



Staff Report

PLANNING DIVISION

DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Administrative Hearing Officer
From: Joshua Biggs, Associate Planner, joshua.biggs@slcgov.com, 801-535-6083
Date: June 16, 2022
Re: PLNPCM2022-00149, Conditional Use for a Bar Establishment

Conditional Use

PROPERTY ADDRESS: 601 S. State St.
PARCEL ID: 16-06-356-001-0000
MASTER PLAN: Downtown
ZONING DISTRICT: D-2 (Downtown Support)

REQUEST:

Salt Lake City has received a Conditional Use application from Micheal Repp for a Bar Establishment at approximately 601 S. State St. The proposed bar, called Club Verse, is being proposed in the southernmost suite in the building. The property is located in the D-2 (Downtown Support) zoning district, which requires a Conditional Use approval for a Bar Establishment. The Conditional Use process evaluates the compatibility, location, configuration, and potential impacts of the request. The Administrative Hearing Officer has the final decision-making authority for this type of Conditional Use request.

RECOMMENDATION:

Based on the information and findings listed in the staff report, it is the Planning Staff's opinion that the request generally meets the applicable standards of approval and therefore recommends the Administrative Hearing Officer approve the request with the following conditions:

1. Condition 1: The applicant shall record a copy of the approved Security and Operations Plan with the Salt Lake City Recorder's Office as required for alcohol related uses.

ATTACHMENTS:

- A. [ATTACHMENT A: Vicinity Map](#)
- B. [ATTACHMENT B: Plan Set, etc.](#)
- C. [ATTACHMENT C: Property and Vicinity Photos](#)
- D. [ATTACHMENT D: D-2 Zoning Standards](#)
- E. [ATTACHMENT E: Alcohol Related Establishment Standards](#)
- F. [ATTACHMENT F: Conditional Use Standards](#)
- G. [ATTACHMENT G: Public Process & Comments](#)
- H. [ATTACHMENT H: Department Review Comments](#)

PROJECT DESCRIPTION



Quick Facts

Zoning District: D-2 (Downtown Support District)

Proposed Use: Bar Establishment

Parking: Not required for this project.

Review Process & Standards: D-2 zoning standards, Conditional Use standards, Alcohol Related Establishment standards, general zoning standards.

The applicant, Micheal Repp is proposing to operate a bar establishment in an existing building located at approximately 601 S. State St. in the southernmost portion of the building. The space is approximately 5,392 square feet of gross floor area in size. A 669 square-foot area will be used as the bar's space for patrons. There is a proposed 2,850 square foot rooftop deck. The proposed business hours of operation are Monday – Thursday, 1:00 P.M. to 2:00 A.M., Friday – Sunday 11:00 A.M. to 2:00 A.M. The business anticipates having 15+ employees during peak hours. The proposed bar area has a total of approximately 90 seats. Former businesses have historically relied on metered street parking.

AAA Jewelers and Mercedes-Benz of Salt Lake City are located to the north of the proposed bar, Ember and Decades to the south, Rocky Mountain Power substation to the east, and 600 Lofts Apartments to the west. Abutting properties to the north, south, and east are zoned D-2. Abutting property to the west is zoned D-1. Other than the proposed rooftop deck, the building façade is not being modified through this request. Required parking is also not being modified through this request.

APPROVAL PROCESS AND ADMINISTRATIVE HEARING OFFICER AUTHORITY

This type of conditional use application requires an Administrative Hearing. Per chapter 21A.54 of the zoning ordinance, Conditional uses are allowed unless appropriate conditions cannot be applied, which, in the judgment of the Administrative Hearing Officer, would mitigate adverse impacts that may arise by introducing a conditional use on the particular site. The Administrative Hearing Officer has the authority to approve, approve with conditions, or deny the Conditional Use request. A conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable conditional use standards. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated

by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use shall be denied

KEY CONSIDERATIONS

The key considerations listed below were identified through the analysis of the project:

1. Compatibility with Master Plan Policies and Initiatives
2. Neighborhood Compatibility and Impact

Consideration 1: Compatibility with Master Plan Policies and Initiatives

A guiding principle of Plan Salt Lake is “vibrant, diverse, and accessible artistic and cultural resources that showcase the community’s long-standing commitment to a strong creative culture.” An initiative of this aforementioned Arts & Culture principle is to “support opportunities for vibrant expression of cultural diversity.” The proposed bar establishment and community gathering space adheres to this principle and initiative.

Per the Downtown Plan, the subject property is located within the South State District. The Downtown Plan indicates that “Ethnic restaurants, grocers, and bars and clubs make South State a destination for a variety of interest groups, creating an authentic experience. The reurbanization of South State within the existing fabric makes good use of existing infrastructure and services and contributes to the creation of a livable urban community. The historic scale and orientation of the buildings between 600 South and 900 South provide a template for future development, with buildings close to the street, storefronts providing interest for passersby, parking to the side or rear of buildings, and easy, convenient on street parking supporting small businesses. Initiatives for the district include a vision of being vibrant and active, rich in arts and culture, and walkable.”

The proposed use as a bar establishment and community gathering space fosters these initiatives. It also fosters the growth of small businesses, entrepreneurship, and a human scale business node. A buffer of businesses in the D-2 zoning district separates the building from surrounding residential uses. Staff believes that operating a bar establishment at the proposed location in the D-2 zoning district supports the identified policies and initiatives in the Downtown Plan and Plan Salt Lake.

Consideration 2: Neighborhood Compatibility and Impact

The proposed use complies with the zoning standards in the D-2 zoning district, zoning standards specific to alcohol related uses found in Attachment D, and the standards for review for a Conditional Use, found in Attachment F. The applicant submitted a Security and Operations plan, which is a plan of action for any complaints received. The plan addresses the occurrence of live music and mitigation of any potential detrimental effects.

The building and the proposed use are compatible with the surrounding neighborhood and business district, as the area already contains many locally owned restaurants and shops. The mix of uses found in the area creates an active neighborhood where there is movement of people at different hours of the day. The proposed bar establishment may increase some movement

during evening hours, but it will be consistent with similar uses and bar establishments in the area.

Because the proposed bar establishment complies with zoning standards for the D-2 district, alcohol related establishments, and conditional uses, staff believes that the proposed use is compatible with the neighborhood. To further illustrate this compatibility, there are a number of other bars/alcohol related establishments in the D-2 zoning district and general vicinity. Given the locational context, the proposed use is found to be compatible with the neighborhood mix and should not create negative impacts to existing uses in this urban commercial setting.

STAFF RECOMMENDATION

It is Planning Staff's opinion that the proposed bar establishment is compatible with applicable master plan policies and initiatives, and the use is compatible with the surrounding neighborhood. Planning Staff also finds that the proposed bar establishment complies with zoning standards for the D-2 district, alcohol related establishments, and conditional uses.

Based on the information and findings listed in the staff report, it is the Planning Staff's opinion that the request generally meets the applicable standards of approval and therefore recommends the Administrative Hearing Officer approve the request with the following conditions:

1. Condition 1: The applicant shall record a copy of the approved Security and Operations Plan with the Salt Lake City Recorder's Office as required for alcohol related uses.

NEXT STEPS

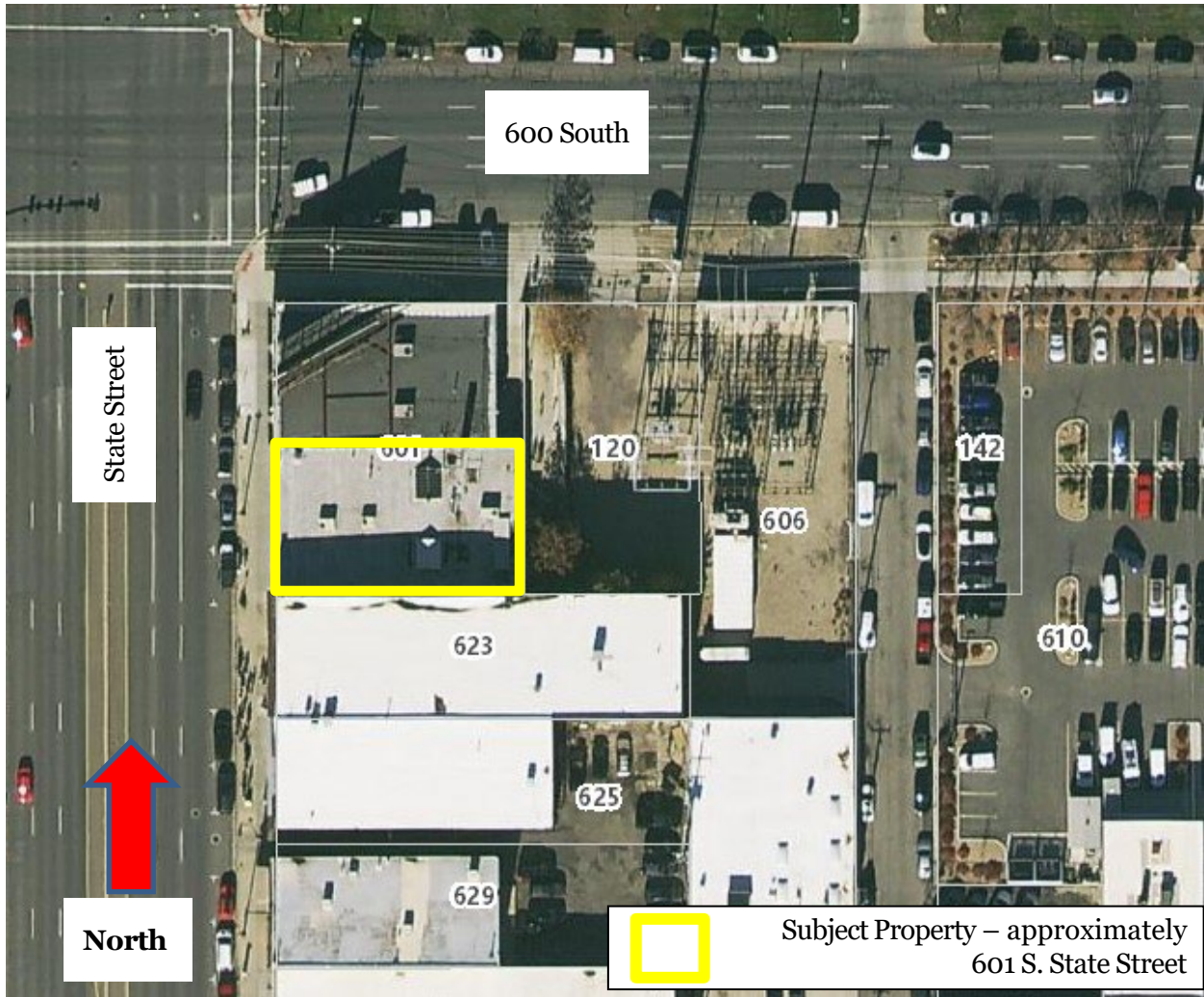
Approval of the Request

If the Conditional Use is approved, the applicant must then meet all other department/division requirements to receive a business license. A building permit will also be required for the proposed interior remodel.

Denial of the Design Review Request

State and city codes require that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A Conditional Use can only be denied if the Administrative Hearing Officer finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions. If the Conditional Use request is denied, the applicant would not be able to use the building for a bar establishment.

ATTACHMENT A: Vicinity Map



ATTACHMENT B: Plan Set, etc.



