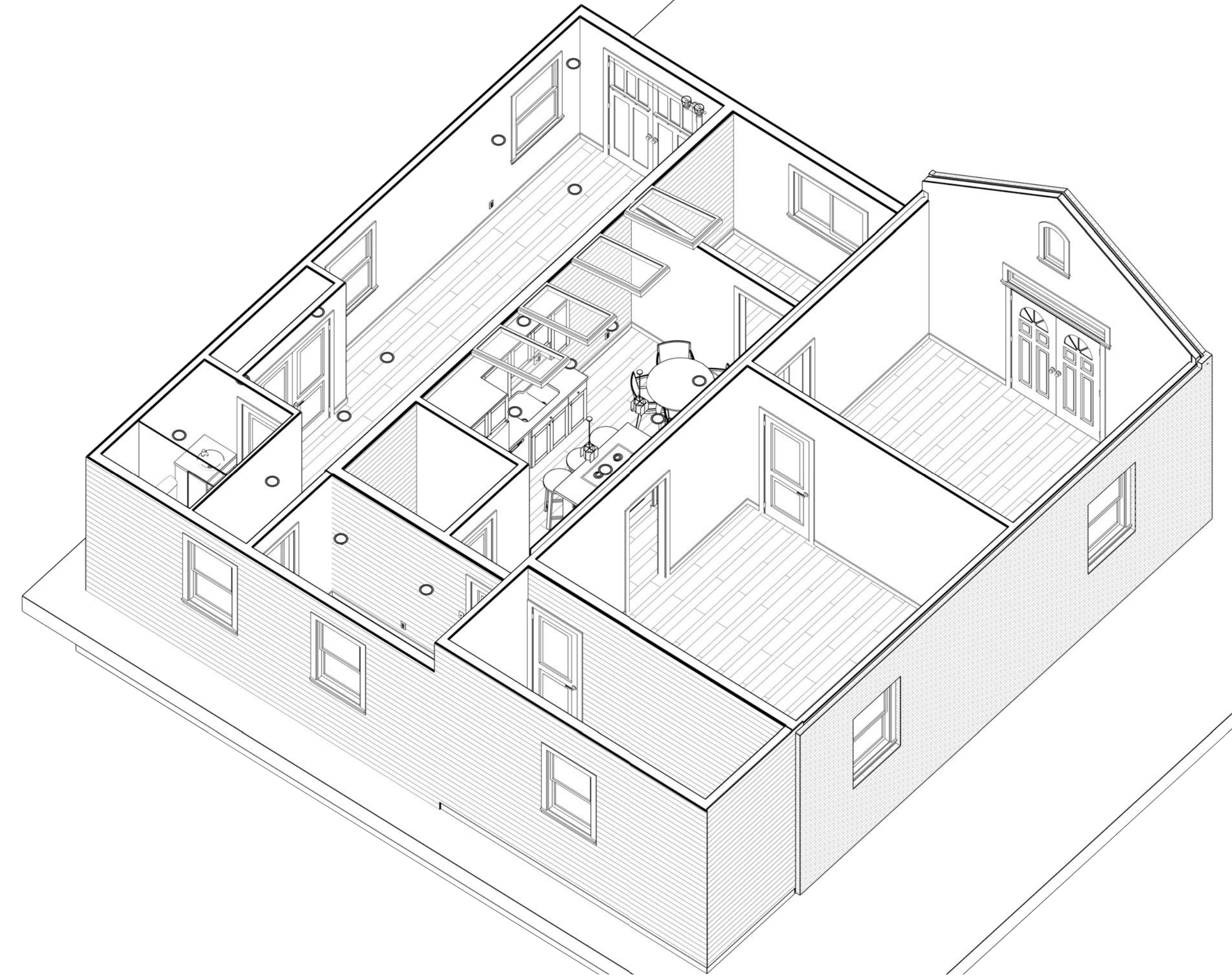
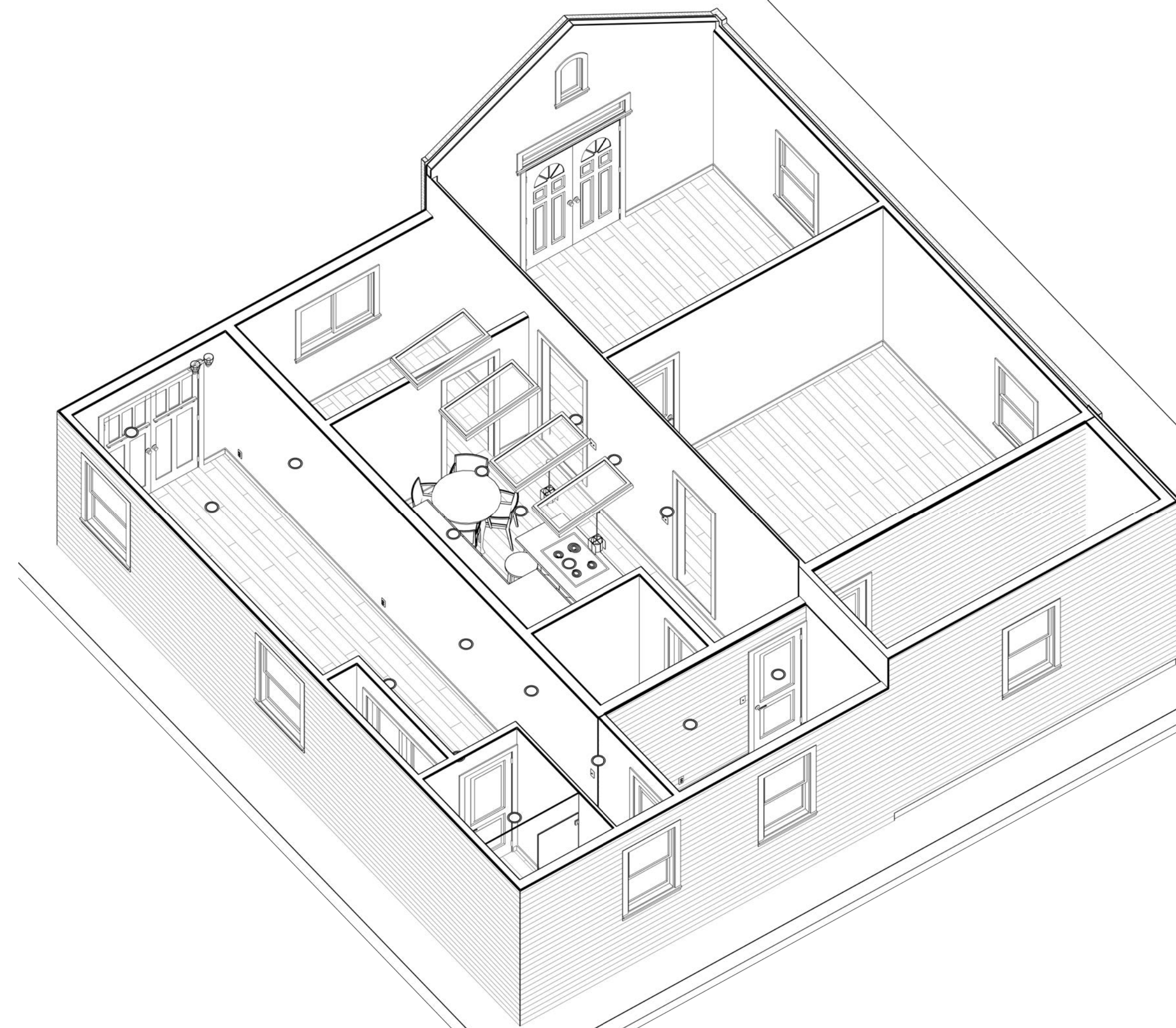
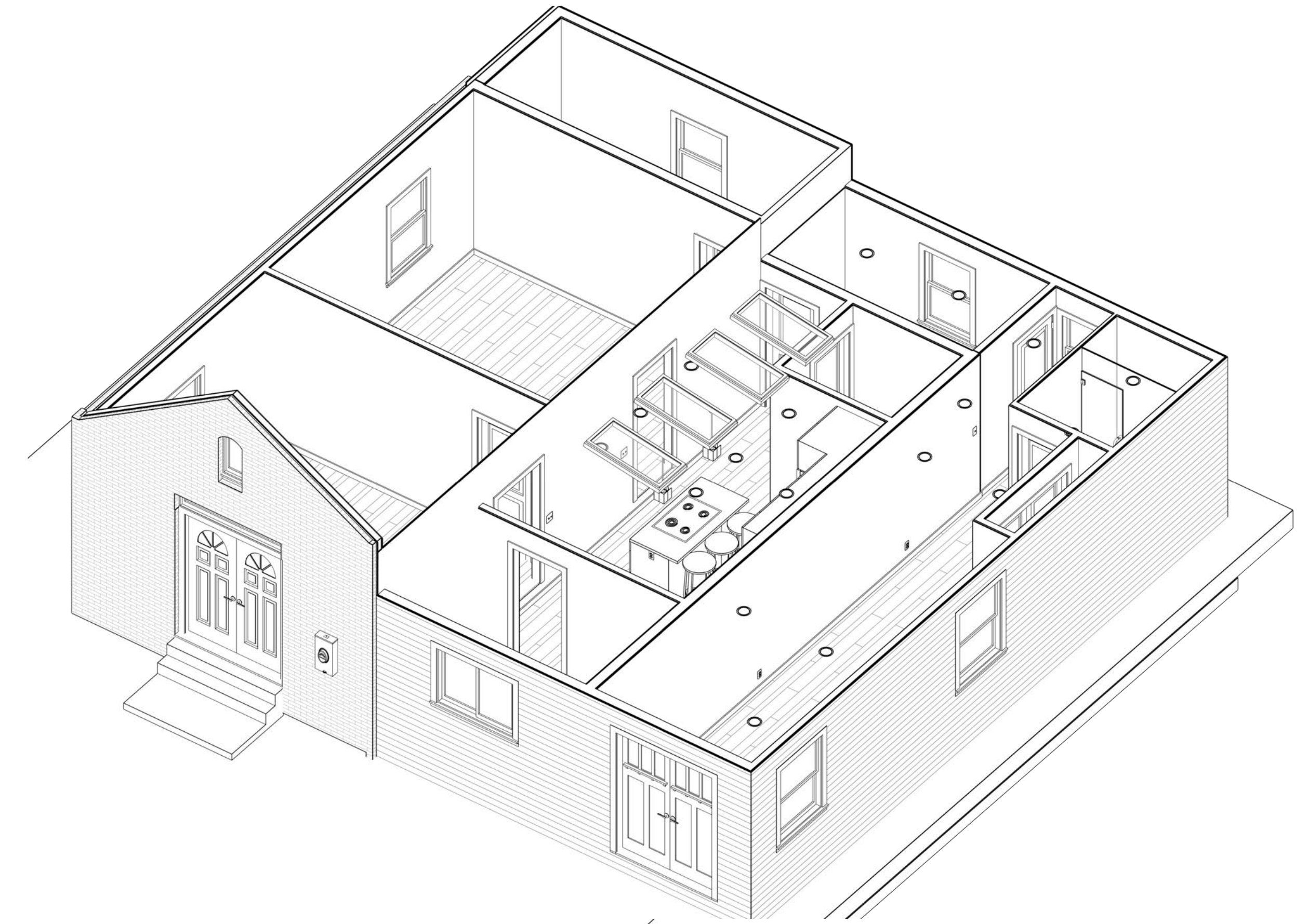