Conditional Use

SALT LAKE CITY PLANNING

OFFICE USE ONLY

Project #:	Received By:	Date Received:	Zoning:
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Project Name:
CLUB VERSE

PLEASE PROVIDE THE FOLLOWING INFORMATION

Request:

Address of Subject Property:
601 SOUTH STATE STREET SLC, UT 84111

Name of Applicant: **Micheal Repp** Phone: [REDACTED]

Address of Applicant:
3601 S Argon DR WVC, UT 84119

E-mail of Applicant: [REDACTED] Cell/Fax: [REDACTED]

Applicant's Interest in Subject Property:
 Owner Contractor Architect Other: **lease**

Name of Property Owner (if different from applicant):
mike vardakis

E-mail of Property Owner: [REDACTED] Phone: [REDACTED]

Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

AVAILABLE CONSULTATION

Planners are available for consultation prior to submitting this application. Please email zoning@slcgov.com if you have any questions regarding the requirements of this application.

WHERE TO FILE THE COMPLETE APPLICATION

Apply online through the [Citizen Access Portal](#). There is a [step-by-step guide](#) to learn how to submit online.

REQUIRED FEE

Filing fee of **\$806**
 Plus, additional cost of postage for mailing notice will be assessed after application is submitted.

SIGNATURE

→ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent: Micheal Repp 	Date: 04/12/2022
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CLUB VERSE –CONDITIONAL USE APPLICATION

- ***PROJECT DISCERPTION:*** Core Image Investments LLC proposes to own and operate CLUB VERSE a bar/tavern located at 609 S. State Street SLC, UT 84111. The current patron entrance is located in the front of the property and shall be the main entrance. Building is zoned D-2 currently
- ***CONDITIONAL USE INFORMATION section 21A.54.080***

Anticipated Hours

- The anticipated operation hours are 1pm to 2am Monday thru Thursday.
- Friday, Saturday and Sunday wiling be 11Am to 2am

Adjacent land uses

- The 600 South Loft apartments are located directly west on the opposite side of state street
- Directly north is AAA jewelers
- Directly south is EMBER event center
- North west corner is The Grand Hotel
- South east corner is Ken Garff Mercedes

Employees

- Approximately 15 to 18 employees will be present for the highest shift

Proposed seating

- Approximately 90 seats will be made available by combining the roof top patio, indoor seating and the V.I.P seating couches

Community canvassing

- Residents located in the 600 south lofts gave positive feed back
- AAA Jewelers is in full support
- EMBER is in support and well

2.

CLUB VERSE SECURITY, OPERATIONS AND COMMUNITY ENGAGEMENT PLAN 2022 !

The following plan & key points are related to the operation and community engagement of CLUB VERSE a LGBTQIA+safe haven bar/tavern and meeting space. Club VERSE is seeking to obtain a conditional use permit. The following key points are for review by the Salt Lake City planning and SLCPD. If there are questions that may need to be addressed or need more information please free to contact our community engagement, patron liaison Micheal Repp @ [REDACTED] or [REDACTED]

Security and General Operations

Club Verse is owned and will be operated by Riley Richter, Donald Neeley and Micheal Repp all formally with THE SUNTRAPP. Our team successfully and safely operated THE SUNTRAPP for seven years with no violations or occurrences. We will continue to offer that same dedication to Club VERSE and SLC while creating a new LGBTQIA+ inclusive safe haven environment. Patrons will enter from a main entrance located at 609 South State Street in Salt Lake City. Upon entering it is our policy that all individuals will have their ID's checked regardless of age. This process will be handled by the day manger, bartender or appropriate door staff that have each been trained and have the appropriate scanners and tools to maintain the state statute, safety and policies before allowing alcohol consumption.

The exterior of the premises will be maintained free of graffiti, including the main building, any accessory buildings or structures, and all signs. Graffiti shall be removed from the exterior of the premises within forty eight (48) hours, weather permitting.

Complaint and community relationships

In regards to our customer base as established community leaders in the LGBTQIA+ community we are in a unique and exciting position where we are able to use our sensitivity and knowledge of the marginalized inter queer community to build long term relationships with our patrons. We fully understand that our business may impact neighboring businesses and when possible we will communicate and resolve at the ownership level any issues that may arise with hopes of a win win outcome. Micheal is available (970/986/7279) to meet with any neighbor that may have questions or concerns.

SOUND

CLUB VERSE will make every reasonable effort to ensure that any amplified music or sound will be directed away from the commercial residence directly across state street to the west.

- Club VERSE shall also take and maintain decibel reading that do not exceed the allowed limit (55dB) in D-2 zoning.
- We will design and construct sound panels that will be proactively placed around any and all exterior openings to ensure that sound is regulated to the allowed limit at the 15 foot mark of the exterior outside opening
- Further more our sound system will be zoned accordingly to ensure decibel regulation to keep amplified sound at or below level while door is open
- Interior music shall be played at a reasonable level has to comply with aforementioned required sound limit.
- Live entertainment shall be located on the main level.
- Amplified music shall on the interior building only

SMOKING, TRASH & RECYCLING

CLUB VERSE, will continue to provide a designated smoking area that will meet all city and state ordinance. This area will be located on the roof top patio in the south east corner which will meet the 25 foot requirement from all entrances or exits of the building.

Club VERSE will be contracting with momentum recycling in an attempt to reduce unnecessary product from reaching our landfills. We will have a 4

yard container that will be emptied three (3) times a week days which will be decided at a appropriate time with start of business.

Club VERSE will assist with the daily maintenance in the immediate area in the front of the building adjacent to state street to ensure that it is swept and in good repair.

We feel that working with momentum along with proactive purchasing we will not need to increase waste removal.

All trash in respective areas will be cleansed and discarded by 6am the following day.

PARKING

We are currently negotiating with Lyft as a benefit to all patrons who use their service to receive reduced fair. By working in conjunction with Lyft and Uber proactively we hope to lessen the pressure of surface street parking There is surface parking and metered parking on state Street and 600 South that can be utilized as well. There is also a large parking structure approximately a half block east on 600 south that may be able to be negotiated for weekend night parking. We hope to encourage and have benefits in place with Lyft and Uber too relieve any pressure that may arise in the future.

Food trucks

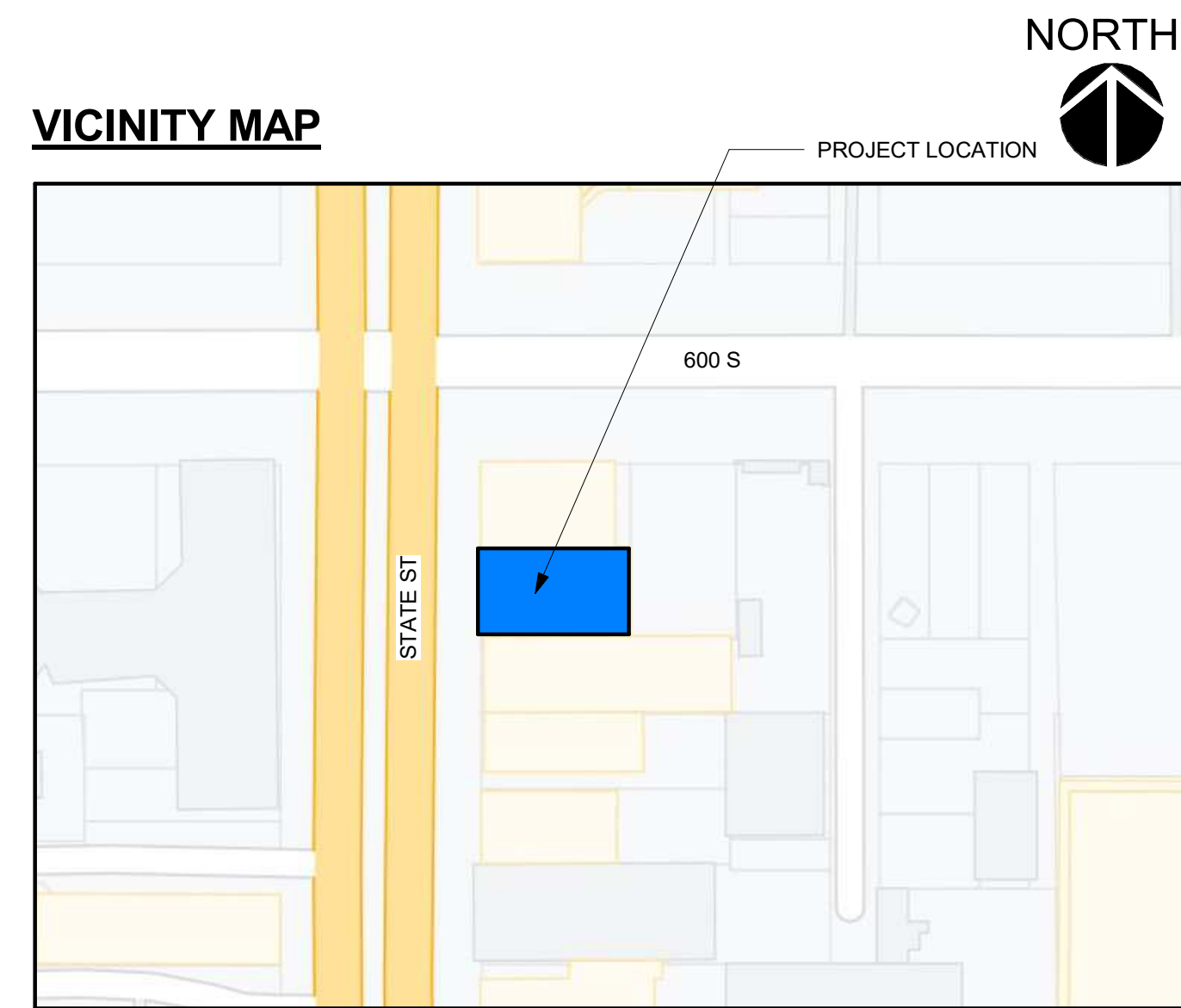
CLUB VERSE will obtain a class A food license and prepare cold cut sandwiches along with toasted cold appetizers. Food truck will be utilized in the scope of special events and may be more in the capacity of catering their items. We look forward to supporting the local food truck industry and will navigate the issues with owners to assist in creative thinking for solutions. FOOD TRUCKS are a vital and much needed necessity for small business owners.

609 South State Street

Salt Lake City, UT 84111

FEB. 14TH, 2022

VICINITY MAP



Sheet List	
Sheet Number	Sheet Name
A000	COVER SHEET
A101.1	EXISTING FLOOR PLAN
A101.2	DEMO PLAN
A101.3	PROPOSED FLOOR PLAN - LEVEL 1
A101.4	ADA PLAN
A102	LEVEL 1 - LOFT FLOOR PLAN
A103	ROOF DECK FLOOR PLAN
A201	ELEVATION

PROJECT NOTES

- DUST, MUD & EROSION SHALL BE CONTROLLED BY WHATEVER MEANS NECESSARY AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES.
- NEW CURB & GUTTER OR REPLACEMENT OF EXISTING DAMAGED CURB & GUTTER ALONG THE FRONTAGE OF THIS PROJECT SHALL BE IN ACCORDANCE WITH CITY STANDARDS.
- CONTRACTOR SHALL SECURE AN EXCAVATION PERMIT FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO DOING ANY WORK IN THE CITY RIGHT-OF-WAY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY OWNER OF SIGNIFICANT VARIATIONS THAT MAY EFFECT CONSTRUCTION AS DELINEATED IN THE CONSTRUCTION DOCUMENTS.

Contractor is to abide by the following Utah State rules of the Utah Division of Air Quality, (801) 536-4000. These requirements apply to all remodel projects.

- R307-309 for dust control
<http://www.rules.utah.gov/publicat/code/r307/r307-309.htm#T6>
- R307-801 for asbestos control
<http://www.rules.utah.gov/publicat/code/r307/r307-801.htm>
- R307-840 for lead control
<http://www.rules.utah.gov/publicat/code/r307/r307-840.htm>

Contractor is to contact Blue Stakes with regards to all utilities, above and below ground, on the Site Plan. (801) 208-2100 or bluestakes.org

CODE REQUIREMENTS

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2017 NATIONAL ELECTRIC CODE
- 2018 NATIONAL FUEL GAS CODE
- ICC/ANSI A117.1-2009
- ASHRAE 90.1-2010

Area Schedule (Gross Building)

Name	Area
Level 1	5,392 SF



ARCHITECT'S INFORMATION

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

609 South State Street
Salt Lake City, UT 84111

REVISIONS:

NO. DATE DESCRIPTION

ISSUED: FEB. 14TH, 2022

NO. DATE DESCRIPTION

OWNER PROJECT #:

RPA PROJECT #:

DRAWN BY:

CHECKED BY:

DESIGNED BY:

COPYRIGHT:

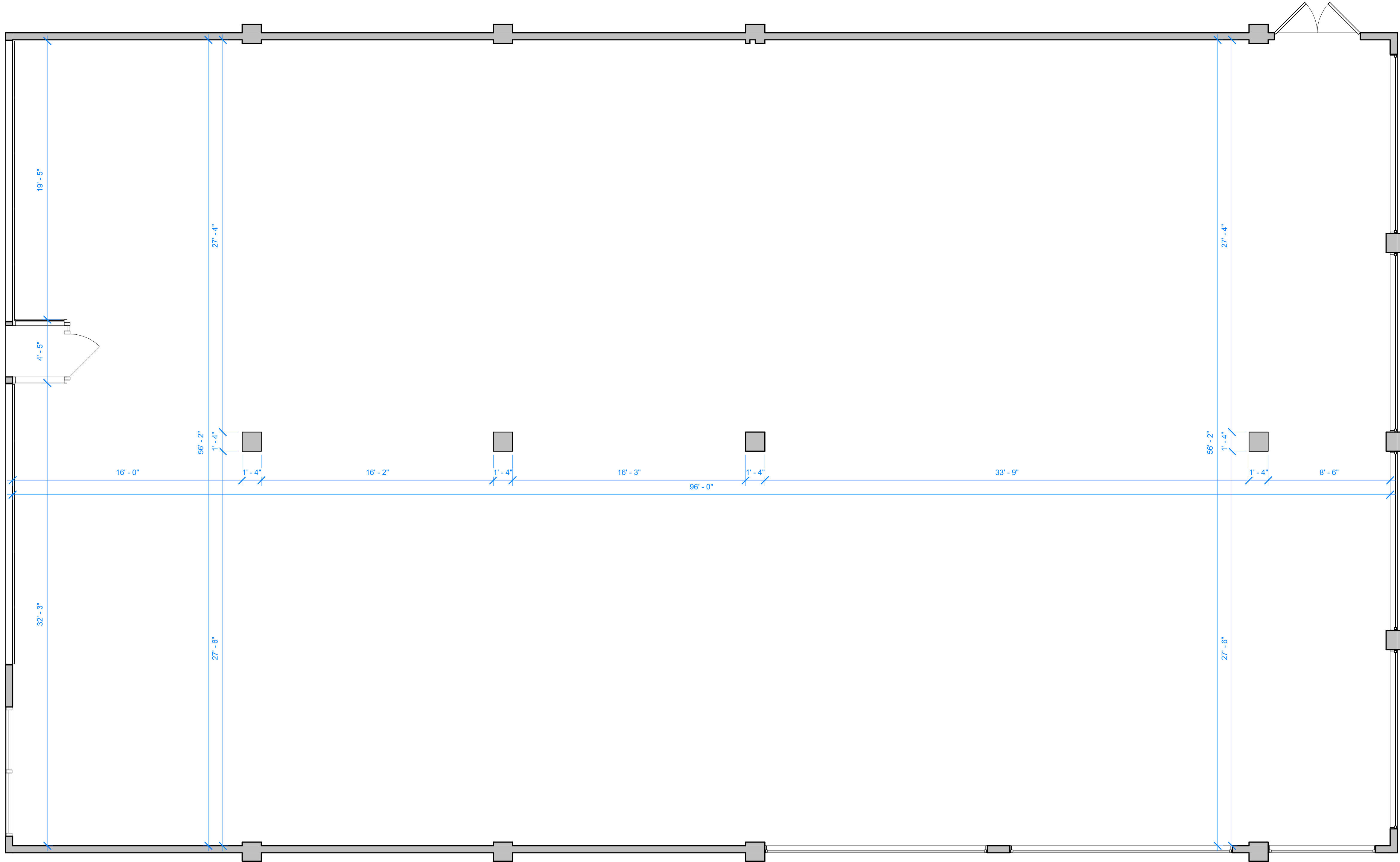
© 2018 RUSSELL PLATT ARCHITECTURE

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

A000



① Level 1 - Existing
1/4" = 1'-0"

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

609 South State Street

Salt Lake City, UT 84111

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED: FEB. 14TH, 2022

NO.	DATE	DESCRIPTION

OWNER PROJECT #:

RPA PROJECT #:

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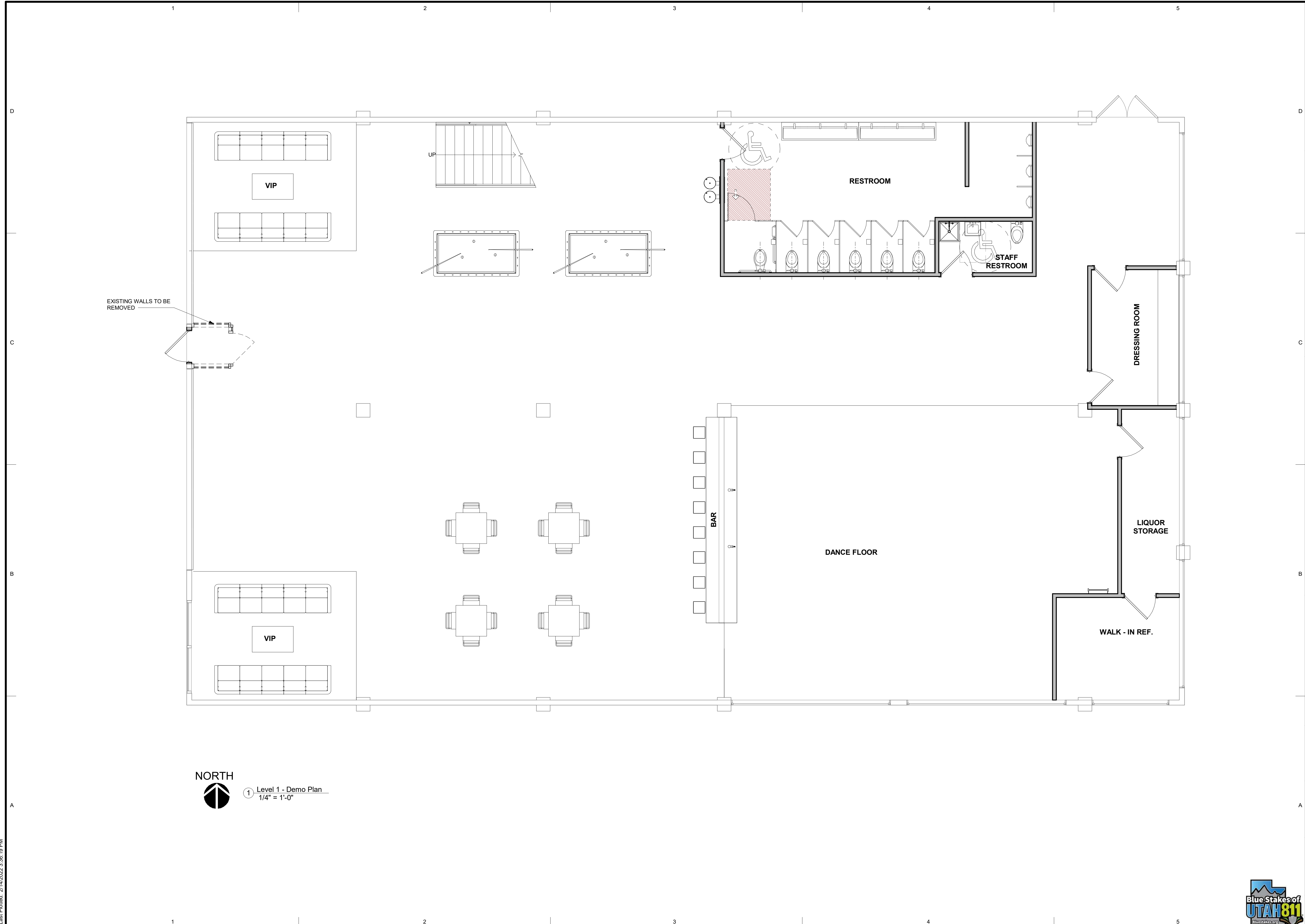
SHEET TITLE:


EXISTING FLOOR PLAN

SHEET NUMBER:

A101.1





NORTH

 ① Level 1 - Demo Plan
 1/4" = 1'-0"