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ANDERSON  
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COTTONWOOD  
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SUITE 800  
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UTAH  
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801-416-3131

SQUARE  
FOOTAGE  
MAIN FLOOR:  
~682 Sq Ft  
ADDITION:  
~293 Sq Ft

DATE:  
07/26/2023

SHEET:  
**A10**



3D Interior Elevations

Scale: 1/4" = 1'

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC <sup>Camera 3</sup>

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Keynotes

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SQUARE  
FOOTAGE

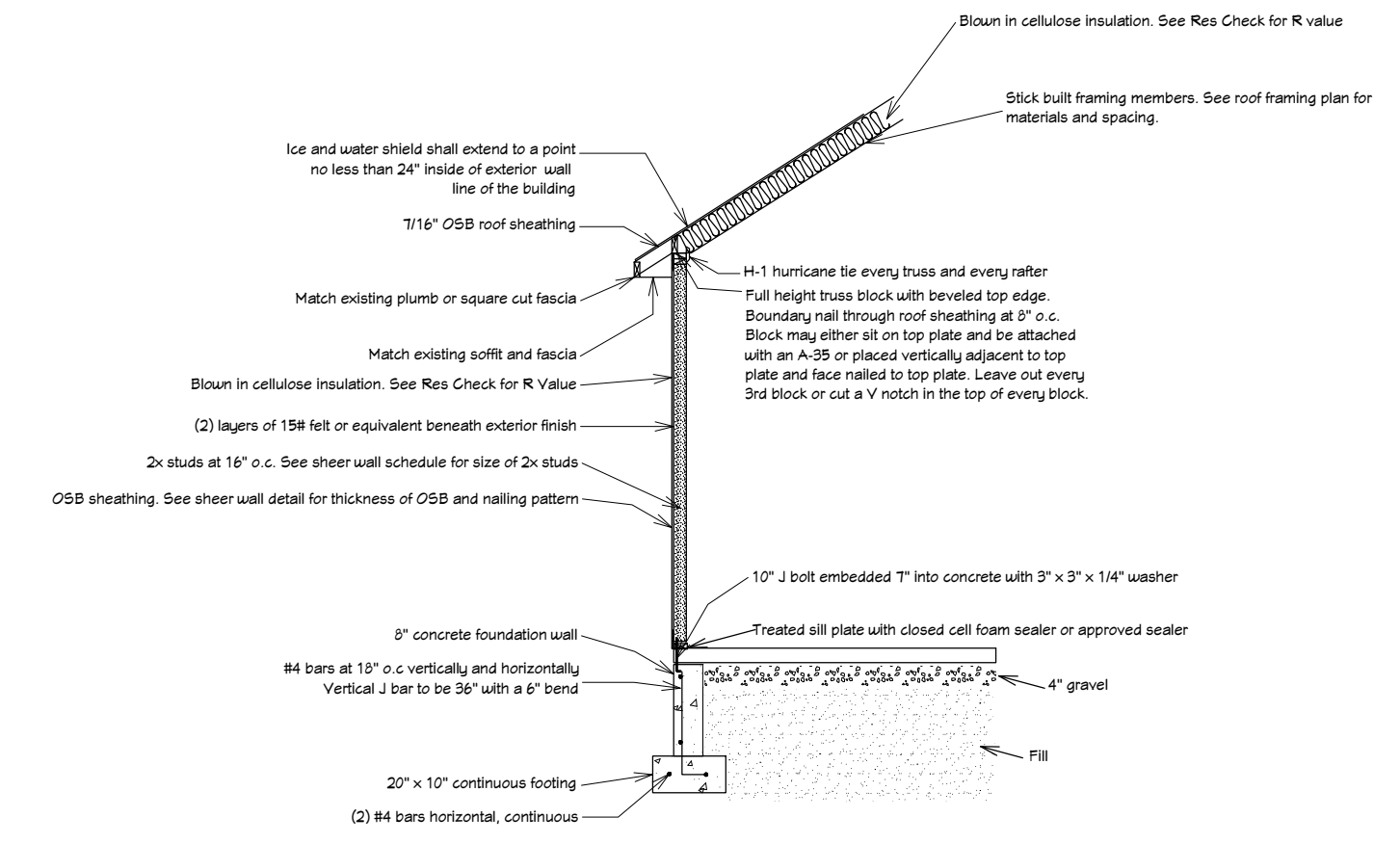
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~682 Sq Ft