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

609 South State Street

Salt Lake City, UT 84111

REVISIONS:
 NO. DATE DESCRIPTION

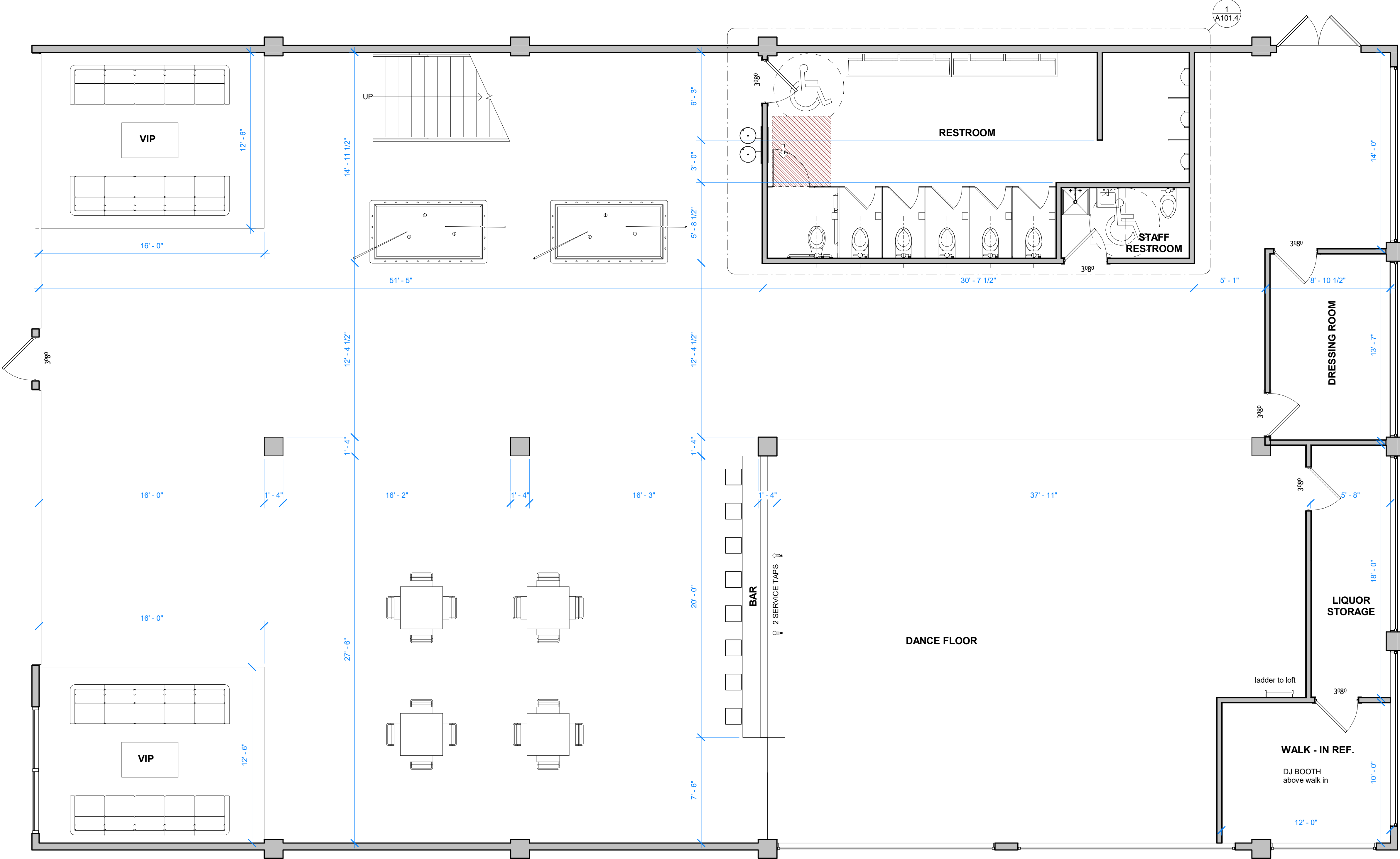
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 RPA PROJECT #:
 DRAWN BY:
 CHECKED BY:
 DESIGNED BY:
 COPYRIGHT:

SHEET TITLE:
 DEMO PLAN

SHEET NUMBER:
 A101.2





NORTH
 ① Level 1
 1/4" = 1'-0"

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

609 South State Street

Salt Lake City, UT 84111

REVISIONS:
 NO. DATE DESCRIPTION

ISSUED: FEB. 14TH, 2022

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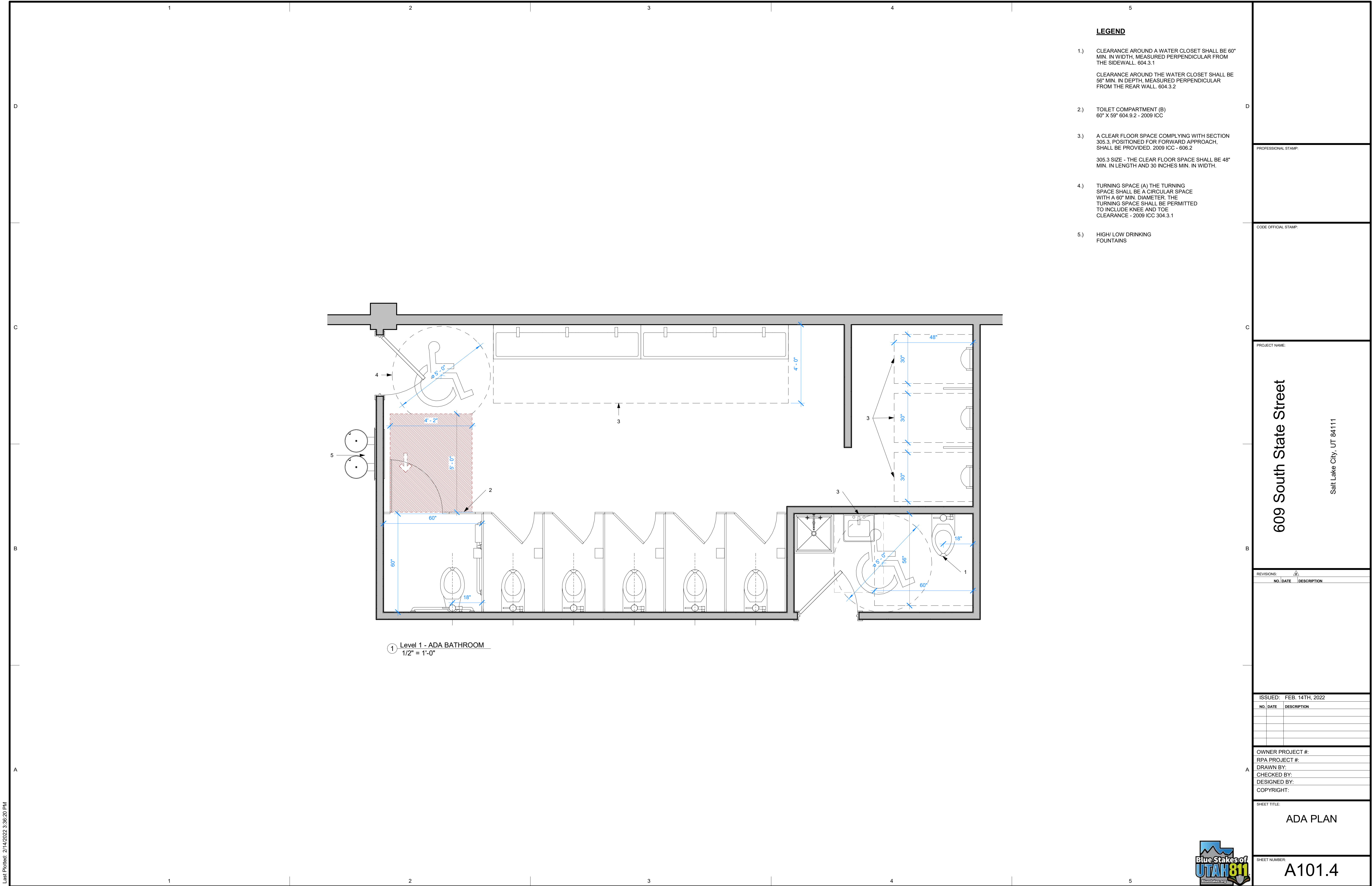
SHEET TITLE:

PROPOSED FLOOR PLAN - LEVEL 1

SHEET NUMBER:

A101.3





LEGEND

- 1.) CLEARANCE AROUND A WATER CLOSET SHALL BE 60" MIN. IN WIDTH, MEASURED PERPENDICULAR FROM THE SIDEWALL. 604.3.1
CLEARANCE AROUND THE WATER CLOSET SHALL BE 56" MIN. IN DEPTH, MEASURED PERPENDICULAR FROM THE REAR WALL. 604.3.2
- 2.) TOILET COMPARTMENT (B)
60" X 59" 604.9.2 - 2009 ICC
- 3.) A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305.3. POSITIONED FOR FORWARD APPROACH, SHALL BE PROVIDED. 2009 ICC - 606.2
305.3 SIZE - THE CLEAR FLOOR SPACE SHALL BE 48" MIN. IN LENGTH AND 30 INCHES MIN. IN WIDTH.
- 4.) TURNING SPACE (A) THE TURNING SPACE SHALL BE A CIRCULAR SPACE WITH A 60" MIN. DIAMETER. THE TURNING SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE - 2009 ICC 304.3.1
- 5.) HIGH/LOW DRINKING FOUNTAINS

① Level 1 - ADA BATHROOM
1/2" = 1'-0"

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

609 South State Street

Salt Lake City, UT 84111

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED: FEB. 14TH, 2022

NO.	DATE	DESCRIPTION

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RPA PROJECT #:
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SHEET TITLE:

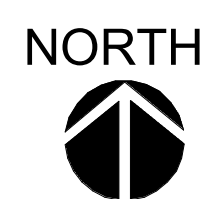
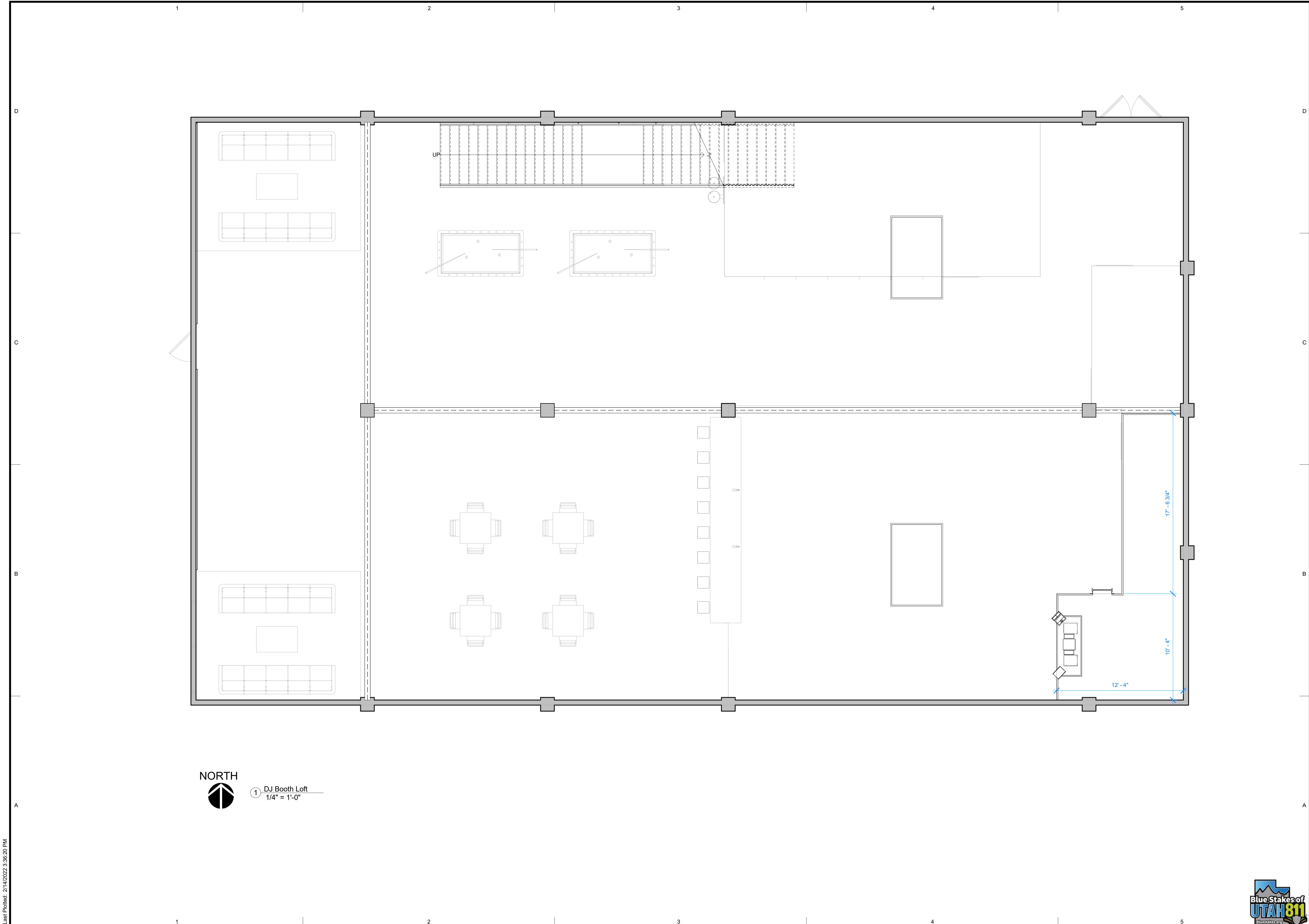
ADA PLAN

SHEET NUMBER:

A101.4



Last Plotted: 2/14/2022 3:35:20 PM



① DJ Booth Loft
1/4" = 1'-0"

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

609 South State Street

Salt Lake City, UT 84111

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED: FEB. 14TH, 2022

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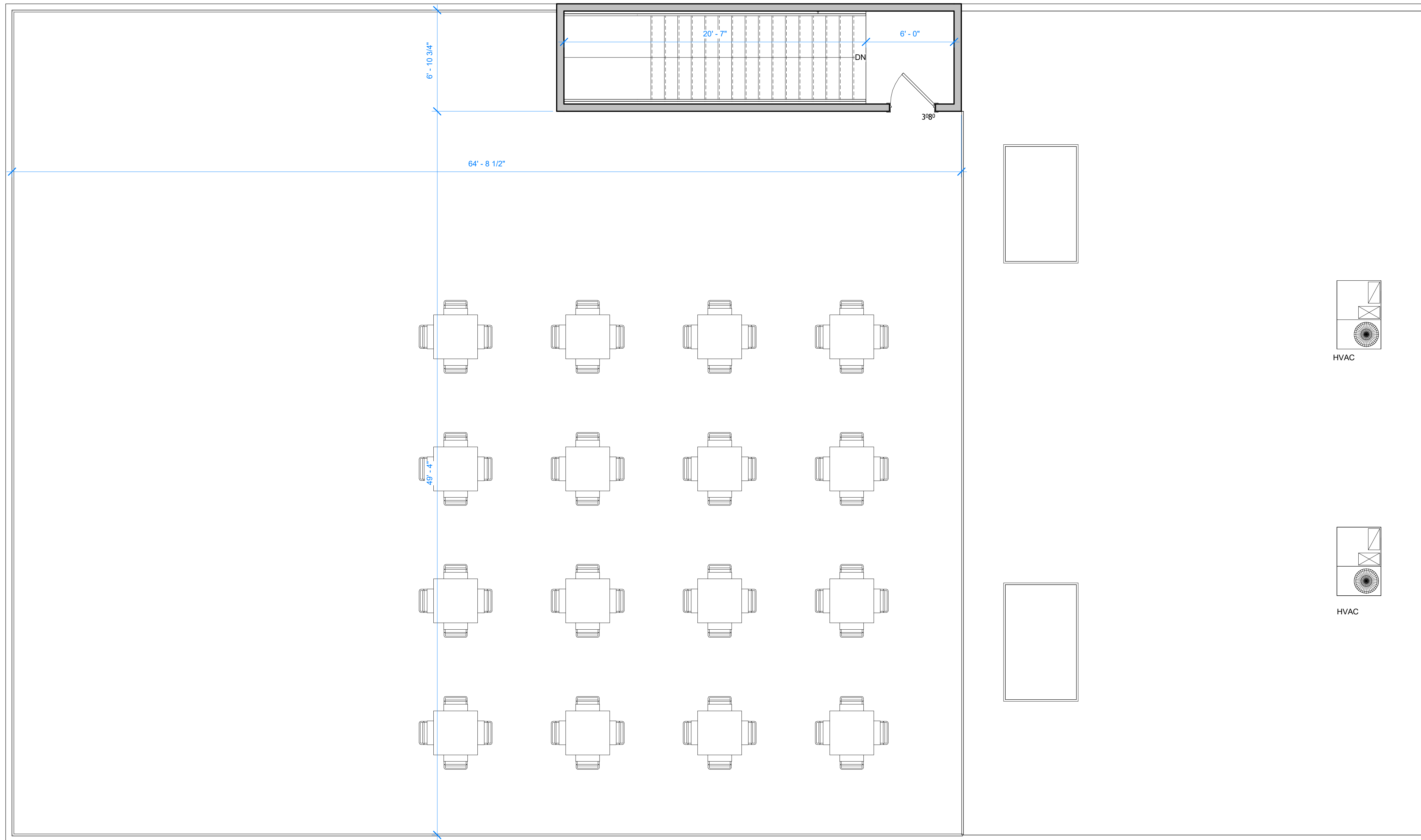
SHEET TITLE:

LEVEL 1 - LOFT
FLOOR PLAN

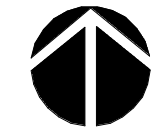
SHEET NUMBER:

A102





NORTH



① Roof
1/4" = 1'-0"

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

609 South State Street

Salt Lake City, UT 84111

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED: FEB. 14TH, 2022

NO.	DATE	DESCRIPTION

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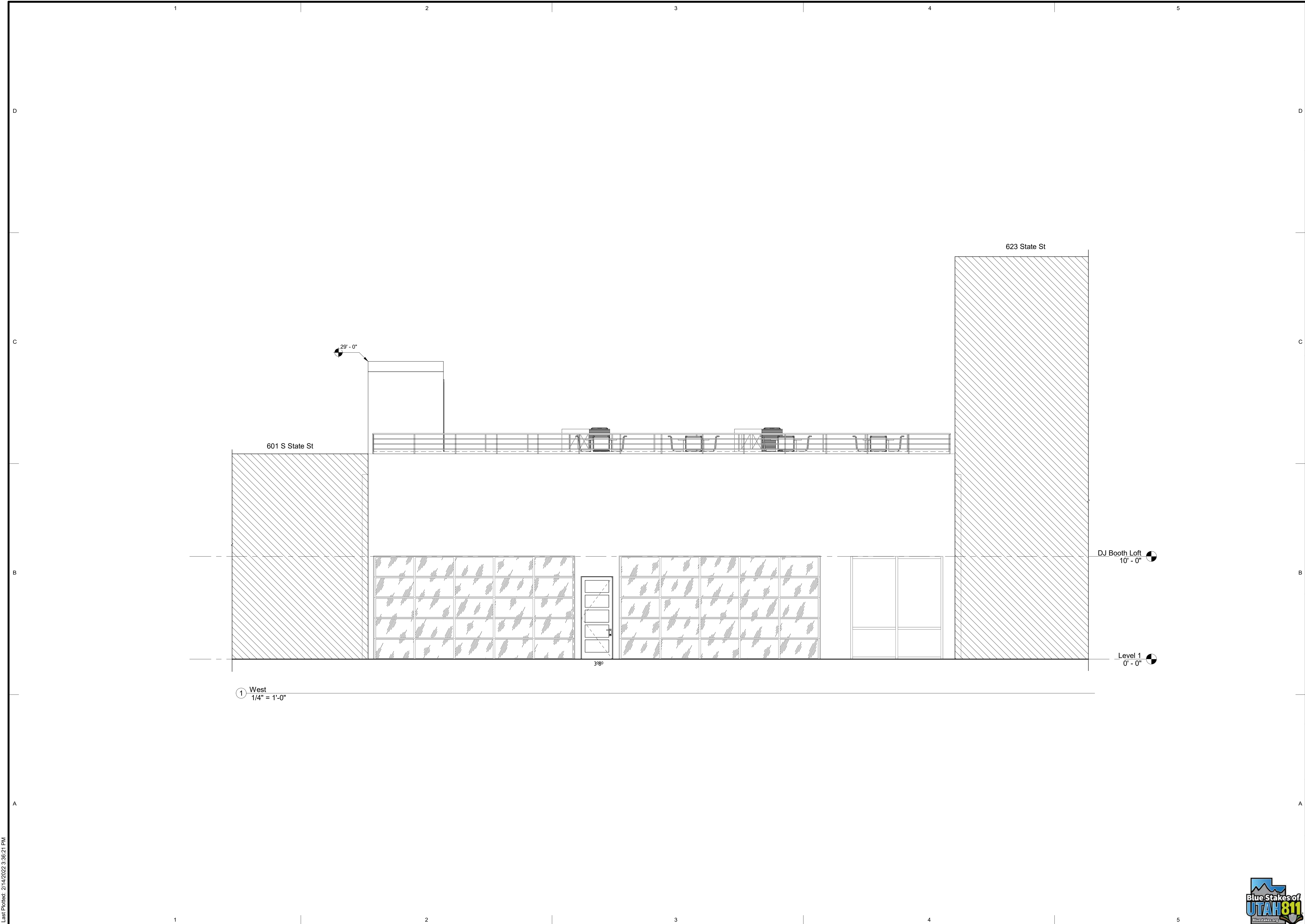
SHEET TITLE:

ROOF DECK
FLOOR PLAN

SHEET NUMBER:

A103





① West
1/4" = 1'-0"

DJ Booth Loft
10' - 0"

Level 1
0' - 0"

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

609 South State Street

Salt Lake City, UT 84111

REVISIONS:
NO. DATE DESCRIPTION

ISSUED: FEB. 14TH, 2022

NO. DATE DESCRIPTION

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RPA PROJECT #:
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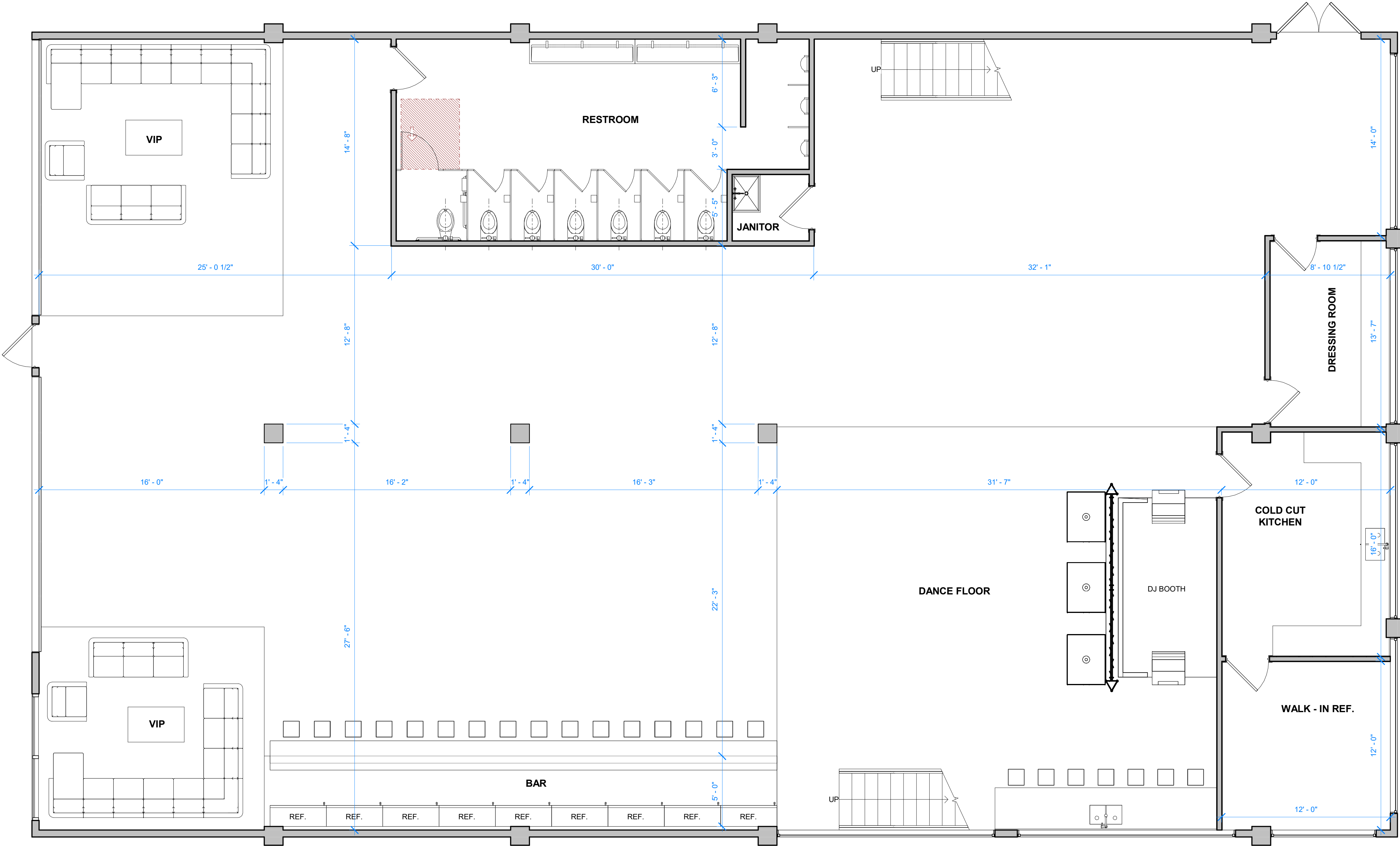
SHEET TITLE:


ELEVATION

SHEET NUMBER:

A201





NORTH  ① Level 1
1/4" = 1'-0"

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

609 South State Street

REVISIONS:
NO. DATE DESCRIPTION

ISSUED: FEB. 10TH, 2022

OWNER PROJECT #:
RPA PROJECT #:
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CHECKED BY:
DESIGNED BY:
COPYRIGHT:

SHEET TITLE:
Level 1 Floor Plan

SHEET NUMBER:
A101



1

2

3

4

5

D

D



C

C



B

B



A

A

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

609 South State Street

ISSUED: FEB. 10TH, 2022

NO. DATE DESCRIPTION

OWNER PROJECT #:

RPA PROJECT #:

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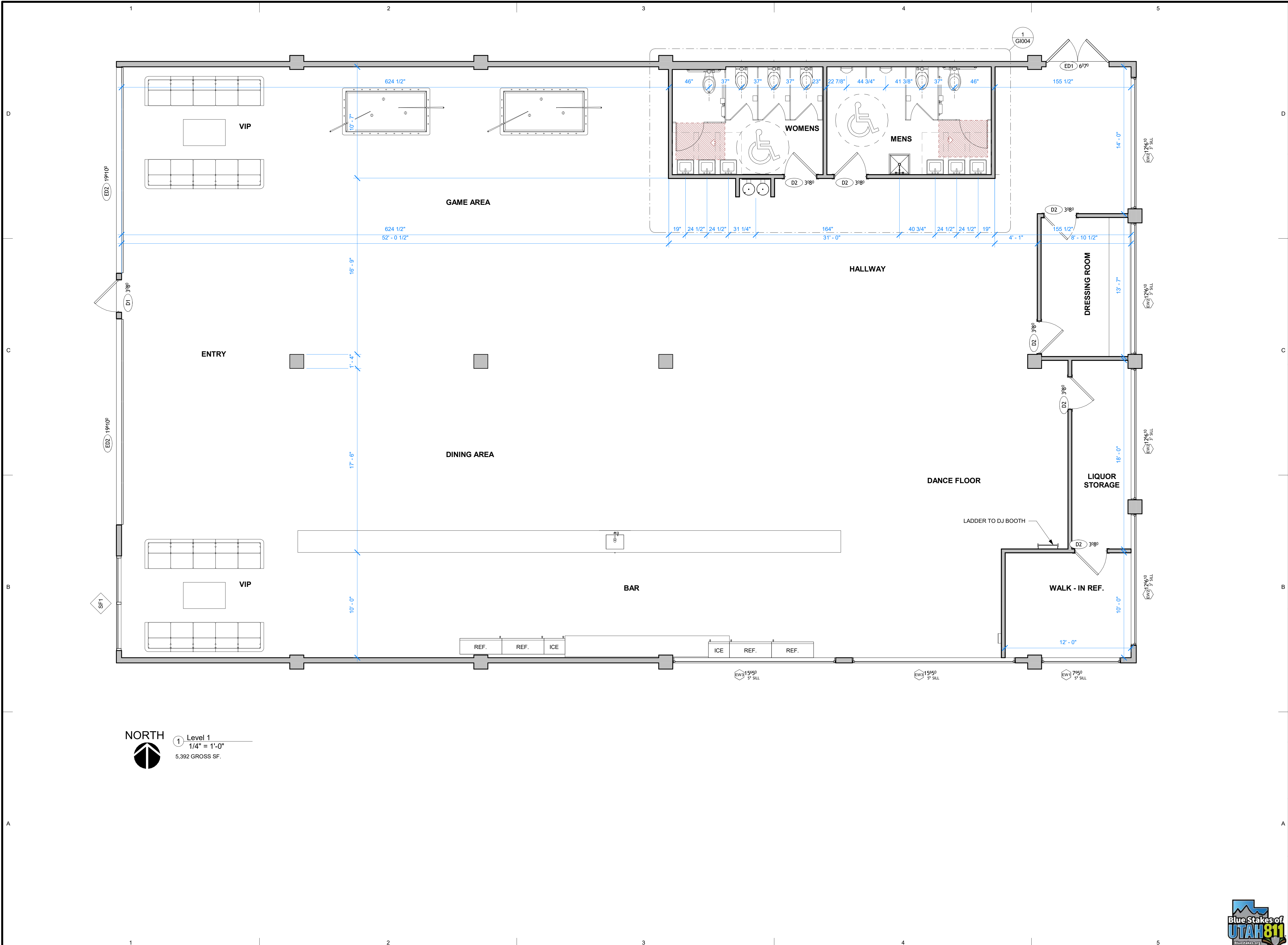
SHEET TITLE:

RENDERINGS

SHEET NUMBER:

A901





NORTH
 ① Level 1
 1/4" = 1'-0"
 5,392 GROSS SF.

ARCHITECT'S INFORMATION
RUSSELL PLATT ARCHITECTURE
 RUSSELL PLATT ARCHITECTURE
 438 NORTH 300 WEST
 SALT LAKE CITY, UTAH 84103
 (801)-580-0181

PROFESSIONAL STAMP
 LICENSED ARCHITECT
 3127803301
 RUSSELL PLATT
 STATE OF UTAH

CODE OFFICIAL STAMP:

PROJECT NAME:
 609 South State Street
 TENANT IMPROVEMENT
 BLD2022-02048
 Salt Lake City, UT 84111

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED: APR. 11TH, 2022

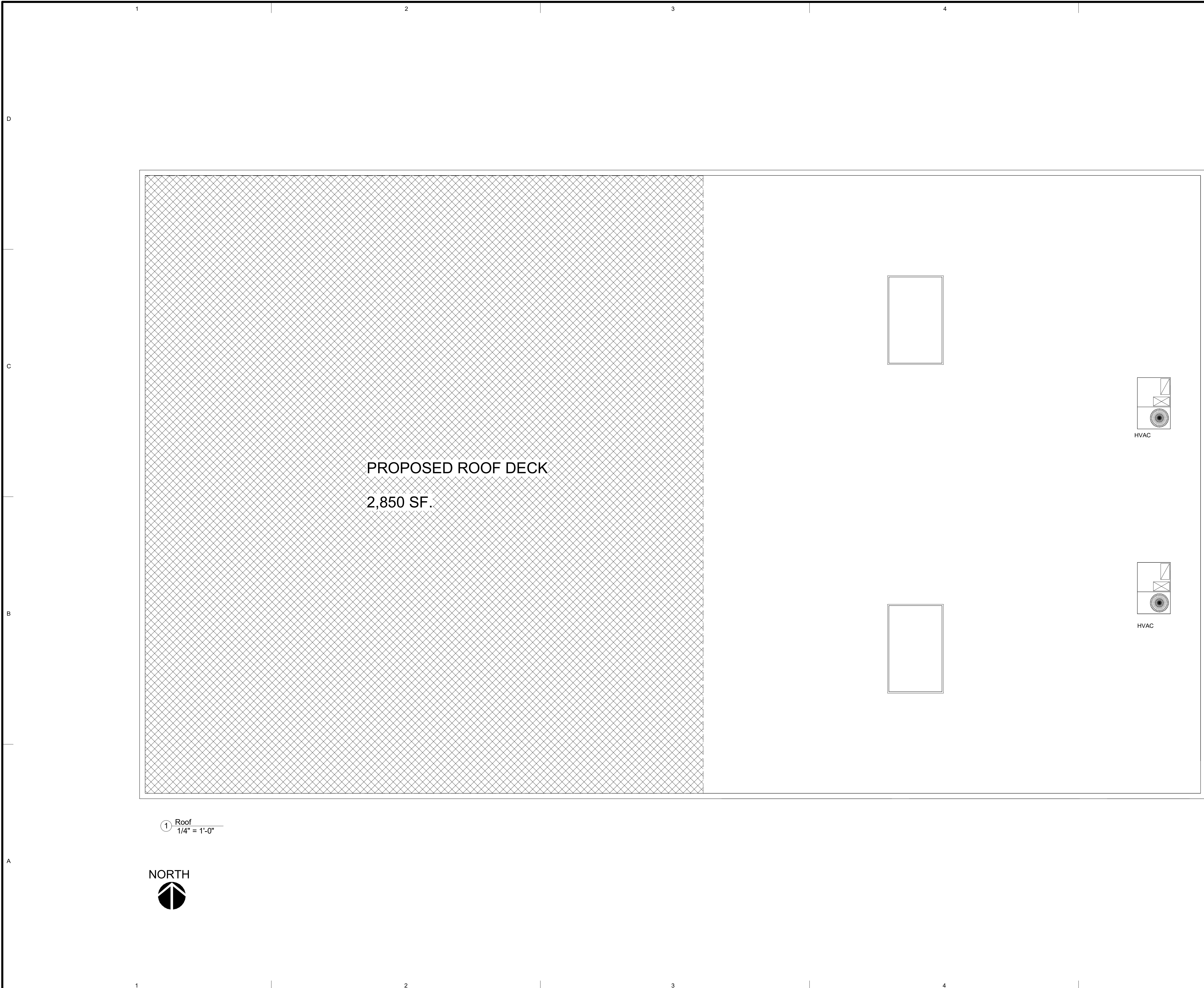
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RPA PROJECT #:
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SHEET TITLE:
PROPOSED FLOOR PLAN - LEVEL 1

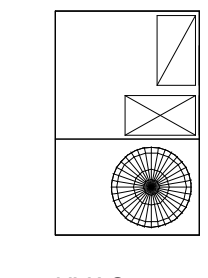
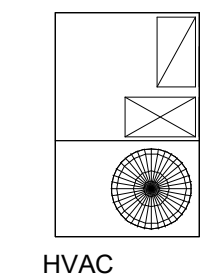
SHEET NUMBER:
A101.3



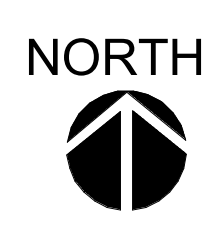
Last Plotted: 4/14/2022 10:48:11 AM



PROPOSED ROOF DECK
2,850 SF.