ADDITION:  
~293 Sq Ft

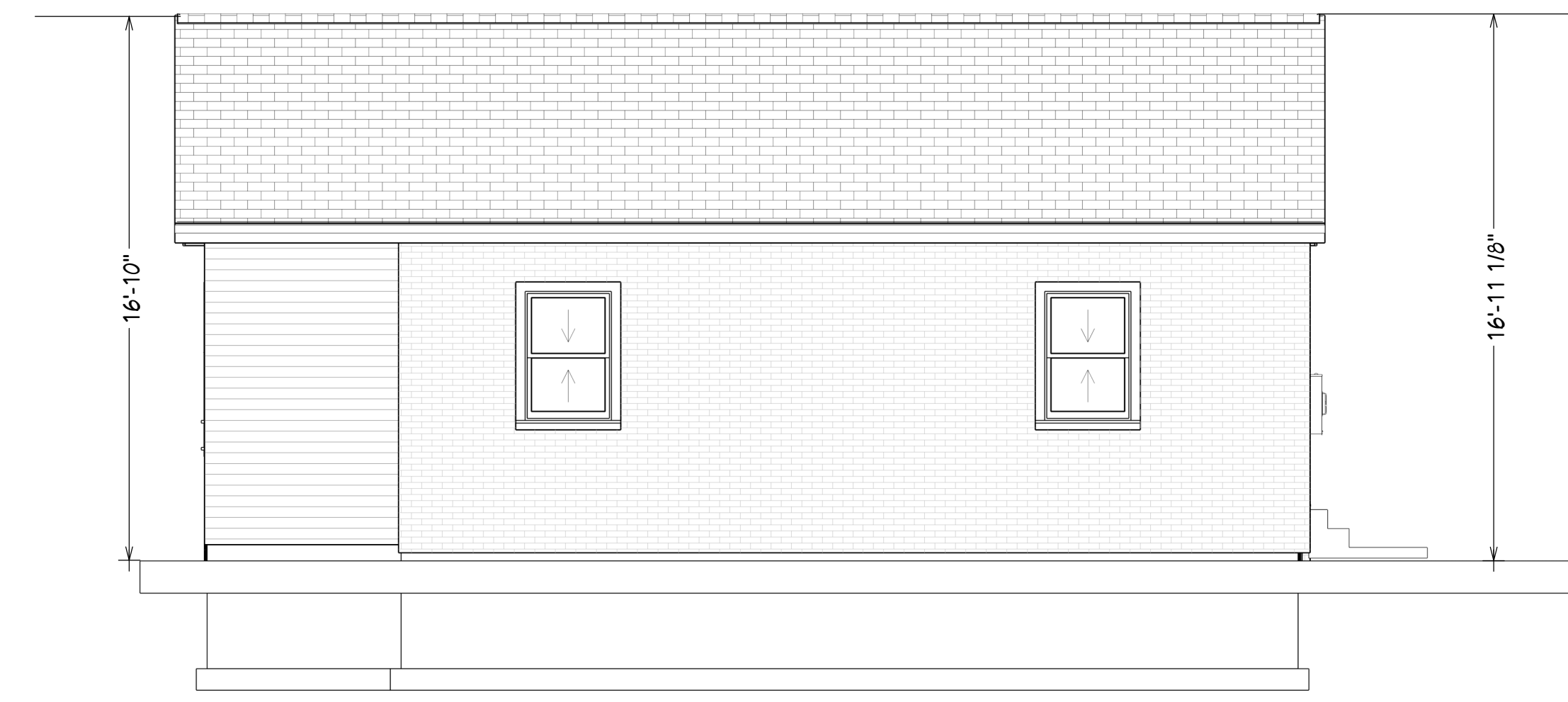
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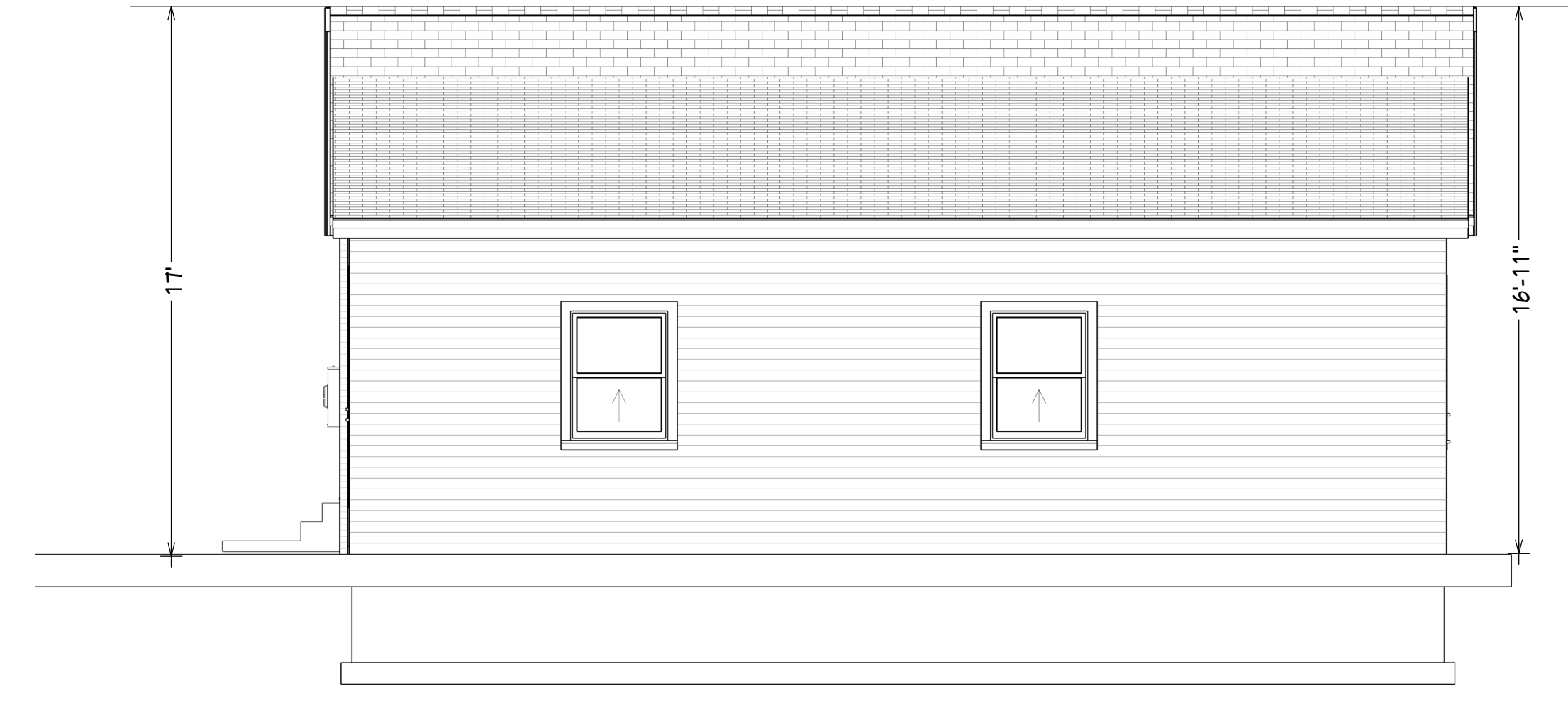
**A11**