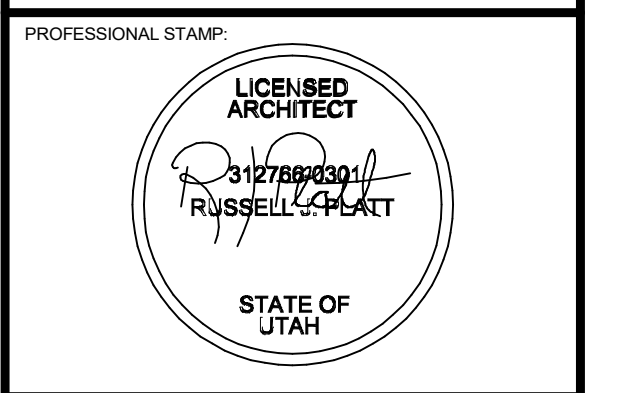


1 Roof
1/4" = 1'-0"



ARCHITECT'S INFORMATION
RUSSELL PLATT
ARCHITECTURE

RUSSELL PLATT ARCHITECTURE
438 NORTH 300 WEST
SALT LAKE CITY, UTAH 84103
(801)-580-0181



CODE OFFICIAL STAMP:

PROJECT NAME:

609 South State Street
TENANT IMPROVEMENT
BLD2022-02048
Salt Lake City, UT 84111

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED: APR. 11TH, 2022

NO.	DATE	DESCRIPTION

OWNER PROJECT #:
RPA PROJECT #:
DRAWN BY:
CHECKED BY:
DESIGNED BY:
COPYRIGHT:
© 2018 RUSSELL PLATT ARCHITECTURE

SHEET TITLE:
PROPOSED ROOF DECK

SHEET NUMBER:
A102





- ### Room Legend
- BAR
 - DANCE FLOOR
 - DINING AREA
 - DRESSING ROOM
 - ENTRY
 - GAME AREA
 - HALLWAY
 - LIQUOR STORAGE
 - MENS
 - VIP
 - WALK - IN REF.
 - WOMENS

NORTH
 ① Level 1
 1/4" = 1'-0"

ARCHITECT'S INFORMATION
RUSSELL PLATT ARCHITECTURE
 RUSSELL PLATT ARCHITECTURE
 438 NORTH 300 WEST
 SALT LAKE CITY, UTAH 84103
 (801)-580-0181

PROFESSIONAL STAMP

 LICENSED ARCHITECT
 3127890301
 RUSSELL PLATT
 STATE OF UTAH

CODE OFFICIAL STAMP

PROJECT NAME
**609 South State Street
 TENANT IMPROVEMENT
 BLD2022-02048**
 Salt Lake City, UT 84111

NO.	DATE	DESCRIPTION

ISSUED: APR. 11TH, 2022

OWNER PROJECT #:
 RPA PROJECT #:
 DRAWN BY:
 CHECKED BY:
 DESIGNED BY:
 COPYRIGHT:
 © 2018 RUSSELL PLATT ARCHITECTURE

SHEET TITLE
PROPOSED FLOOR PLAN - LEVEL 1

SHEET NUMBER
A101.3

Last Plotted: 4/11/2022 11:38:16 AM



ATTACHMENT C: Property and Vicinity Photos



Subject Property



Subject Property



Adjacent Business to the North



Adjacent Businesses to the South



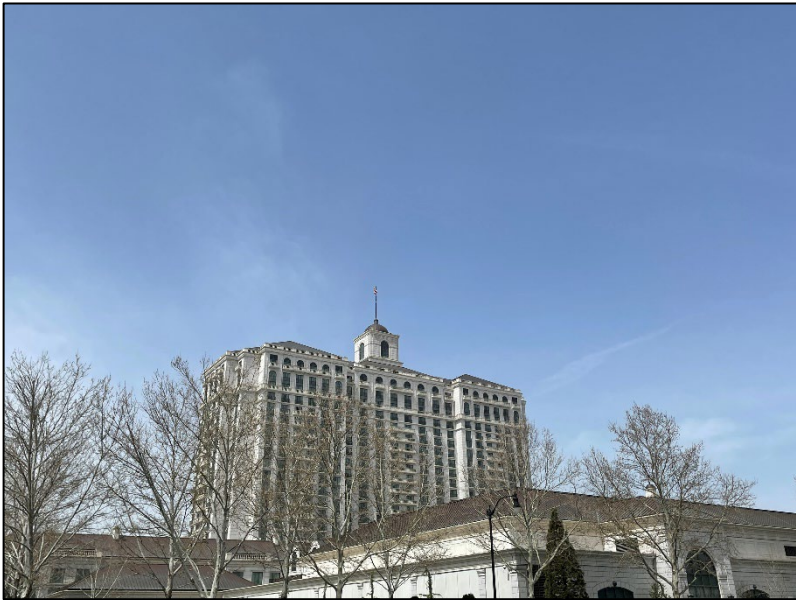
Rocky Mountain Power substation and Adjacent Business



Business on the North Side of 600 South



Apartment Building on West Side of State Street



Hotel North and West of Subject Property

ATTACHMENT D: D-2 Zoning Standards

D-2 (Downtown Support District)

Purpose Statement: The purpose of the D-2 Downtown Support Commercial District is to provide an area that fosters the development of a sustainable urban neighborhood that accommodates commercial, office, residential and other uses that relate to and support the Central Business District. Development within the D-2 Downtown Support Commercial District is intended to be less intensive than that of the Central Business District, with high lot coverage and buildings placed close to the sidewalk. This district is appropriate in areas where supported by applicable master plans. Design standards are intended to promote pedestrian oriented development with a strong emphasis on a safe and attractive streetscape.

Standard	Requirement	Proposed	Finding
Maximum Building Height	The maximum permitted building height shall not exceed one hundred twenty (120') subject to the following review process. Buildings over sixty five feet (65') in height are subject to design review according to the requirements of chapter 21A.59 of this title.	The height of the building including the proposed stair enclosure for the rooftop deck is twenty nine feet (29').	Complies
Front/Corner/Side/Rear Yard Setbacks	<p>Front and corner side yard: No minimum setback. The maximum setback is ten feet (10').</p> <p>Interior side yard: No minimum side yard is required except a minimum of fifteen feet (15') side yard is required when the side yard is adjacent to a single or two family residential zoning district.</p> <p>Rear yard: No minimum rear yard is required except a minimum of twenty five feet (25') rear yard is required when the rear yard is adjacent to</p>	The setbacks are not changing as part of this proposal. This property does not abut a single or two family residential zoning district.	Complies

	a single or two family residential district.		
Buffer Yard	Buffer yards: Any lot abutting a lot in a residential district shall conform to the buffer yard requirements of Chapter 21A.48 of this title.	This property does not abut a single or two family residential zoning district.	N/A
Lot Size	No minimum lot area or lot width shall be required.	The existing lot size is not changing as part of this proposal.	Complies
Mid-Block Walkway	Any new development shall provide a midblock walkway if a midblock walkway on the subject property has been identified in a master plan that has been adopted by the city.	A midblock walkway is not required for this project.	N/A
Refuse Control	All refuse disposal dumpsters, except those located in the CG, M-2, LO and EI districts shall be screened on all sides by a solid wood fence, masonry wall, or an equivalent opaque material to a height of lot less than six feet (6') but not more than eight feet (8'). This requirement shall not apply to recycling containers and devices.	One four-yard recycling container has been proposed for the site, which is not subject to refuse control requirements.	Complies
Lighting	All exterior lighting shall be shielded and directed down to prevent light trespass onto adjacent properties. Exterior lighting shall not strobe, flash, or flicker.	No new exterior lighting has been proposed as part of this Conditional Use application.	N/A
Off Street Parking &	Nonresidential: No spaces required up to 25,000 square feet of	Off-street parking is not required as part of this proposal because the building	Complies

Loading (21A.44.030.H)	usable floor area. 1 space per 1,000 usable square feet over 25,000 square feet thereafter.	has less than 25,000 square feet of usable floor area.	
Landscaping & Buffering (21A.48)	View requirements for landscaping in Chapter 21A.48.	Landscaping is not proposed or required for this property.	N/A
Signage (21A.46.110)	View requirements for each sign type in the D-2 district in Chapter 21A.46.110.	New business signage has not been proposed as part of this Conditional Use application.	N/A
Ground Floor Use	To activate the ground floor of structures, retail goods establishments, retail service establishments, public service portions of businesses, restaurants, taverns/ brewpubs, bar establishments, art galleries, theaters or performing art facilities are required on the ground floor of structures facing State Street, Main Street, 800 South and 900 South	The proposed bar establishment will be located on the ground floor of the existing structure.	Complies
Building Materials	80% ground floor; Other than windows and doors, a minimum amount of the ground floor façade's wall area of any street facing façade shall be clad in durable materials according to section 21A.37.060, table 21A.37.060 of this chapter. 50% upper floors; Floors above the ground floor level shall include durable materials on a minimum amount of any street facing building façade of those additional floors	No new applicable exterior materials will be applied to the street facing façade.	Complies

	according to section 21A.37.060, table 21A.37.060 of this chapter.		
Ground Floor Glass	40%; The ground floor building elevation of all new buildings facing a street, and all new ground floor additions facing a street, shall have a minimum amount of glass, or within a specified percentage range, between three feet (3') and eight feet (8') above grade according to section 21A.37.060, table 21A.37.060 of this chapter.	This is an existing building. Ground floor glass requirements do not apply for this project.	Complies
Upper Floor Glass	25%; Above the first floor of any multi-story building, the surface area of the façade of each floor facing a street must contain a minimum amount of glass.	This building is only one story in height. No upper floor glass is required for this proposal.	N/A
Building Entrances	50 feet; At least one operable building entrance is required for every street facing façade.	There is one proposed operable building entrance for the portion of the building where the proposed bar establishment will be located.	Complies
Maximum Length of Blank Wall	Maximum length (feet): fifteen feet (15')	The maximum length of the blank wall on this portion of the building is less than fifteen feet (15'). No exterior changes are occurring for this project.	Complies

ATTACHMENT E: Alcohol Related Establishment Standards

21A.35.300: Alcohol Related Establishments

B. License Required: No tavern, bar establishment, or brewpub shall be established, operated, or maintained within the City without a valid license issued by the Utah State Division of Licensing, and without a valid business license issued by the City.

Staff Analysis: The applicant is going through the process with the Utah Department of Alcoholic Beverage Control for the appropriate license. Should the conditional use be approved, the applicant will also need to obtain a business license from the City. If the application is approved, the proposed use will need to meet this portion of the standard. It cannot be met unless the conditional use approval is granted.