Elevation 1



West Elevation



East Elevation



North Elevation

Cross Sections & Elevations

Scale: 1/4" = 1'

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SQUARE  
FOOTAGE  
MAIN FLOOR:  
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~293 Sq Ft

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SHEET:  
**A12**

**MECHANICAL -**

- Furnaces:** within compartments or alcoves shall have a min. 3" working space on sides, back, and top. Enclosing space shall be min. 12" wider than the furnace. Outside combustion air required to furnace and water heater. M1305.1.1 M1703 **Garages:** Fuel fired appliances in garages shall have sources of ignition installed at least 18" above the floor. M1307.3 G2408.2
- Flues/Exhausts:** shall be vented to the outdoors in accordance with their listing and label and manufacturers installation instructions. M1801.1
- Clothes Dryers:** shall be vented to the outdoors. Ducts to be metal with smooth interior surfaces, equipped with back- draft dampers. Sheet metal screws are not to be used. Max. length of duct is 25' less 2.5' for each 45 degree bend. M1502.1-6
- Ranges:** min. 30" vertical clearance to combustibles. M1901.1
- Exhaust Fans:** capable of exhausting min. 50 cfm of air to the outside required in bathrooms, toilet rooms, and similar compartments without a min. 1.5 sq. ft. operable window. R303.3 Exception

**PLUMBING -**

- Water Heaters:** shall be anchored or strapped in the upper and lower third of the appliance to resist a min. 1/3 of the operating weight of the appliance. T & P valves shall be piped to within 6" of the floor and approved floor drain. Expansion tank required. P2801.7, P2803.6.1, P2903.4
- Shower:** min. 900 sq. in. floor area and not less than 30" in minimum dimension. The area must be maintained from the door threshold to a height 70" above the drain. Maximum flow rate of 2.5 gallons/minute heads. Shower doors with a 22" minimum clear width, tempered, and that swing outward will be provided. P2708.1 and Table P2903.2
- Water closets:** 15" min. clearance from center line to adjacent wall/partition, 30" min. between similar fixtures, and 21" min. front clearance. Max. flow rate 1.6 gallon low-flush type. R307 T-P2903.2
- Plumbing vents:** shall terminate at least 2' above or 10' away from outside air-intake openings. Cannot be flag poled. P3103.4 & P3103.5
- Jetted Tubs:** provide access to pump per manufacturers installation instructions. Provide access to electrical without damage to building or finishes. Electrical outlet for tub to be GFCI protected. All metal piping systems, metal parts or electrical equipment, and pump motors associated with the hydromassage tub shall be bonded together using a copper bonding jumper not smaller than No. 8 solid unless it is an approved listed double insulated system. P2720.1 E4109
- Nail Plates:** (shield Plates) shall be installed to protect concealed piping passing through or notched into structural members where there is less than 1-1/2" to the face of the member. A steel plate not less than 1/16" thick with appropriate length and extend a minimum 2" width above bottom plates and 2" below top plate. P2603.2.1

**GENERAL -**

- Footings:** Minimum 12" below undisturbed ground with the bottom of footing to be 30" deep (frost line) R403.1.4
- Foundation:** State amendment allows maximum 9' X 8" wall using 3000 psi concrete. Engineered designs are exempt from State amendment. (see State amendment for details TABLE 1805.5(5))
- Anchor bolts:** Required on all exterior walls, interior braced and bearing walls. 1/2" anchor bolts embedded a min. 7" into concrete, minimum 2 bolts per section with one bolt located not more than 12 inches or less than seven bolt diameters from each end of the plate section. Plate washers 1/4 inch 3 inches by 3 inches in size shall be provided between the foundation sill plate and the nut. R403.1.6, R403.1.6.1, R602.11.1 and State amendment
- Sole plate/sill:** Treated lumber or other approved material. Minimum 6" clearance from earth to untreated wood. R319.1
- Grading:** Slope away from SFD 6" (5%) in the first 10', drainage to go to an approved point of collection. R401.3 (cannot drain onto neighboring property)
- Solid blocking:** Required at bearing points for roof rafters, trusses, ceiling joists, and at all floor and roof perimeters. R802.8, R502.7, 502.11.2, Table R602.3(1)
- Straps and shoes:** Required at weakened or non-continuous top plates, and at all studs notched or bored beyond acceptable code limits. R602.6
- Energy Efficiency:** All new construction will require an energy compliance document stating the U- value of exterior glazing and doors, the R-value of all insulation to be installed, and the efficiency rating of the heating system. IRC Chapter 11 Insulation shall have a vapor retarder installed on the warm-in- winter side of the insulation. R318.1
- Attic ventilation:** 1/150 sq. ft. net free area of attic floor area (may be reduced to 1/300 sq. ft. provided 50-80 of the required ventilation occurs at least 3' above the cornice or eaves with the balance obtained from eave or cornice vents) R806.2
- Attic access:** Minimum 22" X 30" with a minimum of 30" headroom above the access, located in a hallway or other readily accessible location. R807.1
- Gypsum board:** 1/2" standard gypsum board allowed on interior surfaces only, one layer of 1/2" board required on the garage side of house to garage separation wall and on posts and ceilings supporting living areas. One layer of 5/8" type X board required to separate the garage from all habitable rooms above. Water resistant board shall not be used over vapor barriers or on ceilings with framing spaced at more than 16" centers. R702.3, R309.2, R702.3.8.
- Safety Glazing:** **A.** Required less than 60" above the drain of a shower or tub. **B.** Within 24" arc of a door when closed. **C.** Within 36" adjacent to stairways and less than 60" above. **D.** Within 60" horizontally of the bottom tread of a stairway and less than 60" above. **E.** When used as rails or guards. **F.** Bottom edge 18" of a floor and top edge over 36" and over 9 sq ft unless protected. R308
- Egress/rescue windows:** Required in all bedrooms unless there is an exterior door, at least one in every basement, maximum finished sill height of 44". R310.1
- Egress window wells:** Must project a minimum of 36" and provide at least 9 sq. ft. of net clear area. Ladders required if well is over 44" deep. Ladders shall be a min. 12" wide, project a min. of 3" from the wall at an 18" max. rung spacing. Note: egress wells are required for basement egress windows and bedroom or future bedrooms egress windows. (bays, pop-outs, and cantilevers not allowed over egress wells unless 36" above top of well) R310.2 R310.5
- Stairways:** Minimum 36" wide, minimum headroom 6'-8", maximum rise 8", minimum run 9", maximum variation in rise, run, or projection in a run of stairs - 3/8". Solid risers (concrete, etc.) Requires a 3/4" - 1-1/4" nosing or a 10" minimum tread depth. R311.5.3
- Storage areas:** Enclosed accessible space under stairs requires 1/2" gyp board protection of walls and ceiling. R311.2.2
- Handrails:** 1 handrail min. on any stair consisting of 4 or more risers. 34" - 38" in height measured from the nosing of the treads. Continuous the full length of the stairs from a point directly above the top riser to a point directly above the lowest riser of a stairway. Ends must return into a wall or terminate into a newel post or safety terminal. Min. 1-1/2" between wall and handrail. R311.5.6
- Landings:** Min. 36"D x 36"W or width of door at all required exterior egress doors, and Min. 36"D x 36"W or width of stairs at top and bottom of all stairways. (Exception: Top of interior stairs, door does not swing over stairs.) R311.4.3, R311.5.4 (State Amendment)
- Guard (rails):** min. 34" high required on open sides of stairs, 36" high landings, and platforms over 30" above grade or floor. Baluster spacing such that a 4" sphere cannot pass through at any point. R312
- Doors:** Required exit door shall be side hinged 3 ft wide and 6'8" in height. House to garage - 1-3/8" solid core wood, metal clad, or 20-minute fire rated. Doors may not swing over stairs. R309.1, R311.4, R311.5.4
- Actual construction will comply with with all applicable local ordinances and building codes.