D. Taverns, Bar Establishments, And Brewpubs; Authorized as Conditional Uses:

Taverns, bar establishments, and brewpubs may be allowed as conditional uses pursuant to the provisions of chapter 21A.54 of this title and pursuant to subsection B of this section in zoning districts noted in the tables of permitted and conditional uses provided the following standards are achieved:

1. In approving a conditional use permit for a tavern, bar establishment, or brewpub, the Administrative Hearing Officer shall:
 - a. Require that a security and operations plan be prepared by the applicant and approved by the Salt Lake City Police Department and the building official, and filed with the City Recorder's Office, which shall include:
 - i. A complaint-based response community relations program; and
 - ii. A provision for a representative of the tavern, bar establishment, or brewpub to meet with neighbors upon request in order to attempt to resolve any neighborhood complaints regarding the operations of the business premises;
 - iii. Design and construction requirements to ensure that any sound level originating within the premises, measured within fifteen (15') from an exterior wall or door thereof, does not exceed the maximum sound level set forth for the applicable zoning district in title 9, chapter 9.28 of this Code;
 - iv. A provision stating that live entertainment shall only be located within an enclosed building subject to the foregoing sound limit;
 - v. Prohibiting electronically amplified sound in any exterior portion of the premises;
 - vi. Designation of a location for smoking tobacco outdoors in conformance with State law;
 - vii. A provision stating that any trash strewn on the premises be collected and deposited in a trash receptacle by six o' clock (6:00) A.M. the following day, including any smoking and parking lot areas; and

- viii. A provision stating that portable trash receptacles on the premises be emptied daily and automated receptacles be emptied at least weekly. Automated receptacles shall be located only within a City approved trash storage area; and
- ix. A parking management plan which shall include the consideration of the impact of parking on surrounding neighborhoods;

Staff Analysis: The applicant has submitted a Security and Operations plan that has been sent to the Salt Lake City Police Department and the Building Services Division that addresses the requirements listed above. The plan must be recorded with the City Recorder's Office and this requirement has been noted as a condition of approval

- b. Require a review and approval of the site and floor plan proposed for the premises by the Salt Lake City Police Department. Such review may require design features for the purpose of reducing alcohol related problem such as consumption by minors, driving under the influence, and public drunkenness.

Staff Analysis: The applicant has provided a site and floor plan that has been sent to the Salt Lake City Police Department.

- c. Require buffering where a tavern, bar establishment, or brewpub abuts a residentially zoned parcel. Said buffering shall include vegetative landscaping or walls along any property line or within any required yard area on the lot where the premises are located.

Staff Analysis: The subject property does not border a residential property or use. Existing businesses are located between the building and the residential neighborhood to the east. The proposed use will be contained within the existing building. The use meets the buffering intent and requirements.

- d. Require that landscaping be located, and be of a type, that cannot be used as a hiding place; and

Staff Analysis: This is an existing building/developed site and there is zero landscaping on the property.

- e. Require that the exterior of the premises be maintained free of graffiti, including the main building, any accessory buildings or structures, and all signs. Graffiti shall be removed from the exterior of the premises within forty eight (48) hours, weather permitting.

Staff Analysis: The Security and Operations Plan indicates that graffiti will be removed within 48 hours, weather permitting.

- 2. If necessary, to meet the standards for approval of a conditional use set forth in section 21A.54.080 of this title, the following conditions may be imposed:
 - a. Limit the size and kind of signage located on the outside of any building in conformance with chapter 21A.46 of this title.

Staff Analysis: The applicant has not proposed any new signage at this time.

- b. Require parking area lighting to produce a minimum foot-candle that provides safe lighting for pedestrians, but does not intrude on residents' enjoyment of their homes; and

Staff Analysis: The applicant has not proposed any new lighting at this time.

- c. Consider the proposed location of an outdoor smoking area in the security and operations plan and the potential effect on neighboring residences, businesses, and buildings and designating a new area if the potential effects of the area in the security and operations plan appear to adversely affect neighboring residences, businesses, and buildings

Staff Analysis: The designated smoking area will be on the proposed rooftop deck. This area is more than 25 feet away from the main entrance.

Staff Findings: The proposed bar establishment complies with the applicable zoning regulations for Alcohol Related Establishments as codified in chapter 21A.36.300.

ATTACHMENT F: Conditional Use Standards

Conditional Use Standards

An application for a conditional use is required by city code 21A.54 and Utah Code 10-9a-507 to be approved if the proposal complies with the adopted standards of review and if any reasonably anticipated detrimental impact can be mitigated. Under Utah Code 10-9a-507, the standards must be objective and mitigating any reasonably anticipated detrimental impact is required to be interpreted to mean reduce, not eliminate, the impact.

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the discussion that follows, and the input received during the engagement process. Input received after the staff report is published has not been considered in this report.

21A.54.080.A: Approval Standards
Standard 1: The use complies with applicable provisions of this title;
Finding: Complies
Discussion: The use is allowed as a conditional use in the applicable land use table.
Condition(s): 1. N/A
Standard 2: The use is compatible, or with conditions of approval can be made compatible, with surrounding uses
Finding: Complies
Discussion: There is no known evidence that the use creates reasonably anticipated impacts that would result in the use not being compatible with the surrounding uses.
Condition(s): N/A
Standard 3: The use is consistent with applicable adopted city planning policies, documents, and master plans; and
Finding: Complies
Discussion: The use is consistent with the adopted city planning policies, documents, and master plans.
Condition(s): N/A

Standard 4: The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions

Finding: Complies

Discussion: There is no evidence of a detrimental effect due to the proposed use as indicated in the analysis outlined below.

Condition(s): N/A

21A.54.080.B: Detrimental Effects Determination

1. This title specifically authorizes the use where it is located;

Finding: No Detrimental Impact

Discussion: The use is allowed as a conditional use in the applicable land use table.

Condition(s): N/A

2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps;

Finding: No Detrimental Impact

Discussion: The proposed use is consistent with the adjacent properties and applicable master plans.

Condition(s): N/A

3. The use is well suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area;

Finding: No Detrimental Impact

Discussion: Similar uses are found in the general area. This proposed use is well-suited to the character of the site. The intensity, size, and scale are comparable to existing uses in the surrounding area.

Condition(s): N/A

4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered;

Finding: No Detrimental Impact

Discussion: The establishment is in a strip commercial development along State Street, which is typical of the area. Other than alterations to accommodate a rooftop deck, no major changes to the outside of the building are proposed.

Condition(s): N/A

5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows;

Finding: No Detrimental Impact

Discussion: The property does not provide vehicle egress or ingress, because there is only on-street parking. Pedestrian access remains from State Street.

Condition(s): N/A

6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic;

Finding: No Detrimental Impact

Discussion: The City's Transportation Division has reviewed the request and provided feedback (see comments below).

Condition(s): N/A

7. The site is designed to enable access and circulation for pedestrian and bicycles;

Finding: No Detrimental Impact

Discussion: The building's main entrance is facing the street, and it has direct access from the sidewalk. Pedestrians will be able to access the property. Transportation had no additional comments or requirements for the site.

Condition(s): N/A

8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street;

Finding: No Detrimental Impact

Discussion: This proposal will not unreasonably impact the service level of any abutting or adjacent street. See comments from the Transportation Division below.

Condition(s): N/A

9. The location and design of off street parking complies with applicable standards of this code;

Finding: No Detrimental Impact

Discussion: The property has historically relied on street parking. For commercial uses in the D-2 zoning district, no parking spaces are required up to 25,000 square feet of usable floor area. 1 space per 1,000 usable square feet over 25,000 square feet thereafter. For this conditional use application, no new parking is required because the building has less than 25,000 square feet of usable floor area.

Condition(s): N/A

10. Utility capacity is sufficient to support the use at normal service levels;

Finding: No Detrimental Impact

Discussion: Public Utilities provided no objections regarding utility capacity.

Condition(s): N/A

11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts;

Finding: No Detrimental Impact

Discussion: The proposed business is located entirely within and atop an existing building and the impact on neighboring businesses should remain the same. No new buffering or screening is proposed.

Condition(s): N/A

12. The use meets city sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke;

Finding: No Detrimental Impact

Discussion: The project is not expected to negatively impact sustainability goals, and it does not encroach on a stream or waterway.

Condition(s): N/A
13. The hours of operation and delivery of the use are compatible with surrounding uses;
Finding: No Detrimental Impact
Discussion: Hours of operation are compatible with surrounding uses. There is no indication that hours of delivery will be incompatible with surrounding uses.
Condition(s): N/A
14. Signs and lighting are compatible with, and do not negatively impact surrounding uses;
Finding: No Detrimental Impact
Discussion: At this time, no new lighting or signs are being proposed.
Condition(s): N/A
15. The proposed use does not undermine preservation of historic resources and structures.
Finding: No Detrimental Impact
Discussion: The property is not located in a local landmark district or a district listed in the National Register of Historic Places. No renovations or additions are proposed for the building that would adversely affect the site.
Condition(s): N/A

According to Zoning Code Section 21A.54.080.C, the Planning Commission, or in the case of administrative conditional uses, the planning director or the director's designee, may impose conditions related to the standards and detrimental impacts listed above if a condition is necessary for compliance with the standards of approval or any applicable zoning regulation and to reduce any reasonably anticipated detrimental impact. Conditions may be related to:

1. Conditions on the scope of the use; its character, location, hours and methods of operation, architecture, signage, construction, landscaping, access, loading and parking, sanitation, drainage and utilities, fencing and screening, and setbacks; and

2. Conditions needed to mitigate any natural hazards; assure public safety; address environmental impacts; and mitigate dust, fumes, smoke, odor, noise, vibrations; chemicals, toxins, pathogens, gases, heat, light, and radiation.

After a public hearing is held, planning staff can help the Administrative Hearing Officer identify and determine if information provided warrants further discussion on any potential non-compliance or detrimental impact that may require a condition of approval.

ATTACHMENT G: Public Process & Comments

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- April 19, 2022 – The Downtown Alliance and Central City Neighborhood Council were sent the 45 day required notice for recognized community organizations. The councils did not provide comments.
- April 21, 2022 - Property owners and residents within 300 feet of the development were provided early notification of the proposal.
- May – June – The project was posted to the Online Open House webpage.

Notice of the public hearing for the proposal included:

- May 31, 2022
 - Public hearing notice sign posted on the property
- June 2, 2022
 - Public hearing notice mailed
 - Public notice posted on City and State websites and Planning Division list serve

Public Input:

Any public comments received up to the public hearing meeting will be forwarded to the Administrative Hearing Officer and included in the public record.

Biggs, Joshua

From: Kyle Deans [REDACTED]
Sent: Thursday, June 2, 2022 11:57 AM
To: Biggs, Joshua
Subject: (EXTERNAL) PLNPCM2022-00149

I support the conditional use for the bar to be located at 601 S State.

Kyle R. Deans
SLC Resident

ATTACHMENT H: Department Review Comments

This proposal was sent to the following departments. Any requirement identified by a City Department is required to be complied with.

Engineering:

No objections raised.

Planning:

The applicant will need to record a copy of the approved Security and Operations Plan with the Salt Lake City Recorder's Office as required for alcohol related uses.

Building Services/Fire:

No objections raised.

Police:

No objections raised.

Public Utilities:

No objections raised.

Transportation:

Kevin Young from Transportation stated that the City does not lease metered parking spaces for use by a private business. Metered parking spaces are for the use of the public and cannot be used or leased for private use. The applicant can contact the Transportation Division office and request that some of the metered parking spaces in front of their business be converted to a time limit Passenger Loading Zone (PLZ). Even as a PLZ, the space would not be for the exclusive use of Uber or Lyft. It could be used by anyone to drop off or pick up a passenger.