**General Notes**

Scale:

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Keynotes

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SHEET:

**A13**

To Whom It May Concern:

My name is ASMINE LATM, I live next to Trey Gardner and Rylee Williams.  
My address is 1044 S. IVERSON STREET. They have discussed their remodel plans with me. I am in support of the variance they are applying for.

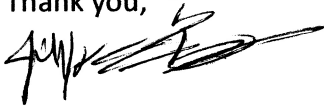
Thank you,



To Whom It May Concern:

My name is JEFF BOBILY, I live next to Trey Gardner and Rylee Williams. My address is 443 S. 300 E. They have discussed their remodel plans with me. I am in support of the variance they are applying for.

Thank you,



# **ATTACHMENT C: Property & Vicinity Photos**

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# ATTACHMENT D: RMF-35 Zoning Standards

## RMF-35 MODERATE DENSITY MULTI-FAMILY RESIDENTIAL DISTRICT:

Purpose Statement: The purpose of the RMF-35 Moderate Density Multi-Family Residential District is to provide an environment suitable for a variety of moderate density housing types, including single-family, two-family, and multi-family dwellings with a maximum height of thirty five feet (35'). This district is appropriate in areas where the applicable Master Plan policies recommend a density of less than thirty (30) dwelling units per acre. This district includes other uses that are typically found in a multi-family residential neighborhood of this density for the purpose of serving the neighborhood. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

Standard	Requirement	Proposed	Finding
<b>Maximum Building Height</b>	35 ft	No change to the building height is proposed with this application.	<b>Complies.</b>
<b>Front/Corner/ Side/Rear Yard Setbacks</b>	Front: 20 ft Rear: 25% (between 20-25 ft) Side: 4 ft on one and 10 ft on the other	Front: <i>8 ft Existing</i> Rear: 2 ft Proposed ( <i>11 Existing</i> ) Side: South: 46 ft, North: 2 ft Proposed ( <i>8 ft Existing</i> )	<b>Does not comply.</b>
<b>Lot Size</b>	5,000 sq ft	No change in lot size proposed with this application, however, the lot is noncomplying at 3,798 sq ft	<b>NA</b>

# ATTACHMENT E: Variance Standards

**21A.18.010:** The variance procedures are intended to provide a narrowly circumscribed means by which relief may be granted from unforeseen particular applications of this title that create unreasonable hardships. When such hardships may be more appropriately remedied, if at all, pursuant to other provisions of this title, the variance procedure is inappropriate.

**21A.18.050: PROHIBITED VARIANCES:**

The appeals hearing officer shall not grant a variance that:

Standard	Finding	Rationale
<b>A. Is intended as a temporary measure only;</b>	<b>Complies</b>	The proposed addition to the home would be permanent.
<b>B. Is greater than the minimum variation necessary to relieve the unnecessary hardship demonstrated by the applicant; or</b>	<b>Does not comply</b>	The applicant is requesting a variance to build an additional 8 ft into the north side (encroaching 4 ft) and 9 ft into the rear yard (increasing a non-conformity).  Section 21A.38.050 allows for in-line additions to be made to existing structures that do not comply with rear and front yard setbacks. This allows the applicant 4' additional on the north side and 36' additional on the south to construct an addition.
<b>C. Authorizes uses not allowed by law (i.e., a "use variance").</b>	<b>Complies</b>	The proposed addition to an existing single-family home is a permitted use in the RMF-35 Zone. Granting the variance would not authorize a use that is not allowed.

**21A.18.060: STANDARDS FOR VARIANCES:**

Subject to the prohibitions set forth in section [21A.18.050](#) of this chapter, and subject to the other provisions of this chapter, the appeals hearing officer may grant a variance from the terms of this title only if:

Standard	Finding	Analysis
<b>A. General Standards</b>		
<b>1. Literal enforcement of this title would cause an unreasonable hardship for the applicant that is not necessary to carry out the general purpose of this title;</b>	<b>Does not comply.</b>	The RMF-35 zone requires a 25 ft front yard setback and a 20 ft rear yard setback, this leaves a buildable area of only 5 ft deep. The existing home encroaches into both of these setbacks. The applicant wishes to increase this non-conformity with an addition 2 ft from the rear property line.  The applicant's reasoning for this addition is to increase the homes square footage and add an additional bathroom and bedroom.  Literal enforcement of this title does not cause an unreasonable hardship because a property owner's desire to build an addition that encroaches into the established rear and side yard setbacks is a self-imposed hardship (See subsection B of this table).

<p><b>2. There are special circumstances attached to the property that do not generally apply to other properties in the same zoning district;</b></p>	<p><b>Does not comply.</b></p>	<p>The applicants reasoning for a home addition is to add additional square footage to be similar in size to neighboring homes.</p> <p>Though the current size of the home on this lot is modest compared to others in this area this lot is not deprived of privileges granted to other properties in the same zoning district (See subsection C of this table).</p>
<p><b>3. Granting the variance is essential to the enjoyment of a substantial property right possessed by other property in the same district;</b></p>	<p><b>Does not comply.</b></p>	<p>Having a home on the property is a privilege granted to other properties and is a substantial property right. The property currently accommodates an existing single-family home.</p> <p>While the size of the existing home is modest compared to others in the area at 706 sq ft, in Planning Staff's opinion, the request to construct an addition into the required side yard and rear yard setbacks for enlarged living space is not a substantial property right.</p>
<p><b>4. The variance will not substantially affect the general plan of the city and will not be contrary to the public interest; and</b></p>	<p><b>Complies.</b></p>	<p>An addition to this home that encroaches into the side and rear setbacks would not go against the City General Plan. Additionally, neighbors abutting this property have submitted letters of a positive recommendation for this proposal (See attachment C).</p>
<p><b>5. The spirit of this title is observed and substantial justice done.</b></p>	<p><b>Does not comply.</b></p>	<p>The existing home is non-conforming in regards to the front and rear setbacks, therefore code does not permit additions that further encroach into these setbacks. in-line additions may be made to either or both sides of this structure, so long as the additions do not encroach into any additional setbacks.</p> <p>Though the building envelope on this lot is small, additions may be made in-line to both or either of the side yards. Encroaching further into the setbacks than necessary is not the spirit of this title.</p>
<p><b>B. Circumstances Peculiar To Property: In determining whether or not enforcement of this title would cause unreasonable hardship under subsection A of this section, the appeals hearing officer may not find an unreasonable hardship unless:</b></p>		
<p><b>1. The alleged hardship is related to the size, shape or topography of the property for which the variance is sought; and</b></p>	<p><b>Complies.</b></p>	<p>The requested variance is due to the unique shape and size of the lot. Because the lot is only 45 ft deep with a 20 ft rear and 25 ft front yard setback, the buildable area is only 5 ft deep.</p>
<p><b>2. The alleged hardship comes from circumstances peculiar to the property, not from conditions that are general to the neighborhood.</b></p>	<p><b>Complies.</b></p>	<p>Though this lot is similar in size and shape to those around it, its access is from a private drive to the west. This makes the west property line the front, creating a shallow lot.</p>
<p><b>C. Self-Imposed Or Economic Hardship: In determining whether or not enforcement of this title would cause unreasonable hardship under subsection A of this section, the appeals hearing officer may not find an unreasonable hardship if the</b></p>	<p><b>Does Not Comply.</b></p>	<p>The applicants reasoning for this addition is to increase the homes square footage and add an additional bathroom and bedroom.</p> <p>Though this lot is unique from those around it, the desire to build additional square footage onto an existing single-family home is a self-imposed hardship.</p>

<b>hardship is self- imposed or economic.</b>		
<b>D. Special Circumstances: In determining whether or not there are special circumstances attached to the property under subsection A of this section, the appeals hearing officer may find that special circumstances exist only if:</b>		
<b>1. The special circumstances relate to the alleged hardship; and</b>	<b>Does not comply.</b>	<p>The RMF-35 zone requires a 25 ft front yard setback and a 20 ft rear yard setback. With a 45 ft deep lot, this leaves a buildable area of only 5 ft deep. Because of this, the applicant is requesting to encroach further into the rear setback. Section 21A.38.050 of the zoning code allows for additions to be made in line with the rear and front non-conformity, but not to increase this non-conformity.</p> <p>The applicant is also requesting to build into the north side setback and encroach 2 ft. This is not related to the hardship.</p>
<b>2. The special circumstances deprive the property of privileges granted to other properties in the same zoning district. (Ord. 8-12, 2012)</b>	<b>Does not comply.</b>	<p>Though the size of the home on this lot is modest compared to others in this area, this lot is not deprived of privileges granted to other properties in the same zoning district.</p>

# ATTACHMENT F: Public Process & Comments

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## Public Notice, Meetings, Comments

Notice of the public hearing for the proposal included:

- December 7, 2023
  - Public hearing notice mailed
  - Public notice posted on City and State websites and Planning Division list serve

## Public Input:

No comments have been received regarding the requested variance as of the published date of this report.